

**DESIGN REVIEW COMMISSION  
AGENDA**

**August 8, 2023**

**7:00 PM**

**Virtual Meeting**

**Due to the growing concerns regarding the COVID-19 virus, we will be conducting a remote/virtual Design Review Commission Meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number (Cell phone or Landline Required) OR citizens can participate by copying the link (Phone, Computer, or Tablet required). Please click on <https://zoom.us/j/93879275725> or call on your phone at 1-929-205-6099, meeting ID is 93879275725**

**7:00 PM Gardner – 125 Constitution Blvd.**

Replace existing monument and wall signs faces to reflect rebranding

**7:05 PM Big Y – 348 East Central Street**

Rebrand Big Y with new logo signage – reface existing pylon sign –  
Replace existing building signs

**7:10 PM Alpine Place – 40 Alpine Row**

Renovate existing office building with new offices and warehouse space.  
Construction of new mixed-use 28 unit apartment building w/ground level parking and commercial space.

**General Matters:**

**Approval of Minutes:**

**Old Business:**

**New Business:**

**Adjourn**

COMMENTS: These listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. This agenda is subject to change. Next meeting is 8/22/2023

FORM Q

TOWN OF FRANKLIN  
DESIGN REVIEW APPLICATION  
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: GARDNER

Property Address 125 CONSTITUTION BLVD.

Assessors' Map # 319-014-000 Parcel # 000

Zoning District (select applicable zone): IND

Zoning History: Use Variance -  
Non-Conforming Use -

B) Applicant Information:

Applicant Name: ANDREW CLARK EXPOSE SIGNS + GRAPHICS

Address: 3 LANDING LANE  
HOPE RALE MA 01747

Telephone Number: 508-381-0941

Contact Person: KEVIN ROSENBERG

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: GARDNER Property Owner: SAME  
Address: 125 CONSTITUTION BLVD STEVE GOLDMAN CEO  
FRANKLIN

All of the information is submitted according to the best of my knowledge  
Executed as a sealed instrument this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

[Signature]  
Signature of Applicant

PLEASE SEE ATTACHED LOA/PO.  
Signature of Owner

ANDREW CLARK  
Print name of Applicant

STEVE GOLDMAN CEO  
Print name of Owner

\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

**D) Architect/Engineer/Sign Company Information (if not the applicant)**

**a. Sign Company**

Business Name: EXPOSE SIGNS & GRAPHICS INC  
Contact Person: ANDREW CLARK  
Address: 3 LANDING LANE, HOLYDALO MA 01747  
Telephone Number: 508 381-0941

**b. Architect/Engineer (when applicable)**

Business Name: N/A  
Contact Person: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone Number: \_\_\_\_\_

**E) Work Summary**

Summary of work to be done: FABRICATE & REPLACE EXISTING MONUMENT & WALL SIGNS FACES TO REFLECT REBRANDING NO CHANGE TO CURRENT SIZE OR LOCATION FOR LETTER. PLANS ATTACHED

**F) Information & Materials to be Submitted with Application**

**a) FOR SIGN SUBMISSIONS ONLY:**

**THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO Mkinhart@franklinma.gov**

1. Drawing of Proposed Sign which must also include  
type of sign (wall, pylon etc.) ✓ colors ✓  
size/dimensions ✓ materials ✓  
style of lettering ✓ lighting-illuminated, non-illuminated and style ✓
2. Drawing and/or pictures indicating location of new sign. ✓
3. Picture of existing location and signs (if previously existing location)

**b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:**

**THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.gov**

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

JOB# 20288

EST#

ITEM# 1

DUE DATE:

FILE PATH: \\McInserver\G\Production Files\20288 Production File

<b>EXPONE ONLY</b>	FOAM HILL	EXPONE
<b>EXPONE / FH.</b>	LASER	SEKOP
<b>F.H. ONLY</b>	ROUTER	METAL FAB.
	ENGRAVE	VINYL / PRINT
	PAINT	SUPPLIER
	ASSEMBLY	NOTES

Shop | Vinyl | Install | Prod. | Original

QTY: 2

SF / DF

Material: Check Stock Needed / Ordered / Supplied

Approval Date: 04/28/2023

Exsting:



Replace panel with new cut

Proposed:



White Polycarbonate Panel

Vinyl Graphics

Dimensions:

- Blue: Flood Box
- Red: Panel
- Green: Scale Area (Vlabel)

BUILD BY: *Clarity*



**EXPONE SIGNS & GRAPHICS, INC.**

13 Airport Road • Hopedale, MA  
 Phone: 508.281.1241 Fax: 508.251.1254  
 WWW.EXPONESIGNS.COM

Gardner Inc.  
 Attn: Steve Goodberg & Paul Ochoa  
 sgoodberg@gardnerinc.com  
 pochoa@gardnerinc.com

Logo: Outlined

PMS 672C

PMS 489C

<b>PANEL</b>
MATERIAL: POLYCARBONATE
SIZE: 30" H x 144" W
THICKNESS: 3/16" D
COLOR: WHITE
MOUNTING: EXISTING FLOOD BOX
OTHER: N/A

<b>VINYL</b>
COLORS: PMS 672C / PMS 489C
TYPE: EXTENDER
SURFACE: FIRST
WEED: STANDARD
REP. ONLY: N/A

**INSTALL NOTES:**

REPLACE EXISTING PANEL WITH NEW PANEL & VINYL GRAPHICS

JOB # 20288

EST #

ITEM # 2

DUE DATE:

FILE PATH: \\Moinserver\GA\Production Files\20288 Production File

<b>EXPONE ONLY</b>	ROUTER MILL	EXPONER SHOP
<b>EXPONE / FH.</b>	ROUTER	METAL FAB.
<b>FH. ONLY</b>	ENGRAVE	VINYL / PAINT
	PAINT	SUBVENDOR
SHIP	INSTALL	PAU
	REPAIR	ASSEMBLY
		NOTES

Losser | Paint | Shop | Install | Prod. | Original

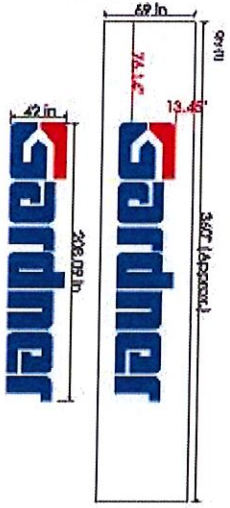
- QTY: 1
- SF / DF
- Material: Check Stock / Needed / Ordered / Supplied
- Approval Date: 04/28/2023

Etching:



Replace with new art

Proposed:



BUILD BY: *Charley*

**EXPOS**

SIGNS & GRAPHICS, INC.

13 Airport Road • Hopkinton, MA  
 phone: 508.281.0841 fax: 508.281.1271  
 www.exposigns.com

Gardner Inc.  
 Attn: Steve Goldberg & Paul Ochiob  
 sgolberg@gardnerinc.com  
 pochiob@gardnerinc.com

Install:  
 125 Constitution Blvd.  
 Framingham, MA

Logos: Outlined

	PMS 672C
	PMS 485C

**MOUNTED CUT LETTERING**

ATERIAL:	ACRYLIC
FINISH:	
ORPH:	
SIZE:	42" H x 200.09" W
THICKNESS:	1/4"
COLOR:	CLSR
PAINTED:	TRNS 072C / PMS 485C
TYPE/FINISH:	EXTENSION / SATIN
SURFACE:	FACE & EDGES
LETTERING:	10-24 STUDS
SPACERS:	3/4" DIA. GROMMET PAD SPACERS
PATTERN:	PAPER
OTHER:	

**INSTALL NOTES:**

REPLACE EXISTING LETTERS WITH NEW COPY

FORM Q

TOWN OF FRANKLIN  
DESIGN REVIEW APPLICATION  
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: BIG Y

Property Address 348 MAIN STREET

Assessors' Map # 285 Parcel # 008 PARCEL ID: 285-008-000-000

Zoning District (select applicable zone): CBCD - COMMERCIAL II

Zoning History: Use Variance \_\_\_\_\_  
Non-Conforming Use \_\_\_\_\_

B) Applicant Information:

Applicant Name: GRAPHIC IMPACT SIGNS, INC

Address: 575 DALTON AVENUE  
PITTSFIELD, MA 01201

Telephone Number: 800-458-2376

Contact Person: JOHN RENZI

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: BIG Y FOODS, INC  
Address: 2145 ROOSEVELT AVENUE  
SPRINGFIELD, MA 01102

Property Owner: BIG Y FOODS, INC  
2145 ROOSEVELT AVENUE  
SPRINGFIELD, MA 01104-1650

All of the information is submitted according to the best of my knowledge  
Executed as a sealed instrument this 11 day of JULY 2023

John J. Renzi  
Signature of Applicant

Curtis Thorington  
Signature of Owner

JOHN RENZI  
Print name of Applicant

CURTIS THORINGTON  
Print name of Owner

**\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**  
**FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

**SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q**

**D) Architect/Engineer/Sign Company Information (if not the applicant)**

**a. Sign Company**

Business Name: GRAPHIC IMPACT SIGNS, INC  
Contact Person: JOHN RENZI  
Address: 575 DALTON AVE, PITTSFIELD, MA 01201  
Telephone Number: 800-458-2376

**b. Architect/Engineer (when applicable)**

Business Name: N/A  
Contact Person: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone Number: \_\_\_\_\_

**E) Work Summary**

Summary of work to be done: REBRAND BIG Y WITH NEW LOGO SIGNAGE  
- REPLACE EXISTING PYLON SIGN "BIG Y - YOUR FAMILY MARKET" & "TABLE & VINE"  
- REPLACE EXISTING BUILDING SIGNS "BIG Y - YOUR FAMILY MARKET" & "WINE & BEER - TABLE & VINE"

**F) Information & Materials to be Submitted with Application**

**a) FOR SIGN SUBMISSIONS ONLY:**

**THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO  
Mkinhart@franklinma.gov**

1. Drawing of Proposed Sign which must also include
  - ✓ type of sign (wall, pylon etc.)
  - ✓ colors
  - ✓ size/dimensions
  - ✓ materials
  - ✓ style of lettering
  - ✓ lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign. ✓
3. Picture of existing location and signs (if previously existing location) ✓

**b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:**

**THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.gov**

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2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist



Big Y  
 348 East Central Street  
 Franklin, MA

7-11-2023

**Building Frontage = 312 Feet**

**Existing Building Signage Audit:**

<b>Sign</b>	<b>Size</b>	<b>Square Footage</b>	<b>Quantity</b>	<b>Total Square Footage</b>
Big Y	8' 6" H x 16' 6" W	140.25	1	140.25
World Class Market	1' 3" H x 21' 0" W	26.25	1	26.25
American Owned	1' 3" H x 19' 4" W	24.17	1	24.17
Sushi Chef	1' 3" H x 11' 3" W	14.06	1	14.06
Sandwich Shop	1' 3" H x 15' 4" W	19.17	1	19.17
Hearth Baked Pizza	1' 3" H x 19' 2" W	23.96	1	23.96
Bouquets	1' 3" H x 9' 9" W	12.19	1	12.19
Butcher Shop	1' 3" H x 14' 0" W	17.50	1	17.50
Bakery	1' 3" H x 7' 3" W	9.06	1	9.06
Fish & Chips	1' 3" H x 12' 0" W	15.00	1	15.00
Delicatessen	1' 3" H x 13' 0" W	16.25	1	16.25
Beer & Wine	1' 3" H x 11' 9" W	14.69	1	14.69
<b>Total Sign Square Footage: 332.52</b>				

**Proposed Building Sign Plan:**

<b>Sign</b>	<b>Size</b>	<b>Square Footage</b>	<b>Quantity</b>	<b>Total Square Footage</b>
Big Y	132" H x 132" W	121.00	1	121.00
Your Family Market	13" H x 226.5" W	20.50	1	20.50
Wine & Beer	16.38" H x 167" W	19.00	1	19.00
Table & Vine	16" H x 121" W	13.45	1	13.45
<b>Total Sign Square Footage: 173.95</b>				



Proposed



Existing



**A...(1)...Storefront Internally Illuminated Logo Signage...NTS logo circle= 121 sq. ft.**

- \* 8" deep aluminum fabricated circular flex-face extruded sign with bleed face retainer...edges and retainer painted Big Y Red
- \* internally illuminated with 6500 K white SloanLED<sup>24</sup> Prism low voltage LED modules ...60W 120VAC power supplies contained within cabinet..UL listings
- \* 3M white panaflex flex face with translucent 3M 3630-73 Dark Red vinyl applied graphics
- \* sign cabinet mounts to window mullion system ( self drill/tap into existing mullion extrusions )
- \* non-illum. " YOUR FAMILY MARKET " letters are .50" thick Type 1 PVC letters painted Black...stud mount flush to fascia



**graphic  
impact  
signs**

800.458.2376  
fax 413.443.0034  
575 dalton ave. pittsfield, ma 01201  
gisigns.com



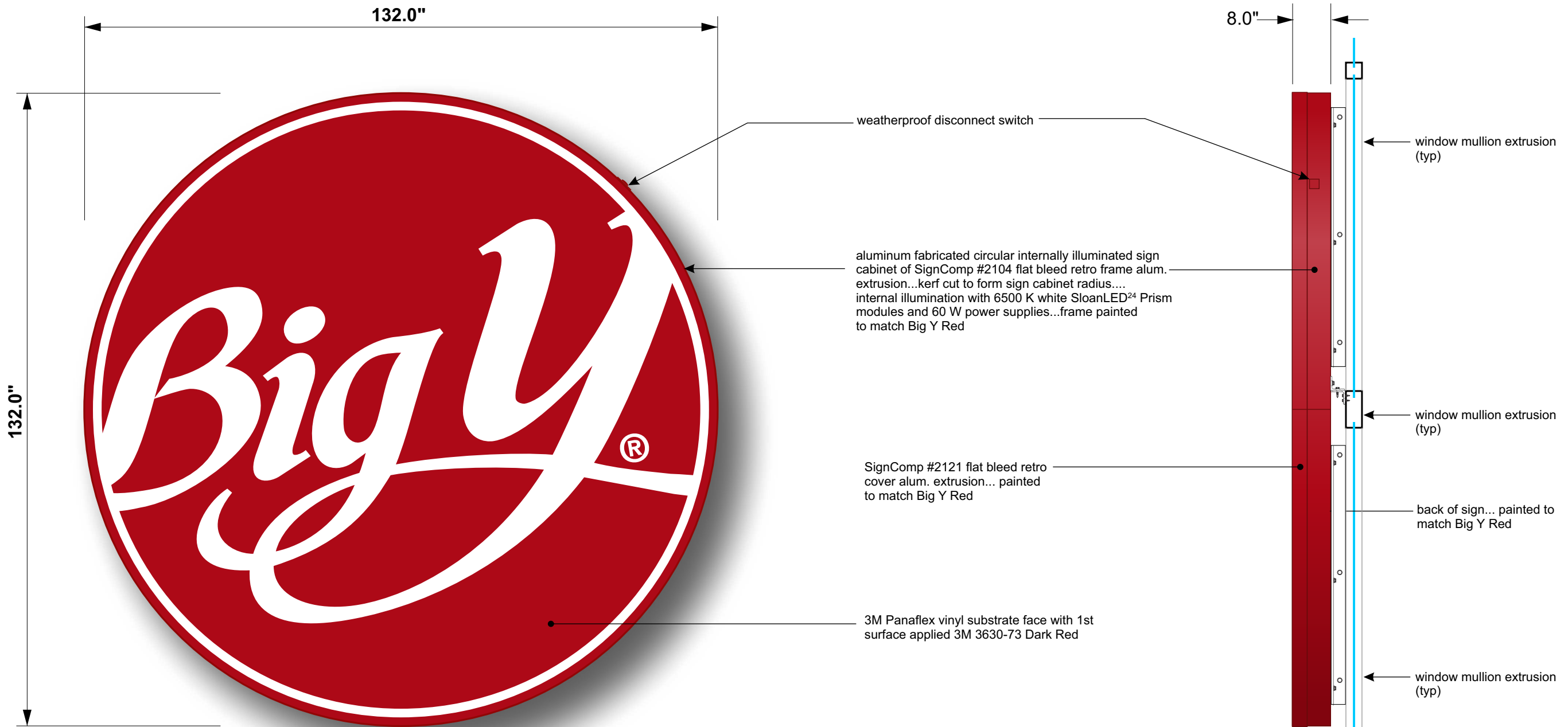
Sales Rep: J. Renzi  
Job Name: Big Y  
Job Location: Franklin, MA  
Sheet: 1 of 7  
Date: 5/24/22  
Job #:   
Scale: as noted  
Drawn by: LH

**Big Y**  
348 Main Street  
Franklin, MA  
Rev 7/5/23

APPROVED  
 APPROVED AS NOTED

CLIENT SIGNATURE \_\_\_\_\_  
DATE \_\_\_\_\_

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A...(1)...Single Sided Storefront Internally Illuminated Logo Signage Details...NTS

\* UL listed with disconnect switch



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Sales Rep: J. Renzi  
Job Name: Big Y  
Job Location: Franklin, MA  
Sheet: 2 of 7  
Date: 6/20/22  
Job #:   
Scale: as noted  
Drawn by: LH

**Big Y**  
348 Main Street  
Franklin, MA  
Rev 7/5/23

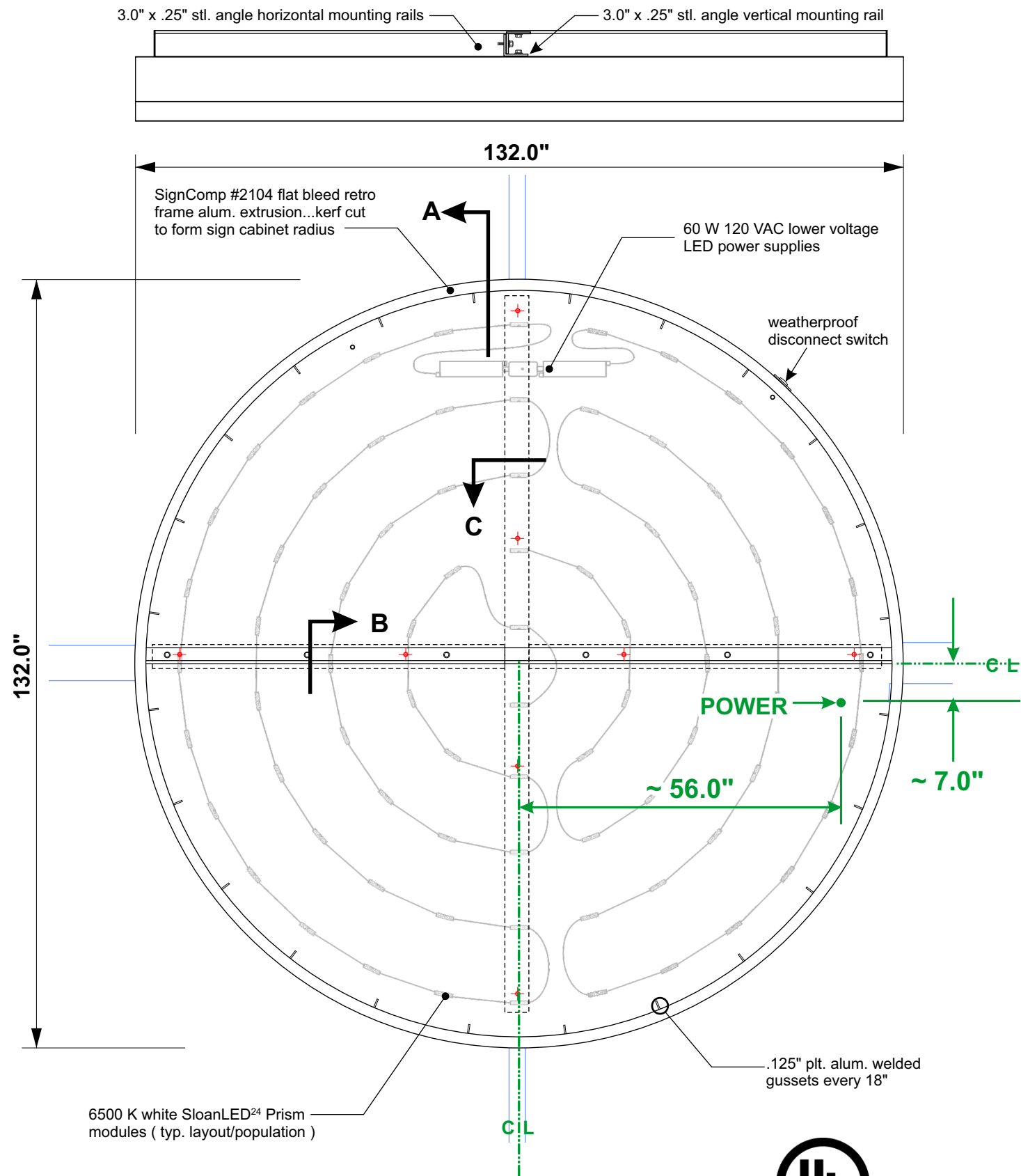
APPROVED

APPROVED AS NOTED

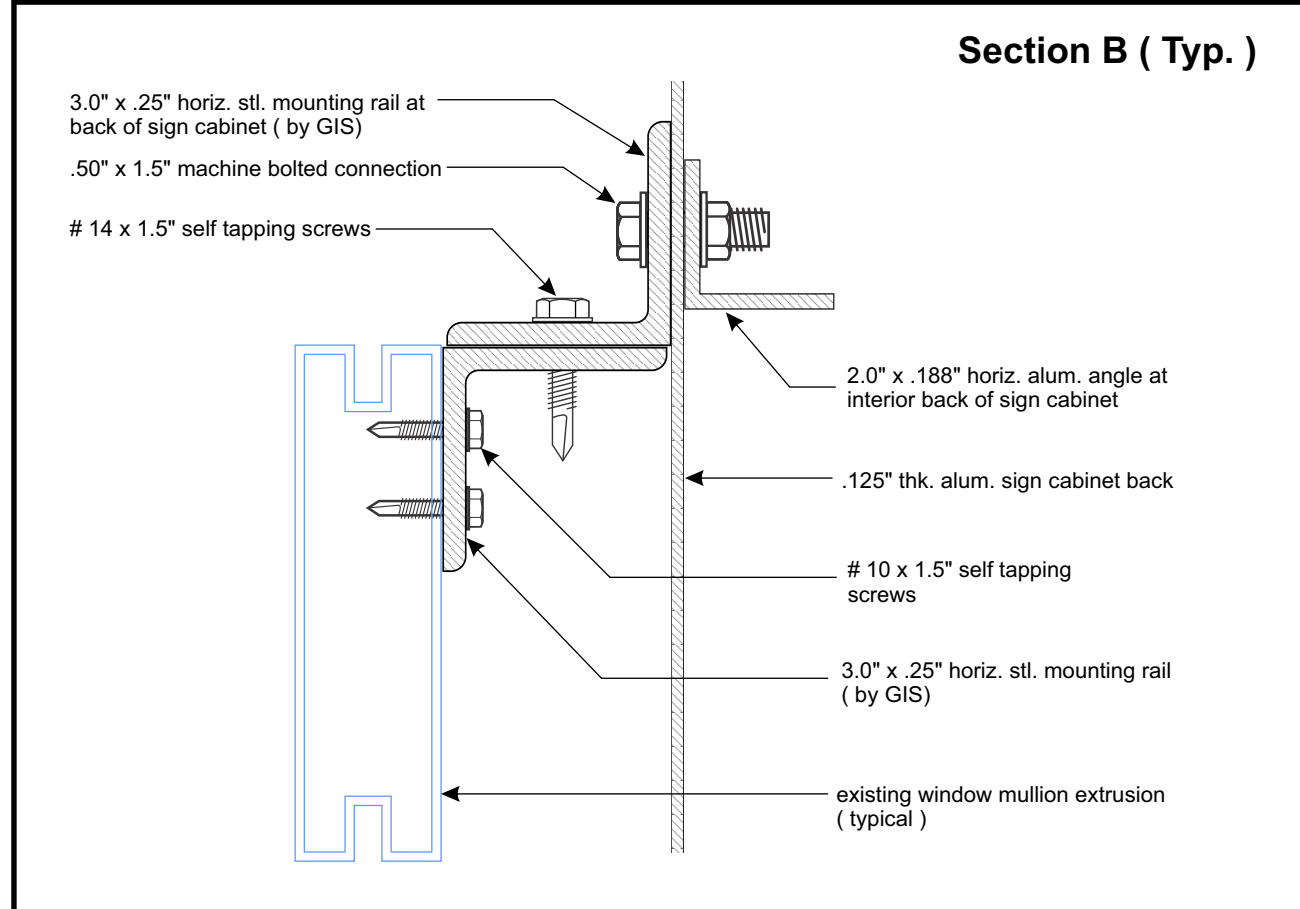
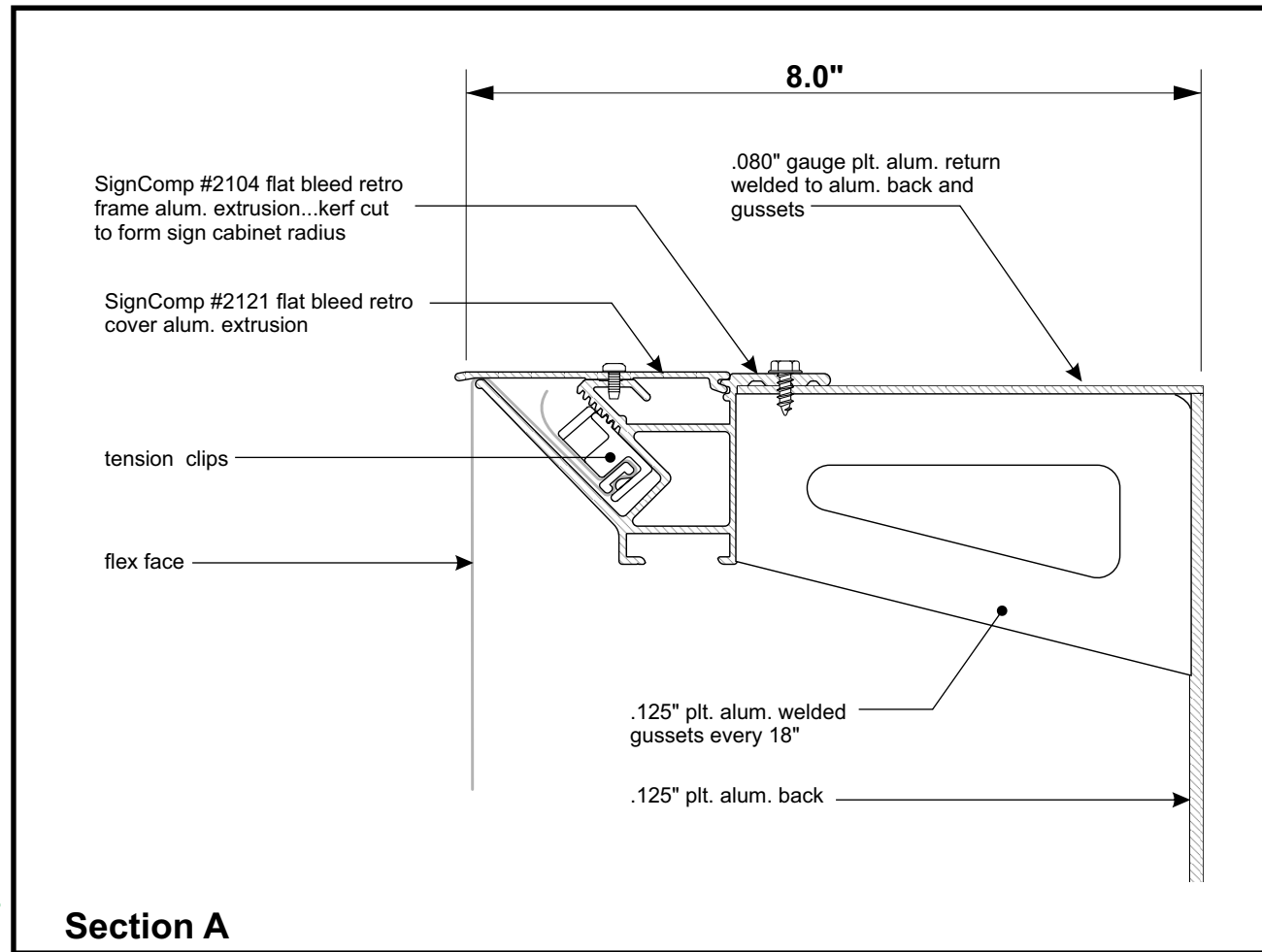
CLIENT SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

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A...Logo Signage Details ( Typ )...NTS



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 fax 413.443.0034  
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 gisigns.com



Sales Rep: J. Renzi  
 Job Name: Big Y  
 Job Location: Franklin, MA  
 Sheet: 3 of 7  
 Date: 6/20/22  
 Job #:   
 Scale: as noted  
 Drawn by: LH

Big Y  
 348 Main Street  
 Franklin, MA  
 Rev 7/5/23

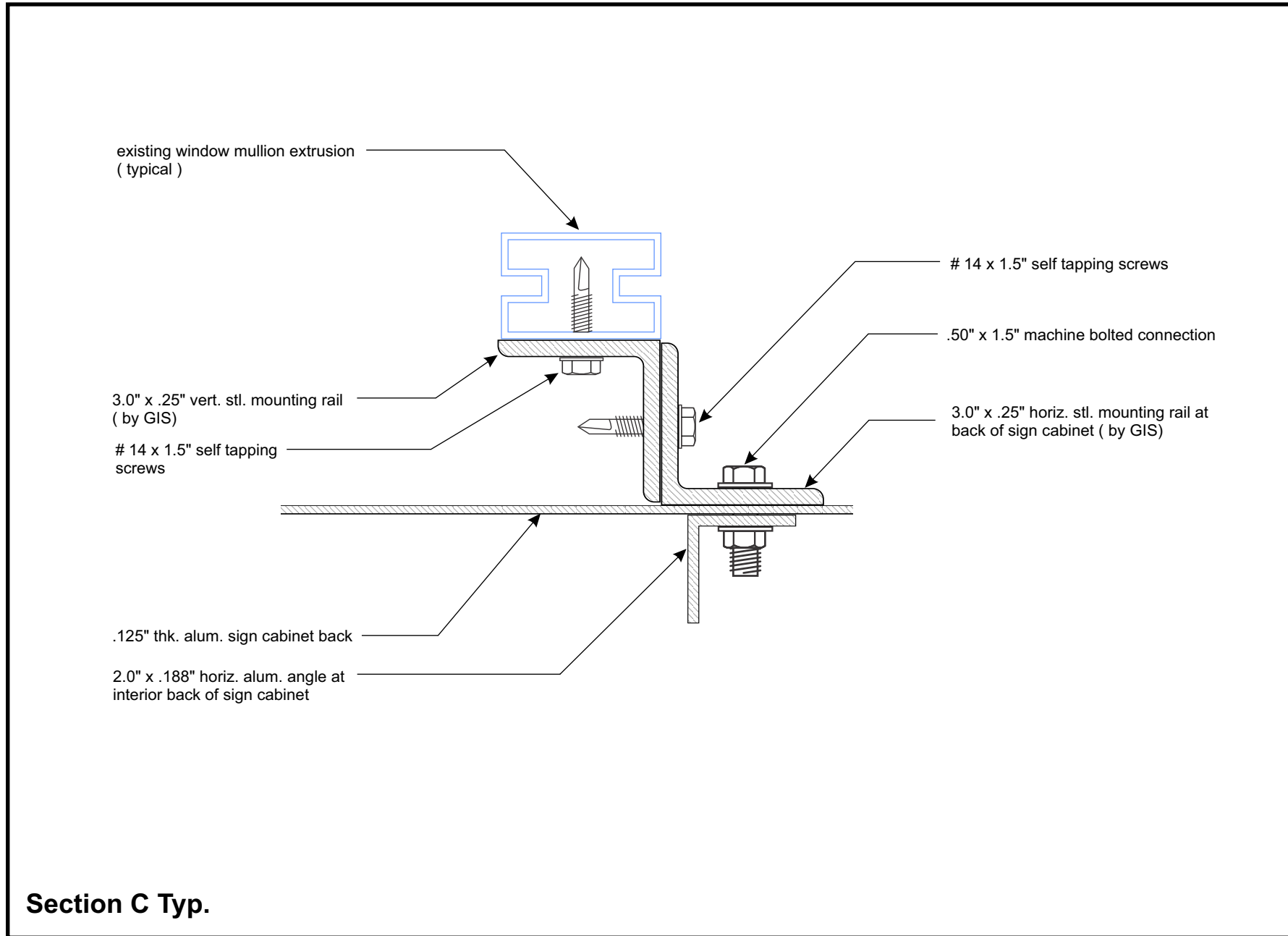
APPROVED

APPROVED AS NOTED

CLIENT SIGNATURE \_\_\_\_\_

DATE \_\_\_\_\_

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Sales Rep: J. Renzi  
Job Name: Big Y  
Job Location: Franklin, MA  
Sheet: 4 of 7  
Date: 6/20/22  
Job #:  
Scale: as noted  
Drawn by: LH

**Big Y**  
348 Main Street  
Franklin, MA  
Rev 7/5/23

APPROVED  
 APPROVED AS NOTED

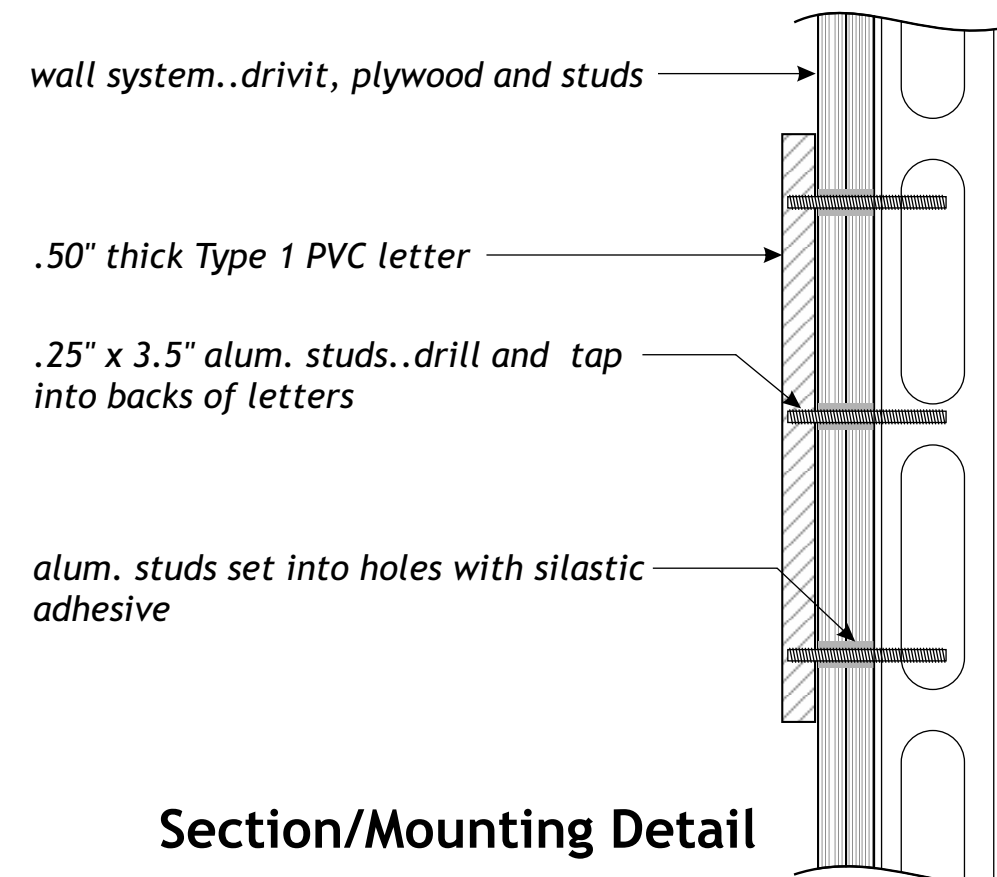
CLIENT SIGNATURE  
DATE

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**B...(1)...Set " YOUR FAMILY MARKET " Dimensional Letter Signage...NTS 20.5 sq. ft.**

\* .50" thick CAM routed Type 1 PVC letters painted Satin Black...mount flush to fascia with aluminum studs and silastic adhesive



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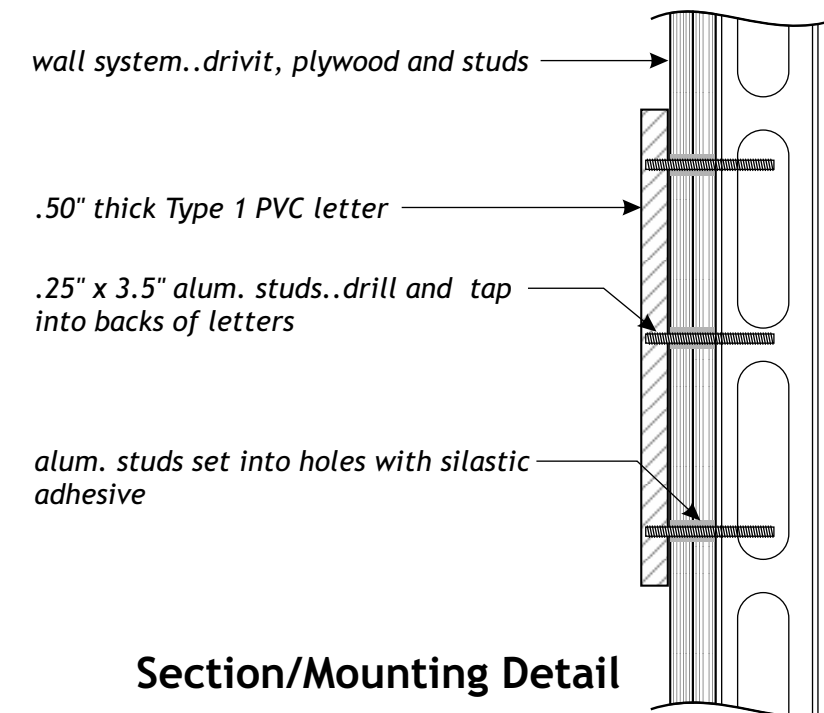
Sales Rep: J. Renzi  
Job Name: Big Y  
Job Location: Franklin, MA  
Sheet: 5 of 7  
Date: 6/20/22  
Job #:   
Scale: as noted  
Drawn by: LH

**Big Y**  
348 Main Street  
Franklin, MA  
Rev 7/5/23

APPROVED  
 APPROVED AS NOTED

CLIENT SIGNATURE \_\_\_\_\_  
DATE \_\_\_\_\_

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Section/Mounting Detail

Existing



Existing ( to be removed )



**C...(1)...Set " WINE & BEER " Dimensional Letter Signage...NTS 19.0 sq. ft.**

\* .50" thick CAM routed Type 1 PVC letters painted Satin Black...mount flush to fascia with aluminum studs and silastic adhesive

**D...(1)...Set " TABLE & VINE " Dimensional Letter Signage...NTS 13.5 sq. ft.**

\* .50" thick CAM routed Type 1 PVC letters painted Satin Black...mount flush to fascia with aluminum studs and silastic adhesive

**graphic impact signs**

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 fax 413.443.0034  
 575 dalton ave. pittsfield, ma 01201  
 gisigns.com

**YOUR FAMILY MARKET**

Sales Rep: J. Renzi  
 Job Name: Big Y  
 Job Location: Franklin, MA  
 Sheet: 6 of 7  
 Date: 6/20/22  
 Job #:   
 Scale: as noted  
 Drawn by: LH

**Big Y**  
 348 Main Street  
 Franklin, MA  
 Rev 7/5/23

APPROVED  
 APPROVED AS NOTED

CLIENT SIGNATURE \_\_\_\_\_  
 DATE \_\_\_\_\_

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BIG Y FRANKLIN - EXTERIOR PAINT PLAN



**remove**

**remove**

**remove**

**remove & replace**

**remove & replace**

**remove**



**remove**

**remove**

**remove**

**remove**

**remove**



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575 dalton ave. pittsfield, ma 01201  
gisigns.com



Sales Rep: J. Renzi  
Job Name: Big Y  
Job Location: Franklin, MA  
Sheet: 7 of 7  
Date: 6/20/22  
Job #:  
Scale: as noted  
Drawn by: LH

Big Y  
348 Main Street  
Franklin, MA  
Rev 7/5/23

APPROVED  
 APPROVED AS NOTED

CLIENT SIGNATURE \_\_\_\_\_  
DATE \_\_\_\_\_

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**D...Re-Face Double Sided Illuminated Tenant Pylon Sign.....NTS**

- \* .188" thk. white polycarbonate sign faces....add 2.5" horizontal divider bar...paint satin white
- \* Big Y logo to be translucent 3M 3630-73 Dark Red and opaque Black
- \* " TABLE & VINE "graphics to be translucent Pantone Green 5753 and Pantone Purple 2623 C
- \* faces designed to fit existing signs 2.0" face retainer system



**graphic impact signs**

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---



**YOUR FAMILY MARKET**

---

Sales Rep: J. Renzi  
Job Name: Big Y  
Job Location: Franklin, MA  
Sheet: 1 of 1  
Date: 6/20/22  
Job #:   
Scale: as noted  
Drawn by: LH

---

**Big Y**  
348 Main Street  
Franklin, MA

---

APPROVED  
 APPROVED AS NOTED

CLIENT SIGNATURE \_\_\_\_\_  
DATE \_\_\_\_\_

---

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**FORM Q**

**TOWN OF FRANKLIN  
DESIGN REVIEW APPLICATION  
FOR §185-31(2) OF THE ZONING BY-LAW**

**A) General Information**

Name of Business or Project: ALPINE PLACE

Property Address 40 Alpine Row

Assessors' Map # 279 Parcel # 181

Zoning District (select applicable zone): Downtown Commercial District

Zoning History: Use Variance \_\_\_\_\_  
Non-Conforming Use \_\_\_\_\_

**B) Applicant Information:**

Applicant Name: NEW GENERATION CUSTOM HOMES CORP

Address: 5 Exchange Street, Suite 4  
Milford, MA 01757

Telephone Number: (508)377-2395

Contact Person: Marcelo Alves

**C) Owner Information (Business Owner & Property Owner if different)**

Business Owner: Marcelo Alves Property Owner: Alpine Place LLC  
Address: 8 Puffer Drive 5 Exchange Street, Suite 4  
Mendon, MA 01756 Milford, MA 01757

All of the information is submitted according to the best of my knowledge  
Executed as a sealed instrument this \_\_\_\_\_ day of June 2023

\_\_\_\_\_  
Signature of Applicant  
Marcelo Alves  
Print name of Applicant

\_\_\_\_\_  
Signature of Owner  
Marcelo Alves  
Print name of Owner

**\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**  
**FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 – 4**

**SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q**

**D) Architect/Engineer/Sign Company Information (if not the applicant)**

**a. Sign Company**

Business Name: Dennis Colwell Architects

Contact Person: Bob Boynton bob@dc-architect.com

Address 132 Central Street, Suite 203, Foxborough, MA 02035

Telephone Number: (508)241-2122 x104

**b. Architect/Engineer (when applicable)**

Business Name: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Address \_\_\_\_\_

Telephone Number: \_\_\_\_\_

**E) Work Summary**

Summary of work to be done:

Renovating existing office building with new offices and warehouse space

Construction of new mixed-use 28-unit apartment building w/ ground level parking and commercial space

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Mkinhart@franklinma.gov**

1. Drawing of Proposed Sign which must also include  
type of sign (wall, pylon etc.)      colors  
size/dimensions                              materials  
style of lettering                              lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

**b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:**

**THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.gov**

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

## DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. **The proposed apartment building is a residential apartment building with architectural features/elements that complement the existing neighborhood. The existing commercial building has been vacant for some time and new owner is looking to set up their personal business in that on**\_\_\_\_\_

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2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. **The apartment building will have double-hung windows and glass sliders that are similar to other properties around. The existing commercial building has existing storefront that will be repaired/replaced** \_\_\_\_\_

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3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. **The existing streetscape has buildings close to the street. The proposed apartment building mimics this with the proposed commercial space being accessed directly from the street with an adjacent patio for people to use**\_\_\_\_\_

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4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. **The proposed apartment building will have a mansard roof compatible with existing properties in the area. The existing commercial building has an existing flat roof but we will be altering the geometry of exiting front canopy to provide more cub appeal (proposed sloped metal roof)**\_\_\_\_\_

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5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. **While larger than adjacent properties, the proposed apartment building meets all the criteria of the current bylaw and is similar in scale to other newer properties in the area**

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6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: **The proposed apartment is broken up architecturally (materials/banding/trim/balconies) so as to fit within the context of the surrounding area. Existing commercial space will have the existing masonry façade altered to soften its look and fit better with the surrounding buildings**\_\_\_\_\_

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7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. **\_All proposed site/building elements, colors, and textures, signs, materials will fit in with fabric of the current neighborhood and will embrace and enhance it**

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8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. **Any proposed signage/advertising will not detract from the neighborhood.** \_\_\_\_\_  
\_\_\_\_\_

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. **No know heritage elements to be impacted by proposed work** \_\_\_\_\_  
\_\_\_\_\_

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. **Proposed apartment building will fall under the latest IECC energy codes and will be equipped with high efficiency doors, windows, HCAV equipment, The existing building will have new updated equipment installed that will operate at a higher efficiency than what is currently in place**

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible. **Currently there is minimal landscaping as the existing site has a lot of pavement. The proposed landscaping will be an improvement on what is currently there and will fit within the surrounding neighborhood**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.**

## ADDENDA

### **INSTRUCTIONS FOR COMPLETION OF FORM Q-DESIGN REVIEW APPLICATION**

#### A. General Information

- Please list name of Business as it will appear on sign or name of project or development, as the case may be, as well as the property address
- Assessors' Map & Parcel numbers may be obtained from tax bill, Town website @ [www.franklin.ma.us/Town/Assessors/PropertyTax](http://www.franklin.ma.us/Town/Assessors/PropertyTax) or from the computer located outside the Assessor's Office, first floor, Municipal Building, 355 East Central Street.
- Zoning District and Zoning History information may be obtained at the Building Department, 1<sup>st</sup> floor, Municipal Building

#### B. Applicant Information – complete and include name of contact person w/ phone number

#### C. Owner Information – if business owner and property owner are not the same, please include information for both. If signage is within a shopping plaza—obtain letter of approval of sign changes from plaza owner.

#### Page 2 –

#### D. Architect/Engineer or Sign Company Information:

- Signs only – Name of Sign Company and Contact Person
- Developments & Projects – Engineer and Architect Information as well

#### E. Work Summary: Include brief summation of work to be done

#### Pages 3 & 4

#### F. Information & Materials to be Submitted via email (Mkinhart@franklinma.gov) w/Application

##### a) SIGNS ONLY –

- sign drawings and photos, which include information listed on Page 2 of the application

##### b) SITE PLAN APPLICATIONS FOR BUILDINGS/DEVELOPMENTS/PROJECTS.

- all plans including information listed on Page 2 of application.
- Please bring samples of siding and roofing materials and paint color samples to the meeting when scheduled.

**DESIGN STANDARDS** – For Buildings/Projects and Developments, please complete Pages 3 and 4 as they apply to your project.

ALL APPLICATIONS WITH SUPPLEMENTARY INFORMATION MUST BE FILED BY 4:00 PM ON THE WEDNESDAY PRIOR TO THE FOLLOWING TUESDAY MEETING. MEETINGS ARE GENERALLY TWICE A MONTH THE 2<sup>ND</sup> & 4<sup>TH</sup> TUESDAY OF THE MONTH.

**FOR SIGN APPLICATIONS ONLY, YOU NEED ONLY COMPLETE PAGES 1 & 2 OF APPLICATION.**

# THE ENGINE YARD

## SITE REDEVELOPMENT

### 40 ALPINE ROW

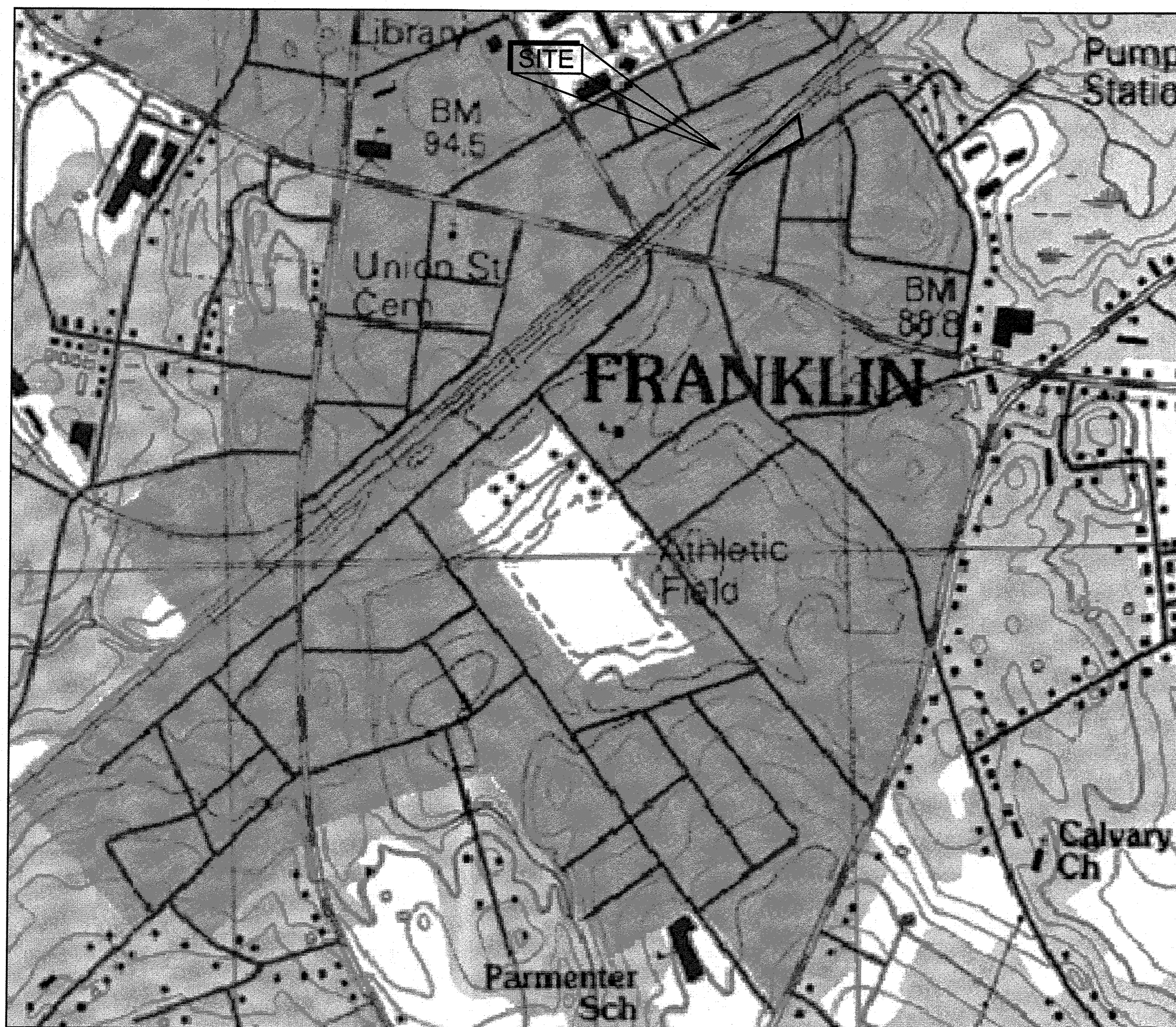
### FRANKLIN, MASSACHUSETTS

APPROVED DATE: 11/1/21  
FRANKLIN PLANNING BOARD

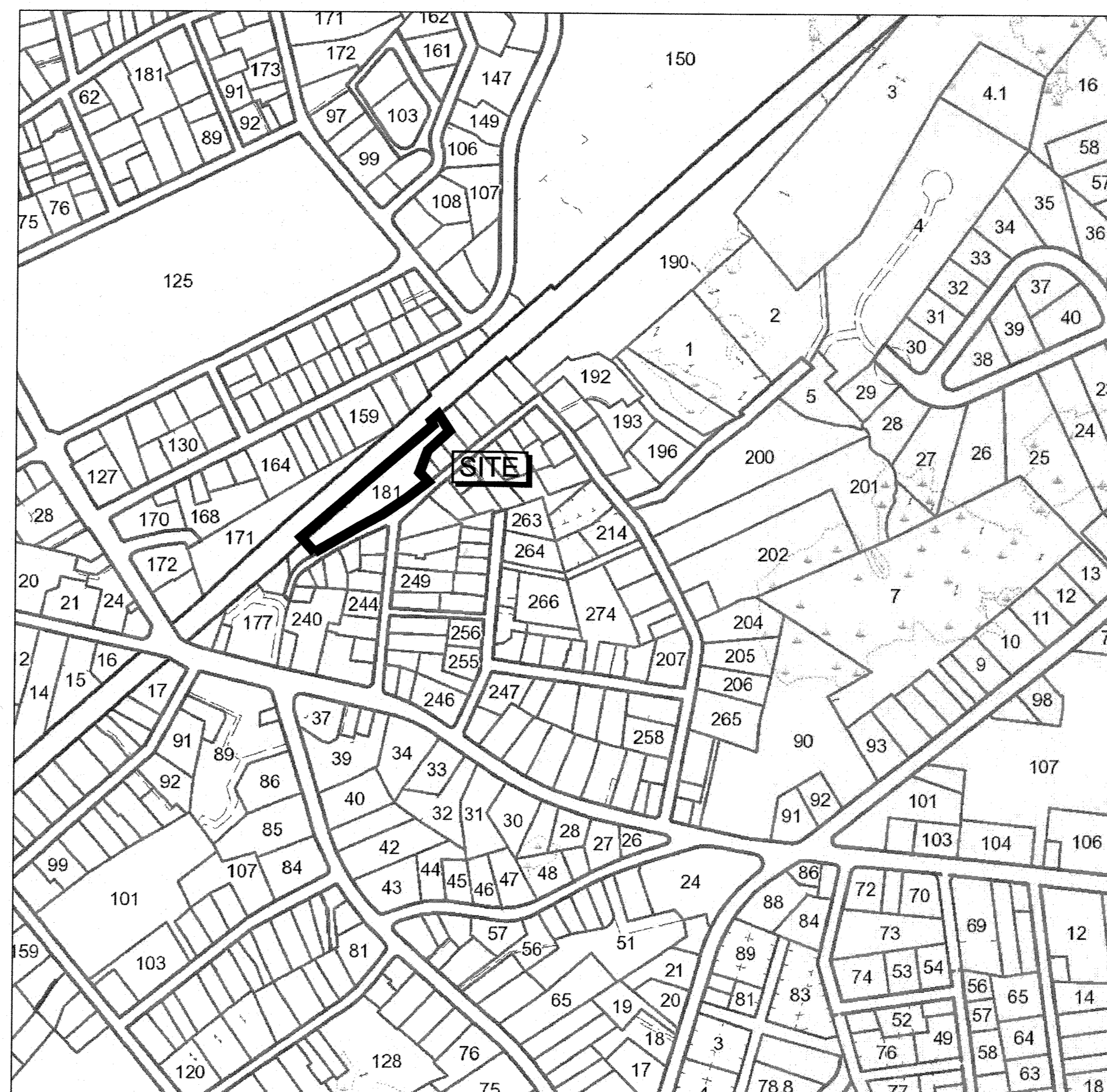
*[Signature]*

DATE: 1/10/22  
BEING A MAJORITY

NO	DATE	REVISIONS
1	06/21/2021	PERMITTING SUBMISSION
2	09/13/2021	RESPONSE TO COMMENTS
3	10/04/2021	RESPONSE TO COMMENTS
4	10/19/2021	RESPONSE TO COMMENTS
5	11/30/2021	APPROVAL CONDITIONS



USGS MAP  
SCALE: 1" = 1,000' ±



ASSESSORS MAP  
SCALE: 1" = 250' ±

**APPLICANT:**

WALKER DEVELOPMENT & CONSTRUCTION  
5 MT. ROYAL AVE  
MARLBOROUGH, MA 01752

**CIVIL ENGINEER:**

**LEVEL**  
DESIGN GROUP  
CIVIL ENGINEERING / LAND SURVEYING  
UNIT 1  
249 SOUTH STREET  
PLAINVILLE, MA 02762  
TEL. (508) 695-2221 FAX. (508) 695-2219

**PROPERTY ADDRESS:**

40 ALPINE ROW  
FRANKLIN, MASSACHUSETTS

**ASSESSORS MAP/PARCEL:**

279-181-000-000

**ZONING DISTRICT:**

DOWNTOWN COMMERCIAL

**DRAWING LIST:**

- C-0.0 COVER
- C-1.0 EXISTING CONDITIONS
- C-2.0 LAYOUT AND MATERIALS
- C-3.0 GRADING AND UTILITIES
- C-3.1 EROSION CONTROL
- C-4.0 TYPICAL DETAILS
- C-4.1 TYPICAL DETAILS
- LA-01-LA-04 LANDSCAPE PLANS
- AL-001 PHOTOMETRIC
- A031 EXISTING BUILDING ELEVATIONS
- A200 EXTERNAL ELEVATIONS
- A201 EXTERNAL ELEVATIONS
- A202 EXTERNAL ELEVATIONS
- A210 EXTERNAL SIGNAGE
- A910 PROPOSED BUILDING RENDERINGS

**Town of Franklin**  
PLANNING BOARD  
RECEIVED  
NOV 16 A 6 22

November 5, 2021  
Nancy Daniels, Town Clerk  
Town of Franklin  
355 East Central Street  
Franklin, MA 02038

**CERTIFICATE OF VOICE**  
Site Plan Modification  
40 Alpine Row

Site Plan: "The Engine Yard, Site Redevelopment, 40 Alpine Row"

Owner: Landscape Network, LLC  
99 Highland Street  
Franklin, MA 02038

Applicant: Walker Development & Construction, Inc.  
5 Mount Royal Ave, Suite 49  
Marlborough, MA 01752

Prepared By: Level Design Group, Plainville, MA  
Date: June 21, 2021  
Property Location: 40 Alpine Row  
Map 279 Lot 181

Dear Mrs. Daniels:  
Please be advised that at its meeting on Monday, November 1, 2021 the Planning Board voted (6-0-1), upon motion duly made and seconded to APPROVE, with conditions, the above referenced Site Plan. The Conditions of Approval are listed on page 2-3, attached hereto. Both the Certificate of Voice as well as the conditions of approval shall be referenced on the site plan.

Sincerely,  
*[Signature]*  
Franklin Planning Board

cc: Owner/Applicant/Applicant's Engineer

Page 1 of 3

**CERTIFICATE OF VOICE**  
Site Plan Modification  
40 Alpine Row

- The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's Inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
- Actual and reasonable cost of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form D). Said inspections to further extend in condition #1.
- No alteration of these plans shall be made or effected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written consent decision.
- All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
- Prior to the submission of this site plan, the following shall be done:
  - The owner/applicant shall provide the entire list of conditions and this Certificate of Voice on the front page of the plans.
  - A notation shall be made on the plans that all erosion control measures shall be in place prior to major construction or soil disturbance commencing on the site.
  - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Department of the Town relative to their review of the owner/applicant's specification and plans shall have been paid in full.
- All required improvements specified in this Certificate of Voice shall be constructed within a one-year period unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all improvements of the approved plans have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #1.
- Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his/her agent shall be responsible for all cleanup of the roadway. All cleanup shall occur within twenty-four (24) hours after first written notification in the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.
- The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.
- Maintenance and repair of the parking area, water supply system, sewer pipes, electric distribution system, and storm water system shall be the responsibility of the owner/applicant and shall never be the responsibility of the Town and the Town shall never be required to perform any service, repair or maintenance with respect to said areas, or any of the aforementioned systems within the subject property. The Town will never be required to provide snow plowing or trash picking, with respect to the subject property.

Page 2 of 3

- Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant and his contractor(s), the Department of Public Works and the Planning Board's Observation Contractor.

**CERTIFICATE OF VOICE**  
Special Conditions  
40 Alpine Row

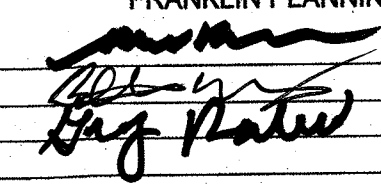
- BETA recommends a condition that requires guardrail to be installed at all parking stalls adjacent to the railroad right-of-way or retaining walls.
- Provide fencing for full protection where walls exceed 30" in height and/or along the entirety of the railroad right-of-way where none exists today.
- Final wall design to be provided at the start of construction to confirm parking stall lengths will not be impacted by the wall, fence or guardrail.
- Final plans to provide a ramp at westerly accessible side prior to endorsement.
- All easements to be in place to the satisfaction of the DPW prior to the issuance of a certificate of occupancy.
- All roof top units should be screened in accordance with the Proposed Roof Plan, dated October 8, 2021.
- Provide a detailed grading at bases of retaining wall at the time of construction adjacent to residential properties to ensure positive drainage.
- Applicant will provide pavement per §90A-10(4).
- DPW and Applicant are to resolve the encroachment issue prior to the start of construction.

Page 3 of 3

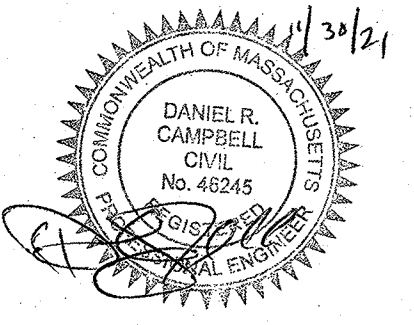
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EXISTING	PROPOSED
100	100
D	D
W	W
E	E
G	G
S	S
H	H
SM	SM
DM	DM
V	V
CB	CB
C	C
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HP	HP
SCB	SCB
L	L
T	T
U	U
P	P
TR	TR

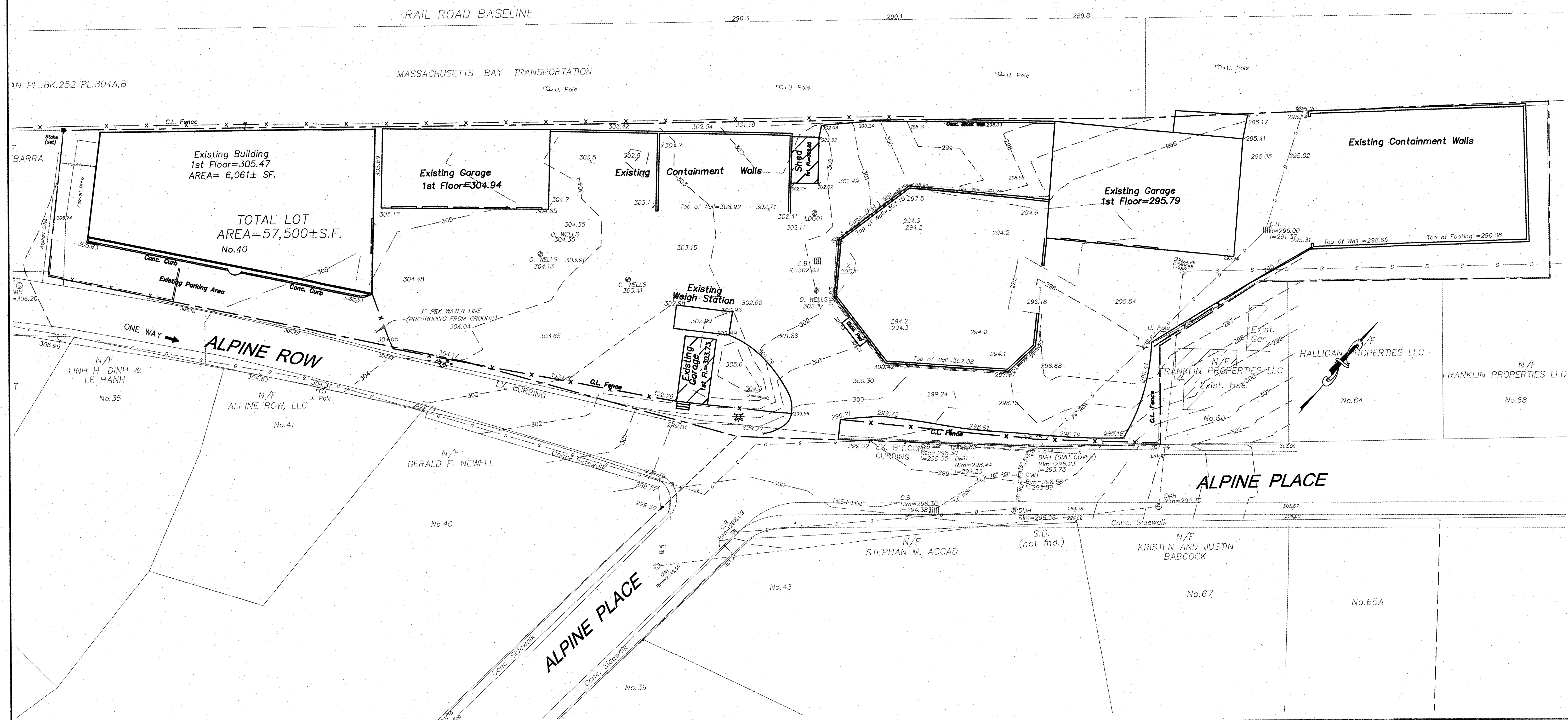
**NOTES:**

- EXISTING CONDITIONS WERE OBTAINED FROM PLANS PREPARED BY GUERRIERE & HALNON, INC. FRANKLIN, MA, ENTITLED "SITE PLAN AND SPECIAL PERMIT, AS-BUILT BREWING, 40 ALPINE ROW, FRANKLIN, MASSACHUSETTS" DATED MAY 6, 2019, AS AMENDED JULY 12, 2019. LDG UTILIZED TOWN GIS AND PERFORMED LIMITED INSTRUMENT SURVEY ON THE DRAIN SYSTEM IN ALPINE PRIOR TO CROSSING THE PROPERTY. THE EXISTING CB'S WE UTILIZED AS A "KNOWN" FOR PURPOSES OF THIS INVESTIGATION.
- THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.

APPROVED DATE: 11/1/21  
 FRANKLIN PLANNING BOARD  
  
 DATE: 1/10/22  
 BEING A MAJORITY

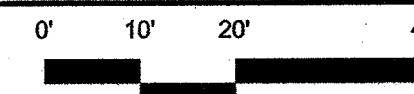
NO	DATE	REVISIONS
1	06/21/2021	PERMIT SUBMISSION
2	09/19/2021	RESPONSE TO COMMENTS
3	10/04/2021	RESPONSE TO COMMENTS
4	10/19/2021	RESPONSE TO COMMENTS
5	11/30/2021	APPROVAL CONDITIONS

SEAL  
  
 DATE: JUNE 21, 2021  
 DRAWN: DRC  
 SCALE: 1"=20'



**THE ENGINE YARD**  
 COMMERCIAL/RESIDENTIAL REUSE  
 PARCEL ID 279-181-000-000  
 40 ALPINE ROW  
 FRANKLIN, MASSACHUSETTS

**LEVEL**  
 DESIGN GROUP  
 CIVIL ENGINEERING / LAND SURVEYING  
 249 SOUTH STREET  
 UNIT 1  
 PLAINVILLE, MA 02762  
 TEL. (508) 885-2221 FAX. (508) 885-2219

**EXISTING CONDITIONS**  
**C-1.0**  
 SHEET 2 OF 8  
  
**1880.00**



LEGEND	
EXISTING	PROPOSED
100	100
CONTOUR	
STORM DRAIN	
WATER	
ELECTRIC MANHOLE	
ELECTRICAL	
GAS	
SANITARY SEWER	
HYDRANT	
SEWER MANHOLE	
DRAIN MANHOLE	
VALVE	
CATCH BASIN	
CURB	
SPOT GRADE	429.5
HP RAMP	
SEDIMENTATION CONTROL BARRIER	
LIGHT POLE	
TREE	
UTILITY POLE	
POST INDICATOR VALVE	
TRAFFIC DIRECTION	

ZONING BY-LAW REQUIREMENTS			
ZONING DISTRICT: DOWNTOWN COMMERCIAL			
USE: COMMERCIAL/OFFICE / MULTI-FAMILY HOUSING			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	5,000	57,500	
MIN. LOT FRONTAGE	50'	332.88'	
FRONT YARD SETBACK	5'	19.0' / 5.5'	
SIDE YARD SETBACK	0'	14.4' / 34.9'	
REAR YARD SETBACK***	15'	1' / 43.0'	
BUILDING HEIGHT	40'	16' / 38'	
% OF LOT UPLAND COVERAGE			
STRUCTURES	80%	21.1% / 31.8%	
STRUCTURES & PAVEMENT	90%	92.8% / 78.5%	
PARKING REQUIREMENTS			
USE: MULTI-FAMILY (28 UNITS)	42		
1.5 SPACES / UNIT			
USE: COMMERCIAL (6,061± S.F.)	12.12		
1 SPACE / 500 S.F.			
USE: COMMERCIAL (1,500± S.F.)	3		
1 SPACE / 500 S.F.			
REGULAR SPACES			65
HANDICAP SPACES			4
TOTAL SPACES			69

**NOTES:**

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- THIS SITE IS NOT WITHIN THE WATER RESOURCE DISTRICT.
- A PRE-CONSTRUCTION MEETING WITH THE DPW IS REQUIRED.
- ALL STRIPING AND SIGNAGE SHALL CONFORM TO THE MUTCD.
- THE ARCHITECT OR THEIR ASSIGNS WILL PROVIDE PLANS AND CALCULATIONS FOR THE PROPOSED FIRE PROTECTION.

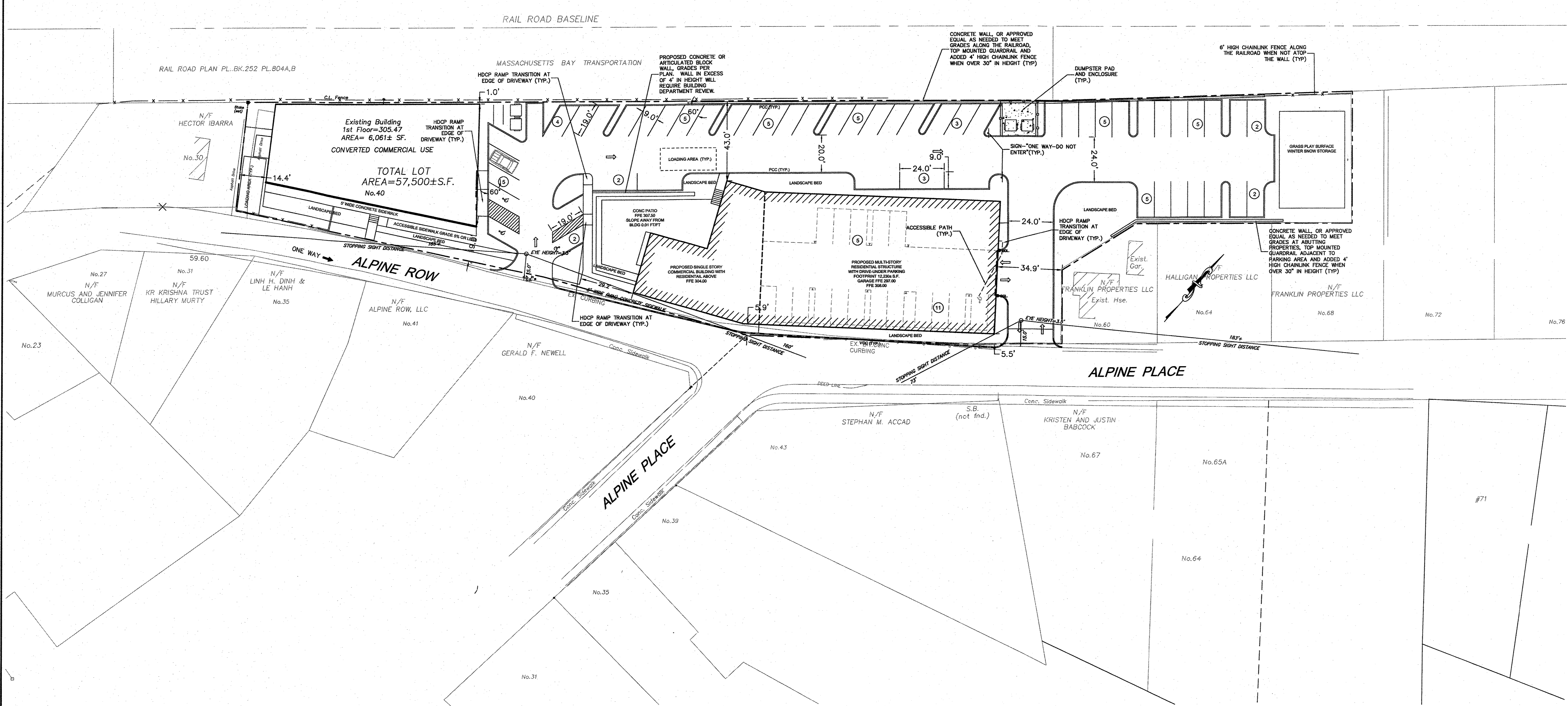
**FENCE AND GUARDRAIL NOTES:**

- GUARDRAIL SHALL BE INSTALLED AT ALL PARKING STALLS ADJACENT TO THE RAILROAD RIGHT-OF-WAY.
- GUARDRAIL SHALL BE INSTALLED AT ALL PARKING STALLS ADJACENT TO THE RETAINING WALLS.
- FENCING SHALL BE INSTALLED FOR FALL PROTECTION ALONG ANY WALL IN EXCESS OF 30" IN HEIGHT. THE FENCE SHALL BE A MINIMUM OF 48" IN HEIGHT.
- FENCING SHALL BE INSTALLED ALONG THE RAILROAD RIGHT-OF-WAY IN ALL LOCATIONS WHERE THERE WOULD OTHERWISE BE A GAP IN FENCE ALONG THE RIGHT-OF-WAY.

APPROVED DATE: 11/1/21  
FRANKLIN PLANNING BOARD  
*[Signature]*  
DATE: 1/10/22  
BEING A MAJORITY

NO	DATE	REVISIONS
1	08/21/2021	PERMIT SUBMISSION
2	09/13/2021	RESPONSE TO COMMENTS
3	10/04/2021	RESPONSE TO COMMENTS
4	10/19/2021	RESPONSE TO COMMENTS
5	11/30/2021	APPROVAL CONDITIONS

DATE: JUNE 21, 2021  
DRAWN: DRC  
SCALE: 1" = 20'



**THE ENGINE YARD**  
COMMERCIAL/RESIDENTIAL REUSE  
PARCEL ID 279-181-000-000  
40 ALPINE ROW  
FRANKLIN, MASSACHUSETTS

**LEVEL**  
DESIGN GROUP  
CIVIL ENGINEERING / LAND SURVEYING  
249 SOUTH STREET  
UNIT 1  
PLAINVILLE, MA 02762  
TEL. (508) 695-2221 FAX. (508) 695-2219

LAYOUT & MATERIALS  
**C-2.0**  
SHEET 3 OF 8  
0' 10' 20' 40'  
**1880.00**

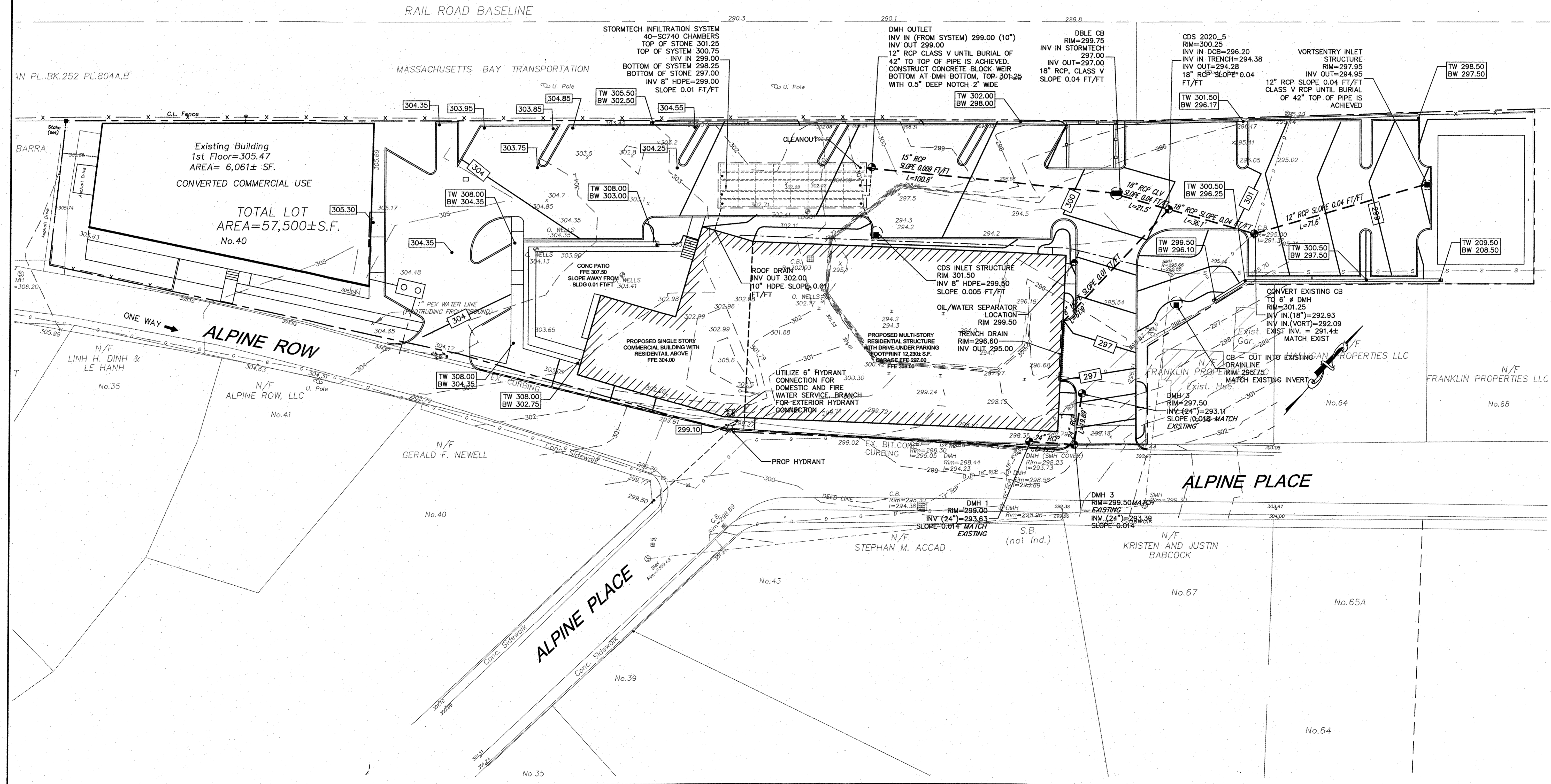
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EXISTING	PROPOSED
100	100
D	D
W	W
E	E
G	G
S	S
Hydrant	Hydrant
Manhole	Manhole
Valve	Valve
Catch Basin	Catch Basin
Curb	Curb
Spot Grade	Spot Grade
HP Ramp	HP Ramp
Sedimentation Control Barrier	Sedimentation Control Barrier
Light Pole	Light Pole
Tree	Tree
Utility Pole	Utility Pole
Post Indicator Valve	Post Indicator Valve
Traffic Direction	Traffic Direction

- NOTES:**
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  - THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.
  - CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN THE DESIGN PLANS PRIOR TO THE START OF CONSTRUCTION.
  - ALL EXISTING PAVEMENT SHALL BE SAWCUT PRIOR TO REMOVAL.
  - ALL EXISTING PAVEMENT, CURB, WALKS, UTILITIES, LIGHT POLES, TREES, SHRUBS, ETC., SHALL BE REMOVED FROM THE AREAS TO BE DEVELOPED. ALL SUCH ITEMS NOT WITHIN THE WORK AREA SHALL BE PROTECTED AND UNDISTURBED.
  - ALL DISTURBED AREAS NOT RECEIVING IMPROVEMENTS SHALL BE LOAMED AND SEEDED.
  - ALL CONSTRUCTION AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS. INCLUDING BUT NOT LIMITED TO THE TOWN OF FRANKLIN, THE COMMONWEALTH OF MASSACHUSETTS AND ANY OTHER AGENCIES HAVING JURISDICTION.

APPROVED DATE: 11/1/21  
 FRANKLIN PLANNING BOARD  
 [Signature]  
 DATE: 1/10/22  
 BEING A MAJORITY

NO	DATE	REVISIONS
1	08/21/2021	PERMIT SUBMISSION
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3	10/04/2021	RESPONSE TO COMMENTS
4	10/19/2021	RESPONSE TO COMMENTS
5	11/30/2021	APPROVAL CONDITIONS

DATE: JUNE 21, 2021  
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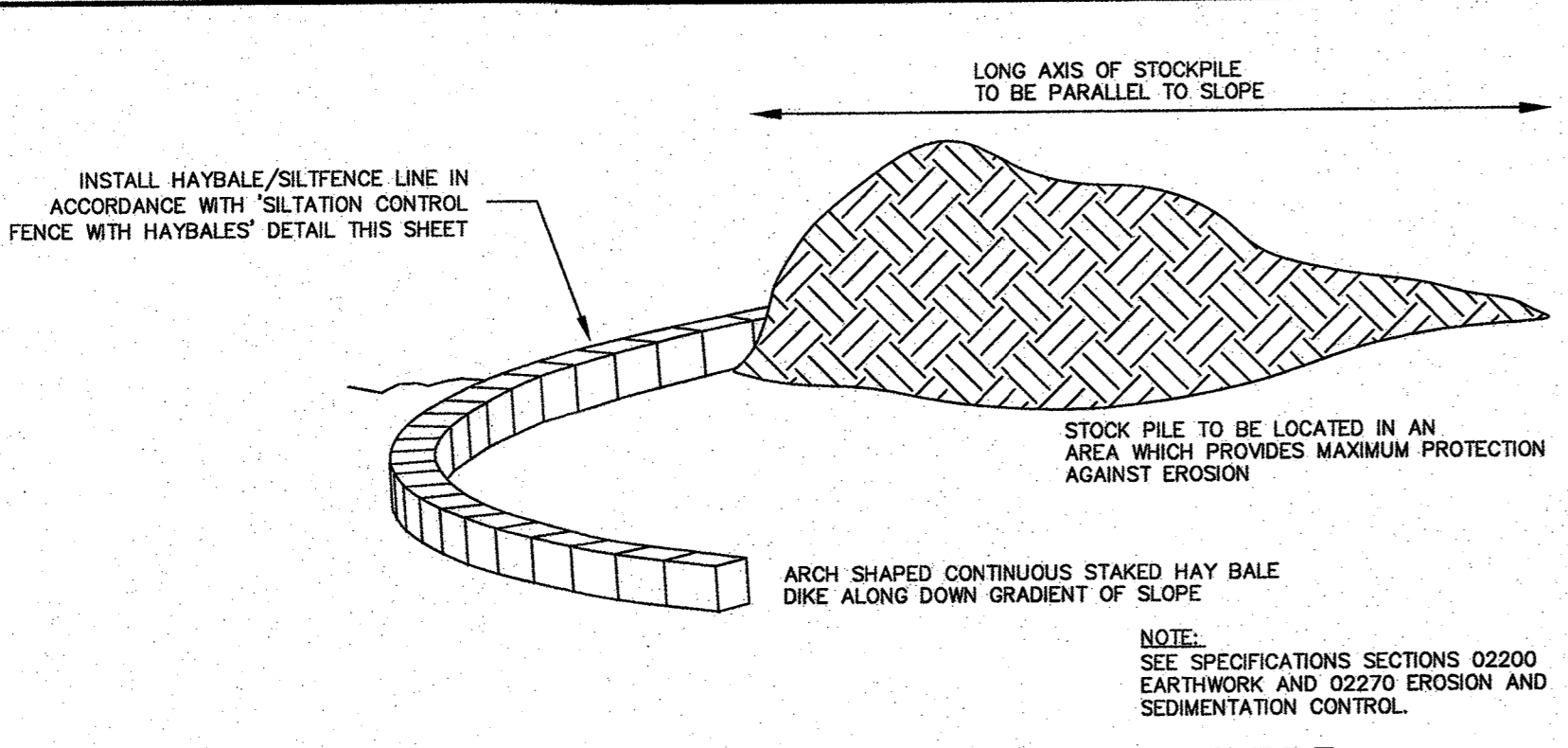
**GRADING & UTILITIES**

**C-3.0**  
 SHEET 4 OF 8

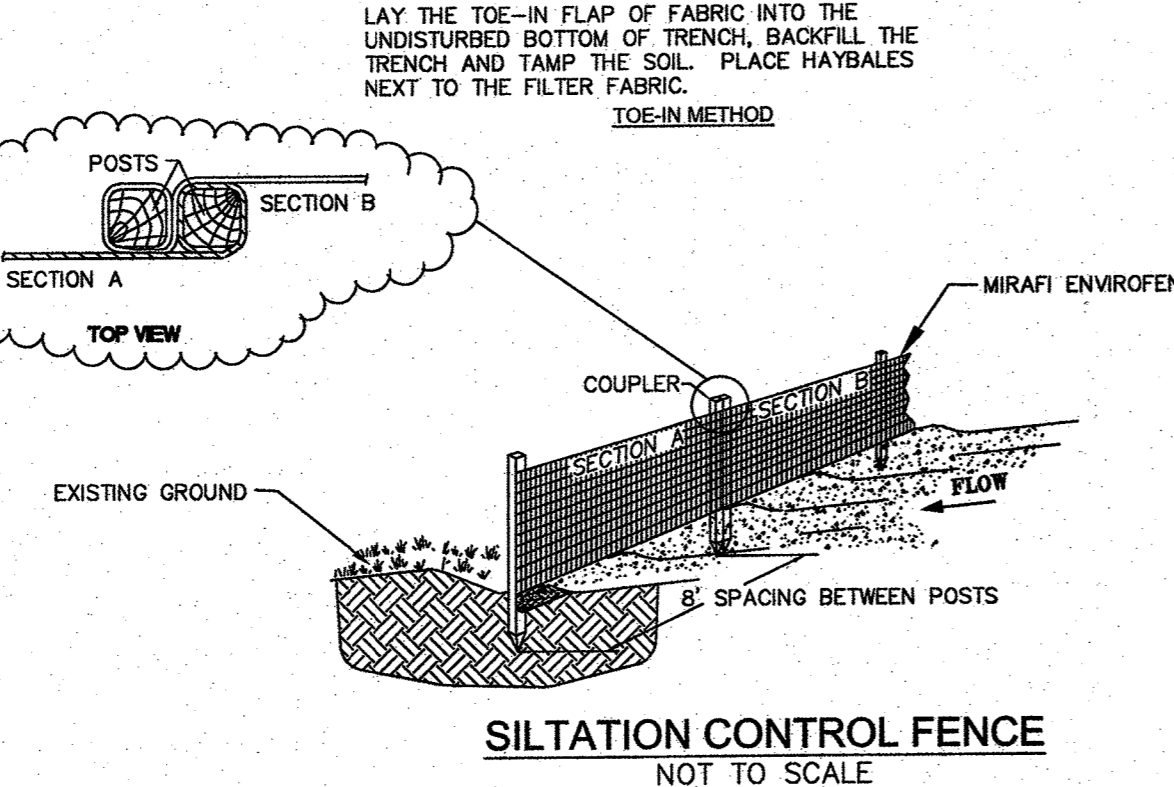
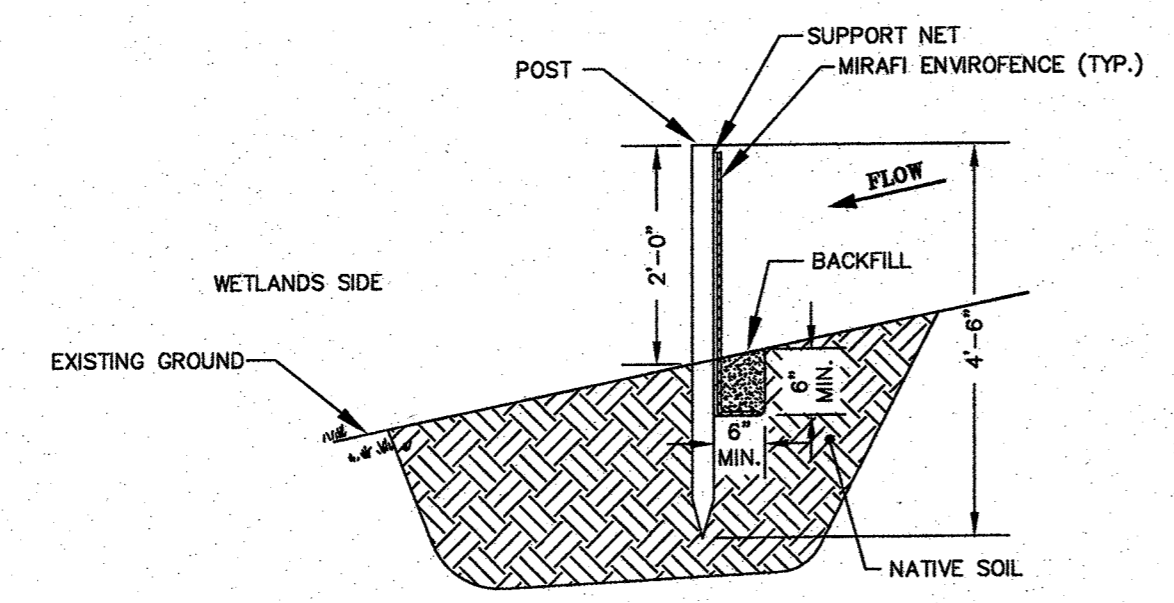
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**1880.00**

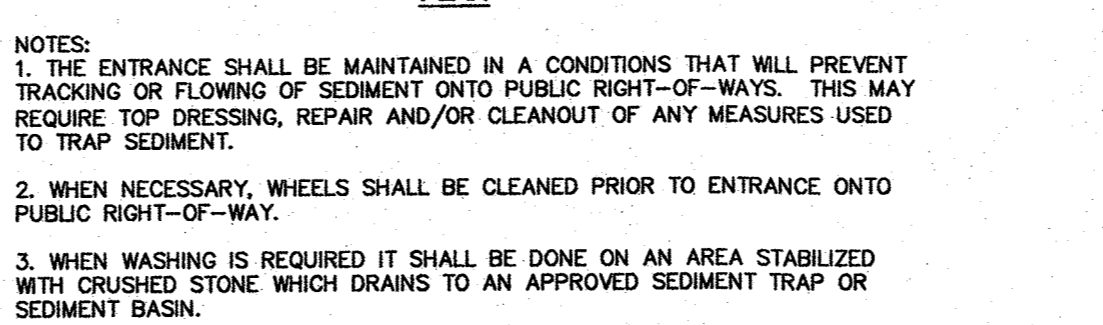
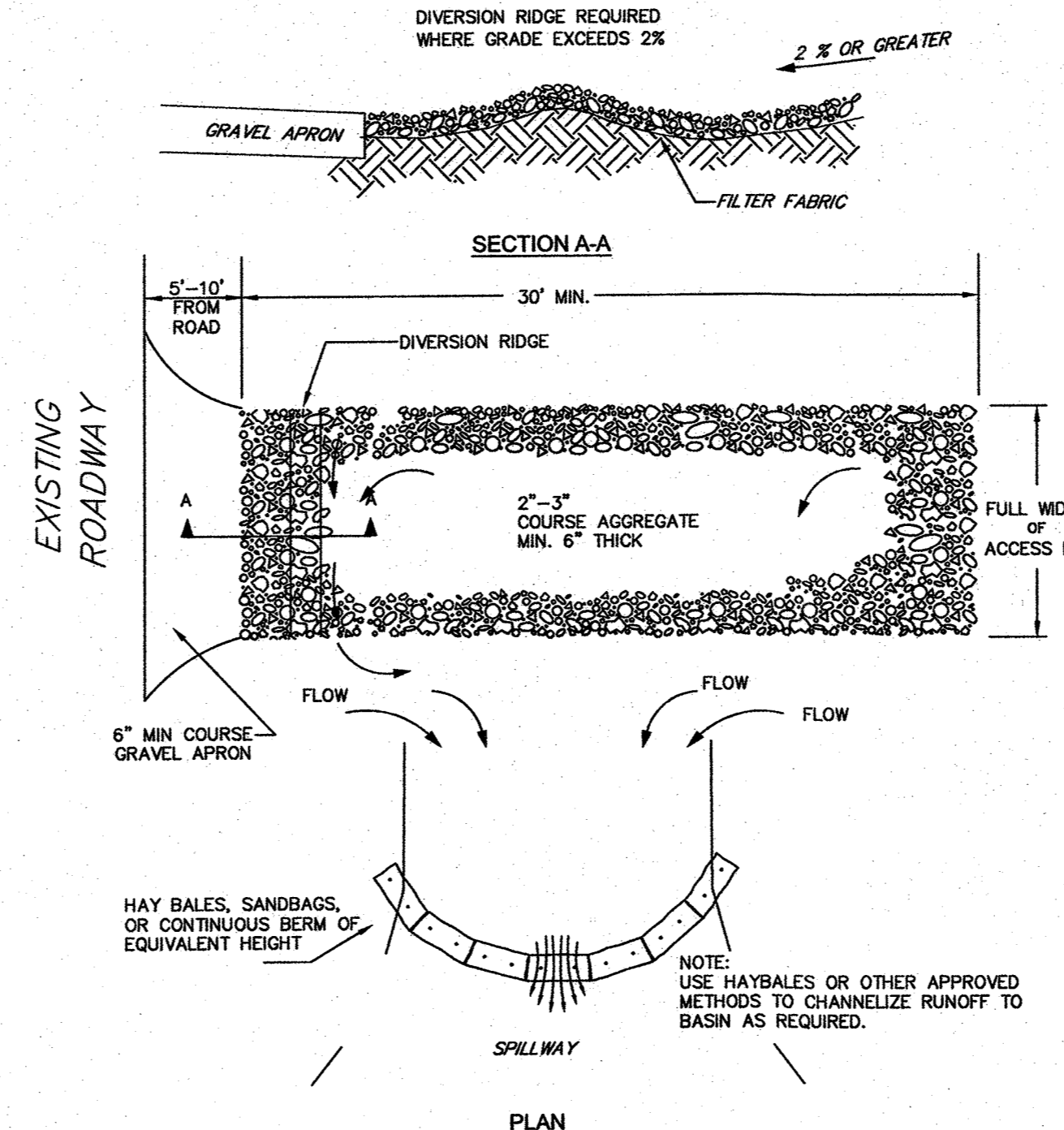
LEGEND	
EXISTING	PROPOSED
100	100
D	D
W	W
E	E
G	G
S	S
H	H
SM	SM
DM	DM
V	V
CB	CB
429.5	429.5
HP RAMP	HP RAMP
SEDIMENTATION CONTROL BARRIER	SEDIMENTATION CONTROL BARRIER
LIGHT POLE	LIGHT POLE
TREE	TREE
UTILITY POLE	UTILITY POLE
POST INDICATOR VALVE	POST INDICATOR VALVE
TRAFFIC DIRECTION	TRAFFIC DIRECTION



**TEMPORARY MATERIAL STOCKPILE**  
NOT TO SCALE



**TEMPORARY CONSTRUCTION ENTRANCE/EXIT DETAIL**  
NOT TO SCALE



**SPILLWAY**  
NOT TO SCALE

- GENERAL NOTES:**
- REFER TO SHEET C-1.0 FOR EXISTING CONDITIONS AND PROPERTY BOUNDARY NOTES.
  - REFER TO SHEET C-2.0 FOR CONSTRUCTION SEQUENCE AND NOTES.

APPROVED DATE: 11/1/21  
FRANKLIN PLANNING BOARD  
*[Signature]*  
DATE: 1/10/22  
BEING A MAJORITY

**EROSION CONTROL NOTES**

**SILTATION CONTROL USING EROSION CONTROL FENCE WITH STRAW WATTLE OR APPROVED EQUAL**  
EROSION CONTROL LINE IS TO BE VISUALLY INSPECTED AFTER EVERY RAIN FALL AND REPAIRS MADE AS REQUIRED TO THE SILTATION CONTROL FENCE AND STRAW WATTLE AFTER EACH RAIN FALL. CLEANOUT OF ACCUMULATED SEDIMENT BEHIND THE WATTLE IS NECESSARY IF 1/2 OF THE ORIGINAL HEIGHT OF THE WATTLE APPEARS TO HAVE BEEN INUNDATED WITH SEDIMENT.

**PRESERVE TOPSOIL**

SITE OWNERS AND OPERATORS MUST PRESERVE EXISTING TOPSOIL ON THE CONSTRUCTION SITE TO THE MAXIMUM EXTENT FEASIBLE AND AS NECESSARY TO SUPPORT HEALTHY VEGETATION, PROMOTE SOIL STABILIZATION, AND INCREASE STORMWATER INFILTRATION RATES IN THE POST-CONSTRUCTION PHASE OF THE PROJECT.

**STABILIZATION OF SOILS**

UPON COMPLETION AND ACCEPTANCE OF SITE PREPARATION AND INITIAL INSTALLATION OF EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES, THE OPERATOR SHALL INITIATE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION PRACTICES DURING ALL PHASES OF CONSTRUCTION ON ALL DISTURBED AREAS AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED. SLOPES IN EXCESS OF 3:1 SHALL HAVE 22 MONTH EROSION CONTROL FABRIC INSTALLED OVER A SLOPE MIX SEED MIX WITH TACKIFIER UNLESS OTHERWISE SPECIFIED.

ANY DISTURBED AREAS THAT WILL NOT HAVE ACTIVE CONSTRUCTION ACTIVITY OCCURRING WITHIN 14 DAYS MUST BE STABILIZED USING THE CONTROL MEASURES DEPICTED IN SITE PLANS, IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, AND PER MANUFACTURER PRODUCT SPECIFICATIONS.

ONLY AREAS THAT CAN BE REASONABLY EXPECTED TO HAVE ACTIVE CONSTRUCTION WORK BEING PERFORMED WITHIN 14 DAYS OF DISTURBANCE WILL BE CLEARED/GRUBBED AT ANY ONE TIME. IT IS NOT ACCEPTABLE TO CLEAR AND GRUB THE ENTIRE CONSTRUCTION SITE IF PORTIONS WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME. PROPER PHASING OF CLEARING AND GRUBBING ACTIVITIES SHALL INCLUDE TEMPORARY STABILIZATION TECHNIQUES FOR AREAS CLEARED AND GRUBBED THAT WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME.

**STORMWATER INLET PROTECTION**

**INLET PROTECTION** - WILL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM ENTERING STORM DRAIN INLETS AND SHALL BE INSTALLED WITHIN BASINS DOWNSTREAM OF DISTURBANCE WITHIN 200' OF THE PROPOSED DISTURBANCE. THESE MEASURES ARE USUALLY TEMPORARY AND ARE IMPLEMENTED BEFORE A SITE IS DISTURBED.

**MAINTENANCE** - THE OPERATOR MUST CLEAN, OR REMOVE AND REPLACE THE INLET PROTECTION MEASURES AS SEDIMENT ACCUMULATES, THE FILTER BECOMES CLOGGED, AND/OR AS PERFORMANCE IS COMPROMISED. ACCUMULATED SEDIMENT ADJACENT TO THE INLET PROTECTION MEASURES SHOULD BE REMOVED BY THE END OF THE SAME WORK DAY IN WHICH IT IS FOUND OR BY THE END OF THE FOLLOWING WORK DAY IF REMOVAL BY THE SAME WORK DAY IS NOT FEASIBLE.

**STORMWATER BASINS** - ALL AREAS CONTAINING STORMWATER BASINS (ABOVE OR BELOW GROUND) SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. THESE AREAS ARE NOT TO BE USED FOR MATERIAL STOCKPILES OR FOR PARKING EQUIPMENT. SURFACE BASINS ARE TO BE ROUGH GRADED AND PROTECTED UNTIL STABILIZED AND BROUGHT ON-LINE FOR STORMWATER MANAGEMENT OF THE STABILIZED SITE.

**CONSTRUCTION ENTRANCES**

CONSTRUCTION ENTRANCES SHALL BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF SEDIMENT TRACKING OFF THE PROJECT. ANY CONSTRUCTION SITE ACCESS POINT MUST EMPLOY THE CONTROL MEASURES ON THE APPROVED SITE PLANS AND IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN. CONSTRUCTION ENTRANCES SHALL BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES. ALL CONSTRUCTION ACCESS ROADS SHALL BE CONSTRUCTED PRIOR TO ANY ROADWAY ACCEPTING CONSTRUCTION TRAFFIC.

THE SITE OWNER AND OPERATOR MUST RESTRICT VEHICLE USE TO PROPERLY DESIGNATED EXIT POINTS, USE PROPERLY DESIGNED AND CONSTRUCTED CONSTRUCTION ENTRANCES AT ALL POINTS THAT EXIT ONTO PAVED ROADS SO THAT SEDIMENT REMOVAL OCCURS PRIOR TO VEHICLE EXIT. WHEN AND WHERE NECESSARY, USE ADDITIONAL CONTROLS TO REMOVE SEDIMENT FROM VEHICLE TIRES PRIOR TO EXIT (I.E. WHEEL WASHING RACKS, RUMBLE STRIPS, AND RATTLE PLATES). WHERE SEDIMENT HAS BEEN TRACKED OUT FROM THE CONSTRUCTION SITE ONTO THE SURFACE OF OFF-SITE STREETS, OTHER PAVED AREAS, AND SIDEWALKS, THE DEPOSITED SEDIMENT MUST BE REMOVED BY THE END OF THE SAME WORK DAY IN WHICH THE TRACK OUT OCCURS. TRACK-OUT MUST BE REMOVED BY SWEEPING, SHOVELING, OR VACUUMING THESE SURFACES, OR BY USING OTHER SIMILAR EFFECTIVE MEANS OF SEDIMENT REMOVAL.

**STOCKPILE CONTAINMENT**

SHALL BE USED ON SITE TO MINIMIZE OR ELIMINATE THE DISCHARGE OF SOIL, TOPSOIL, BASE MATERIAL OR RUBBLE, FROM ENTERING DRAINAGE SYSTEMS OR SURFACE WATERS. ALL STOCKPILES MUST BE LOCATED WITHIN THE LIMIT OF DISTURBANCE, PROTECTED FROM RUN-ON WITH THE USE OF TEMPORARY SEDIMENT BARRIERS AND PROVIDED WITH COVER OR STABILIZATION TO AVOID CONTACT WITH PRECIPITATION AND WIND WHERE AND WHEN PRACTICAL. STOCK PILE MANAGEMENT CONSISTS OF PROCEDURES AND PRACTICES DESIGNED TO MINIMIZE OR ELIMINATE THE DISCHARGE OF STOCKPILED MATERIAL (SOIL, TOPSOIL, BASE MATERIAL, RUBBLE) FROM ENTERING DRAINAGE SYSTEMS OR SURFACE WATERS.

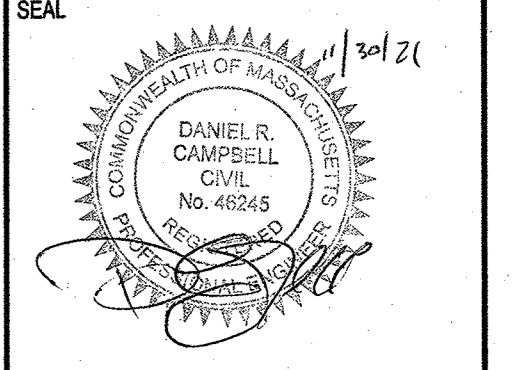
FOR ANY STOCKPILES OR LAND CLEARING DEBRIS COMPOSED, IN WHOLE OR IN PART, OF SEDIMENT OR SOIL, YOU MUST COMPLY WITH THE FOLLOWING REQUIREMENTS - LOCATE PILES WITHIN THE DESIGNATED LIMITS OF DISTURBANCE OUTSIDE OF THE 100-FOOT BUFFER ZONE, PROTECT FROM CONTACT WITH STORMWATER (INCLUDING RUN-ON) USING A TEMPORARY PERIMETER SEDIMENT BARRIER; WHERE PRACTICABLE, PROVIDE COVER OR APPROPRIATE TEMPORARY VEGETATIVE OR STRUCTURAL STABILIZATION TO AVOID DIRECT CONTACT WITH PRECIPITATION OR TO MINIMIZE SEDIMENT DISCHARGE; NEVER HOSE DOWN OR SWEEP SOIL OR SEDIMENT ACCUMULATED ON PAVEMENT OR OTHER IMPERVIOUS SURFACES INTO ANY STORMWATER CONVEYANCE, STORM DRAIN INLET, OR SURFACE WATER; TO THE MAXIMUM EXTENT PRACTICABLE, CONTAIN AND SECURELY PROTECT FROM WIND.

**TEMPORARY SEDIMENT BASINS**

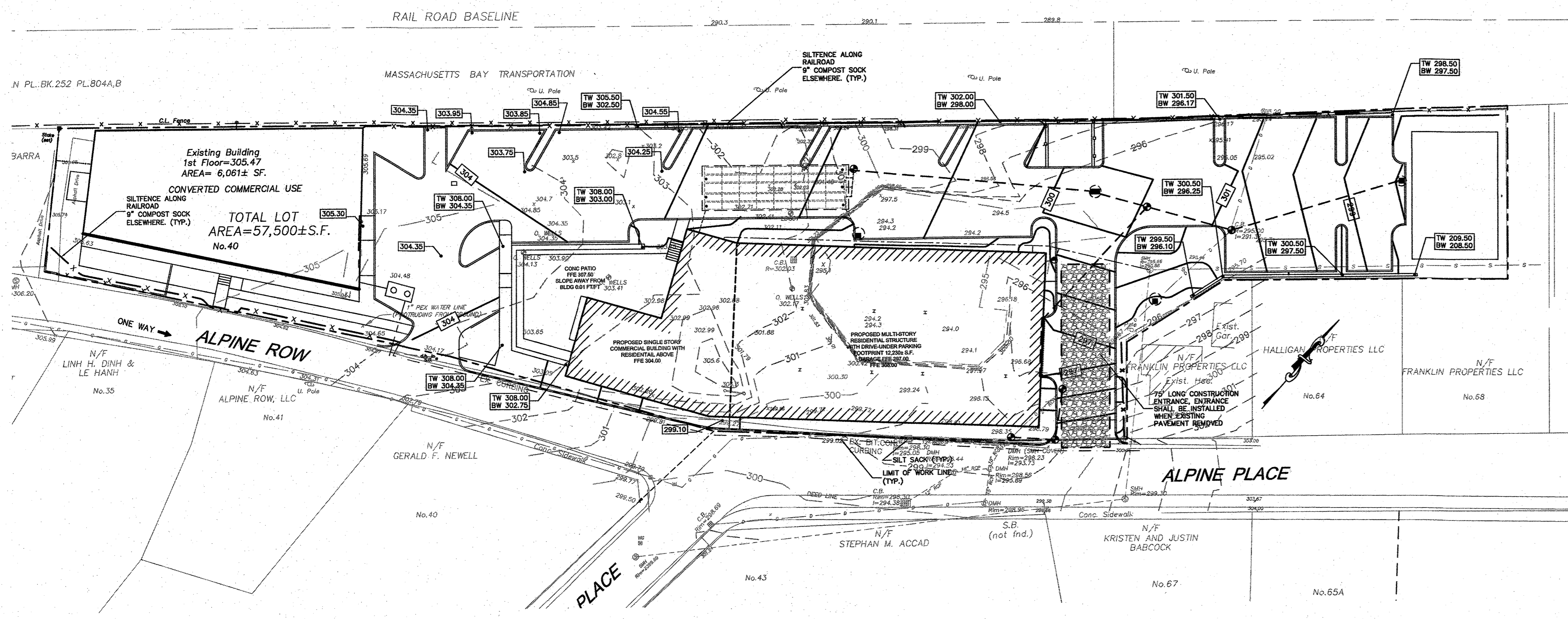
IF REQUIRED, ADDITIONAL TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED TO MITIGATE THE POTENTIAL SEDIMENT LOADING TO THE ADJACENT RESOURCE AREAS. TEMPORARY SEDIMENT BASINS ARE TO BE LOCATED OUTSIDE OF THE 50-FOOT BUFFER ZONE TO THE BORDERING VEGETATED WETLANDS AND SHALL NOT BE LOCATED IN AN AREA WHERE AN INFILTRATION BASIN IS PROPOSED. TEMPORARY SEDIMENT BASIN GRADING LOCATION SHALL BE DICTATED BY THE DESIGN ENGINEER. AT A MINIMUM THE VOLUME OF THE TEMPORARY SEDIMENT BASIN, AS MEASURED FROM THE BOTTOM OF THE BASE TO THE ELEVATION OF THE CREST OF THE PRINCIPAL SPILLWAY SHALL BE AT LEAST 3,600 CUBIC FEET PER ACRE OF DRAINAGE AREA. THIS 3,600 CUBIC FEET IS EQUIVALENT TO 1.0 INCH OF SEDIMENT PER ACRE OF DRAINAGE AREA. ADDITIONAL STORAGE IN THE FORM OF A PERMANENT WET POOL SHALL BE PROVIDED WHENEVER PRACTICABLE, BUT MAY NOT BE USED TO FULFILL THE TEMPORARY STORAGE VOLUME REQUIREMENT.

SEDIMENT BASINS SHALL BE CLEANED OUT WHEN THE VOLUME REMAINING AS DESCRIBED ABOVE IS REDUCED BY SEDIMENTATION TO 1,800 CUBIC FEET PER ACRE OF DRAINAGE AREA (50 PERCENT FULL). IN NO CASE SHALL THE SEDIMENT LEVEL BE PERMITTED TO BUILD UP HIGHER THAN ONE FOOT BELOW THE PRINCIPAL SPILLWAY CREST. AT THIS ELEVATION, CLEANOUT SHALL BE PERFORMED TO RESTORE THE ORIGINAL DESIGN VOLUME TO THE SEDIMENT BASIN. THE ELEVATION OF THE MAXIMUM ALLOWABLE SEDIMENT LEVEL SHALL BE DETERMINED AND SHALL BE STATED IN THE DESIGN DATA AS A DISTANCE BELOW THE TOP OF THE RISER AND BE CLEARLY MARKED ON THE RISER. NO AREA OF DETENTION SHALL BE UTILIZED FOR TEMPORARY EROSION CONTROL OR DEWATERING ACTIVITIES.

NO	DATE	REVISIONS
1	06/21/2021	PERMIT SUBMISSION
2	09/13/2021	RESPONSE TO COMMENTS
3	11/04/2021	RESPONSE TO COMMENTS
4	10/19/2021	RESPONSE TO COMMENTS
5	11/30/2021	APPROVAL CONDITIONS



DATE: JUNE 21, 2021  
DRAWN: DRC  
SCALE: 1" = 20'



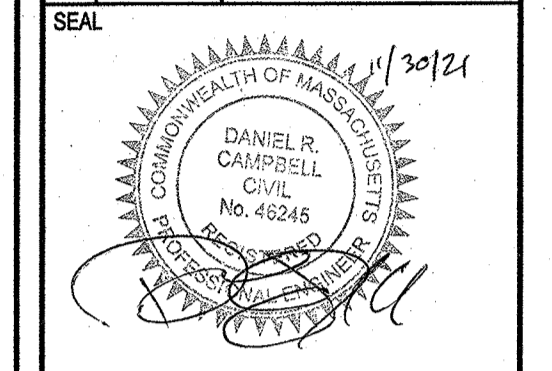
**THE ENGINE YARD**  
COMMERCIAL/RESIDENTIAL REUSE  
PARCEL ID 279-181-000-000  
40 ALPINE ROW  
FRANKLIN, MASSACHUSETTS

**LEVEL**  
DESIGN GROUP  
CIVIL ENGINEERING / LAND SURVEYING  
249 SOUTH STREET  
UNIT 1  
PLAINVILLE, MA 02762  
TEL. (508) 695-2221 FAX. (508) 695-2219

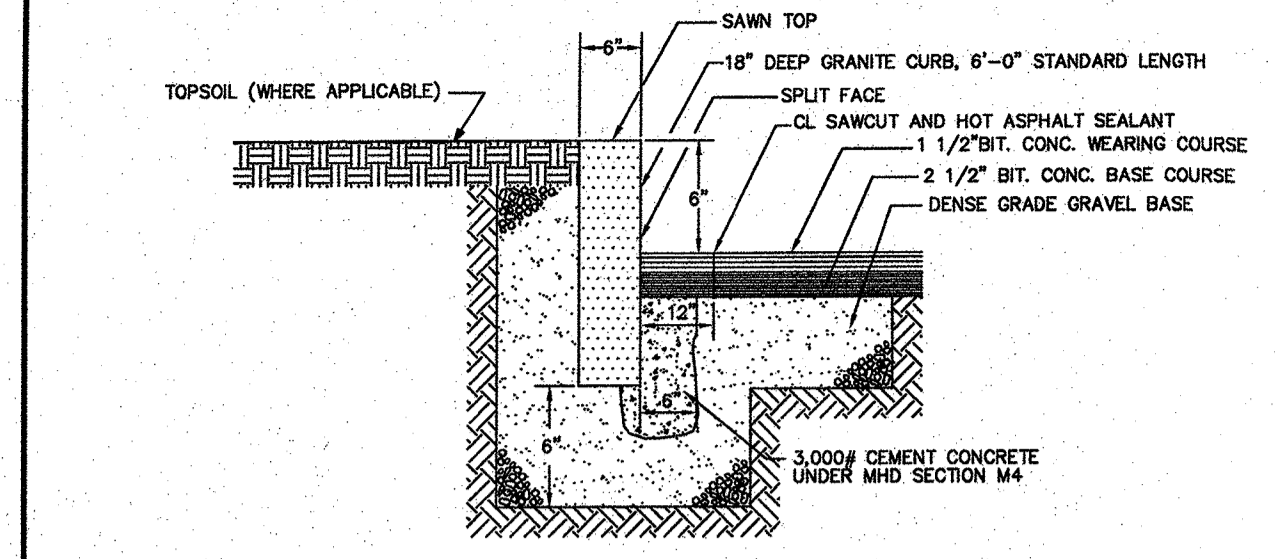
**EROSION CONTROL**  
**C-3.1**  
SHEET 5 OF 8  
1880.00

APPROVED DATE: 1/1/21  
 FRANKLIN PLANNING BOARD  
 DATE: 1/10/22  
 BEING A MAJORITY

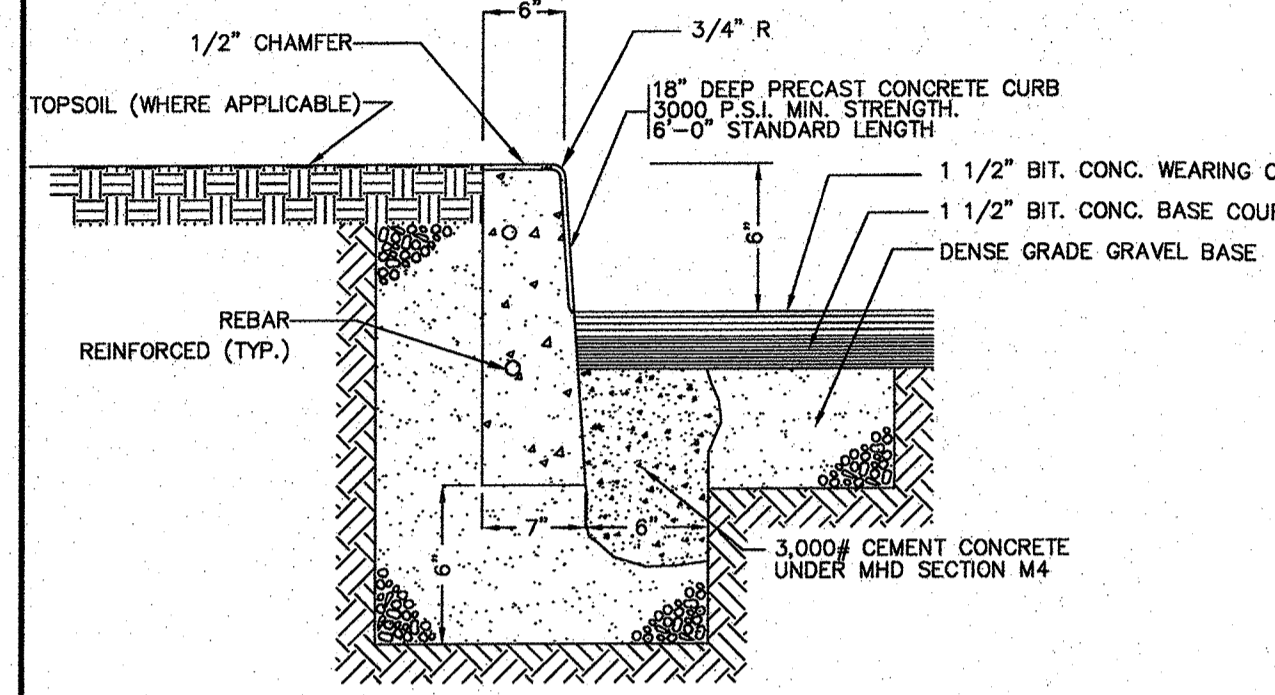
NO	DATE	REVISIONS
1	06/21/2021	PERMIT SUBMISSION
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DATE: JUNE 21, 2021  
 DRAWN: DRC  
 SCALE: 1" = 20'



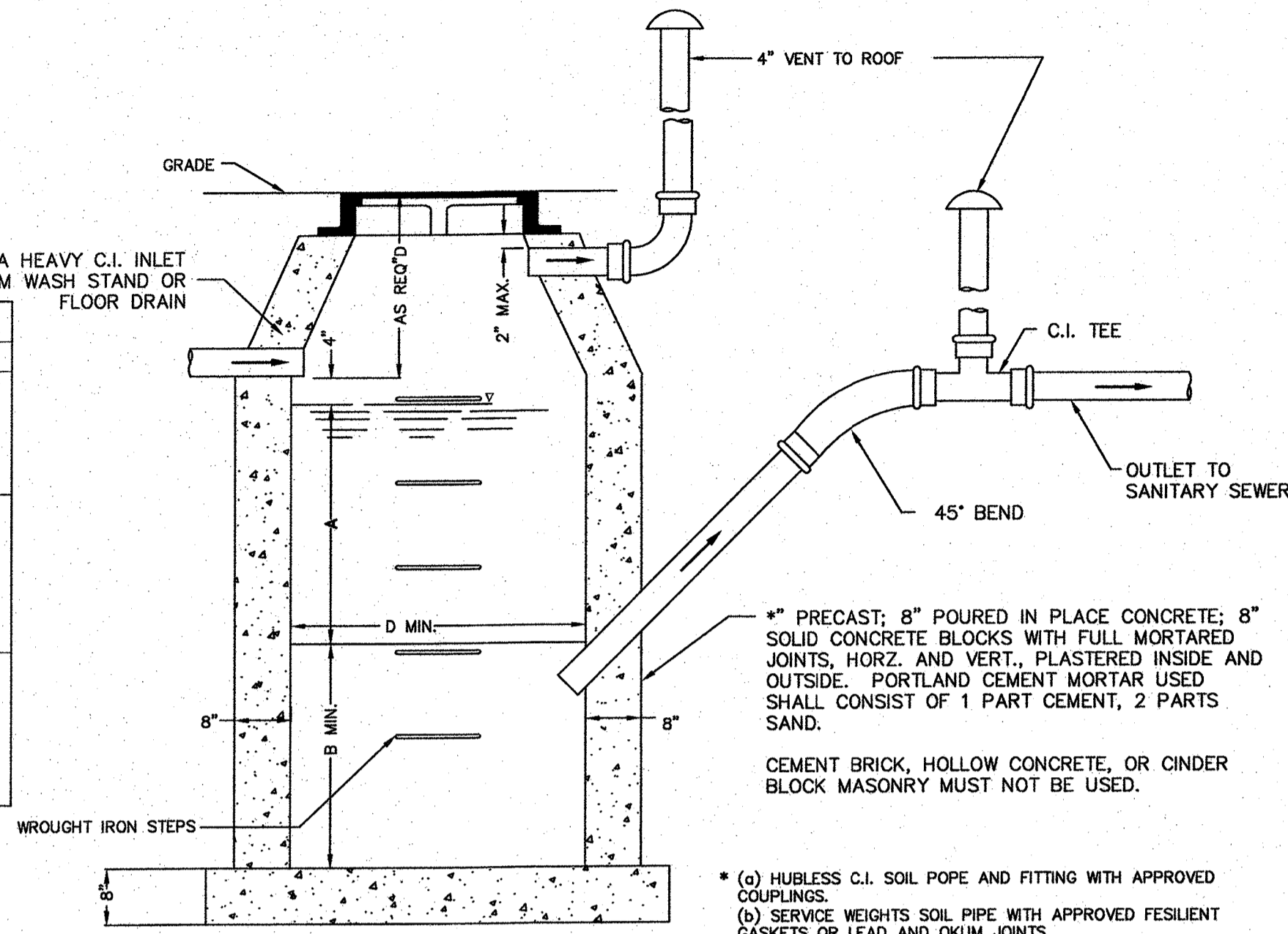
VERTICAL GRANITE CURB  
NOT TO SCALE



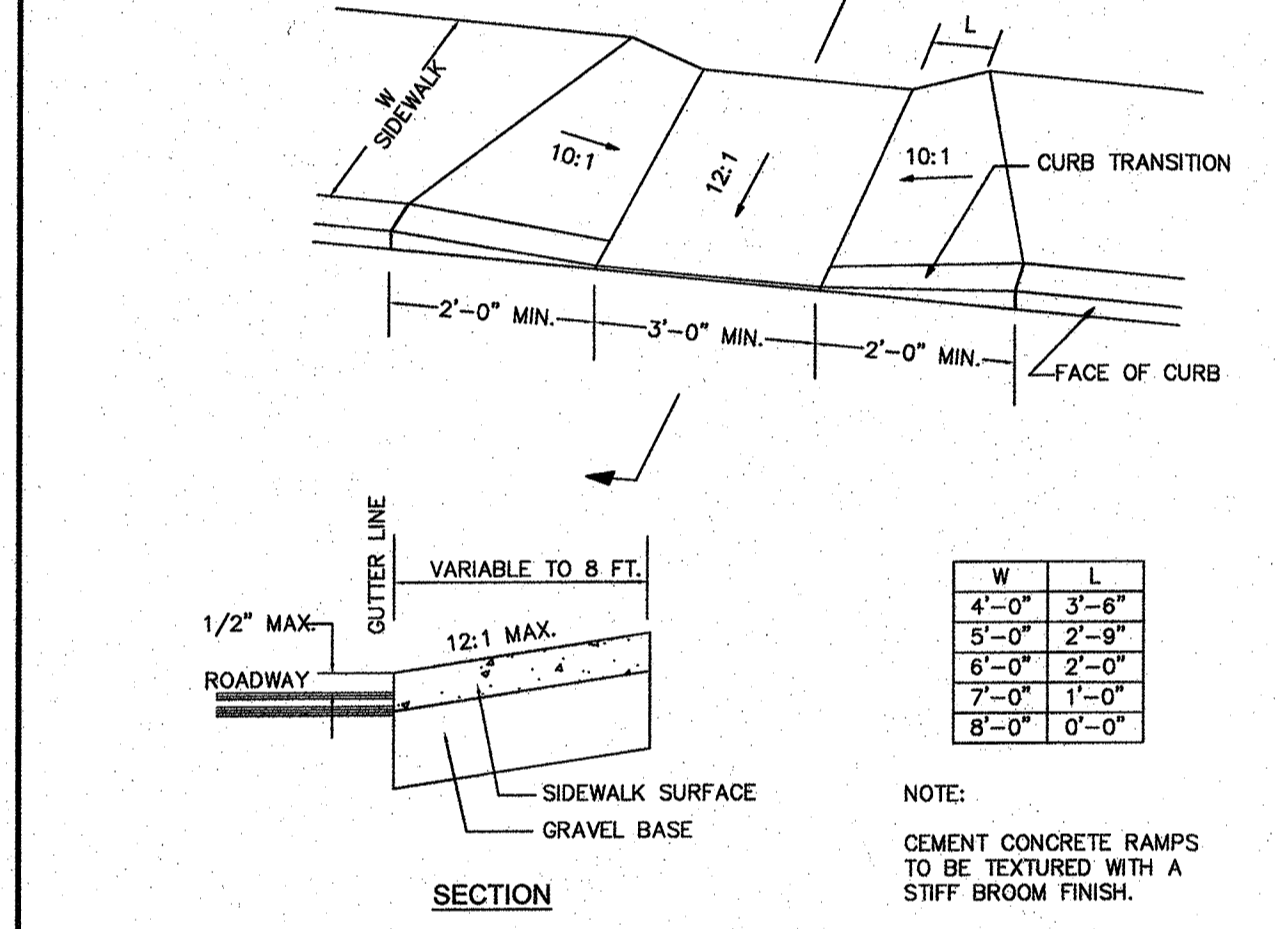
PRECAST CONCRETE CURB  
NOT TO SCALE

INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"
5"	3'-6"	5'-0"	4'-0"
	3'-6" x 3'-6"	4'-0"	3'-0"
	4'-0"	3'-6"	3'-0"
	4'-0" x 4'-0"	3'-0"	2'-6"
	4'-6"	3'-0"	2'-6"
6"	4'-0"	5'-0"	4'-6"
	4'-0" x 4'-0"	4'-0"	3'-6"
	4'-6" x 4'-6"	3'-6"	3'-0"
	5'-0"	3'-0"	3'-0"
8"	5'-0"	6'-0"	5'-0"
	5'-6" x 5'-6"	4'-6"	4'-0"
	6'-0"	4'-0"	3'-6"
	6'-0" x 6'-0"	3'-6"	2'-6"
	6'-6"	3'-6"	3'-0"
	6'-6" x 6'-6"	3'-0"	2'-6"

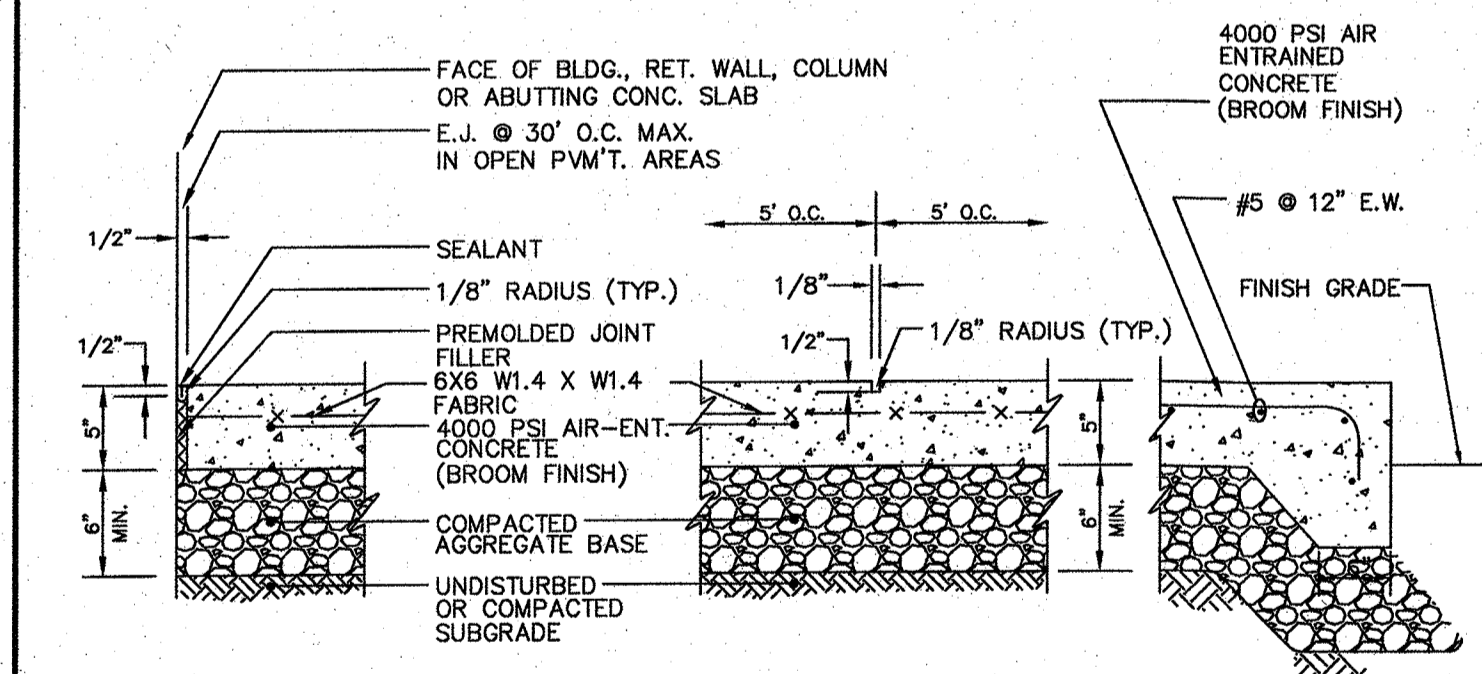
NOTE:  
 FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.



GASOLINE AND SAND TRAP  
NOT TO SCALE



WHEEL CHAIR RAMP  
NOT TO SCALE

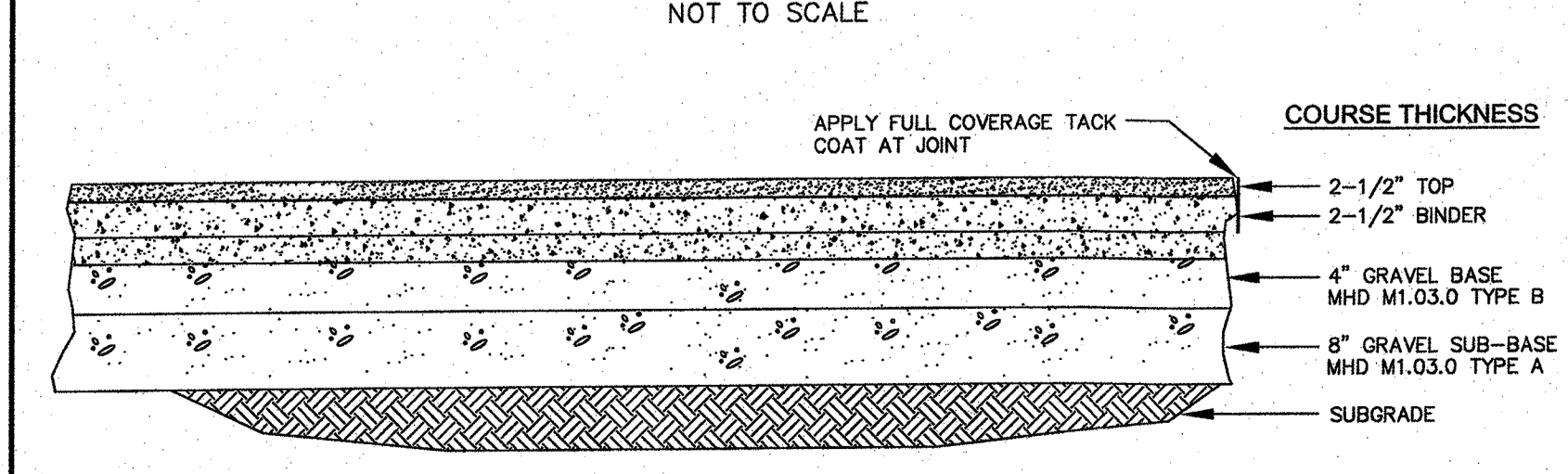


EXPANSION JOINT

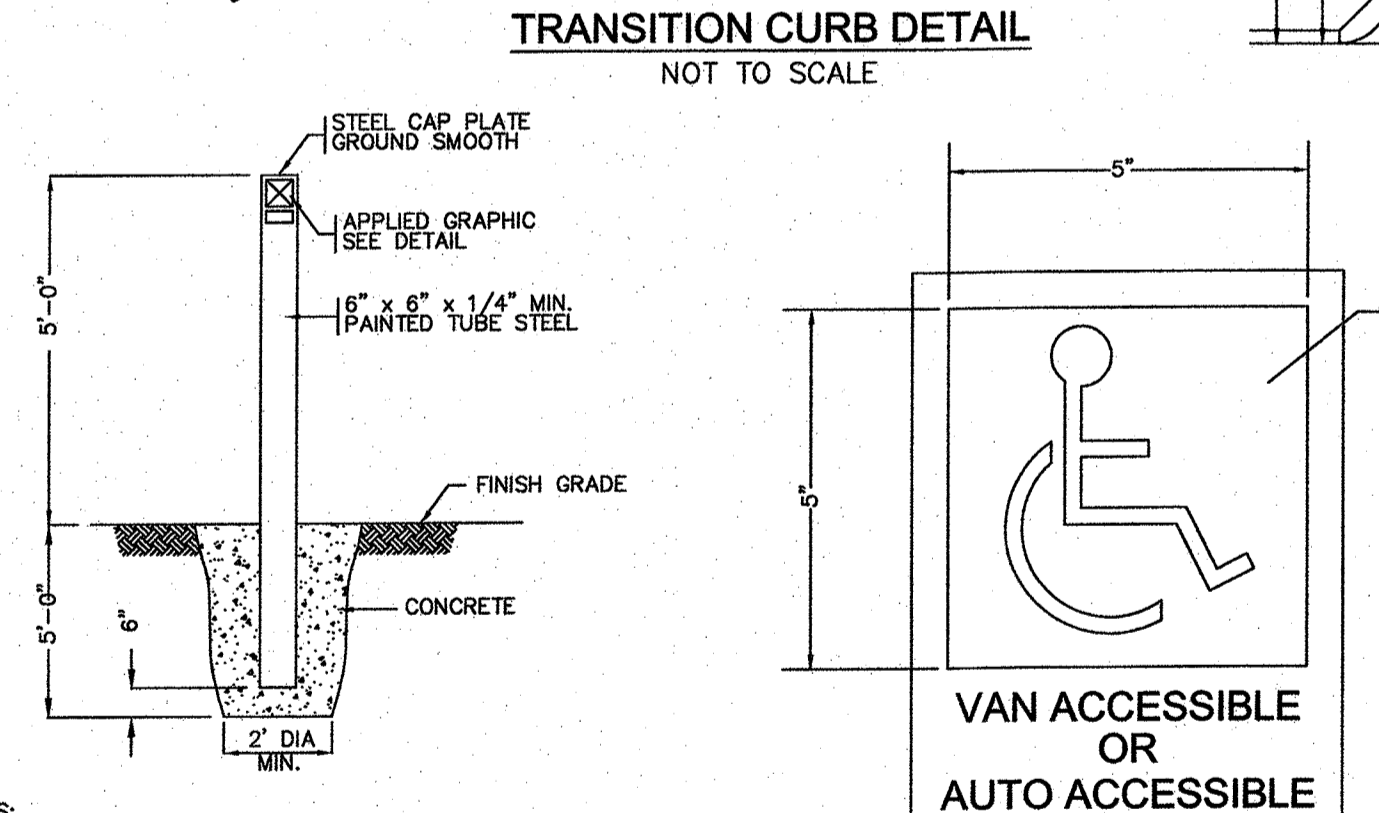
SCORE JOINT

1. MAXIMUM CROSS SLOPE = 2%
2. MAXIMUM GRADIENT = 5%
3. PROVIDE EXPANSION JOINT AT FACE OF ABUTTING SLABS AND STRUCTURES.
4. PROVIDE VERTICAL GRANITE OR PRECAST CONCRETE CURBING PER SHEET C3.

CONCRETE SIDEWALK  
NOT TO SCALE

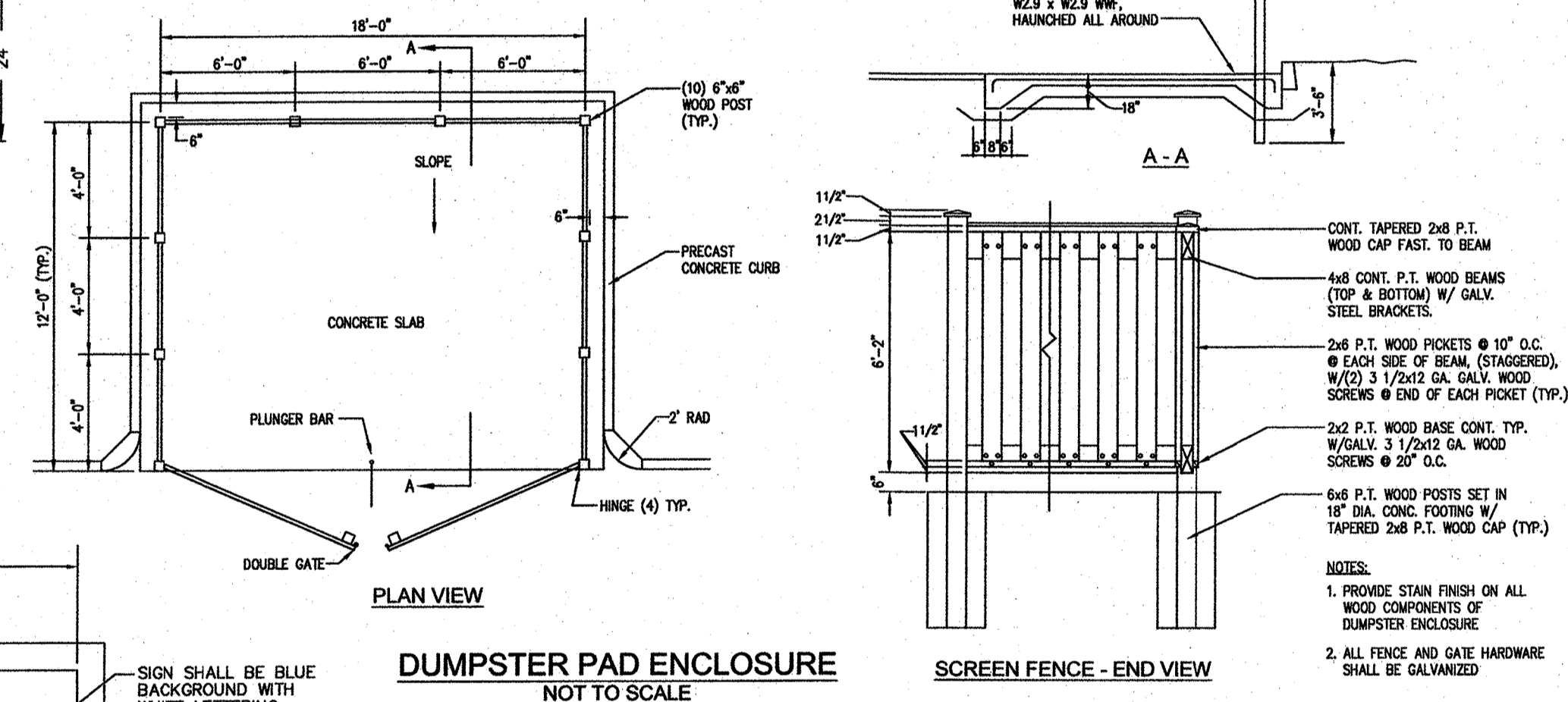


TRUCK AREAS - BITUMINOUS CONCRETE PAVEMENT  
NOT TO SCALE



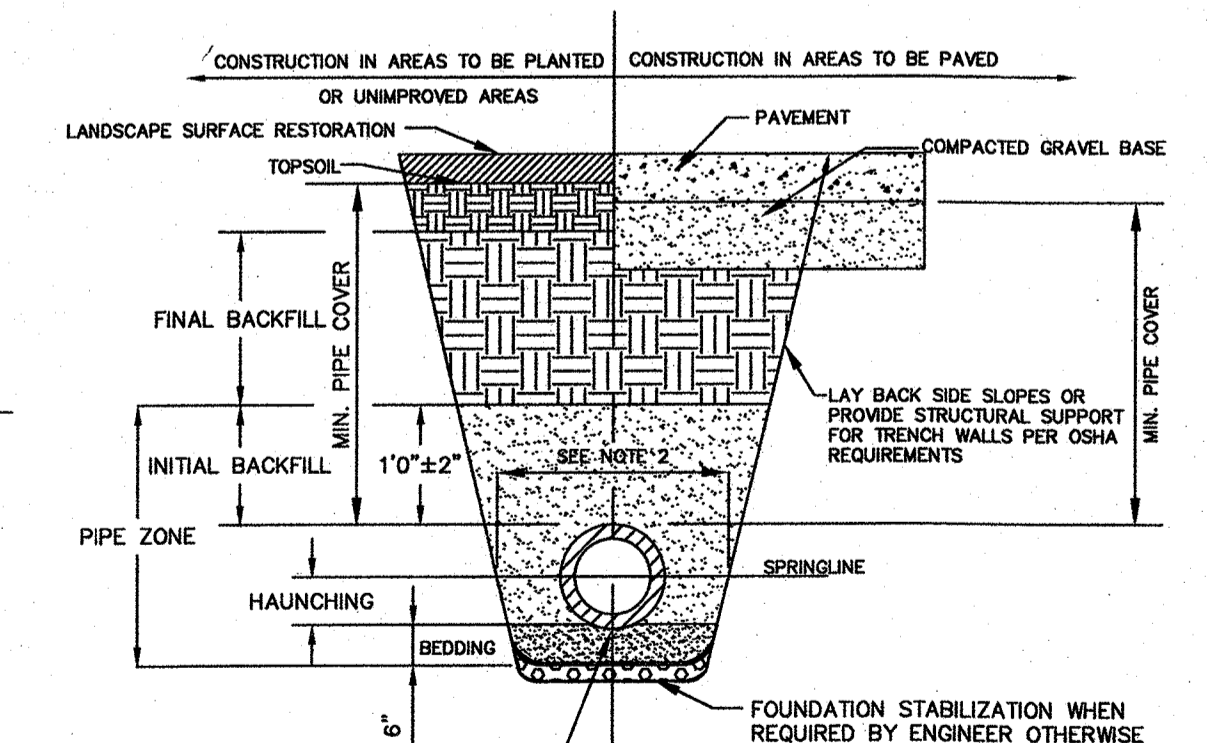
SIGNAGE BOLLARD  
NOT TO SCALE

SIGNAGE GRAPHIC  
NOT TO SCALE



DUMPSTER PAD ENCLOSURE  
NOT TO SCALE

SCREEN FENCE - END VIEW



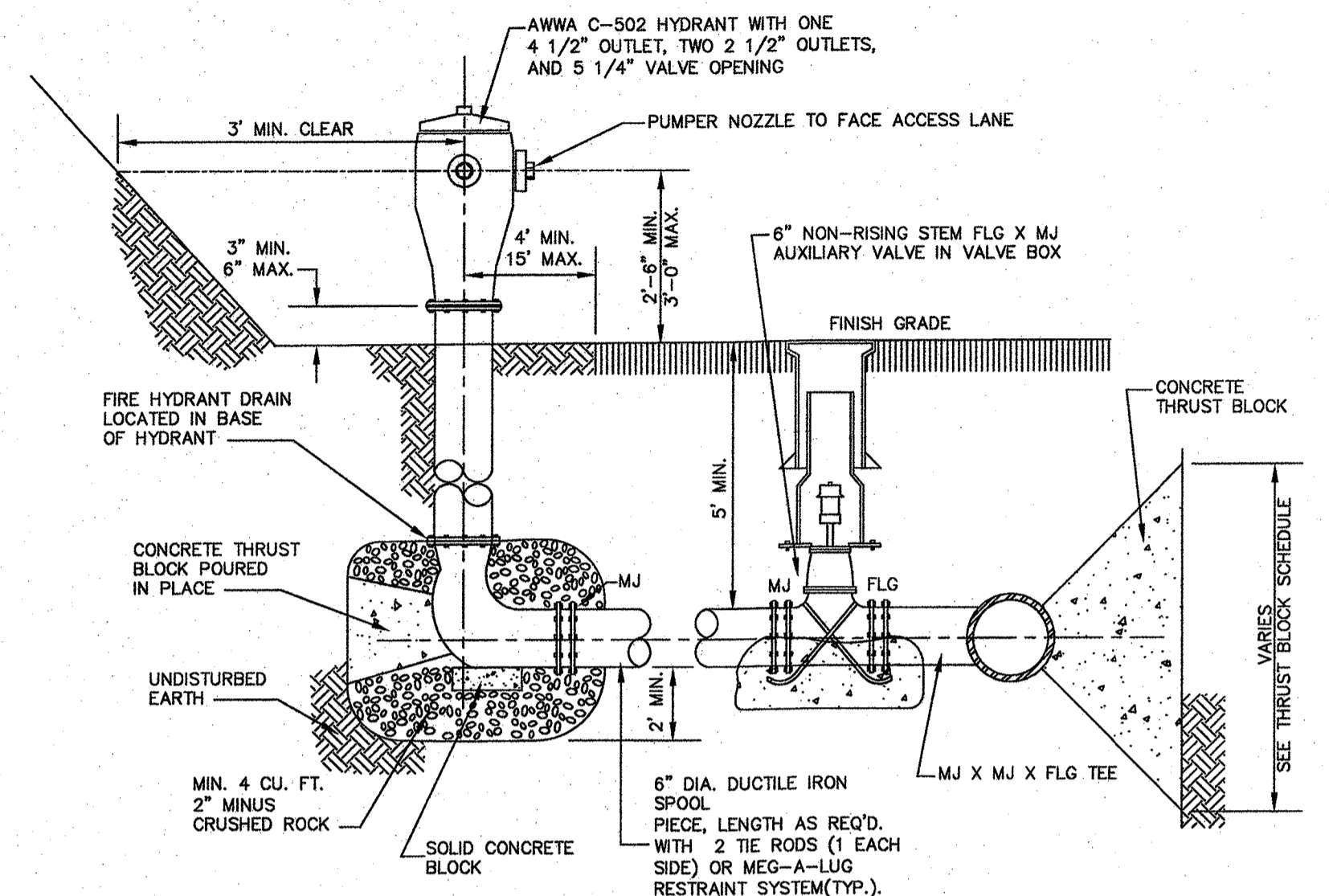
UTILITY TRENCH  
NOT TO SCALE

FOUNDATION, BEDDING AND BACKFILL MATERIALS	PIPE MATERIAL	HDPE, PVC	RC, DI
FOUNDATION STABILIZATION	[1]	[1]	[1]
BEDDING	[1]	[1]	[1]
HAUNCHING	[1]	[1]	[1]
INITIAL BACKFILL	[4]	[4]	[4]
FINAL BACKFILL	[4]	[4]	[4]
PIPE COVER	[5]	[5]	[5]

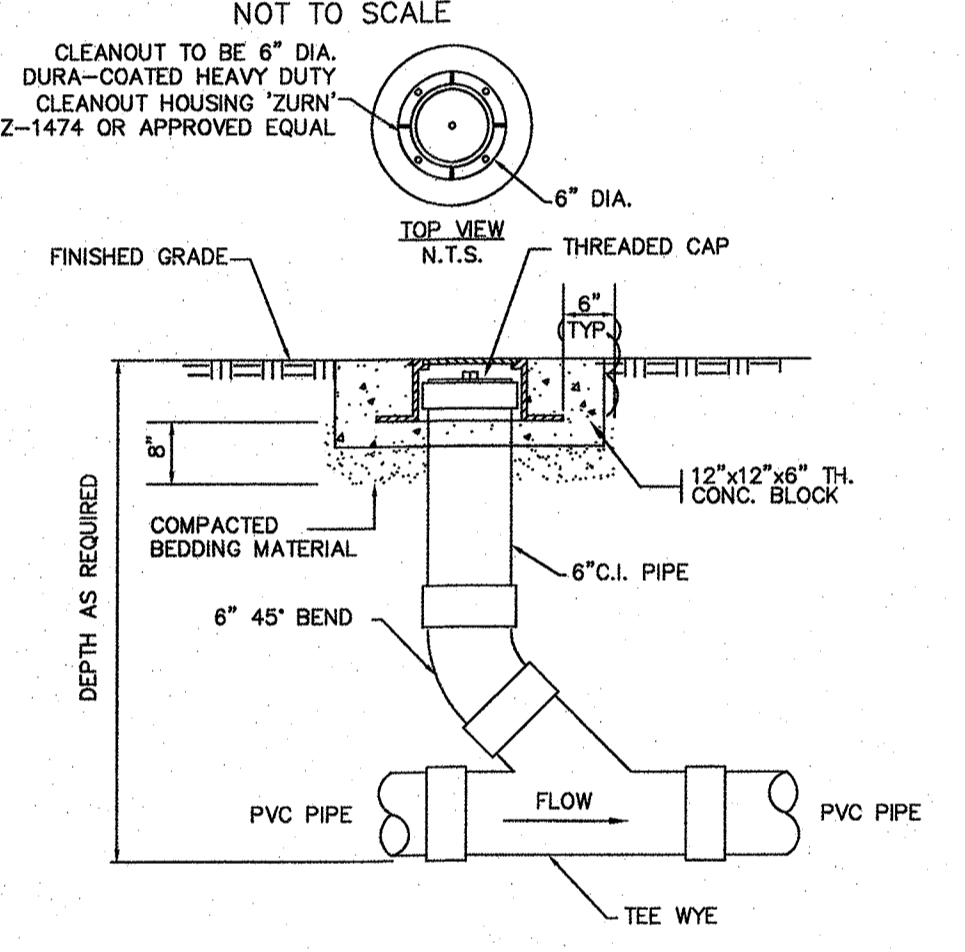
[6] FOR FOUNDATION STABILIZATION, USE 2" MINUS CRUSHED STONE

GENERAL CONSTRUCTION NOTES:

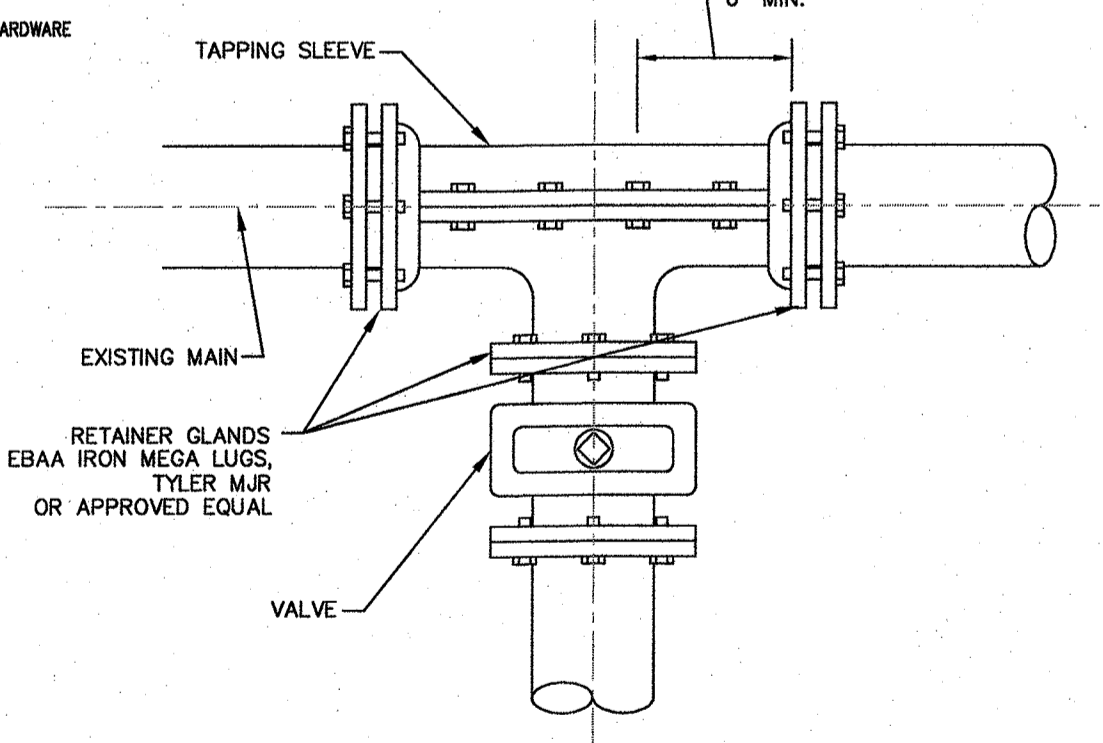
1. BASIN TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE. COVER TO HAVE A CENTER HOLE.
2. A TIGHT COVER MUST BE USED IF BASIN IS LOCATED INSIDE OF BUILDING.
3. OPENING SHALL BE NO LESS THAN 24-INCHES.
4. THE CATCH BASIN SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.
5. INLET PIPE SHALL BE AT LEAST 4-INCHES ABOVE NORMAL WATER LINE.
6. WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST 3- FEET BELOW THE SURFACE.
7. ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE BASIN AND MUST NOT BE DISCHARGED INTO THE SEWER.
8. SPECIFICATION FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE AUTHORITIES OF THE STATE OF MASSACHUSETTS.
9. IRON STEPS SHALL BE SPACED AT LEAST 10-INCHES APART.
10. BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 10-INCHES ABOVE THE ROOF, OR AS APPROVED BY THE LOCAL AUTHORITIES AND THE AUTHORITIES OF THE STATE OF MASSACHUSETTS.
11. CONSTRUCTION OF GASOLINE AND SAND TRAP IS TO BE IN ACCORDANCE WITH THE TOWN OF FRANKLIN AND THE STATE OF MASSACHUSETTS PLUMBING REGULATIONS.



FIRE HYDRANT ASSEMBLY  
NOT TO SCALE



CLEANOUT AT GRADE  
NOT TO SCALE



TAPPING SLEEVE AND VALVE CONNECTION  
NOT TO SCALE

PIPE SIZE	RESTRAINED JOINT SCHEDULE			
	90°	45°	22 1/2°	11 1/4°
12"	D. I.	D. I.	D. I.	D. I.
10"	92'	38'	18'	9'
8"	78'	32'	16'	8'
6"	66'	27'	13'	7'
4"	51'	21'	10'	5'
	38'	16'	8'	4'

- NOTES:
1. RESTRAINED LENGTH FOR TEES, CROSSES, VALVES AND PLUGS SHALL EQUAL RESTRAINED LENGTH FOR 90° BENDS.
  2. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING RESTRAINED JOINTS.
  3. THE SCHEDULE SHOWN IS FOR THE FOLLOWING SERVICE CONDITIONS 150 psig INTERNAL PRESSURE; SOIL TYPE: SAND-SILT; 36 INCHES OF COVER AND TYPE 2 LAYING CONDITIONS.
  4. RESTRAINED LENGTHS SHOWN IN TABLE ARE MINIMUM LENGTHS (IN FEET) AND ARE REQUIRED IN EACH DIRECTION FROM FITTINGS OR VALVES.
  5. THRUST BLOCKS TO BE INSTALLED AS REQUIRED.

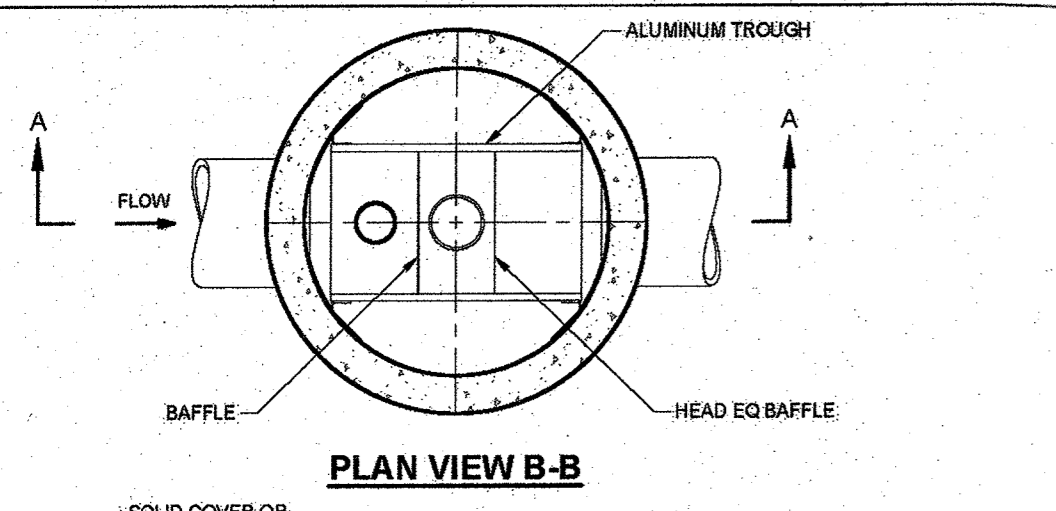
**THE ENGINE YARD**  
 COMMERCIAL/RESIDENTIAL REUSE  
 PARCEL ID 279-181-000-000  
 40 ALPINE ROW  
 FRANKLIN, MASSACHUSETTS

**LEVEL**  
 DESIGN GROUP  
 CIVIL ENGINEERING / LAND SURVEYING  
 249 SOUTH STREET  
 UNIT 1  
 PLAINVILLE, MA 02762  
 TEL. (508) 695-2221 FAX. (508) 695-2219

TYPICAL DETAILS

**C-4.0**  
 SHEET 6 OF 8

**1880.00**



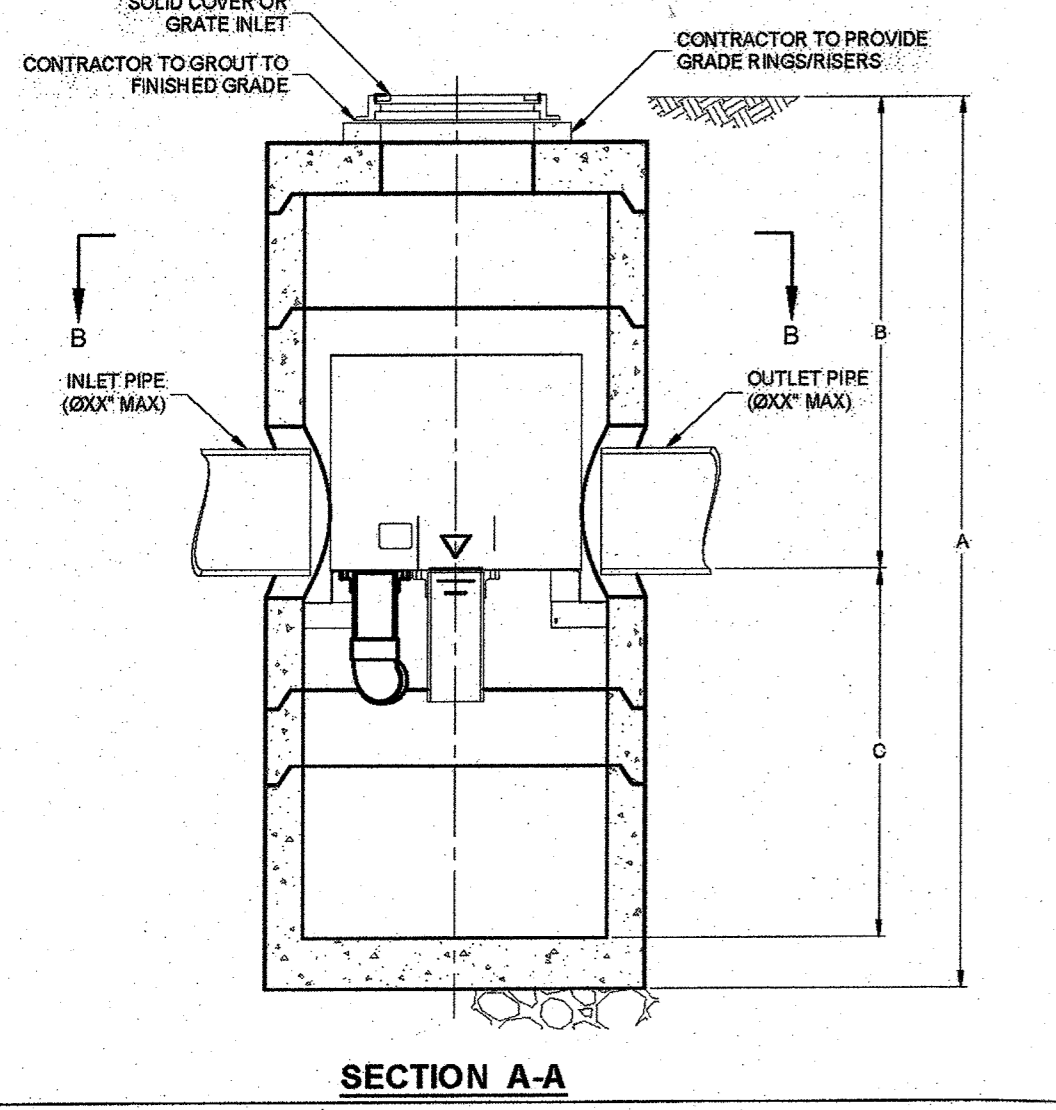
VORTSENTRY HS DESIGN NOTES

THE STANDARD SOLID COVER CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW.

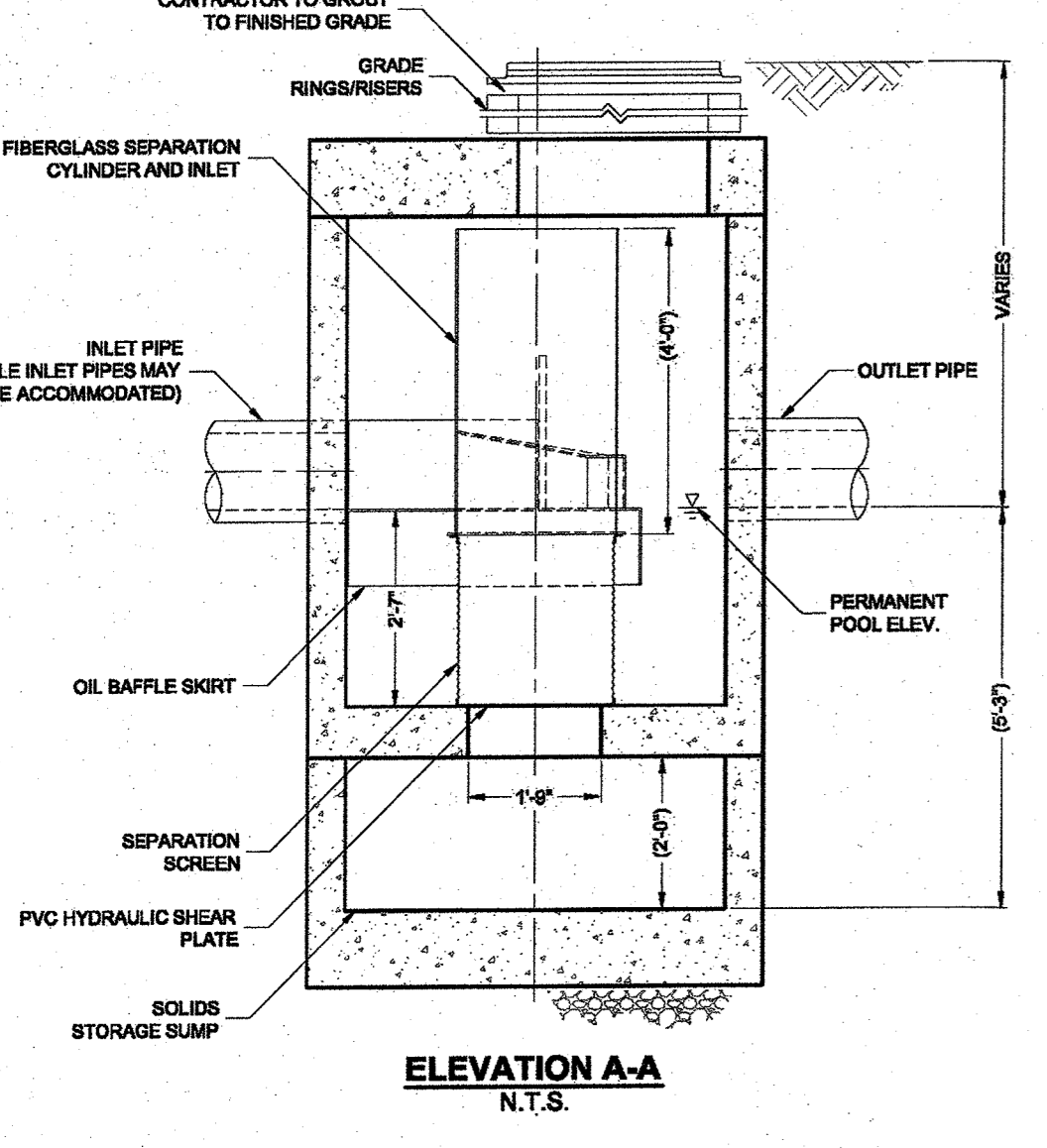
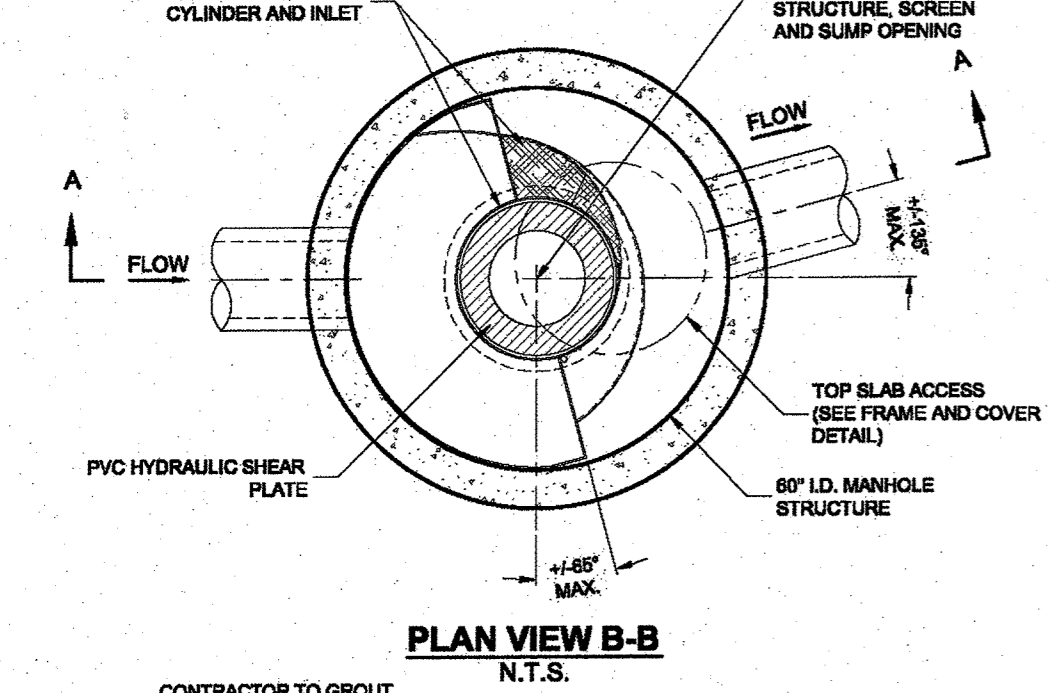
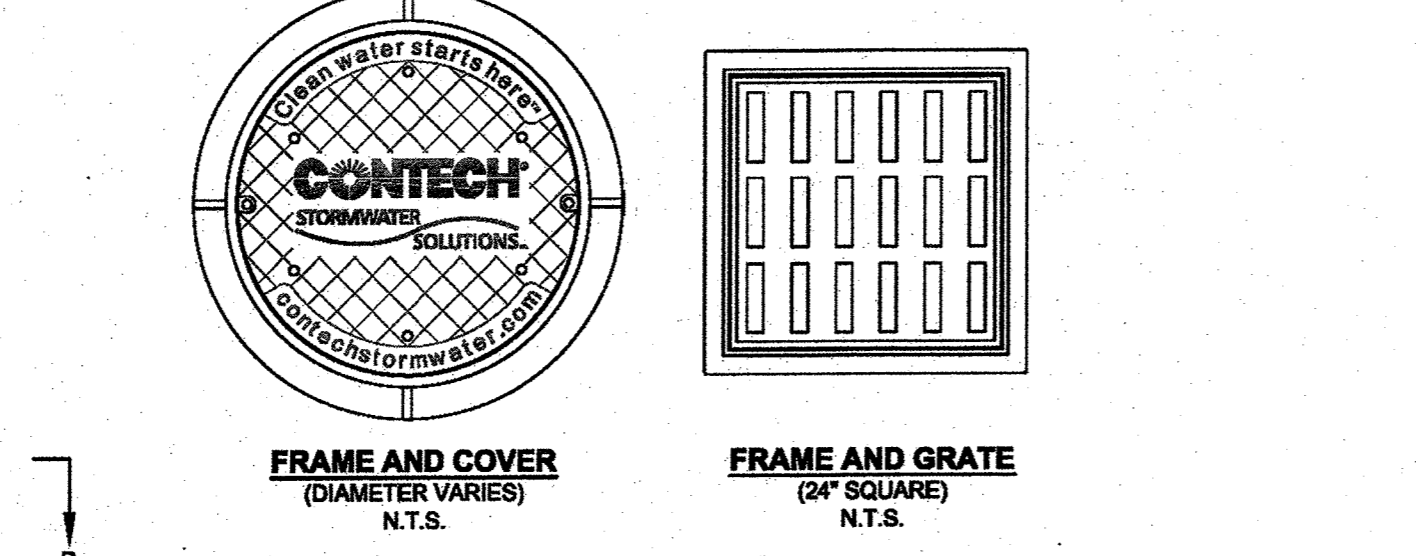
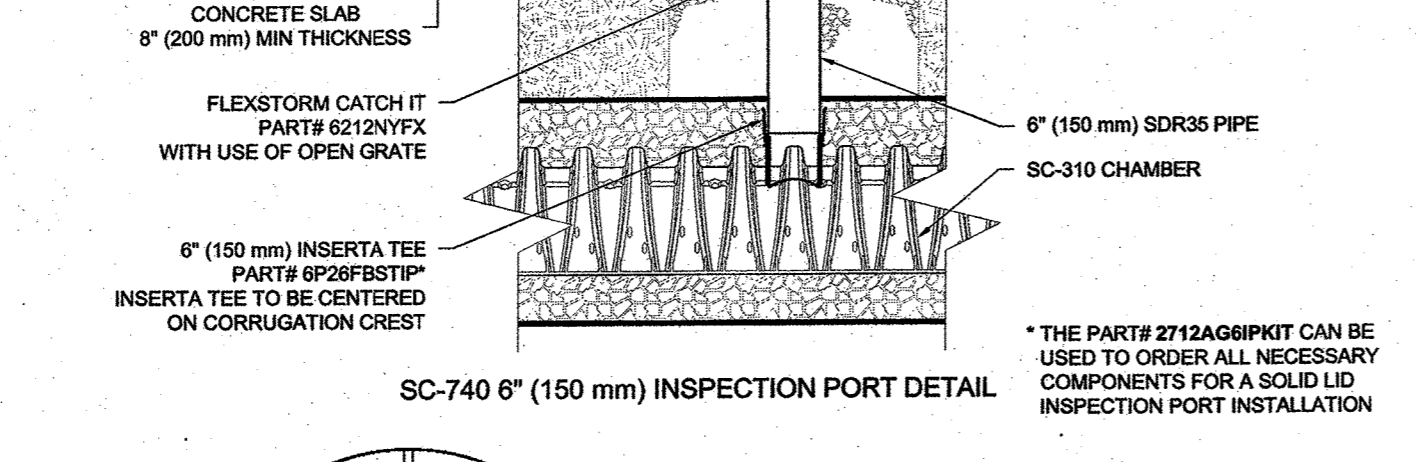
Table with columns: Model, Manhole Diameter (D), Typical Total Distance Rim to Outside Bottom (A), Typical Distance Rim to Invert (B), Typical Depth Below Invert (inside) (C), Approximate Minimum Distance Rim to Invert, Maximum Pipe Diameter (ID). Rows include models HS36 through HS98.

GENERAL NOTES: 1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE. 2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.

INSTALLATION NOTES: 1. ANY SUBBASE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.



VORTSENTRY DETAILS AND SPECIFICATIONS



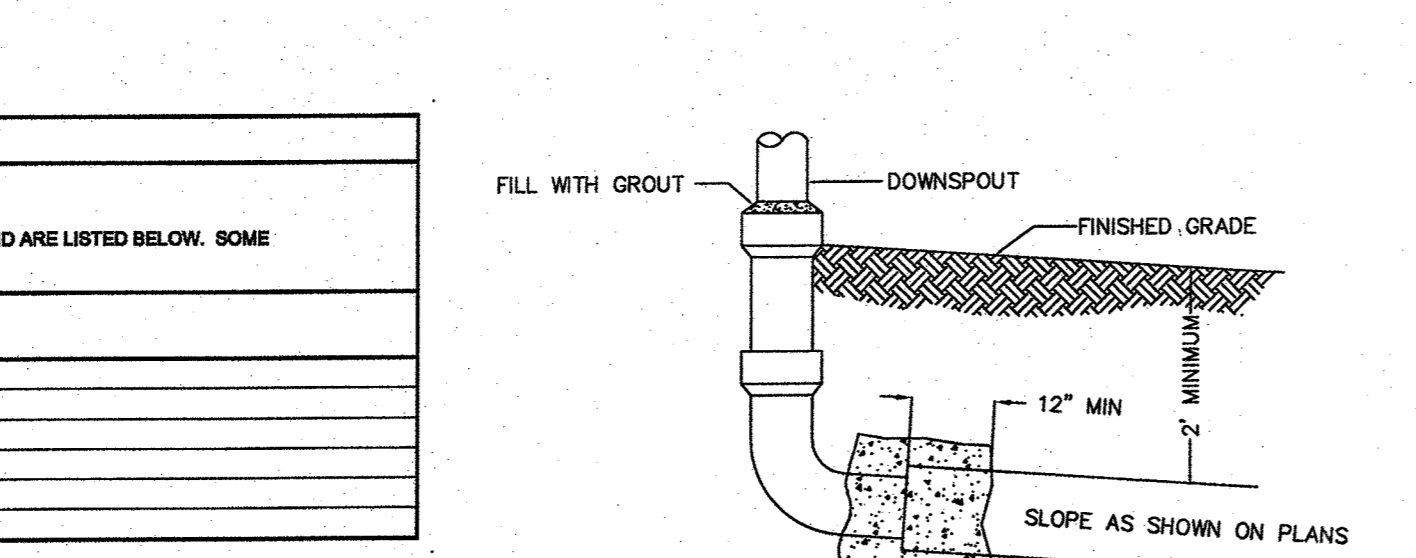
CDS 2020-5-G UNIT (STANDARD)

CDS2020-5-C DESIGN NOTES table with columns: Configuration Description and details for various inlet types (grated, curb, separate).

CDS UNIT DETAILS AND SPECIFICATIONS

GENERAL NOTES: 1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE. 2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.

INSTALLATION NOTES: 1. ANY SUBBASE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.



DOWNSPOUT CONNECTION TO DRAINAGE OUTLET

STORMTECH CHAMBER SPECIFICATIONS

- 1. CHAMBERS SHALL BE STORMTECH SC-740 OR SC-310.
2. CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS.
3. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS...

IMPORTANT NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-310/SC-740 SYSTEM

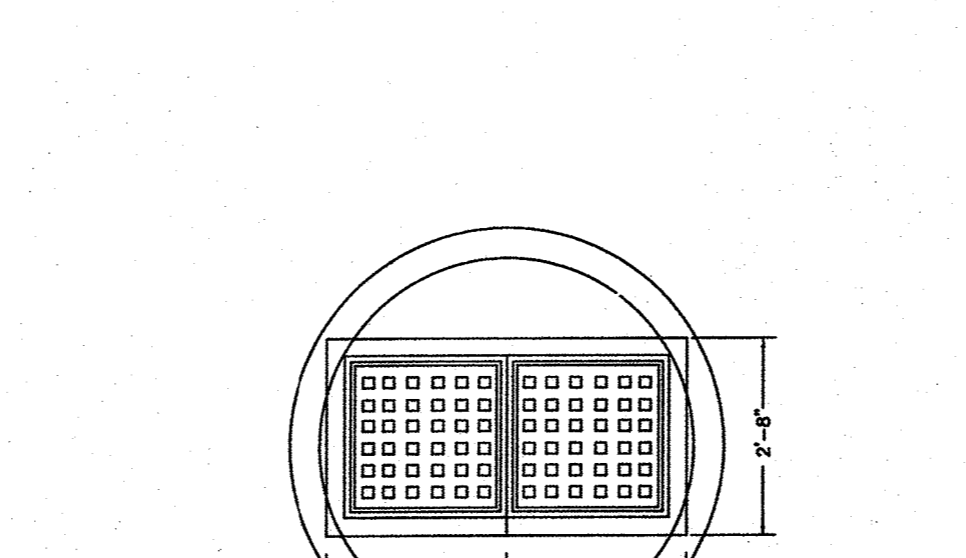
- 1. STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE 'STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE'.

NOTES FOR CONSTRUCTION EQUIPMENT

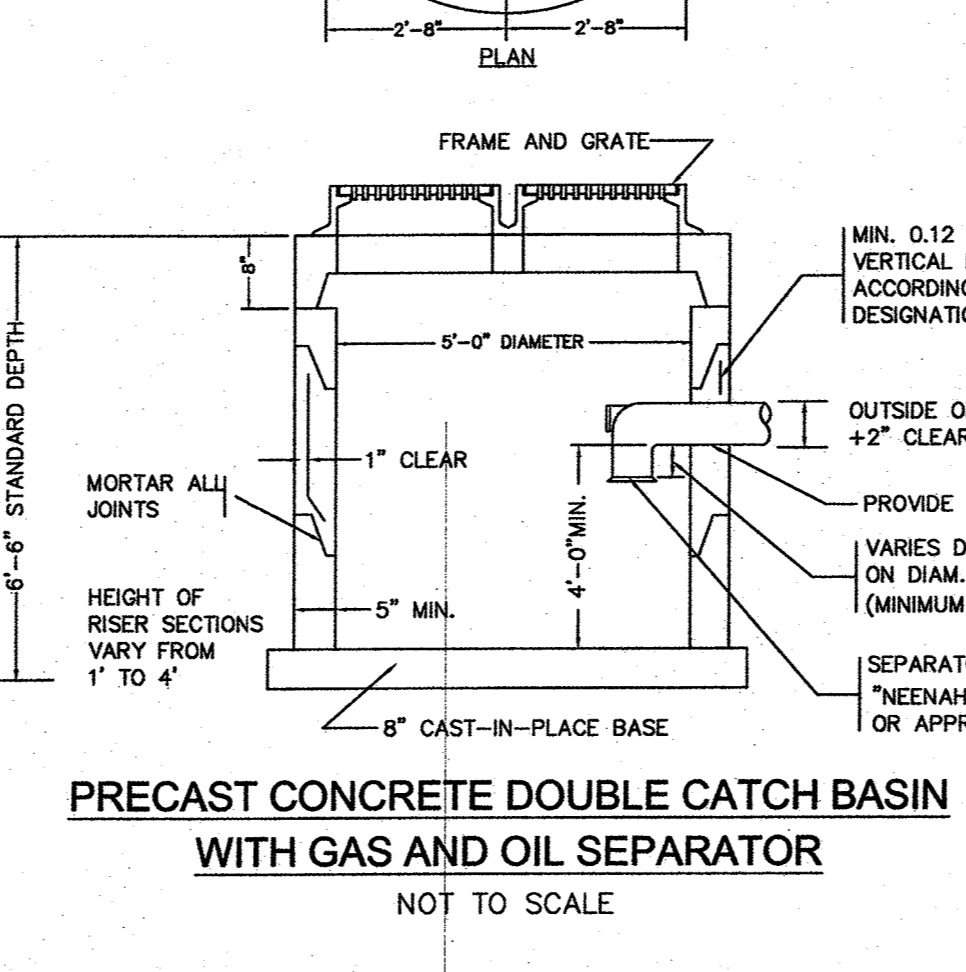
- 1. STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE 'STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE'.
2. THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED: NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE 'DUMP AND PUSH' METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2894 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



PRECAST CONCRETE DOUBLE CATCH BASIN WITH GAS AND OIL SEPARATOR

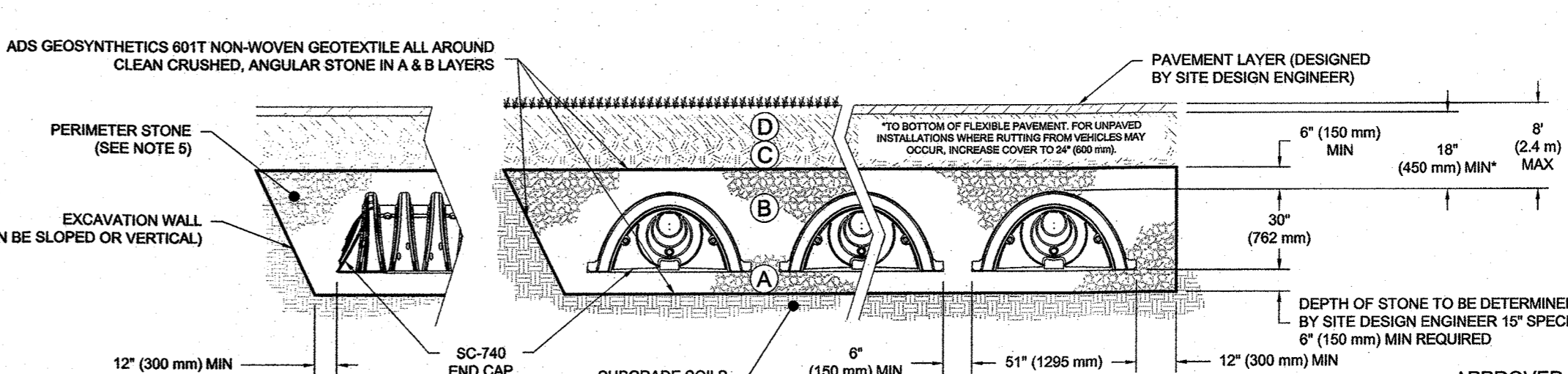


PRECAST CONCRETE DRAIN MANHOLE

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

Table with columns: Material Location, Description, AASHTO Material Classifications, and Compaction / Density Requirement.

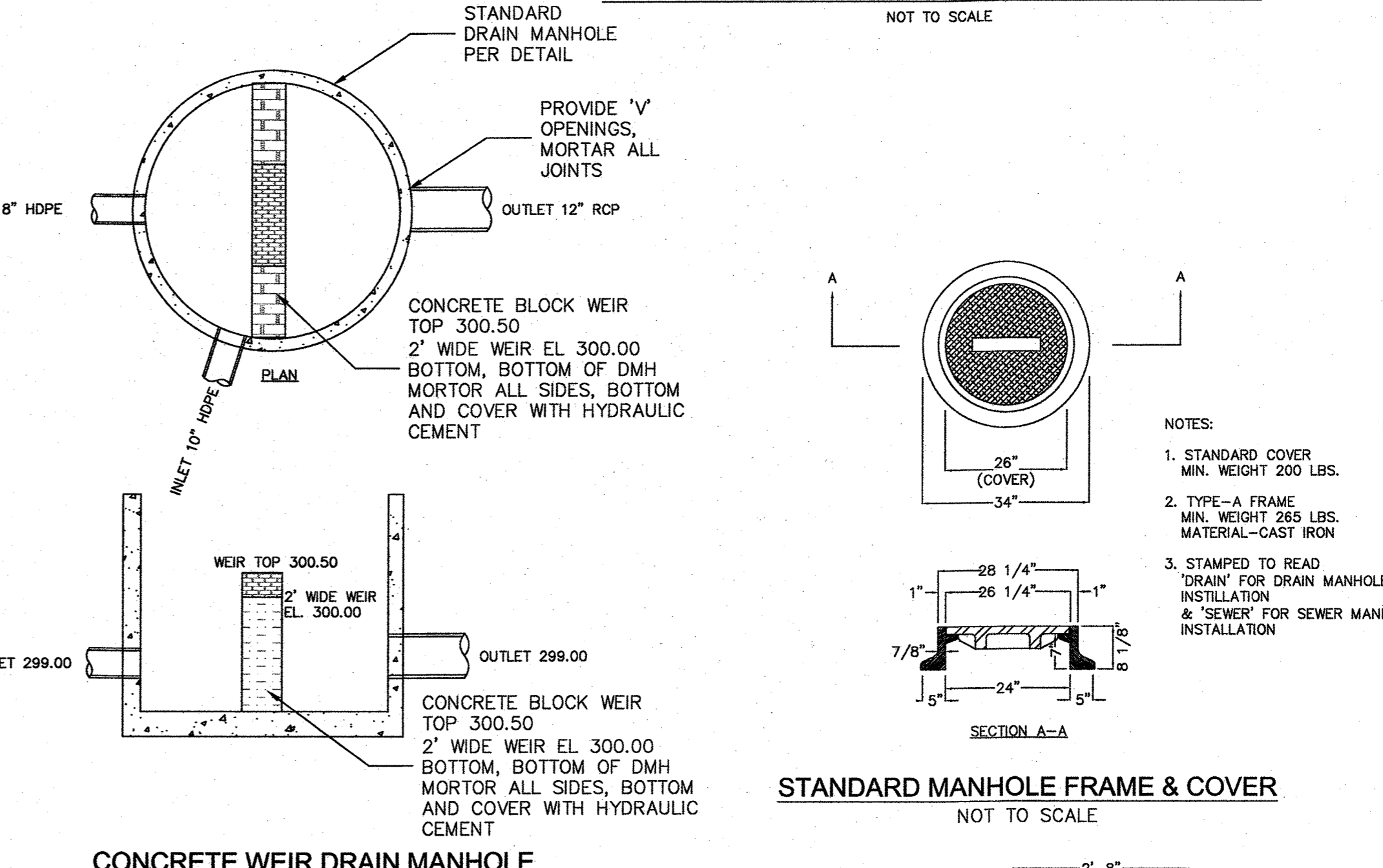
PLEASE NOTE: 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: 'CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE'.



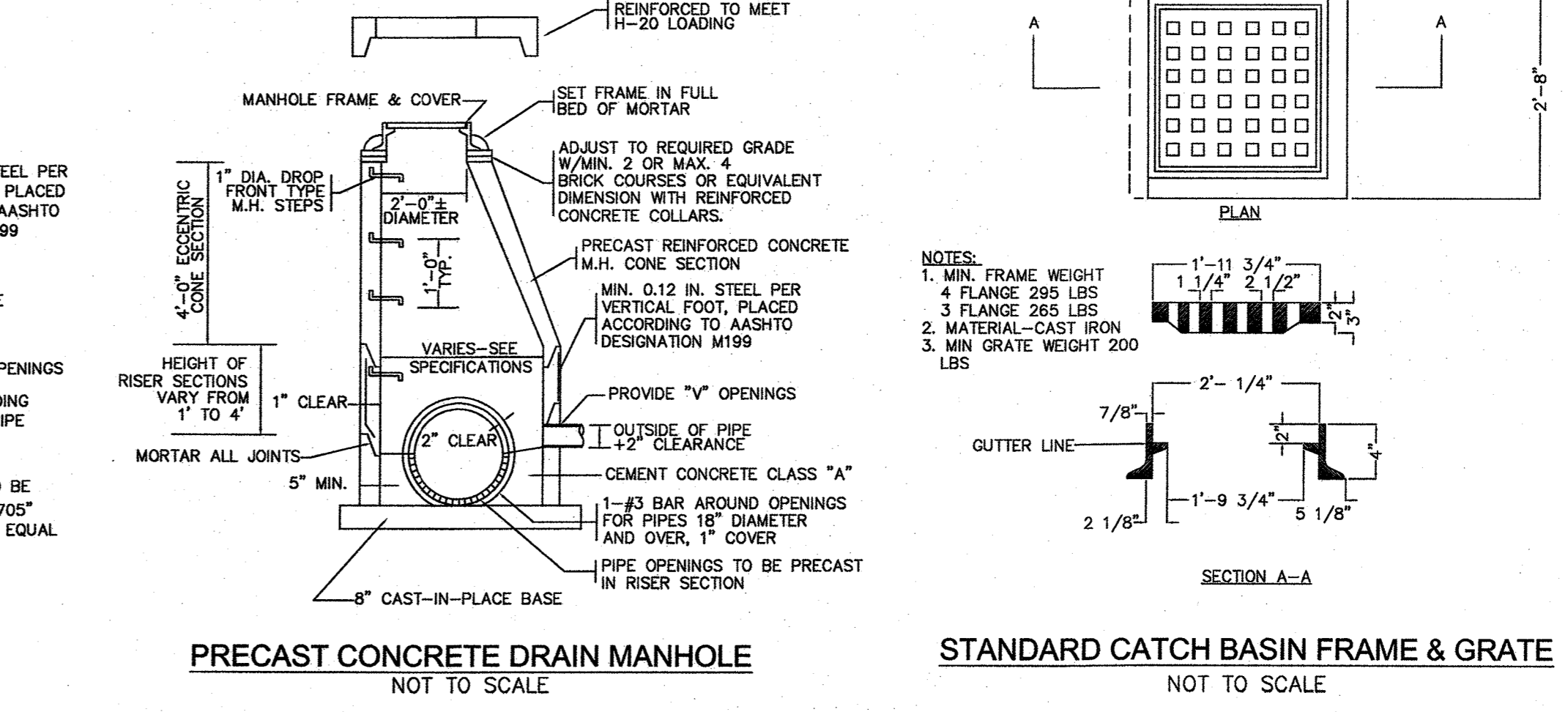
SC-740 CROSS SECTION DETAIL

- 1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 'STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS', OR ASTM F2922 'STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'.
2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 'STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS'.

STORMTECH SC-310 DETAILS AND SPECIFICATIONS

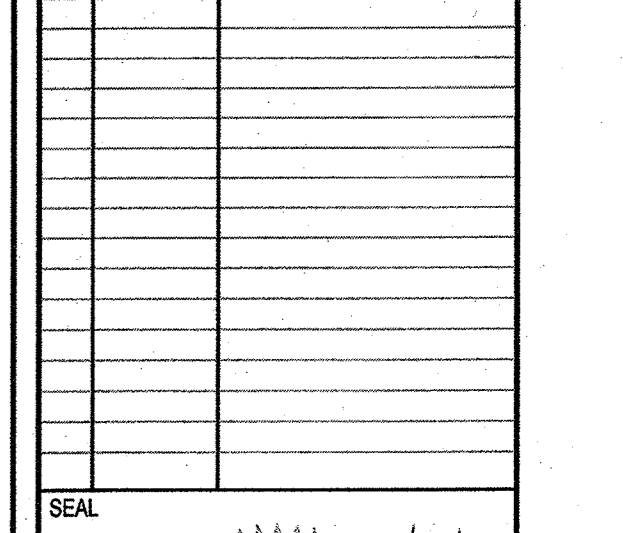


STANDARD MANHOLE FRAME & COVER



STANDARD CATCH BASIN FRAME & GRATE

Table with columns: NO, DATE, REVISIONS. Shows revision history from 06/21/2021 to 11/30/21.



DATE: JUNE 21, 2021
DRAWN: DRC
SCALE: 1" = 20'

APPROVED DATE: 11/1/21
FRANKLIN PLANNING BOARD

DATE: 1/10/22
BEING A MAJORITY

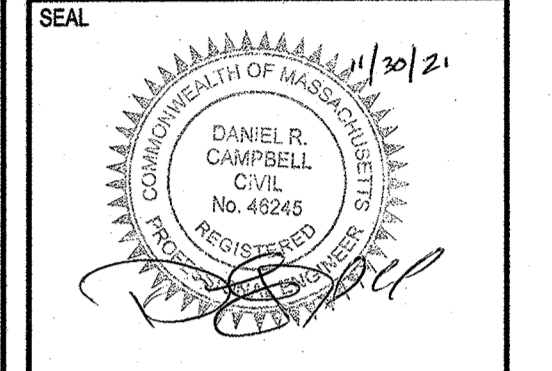
THE ENGINE YARD
COMMERCIAL/RESIDENTIAL REUSE
PARCEL ID 279-181-000-000
40 ALPINE ROW
FRANKLIN, MASSACHUSETTS

LEVEL DESIGN GROUP
CIVIL ENGINEERING / LAND SURVEYING
249 SOUTH STREET
PLAINVILLE, MA 02762
TEL. (508) 895-2221 FAX. (508) 895-2219

TYPICAL DETAILS
C-4.1
SHEET 7 OF 8
1880.00

APPROVED DATE: 11/1/21  
 FRANKLIN PLANNING BOARD  
 [Signature]  
 DATE: 1/10/22  
 BEING A MAJORITY

NO	DATE	REVISIONS
1	06/21/2021	PERMIT SUBMISSION
2	09/13/2021	RESPONSE TO COMMENTS
3	10/04/2021	RESPONSE TO COMMENTS
4	10/19/2021	RESPONSE TO COMMENTS
5	11/30/2021	APPROVAL CONDITIONS



DATE: JUNE 21, 2021  
 DRAWN: DRC  
 SCALE: 1" = 20"

**REINFORCED CONCRETE NOTES**

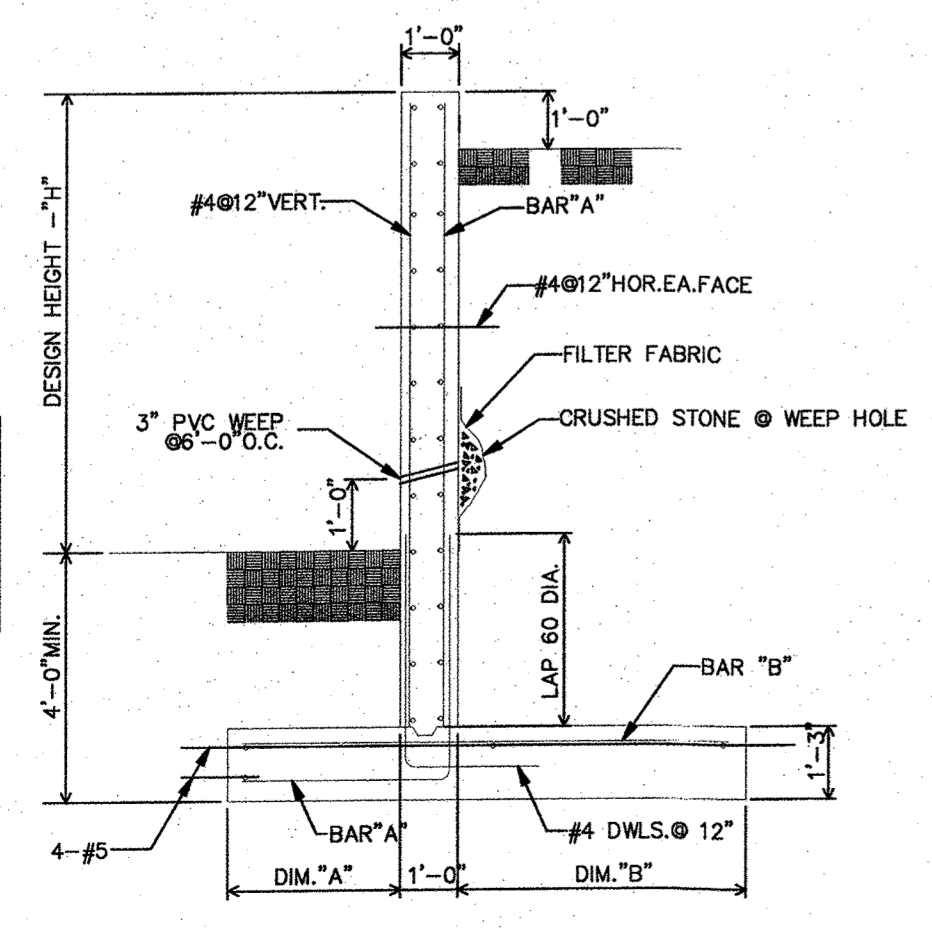
- R1. ALL CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED IN ACCORDANCE WITH ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", AND ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS". MAXIMUM SLUMP SHALL BE 4 INCHES.
- R2. ALL CONCRETE SHALL BE CONTROLLED, MIXED, AND PLACED UNDER THE SUPERVISION OF AN APPROVED CONCRETE TESTING AGENCY.
- R3. UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE NORMAL WEIGHT WITH A MINIMUM COMPRESSIVE STRENGTH AT THE END OF 28 DAYS AS FOLLOWS:  

STRENGTH (PSI)	MAXIMUM AGGREGATE SIZE (in.)	ENTRAINED AIR (%)	APPLICATION
3000	3/4	5	EXTERIOR CONCRETE
- R4. THE USE OF "FLY ASH" IN CONCRETE MIX DESIGN IS NOT ALLOWED.
- R5. NO ADMIXTURES OTHER THAN LOW RANGE WATER REDUCER WILL BE ALLOWED.
- R6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL OF FORMWORK. FORMS SHALL BE REMOVED ONLY AFTER CONCRETE HAS ATTAINED SUFFICIENT STRENGTH TO SUPPORT ITS OWN WEIGHT. CONSTRUCTION LOADS AND LATERAL LOADS SHOULD BE PLACED WITHOUT DAMAGE TO THE STRUCTURE OR CAUSE ANY EXCESSIVE DEFLECTION.
- R7. CONSTRUCTION JOINT LOCATIONS, OTHER THAN THOSE SHOWN ON THE DRAWINGS, ARE PERMITTED SUBJECT TO PRIOR APPROVAL OF THE ENGINEER. CONTROL JOINTS AND EXPANSION JOINTS ARE MANDATORY AS SHOWN.
- R8. PROVIDE 3/4 INCH CHAMFER AT ALL CONTINUOUSLY EXPOSED CONCRETE EDGES, SUCH AS CURBS, EQUIPMENT PADS, AND EDGE OF WALLS.
- R9. PROVIDE FLANGED STEEL SLEEVES WHERE PIPES PASS THROUGH CONCRETE.
- R10. ALL DETAILING, FABRICATION AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE LATEST ACI 315 "DETAILS AND DETAILING OF CONCRETE REINFORCING".
- R11. REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. UNLESS NOTED OTHERWISE ON THE DRAWINGS, THE CLEAR CONCRETE COVER OVER BARS SHALL BE AS FOLLOWS:  

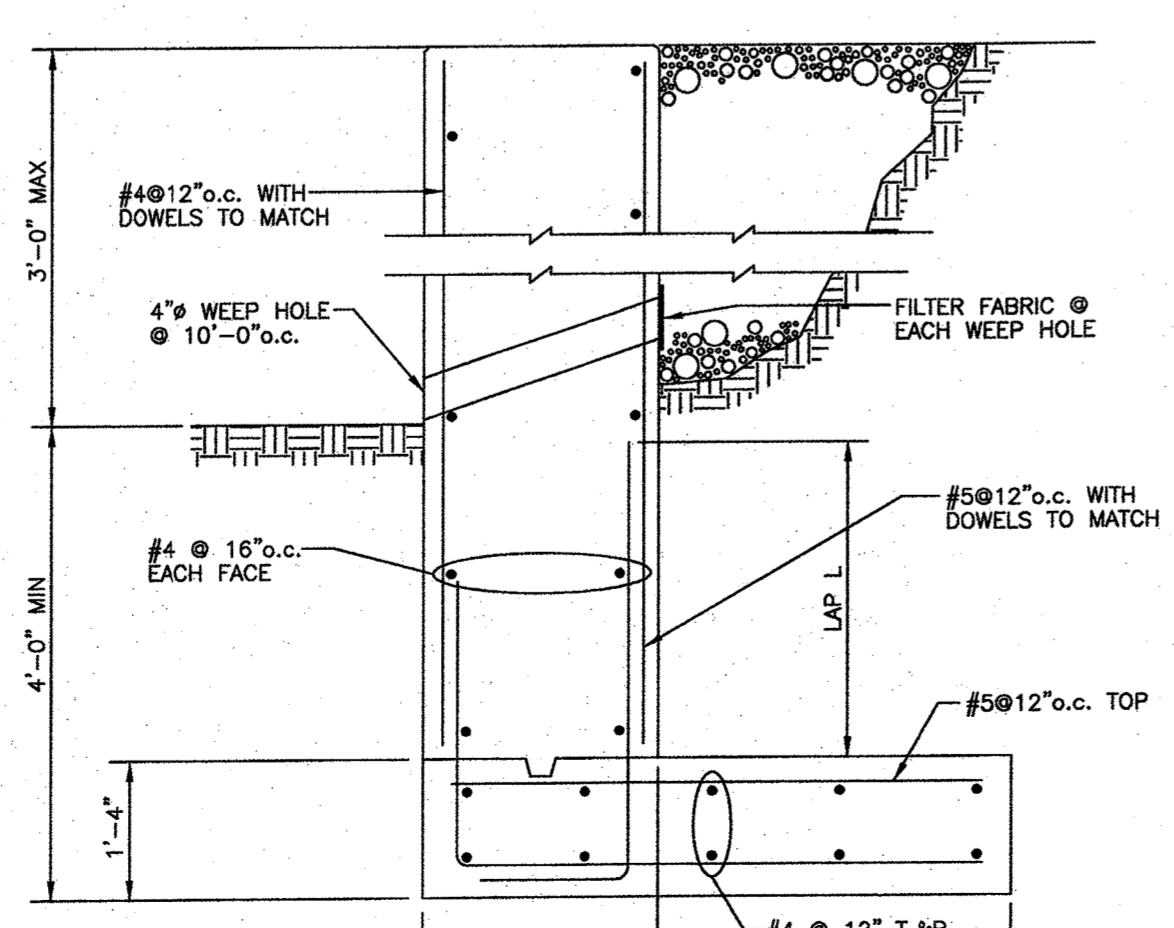
A. SURFACES PLACED IN CONTACT WITH THE GROUND.....	3"
B. FORMED SURFACE EXPOSED TO GROUND.....	2"
C. INSIDE FACE OF FORMED WALL.....	1 1/2"
D. WALL PIER TIES.....	1 1/2"
E. SLAB REINFORCING.....	3/4"
- R12. PROVIDE CLASS B SPLICES FOR ALL CONTINUOUS REINFORCEMENT UNLESS NOTED OTHERWISE.
- R13. SET AND TIE ALL REINFORCEMENT BEFORE PLACING CONCRETE. SETTING OF ANCHOR BOLTS, DOWELS AND REINFORCEMENT INTO WET CONCRETE IS PROHIBITED.
- R14. ALL KEYS SHALL BE 2"x4" (NOMINAL) UNLESS NOTED OTHERWISE.
- R15. USE NON-SHRINK, NON-METALLIC GROUT WHERE INDICATED.
- R16. PROVIDE SEALANT FOR ALL EXPOSED TO VIEW CONSTRUCTION AND/OR CONTROL JOINTS.

DESIGN HT.	8'-0" TO 12'-0"	4'-0" TO 8'-0"	0 TO 4'-0"
BAR "A"	#7 @ 6"	#5 @ 12"	#5 @ 12"
BAR "B"	#7 @ 12"	#5 @ 12"	#5 @ 12"
DIM. "A"	3'-0"	1'-6"	1'-0"
DIM. "B"	5'-0"	3'-6"	2'-0"

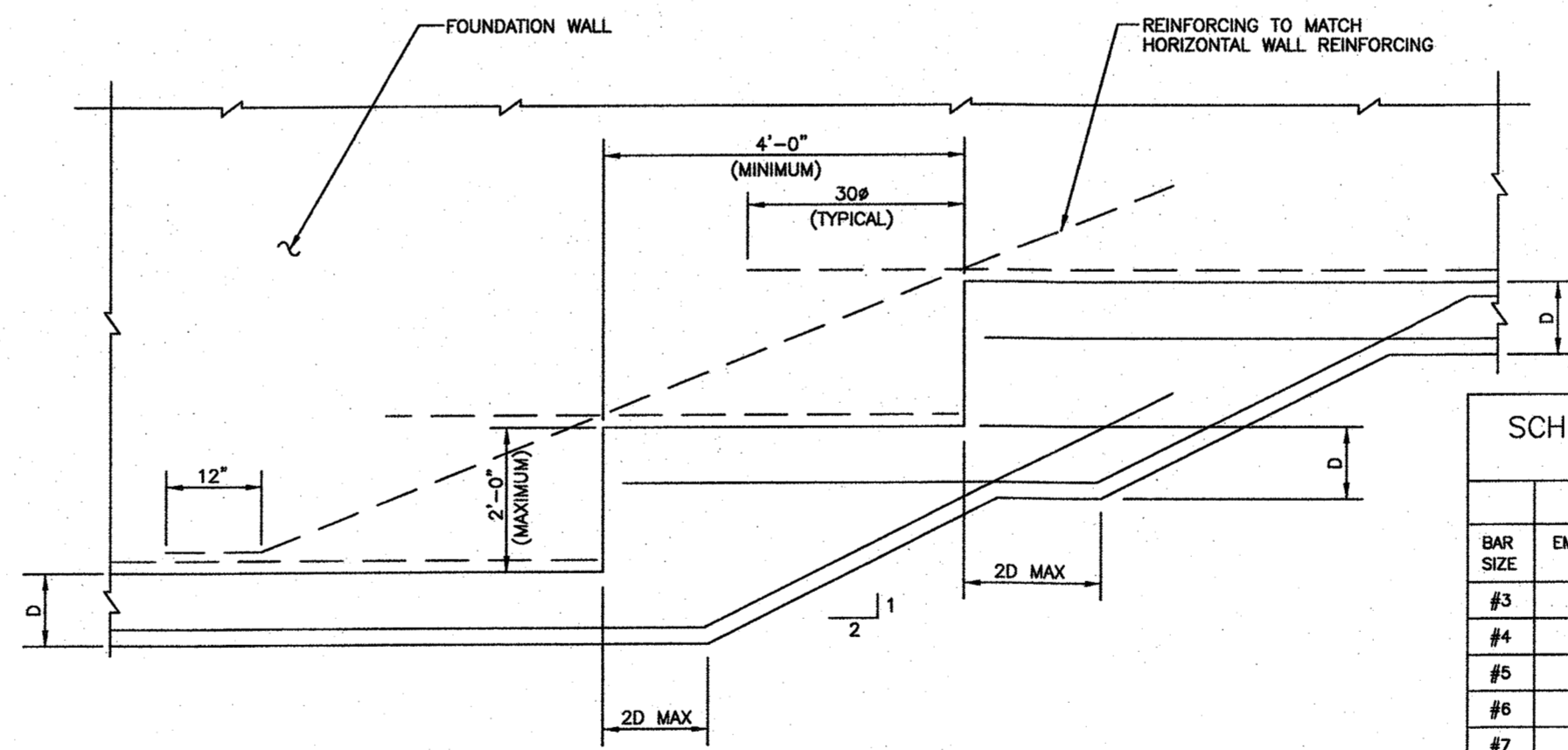
- ENG. NOTE:  
 1. MINIMUM BEARING CAPACITY OF SOIL 3000 PSF  
 2. POSSIBILITY OF SUPERIMP. LIVE LOAD.



**REINFORCED CONCRETE RETAINING WALL**  
 NOT TO SCALE



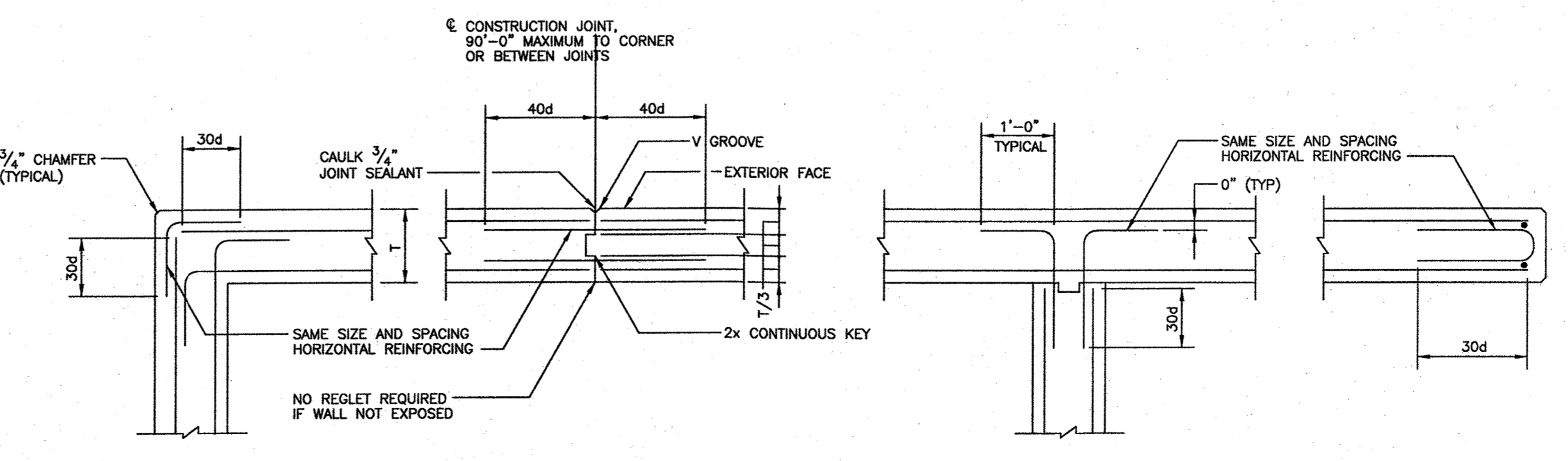
**CONCRETE RETAINING WALL AT PROPERTY LINE**  
 NOT TO SCALE



**TYPICAL ELEVATION OF CONTINUOUS STEPPED WALL FOOTING**  
 NOT TO SCALE

**SCHEDULE OF EMBEDMENT AND SPLICE LENGTHS**  
 (UNLESS SHOWN OTHERWISE ON DRAWINGS)

BAR SIZE	COMPRESSION		EMBEDMENT LENGTH		TENSION	
	EMBEDMENT LENGTH	LAP SPLICE LENGTH	TOP BARS	OTHER BARS	TOP BARS	OTHER BARS
#3	8"	12"	13"	12"	16"	16"
#4	11"	15"	17"	12"	22"	16"
#5	14"	19"	21"	15"	27"	20"
#6	17"	23"	25"	18"	33"	24"
#7	19"	26"	32"	23"	41"	30"
#8	22"	30"	42"	30"	55"	39"
#9	25"	34"	53"	38"	69"	49"
#10	28"	38"	67"	46"	88"	63"
#11	31"	42"	83"	59"	108"	77"



**TYPICAL FOUNDATION WALL DETAILS**  
 NOT TO SCALE

**THE ENGINE YARD**  
 COMMERCIAL/RESIDENTIAL REUSE  
 PARCEL ID 279-181-000-000  
 40 ALPINE ROW  
 FRANKLIN, MASSACHUSETTS

**LEVEL**  
 DESIGN GROUP  
 CIVIL ENGINEERING / LAND SURVEYING  
 249 SOUTH STREET  
 UNIT 1  
 PLAINVILLE, MA 02762  
 TEL. (508) 895-2221 FAX. (508) 895-2219

**TYPICAL DETAILS**  
**C-4.2**  
 SHEET 8 OF 8  
**1880.00**

CLIENT



5 MT. ROYAL AVENUE, MARLBOROUGH, MA 01752

CONSULTANT

SEAL



KEY PLAN

APPROVED DATE: 11/1/21  
FRANKLIN PLANNING BOARD

*[Signature]*  
DATE: 1/10/22  
BEMG A MAJORITY

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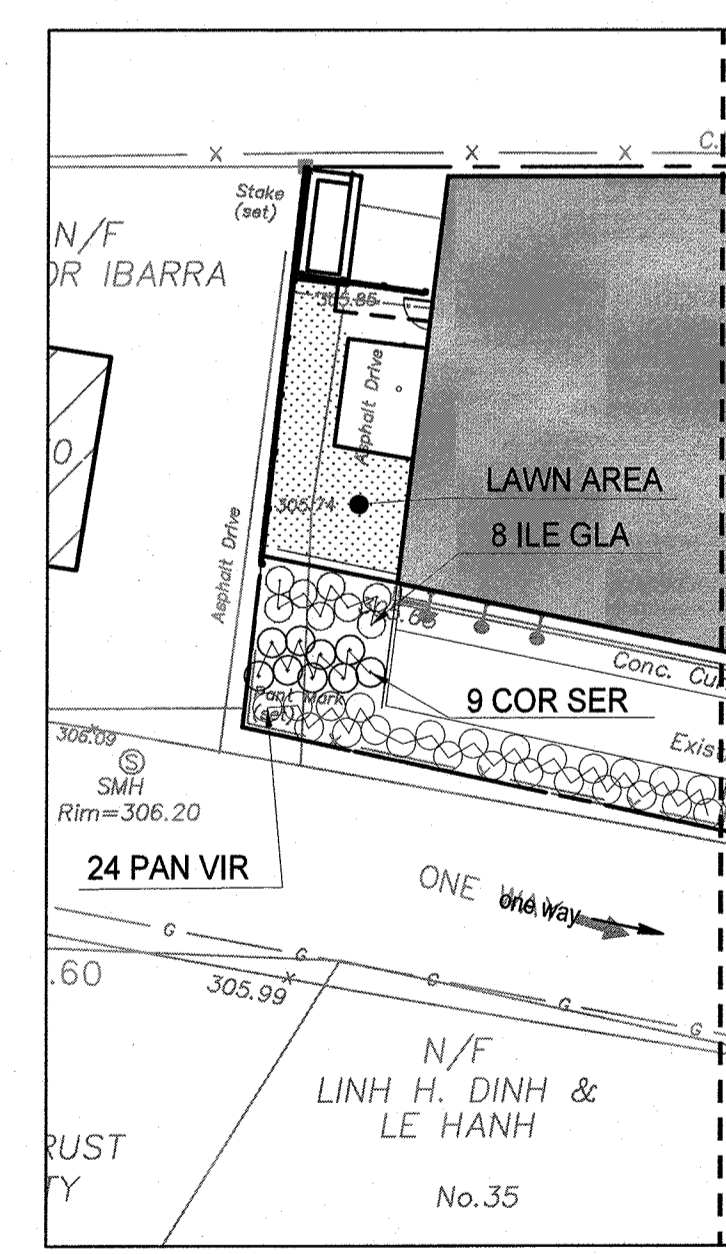
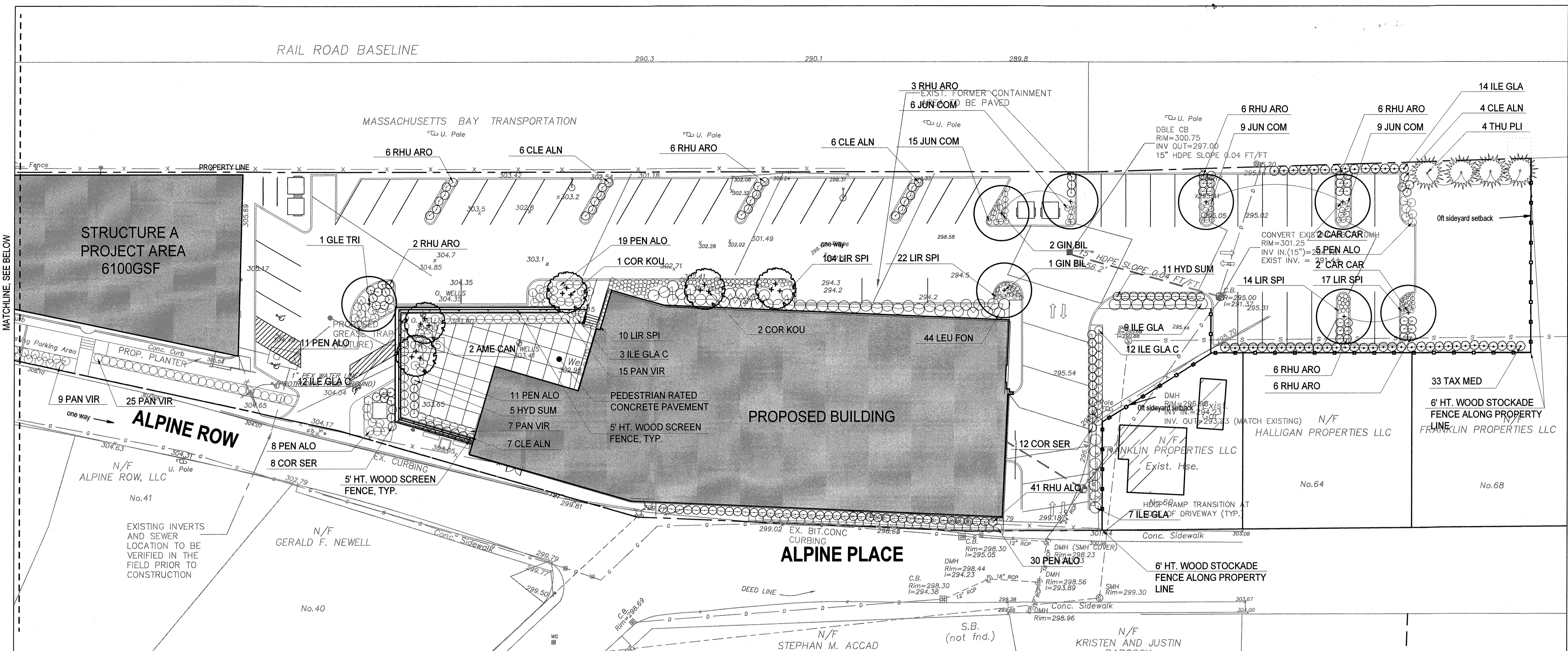
ISSUE CHART

DATE	PROJECT NUMBER	CHECKED	APPROVED	SCALE	SHEET NAME
OCTOBER 8, 2021	440	JL	JL	1"= 20'-0"	

## SITE LANDSCAPE PLAN

SHEET NUMBER

# LA-01

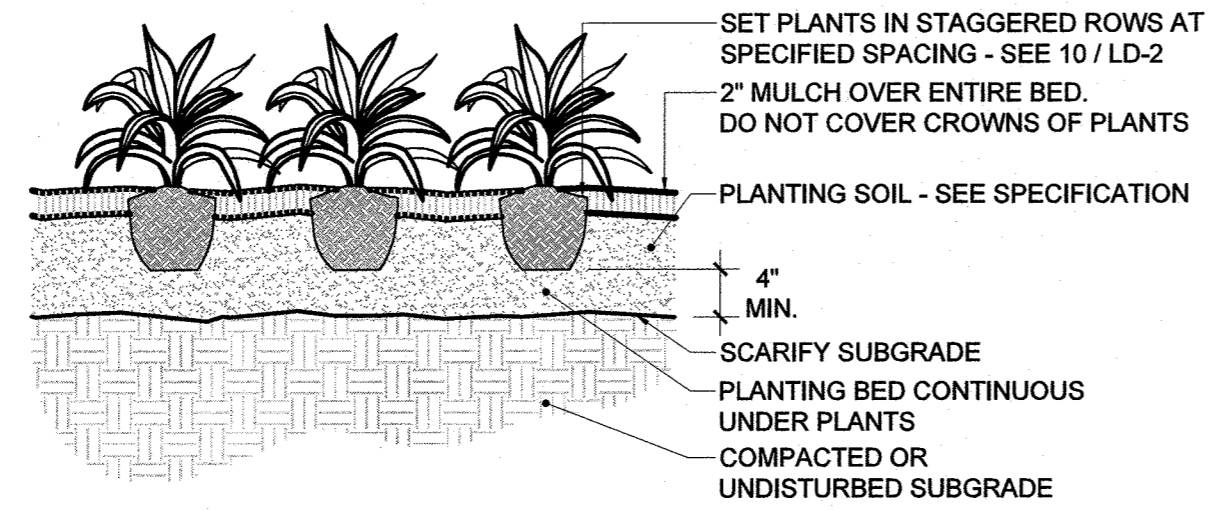


### PLANTING NOTES

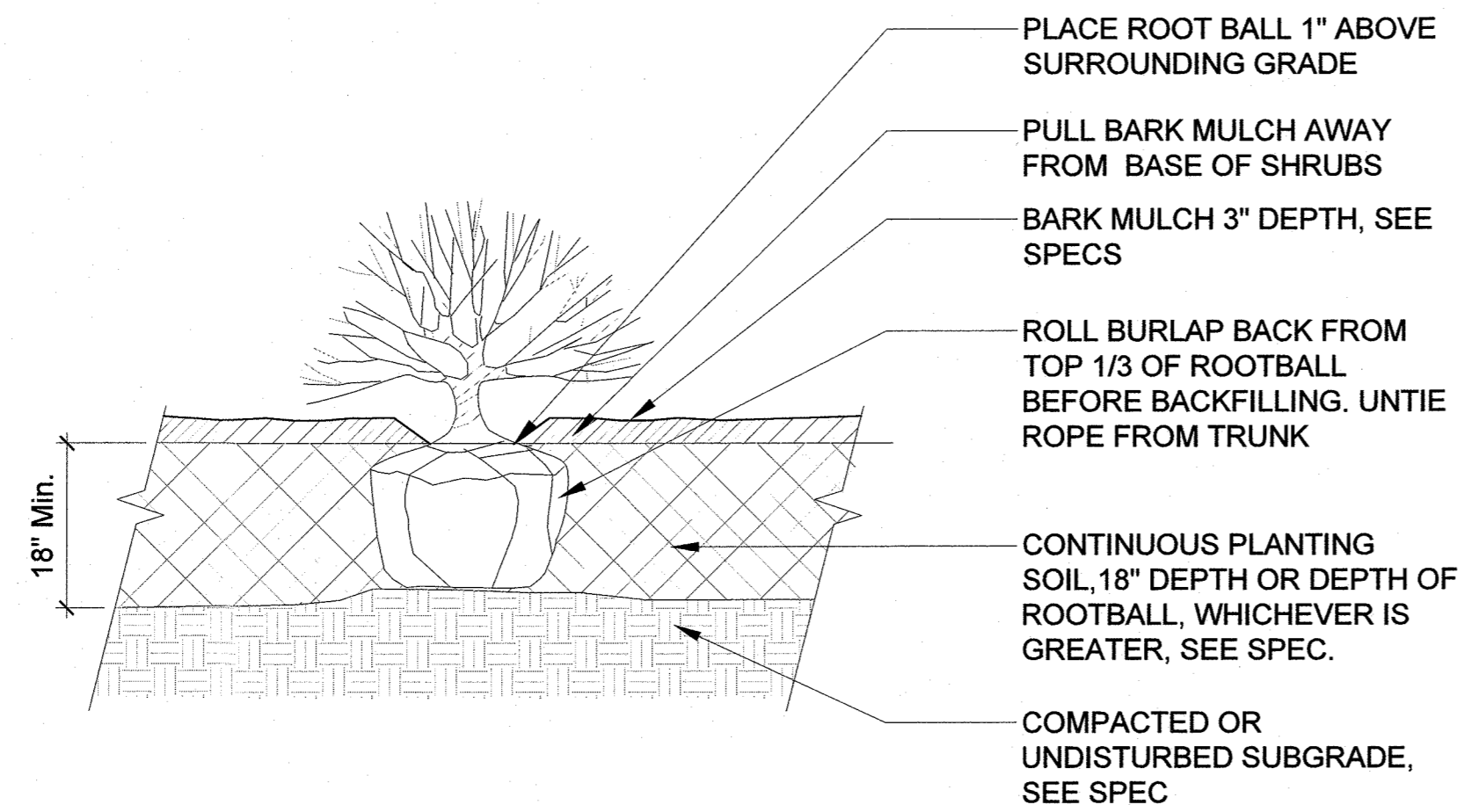
- BASE FILE SURVEY INFORMATION PROVIDED BY JOE THE ARCHITECT, MAY 05, 2021.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
- ALL NEW PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER-GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
- STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY OWNER'S REP PRIOR TO THE COMMENCEMENT OF PLANTING.
- NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. TREES SHALL BE SET 3" HIGHER THAN PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PLANT BEDS TO RECEIVE THREE INCHES (3") OF BARK MULCH AS PER THE SPECIFICATIONS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. PROTECTION TECHNIQUES SHALL BE REVIEWED AND APPROVED BY THE OWNER'S REP.
- PRUNE EXISTING AND NEW TREES IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE FULL DEPTHS OF LOAM AS NOTED ON DETAILS AND AS SPECIFIED, FOR ALL PLANTING.
- ALL TREES TO BE REMOVED FROM SCOPE OF WORK SHALL INCLUDE GRINDING OF STUMP AND REMOVAL OFF-SITE.
- ANY EXISTING TREES AFFECTED BY CONSTRUCTION SHALL HAVE ROOTS PRUNED PER THE SPECIFICATIONS.
- ALL PLANTS ON THE PLANTING SCHEDULE COMPLY WITH THE TOWN OF FRANKLIN'S BEST DEVELOPMENT PRACTICES GUIDEBOOK. PLANTS INDICATED AS NATIVE CAN BE FOUND ON THE TOWN'S RECOMMENDED LIST OF PLANTS. ALL OTHER PLANTS INDICATED ARE NON-INVASIVE AND PER THE GUIDEBOOK ARE APPROVED TO BE INSTALLED IN THIS LOCATION. THEY HAVE BEEN SELECTED FOR HARDINESS, TOLERANCE TO SALT, POLLUTION AND SOLAR ORIENTATION PREFERENCES.

### PLANTING SCHEDULE

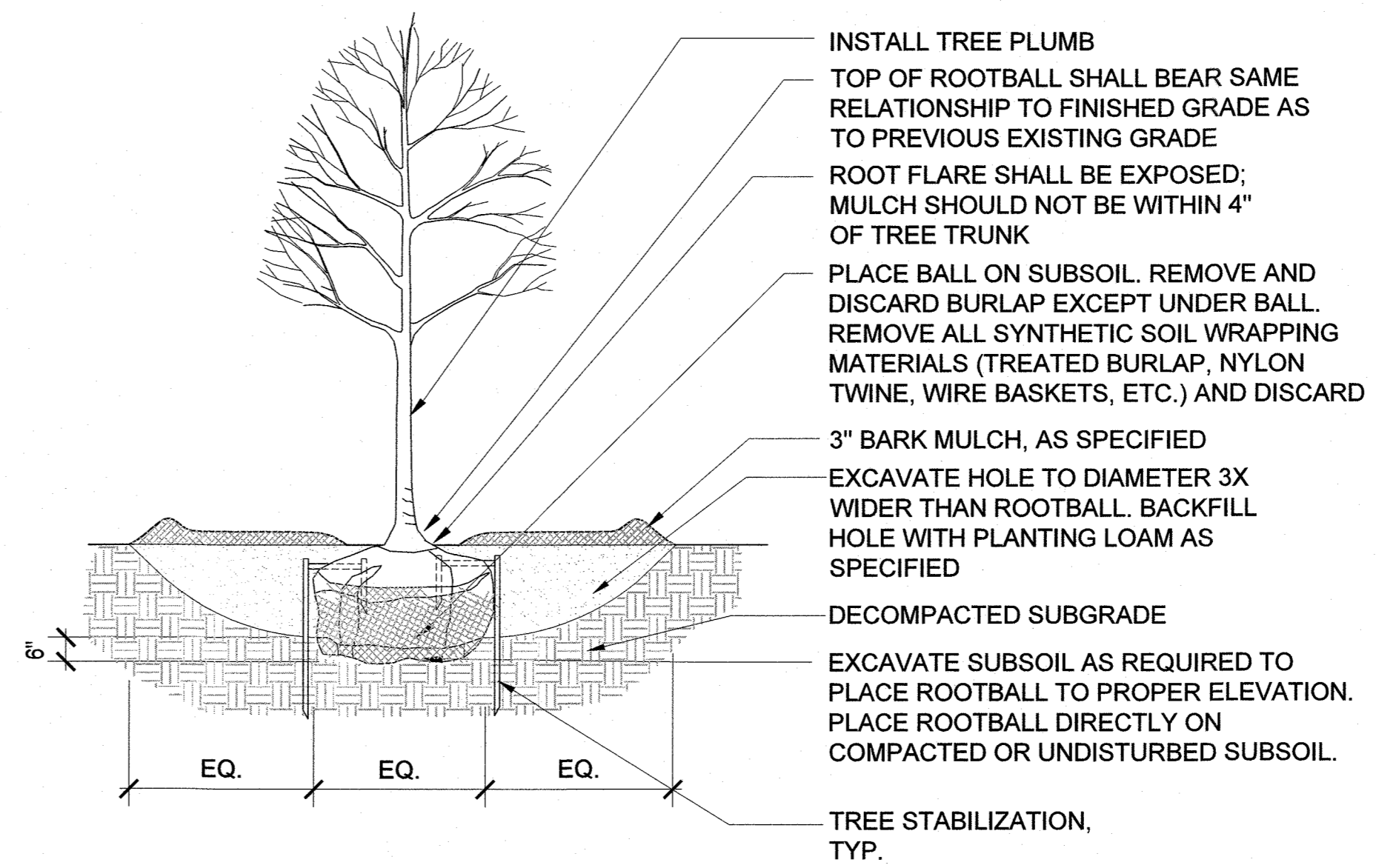
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING/NOTES
<b>SHADE TREES</b>					
GIN BIL	3	<i>Ginkgo biloba</i>	Ginkgo	2 - 2 1/2" CAL	B&B
GLE TRI	1	<i>Gleditsia triacanthos</i>	Honeylocust	2 - 2 1/2" CAL	B&B
CAR CAR	4	<i>Carpus carolinia</i>	American Hornbeam	2 - 2 1/2" CAL	B&B, NATIVE
<b>ORNAMENTAL TREES</b>					
AME CAN	2	<i>Amelanchier canadensis</i>	Serviceberry	8-10' HT.	B&B; Multi-stem, NATIVE
COR KOU	3	<i>Cornus kousa</i>	Kousa Dogwood	8-10' HT.	B&B; Multi-stem
<b>EVERGREEN TREES</b>					
THU PLI	4	<i>Thuja plicata 'Nana'</i>	Dwarf Western Arbovitae	8-10' HT.	B&B
<b>EVERGREEN SHRUBS</b>					
ILE GLA C	27	<i>Ilex glabra 'compacta'</i>	Compact Inkberry	24"-36" HT	36" O.C. NATIVE
ILE GLA	38	<i>Ilex glabra</i>	Inkberry	24"-36" HT	42" O.C. NATIVE
LEU FON	44	<i>Leucothoe fontanesiana 'Compacta'</i>	Compact Drooping Leucothoe	2 Gal.	48" O.C. NATIVE
TAX MED	33	<i>Taxus media 'Hill's Upright'</i>	Hill's Upright Yew	36"-48" HT	36" O.C.
<b>DECIDUOUS SHRUBS</b>					
CLE ALN	23	<i>Clethra alnifolia 'Compacta'</i>	Compact Summersweet	3 Gal.	48" O.C. NATIVE
COR SER	29	<i>Cornus Sericea 'kelseyi'</i>	Kelsey Dogwood	3 Gal.	48" O.C. NATIVE
HYD SUM	16	<i>Hydrangea 'Endless Summer'</i>	Endless Summer Hydrangea	3 Gal.	36" O.C.
RHU ARO	83	<i>Rhus aromatica 'Gro Low'</i>	Gro-Low Fragrant Sumac	3 Gal.	36" O.C. NATIVE
<b>ORNAMENTAL GRASSES AND PERENNIALS</b>					
JUN COM	21	<i>Juniperus communis</i>	Common Juniper	1 Gal.	24" O.C. NATIVE
LIR SPI	177	<i>Liriope spicata</i>	Lily Turf	1 Gal.	18" O.C.
PAN VIR	80	<i>Panicum virgatum 'Shenandoah'</i>	Switch Grass	1 Gal.	36" O.C. NATIVE
PEN ALO	84	<i>Pennisetum alopecuroides 'hameln'</i>	Hameln Fountain Grass	1 Gal.	36" O.C.



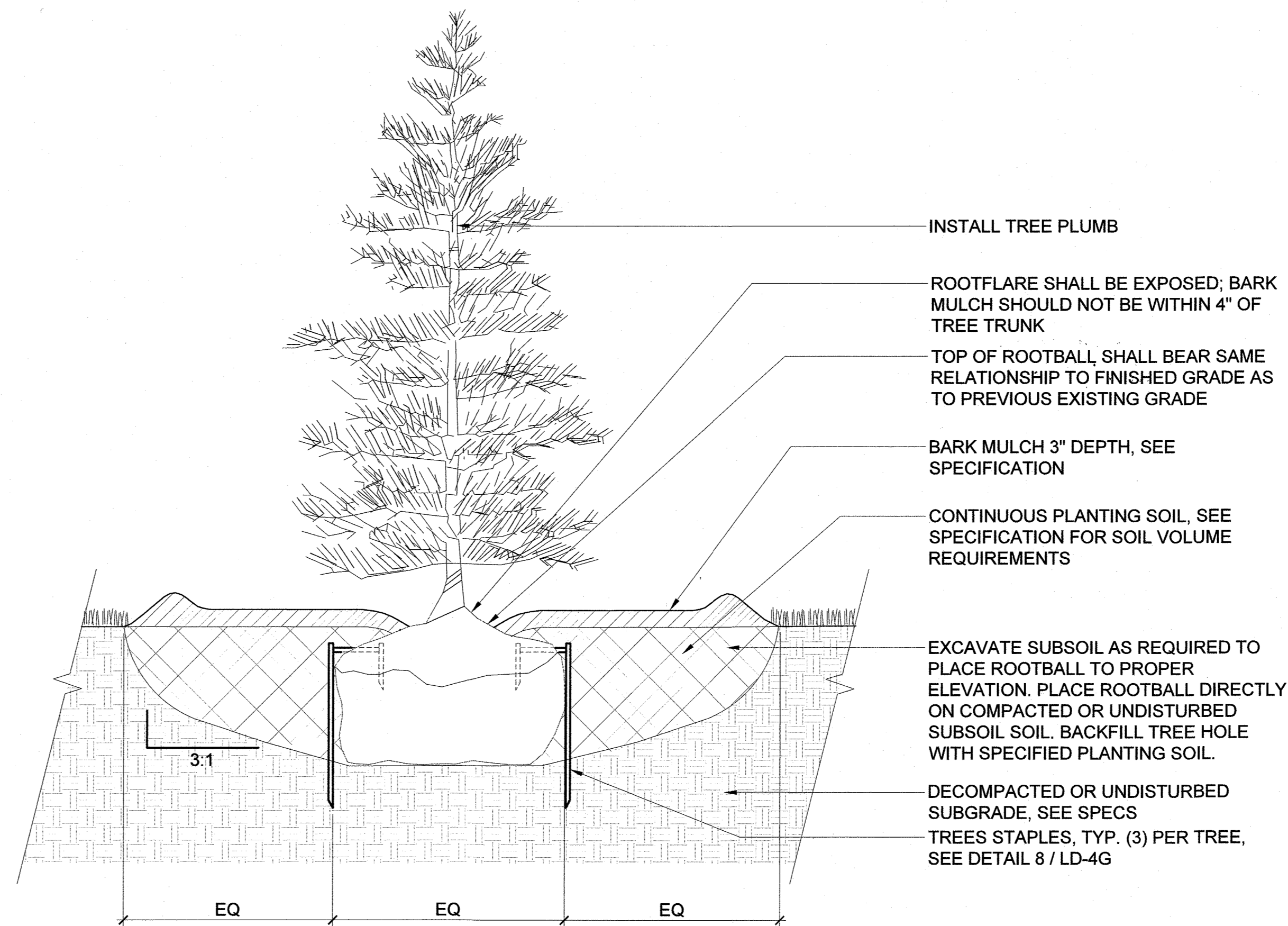
**4 PERENNIAL/GROUNDCOVER PLANTING**  
 SCALE: NTS



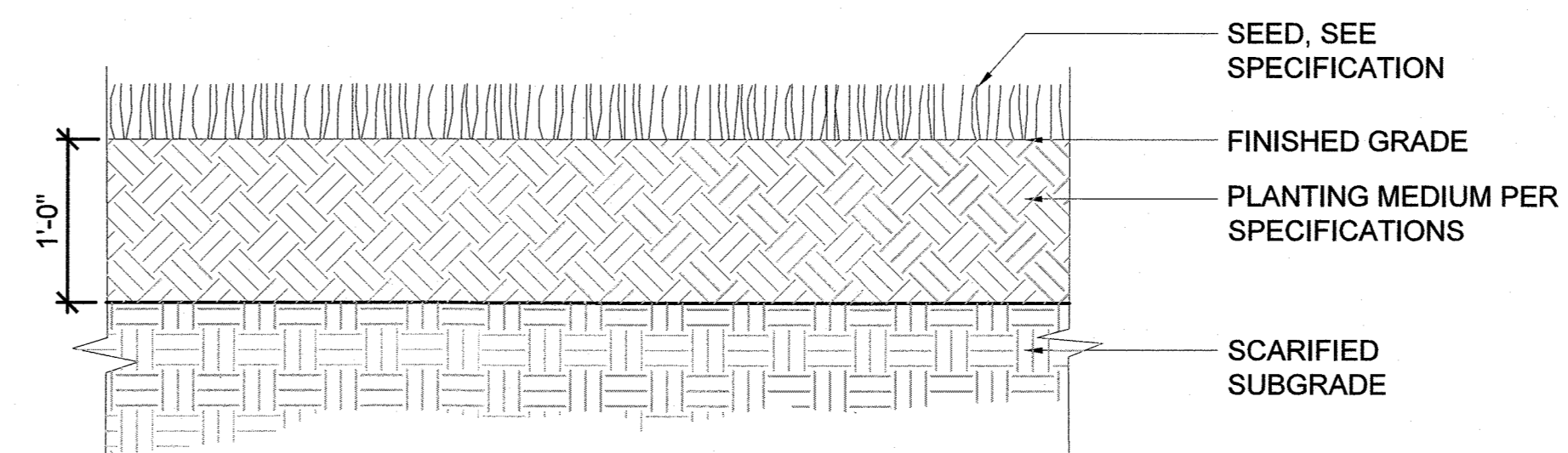
**5 SHRUB PLANTING**  
 SCALE: NTS



**1 DECIDUOUS TREE PLANTING**  
 SCALE: NTS



**2 EVERGREEN TREE PLANTING**  
 SCALE: NTS



**3 SEEDED LAWN**  
 SCALE: NTS

**NOT FOR CONSTRUCTION**

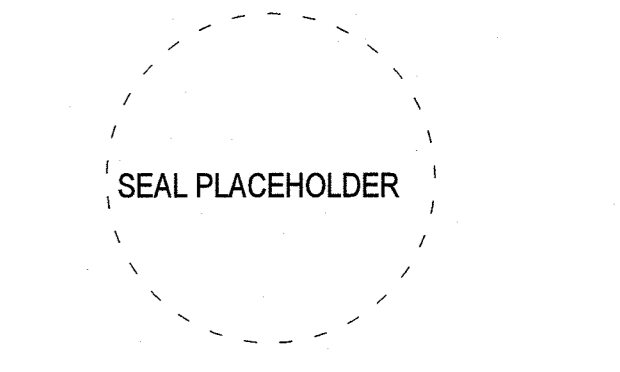
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ISSUE CHART

OCTOBER 8, 2021	DATE
440	PROJECT NUMBER
JL	CHECKED
JL	APPROVED
1" = 20'-0"	SCALE
	SHEET NAME

**SITE LANDSCAPE DETAILS**





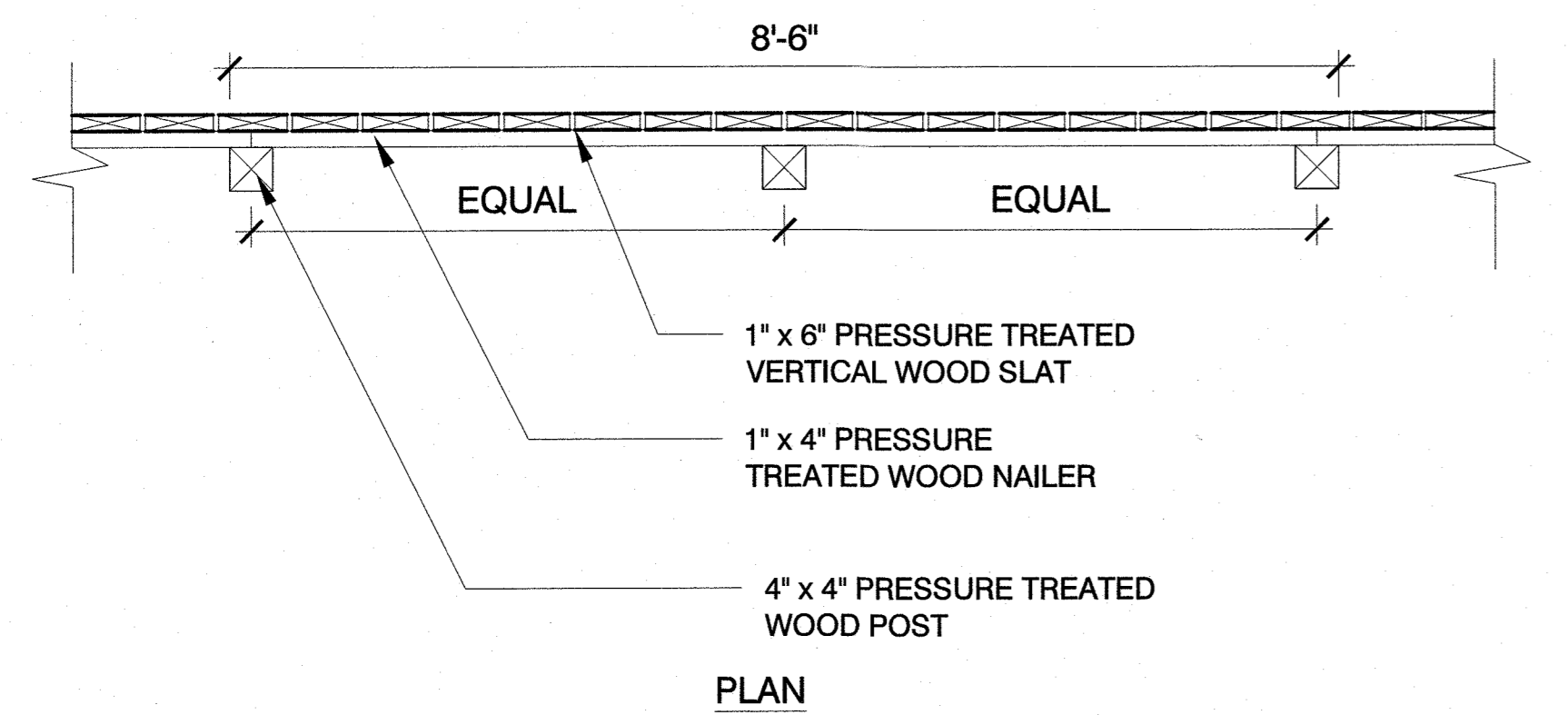
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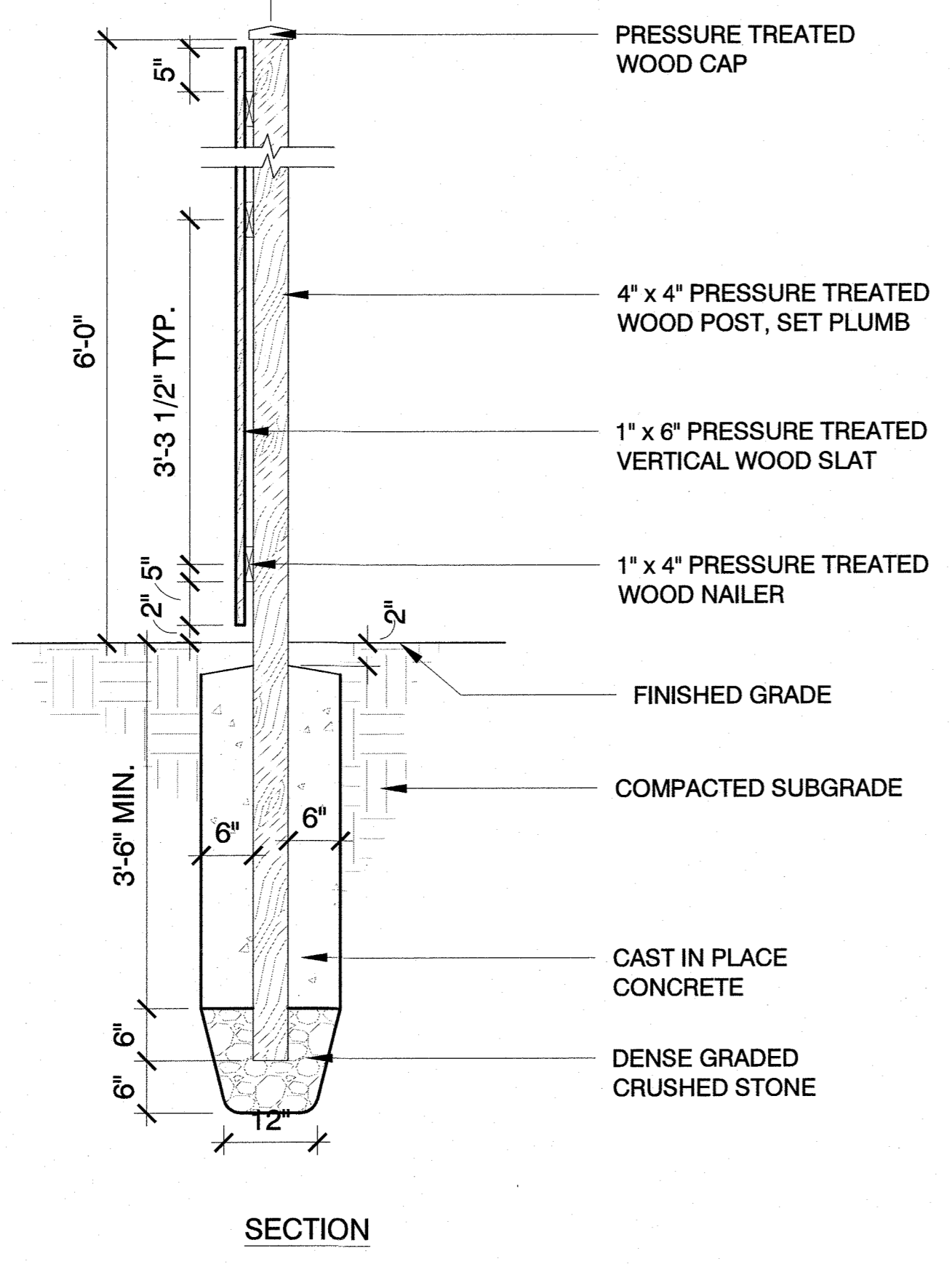
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DATE	PROJECT NUMBER
OCTOBER 8, 2021	440
	CHECKED
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	1"= 20'-0"
	SHEET NAME

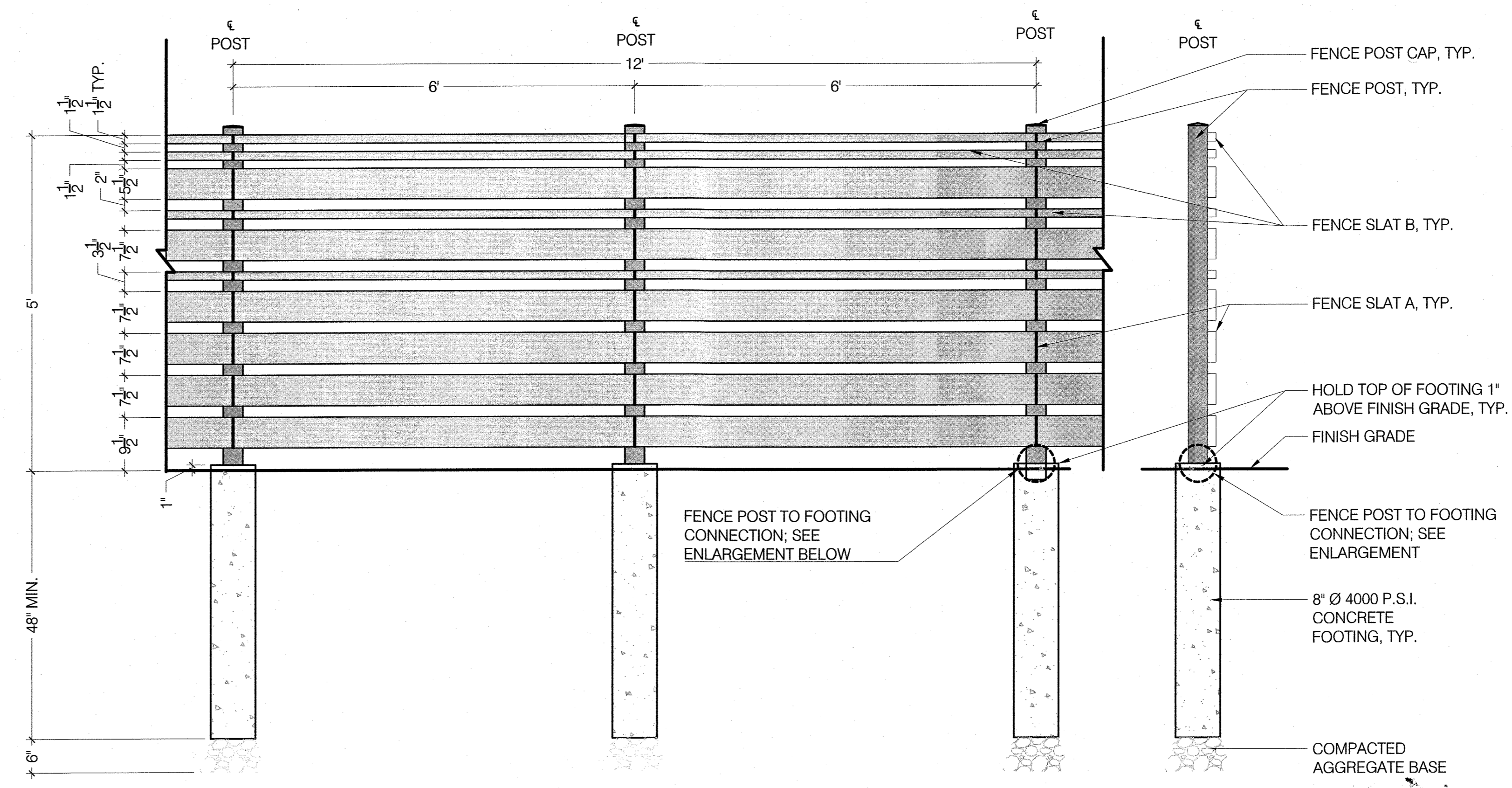
**SITE LANDSCAPE DETAILS**



← ADJACENT PROPERTY    ● PARKING LOT

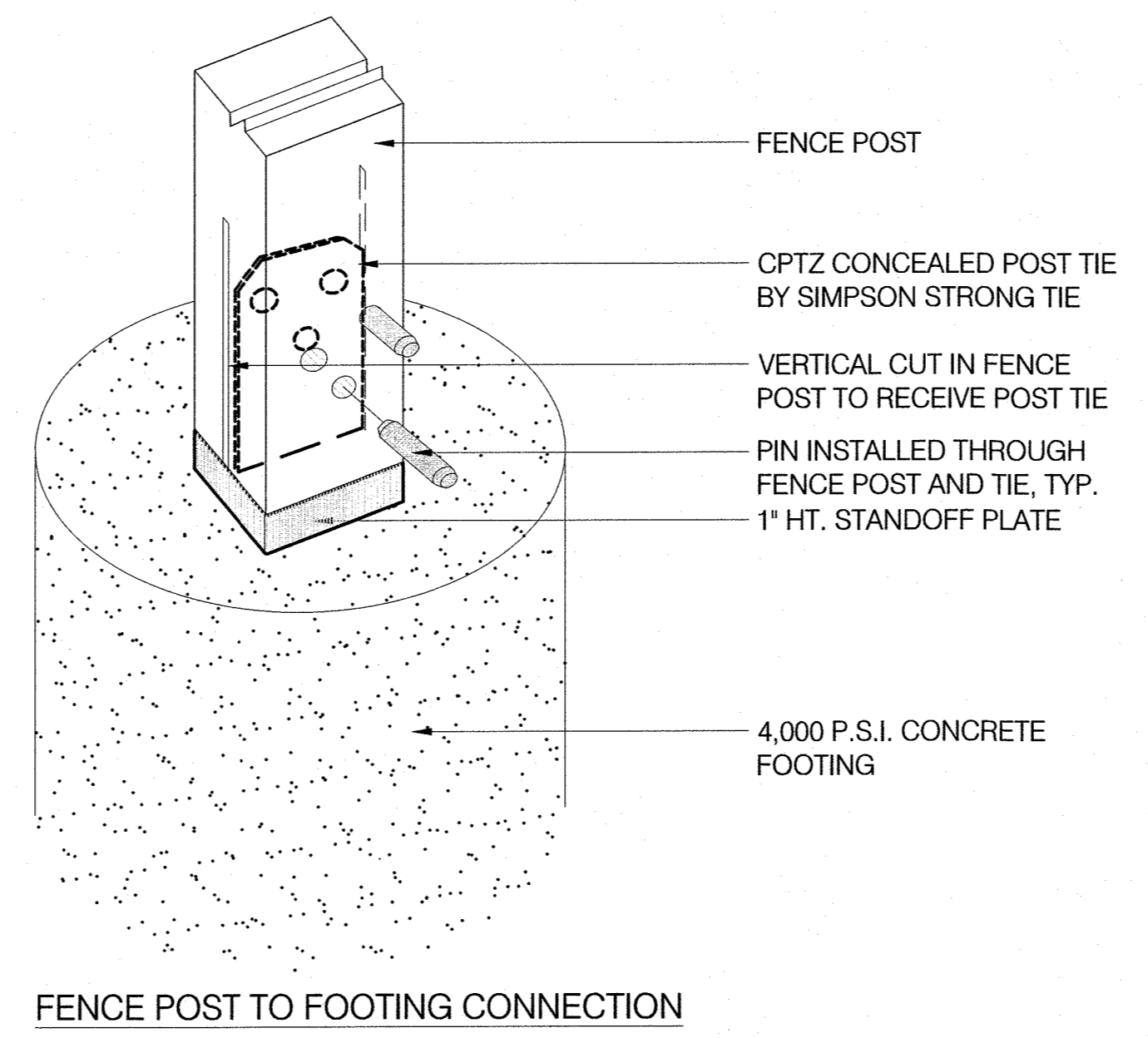


SECTION

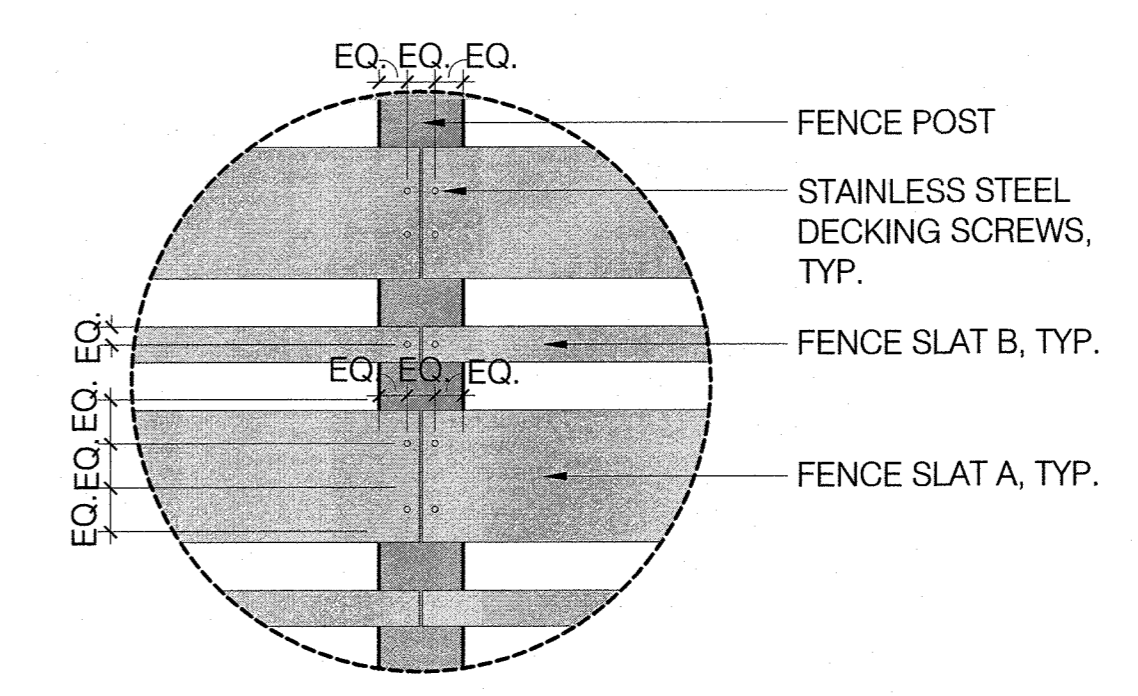


SCREEN FENCE A - ELEVATION

SCREEN FENCE A - SECTION



FENCE POST TO FOOTING CONNECTION



FENCE SLAT CONNECTION

NOTES:

1. FENCE POST SHALL BE 4X4 NOM. EASTERN RED CEDAR POST
2. FENCE SLAT 'A' SHALL BE 2X6 NOM. EASTERN RED CEDAR BOARD
3. FENCE SLAT 'B' SHALL BE 2X2 NOM. EASTERN RED CEDAR BOARD
4. GAPS BETWEEN FENCE SLATS SHALL BE 2" CLEAR, TYP. EXCEPT WHERE SHOWN ON THE DETAIL.
5. ALL FENCE PANELS SHALL BE INSTALLED PARALLEL WITH VARYING HORIZONTAL, AND LINEAR OFFSETS.
6. PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION.

**2 6' HT. WOOD STOCKADE FENCE**  
 SCALE: NTS

**1 WOOD SCREEN FENCE AT OUTDOOR TERRACE**  
 SCALE: NTS

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OCTOBER 8, 2021	DATE
440	PROJECT NUMBER
JL	CHECKED
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1" = 20'-0"	SCALE
	SHEET NAME

**SITE LANDSCAPE  
PLANT IMAGERY**

**DECIDUOUS TREES -**

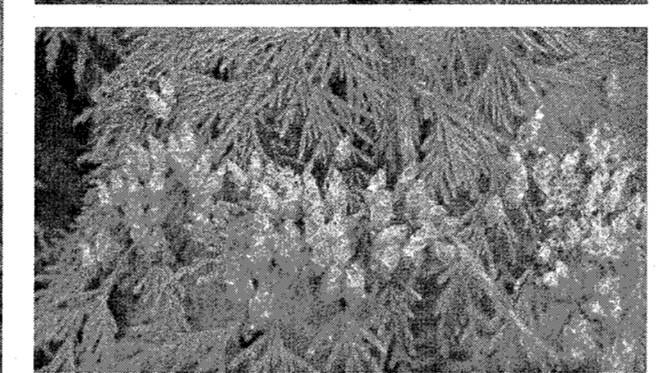
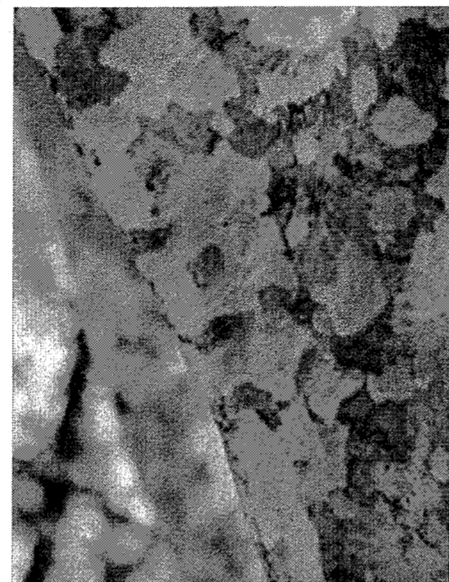
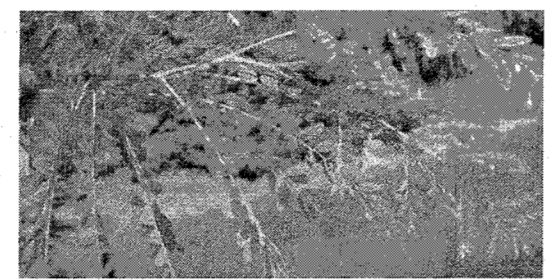
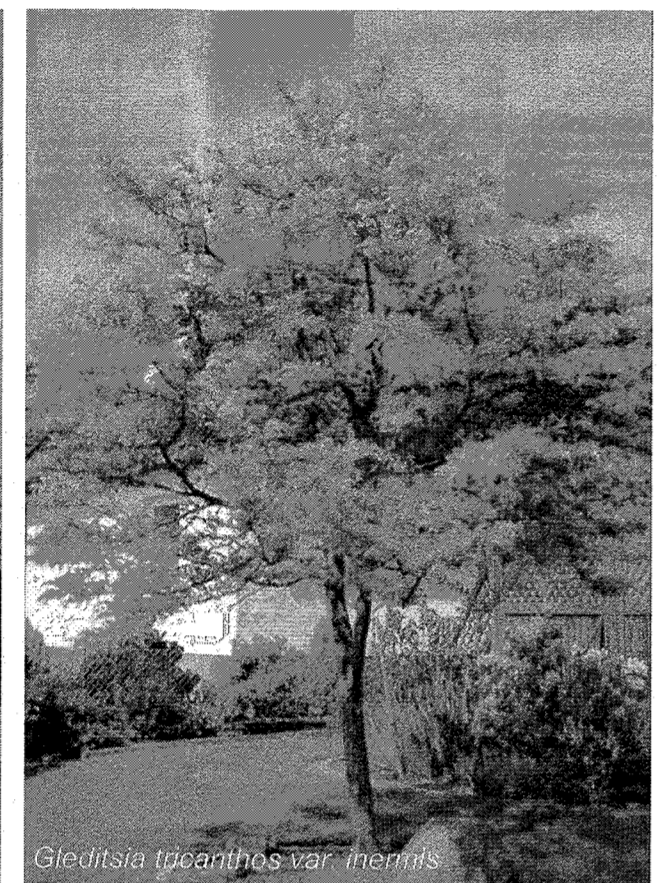
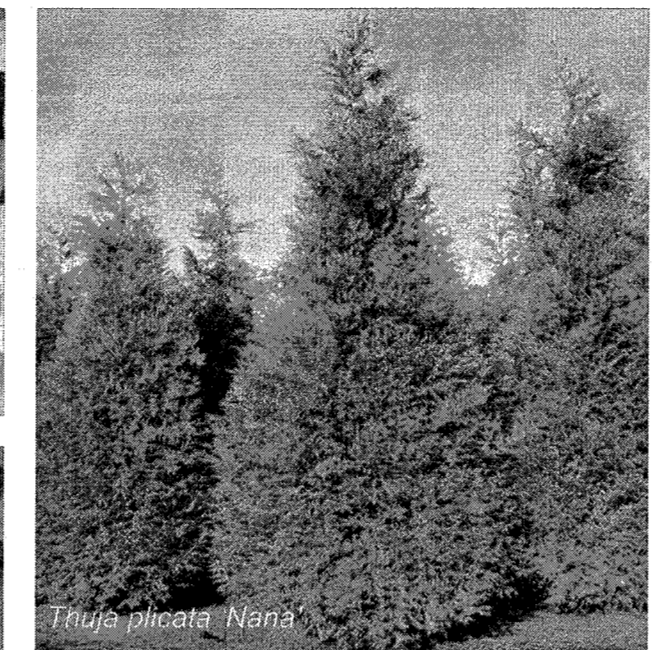
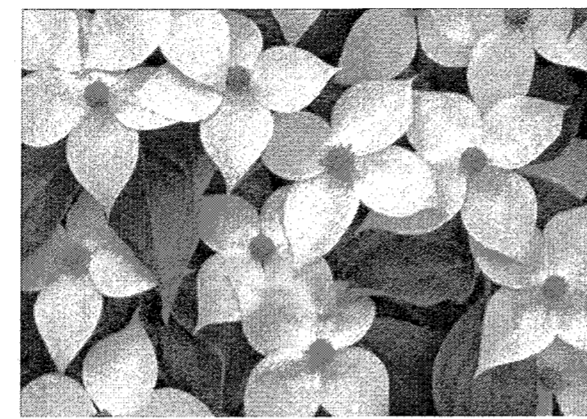
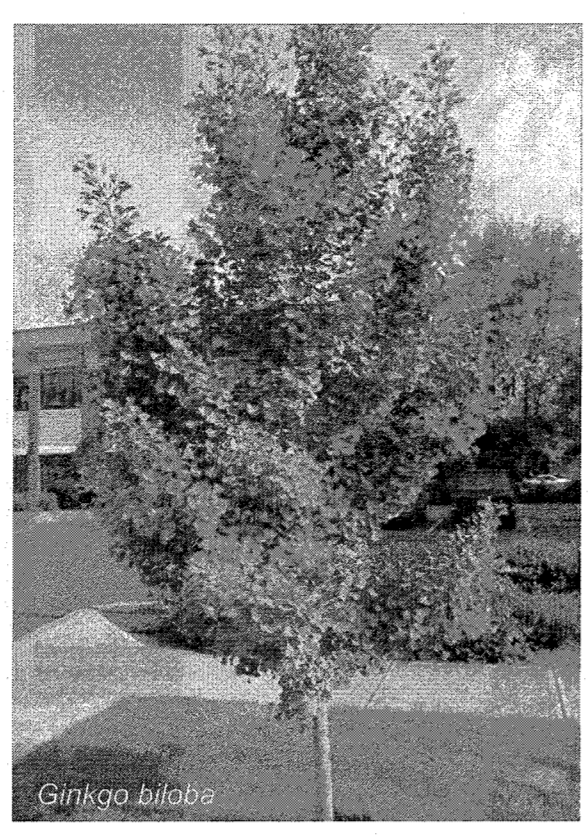
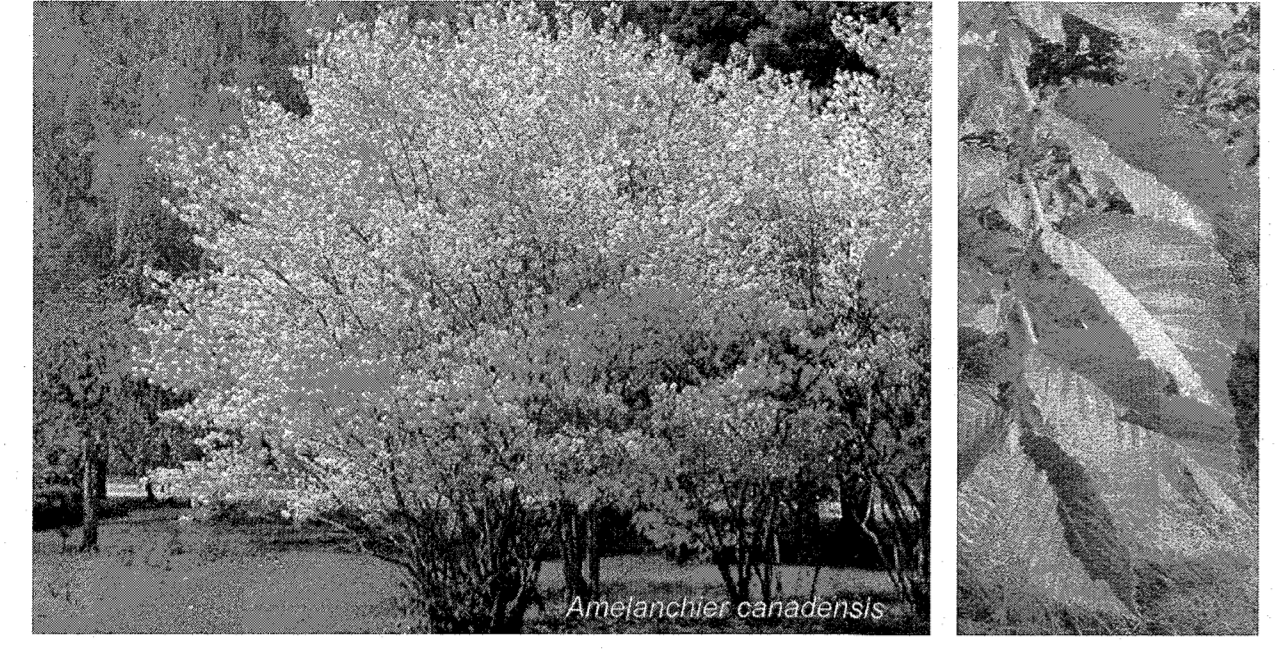
- Carpinus caroliniana* American Hornbeam
- Ginkgo biloba* Maidenhair Tree
- Gleditsia tricanthos* Thornless Honeylocust

**ORNAMENTAL TREES -**

- Amelanchier canadensis* Serviceberry
- Cornus kousa* Kousa Dogwood

**EVERGREEN TREES -**

- Thuja plicata 'Nana'* Dwarf Western Arborvitae



**TREE PLANTING OPTIONS**  
MAY 17, 2021

**EVERGREEN SHRUBS -**

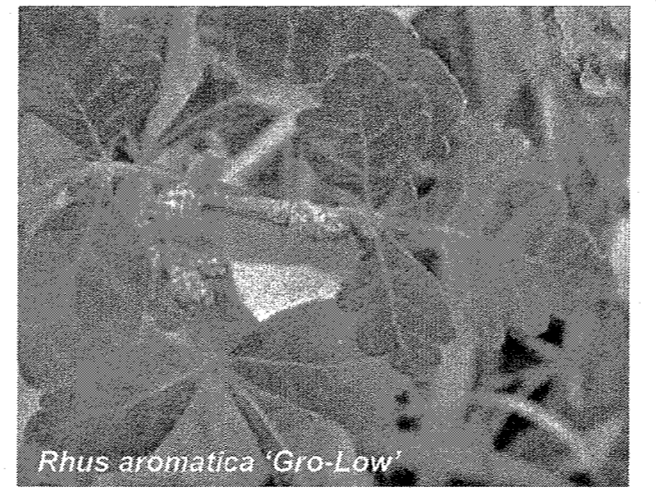
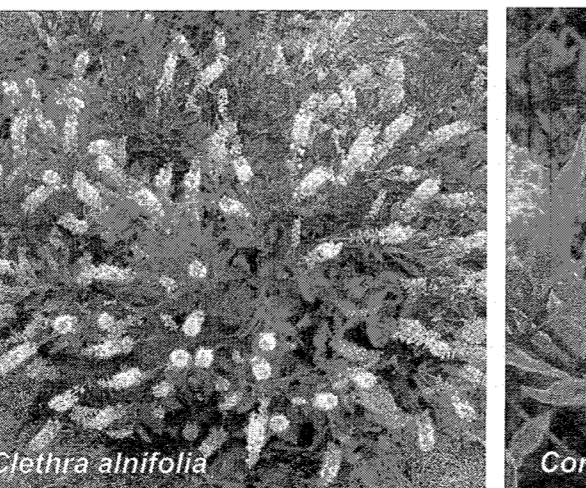
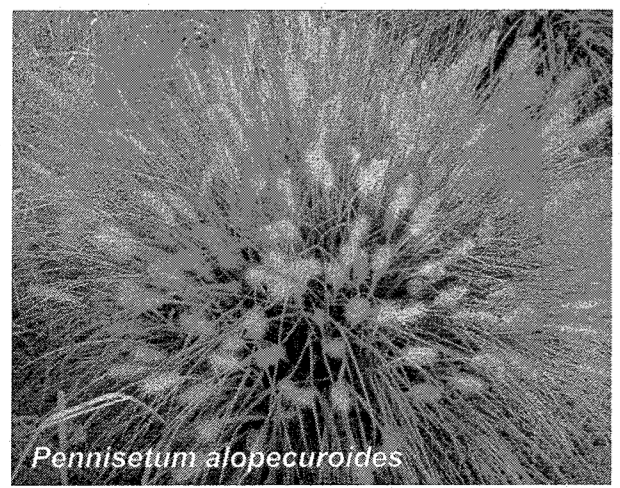
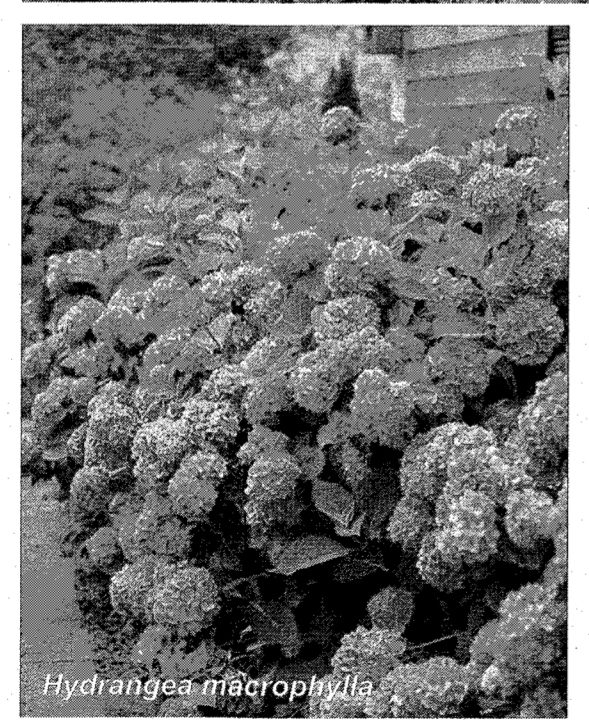
- Taxus media 'Hill's Upright'* Hill's Upright Yew
- Ilex glabra 'Compacta'* Compact Inkberry
- Ilex glabra* Inkberry

**DECIDUOUS SHRUBS -**

- Hydrangea macrophylla 'Endless Summer'* Endless Summer Hydrangea
- Rhus aromatica 'Gro-low'* Gro-low Fragrant Sumac
- Clethra alnifolia* Summersweet Clethra
- Cornus sericea* Redtwig Dogwood

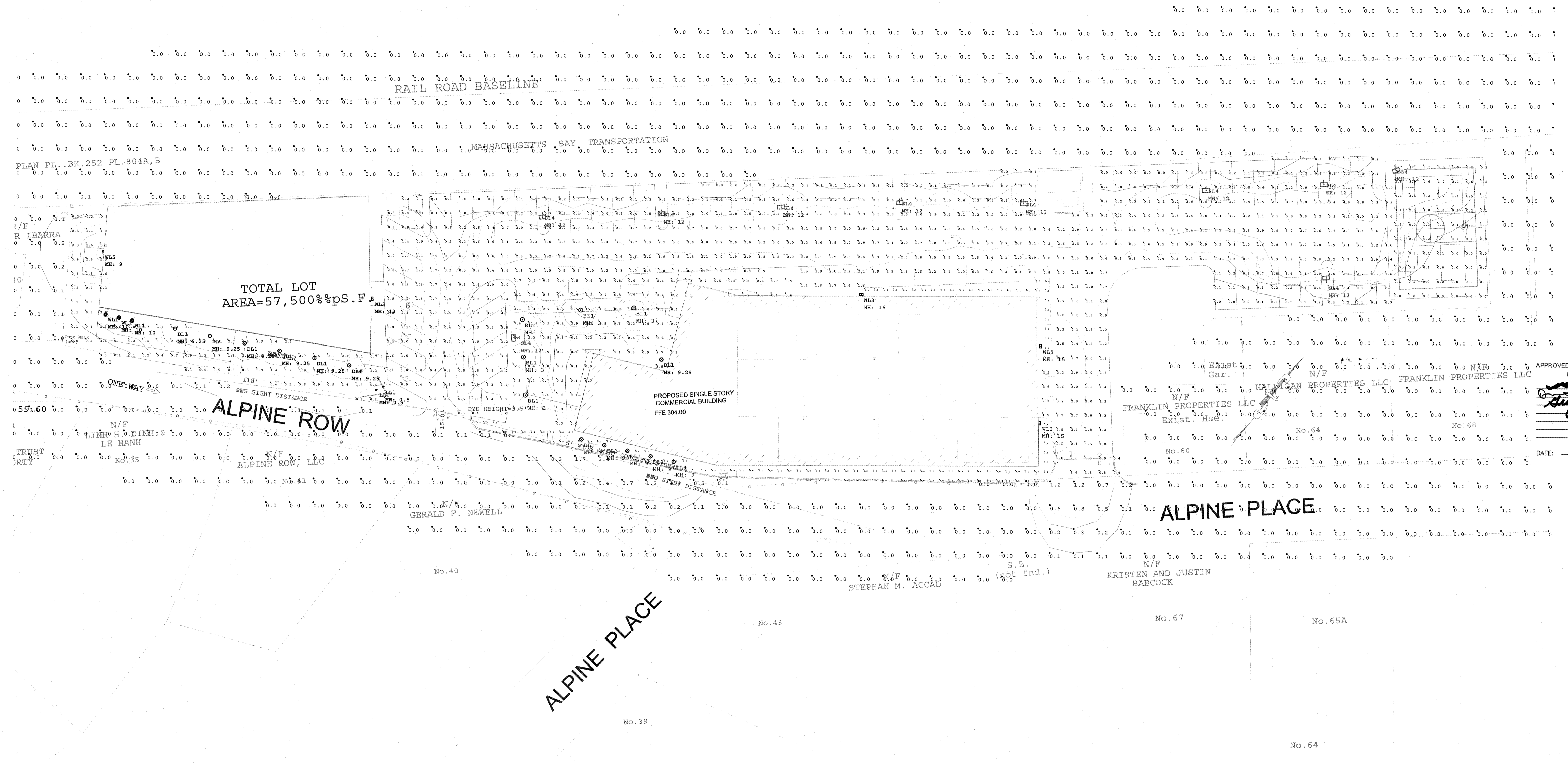
**PERENNIALS/GRASSES/GROUND COVER -**

- Liriope muscari* Blue Lilyturf
- Pennisetum alopecuroides* Fountain Grass
- Panicum virgatum 'Shenandoah'* Shenandoah Switch Grass
- Juniperus communis* Common Juniper



**SHRUB & PERENNIAL PLANTING OPTIONS**  
MAY 17, 2021

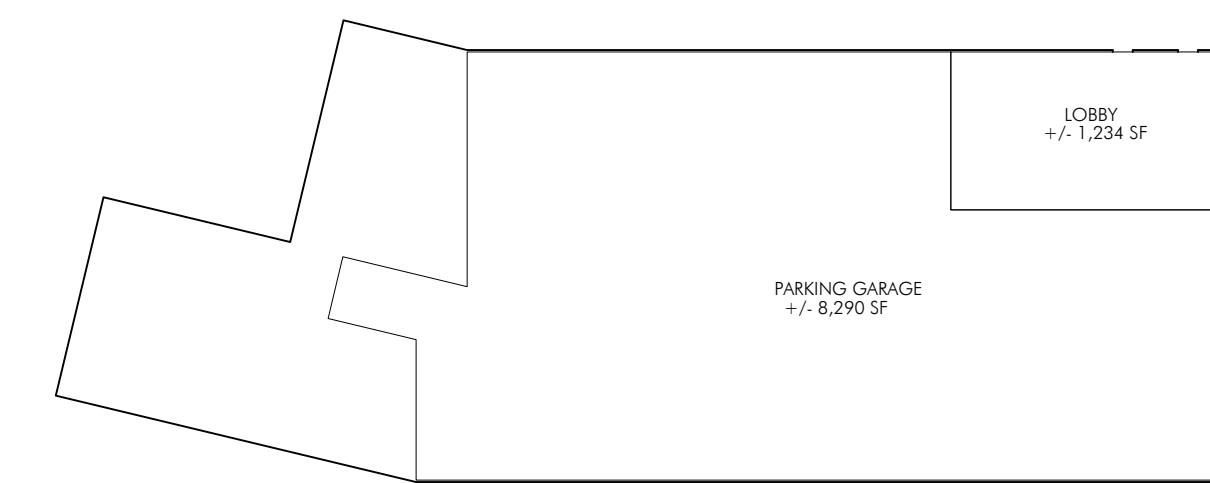
\*\*IF REFLECTANCE VALUES ARE NOT PROVIDED, STANDARD VALUES WILL BE USED



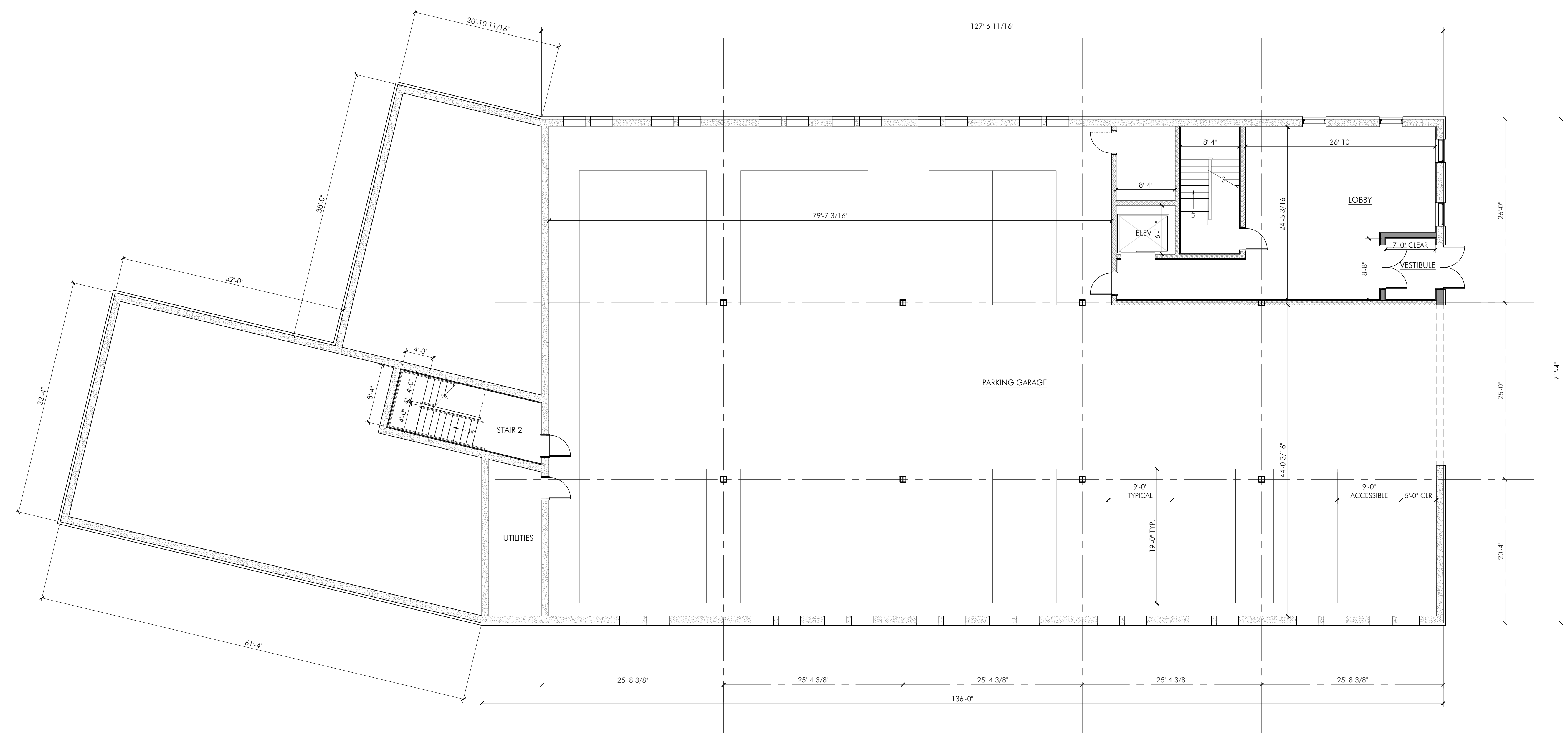
APPROVED DATE: 11/1/21  
FRANKLIN PLANNING BOARD  
*Doug Riedel*  
DATE: 1/10/22  
BEING A MAJORITY

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Lumens
○	2	LL1	SINGLE	0.900	FL1A-BLT(BLACK)-RND-C4-K1-118-0 / M	428
○	3	WL1	SINGLE	0.900	H18110-91(BLACK)-1-2-HL-A-91(BLACK)	1295
○	12	DL1	SINGLE	0.900	FM-W9100-FINISH	924
□	4	WL3	SINGLE	0.900	RWL1-48L-25-3K7-3-U	3587
□	10	SL4	SINGLE	0.900	RAR-1-80L-50-3K7-4W-BC	3663
□	1	WL5	SINGLE	0.900	SG1-10-3K	1346
○	5	BL1	SINGLE	0.900	S-KK0103US-16A-0870007A-730-16US	1255
□	1	WALL LIGHT	SINGLE	0.900	RWL1-48L-45-3K7-4W-U	5484

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BASKETBALL COURT	Illuminance	Fc	0.86	4.7	0.0	N.A.	N.A.
GREEN SPACE	Illuminance	Fc	1.60	15.6	0.0	N.A.	N.A.
PARKING LOT	Illuminance	Fc	1.61	7.3	0.0	N.A.	N.A.
SIDEWALK	Illuminance	Fc	1.05	6.1	0.0	N.A.	N.A.
SPILL LIGHT	Illuminance	Fc	0.04	3.4	0.0	N.A.	N.A.
STRUCTURE A STORAGE AREA	Illuminance	Fc	1.34	5.9	0.2	6.70	29.50
STRUCTURE A STREET AREA	Illuminance	Fc	1.48	4.4	0.0	N.A.	N.A.
TRACKS	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.



KEY PLAN - NOT TOO SCALE



GROUND FLOOR PLAN/ PARKING  
SCALE: 1/8" = 1'-0"

PROJECT:  
40 ALPINE - APARTMENT BUILDING  
MARCELO ALVES  
40 ALPINE ROW  
FRANKLIN, MA 02038

PROJECT NUMBER: 23078

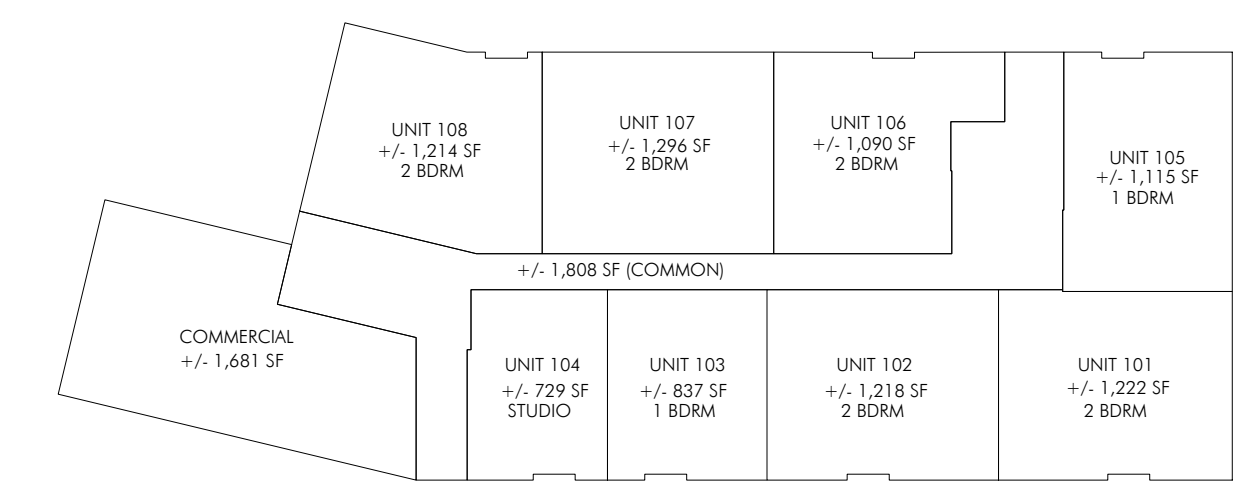


ISSUE:	DATE:
PRELIMINARY	05.05.2023

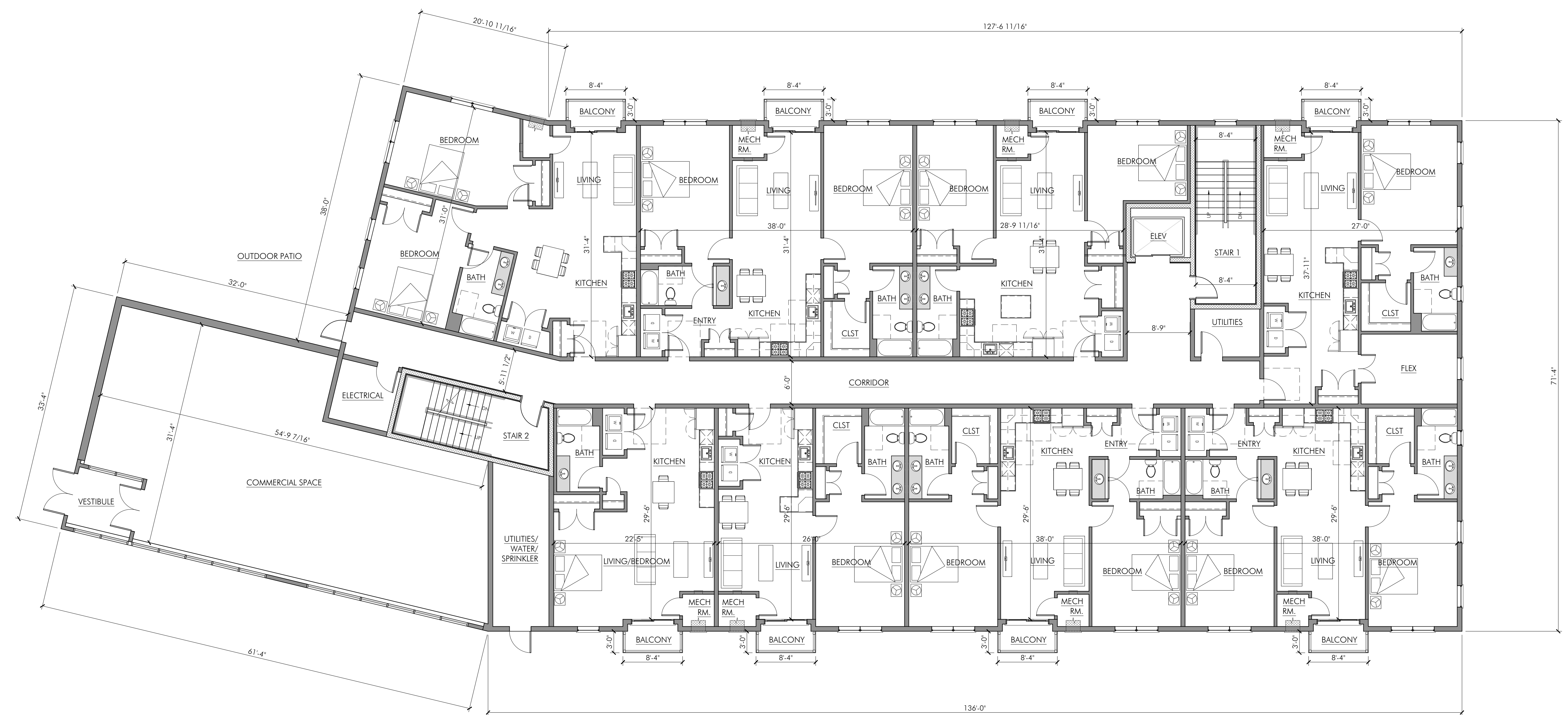
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DRAWN BY: RWB CHECKED BY: DMC

DRAWING TITLE:  
GROUND FLOOR PLAN - GARAGE

DRAWING NUMBER:  
**A1.0**



KEY PLAN - NOT TOO SCALE



FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

PROJECT:  
40 ALPINE - APARTMENT BUILDING  
MARCELO ALVES  
40 ALPINE ROW  
FRANKLIN, MA 02038

PROJECT NUMBER: 23078

**DENNIS COLWELL**  
**ARCHITECTS**  
132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035  
P. 508-241-2122 F. 508-455-4466 WWW.DC-ARCHITECT.COM



STAMP:



ISSUE:	DATE:
PRELIMINARY	05.05.2023

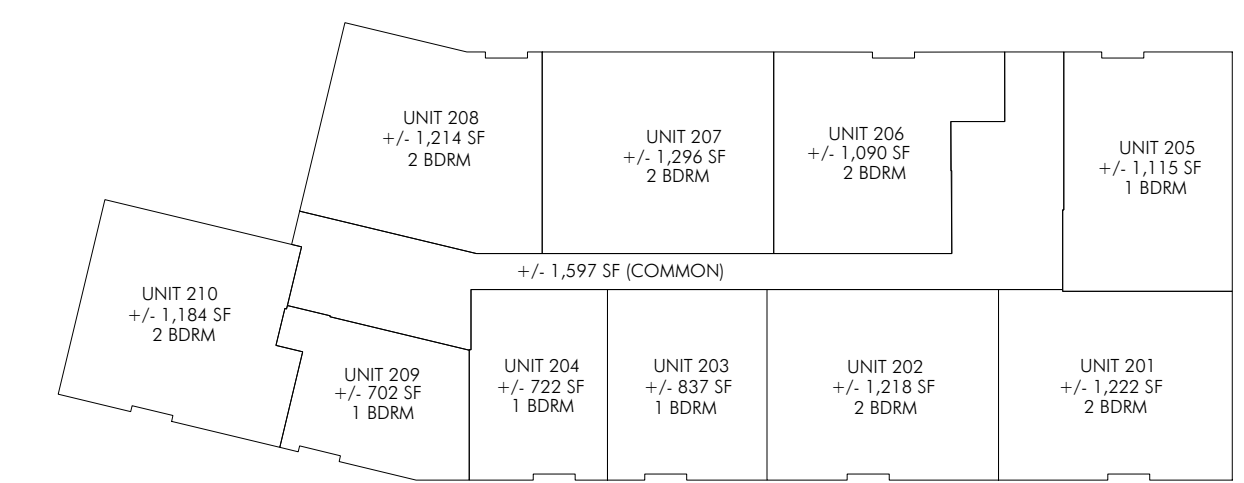
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DRAWN BY: RWB CHECKED BY: DMC

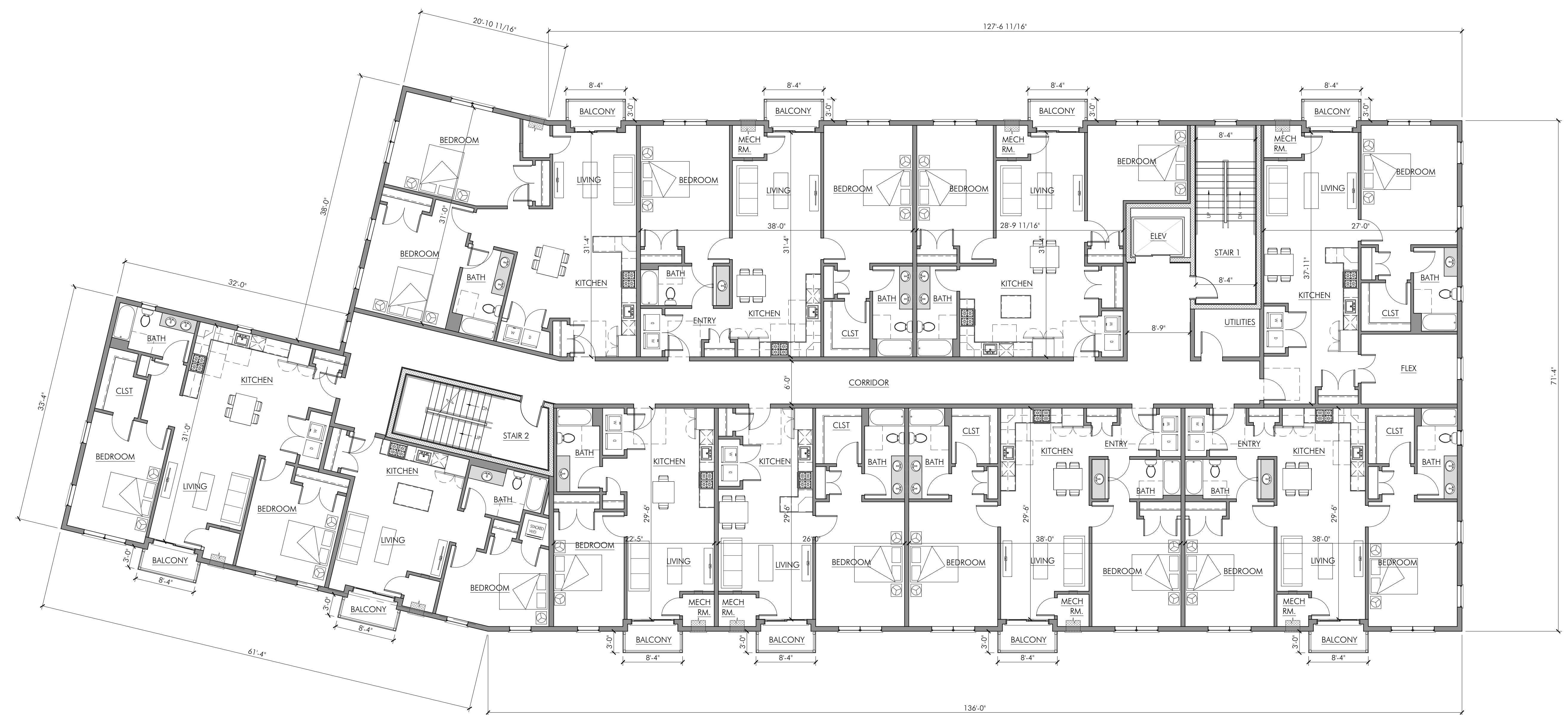
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FIRST FLOOR PLAN

DRAWING NUMBER:

**A1.1**



KEY PLAN - NOT TOO SCALE



2ND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

PROJECT:  
40 ALPINE - APARTMENT BUILDING  
MARCELO ALVES  
40 ALPINE ROW  
FRANKLIN, MA 02038

PROJECT NUMBER: 23078

**DENNIS COLWELL**  
**ARCHITECTS**  
132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035  
P. 508.241.2122 F. 508.455.4466 WWW.DC-ARCHITECT.COM



STAMP:



ISSUE:	DATE:
PRELIMINARY	05.05.2023

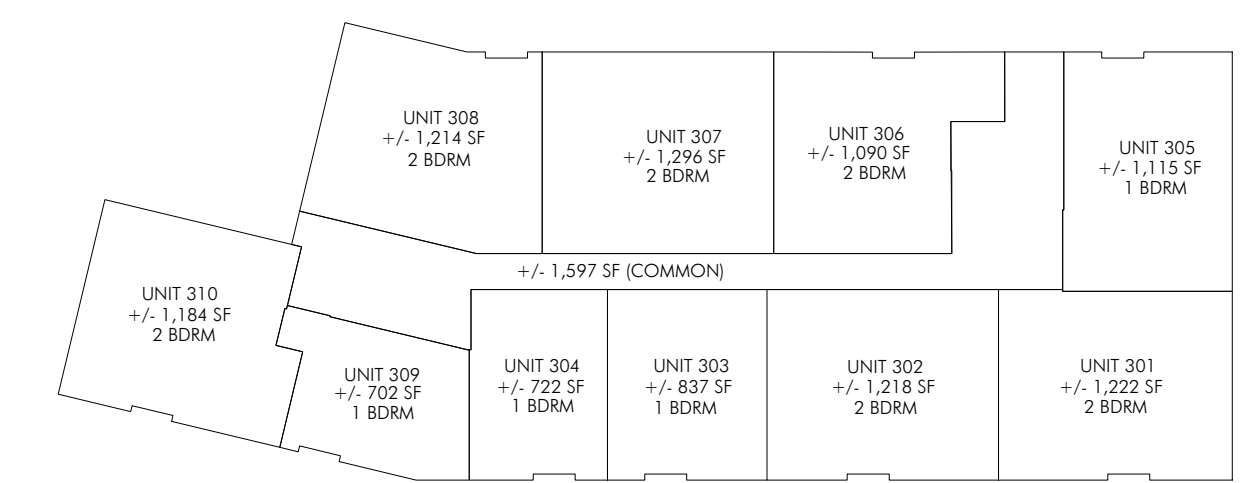
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DRAWN BY: RWB CHECKED BY: DMC

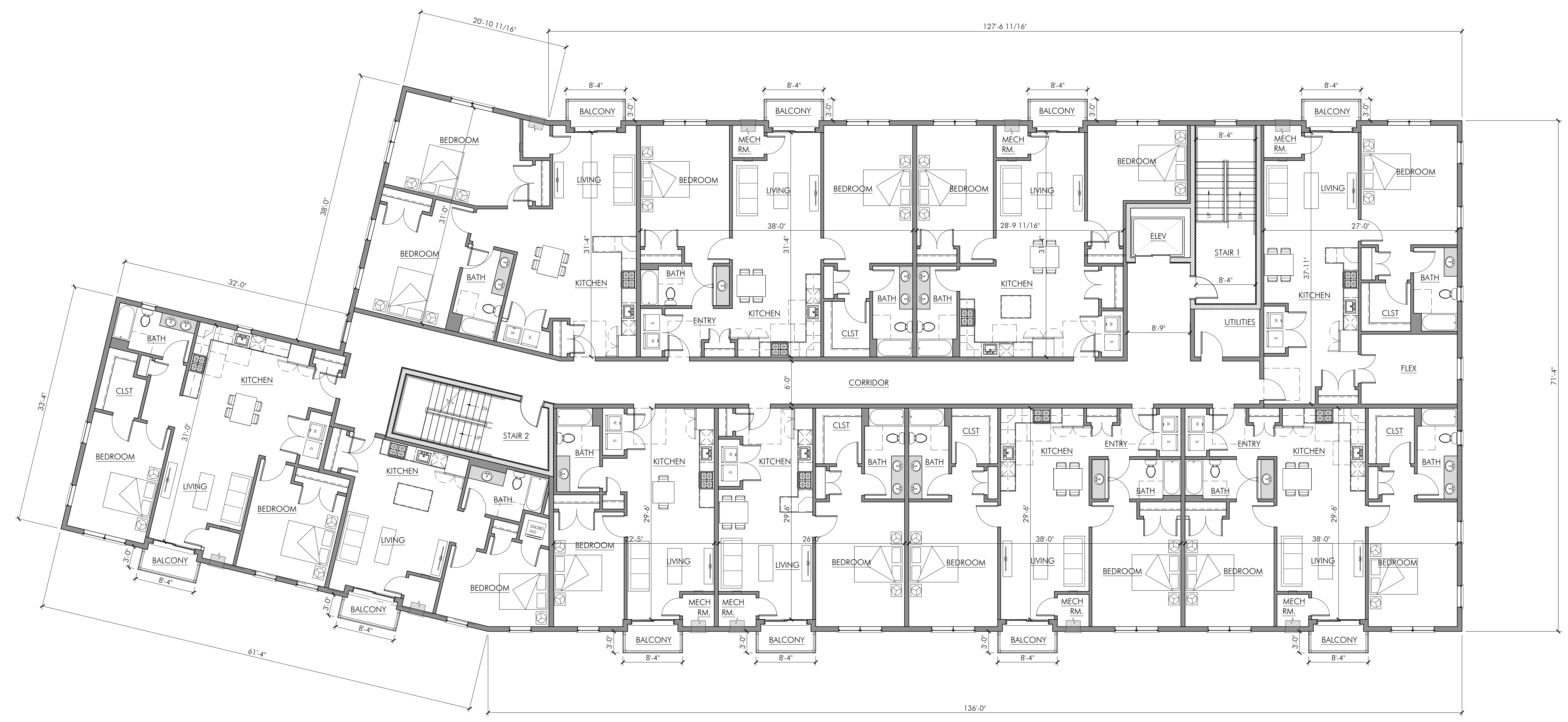
DRAWING TITLE:  
SECOND FLOOR PLAN

DRAWING NUMBER:

**A1.2**



KEY PLAN - NOT TOO SCALE



3RD FLOOR PLAN  
SCALE: 1/8" = 1'-0"

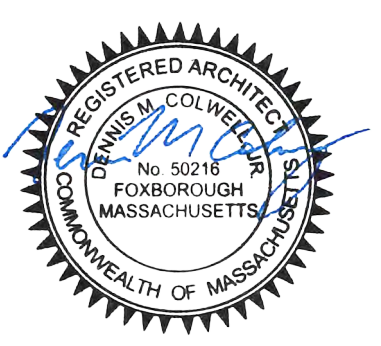
PROJECT:  
40 ALPINE - APARTMENT BUILDING  
MARCELO ALVES  
40 ALPINE ROW  
FRANKLIN, MA 02038

PROJECT NUMBER: 23078

**DENNIS COLWELL**  
**ARCHITECTS**  
132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035  
P. 508.241.2122 F. 508.455.4466 WWW.DC-ARCHITECT.COM



STAMP:



ISSUE:	DATE:
PRELIMINARY	05.05.2023

DRAWING SCALE: 1/8" = 1'-0"

DRAWN BY: RWB CHECKED BY: DMC

DRAWING TITLE:  
THIRD FLOOR PLAN

DRAWING NUMBER:

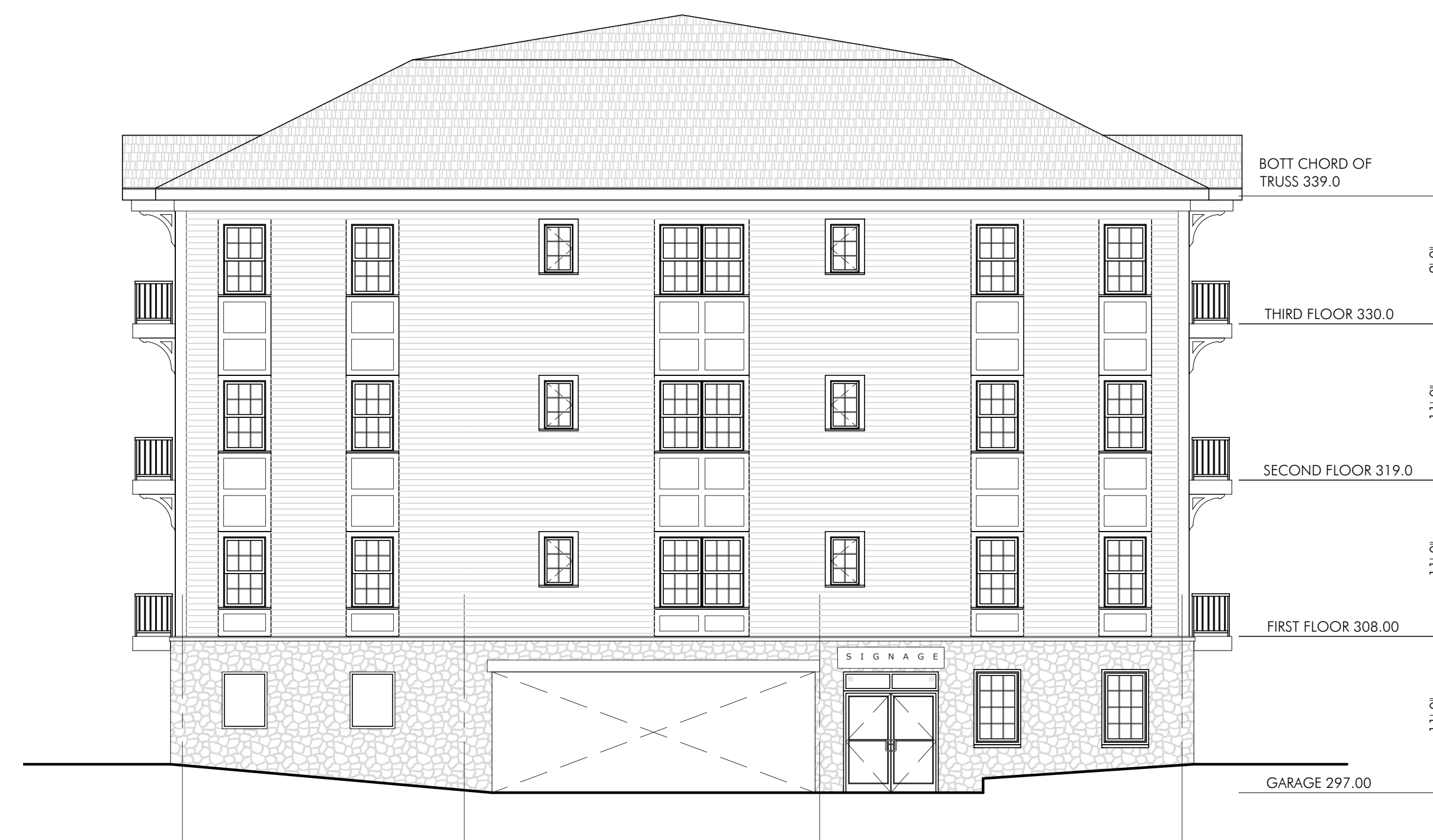
**A1.3**



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTHEAST ELEVATION**  
SCALE: 1/8" = 1'-0"



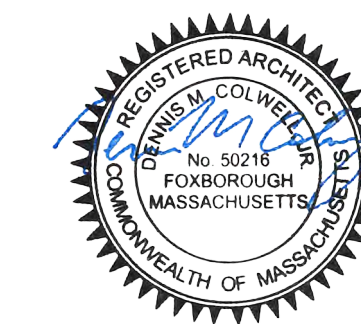
**NORTHEAST ELEVATION**  
SCALE: 1/8" = 1'-0"

PROJECT:  
40 ALPINE - APARTMENT BUILDING  
MARCELO ALVES  
40 ALPINE ROW  
FRANKLIN, MA 02038

PROJECT NUMBER: 23078



STAMP:



ISSUE:	DATE:
PRELIMINARY	05.05.2023

DRAWING SCALE: 1/8" = 1'-0"

DRAWN BY: RWB CHECKED BY: DMC

DRAWING TITLE:  
BUILDING ELEVATIONS

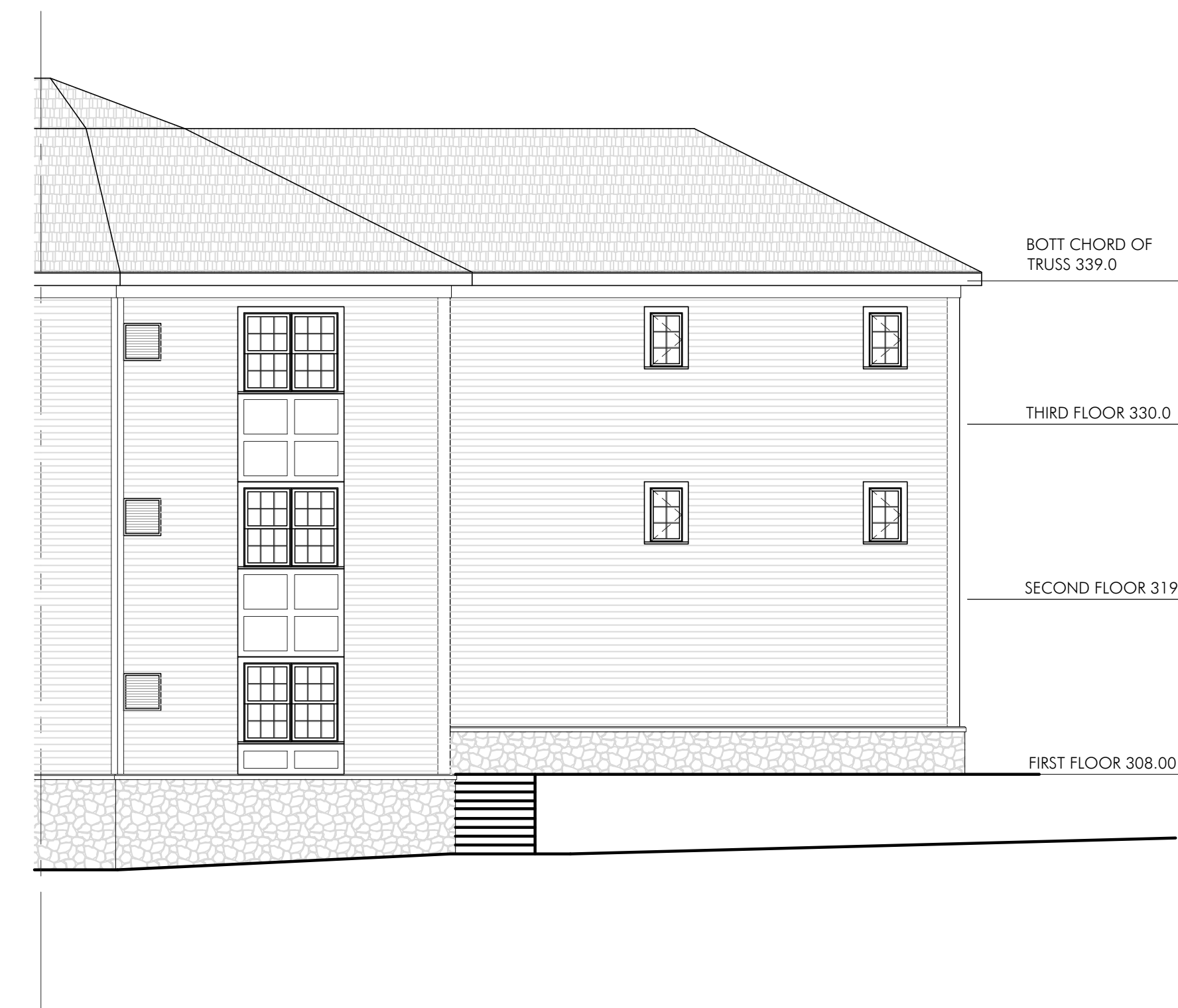
DRAWING NUMBER:

**A2.0**

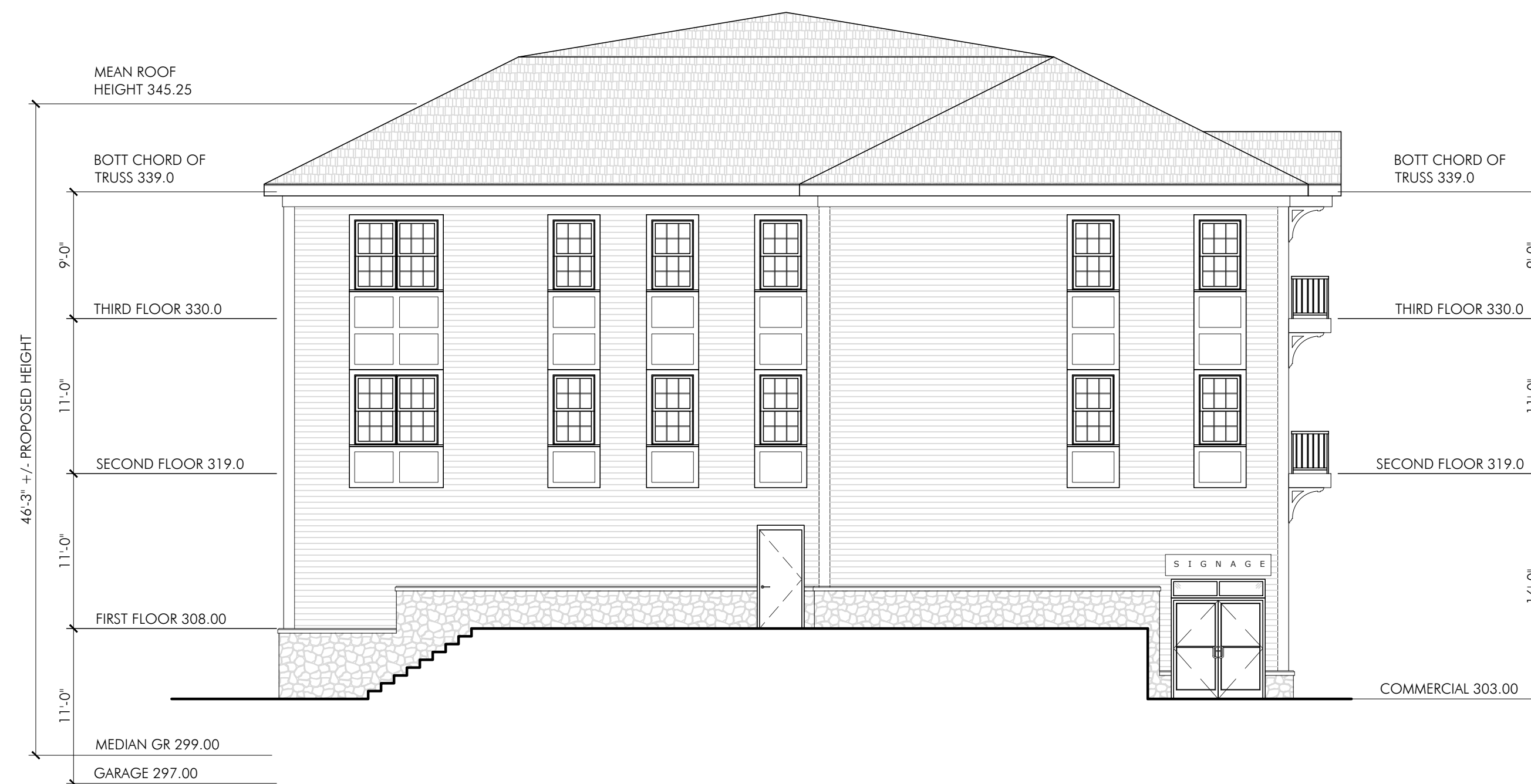




**NORTHWEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

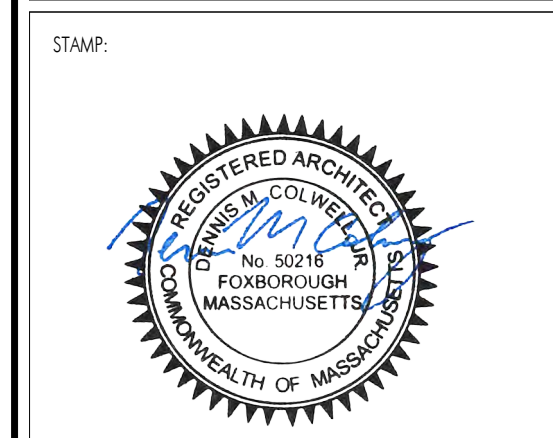


**SOUTHWEST**  
SCALE: 1/8" = 1'-0"

PROJECT:  
40 ALPINE - APARTMENT BUILDING  
MARCELO ALVES  
40 ALPINE ROW  
FRANKLIN, MA 02038

PROJECT NUMBER: 23078

**DENNIS COLWELL ARCHITECTS**  
132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035  
P. 508.241.2122 F. 508.455.4466 WWW.DC-ARCHITECT.COM



ISSUE: PRELIMINARY DATE: 05.05.2023

DRAWING SCALE: 1/8" = 1'-0"

DRAWN BY: RWB CHECKED BY: DMC

DRAWING TITLE: BUILDING ELEVATIONS

DRAWING NUMBER:

**A2.1**





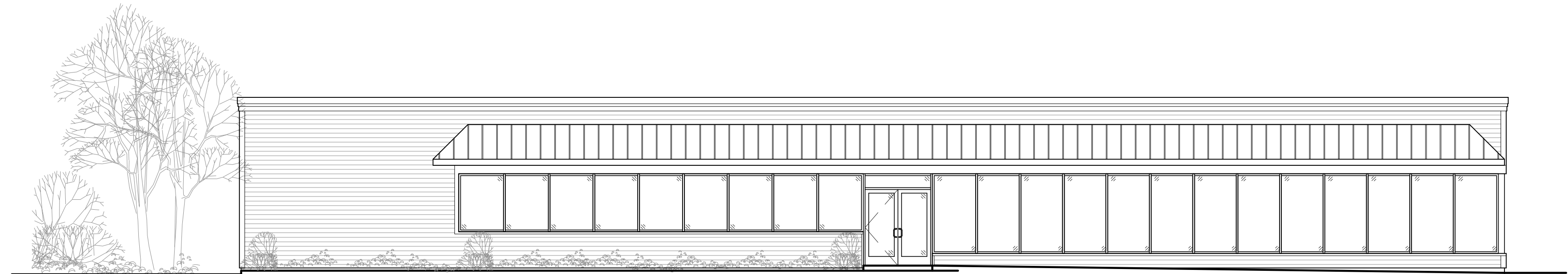


# New Generation Custom Homes

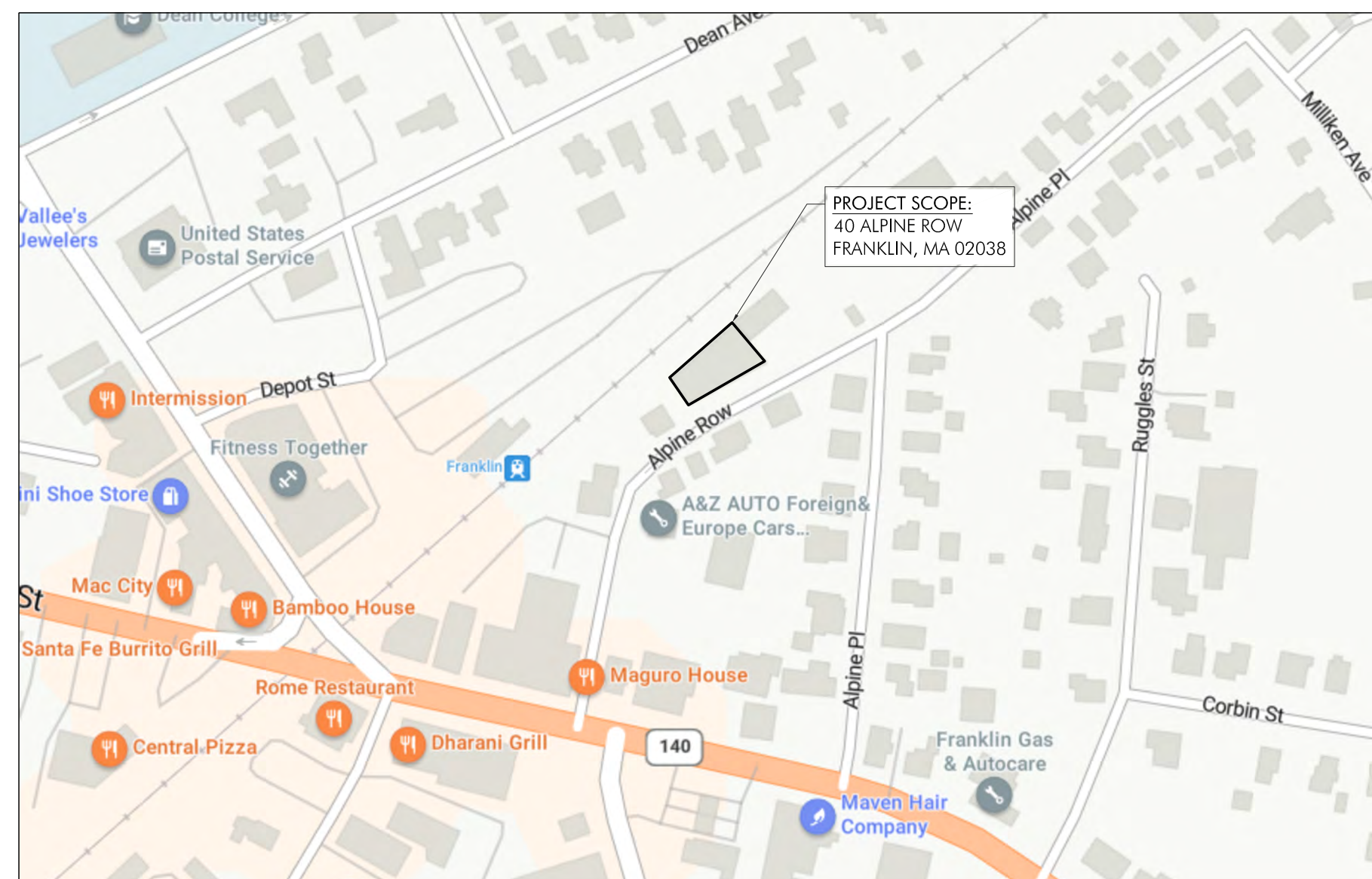
## Office Renovation

40 Alpine Row

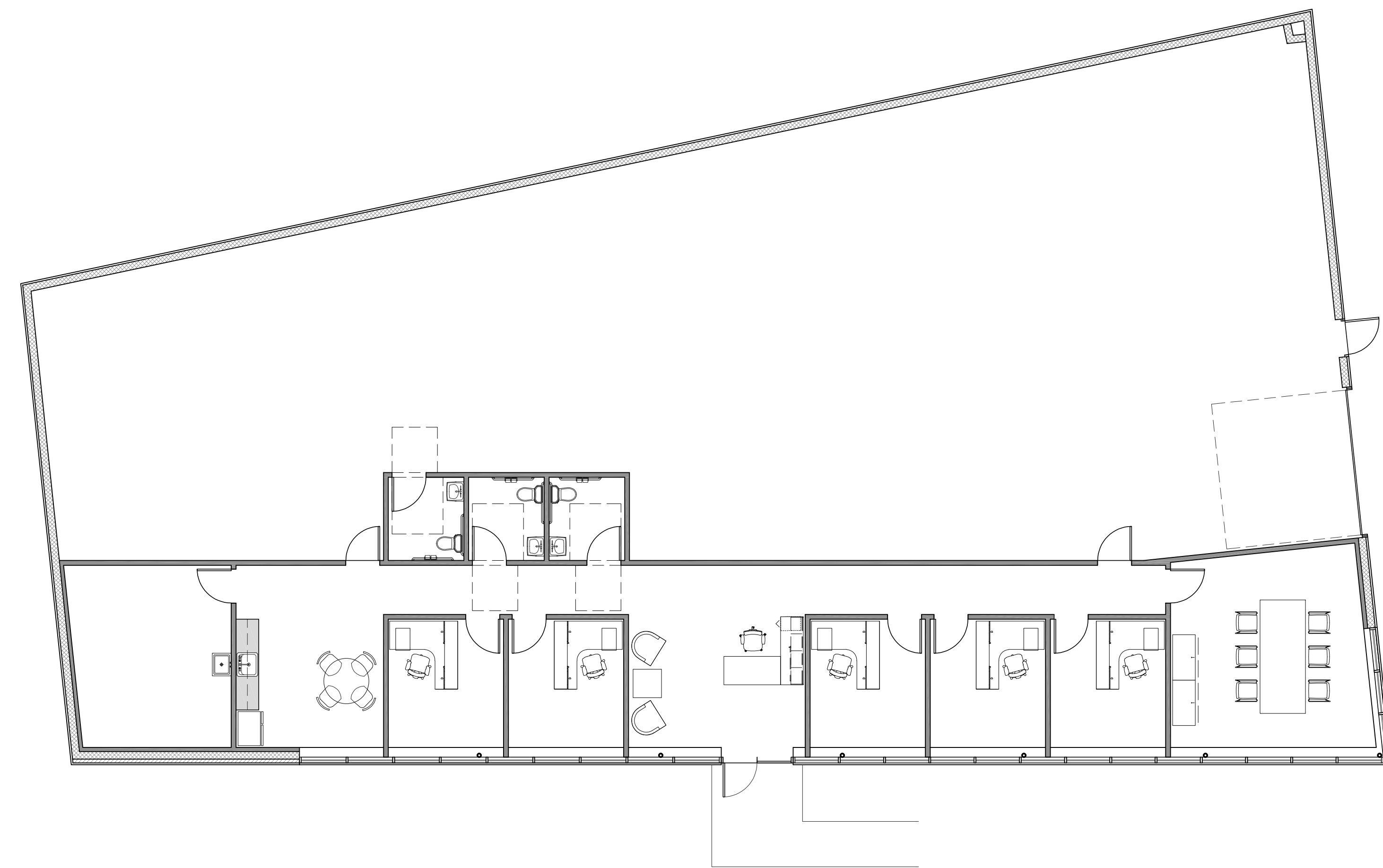
Franklin, MA 02038



ARCHITECT  
DENNIS COLWELL ARCHITECTS, INC.  
BOB BOYNTON  
EMAIL: BOB@DC-ARCHITECT.COM  
PHONE: 508-241-2122 X 104  
ADDRESS: 132 CENTRAL STREET, SUITE 203  
FOXBOROUGH, MA 02035



SITE LOCATION

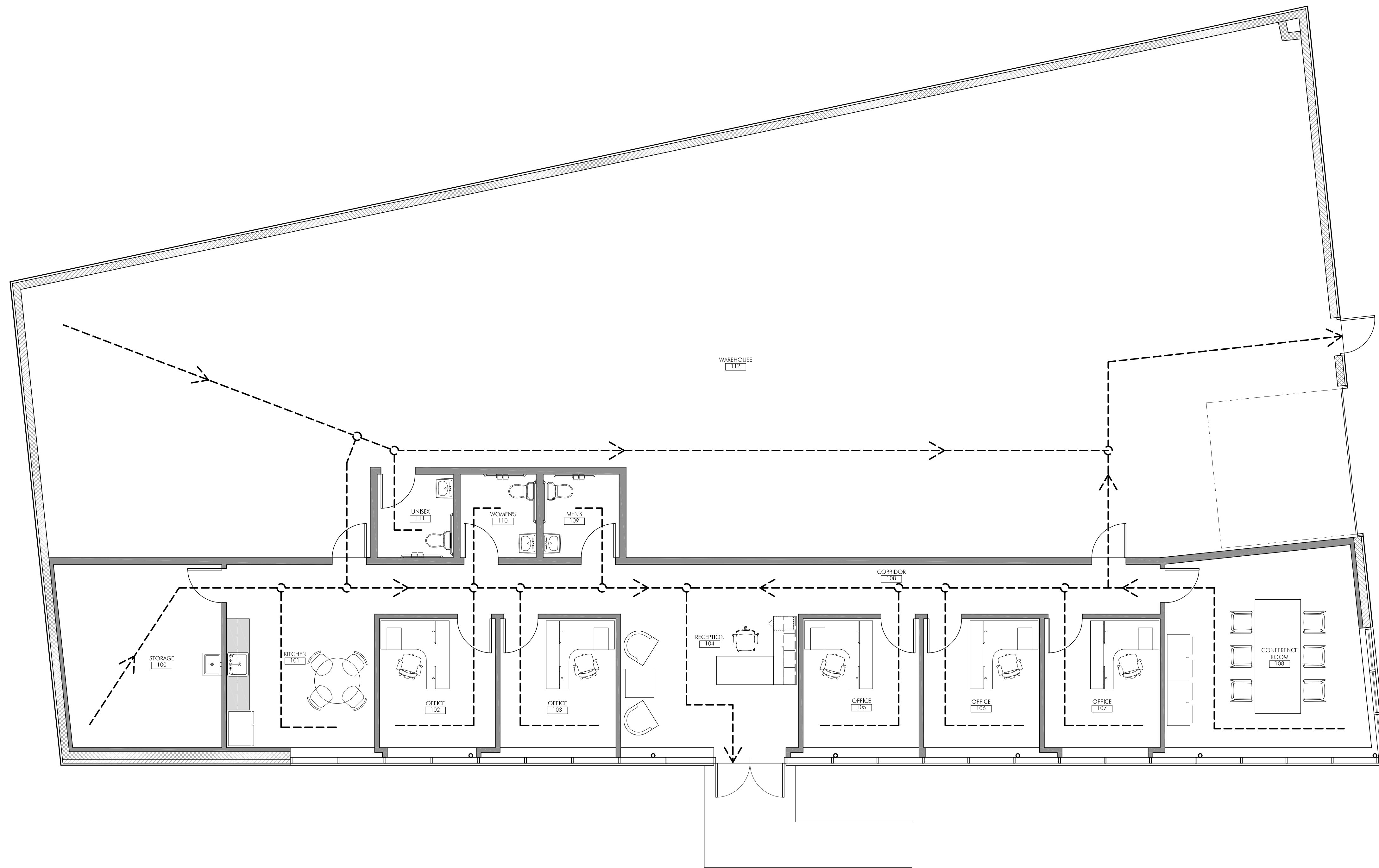


**DENNIS COLWELL**  
**ARCHITECTS**

132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035  
P. 508-241-2122 F. 508-455-4466 WWW.DC-ARCHITECT.COM







- |      |                                    |      |                                 |        |                                      |
|------|------------------------------------|------|---------------------------------|--------|--------------------------------------|
| (HD) | 135 DEG RATE OF RISE HEAT DETECTOR | (CO) | CARBON MONOXIDE DETECTOR        | (EXIT) | EXIT SIGN                            |
| (FD) | 200 FIXED HEAT DETECTOR            | (SD) | SMOKE DETECTOR (PHOTO ELECTRIC) | (FE)   | FIRE EXTINGUISHER & CABINET          |
| (HS) | FIRE ANNUNCIATOR (HORN/ STROBE)    | (SI) | SMOKE DETECTOR (IONIZING)       | ←      | EGRESS PATH                          |
| (MS) | FIRE ANNUNCIATOR (MINI STROBE)     | (K)  | KEY SAFE (KNOX BOX)             | (WELL) | WALL MOUNTED EMERGENCY LIGHT FIXTURE |
| (PS) | PULL STATION                       |      |                                 |        |                                      |

EGRESS PLAN LEGEND

40 ALPINE ROW OFFICE - CODE ANALYSIS  
 40 ALPINE ROW, FRANKLIN, MA 02038  
 AREA INCLUDED WITHIN SCOPE OF RENOVATION WORK IS A 6,282 SF, 1-STORY, B BUSINESS (+/-2,256) USE W/ ACCESSORY USE, S STORAGE (+/-4,026).

101.5 COMPLIANCE METHODS (CODES USED FOR ANALYSIS):  
 9TH EDITION OF THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE;  
 2015 IBC WITH AMENDMENTS (PRESCRIPTIVE COMPLIANCE METHOD);  
 9TH EDITION OF THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE;  
 2015 IBC WITH AMENDMENTS;  
 521 CMR: MASSACHUSETTS ARCHITECTURAL ACCESS BOARD  
 248 CMR: BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS

301.1.1 PRESCRIPTIVE COMPLIANCE METHOD  
 REPAIRS, ALTERATIONS, ADDITIONS AND CHANGES OF OCCUPANCY COMPLYING WITH CHAPTER 4 OF THIS CODE IN BUILDINGS COMPLYING WITH INTERNATIONAL FIRE CODE SHALL BE CONSIDERED IN COMPLIANCE WITH THE PROVISIONS OF THIS CODE.

2015 IBC WITH AMENDMENTS  
 304.1 B - BUSINESS  
 USE GROUP: (MIXED, NON-SEPARATED)  
 304.1 B - BUSINESS  
 311.1 S - STORAGE

413.1 COMBUSTIBLE STORAGE  
 HIGH-PILED STOCK OR RACK STORAGE IN ANY OCCUPANCY SHALL COMPLY WITH NFPA -1.

TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE  
 B - BUSINESS USE  
 S - STORAGE USE  
 FACTOR: NS  
 TYPE 2B UNSPRINKLERED  
 MAX HEIGHT: 55'-0" ACTUAL MAX HEIGHT: 16'-0"+/- COMPLIES

TABLE 504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE  
 B - BUSINESS USE  
 S - STORAGE USE  
 FACTOR: NS  
 MAX STORIES: 3 ACTUAL STORIES: 1 COMPLIES

TABLE 506.2 ALLOWABLE AREA FACTOR  
 B - BUSINESS USE  
 S - STORAGE USE  
 FACTOR: NS  
 MAX AREA: 23,000 IN GROUP B ACTUAL AREA: 6,282 SF COMPLIES  
 MAX AREA: 11,500 IN GROUP S

TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS  
 CONSTRUCTION TYPE 2B  
 BEARING:  
 EXTERIOR: 0 HOUR  
 INTERIOR: 0 HOUR  
 NON-BEARING:  
 EXTERIOR: 0 HOUR  
 INTERIOR: 0 HOUR  
 FLOOR CONSTRUCTION:  
 0 HOUR

TABLE 903.2  
 GROUP B AUTOMATIC SPRINKLER REQUIREMENTS  
 BUILDING AGGREGATE GREATER THAN 12,000 SF  
 SPRINKLERS NOT REQUIRED COMPLIES  
 GROUP S AUTOMATIC SPRINKLER REQUIREMENTS  
 BUILDING AGGREGATE GREATER THAN 5,000 SF  
 SPRINKLERS NOT REQUIRED COMPLIES

907.2.2 GROUP B & S FIRE ALARM & DETECTION REQUIREMENTS  
 MANUAL FIRE ALARM SYSTEM REQUIRED COMPLIES

1003.2 CEILING HEIGHT  
 MINIMUM HEIGHT: 7'-6" ACTUAL HEIGHT: 9'-0"+ COMPLIES

1003.3 PROTRUDING OBJECTS  
 COMPLIES W SECTION 1003.3.1

1003.4 FLOOR SURFACE  
 MEANS OF EGRESS WALKING SURFACES SHALL HAVE SLIP RESISTANT SURFACE SECURELY ATTACHED

TABLE 1004.1.1 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT  
 BUSINESS:  
 2,256 SF / 100 SF = 23 OCCUPANTS 100 GROSS SF PER OCCUPANT  
 ACCESSORY STORAGE AREAS:  
 4,026 SF / 300 SF = 14 OCCUPANTS 300 GROSS SF PER OCCUPANT  
 TOTAL = 37 OCCUPANTS

1005.1 MINIMUM REQUIRED EGRESS WIDTH  
 EGRESS COMPONENTS:  
 0.2x37 OCCUPANTS= 8" WIDTH  
 (1020.2 DICTATES CORRIDOR WIDTH - 36")  
 PROVIDED 68"

TABLE 1006.3.2(2) MINIMUM NUMBER OF EXITS OR ACCESS TO EXITS PER STORY  
 MAXIMUM COMMON PATH OF TRAVEL:  
 EXTERIOR EXITS: 2 REQUIRED ACTUAL: 2 COMPLIES

1008.1.1 SIZE OF DOORS  
 MINIMUM CLEAR WIDTH 32" ACTUAL CLEAR WIDTH: 32" COMPLIES  
 MINIMUM HEIGHT 80" ACTUAL HEIGHT: 84" COMPLIES

TABLE 1017.1 EXIT ACCESS TRAVEL DISTANCE  
 NO SPRINKLER SYSTEM:  
 137'-0" ACTUAL 200 FT PERMITTED COMPLIES

TABLE 1020.2 MINIMUM CORRIDOR WIDTH: 44" ACTUAL EGRESS WIDTH: 44"+ COMPLIES

SECTION 1101 ACCESSIBILITY: 521 CMR: MASSACHUSETTS ARCHITECTURAL ACCESS BOARD

3.3.1 EXISTING BUILDINGS APPLICABILITY  
 WORK BEING PERFORMED AMOUNTS TO GREATER THAN 30% OF THE FULL AND FAIR CASH VALUE AND MORE THAN \$100,000 THEN THE WORK BEING PERFORMED IS REQUIRED TO COMPLY WITH 521 CMR.

RENOVATION COMPLIES WITH MASSACHUSETTS ARCHITECTURAL ACCESS BOARD  
 248 CMR: BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS

10.10 TABLE 1: MINIMUM FACILITIES FOR BUILDING OCCUPANCY  
 BUILDING CLASSIFICATION: B-BUSINESS USE  
 TOILETS: 1 PER 20 FEMALES / 1 PER 25 MALES  
 LAVATORIES: 1 PER 50 (EACH SEX)

TOTAL OCCUPANCY = 37 OCCUPANTS  
 REQUIRED FIXTURES:  
 TOILET (WOMEN) 17 OCCUPANTS/20 = 1 TOILET 1 TOILET  
 TOILET (MEN) 17 OCCUPANTS/25 = 1 TOILET 1 TOILET  
 LAVATORIES (PER SEX) 37 OCCUPANTS/40 = 1 LAV (EACH SEX) 1 LAVS (EACH SEX)  
 SANITARY SINK = 1 SINK 1 SINK  
 ONE ADDITIONAL UNISEX LAVATORY W/ TOILET AND SINK HAS BEEN PROVIDED.

907.2.2 GROUP B & S FIRE ALARM & DETECTION REQUIREMENTS  
 MANUAL FIRE ALARM SYSTEM REQUIRED COMPLIES

1003.2 CEILING HEIGHT  
 MINIMUM HEIGHT: 7'-6" ACTUAL HEIGHT: 9'-0"+ COMPLIES

1003.3 PROTRUDING OBJECTS  
 COMPLIES W SECTION 1003.3.1

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RENOVATION COMPLIES WITH MASSACHUSETTS ARCHITECTURAL ACCESS BOARD  
 248 CMR: BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS

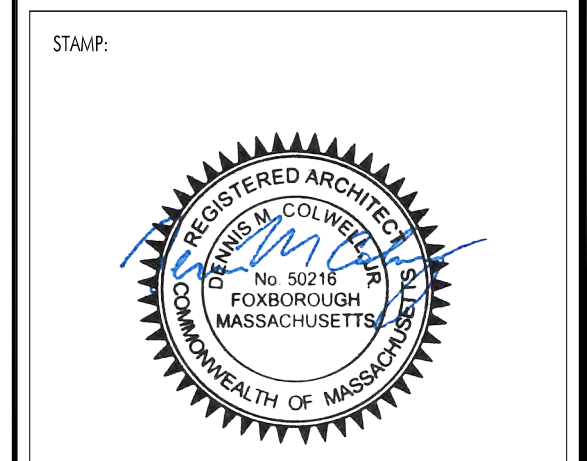
10.10 TABLE 1: MINIMUM FACILITIES FOR BUILDING OCCUPANCY  
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 LAVATORIES (PER SEX) 37 OCCUPANTS/40 = 1 LAV (EACH SEX) 1 LAVS (EACH SEX)  
 SANITARY SINK = 1 SINK 1 SINK  
 ONE ADDITIONAL UNISEX LAVATORY W/ TOILET AND SINK HAS BEEN PROVIDED.

CODE REVIEW INFORMATION

PROJECT:  
 ALPINE OFFICE  
 NEW GENERATION CUSTOM HOMES  
 40 ALPINE ROW  
 FRANKLIN, MA 02038

PROJECT NUMBER: 23044



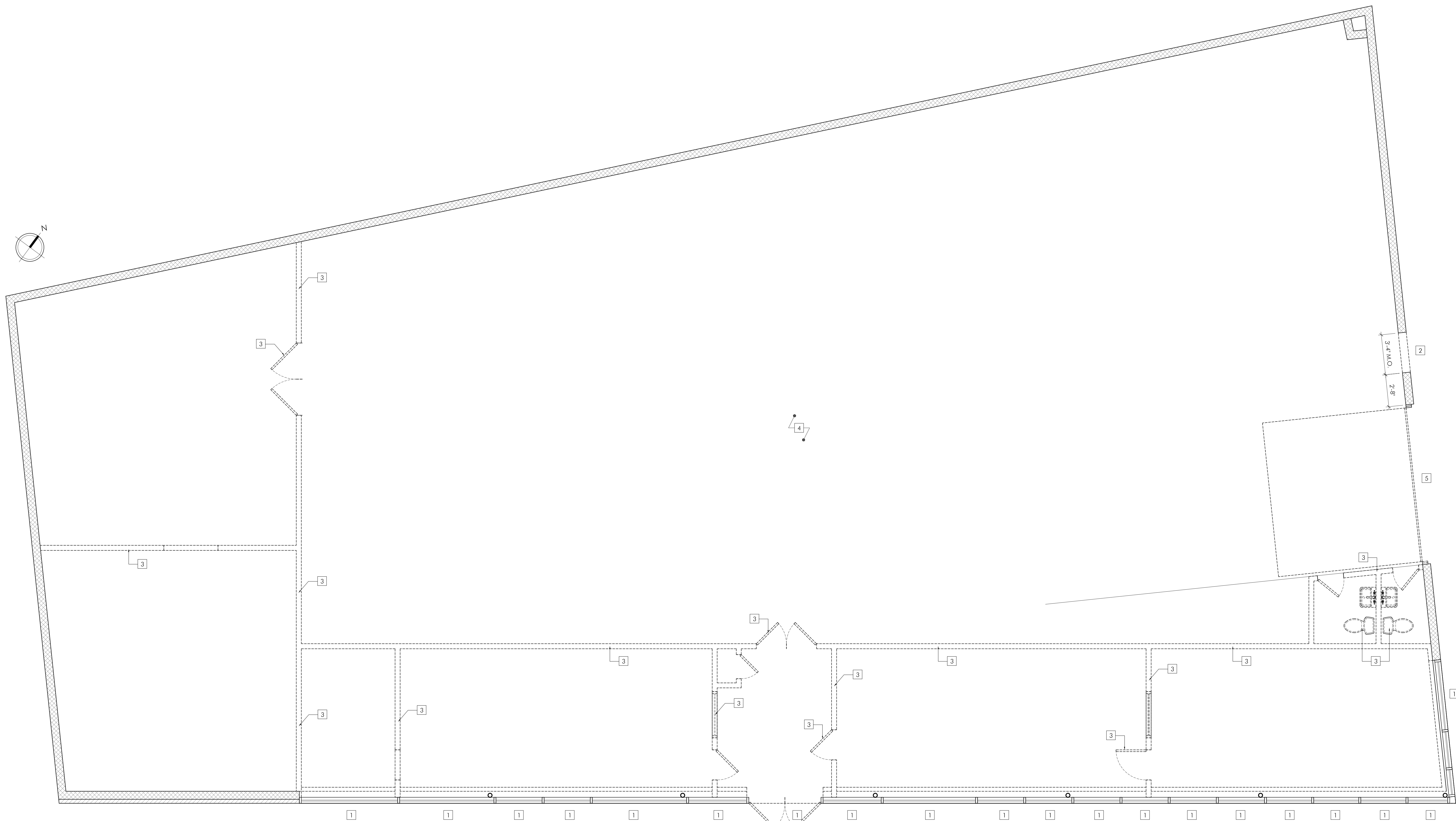
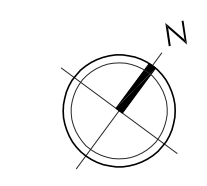
ISSUE:	DATE:
ISSUE FOR PERMIT	04.05.2023

DRAWING SCALE: AS NOTED  
 DRAWN BY: RWB CHECKED BY: DMC

DRAWING TITLE:  
 CODE REVIEW PLAN

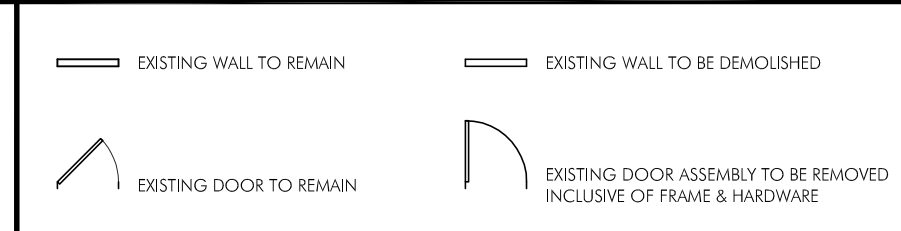
DRAWING NUMBER:

G1.1



DEMOLITION FLOOR PLAN  
SCALE: 1/4" = 1'-0"

- IN ACCORDANCE WITH FEDERAL REGULATIONS PROMULGATED UNDER THE CLEAN AIR ACT, AND COMMONLY REFERRED TO AS ASBESTOS NESHAP, MORE SPECIFICALLY, 40 CFR PART 61, SUBPART M, SECTION 61.145, THE CONTRACTOR SHALL VERIFY THAT AN ASBESTOS SURVEY HAS BEEN CONDUCTED PRIOR TO THE COMMENCEMENT OF DEMOLITION OR RENOVATION WORK WHICH IS PART OF THIS CONTRACT.
- IN ACCORDANCE WITH ABOVE REGULATION REQUIREMENTS, THE CONTRACTOR SHALL FILE WRITTEN NOTIFICATION WITH THE EPA PRIOR TO ANY DEMOLITION WORK BEING PERFORMED REGARDLESS OF THE AMOUNT OF ASBESTOS, INCLUDING ZERO.
- ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. PROVIDE TEMPORARY DUST PARTITIONS, BARRICADES, SIGNAGE, AND PROTECTIVE ENCLOSURES REQUIRED TO PROPERLY SECURE, ISOLATE, WATERPROOF, AND PROTECT AREAS OF WORK FROM EXISTING AREAS TO REMAIN IN OPERATION AND TO ASSURE CONTINUING FACILITY OPERATIONS IN GENERAL. IDENTIFY AND PROTECT ANY AREAS WHERE DEMOLITION IS TO TAKE PLACE WHERE THE DEMOLITION CREATES A PHYSICAL SAFETY HAZARD. THE CONTRACTOR SHALL KEEP THE CORRIDORS AND EXITS CLEAR OF DEBRIS, STORED MATERIALS, ETC., AT ALL TIMES TO PROVIDE REQUIRED FIRE EGRESS FROM THE BUILDING.
- CONSULT WITH OWNER AND FIRE OFFICIALS PRIOR TO MAKING ANY ALTERATIONS TO THE EXISTING FIRE ALARM AND SPRINKLER SYSTEM.
- COORDINATE ALL DEMOLITION OPERATIONS WITH OWNER FOR SHUTDOWN PERIODS AND SEQUENCE OF WORK. PROVIDE TEMPORARY DUST PARTITIONS, BARRICADES, SIGNAGE, AND PROTECTIVE ENCLOSURES REQUIRED TO PROPERLY SECURE, ISOLATE, WATERPROOF, AND PROTECT AREAS OF WORK FROM EXISTING AREAS TO REMAIN IN OPERATION AND TO ASSURE CONTINUING FACILITY OPERATIONS IN GENERAL. IDENTIFY AND PROTECT ANY AREAS WHERE DEMOLITION IS TO TAKE PLACE WHERE THE DEMOLITION CREATES A PHYSICAL SAFETY HAZARD. THE CONTRACTOR SHALL KEEP THE CORRIDORS AND EXITS CLEAR OF DEBRIS, STORED MATERIALS, ETC., AT ALL TIMES TO PROVIDE REQUIRED FIRE EGRESS FROM THE BUILDING.
- MAKE EVERY EFFORT POSSIBLE TO MINIMIZE DISTURBANCES TO BUILDING OCCUPANTS. COORDINATE HOURS OF DISRUPTIVE DEMOLITION WITH BUILDING OWNER PRIOR TO COMMENCEMENT.
- IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE REMOVED WHETHER SPECIFICALLY IDENTIFIED OR NOT. TERMINATE, CAP AND REMOVE ALL ABANDONED ELECTRICAL CONDUIT, WIRING BOXES, SWITCHES, ETC., PLUMBING, PIPING, AND PLUMBING FIXTURES, ETC.; HVAC DUCTWORK, CONTROLS, PIPING, ETC. AS REQUIRED.
- WHEN WALLS, COLUMNS, OR OTHER SUPPORTING AND/OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR THE ADJACENT CONSTRUCTION SHALL BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT SUPPORTING STRUCTURES ARE IN PLACE AND ABLE TO SUPPORT IMPOSED LOADS. ANY STRUCTURAL BRACING DISCOVERED DURING DEMOLITION IS NOT TO BE REMOVED - NOTIFY ARCHITECT OF ANY AND ALL SUCH DISCOVERIES IMMEDIATELY.
- WHERE EXISTING WALL SUBSTRATES REMAIN AS BASE MATERIAL SURFACES FOR INSTALLATION OF NEW FINISHES, REMOVE PROJECTIONS, FILL VOIDS, SECURE OR REMOVE AND REPLACE ANY EXISTING LOOSE OR OTHERWISE UNSUITABLE SUBSTRATE MATERIALS AND ADD REINFORCING OR STRAPPING TO RECEIVE NEW MATERIALS AND FINISHES. STRIP EXISTING WALL FINISH MATERIAL TO EXPOSE SUBSTRATE WHERE NEEDED.
- REMOVE ALL FINISH FLOORING MATERIALS INCLUDING WALL BASE FROM EXISTING FLOORS SCHEDULED TO RECEIVE NEW FLOORING. GRIND, SCRAPE, SAND, CLEAN AND OTHERWISE PREPARE SUBSTRATE PRIOR TO INSTALLATION OF NEW FINISH FLOORING. PREPARE SUBSTRATE IN ACCORDANCE WITH FLOORING MANUFACTURERS WRITTEN SPECIFICATIONS. PROVIDE LEVELING MASTICS AND GROUTS AS REQUIRED TO RENDER SUBSTRATES LEVEL AND TRUE TO 1/8" IN 10', AND AS REQUIRED TO BLEND ADJACENT DESIRED FLOORING MATERIALS.
- REMOVE EXISTING CEILING FINISH MATERIAL, FRAMING/SUSPENSION SYSTEMS, INCLUDING LIGHT AND CEILING FIXTURES, AS REQUIRED TO ACCOMMODATE NEW WORK. IN ROOMS WHERE CEILING ARE TO REMAIN AND SECTIONS OF PARTITIONS ARE TO BE REMOVED/RELOCATED, CEILING SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING.
- PATCH, REPAIR AND REFINISH ALL SURFACES TO MATCH AND ALIGN WITH EXISTING ADJACENT SURFACES SCHEDULED TO REMAIN, AND PREPARE TO RECEIVE NEW FINISHES SPECIFIED. WORK SHALL INCLUDE ALL LABOR AND MATERIALS ON ALL SURFACES REQUIRED TO RENDER SUBSTRATES ACCEPTABLE TO RECEIVE NEW FINISHES SPECIFIED IN ACCORDANCE WITH MANUFACTURERS WRITTEN RECOMMENDATIONS.
- PROTECT FROM LOSS OR DAMAGE ALL ITEMS INTENDED FOR SALVAGE AND REUSE, OR SCHEDULED TO REMAIN, BUT DAMAGED OR LOST AS A RESULT OF THE WORK OF THIS CONTRACT.
- REUSE OF SALVAGED MATERIALS NOT SPECIFICALLY SCHEDULED FOR REUSE, WILL BE AT THE SOLE DISCRETION OF THE OWNER. IN NO CASE SHALL SALVAGED MATERIAL BE INCORPORATED IN THE WORK THAT DOES NOT MEET MINIMUM REQUIREMENTS OF STATE AND LOCAL CODES AND REGULATIONS.
- SCHEDULES OF ADDITIONAL ITEMS TO BE SALVAGED IF ANY ARE TO BE PROVIDED BY THE OWNER UPON REQUEST OF THE CONTRACTOR.
- ITEMS TO BE SALVAGED BUT NOT SO SCHEDULED ON THE DEMOLITION PLAN SHALL BE CONFIRMED BY THE CONTRACTOR WITH THE OWNER. ALL ITEMS TO BE TURNED OVER TO THE OWNER, SHALL BE PROTECTED DURING DEMOLITION AND REMOVAL AND SHALL BE DELIVERED IN AN UNDAMAGED CONDITION.
- REMOVE ALL DEMOLISHED MATERIALS NOT SCHEDULED FOR SALVAGE AND REUSE, OR THOSE TO BECOME PROPERTY OF THE OWNER, FROM THE SITE AND DISPOSE OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- TAKE CARE TO DISCONNECT ALL ELECTRICAL POWER TO PARTITIONS AND OTHER ITEMS, AREAS, ELEMENTS INVOLVED IN THE DEMOLITION PRIOR TO DEMOLITION.
- CONFINE TOOLS AND EQUIPMENT, STORAGE OF MATERIALS AND OPERATIONS TO LIMITS DESIGNATED BY THE BUILDING OWNER. THE PREMISES SHALL BE MAINTAINED IN SAFE, ORDERLY CONDITION AT ALL TIMES. REMOVE DEBRIS DAILY. COVER DUMPSTERS WITH FIRE RESISTANT TARPS SECURELY FASTENED TO PREVENT VANDALISM.
- IN THE EVENT THAT SUSPECTED HAZARDOUS MATERIALS ARE DISCOVERED DURING THE COURSE OF DEMOLITION, CEASE WORK IMMEDIATELY AND NOTIFY THE BUILDING OWNER OF ANY SUCH DISCOVERIES.
- FOR ADDITIONAL DEMOLITION NOTES, REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS, IF ANY.
- DEMOLITION PLANS SHALL BE USED IN CONJUNCTION WITH DRAWINGS FOR NEW CONSTRUCTION (INTERIOR ELEVATIONS, DETAILS, ETC.) SO THAT EXACT LIMIT AND BOUNDARIES OF SPECIFIC DEMOLITION MAY BE DETERMINED.
- ENSURE THAT ALL ELECTRICAL, MECHANICAL, FIRE PROTECTION, VOICEDATA WIRING, AND PLUMBING SYSTEMS SERVING OTHER TENANTS AND BASE BUILDING SYSTEMS WILL REMAIN OPERATIONAL DURING THE COURSE OF DEMOLITION. SURVEY THE SITE BEFORE STARTING WORK TO IDENTIFY LOCATIONS OF THESE SYSTEMS.



DEMOLITION LEGEND

DEMOLITION PLAN NOTES - SPECIFIC  
(NOTES ARE KEYED ON DRAWINGS)

- EXISTING STOREFRONT TO BE REMOVED, INCLUSIVE OF FRAME & HARDWARE. MAKE READY TO RECEIVE NEW STORE FRONT SYSTEM.
- PREPARE ROUGH OPENING IN EXISTING CMU FOR NEW OPENING. STRUCTURAL STEEL LINTEL BY OTHERS.
- ALL INTERIOR PARTITIONS, DOORS, DROP CEILING, FIXTURES, FINISHES, AND ASSOCIATED MECHANICAL, ELECTRICAL, PLUMBING TO BE DEMOLISHED/REMOVED.
- EXISTING FLOOR TO BE PATCHED, REPAIRED, AND MADE LEVEL. MAKE READY TO RECEIVE NEW FINISH.
- PREPARE ROUGH OPENING FOR NEW DOOR.

DEMOLITION KEYED NOTES

DEMOLITION KEYED NOTES

PROJECT:  
ALPINE OFFICE  
NEW GENERATION CUSTOM HOMES  
40 ALPINE ROW  
FRANKLIN, MA 02038

PROJECT NUMBER: 23044



STAMP:



ISSUE: ISSUE FOR PERMIT DATE: 04.05.2023

DRAWING SCALE: 1/4" = 1'-0"

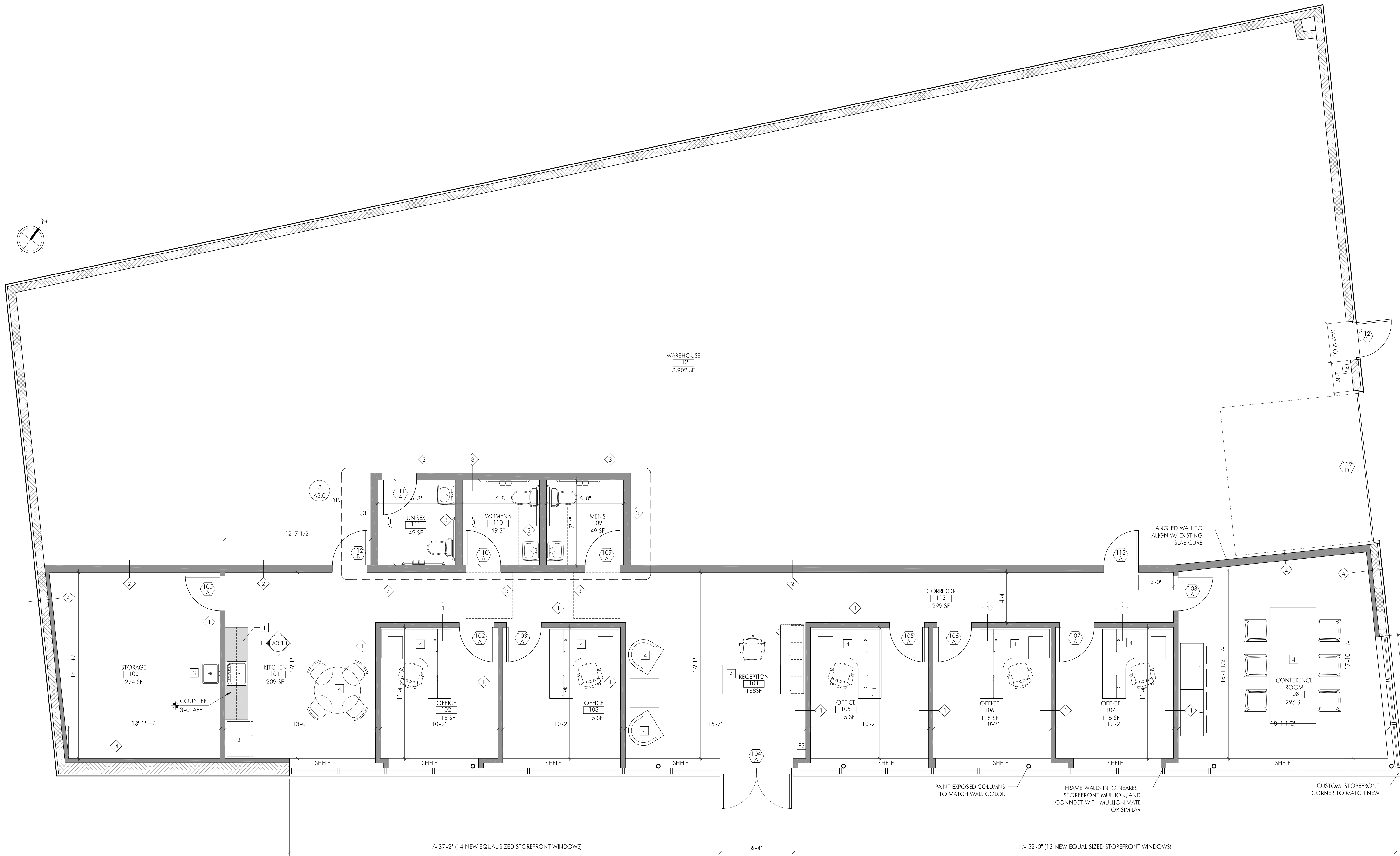
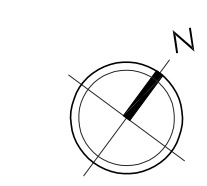
DRAWN BY: RWB CHECKED BY: DMC

DRAWING TITLE: DEMOLITION FLOOR PLAN

DRAWING NUMBER:

D1.0





WAREHOUSE  
112  
3,902 SF

STORAGE  
100  
224 SF

KITCHEN  
101  
209 SF

OFFICE  
102  
115 SF  
10-2"

OFFICE  
103  
115 SF  
10-2"

RECEPTION  
104  
188 SF

OFFICE  
105  
115 SF  
10-2"

OFFICE  
106  
115 SF  
10-2"

OFFICE  
107  
115 SF  
10-2"

CONFERENCE  
ROOM  
108  
296 SF

UNISEX  
111  
49 SF

WOMENS  
110  
49 SF

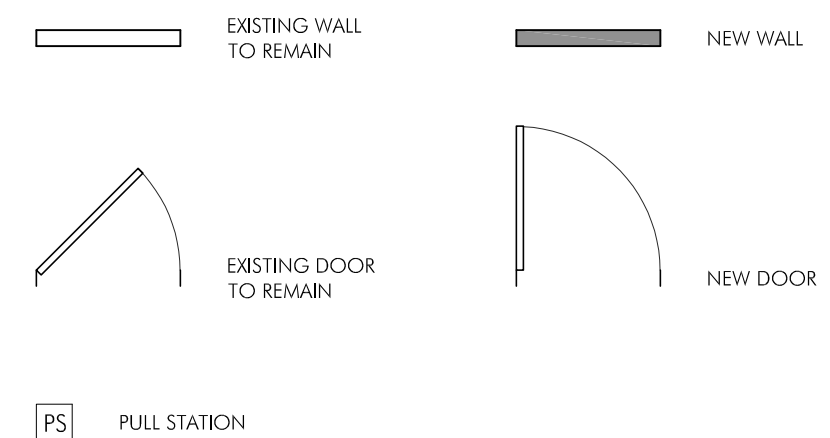
MENS  
109  
49 SF

CORRIDOR  
113  
299 SF

**PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**NEW WORK PLAN NOTES - SPECIFIC**  
(NOTES ARE KEYED ON DRAWINGS)

- 1 MILLWORK BY OTHERS. SHOP DRAWINGS TO BE PROVIDED TO CLIENT & ARCHITECT PRIOR TO FABRICATION FOR REVIEW AND COMMENT.
- 2 DUMB WATER EQUIPMENT AS SELECTED BY CLIENT. DIMENSIONS SHOWN FOR REFERENCE, G.C. TO COORDINATE REQUIREMENTS & DIMENSIONS IN-FIELD.
- 3 APPLIANCE AS SELECTED BY CLIENT.
- 4 FURNITURE AS SELECTED BY CLIENT.
- 5 MOP SINK AS SELECTED BY CLIENT.

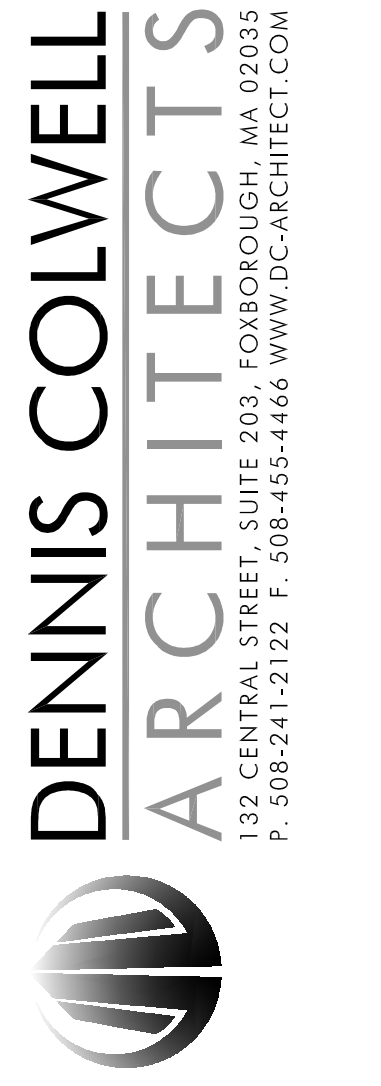


NEW WORK KEYED NOTES

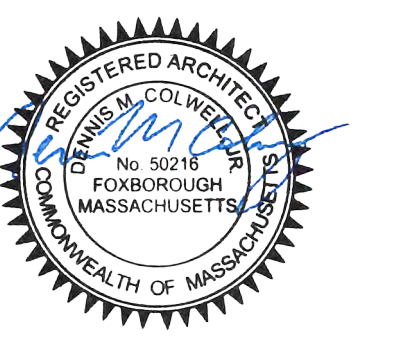
FLOOR PLAN LEGEND

PROJECT:  
ALPINE OFFICE  
NEW GENERATION CUSTOM HOMES  
40 ALPINE ROW  
FRANKLIN, MA 02038

PROJECT NUMBER: 23044



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DRAWING SCALE:	1/4" = 1'-0"
DRAWN BY:	RWB
CHECKED BY:	DMC

DRAWING TITLE:  
PROPOSED FLOOR PLAN

DRAWING NUMBER:

**A1.0**



REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

- THIS DRAWING INTENDED FOR FINISHES, FIXTURE LOCATIONS, AND COORDINATION; SEE ELECTRICAL DRAWINGS FOR COMPLETE SCHEDULE OF LIGHT FIXTURES; SEE MECHANICAL DRAWINGS FOR DIFFUSERS AND EQUIPMENT.
- CEILING HEIGHTS ARE FROM FINISH FLOOR LEVEL.
- SOFFIT FRAMING DIMENSIONS ARE FROM FACE OF WALL (F.O.W.) UNLESS OTHERWISE NOTED.
- GRID DIMENSIONS ARE FROM FACE OF GYP. BD.
- SUSPENDED CEILING GRID SHALL BE CENTERED IN BOTH DIRECTIONS OF A ROOM UNLESS OTHERWISE NOTED OR AS INDICATED BY WORKING POINTS AND/OR FULL TILE DESIGNATIONS.
- CENTER LIGHTS AND OTHER DEVICES ON ACOUSTIC TILE UNLESS NOTED OTHERWISE.
- DO NOT INSTALL MECHANICAL, ELECTRICAL, OR PLUMBING DEVICES REQUIRING ACCESS ABOVE GYPSUM BOARD CEILINGS UNLESS ACCESS PANELS ARE PROVIDED, IN ALL CASES, LOCATE SUCH DEVICES ABOVE ACCESSIBLE CEILINGS OR ACCESS PANELS.
- ALL ROD/ CABLES IN THE DISPLAY AREA SHALL BE PAINTED TO MATCH THE BACKDROP (SOFFIT, CEILING, OR DECK)
- IN OPEN CEILINGS, ALL WIRES AND CONDUITS SHALL BE RUN NEATLY, TIGHT TO STRUCTURE WHEREVER POSSIBLE, AND ORTHOGONALLY FOR NEATEST CONFIGURATION.
- FINAL LOCATION AND QUANTITY OF EMERGENCY LIGHTS AND/ OR EXIT SIGNS SHALL BE AT THE DISCRETION OF THE AHJ DURING CONSTRUCTION, AND MAY RESULT IN ADDITIONAL FIXTURES. GC SHALL PROVIDE ANY ADDITIONAL FIXTURES AND PERFORM ANY MODIFICATIONS AS REQUIRED BY THE AHJ.

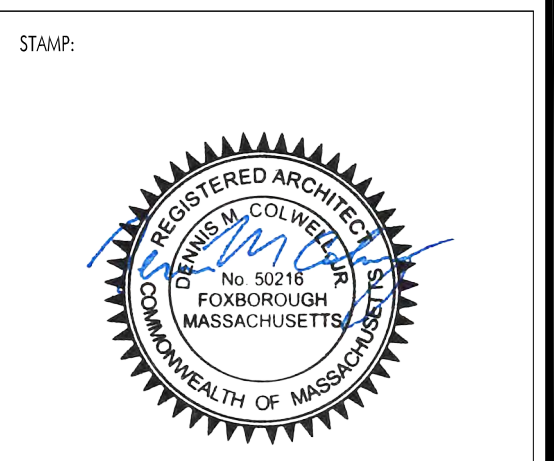
GENERAL CEILING NOTES

	ACT-01	24"x24" ACOUSTICAL CEILING TILE & GRID SYSTEM AS SELECTED BY CLIENT		LED PENDANT AS SELECTED BY CLIENT
	ACT-02	48"x24" ACOUSTICAL CEILING TILE & GRID SYSTEM AS SELECTED BY CLIENT		LED VANITY AS SELECTED BY CLIENT
	A	24"x24" LED TROFFER AS SELECTED BY CLIENT		48" LED SURFACE MOUNTED LINEAR AS SELECTED BY CLIENT
	B	48"x24" LED TROFFER AS SELECTED BY CLIENT		LED TRACK LIGHT AS SELECTED BY CLIENT

REFLECTED CEILING PLAN LEGEND

PROJECT:  
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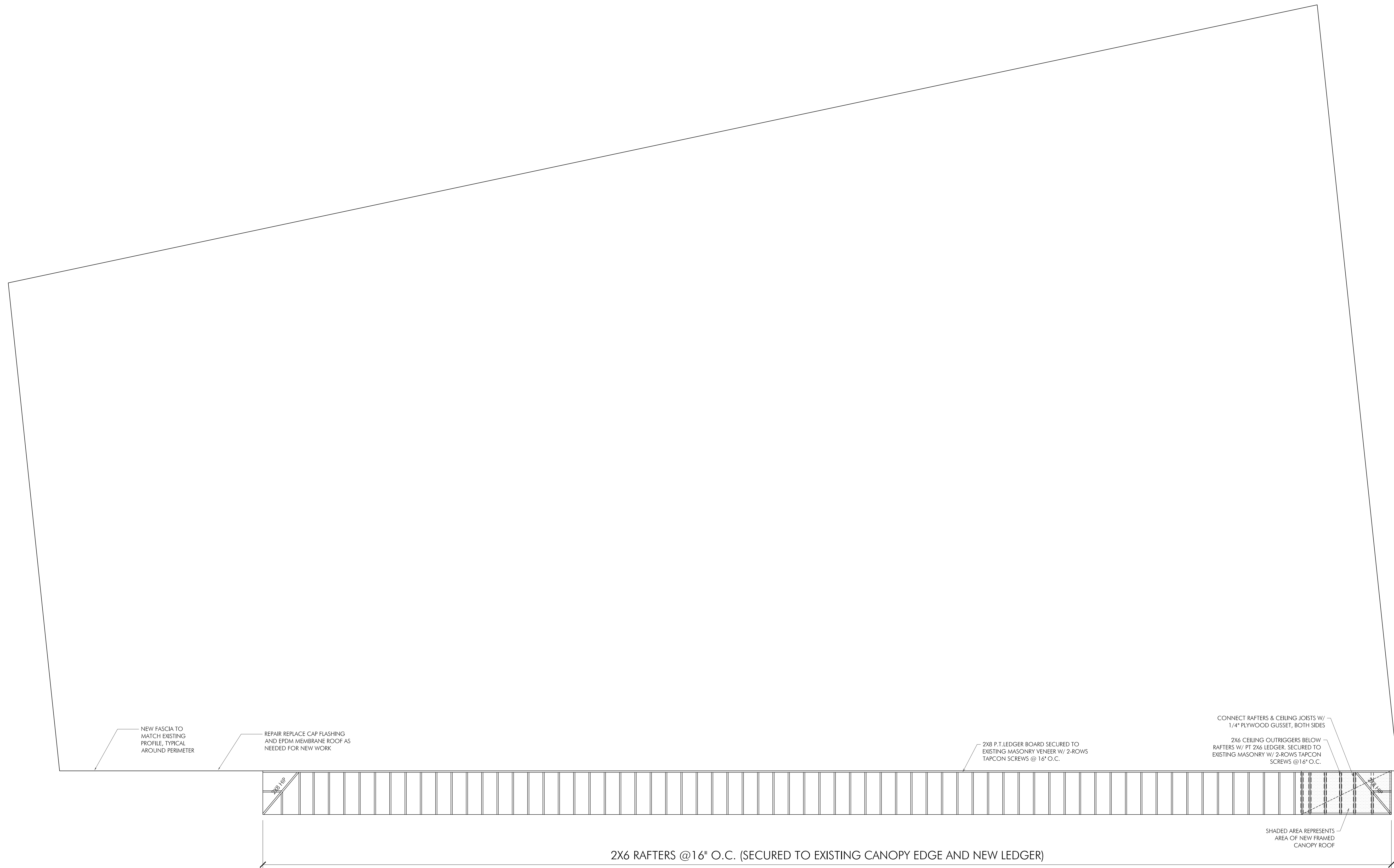
ISSUE: ISSUE FOR PERMIT DATE: 04.05.2023

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DRAWN BY: RWB CHECKED BY: DMC

DRAWING TITLE:  
REFLECTED CEILING PLAN

DRAWING NUMBER:

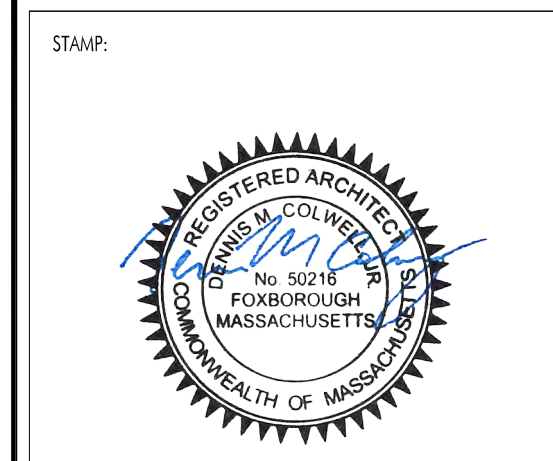
**A1.1**



CANOPY ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

PROJECT:  
ALPINE OFFICE  
NEW GENERATION CUSTOM HOMES  
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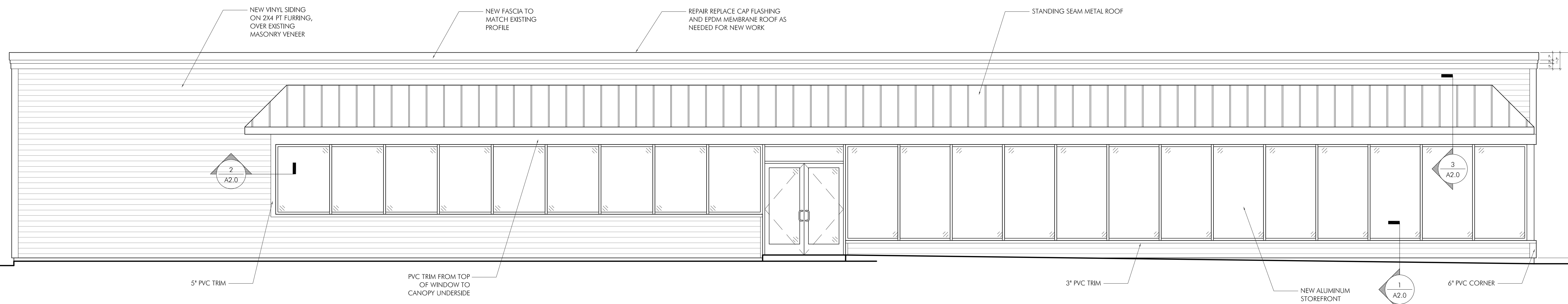
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FRAMING PLAN

DRAWING NUMBER:  
**A1.2**

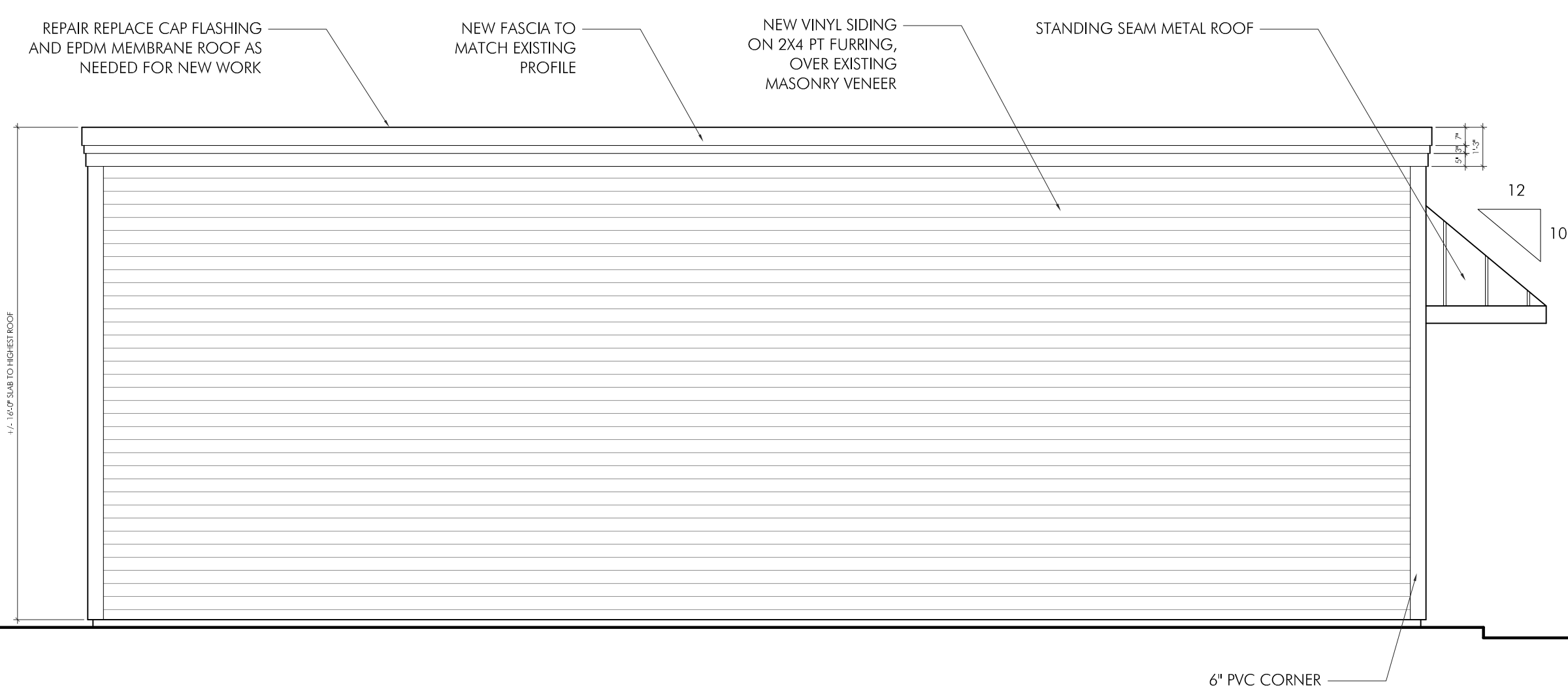
PROJECT:  
ALPINE OFFICE  
NEW GENERATION CUSTOM HOMES  
40 ALPINE ROW  
FRANKLIN, MA 02038

PROJECT NUMBER: 23044

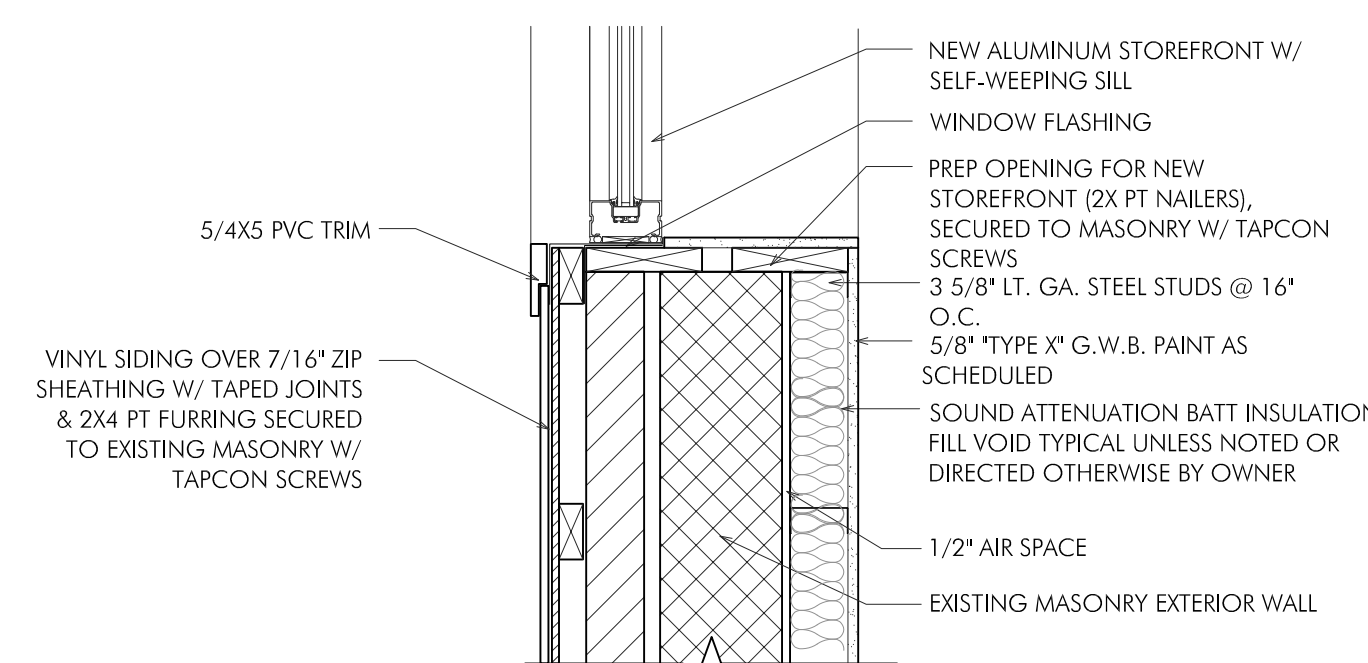
**DENNIS COLWELL**  
**ARCHITECTS**  
132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035  
P. 508-241-2122 F. 508-455-4466 WWW.DC-ARCHITECT.COM



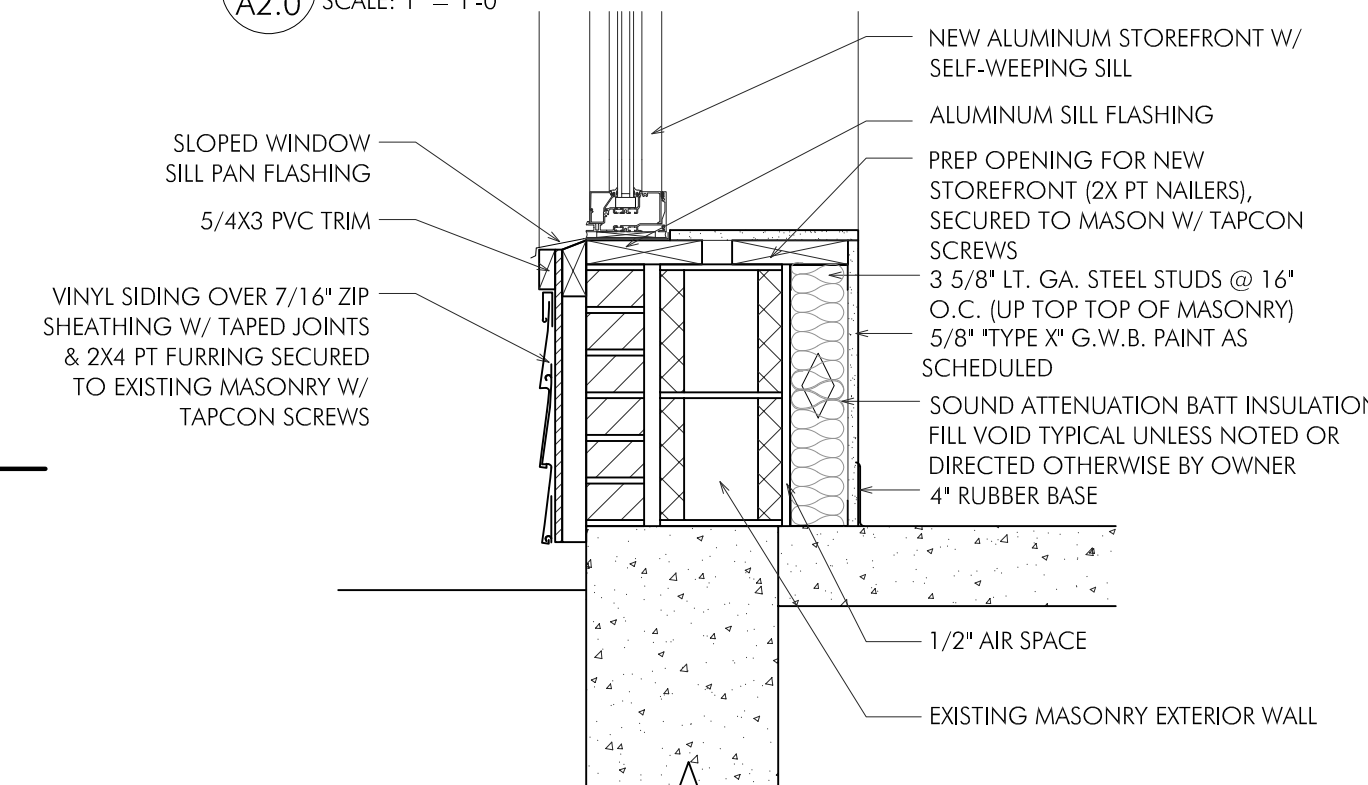
**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



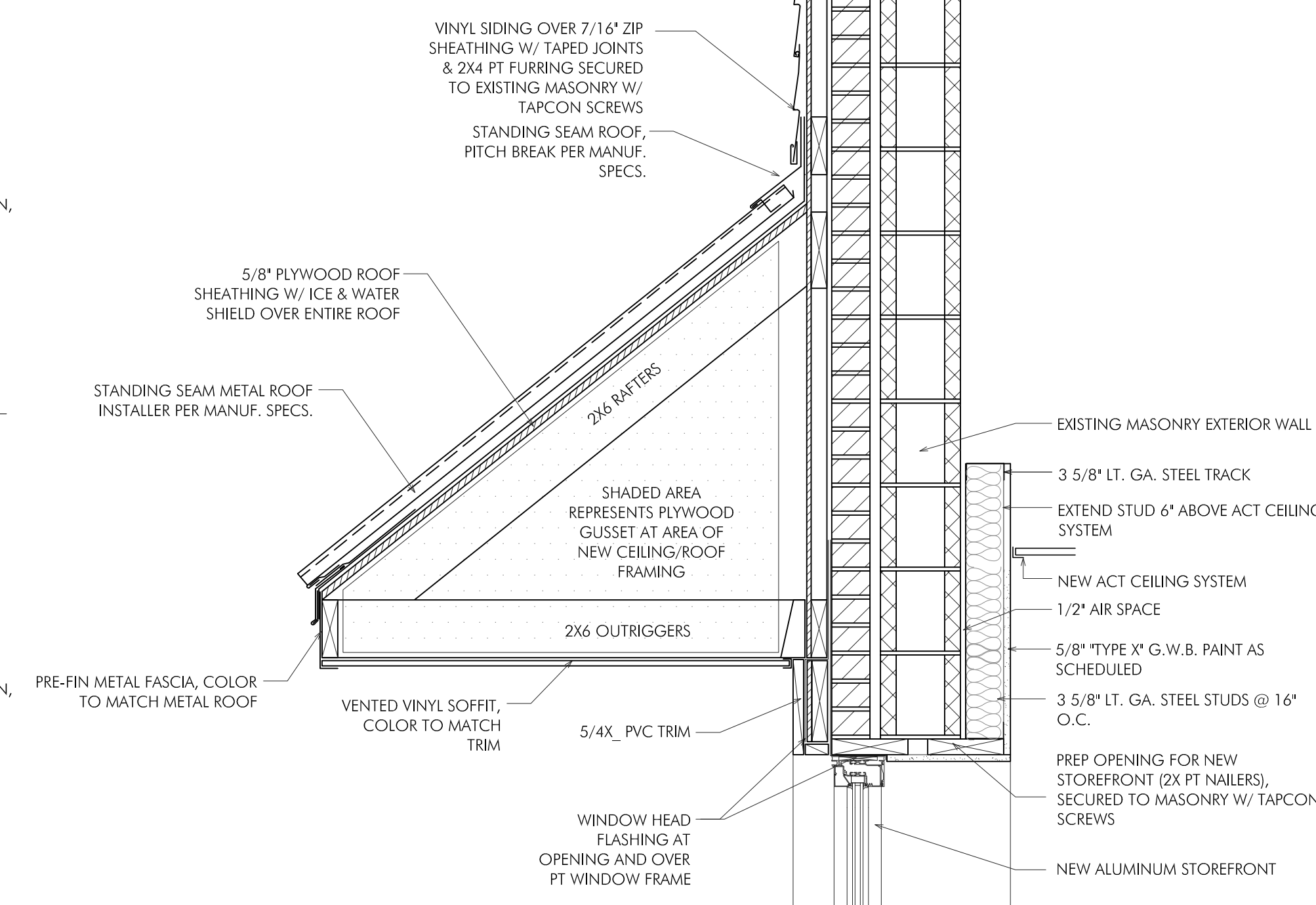
**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 JAMB DETAIL**  
SCALE: 1" = 1'-0"

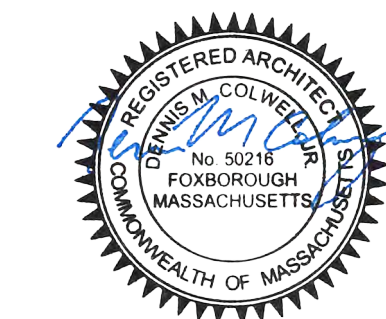


**1 SILL DETAIL**  
SCALE: 1" = 1'-0"



**3 HEAD DETAIL**  
SCALE: 1" = 1'-0"

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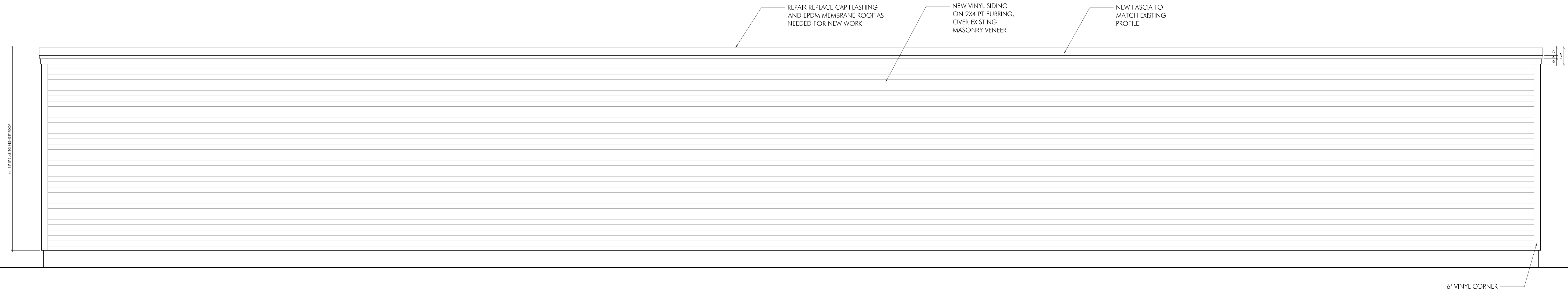
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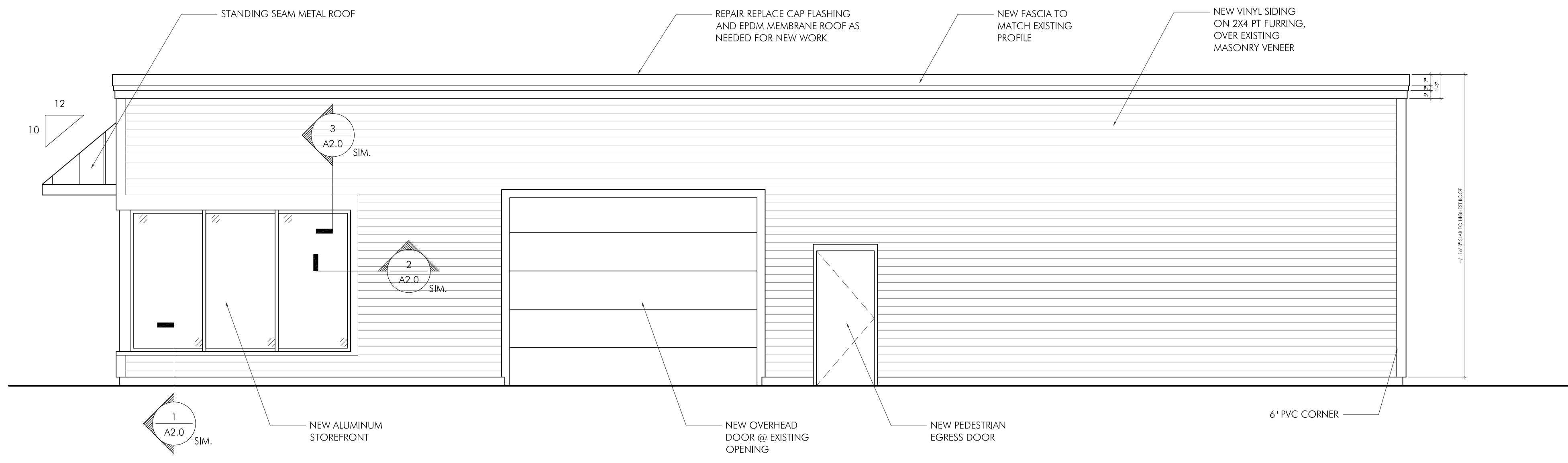
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BUILDING ELEVATIONS

DRAWING NUMBER:

**A2.0**



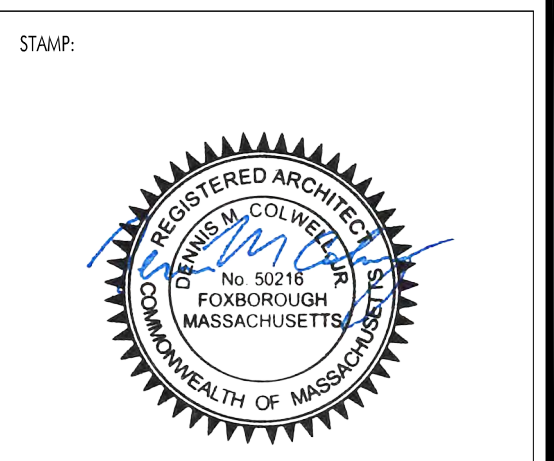
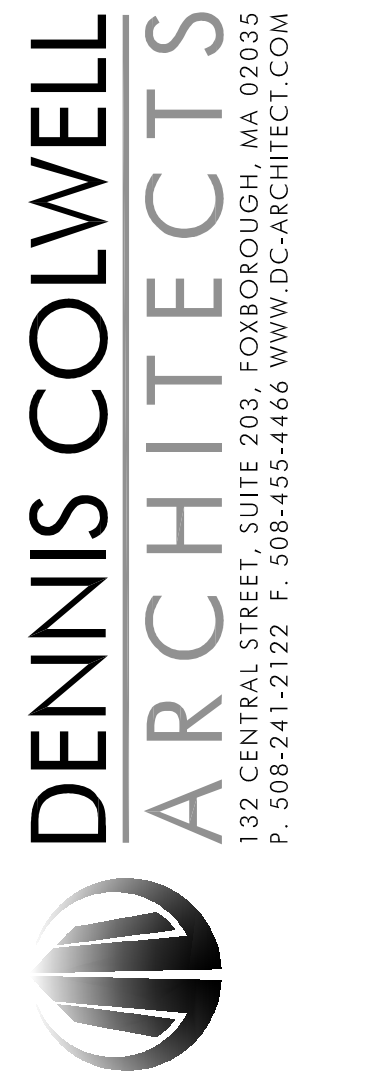
REAR ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

PROJECT:  
ALPINE OFFICE  
NEW GENERATION CUSTOM HOMES  
40 ALPINE ROW  
FRANKLIN, MA 02038

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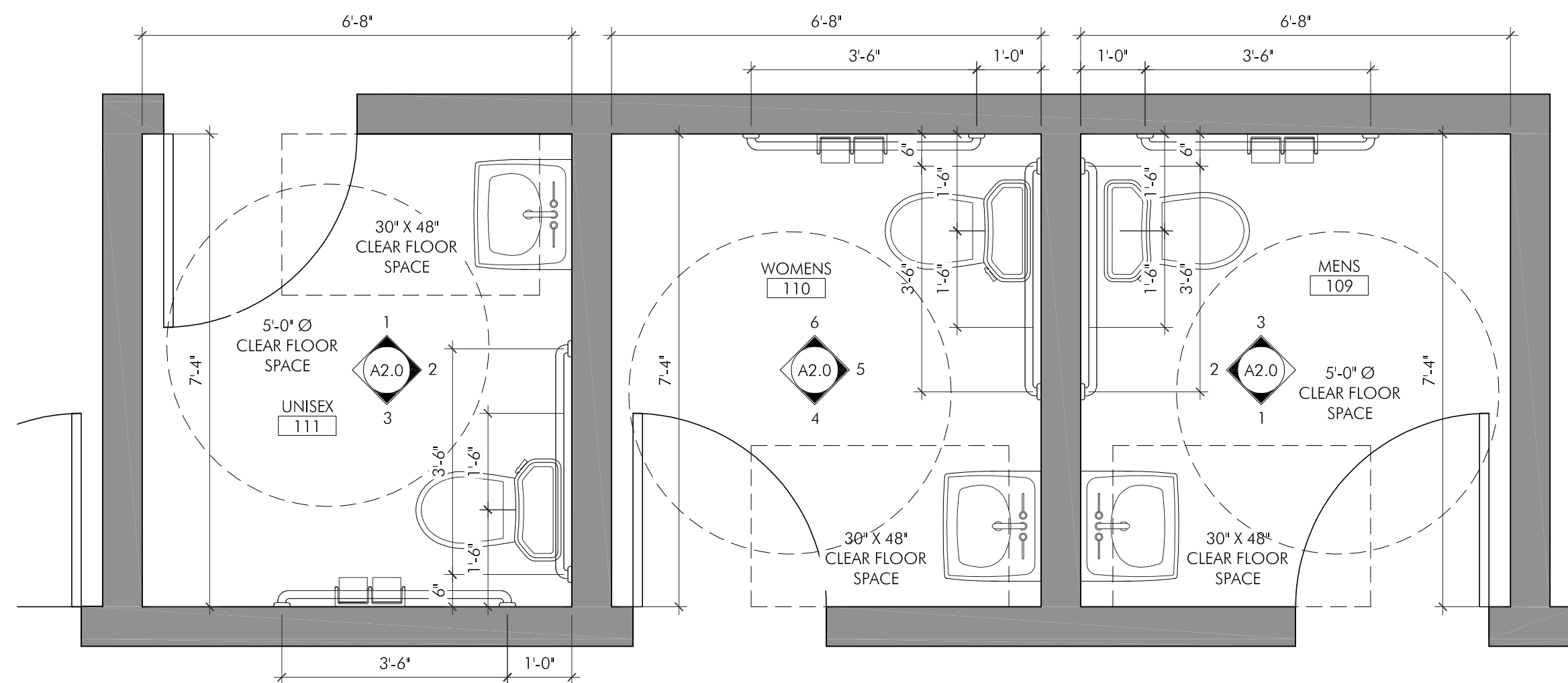


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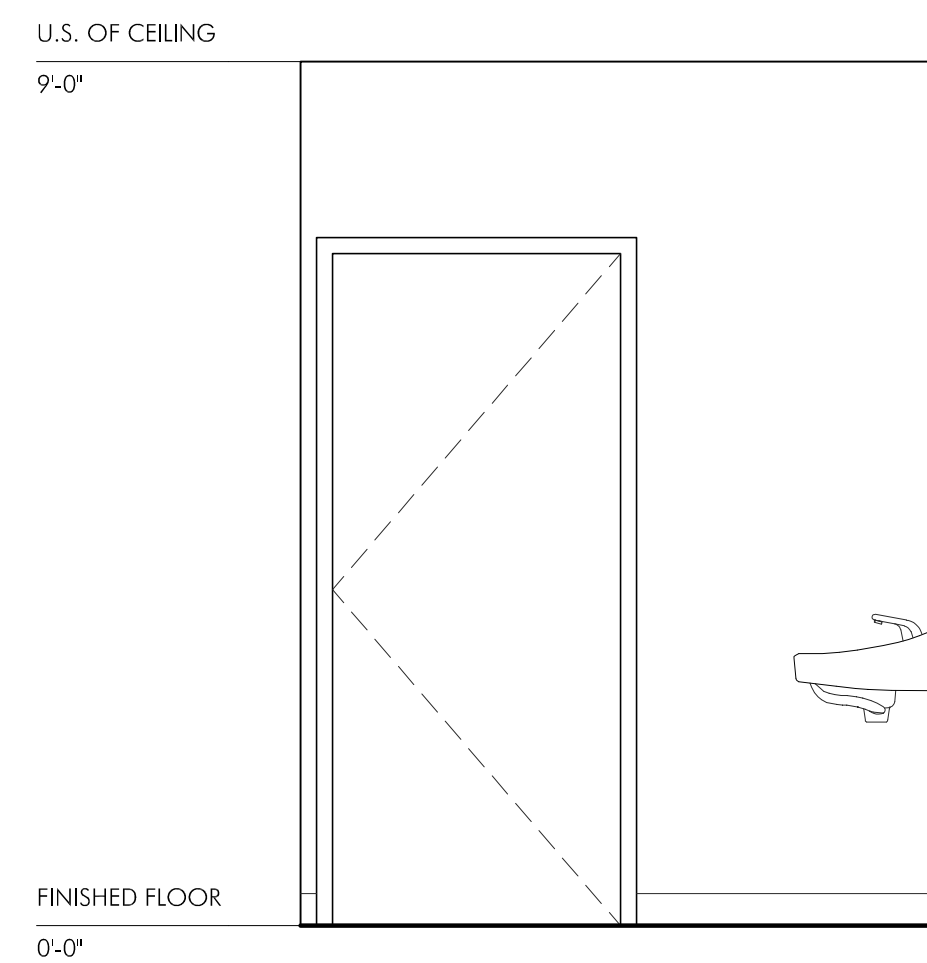
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BUILDING ELEVATIONS

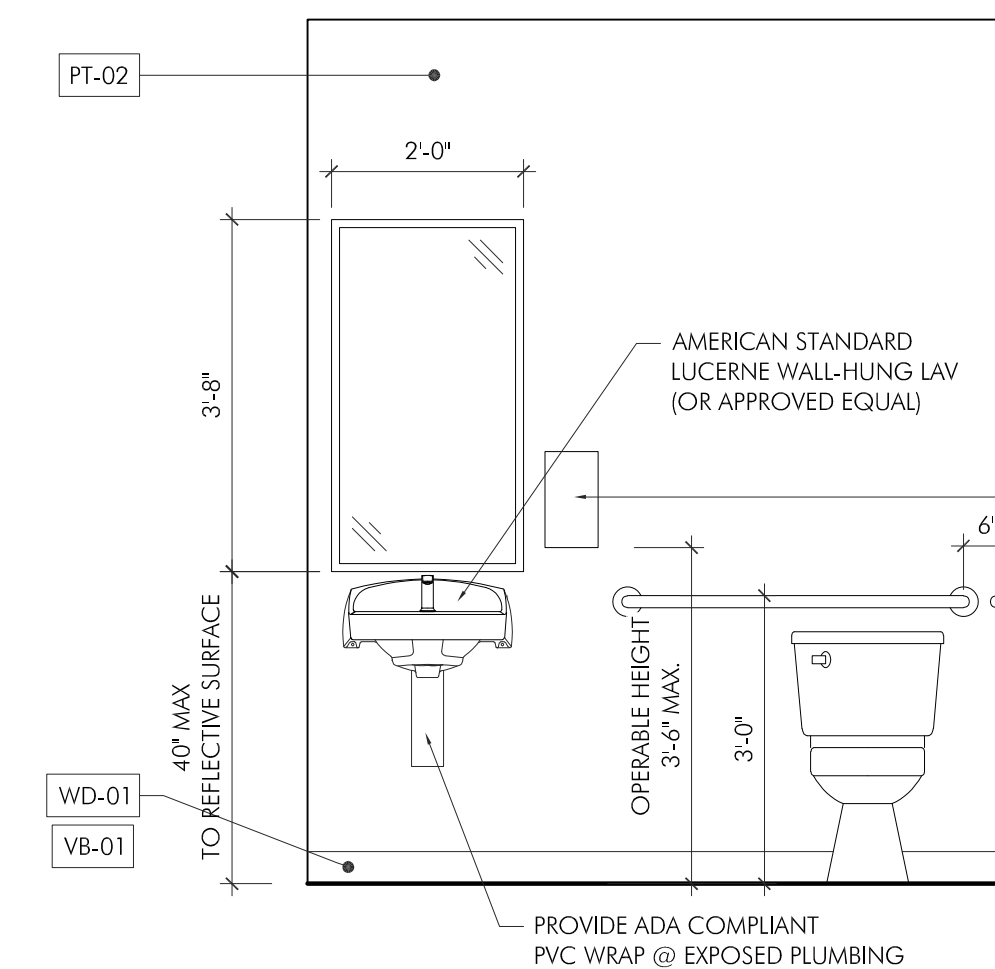
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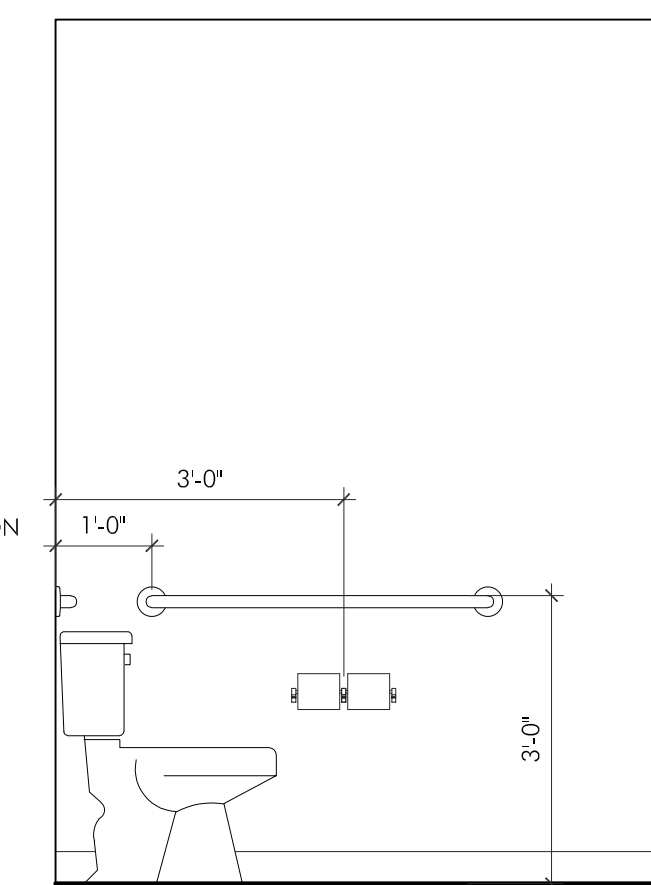
8 BATH ENLARGED PLAN  
A3.0 SCALE: 1/2" = 1'-0"



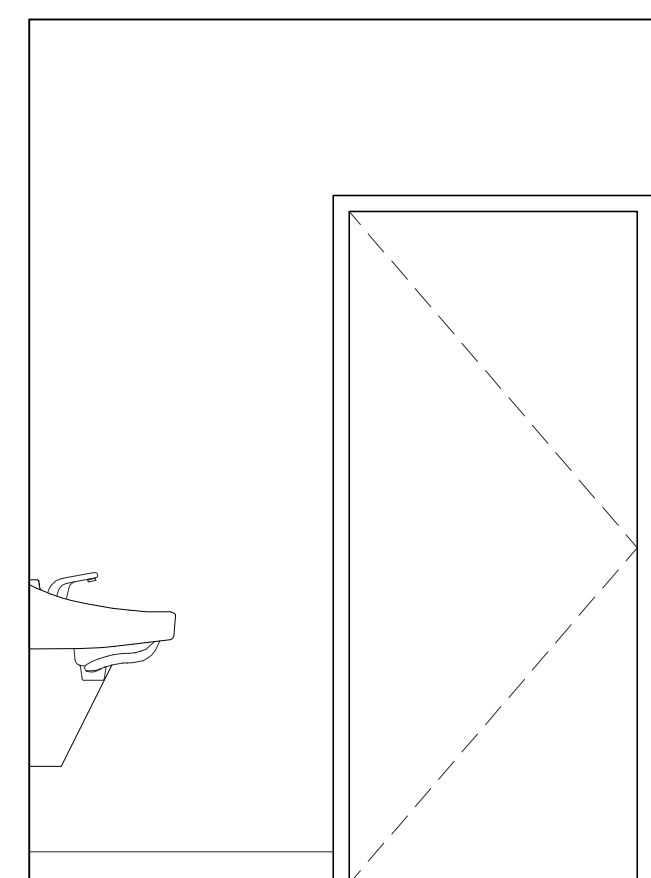
1 109/111 INTERIOR ELEVATION  
A3.0 SCALE: 1/2" = 1'-0"



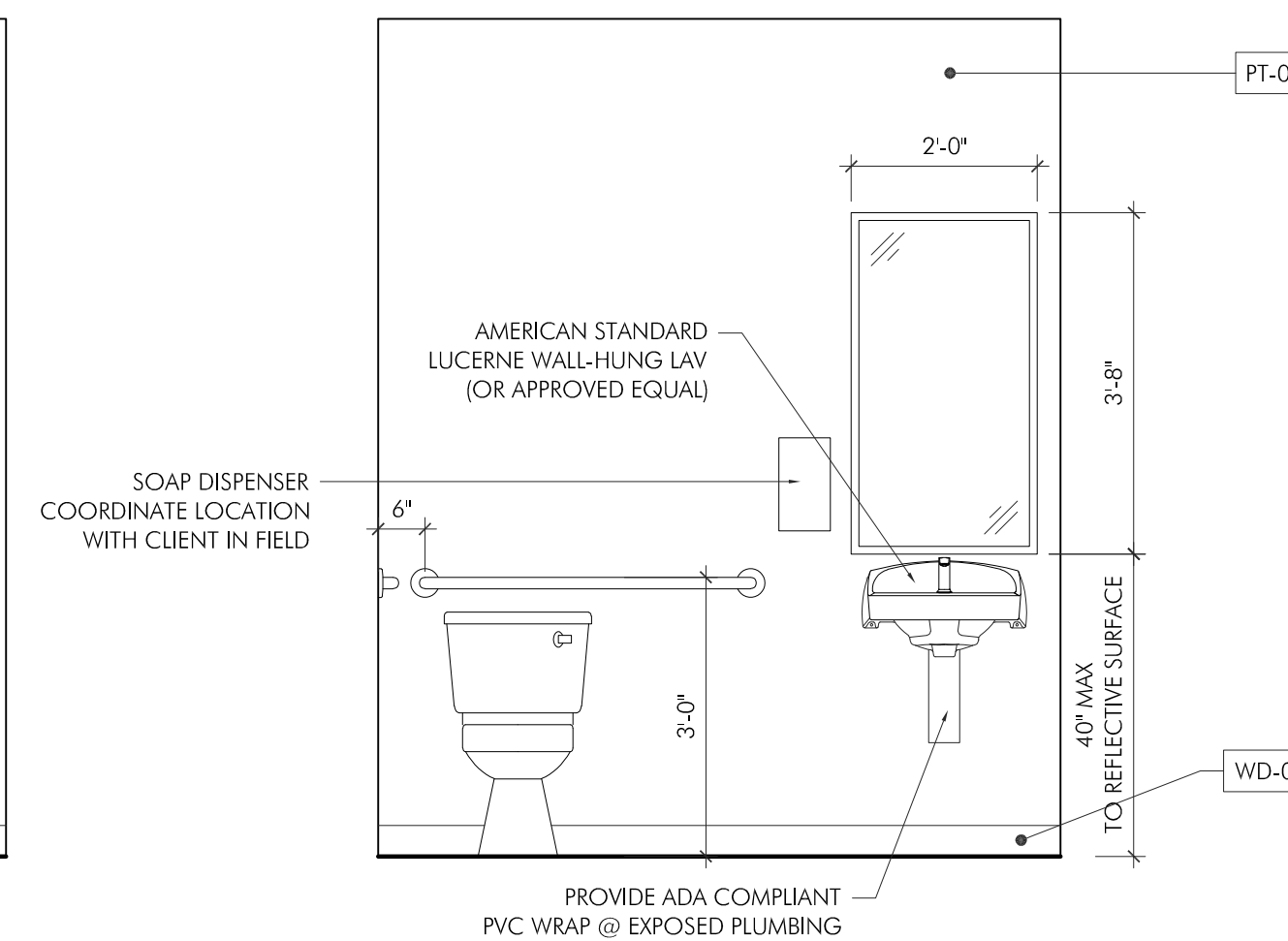
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A3.0 SCALE: 1/2" = 1'-0"



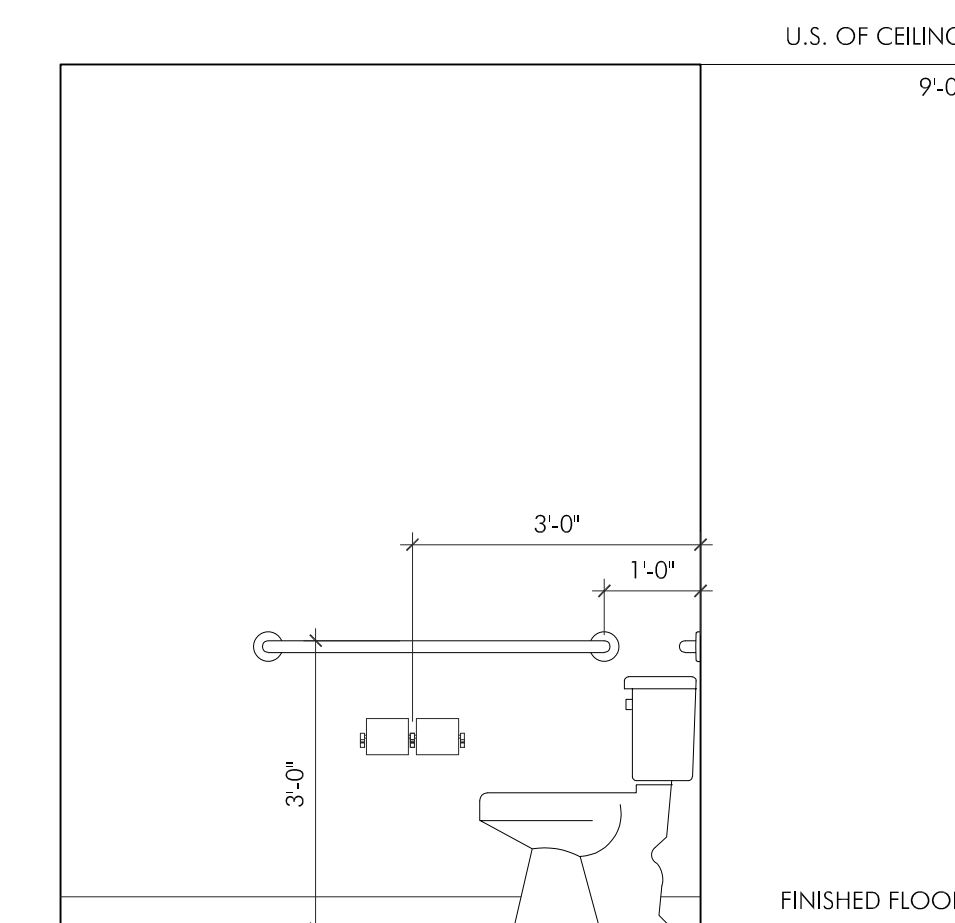
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A3.0 SCALE: 1/2" = 1'-0"



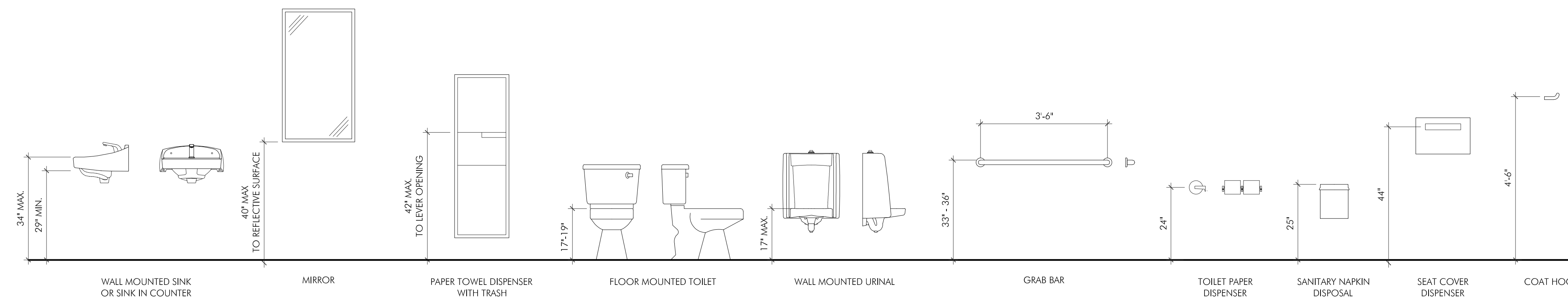
4 110 INTERIOR ELEVATION  
A3.0 SCALE: 1/2" = 1'-0"



5 110 INTERIOR ELEVATION  
A3.0 SCALE: 1/2" = 1'-0"



6 110 INTERIOR ELEVATION  
A3.0 SCALE: 1/2" = 1'-0"



7 MAAB MOUNTING HEIGHTS (TYPICAL)  
A3.0 SCALE: 1/2" = 1'-0"

PROJECT:  
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**DENNIS COLWELL**  
**ARCHITECTS**  
132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035  
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ISSUE: DATE:  
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DRAWING SCALE: 1/4" = 1'-0"

DRAWN BY: RWB CHECKED BY: DMC

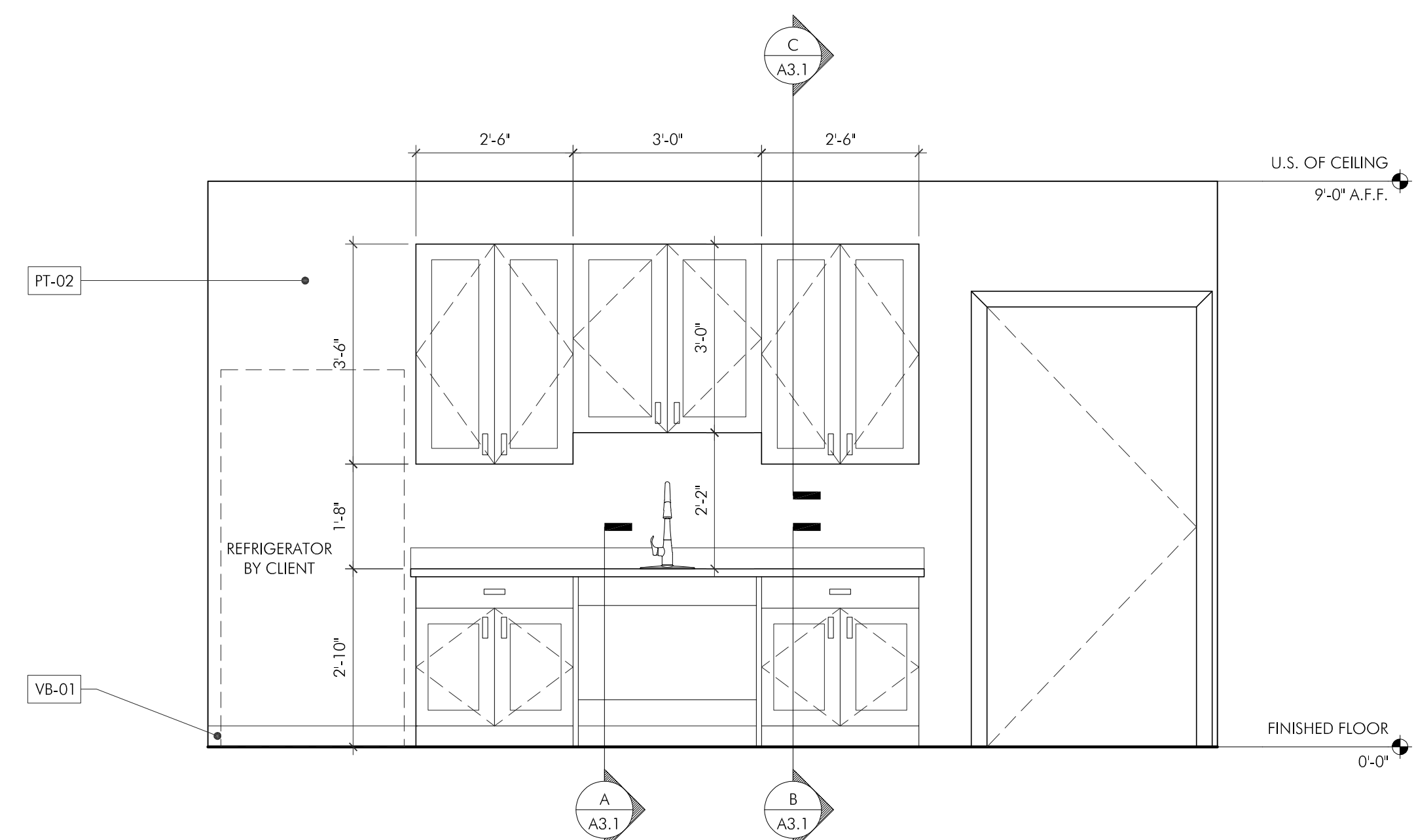
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ENLARGED PLANS AND INTERIOR ELEVATIONS

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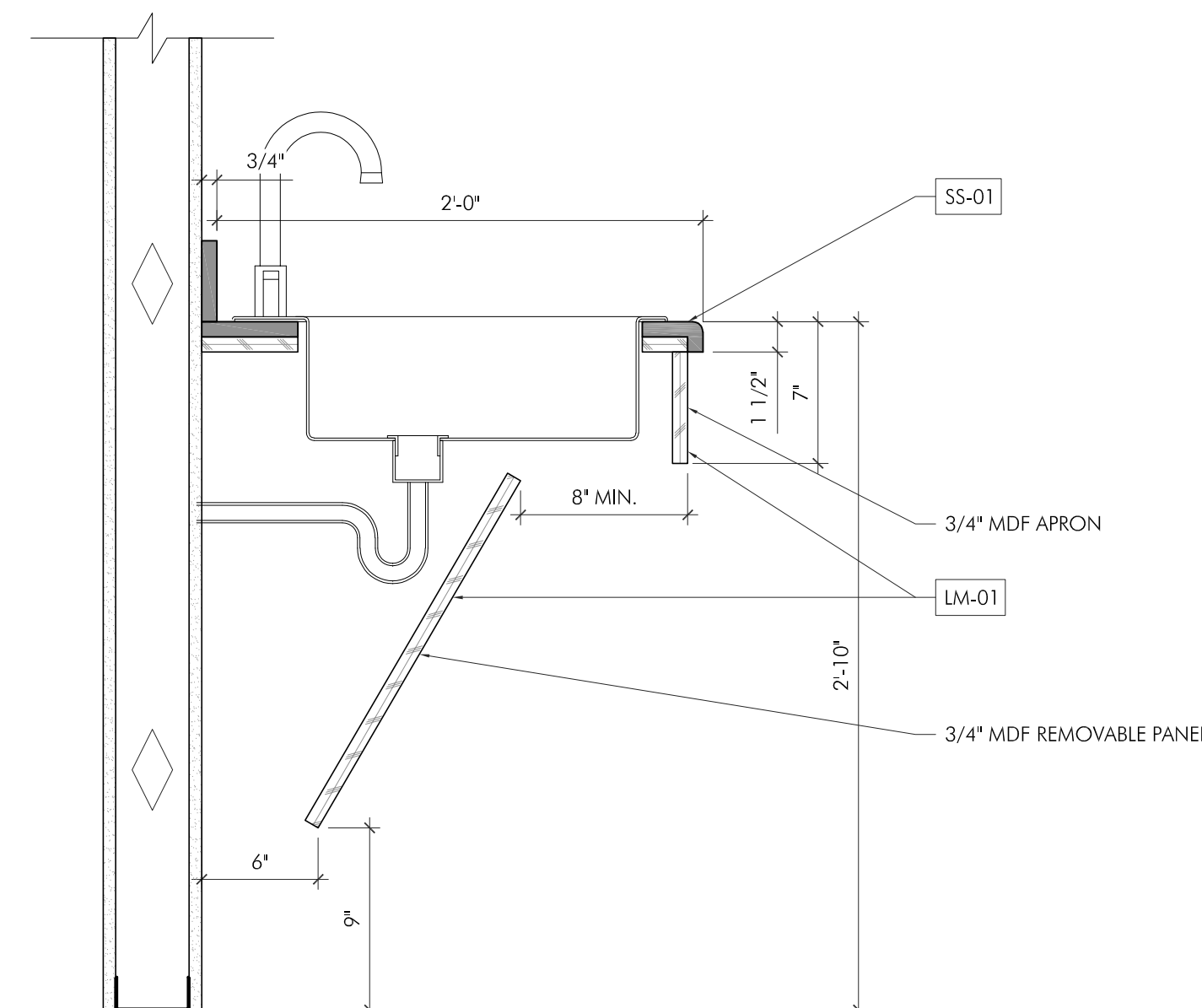
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PROJECT:  
 ALPINE OFFICE  
 NEW GENERATION CUSTOM HOMES  
 40 ALPINE ROW  
 FRANKLIN, MA 02038

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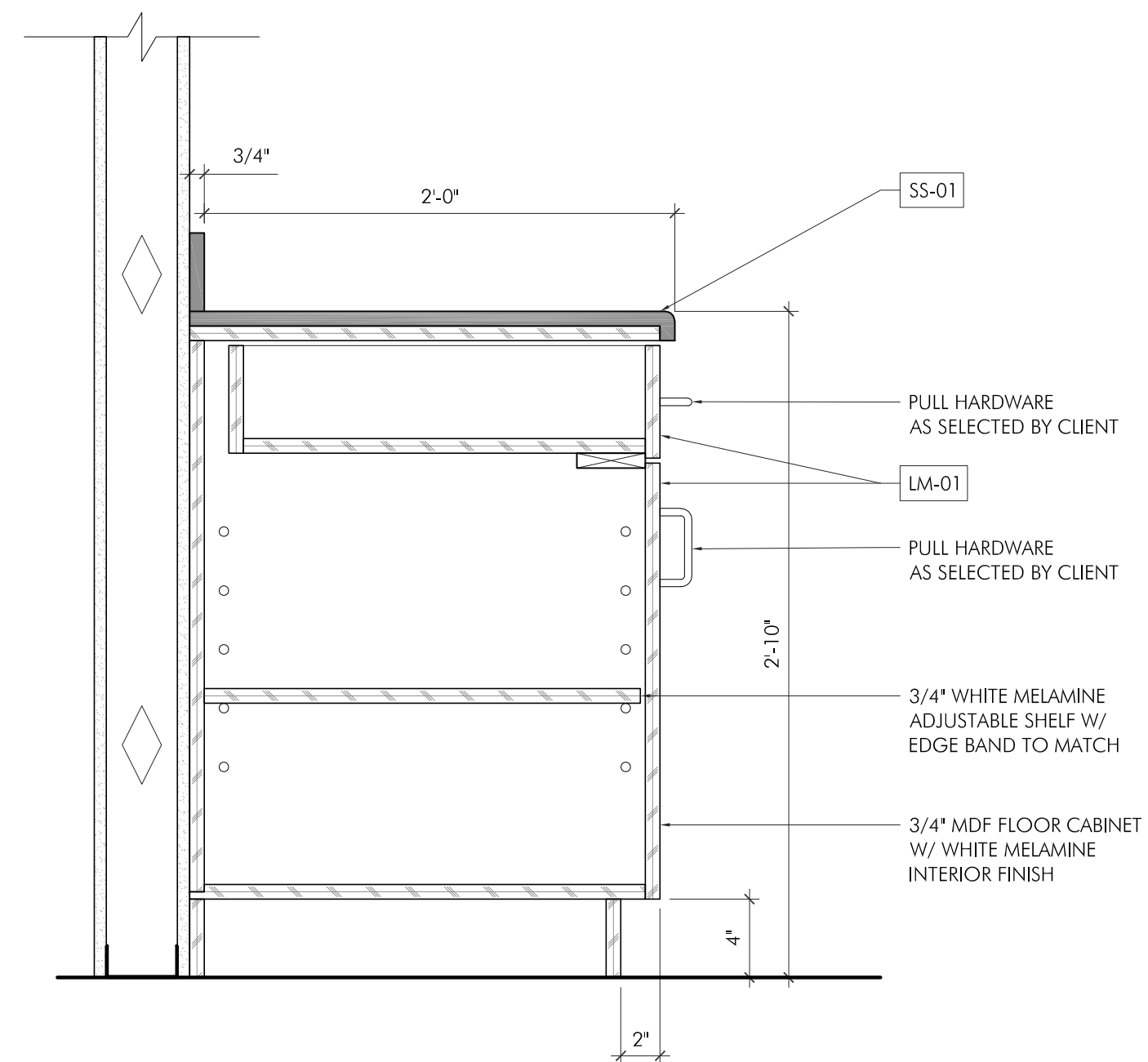


**1**  
 A3.1 101 INTERIOR ELEVATION  
 SCALE: 1/2" = 1'-0"



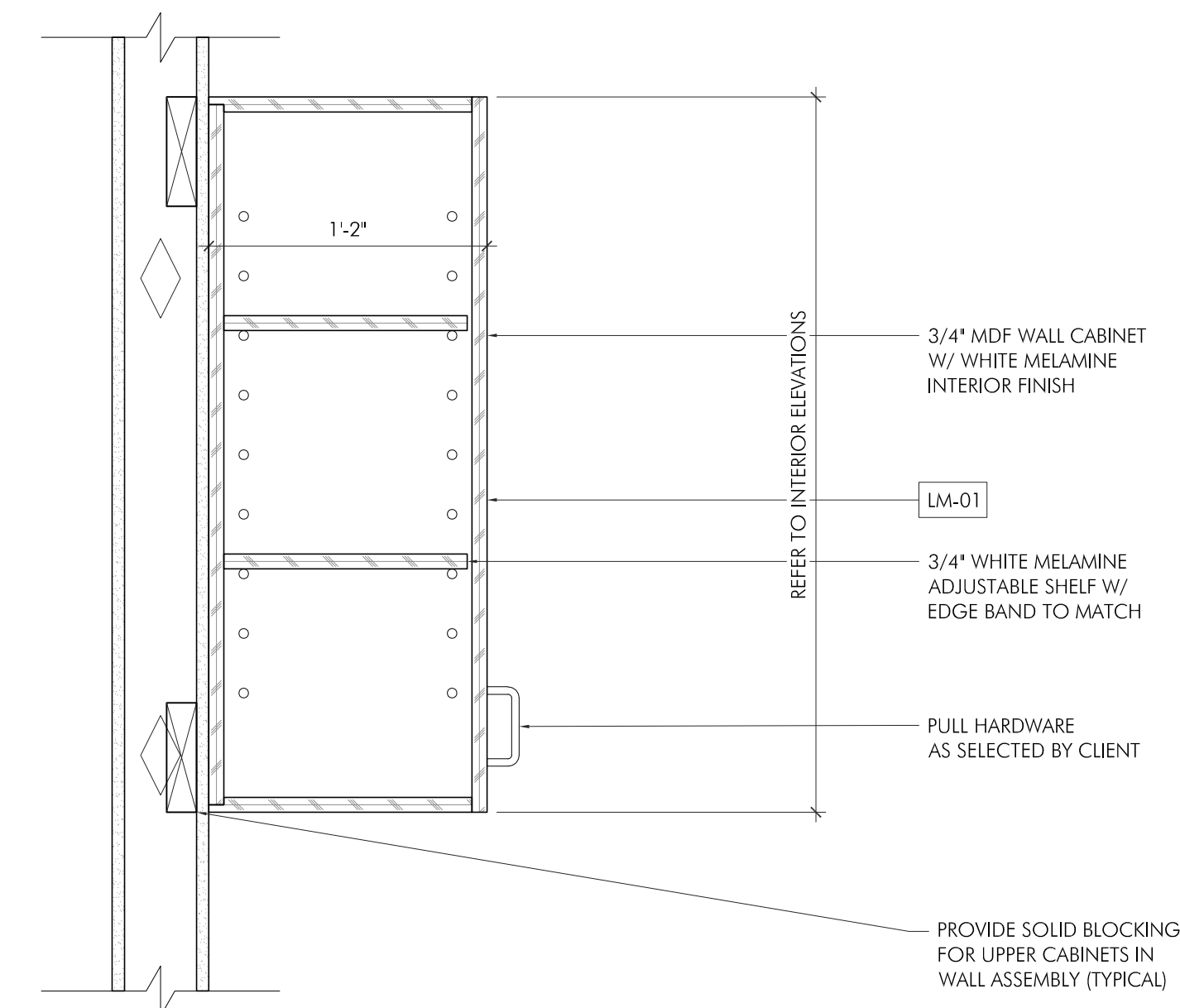
**A**  
 A3.1 SINK MILLWORK  
 SCALE: 1-1/2" = 1'-0"

NOTE:  
 SHOP DRAWINGS TO BE PROVIDED PRIOR TO  
 FABRICATION FOR REVIEW AND COMMENT



**B**  
 A3.1 COUNTER MILLWORK  
 SCALE: 1-1/2" = 1'-0"

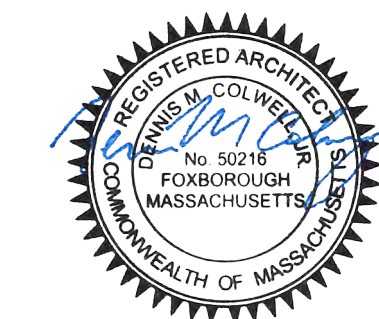
NOTE:  
 SHOP DRAWINGS TO BE PROVIDED PRIOR TO  
 FABRICATION FOR REVIEW AND COMMENT



**C**  
 A3.1 WALL CABINET MILLWORK  
 SCALE: 1-1/2" = 1'-0"

NOTE:  
 SHOP DRAWINGS TO BE PROVIDED PRIOR TO  
 FABRICATION FOR REVIEW AND COMMENT

STAMP:



ISSUE:	DATE:
ISSUE FOR PERMIT	04.05.2023

DRAWING SCALE: 1/4" = 1'-0"

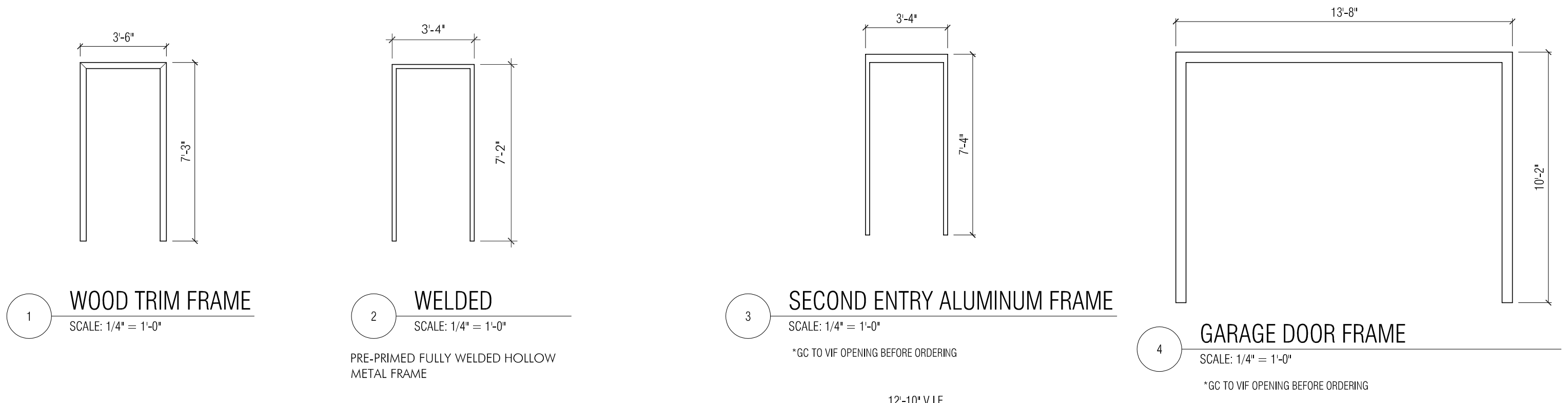
DRAWN BY: RWB CHECKED BY: DMC

DRAWING TITLE:  
 INTERIOR ELEVATIONS AND DETAILS

DRAWING NUMBER:

**A3.1**

DOOR AND FRAME TYPES

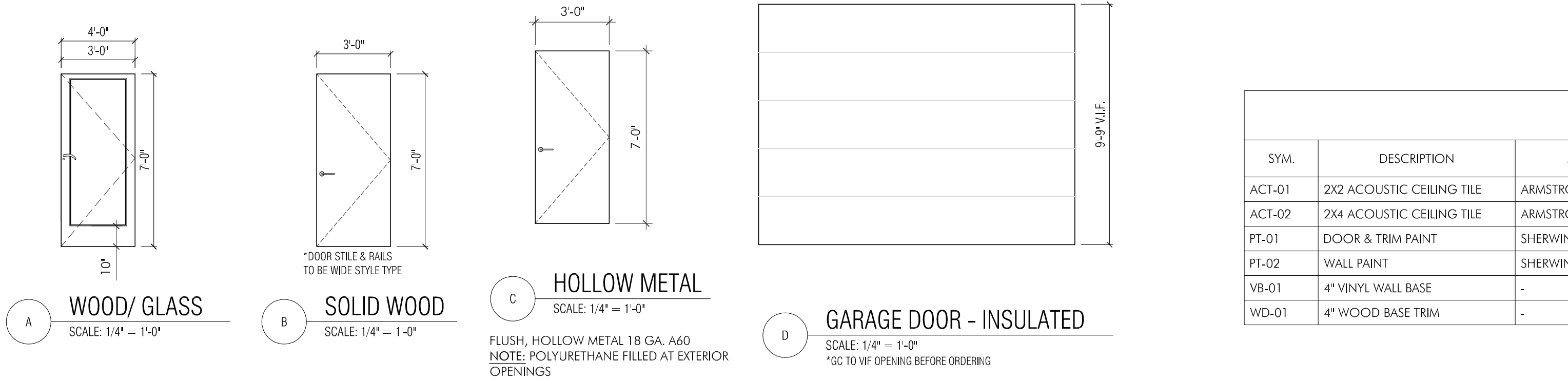


**1 WOOD TRIM FRAME**  
SCALE: 1/4" = 1'-0"

**2 WELDED**  
SCALE: 1/4" = 1'-0"  
PRE-PRIMED FULLY WELDED HOLLOW METAL FRAME

**3 SECOND ENTRY ALUMINUM FRAME**  
SCALE: 1/4" = 1'-0"  
\*GC TO VIF OPENING BEFORE ORDERING

**4 GARAGE DOOR FRAME**  
SCALE: 1/4" = 1'-0"  
\*GC TO VIF OPENING BEFORE ORDERING



**A WOOD/ GLASS**  
SCALE: 1/4" = 1'-0"

**B SOLID WOOD**  
SCALE: 1/4" = 1'-0"  
\*DOOR STYLE & PALS TO BE WIDE STYLE TYPE

**C HOLLOW METAL**  
SCALE: 1/4" = 1'-0"  
FLUSH, HOLLOW METAL 18 GA. A60  
NOTE: POLYURETHANE FILLED AT EXTERIOR OPENINGS

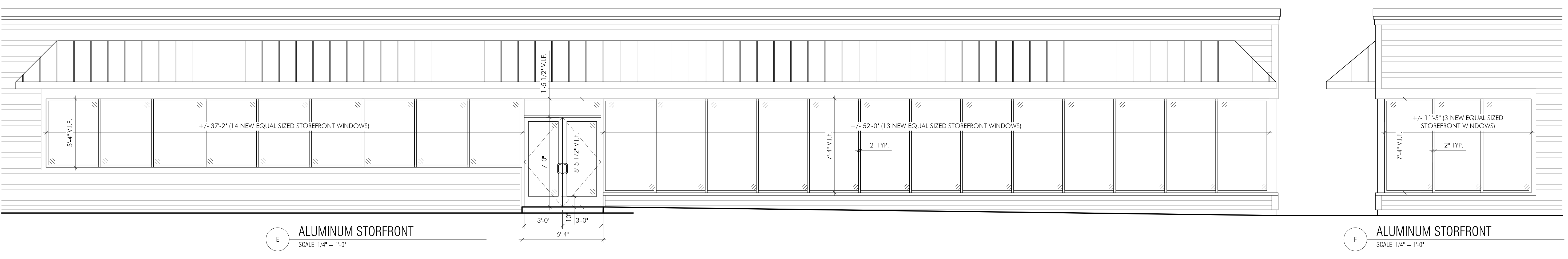
**D GARAGE DOOR - INSULATED**  
SCALE: 1/4" = 1'-0"  
\*GC TO VIF OPENING BEFORE ORDERING

DOOR HARDWARE LEGEND

SET	HARDWARE
HW-01	3 HINGES 1 PANIC HARDWARE WITH DOGGING & LEVER 1 CLOSER 1 THRESHOLD 1 WEATHERSTRIPPING
HW-02	3 HINGES 1 STOREROOM LOCKSET 1 CLOSER 1 WALL STOP 1 SILENCERS
HW-03	3 HINGES 1 OFFICE LOCKSET 1 WALL STOP 1 SILENCERS
HW-04	3 HINGES 1 PRIVACY LOCKSET W/ OCCUPANCY INDICATOR 1 CLOSER 1 WALL STOP 1 SILENCERS
HW-05	HARDWARE PER MANUFACTURERS SPECIFICATIONS
HW-06	2 CONTINUOUS HINGES 1 RMV DEVICE W/ PULL 2 PULLS 2 FLUSH BOLTS 1 CLOSER 1 HOLD OPEN

FINISH LEGEND

SYM.	DESCRIPTION	MANUFACTURER	PRODUCT STYLE, COLOR, AND FINISH	COMMENTS
ACT-01	2X2 ACOUSTIC CEILING TILE	ARMSTRONG	ULTIMA 24X24	PRELUDE 15/16" SUSPENSION SYSTEM
ACT-02	2X4 ACOUSTIC CEILING TILE	ARMSTRONG	ULTIMA 48X24	PRELUDE 15/16" SUSPENSION SYSTEM
PT-01	DOOR & TRIM PAINT	SHERWIN WILLIAMS	COLOR AS SELECTED BY CLIENT, SEMI-GLOSS FINISH	
PT-02	WALL PAINT	SHERWIN WILLIAMS	COLOR AS SELECTED BY CLIENT, EGGSHELL OR SATIN FINISH	
VB-01	4" VINYL WALL BASE	-	-	
WD-01	4" WOOD BASE TRIM	-	-	



**E ALUMINUM STORFRONT**  
SCALE: 1/4" = 1'-0"

**F ALUMINUM STORFRONT**  
SCALE: 1/4" = 1'-0"

FINISH NOTES

- PROVIDE PRIMERS AND UNDERCOATS BY SAME MANUFACTURER OF FINISH COAT - SHERWIN WILLIAMS PROVIDED AS BASE SPEC. USE ONLY THINNERS APPROVED BY PAINT MANUFACTURER AND USE ONLY WITHIN RECOMMENDED LIMITS.
- PROVIDE THE FOLLOWING PAINT SYSTEMS BASED ON SUBSTRATE MATERIALS:
  - 2.1 GYPSUM DRYWALL WALLS/CEILINGS/SOFFITS: EGGSHELL ACRYLIC-ENAMEL FINISH: TWO COATS OVER PRIMER
    - 2.1.1 PRIMER: INTERIOR GYP. BD. PRIMER.
    - 2.1.2 FINISH COATS: INTERIOR EGGSHELL ACRYLIC ENAMEL OR GLOSS INDUSTRIAL ENAMEL.
  - 2.2 INTERIOR METAL FRAMES AND METAL TRIM: SEMI GLOSS ACRYLIC-ENAMEL FINISH: TWO COATS OVER A PRIMER
    - 2.2.1 PRIMER: INTERIOR FERROUS-METAL PRIMER.
    - 2.2.2 FINISH COATS: INTERIOR SEMI GLOSS ACRYLIC ENAMEL.
  - 2.3 INTERIOR CONCRETE FLOORS:
    - 2.3.1 FIRST COAT: ARMOR SEAL 8100 FINISH
    - 2.3.2 SECOND COAT: ARMOR SEAL 8100 FINISH
- ALL FINISHES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
- PROVIDE VINYL COVE BASE AT VINYL AND TILE FLOORS. PROVIDE VINYL STRAIGHT BASE AT CARPETED FLOORS.
- PROVIDE TRANSITION STRIPS AT JUNCTION OF DISSIMILAR FLOORING MATERIALS. IF NOT OTHERWISE NOTED, PROVIDE VINYL STRIPS AT JUNCTION OF CARPET AND VINYL, U.N.O. PROVIDE METAL TRANSITION STRIP AT THE JUNCTION OF TILE FLOORS (SCHLUTER, OR EQUAL). SUBMIT PRODUCT DATA AND SAMPLES FOR SELECTION.
- SUBMIT SAMPLES OF ALL COLORS ON VARIOUS SUBSTRATE MATERIALS SPECIFIED ON DRAWINGS, AS WELL AS ANY COLOR SUBSTITUTIONS REQUESTED BY OWNER, UNTIL FINAL APPROVAL OF PAINT AND STAIN COLORS IS OBTAINED.
- ALL FINISHES SHALL BE SELECTED AND APPROVED BY OWNER.

DOORS / FRAMES / HARDWARE NOTES

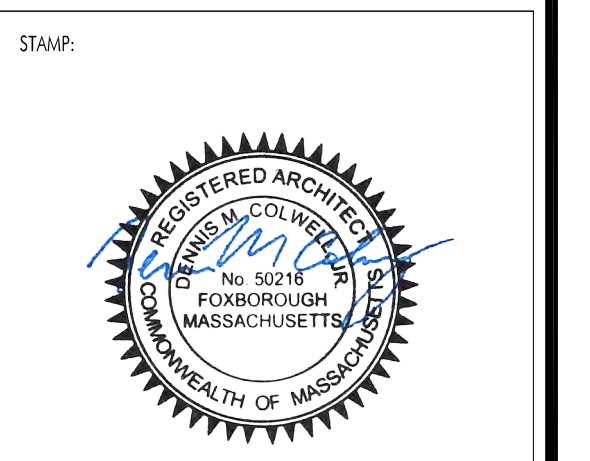
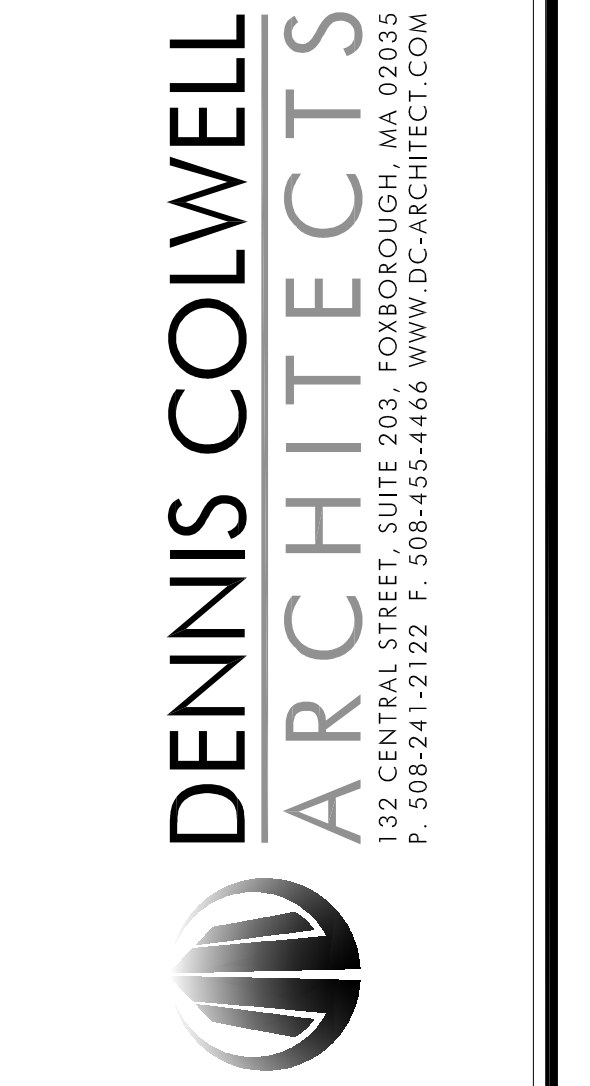
- VERIFY ALL HARDWARE FUNCTIONS AND KEYING REQUIREMENTS BY SUBMITTAL WITH OWNER AND ARCHITECT PRIOR TO ORDERING HARDWARE.
- PROVIDE CORES FOR ALL LOCKSETS TO MATCH BUILDING STANDARD, IF APPLICABLE. CORES SHALL BE INTERCHANGEABLE AND CUSTOM KEYED TO SATISFY OWNERS NEEDS
- PROVIDE DOOR AND/OR FRAME MOUNTING PLATES WHERE REQUIRED FOR PROPER CLOSER INSTALLATION.
- PREPARE STEEL FRAMES TO RECEIVE FINISH HARDWARE INCLUDING CUTOUTS, REINFORCING, DRILLING AND TAPPING. WELD EXPOSED MITRED JOINTS CONTINUOUSLY, GRIND, DRESS AND MAKE SMOOTH, FLUSH, AND INVISIBLE ALL WELDED JOINTS. SHOP PRIME EXPOSED SURFACES.
- HINGES SHALL BE FULL MORTISE, FIVE KNUCKLE, FLAT TIP, COMMERCIAL BALL BEARING TYPE; STANLEY OR APPROVED EQUAL, UNLESS NOTED OTHERWISE.
- LOCKSETS SHALL BE SELECTED BY TENANT WITH LEVER HARDWARE UNLESS SCHEDULED OTHERWISE. HARDWARE TO COMPLY WITH STATE HANDICAP CODE REQUIREMENTS.
- INTERIOR DOOR HARDWARE FINISH: MATCH EXISTING
- ALL NEW INTERIOR DOORS TO HAVE 1/6 GA. KNOCK-DOWN HOLLOW METAL FRAMES, FACTORY PRIMED, UNLESS NOTED OTHERWISE.
- PROVIDE MANUFACTURER'S STANDARD REINFORCING CLIPS AT KNOCK-DOWN FRAME CORNERS.
- ALL DOOR HARDWARE TO COMPLY WITH STATE HANDICAP CODE REQUIREMENTS AND ADA REQUIREMENTS.
- UNLESS OTHERWISE NOTED, WOOD DOORS TO BE 5 PLY SOLID CORE.
- G.C. TO SUBMIT PRODUCT DATA / SHOP DRAWINGS TO ARCHITECT FOR APPROVAL FOR ALL DOORS, FRAMES, & HARDWARE.
- CAULK ALL AROUND HEAD, JAMB, AND SILL, AT JUNCTURE OF H.M. FRAMES TO WALL FINISH.
- VERIFY FRAME HEIGHTS BASED ON TOP OF SLAB AND FINISH FLOOR CONDITIONS AT EACH FRAME.
- PROVIDE 20 GA. DOUBLE STUD FRAMING AT JAMBS.
- PROVIDE 1/2" UNDERCUT AT BOTTOM OF DOORS UNLESS NOTED OTHERWISE.
- THE HINGE SIDE OF ALL DOOR FRAMES SHALL BE LOCATED 4" FROM ADJACENT WALL UNLESS INDICATED/NOTED OTHERWISE.
- PROVIDE MIN. (3) JAMB ANCHORS PER JAMB @ NEW DOOR FRAMES.
- ALL DOOR CLOSERS (NEW AND EXISTING) SHALL BE COMPLIANT W/ STATE HANDICAP CODE OPENING FORCE REQUIREMENTS.
- G.C. TO COORDINATE ALL SECURITY CAMERAS, WIRING, ELECTRIC STRIKES ETC. WITH DOOR AND HARDWARE SUPPLIER AND ELECTRICAL CONTRACTOR.

DOOR SCHEDULE

DOOR NO.	LOCATION	DOOR SIZE	DOOR INFORMATION					FRAME INFORMATION					HARDWARE SET	COMMENTS
			DOOR TYPE	DOOR MATERIAL	PUSH DOOR FINISH	PULL DOOR FINISH	RATING	FRAME TYPE	FRAME MATERIAL	PUSH FRAME FINISH	PULL FRAME FINISH	RATING		
100 A	STORAGE 100	3'-0" X 7'-0"	B	WOOD	BIRCH	BIRCH	-	1	WOOD	WOOD	WOOD	-	HW-02	
102 A	OFFICE 102	3'-0" X 7'-0"	A	WD/GL	BIRCH	BIRCH	-	1	WOOD	WOOD	WOOD	-	HW-03	
103 A	OFFICE 103	3'-0" X 7'-0"	A	WD/GL	BIRCH	BIRCH	-	1	WOOD	WOOD	WOOD	-	HW-03	
104 A	RECEPTION 104	(2)3'-0" X 7'-0"	E	ALUM/GL	ALUM	ALUM	-	-	ALUM	ALUM	ALUM	-	HW-06	
105 A	OFFICE 105	3'-0" X 7'-0"	A	WD/GL	BIRCH	BIRCH	-	1	WOOD	WOOD	WOOD	-	HW-03	
106 A	OFFICE 106	3'-0" X 7'-0"	A	WD/GL	BIRCH	BIRCH	-	1	WOOD	WOOD	WOOD	-	HW-03	
107 A	OFFICE 107	3'-0" X 7'-0"	A	WD/GL	BIRCH	BIRCH	-	1	WOOD	WOOD	WOOD	-	HW-03	
108 A	CONFERENCE ROOM 108	3'-0" X 7'-0"	A	WD/GL	BIRCH	BIRCH	-	1	WOOD	WOOD	WOOD	-	HW-03	
109 A	MEN'S BATHROOM 109	3'-0" X 7'-0"	B	WOOD	BIRCH	BIRCH	-	1	WOOD	WOOD	WOOD	-	HW-04	
110 A	WOMEN'S BATHROOM 110	3'-0" X 7'-0"	B	WOOD	BIRCH	BIRCH	-	1	WOOD	WOOD	WOOD	-	HW-04	
111A	UNISEX BATHROOM 111	3'-0" X 7'-0"	B	WOOD	BIRCH	BIRCH	-	2	H.M.	PT-1	PT-1	-	HW-04	
112A	WAREHOUSE 112	3'-0" X 7'-0"	B	WOOD	BIRCH	BIRCH	-	2	H.M.	PT-1	PT-1	-	HW-01	
112B	WAREHOUSE 112	3'-0" X 7'-0"	B	WOOD	BIRCH	BIRCH	-	2	H.M.	PT-1	PT-1	-	HW-01	
112C	WAREHOUSE 112	3'-0" X 7'-0"	C	HM	PT-1	PT-1	-	3	H.M.	PT-1	PT-1	-	HW-01	
112D	WAREHOUSE 112	12'-10" X 9'-9"	D	FIBERGLASS	PREFIN	PREFIN	-	4	H.M.	PT-1	PT-1	-	HW-05	G.C. TO VERIFY WIDTH AND HEIGHT PRIOR TO ORDERING

PROJECT:  
ALPINE OFFICE  
NEW GENERATION CUSTOM HOMES  
40 ALPINE ROW  
FRANKLIN, MA 02038

PROJECT NUMBER: 23044



ISSUE: DATE:  
ISSUE FOR PERMIT 04.05.2023

DRAWING SCALE: 1/4" = 1'-0"  
DRAWN BY: RWB CHECKED BY: DMC

DRAWING TITLE:  
NOTES AND SCHEDULES

DRAWING NUMBER:

A3.2





