

**DESIGN REVIEW COMMISSION
AGENDA**

February 13, 2024

7:00 PM

Virtual Meeting

Due to the growing concerns regarding the COVID-19 virus, we will be conducting a remote/virtual Design Review Commission Meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number (Cell phone or Landline Required) OR citizens can participate by copying the link (Phone, Computer, or Tablet required). Please click on <https://zoom.us/j/95729454715> or call on your phone at 1-929-205-6099, meeting ID is 95729454715.

- 7:00 PM Active Recovery – 391 East Central Street**
Install new sign faces
- 7:05 PM Coastal Glow – 9 Summer Street**
Replace signage
- 7:10 PM Eastern Acoustic Works – 19 National Drive**
Update directories – Install building sign
- 7:15 PM Fiori & Fern – 138 East Central Street**
Install new signs
- 7:20 PM Grove Street Auto – 79 Grove Street**
Replace Existing Sign
- 7:25 PM Well Minded Healthcare – 111 East Central Street**
Replace existing sign
- 7:30 PM BLP – 130 Constitution Blvd**
Install a non-illuminated pan sign on upper exterior façade, building numbers
- 7:35 PM CubeSmart – 14 Grove Street**
Replace monument face, remove 2 existing blank panels and installing 2 new white polycarbonate panels with black vinyl applied
- 7:40 PM Autumn Hill Senior Village – 496 & 488 Summer Street**
Newly constructed attached condominiums consisting of buildings of 2 units 3 units, and units for 42 units

General Matters:

Approval of Minutes: 1/9/2024

Old Business:

New Business:

Adjourn

COMMENTS: These listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. This agenda is subject to change. Next meeting is 2/27/2024

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Active Recovery

Property Address 391 E Central St.

Assessors' Map # _____ Parcel # 285-003-000-000

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Signs By Cam, Inc.
837 Upper Union Street
Suite C-18
Address: Franklin, MA 02038

Telephone Number: 508-364-2905

Contact Person: Cam Afonso

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Kate Kelly Property Owner: Jacqueline + Bill LLC
Address: 391 E. Central St Unit 1 391 E Central (Unit 1)
Franklin, MA 02038 Franklin, MA 02038

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

Cam Afonso
Signature of Applicant

John Miguel (Rev)
Signature of Owner

Cam Afonso
Print name of Applicant

John Miguel
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____ Signs By Cam, Inc.
Contact Person: _____ 837 Upper Union Street
Address _____ Suite C-18
Franklin, MA 02038
Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: Instal new Sign Face

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

**THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO
Mkinhart@franklinma.gov**

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.gov

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist



x2



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JOB INFORMATION

JOB TITLE:
CONTACT:
PHONE:
FAX:
JOB DESCRIPTION:

SQUARE FOOTAGE: =

SIGN MATERIAL SPECS

BANNER: COROPLAST: WOOD:
ACRYLIC: MAGNETIC: URETHANE:
PVC: ALUMINUM: NUEDGE:

SINGLE SIDED: DOUBLE SIDED:

OTHER: _____

COLOR SPECS:
BACKGROUND:
COPY:

OUTLINE:
SHADOW:
BORDER:
LOGO:

Signs
By Cam Inc.

High Quality
Signs
Since 1993

design • fabrication • installation

Cam Afonso
837 Upper Union St.
Suite C-18
Franklin, MA 02038

Phone 508-364-2905
Fax 508-528-0766
e-mail: cam@signsbycam.com
www.signsbycam.com

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Coastal Glow

Property Address 9 Summer St

Assessors' Map # _____ Parcel # 286-089-000-063

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: _____

Address: _____
Signs By Cam, Inc.
837 Upper Union Street
Suite C-18
Franklin, MA 02038

Telephone Number: 508-364-2905

Contact Person: Cam Afonso

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Megan Johnson Property Owner: Summer Commons, LLC
Address: 9 Summer St. (1011) 9 Summer St. Unit 10
Franklin MA 02038 Franklin, MA 02038

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

[Signature]
Signature of Applicant

[Signature] (Rep)
Signature of Owner

Cam Afonso
Print name of Applicant

Sam Laven
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1-4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____ Signs By Cam, Inc. _____
Contact Person: _____ 837 Upper Union Street _____
Address _____ Suite C-18 _____
Telephone Number: _____ Franklin, MA 02038 _____

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: replace signage

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

**THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO
Mkinhart@franklinma.gov**

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.gov

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

***mounted to building with PVC cleats and tapcons**

144 in

COASTAL GLOW
SKIN CLINIC

1/2" THICK RAISED PVC LETTERS

88 in

COASTAL GLOW SKIN CLINIC



Signs By Cam Inc

Sign & Graphic Solutions • Uncompromising Integrity

Cam Afonso

837 Upper Union St., Suite C-18
Franklin, MA 02038

Phone: 508-364-2905

Fax/Office: 508-528-0766

E-Mail: cam@signsbycam.com

Website: www.signsbycam.com

APPROVED FOR PRODUCTION:

X

JOB INFORMATION

JOB TITLE:

CONTACT:

PHONE:

FAX:

JOB DESCRIPTION:

SQUARE FOOTAGE=

SIGN MATERIAL SPECS

BANNER: COROPLAST: WOOD:

ACRYLIC: MAGNETIC: URETHANE:

PVC: ALUMINUM: NUEDGE:

SINGLE SIDED: DOUBLE SIDED:

OTHER: _____

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COLOR SPECS:

BACKGROUND:

COPY:

OUTLINE:

SHADOW:

BORDER:

LOGO:

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Eastern Acoustic Works
~~(XXXXXXXXXXXXXXXXXXXX)~~

Property Address 19 National Drive

Assessors' Map # _____ Parcel # 290-003-000-000

Zoning District (select applicable zone): Industrial

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: _____
Signs By Cam, Inc.

Address: _____
837 Upper Union Street
Suite C-18
Franklin, MA 02038

Telephone Number: _____
508-364-2905

Contact Person: _____
Cam Afonso

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Bob Dziemowicz Property Owner: Forge Commercial, LLC
Address: 19 Forge Parkway 19 Forge Parkway
Franklin, MA 02038 Franklin, MA 02038

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

Cam Afonso
Signature of Applicant

Robert Dziemowicz (Rep)
Signature of Owner

Cam Afonso
Print name of Applicant

Bob Dziemowicz
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1-4**
SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____ Signs By Cam, inc.
Contact Person: _____ 837 Upper Union Street
Address _____ Suite C-18
Franklin, MA 02038
Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: update directories - install
building sign

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO Mkinhart@franklinma.gov

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.gov

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

***aluminum belt sign... installed with tapcons behind molding**

120 in

36 in



Eastern Acoustic Works x4



Signs By Cam Inc.

Sign & Graphic Solutions • Uncompromising Integrity

Cam Afonso

837 Upper Union St., Suite C-18
Franklin, MA 02038

Phone: 508-364-2905

Fax/Office: 508-528-0766

E-Mail: cam@signsbycam.com

Website: www.signsbycam.com

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JOB INFORMATION

JOB TITLE:
CONTACT:
PHONE:
FAX:
JOB DESCRIPTION:

SQUARE FOOTAGE:=

SIGN MATERIAL SPECS

BANNER: COROPLAST: WOOD:
ACRYLIC: MAGNETIC: URETHANE:
PVC: ALUMINUM: NUEDGE:

SINGLE SIDED: DOUBLE SIDED:

OTHER: _____

COLOR SPECS:
BACKGROUND:
COPY:

OUTLINE:
SHADOW:
BORDER:
LOGO:

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Fern + Fiori

Property Address 138 E. Central St.

Assessors' Map # _____ Parcel # 286-027-000-000

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: _____

Address: Signs By Cam, Inc.
837 Upper Union Street
Suite C-18
Franklin, MA 02038

Telephone Number: 508-364-2905

Contact Person: Cam Alfonso

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Melissa Dwyer Property Owner: 138 E. Central LLC
Address: 138 E. Central St. Unit 3 138 E. Central St. Unit 3
Franklin, MA 02038 Franklin, MA 02038

All of the information is submitted according to the best of my knowledge

Executed as a sealed instrument this _____ day of _____ 20____

Cam Alfonso
Signature of Applicant

X Bud Cholka
Signature of Owner

Cam Alfonso
Print name of Applicant

X Bud Cholka
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1-4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____ Signs By Cam, Inc. _____
Contact Person: _____ 837 Upper Union Street _____
Address _____ Suite C-18 _____
Telephone Number: _____ Franklin, MA 02038 _____

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: _____ Install new Signs _____

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

**THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO
Mkinhart@franklinma.gov**

1. Drawing of Proposed Sign which must also include

type of sign (wall, pylon etc.)	colors
size/dimensions	materials
style of lettering	lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.gov

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist



1" thick solid black pvc with olive green fronts



\$167.80
Millennium Lighting RAS12-
RGN15 RLM 1 Light Outdoor...



*internally lit cabinet

Signs By Cam Inc.

Sign & Graphic Solutions • Uncompromising Integrity

Cam Afonso

837 Upper Union St., Suite C-18
Franklin, MA 02038

Phone: 508-364-2905

Fax/Office: 508-528-0766

E-Mail: cam@signsbycam.com

Website: www.signsbycam.com

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JOB INFORMATION

JOB TITLE:

CONTACT:

PHONE:

FAX:

JOB DESCRIPTION:

SQUARE FOOTAGE: =

SIGN MATERIAL SPECS

BANNER: COROPLAST: WOOD:

ACRYLIC: MAGNETIC: URETHANE:

PVC: ALUMINUM: NUEDGE:

SINGLE SIDED: DOUBLE SIDED:

OTHER: _____

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COLOR SPECS:

BACKGROUND:

COPY:

OUTLINE:

SHADOW:

BORDER:

LOGO:

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Grave St. Auto

Property Address 79 Grave St.

Assessors' Map # _____ Parcel # 289-001-000-000

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: _____ Signs By Cam, Inc.

Address: _____ 837 Upper Union Street
Suite C-18
Franklin, MA 02038

Telephone Number: 508-364-2908

Contact Person: Cam Afonso

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Pat Property Owner: Woody LLC

Address: 79 Grave St. 79 Grave St.
Franklin, MA 02036 Franklin, MA 02036

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

Cam Afonso
Signature of Applicant

X Pat
Signature of Owner

Cam Afonso
Print name of Applicant

Pat
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1-4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____ Signs By Cam, Inc.
Contact Person: _____ 837 Upper Union Street
Address _____ Suite C-18
Franklin, MA 02038
Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: replace existing sign

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

**THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO
Mkinhart@franklinma.gov**

1. Drawing of Proposed Sign which must also include

type of sign (wall, pylon etc.)	colors
size/dimensions	materials
style of lettering	lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

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2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

*** OUR SAMPLES**

INTERANLLY LIT PANEL



4" changeable letters and numbers



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JOB INFORMATION

JOB TITLE:
CONTACT:
PHONE:
FAX:
JOB DESCRIPTION:

SQUARE FOOTAGE=

SIGN MATERIAL SPECS

BANNER: COROPLAST: WOOD:
ACRYLIC: MAGNETIC: URETHANE:
PVC: ALUMINUM: NUEDGE:

SINGLE SIDED: DOUBLE SIDED:

OTHER: _____

COLOR SPECS:
BACKGROUND:
COPY:

OUTLINE:
SHADOW:
BORDER:
LOGO:

Signs By Cam Inc

Sign & Graphic Solutions • Uncompromising Integrity

Cam Afonso

837 Upper Union St., Suite C-18
Franklin, MA 02038

Phone: 508-364-2905
Fax/Office: 508-528-0766
E-Mail: cam@signsbycam.com
Website: www.signsbycam.com

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Well Minded Healthcare

Property Address 111 East Central Street

Assessors' Map # _____ Parcel # 286-251-000-000

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: _____
Signs By Cam, Inc.

Address: _____
837 Upper Union Street
Suite C-18
Franklin, MA 02038

Telephone Number: 508-364-2905

Contact Person: Cam Afonso

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Alicia Cadman Property Owner: TNT Building
Address: 111 E. Central St. 119 E. Central
Franklin, MA 02038 Franklin, MA

All of the information is submitted according to the best of my knowledge

Executed as a sealed instrument this _____ day of _____ 20____

Cam Afonso
Signature of Applicant

Tony Coghlan
Signature of Owner

Cam Afonso
Print name of Applicant

Tony Coghlan
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____ Signs By Cam, Inc.
837 Upper Union Street
Contact Person: _____ Suite C-18
Address _____ Franklin, MA 02038
Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____ X
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: _____ replace existing sign

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

**THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO
Mkinhart@franklinma.gov**

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

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4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist



Signs By Cam Inc.

Sign & Graphic Solutions • Uncompromising Integrity

Cam Afonso

837 Upper Union St., Suite C-18
Franklin, MA 02038

Phone: 508-364-2905

Fax/Office: 508-528-0766

E-Mail: cam@signsbycam.com

Website: www.signsbycam.com

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JOB INFORMATION

JOB TITLE:
CONTACT:
PHONE:
FAX:
JOB DESCRIPTION:

SQUARE FOOTAGE:=

SIGN MATERIAL SPECS

BANNER: COROPLAST: WOOD:
ACRYLIC: MAGNETIC: URETHANE:
PVC: ALUMINUM: NUEDGE:

SINGLE SIDED: DOUBLE SIDED:

OTHER: _____

COLOR SPECS:
BACKGROUND:
COPY:

OUTLINE:
SHADOW:
BORDER:
LOGO:

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: BLP

Property Address 130 Constitution Blvd

Assessors' Map # 200 319 Parcel # 319-020-000-000

Zoning District (select applicable zone): Industrial

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Boston Sign Installation LLC

Address: PO Box 540266
Waltham, MA 02451

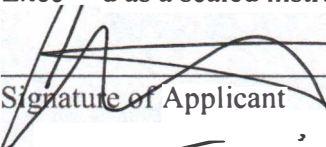
Telephone Number: 781 317 4616

Contact Person: Carol Fournier


C) Owner Information (Business Owner & Property Owner if different)

Business Owner BLUSV I INDUSTRIAL 5 HOLDINGS LLC Property Owner
c/o JLL
20 Cabot Blvd., Suite 300
Mansfield, MA 02048

All of the information is submitted according to the best of my knowledge
Executed as a scaled instrument this 18th day of January 2024


Signature of Applicant

Carol Fournier - BSI
Print name of Applicant


Signature of Owner as agent for Owner

Nicholas Tuhacek
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: Boston Sign Installation LLC
Contact Person: Carol Fournier
Address PO Box 540266 Waltham MA 02451
Telephone Number: 781 ~~990~~ 317 4616

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: will be installing a non illuminated pan sign on the upper exterior facade along with Building numbers

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO Mkinhart@franklinma.gov

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.gov

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist



130 Constitution Blvd
Franklin, MA 02038



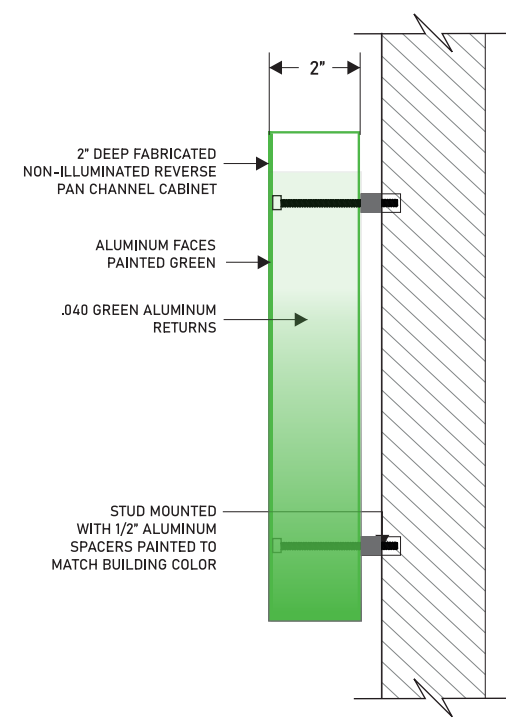
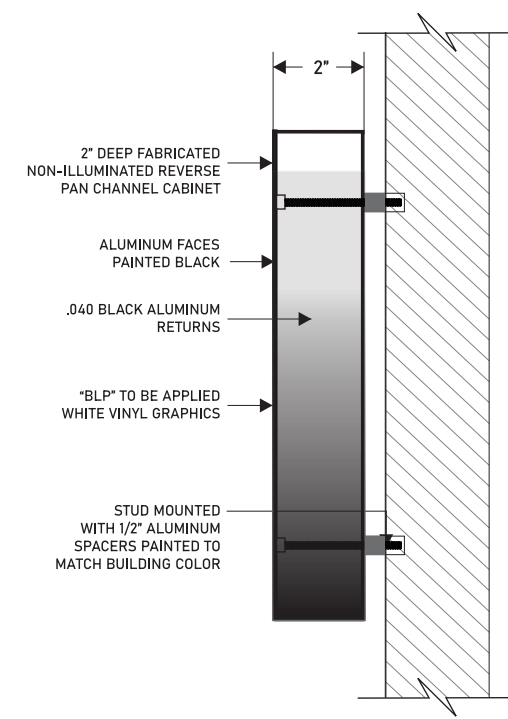
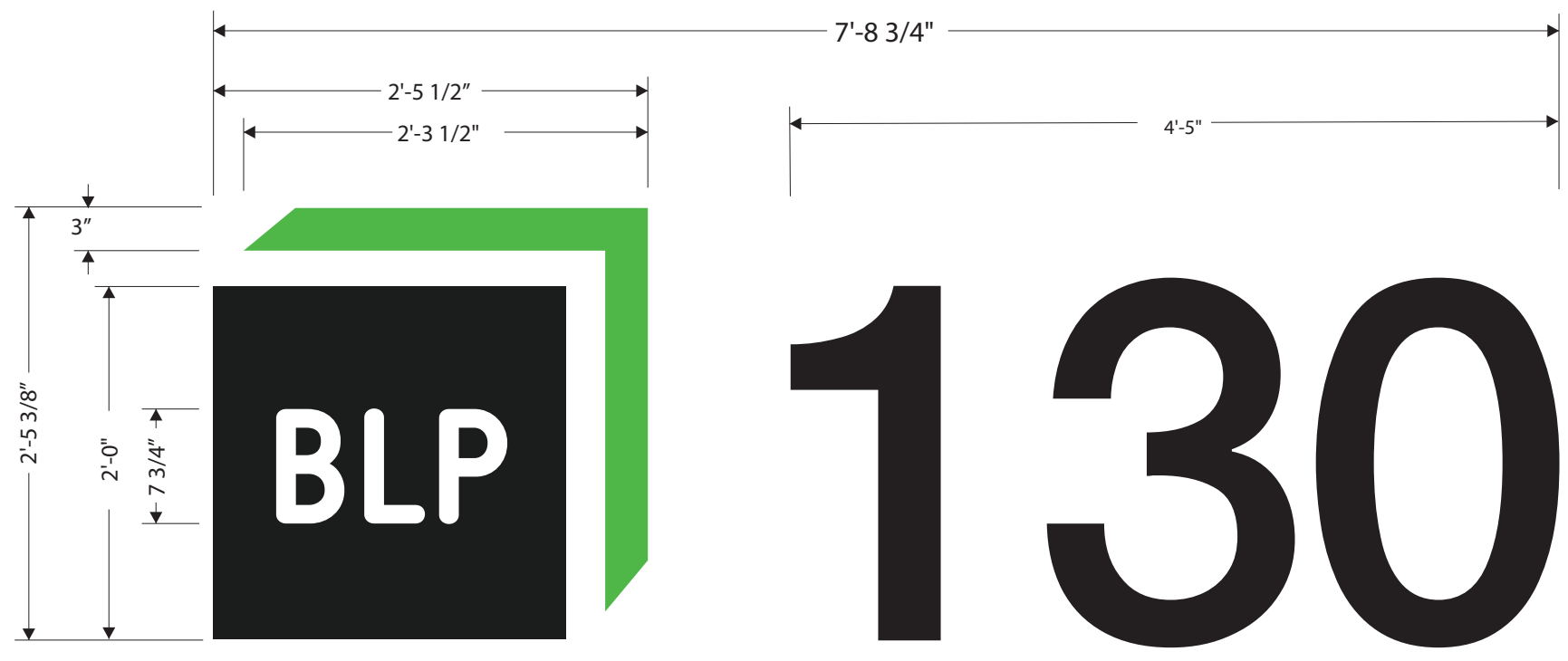
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ST. A STOREFRONT

SCALE- 3/32"=1'-0"



ST. A MEASUREMENTS

SCALE- 1/2"=1'-0"



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D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: Serrato Signs
Contact Person: Sean McGlone
Address: 15 Dewey Street, Worcester, Ma 01609
Telephone Number: 508-756-7004

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address: N/A
Telephone Number: _____

E) Work Summary

Summary of work to be done: Monument face replacement on 1/2. We will be removing (2) existing blank panels 195 1/8" x 119.75" and installing 2 new 195 1/8" x 119.75" white polycarbonate panels with black vinyl appl. Reading Climate Control

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO Mkinhart@franklinma.gov

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

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4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

2022



SITE RECOMMENDATION BOOK
CUBE SMART #0845
14 Grove St
Franklin MA 02038

QID# 22-63266

DESIGNER: *Glenn Miller*

Date: *10-17-22*
Rev.:

SITE PLAN



HILTONDISPLAYS
GREAT SIGNS FOR GREAT COMPANIES

125 HILLSIDE DRIVE • GREENVILLE SC 29607
 P 800 353 9132 • F 864 242 2204
 www.hiltondisplays.com

QID 22-63266

JOB NAME

CUBE SMART #0845

LOCATION

14 Grove St
 Franklin MA 02038

CUSTOMER CONTACT

SALESMAN / PM

Dawn Young

DESIGNER

Glenn Miller

DWG. DATE

10-17-22

REV. DATE / REVISION

11-14-23 KK

1-09-24

SCALE

FILE

2022/CubeSmart/Locations/
 Franklin MA/22-63266/
 CS Franklin MA 22-63266

DESIGN SPECIFICATIONS ACCEPTED BY:

EST:	CLIENT:
SLS/PM:	LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



MONUMENT FACE REPLACEMENT-BOTTOM PANEL ONLY

PART #

QTY. 2

SIGN C	CubeSmart
Type:	replacement panel 3/16" white polycarbonate w/ applied vinyl
Square Footage:	XX.XX

SURVEY REQUIRED

HILTONDISPLAYS
GREAT SIGNS FOR GREAT COMPANIES

125 HILLSIDE DRIVE • GREENVILLE SC 29607
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THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.



Scale: 3/4" = 1'-0"

■ 3M 3630-22 Black vinyl

Specifications:

1. New 3/16" white polycarbonate
2. applied vinyl per specifications
3. Existing Retainer (Visual Opening)

BEFORE



AFTER





15 Dewey Street
Worcester, Ma 01609

Phone: 508.756.7004
Fax: 508.756.7050

To Whom It May Concern:

We have been hired to install new signage at CubeSmart Self Storage. In order to do so, it is necessary for us to obtain a permit. A requirement for the city/town to approve a permit is to have authorization from the landlord. Please complete the attached page and return to us as soon as possible. Thank you for your cooperation.

If you have any questions, please do not hesitate to contact me at the above number.

Sincerely,

Sean McGlone



15 Dewey Street
Worcester, Ma 01609
Phone: 508.756.7004
Fax: 508.756.7050

NOTICE OF LANDLORD AUTHORIZATION

To the Superintendent- Bureau of Public Buildings- Building Inspector

To Whom It May Concern:

I/We owner of the property hereby authorize Serrato Signs to submit a building application in my/our behalf for a permit and installation of a CubeSmart Self Storage at the building located at:

Address: 14 Grove Street Franklin, MA 02038

Signed: Marc Sacco

Date: 1-22-24

PLEASE PRINT

NAME (as appears on deed) CubeSmart LP

ADDRESS 5 Old Lancaster Road

CITY Malvern STATE PA ZIP 19355

PHONE 508-520-0445 FAX NA

EMAIL Store0845@cubesmart.com



15 Dewey Street
Worcester, Ma 01609
Phone: 508.756.7004
Fax: 508.756.7050

NOTICE OF LANDLORD AUTHORIZATION

To the Superintendent- Bureau of Public Buildings- Building Inspector

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Address: 14 Grove Street Franklin MA 02038

Signed: *[Signature]* Date: 1/17/2024

PLEASE PRINT

NAME (as appears on deed) CubeSmart LP

ADDRESS 14 Grove Street

CITY Franklin STATE MA ZIP 02038

PHONE 508-520-0445 FAX NA

EMAIL Store0845@cubesmart.com



**15 Dewey Street
Worcester, Ma 01609**

**Phone: 508.756.7004
Fax: 508.756.7050**

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Sincerely,

Sean McGlone

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Autumn Hill ~~Condominiums~~ Senior Village

Property Address 496 & 488 Summer Street

Assessors' Map # 302 Parcel # 6 & 8

Zoning District (select applicable zone): Rural Residential 1

Zoning History: Use Variance N/A
Non-Conforming Use N/A

B) Applicant Information:

Applicant Name: Suejo Corp.

Address: PO Box 934
Wrentham, MA 02093

Telephone Number: 774-571-1972

Contact Person: Timothy Jones

C) Owner Information (Business Owner & Property Owner if different)

Property Business Owner: <u>Timothy Jones</u>	Property Owner: <u>Bruce Hunchard</u>
Address: <u>488 Summer Street</u>	<u>496 Summer Street</u>
<u>Franklin, MA 02038</u>	<u>Franklin, MA 02038</u>

All of the information is submitted according to the best of my knowledge

Executed as a sealed instrument this 31st day of Jan. 2024

[Signature]
Signature of Applicant

[Signature]
Signature of Owner 1

[Signature]
Signature of Owner 2

Suejo Corp. - Timothy Jones
Print name of Applicant

Timothy Jones & Bruce Hunchard
Print names of Owners

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: Brian J. Frigon

Contact Person: Brian Frigon

Address 221 Peck Street Franklin, MA 02038

Telephone Number: (617) 839-2749

E) Work Summary

Summary of work to be done: _____

Work consist of newly constructed attached condominiums consisting of buildings of 2 units, 3 units, and 4 units. Total development consist of 42 units.

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO Mkinhart@franklinma.gov

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
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5. If any signage on the building or site, provide information from above Signage Checklist

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. _____

All proposed units and unit buildings have been designed as 2 floors with attic space and basement level. Proposed heights for all buildings and units is an average of 30'-0" above average grade.

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area.

All proposed doors will be in the architectural style depicted in the attached plans & exterior elevations.
All proposed windows will be required size double hung, casement, and awning to match the surrounding architectural styles.

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. _____

All Building Architectural Masses will be sized appropriately to be compatible with their surrounding structures and open spaces. Building Masses are comprised in a contemporary colonial style with varying depths as to not create a box-like appearance.

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. _____

All of the buildings roofs will be a variation of gable, hip, and gable or shed dormers in a contemporary colonial style with varying depths as to not create a box-like appearance and to minimize the roof lines.

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. _____

All proposed units and unit buildings proportions have been designed in a contemporary colonial style to blend and enhance the adjacent architectural context.

6. **Facade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: _____

The building facades have been designed with multiple architectural aspects to minimize a box-like appearance and have been proportioned to fit into the surrounding architectural landscape.

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. _____

All of the building details will be designed in a sensitive manner as to blend with their local community.
Materials and colors will be chosen from a colonial pallet with a mixture of vinyl shaker shingle, clapboard siding, and a accent of traditional vertical board and batten siding. Colors will range in the grey, blue, & white scales.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. None

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. There will be no disruption of historical, traditional or significant structures or architectural elements.

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. All architectural designs will meet the latest Energy Codes.

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

GENERAL NOTES:

- 1. SURVEY & PLAN REFERENCES:
A. PROPERTY LINE AND TOPOGRAPHICAL SURVEY BY COLONIAL ENGINEERING AND ARE THE RESULT OF AN ON-THE-GROUND SURVEY.
B. PLAN REFERENCES AS FOLLOWS:
LC PLAN 41284-A
C. DEED REFERENCES:
CTF. NO. 209710
CTF. NO. 161598
2. EXISTING UTILITY INFORMATION IS BASED ON BEST AVAILABLE RECORDS FROM THE TOWN OF FRANKLIN AND OTHER SOURCES AND VISIBLE SURFACE FEATURES SUCH AS MANHOLES, CATCH BASINS, UTILITY POLES, HYDRANTS, VALVE BOXES, ETC... EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
3. DATUM: NAVD88

CONSERVATION NOTES:

- 1. WETLANDS BOUNDARIES WERE DELINEATED BY APPLIED ECOLOGICAL SCIENCES IN 2022 AND 2023.
2. NO PROPOSED ACTIVITIES ARE PROPOSED TO BE DONE WITHIN CONSERVATION JURISDICTIONAL AREAS.

CONSTRUCTION NOTES:

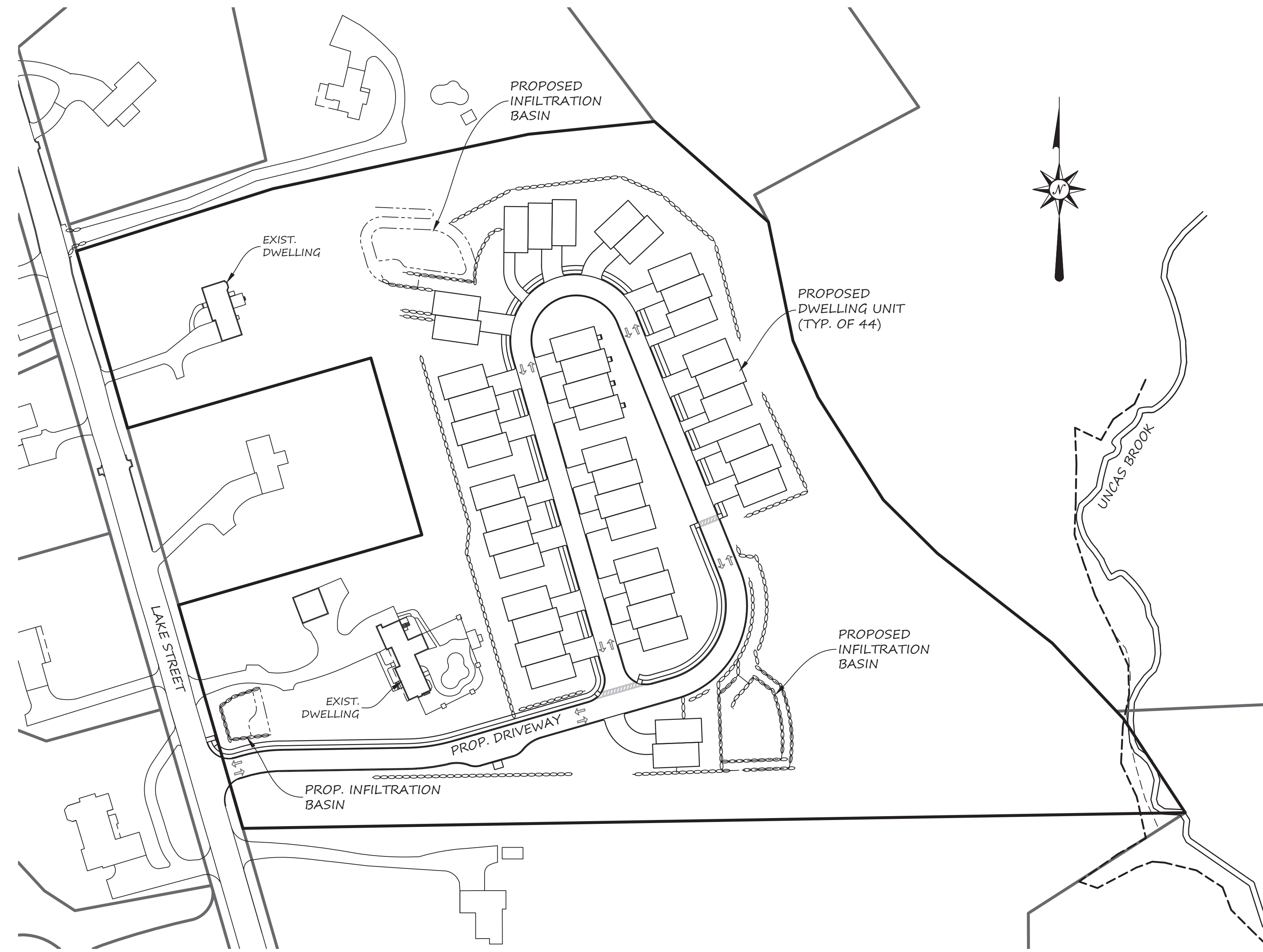
- 1. THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811 PRIOR TO ANY EXCAVATION ACTIVITIES.
2. HOURS OF OPERATION FOR SITEWORK, CONSTRUCTION OUTSIDE OF BUILDINGS, AND DELIVERY OR PICKUP OF HEAVY CONSTRUCTION EQUIPMENT SHALL BE MONDAY THROUGH SATURDAY, 7:00 AM - 9:00 PM. SHOULD THE CONTRACTOR DESIRE TO WORK ON ANY NORFOLK COUNTY STATE-RECOGNIZED HOLIDAY, IT SHALL SUBMIT A REQUEST IN WRITING TO THE BUILDING INSPECTOR AT LEAST FIVE BUSINESS DAYS PRIOR TO THE HOLIDAY IN QUESTION. THE BUILDING INSPECTOR HAS THE DISCRETION TO ALLOW OR DENY THE REQUEST.
3. TRENCHES ARE NOT TO BE LEFT OPEN OVERNIGHT. EXCAVATED AREAS ARE TO BE PROVIDED WITH ADEQUATE FENCING AND "KEEP OUT"/"DANGER" SIGNAGE AS NECESSARY TO THE SATISFACTION OF THE BOARD OF HEALTH.

UTILITY NOTES:

- 1. WATER MAINS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON.
2. LOW-PRESSURE SEWER PIPE SHALL BE SDR21 EXCEPT AS NOTED.
3. DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING, (ADS N12 OR EQUAL)
4. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE AND TRANSFORMER (IF NEEDED). CONDUITS TO PROPOSED LIGHT POLES SHALL BE DESIGNED BY THE ARCHITECT.
5. MONITORING WELLS IN PROPOSED STORMWATER BASINS SHALL BE 10 FEET DEEP.

EROSION CONTROL NOTES:

- 1. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY EXCAVATION.
2. ALL SOIL STOCKPILES SHALL BE PROTECTED WITH COMPOST SOCK PERIMETER CONTROLS AND SEEDING/STABILIZATION PROTOCOL.
3. ALL EXISTING CATCH BASINS NEAR THE SITE AND ALL PROPOSED CATCH BASINS ARE TO BE PROTECTED WITH A SILT SAC UNTIL ALL UPSTREAM AREAS ARE STABILIZED. CLEAN AS NEEDED THROUGHOUT CONSTRUCTION.
4. AFTER ROUGH-GRADING, PROTECT INFILTRATION BASIN BOTTOM FROM COMPACTION FROM EQUIPMENT. SHOULD SUCH COMPACTION OCCUR, TILL THE UPPER 12-INCHES PRIOR TO INSTALLING LOAM.
5. PROTECT STORMWATER INFILTRATION BASIN FROM SEDIMENT WITH CHECKDAMS UNTIL THE UPSTREAM DRIVEWAY IS PAVED.
6. EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION ACTIVITY AND UNTIL SUCH TIME AS THE UPSTREAM AREAS ACHIEVE FINAL STABILIZATION AS DESCRIBED HEREIN. SEDIMENT WILL BE REMOVED ALONG HAYBALES, SILT FENCE, OR COMPOST SOCKS WHEN THE DEPTH EXCEEDS FOUR-INCHES. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF SITE INSPECTIONS IDENTIFY CONTROL MEASURES THAT ARE NOT OPERATING EFFECTIVELY OR FINDS OTHER PROBLEMS, THE OPERATOR MUST:
- INITIATE WORK TO CORRECT THE PROBLEM IMMEDIATELY UPON DISCOVERY AND COMPLETE THE WORK BY THE CLOSE OF THE NEXT WORK DAY IF THE PROBLEM CAN BE CORRECTED THROUGH ROUTINE MAINTENANCE;
- FOR MORE SIGNIFICANT REPAIRS OR WHERE INSPECTIONS DETERMINE THAT ADDITIONAL EROSION AND SEDIMENT CONTROLS ARE NEEDED, SUCH WORK MUST BE COMPLETED AND OPERATION NO LATER THAN 7 CALENDAR DAYS AFTER DISCOVERY OF THE PROBLEM.
7. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR MORE REQUIREMENTS AND PROVISIONS.



OWNERS
BRUCE J. HUNCHARD
496 SUMMER STREET
FRANKLIN, MA 02038

TIMOTHY JONES
488 SUMMER STREET
FRANKLIN, MA 02038

APPLICANT
SUEJO CORP.
P.O. BOX 934
WRENTHAM, MA 02093

ZONING DISTRICT
RURAL RESIDENTIAL 1
SENIOR VILLAGE OVERLAY
ZONE II (PARTIAL)

ASSESSORS PARCEL
302-006-000
302-008-000

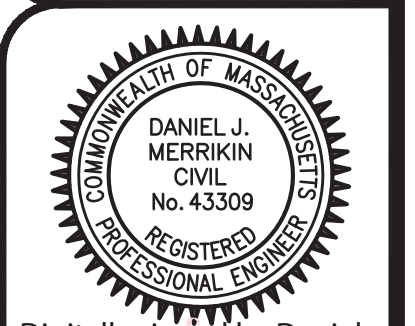
PLAN & DEED REFERENCE
CTF. NO. 209710
CTF. NO. 161598
L.C. PLAN 41284A

DATE APPROVED:
DATE ENDORSED:

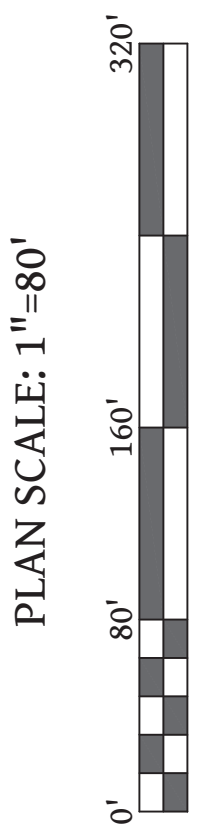
TOWN OF FRANKLIN PLANNING BOARD

LEGEND & ABBREVIATIONS

- Legend and abbreviations list including symbols for catch basins, manholes, pipes, conduits, and other site features.



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2024.01.30 14:29:11 -05'00'



PLAN SCALE: 1"=80'

Table with columns for REVISION, DATE, and BY, containing a single entry for January 26, 2024.

SEDIMENT & EROSION CONTROL NOTES

GENERAL

- 1. IF APPLICABLE (IE .1 ACRE OF DISTURBANCE), FOR COMPLETE EROSION CONTROL AND CONSTRUCTION ACTIVITY GUIDANCE, REFER TO THE SWPPP. OTHERWISE FOLLOW THE SITE PLAN.
2. FOR SWPPP PROJECTS, A NOTICE SHALL BE POSTED VISIBLE FROM A PUBLIC RIGHT-OF-WAY WITH CONTACT INFORMATION AND INSTRUCTIONS TO FIND A COPY OF THE SWPPP.

PHASING AND CONSTRUCTION SEQUENCE

- 1. PHASE 1 - INFRASTRUCTURE CONSTRUCTION SEQUENCE
1.1. STAKEOUT AND INSTALL EROSION AND PERIMETER CONTROLS (WHICH WILL DELINEATE THE LIMIT OF WORK FOR THE PROJECT);
1.2. DEMARKATE THE LOCATION OF EXISTING UTILITIES ON AND AROUND THE CONSTRUCTION AREA;
1.3. CLEAR THE PROPOSED ENTRY AREAS AND INSTALL THE CONSTRUCTION ENTRANCE APRON(S);
1.4. CLEAR AND GRUB THE REMAINING PORTIONS OF THE PHASE'S DEVELOPMENT AREA;
1.5. STRIP AND STOCKPILE TOPSOIL;
1.6. COMMENCE ROUGH GRADING TO SUB-GRADE ELEVATIONS;
1.7. INSTALL NEW SITE UTILITIES, INCLUDING THE STORMWATER MANAGEMENT SYSTEM;
1.8. PAVE THE ROAD/DRIVEWAY AND SIDEWALK (IF APPLICABLE) TO BINDER COURSE;
1.9. LOAM, SEED, AND STABILIZE DISTURBED AREAS;
1.10. CLEANOUT ALL CATCH BASINS AND NEW STORMWATER BMPs IN THE PORTION OF THE SITE AFFECTED BY CONSTRUCTION ACTIVITIES AFTER THE SITE IS FULLY STABILIZED.
2. PHASE 2 - BUILDING CONSTRUCTION SEQUENCE
2.1. INSTALL CONSTRUCTION ENTRANCE AND PERIMETER EROSION CONTROLS AROUND EACH BUILDING CONSTRUCTION AREA;
2.2. GRUB THE BUILDING DEVELOPMENT AREA;
2.3. GRADE DEVELOPMENT AREA TO SUB-GRADE;
2.4. INSTALL BUILDING FOUNDATION(S) AND BEGIN BUILDING CONSTRUCTION;
2.5. INSTALL UTILITIES TO NEW BUILDING;
2.6. COMPLETE CONSTRUCTION OF NEW BUILDING(S) AND COMPLETE LANDSCAPING;
2.7. TOP COURSE PAVE THE ROAD/DRIVEWAY AND SIDEWALK (IF APPLICABLE);
2.8. TEMPORARY EROSION CONTROLS WILL BE INSTALLED AS NEEDED AND AS REQUIRED BY THIS PLAN;
2.9. CLEANOUT ALL CATCH BASINS AND NEW STORMWATER BMPs IN THE PORTION OF THE SITE AFFECTED BY CONSTRUCTION ACTIVITIES AFTER THE SITE IS FULLY STABILIZED.

PERIMETER EROSION CONTROL AND SEDIMENT CONTROLS

- 1. PERIMETER EROSION AND SEDIMENT CONTROL BARRIERS WILL BE PROVIDED, INSTALLED, AND MAINTAINED DOWNSTREAM OF ALL PROPOSED CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH THE SWPPP (IF APPLICABLE), THE SITE PLAN, AND ALL PERMITS ISSUED FOR THE SITE DEVELOPMENT. SUCH CONTROLS MUST BE INSTALLED BEFORE ANY EARTH-DISTURBING ACTIVITIES OCCUR ON THE SITE IN QUESTION. EROSION AND SEDIMENT CONTROLS MAY BE INSTALLED IN PHASES SO LONG AS IT PRECEDES ANY EARTH-DISTURBING ACTIVITIES WITHIN THE CONTROLS' UPSTREAM WATERSHED.
2. SEDIMENT SHALL BE REMOVED ALONG SUCH CONTROLS ON A REGULAR BASIS. IN NO CASE, SHALL SEDIMENT BE ALLOWED TO REACH A DEPTH EQUAL TO ONE HALF OF THE ABOVE GROUND HEIGHT OF THE EROSION CONTROL DEVICE.

SITE ACCESS CONTROLS

- 1. CONSTRUCTION VEHICLES WILL USE DESIGNATED ENTRY POINTS FOR EACH SITE. CRUSHED STONE OR RIP-RAP ENTRY APRON(S) WILL BE INSTALLED AND PROPERLY MAINTAINED DURING CONSTRUCTION UNTIL THE SITE IS PAVED. ALL CONSTRUCTION ACCESS WILL BE VIA THE FRONTAGE PUBLIC ROAD STREET, WHICH WILL BE KEPT CLEAN AND SWEEP AS NEEDED TO MINIMIZE THE TRACKING OF SOILS AND DUST FROM THE SITE.

STOCKPILED SOILS

- 1. SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 24 HOURS SHALL BE SURROUNDED WITH A LINE OF SILT FENCE OR COMPOST SOCK TO PREVENT THE PILES FROM ERODING INTO THE SITE AND TO DISCOURAGE ON-SITE RUNOFF FROM ERODING THE STOCKPILES. SOIL STOCKPILES TO BE LEFT IN PLACE MORE THAN 14 DAYS SHALL BE STABILIZED TEMPORARILY. DUST CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT WIND EROSION OF THE STOCKPILES.

DUST CONTROL

- 1. DUST CONTROL MEASURES WILL BE IMPLEMENTED REGULARLY TO PREVENT THE OFF-SITE DEPOSITION OF WIND-ERODED SOILS. THE PRINCIPAL FORM OF DUST CONTROL WILL BE WATER APPLICATION.

DISTURBANCE OF STEEP SLOPES

- 1. CONTRACTORS MUST PAY CAREFUL ATTENTION TO STEEP SLOPES AND MUST IMPLEMENT ADDITIONAL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES DURING WORK ON STEEP SLOPES TO PREVENT EROSION. INSTALL EROSION CONTROL BLANKETS IF NEEDED.

SOIL COMPACTION

- 1. AREAS DESIGNATED FOR FINAL VEGETATIVE SURFACES OR CONSTRUCTION-STAGE OR FINAL STORMWATER INFILTRATION PRACTICES SHALL BE PROTECTED FROM EXCESSIVE COMPACTION BY RESTRICTING VEHICLE ACCESS AND THE TYPES OF EQUIPMENT THAT MAY BE USED IN SUCH AREAS. PRIOR TO SEEDING/PLANTING OF SUCH AREAS, EXPOSED SOIL THAT HAS BEEN COMPACTED SHALL BE LOOSENEED BY TILLING OR OTHER SIMILAR METHODS. CONDITIONING SHALL CONSIST OF DEEP TILLING WITH A ROTARY TILLER, DISC HARROWING, OR MANUAL LOOSENING AND RE-GRADING WITH AN EXCAVATOR BUCKET. CONDITIONING SHALL EXTEND TO A DEPTH OF AT LEAST 12-INCHES.

PROTECTION OF STORM DRAIN INLETS

- 1. ALL STORM DRAIN SYSTEM INLETS INSIDE OF PERIMETER CONTROLS SHALL BE PROTECTED WITH SEDIMENT CONTROL MEASURES DESIGNED TO REMOVE SEDIMENT FROM STORMWATER PRIOR TO ENTERING THE INLET. CATCH BASINS ALONG THE STREET FRONTAGE SHALL ALSO BE PROTECTED. SUCH MEASURES SHALL BE PERIODICALLY MAINTAINED AND REPLACED AS NEEDED TO ENSURE THEIR PROPER FUNCTIONALITY. SEDIMENT SHALL BE REMOVED DAILY WHERE FOUND.

TEMPORARY STABILIZATION

- 1. FOR PERMANENTLY OR TEMPORARILY (14 DAYS) CEASED CONSTRUCTION ACTIVITIES, TEMPORARY SOIL STABILIZATION MEASURES WILL BE EMPLOYED AS SOON AS PRACTICABLE BUT NO LONGER THAN 14 CALENDAR DAYS AFTER STABILIZATION HAS BEEN INITIATED. WHERE APPLICABLE, SEE THE SWPPP FOR ADDITIONAL REQUIREMENTS.

MAINTENANCE OF EROSION & SEDIMENT CONTROL MEASURES

- 1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONSTRUCTION ACTIVITY AND UNTIL SUCH TIME AS THE UPSTREAM AREAS ACHIEVE FINAL STABILIZATION. SEDIMENT WILL BE REMOVED ALONG PERIMETER EROSION CONTROLS WHEN THE DEPTH EXCEEDS FOUR-INCHES. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IF SITE INSPECTIONS IDENTIFY CONTROL MEASURES THAT ARE NOT OPERATING EFFECTIVELY OR FINDS OTHER PROBLEMS, THE CONTRACTOR MUST:
1.1. INITIATE WORK TO CORRECT THE PROBLEM IMMEDIATELY UPON DISCOVERY AND COMPLETE THE WORK BY THE CLOSE OF THE NEXT WORK DAY IF THE PROBLEM CAN BE CORRECTED THROUGH ROUTINE MAINTENANCE;
1.2. FOR MORE SIGNIFICANT REPAIRS OR WHERE INSPECTIONS DETERMINE THAT ADDITIONAL EROSION AND SEDIMENT CONTROLS ARE NEEDED, SUCH WORK MUST BE COMPLETED AND OPERATION NO LATER THAN 7 CALENDAR DAYS AFTER DISCOVERY OF THE PROBLEM.

POLLUTION PREVENTION

- 1. CONSTRUCTION STAGING AREAS WILL BE LIMITED IN QUANTITY AND WILL BE MAINTAINED IN A NEAT AND ORDERLY FASHION. REFER TO THE SITE PLAN FOR STAGING AREA LOCATION(S).
2. VEHICLES SHALL BE STORED IN FUELED IN DESIGNATED AREAS. MONITOR ALL EQUIPMENT FOR LEAKS. WHERE APPLICABLE, REFER TO THE SWPPP FOR ADDITIONAL VEHICLE STORAGE AREA REQUIREMENTS.
3. VEHICLE OR EQUIPMENT WASHING IS NOT ALLOWED ON-SITE.
4. MATERIALS AND EQUIPMENT SHALL BE STORED PROPERLY AND ORDERLY.
5. WHERE APPLICABLE, REFER TO THE SWPPP FOR:
5.1. FURTHER INSTRUCTIONS ON PROPER MATERIAL AND EQUIPMENT STORAGE.
5.2. REFER TO THE SWPPP FOR DISPOSAL OF WASTE, INCLUDING HAZARDOUS WASTE.
5.3. REFER TO THE SWPPP FOR SPILL PREVENTION AND RESPONSE PROCEDURES.

DEWATERING PRACTICES

- 1. THIS SITE IS NOT EXPECTED TO ENCOUNTER SIGNIFICANT QUANTITIES OF GROUNDWATER DURING CONSTRUCTION ACTIVITIES BUT IF IT DOES, THE FOLLOWING PRACTICES WILL BE IMPLEMENTED:
1.1. DO NOT DISCHARGE ANY FLOATING SOLIDS OR FOAM;
1.2. IF DEWATERING WATER IS FOUND TO CONTAIN OIL, GREASE, ETC... IT MUST BE FILTERED OR PASSED THROUGH AN OIL/WATER SEPARATOR PRIOR TO DISCHARGE;
1.3. WHEREVER POSSIBLE, DISCHARGE DEWATERING WATER TO VEGETATED UPLAND AREAS FOR INFILTRATION. WHERE THIS IS NOT POSSIBLE, DISCHARGE DEWATERING WATER INTO A FILTERING PIT CONSISTING OF A PERIMETER OF DOUBLE ROWS OF HAYBALES LINED WITH THREE LAYERS OF FILTER FABRIC. DO NOT DIRECT DEWATERING WATER INTO WETLANDS WITHOUT PRIOR TREATMENT;
1.4. VELOCITY DISSIPATION MEASURES MUST BE INCLUDED AT ALL DISCHARGE POINTS (RIP-RAP OR CRUSHED STONE APRON).

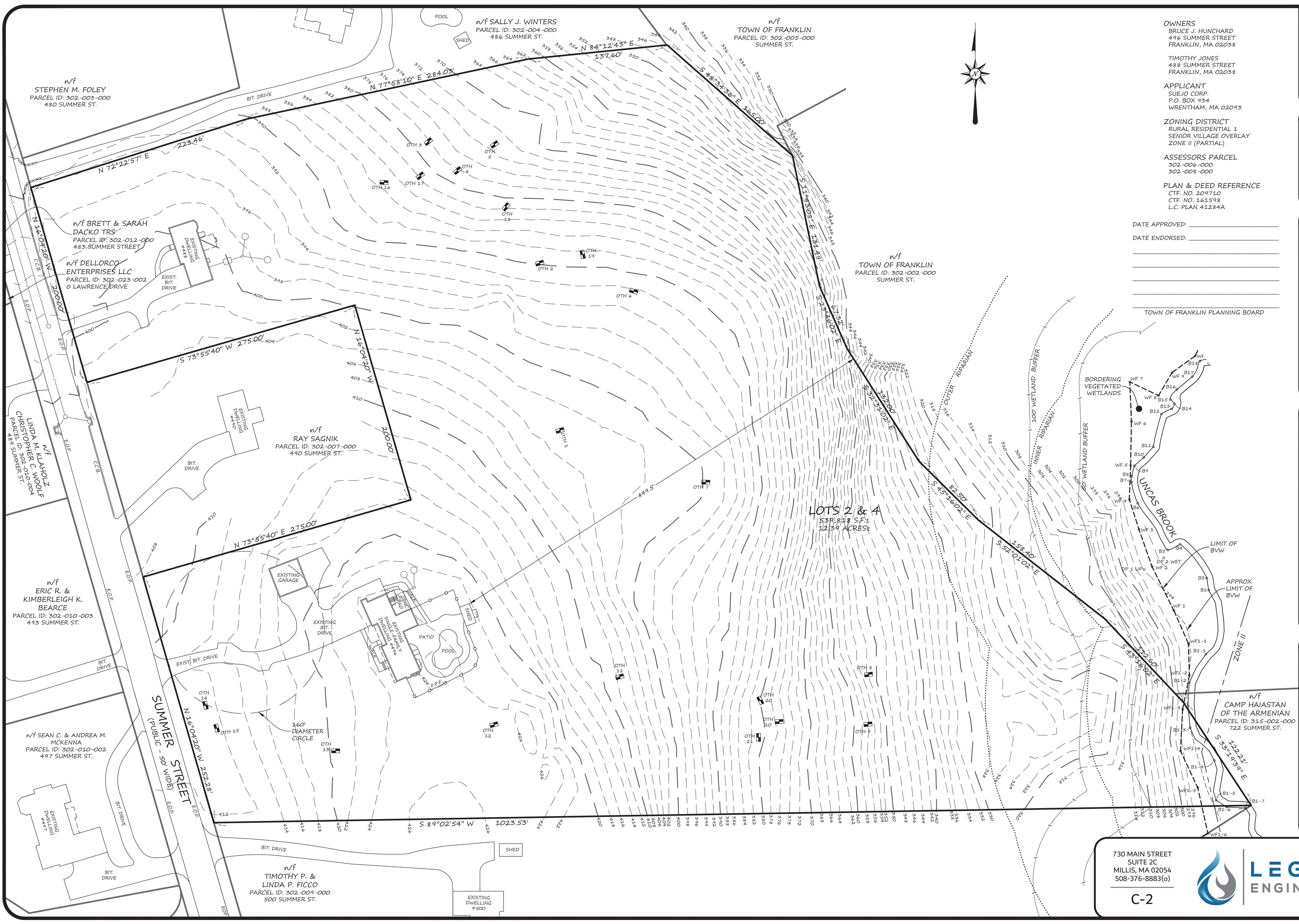
INSPECTIONS

- 1. WHERE APPLICABLE, REFER TO SWPPP FOR INSPECTION & REPORTING REQUIREMENTS IN ADDITION TO THE FOLLOWING:
1.1. THE SITE SHALL BE INSPECTED AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A STORM EVENT OF 0.25 INCHES OR GREATER. INSPECTIONS MAY BE REDUCED DURING THE WINTER AND IN STABILIZED AREAS.
1.2. ANY DEFICIENCIES SHALL BE REMEDIATED IMMEDIATELY AND NO LATER THAN 7 DAYS AFTER DISCOVERY OF THE DEFICIENCY, AND IF POSSIBLE, PRIOR TO THE NEXT RAINFALL EVENT.

730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



AUTUMN HILL
SENIOR VILLAGE
KEY SHEET
PLAN OF LAND IN
FRANKLIN, MA



OWNERS
 BRUCE J. HUNCHARD
 496 SUMMER STREET
 FRANKLIN, MA 02038

TIMOTHY JONES
 488 SUMMER STREET
 FRANKLIN, MA 02038

APPLICANT
 SUEJO CORP.
 P.O. BOX 934
 WRENTHAM, MA 02093

ZONING DISTRICT
 RURAL RESIDENTIAL 1
 SENIOR VILLAGE OVERLAY
 ZONE II (PARTIAL)

ASSESSORS PARCEL
 302-006-000
 302-008-000

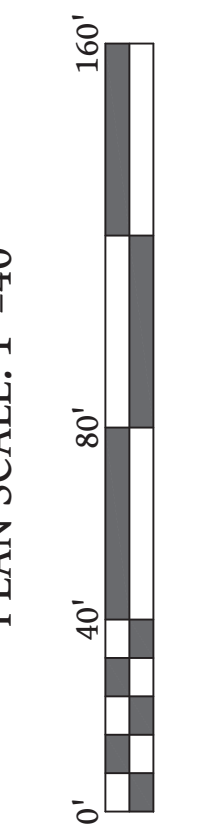
PLAN & DEED REFERENCE
 CTF. NO. 209710
 CTF. NO. 161598
 L.C. PLAN 41284A



Digitally signed by Daniel J. Merrikin, P.E.
 Date: 2024.01.30 14:28:47 -05'00'

DATE APPROVED: _____
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 TOWN OF FRANKLIN PLANNING BOARD



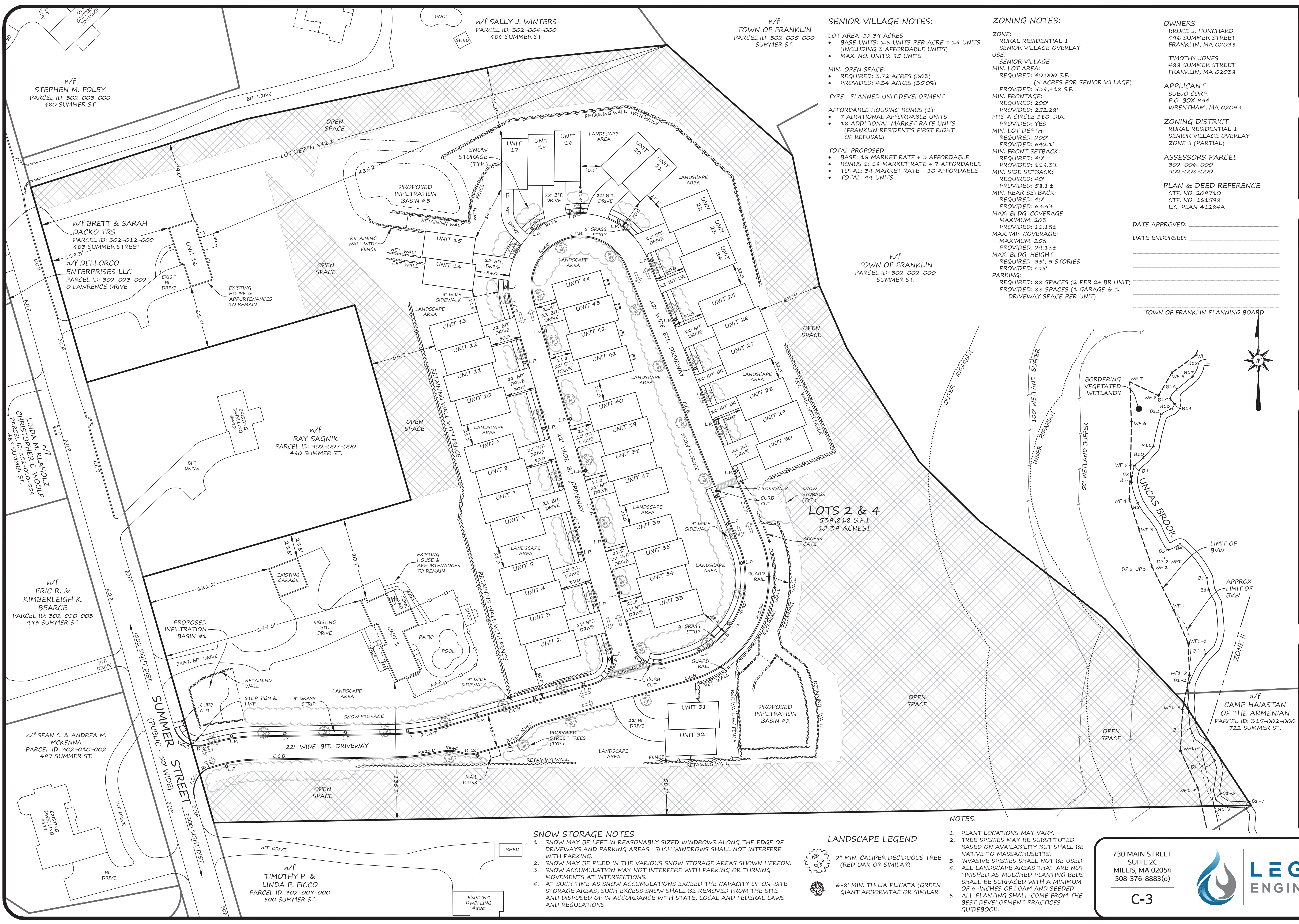
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PLAN DATE: JANUARY 26, 2024

**AUTUMN HILL
 SENIOR VILLAGE
 EXISTING CONDITIONS
 PLAN OF LAND IN
 FRANKLIN, MA**

730 MAIN STREET
 SUITE 2C
 MILLIS, MA 02054
 508-376-8883(o)





SENIOR VILLAGE NOTES:

LOT AREA: 12.39 ACRES

- BASE UNITS: 1.5 UNITS PER ACRE = 19 UNITS (INCLUDING 3 AFFORDABLE UNITS)
- MAX. NO. UNITS: 95 UNITS

MIN. OPEN SPACE:

- REQUIRED: 3.72 ACRES (30%)
- PROVIDED: 4.34 ACRES (35.0%)

TYPE: PLANNED UNIT DEVELOPMENT

AFFORDABLE HOUSING BONUS (1):

- 7 ADDITIONAL AFFORDABLE UNITS
- 18 ADDITIONAL MARKET RATE UNITS (FRANKLIN RESIDENT'S FIRST RIGHT OF REFUSAL)

TOTAL PROPOSED:

- BASE: 16 MARKET RATE + 3 AFFORDABLE
- BONUS 1: 18 MARKET RATE + 7 AFFORDABLE
- TOTAL: 34 MARKET RATE + 10 AFFORDABLE
- TOTAL: 44 UNITS

ZONING NOTES:

ZONE: RURAL RESIDENTIAL 1 SENIOR VILLAGE OVERLAY

USE: SENIOR VILLAGE

MIN. LOT AREA: REQUIRED: 40,000 S.F. (5 ACRES FOR SENIOR VILLAGE) PROVIDED: 539,818 S.F.±

MIN. FRONTAGE: REQUIRED: 200' PROVIDED: 252.28'

FITS A CIRCLE 180' DIA.: PROVIDED: YES

MIN. LOT DEPTH: REQUIRED: 200' PROVIDED: 642.1'

MIN. FRONT SETBACK: REQUIRED: 40' PROVIDED: 11.25'±

MIN. SIDE SETBACK: REQUIRED: 40' PROVIDED: 58.1'±

MIN. REAR SETBACK: REQUIRED: 40' PROVIDED: 63.3'±

MAX. BLDG. COVERAGE: MAXIMUM: 20% PROVIDED: 11.25%±

MAX. IMP. COVERAGE: MAXIMUM: 25% PROVIDED: 24.1%±

MAX. BLDG. HEIGHT: REQUIRED: 35', 3 STORIES PROVIDED: <35'

PARKING: REQUIRED: 88 SPACES (2 PER 2+ BR UNIT) PROVIDED: 88 SPACES (1 GARAGE & 1 DRIVEWAY SPACE PER UNIT)

OWNERS

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FRANKLIN, MA 02038

TIMOTHY JONES
488 SUMMER STREET
FRANKLIN, MA 02038

APPLICANT

SUEJO CORP.
P.O. BOX 934
WRENTHAM, MA 02093

ZONING DISTRICT

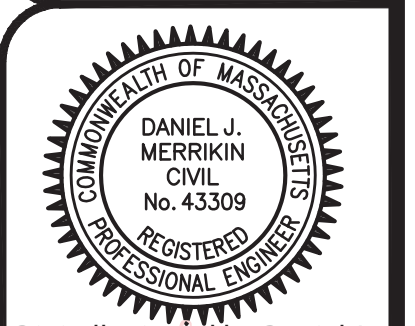
RURAL RESIDENTIAL 1
SENIOR VILLAGE OVERLAY
ZONE II (PARTIAL)

ASSESSORS PARCEL

302-006-000
302-008-000

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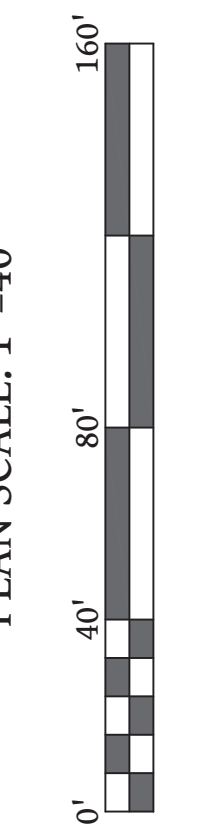


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TOWN OF FRANKLIN PLANNING BOARD



REVISION	DATE	BY

PLAN DATE: JANUARY 26, 2024

AUTUMN HILL SENIOR VILLAGE LAYOUT PLAN OF LAND IN FRANKLIN, MA

SNOW STORAGE NOTES

- SNOW MAY BE LEFT IN REASONABLY SIZED WINDROWS ALONG THE EDGE OF DRIVEWAYS AND PARKING AREAS. SUCH WINDROWS SHALL NOT INTERFERE WITH PARKING.
- SNOW MAY BE PILED IN THE VARIOUS SNOW STORAGE AREAS SHOWN HEREON.
- SNOW ACCUMULATION MAY NOT INTERFERE WITH PARKING OR TURNING MOVEMENTS AT INTERSECTIONS.
- AT SUCH TIME AS SNOW ACCUMULATIONS EXCEED THE CAPACITY OF ON-SITE STORAGE AREAS, SUCH EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL LAWS AND REGULATIONS.

LANDSCAPE LEGEND

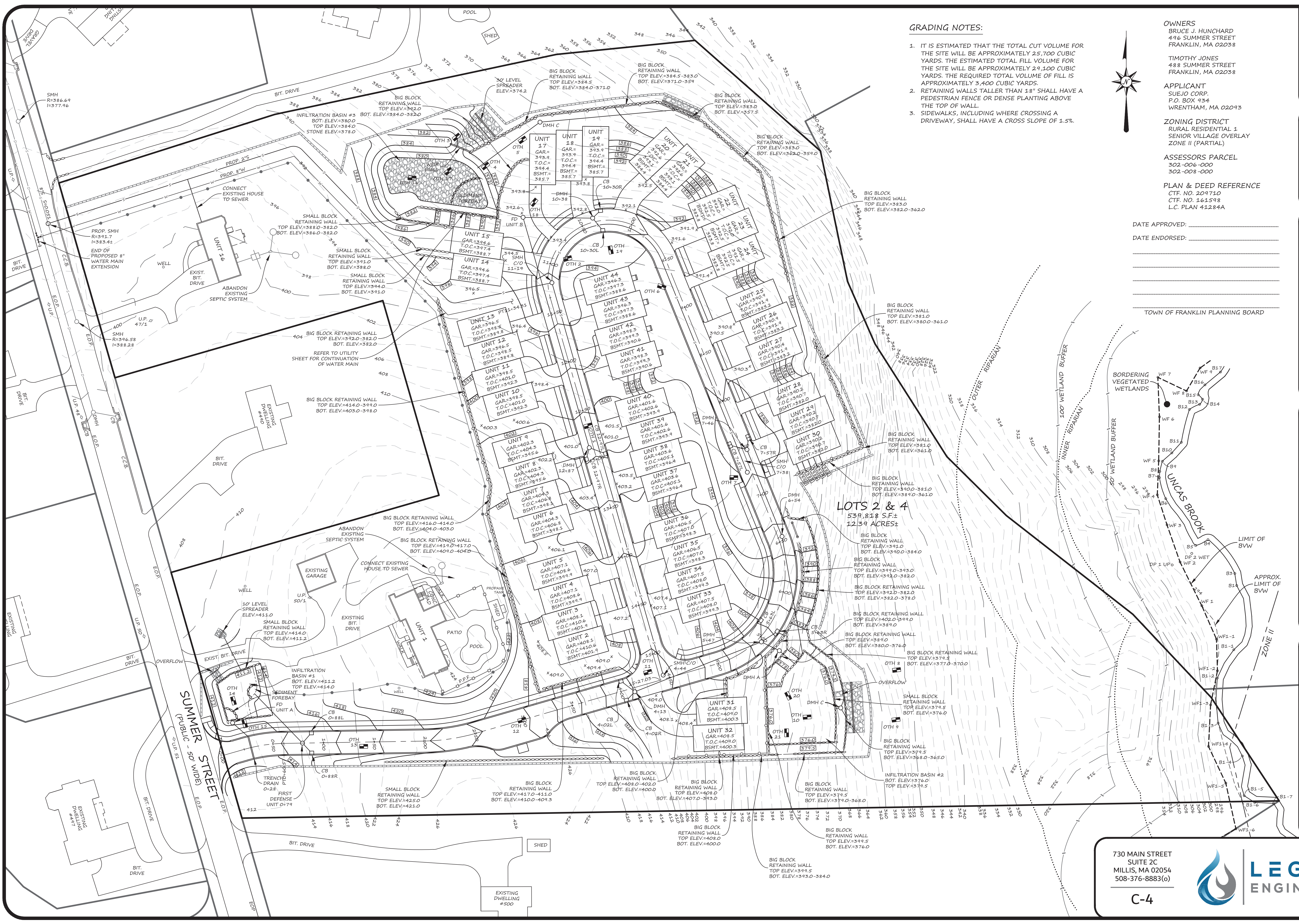
- 2" MIN. CALIPER DECIDUOUS TREE (RED OAK OR SIMILAR)
- 6-8" MIN. THUJA PLICATA (GREEN GIANT ARBORVITAE OR SIMILAR)

NOTES:

- PLANT LOCATIONS MAY VARY.
- TREE SPECIES MAY BE SUBSTITUTED BASED ON AVAILABILITY BUT SHALL BE NATIVE TO MASSACHUSETTS.
- INVASIVE SPECIES SHALL NOT BE USED.
- ALL LANDSCAPE AREAS THAT ARE NOT FINISHED AS MULCHED PLANTING BEDS SHALL BE SURFACED WITH A MINIMUM OF 6-INCHES OF LOAM AND SEEDED.
- ALL PLANTING SHALL COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK.

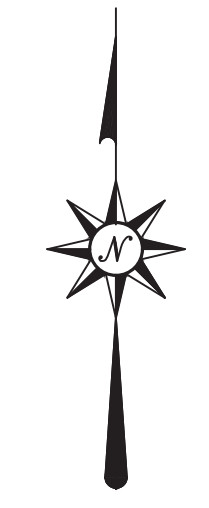
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)





GRADING NOTES:

1. IT IS ESTIMATED THAT THE TOTAL CUT VOLUME FOR THE SITE WILL BE APPROXIMATELY 25,700 CUBIC YARDS. THE ESTIMATED TOTAL FILL VOLUME FOR THE SITE WILL BE APPROXIMATELY 29,100 CUBIC YARDS. THE REQUIRED TOTAL VOLUME OF FILL IS APPROXIMATELY 3,400 CUBIC YARDS.
2. RETAINING WALLS TALLER THAN 18" SHALL HAVE A PEDESTRIAN FENCE OR DENSE PLANTING ABOVE THE TOP OF WALL.
3. SIDEWALKS, INCLUDING WHERE CROSSING A DRIVEWAY, SHALL HAVE A CROSS SLOPE OF 1.5%.



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 SUEJO CORP.
 P.O. BOX 934
 WRENTHAM, MA 02093

ZONING DISTRICT
 RURAL RESIDENTIAL 1
 SENIOR VILLAGE OVERLAY
 ZONE II (PARTIAL)

ASSESSORS PARCEL
 302-006-000
 302-008-000

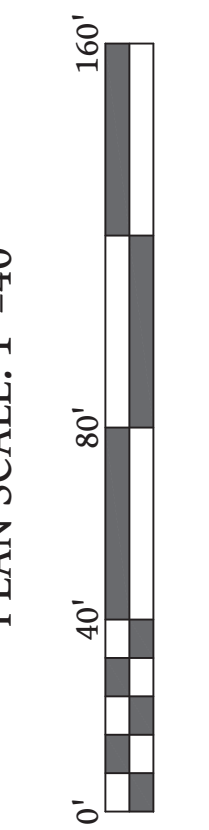
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 TOWN OF FRANKLIN PLANNING BOARD



PLAN SCALE: 1"=40'

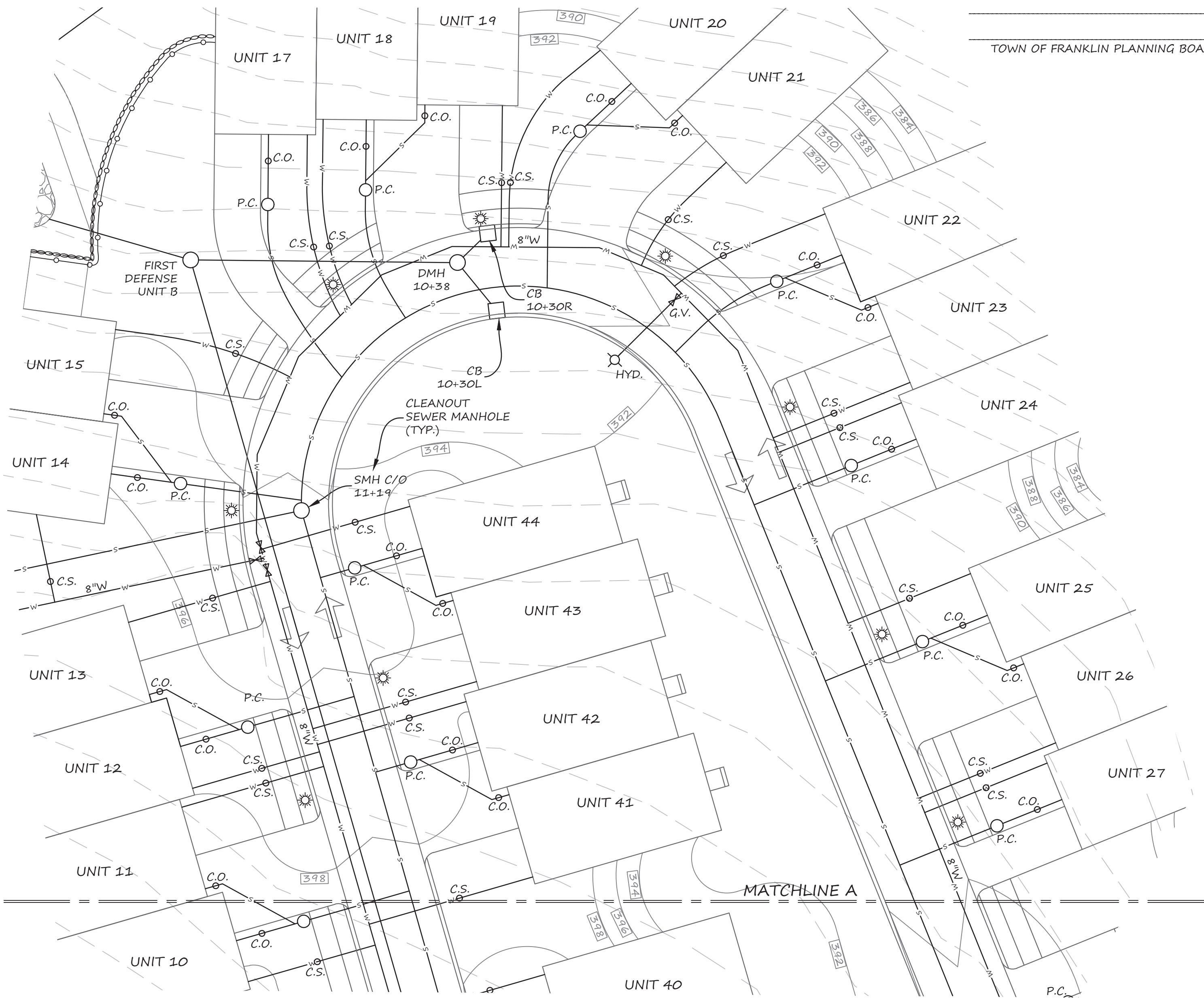
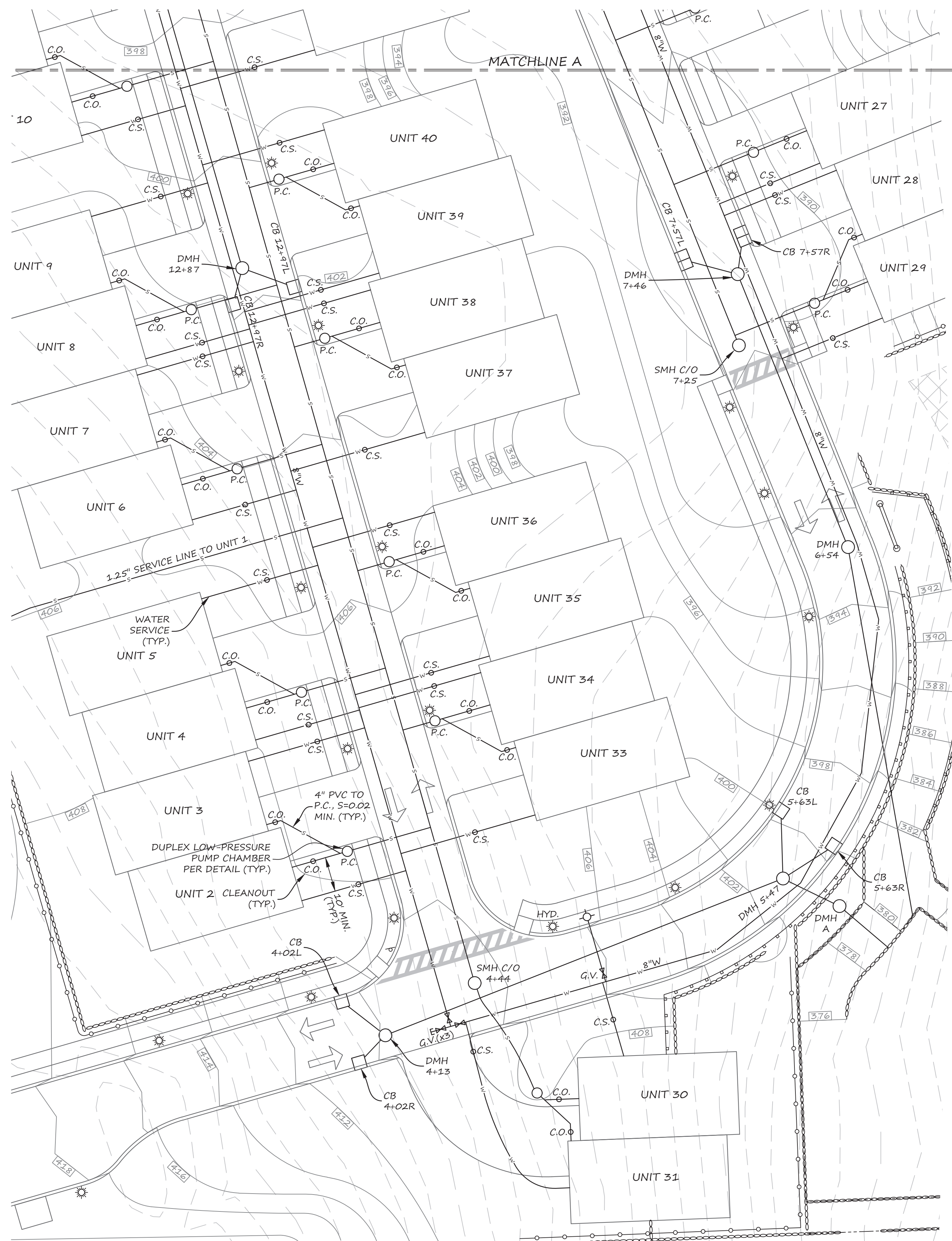
REVISION	DATE	BY

PLAN DATE: JANUARY 26, 2024

**AUTUMN HILL
 SENIOR VILLAGE
 GRADING & UTILITIES
 PLAN OF LAND IN
 FRANKLIN, MA**

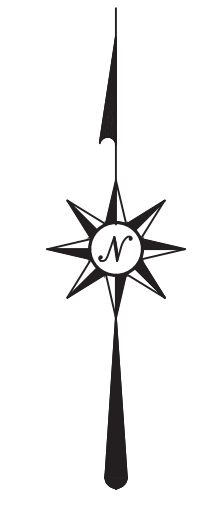
730 MAIN STREET
 SUITE 2C
 MILLIS, MA 02054
 508-376-8883(o)





UTILITY NOTES:

1. WATER MAINS SHALL BE THICKNESS CLASS 52 DUCTILE IRON PIPE.
2. WATER SERVICE SHALL BE HIGH DENSITY POLYURETHANE TUBING RATED FOR 200 PSI MINIMUM. THE PROJECT ARCHITECT SHALL VERIFY THE DOMESTIC AND IRRIGATION WATER SERVICE PIPE SIZE REQUIREMENTS FOR THE BUILDINGS.
3. SEWER MAINS SHALL BE 2-INCH SDR21 PIPE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FRANKLIN SEWER AND WATER DEPARTMENT. CLEANOUTS SHALL BE POSITIONED IN LANDSCAPE AREAS.
4. DRAINAGE PIPING SHALL BE HDPE RATED FOR H2O LOADING. (ADS N12 OR EQUAL)
5. THE ELECTRIC COMPANY SHALL DETERMINE THE FINAL LOCATION AND DESIGN OF THE ELECTRIC SERVICE AND TRANSFORMER. CONDUITS TO PROPOSED LIGHT POLES SHALL BE DESIGNED BY THE ARCHITECT.
6. WATER DEMAND FOR THIS DEVELOPMENT WILL BE APPROXIMATELY 120 GPD PER BEDROOM FOR A TOTAL MAXIMUM FLOW OF 11,280 GPD AND A FLOW OF 5,640 GPD FOR THE AVERAGE DAY.
7. SEWER DEMAND FOR THIS DEVELOPMENT WILL BE APPROXIMATELY 110 GPD PER BEDROOM FOR A TOTAL MAXIMUM FLOW OF 10,340 GPD AND A FLOW OF 5,170 GPD FOR THE AVERAGE DAY.



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 SUEJO CORP.
 P.O. BOX 934
 WRENTHAM, MA 02093

ZONING DISTRICT
 RURAL RESIDENTIAL 1
 SENIOR VILLAGE OVERLAY
 ZONE II (PARTIAL)

ASSESSORS PARCEL
 302-006-000
 302-008-000

PLAN & DEED REFERENCE
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 L.C. PLAN 41284A

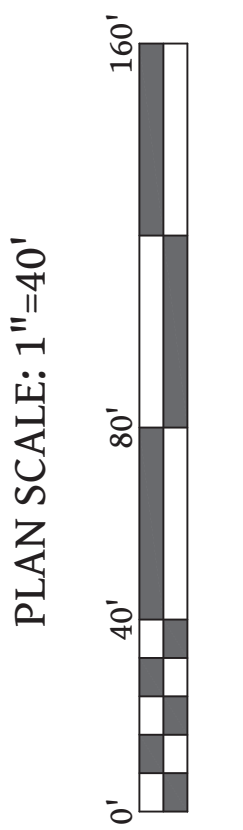
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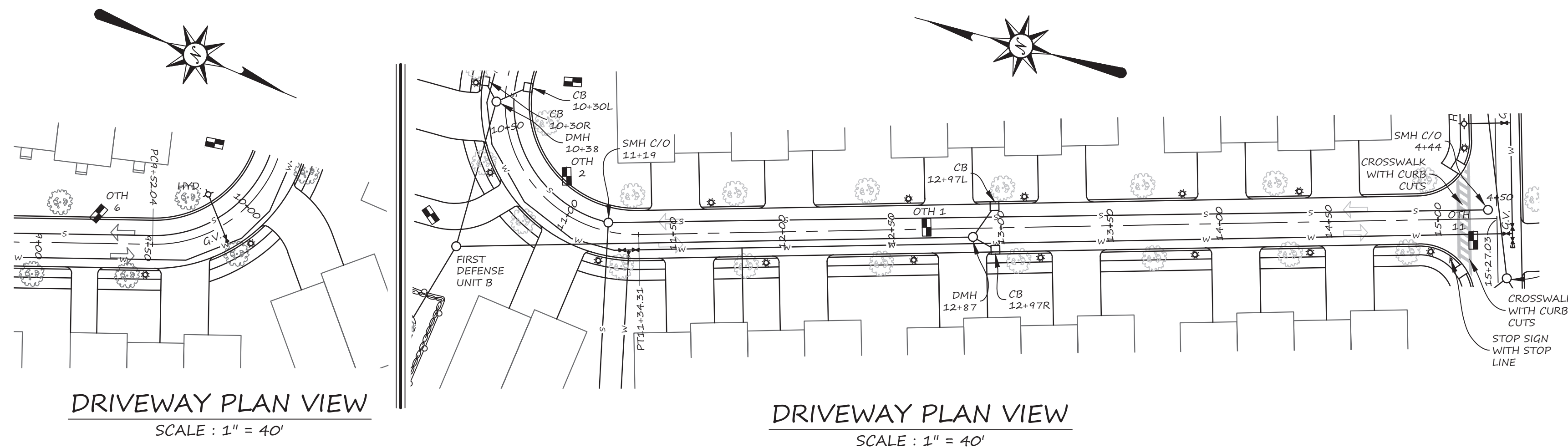
REVISION	DATE	BY

PLAN DATE: JANUARY 26, 2024

**AUTUMN HILL
 SENIOR VILLAGE
 UTILITY
 PLAN OF LAND IN
 FRANKLIN, MA**

730 MAIN STREET
 SUITE 2C
 MILLIS, MA 02054
 508-376-8883(o)





PROFILE LEGEND

ABBREV.	DESCRIPTION
M-XX"	REDOX (MOTTLES) AT XX-INCHES
WT-XX"	STANDING WATER AT XX-INCHES
WP-XX"	WEeping WATER AT XX-INCHES
NW-XX"	NO GROUNDWATER INDICATORS
R-XX"	REFUSAL AT XX-INCHES
TS	TOPSOIL
SS	SUBSOIL
S	SAND
LS	LOAMY SAND
SL	SANDY LOAM
MS	MEDIUM SAND

OWNERS
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 WRENTHAM, MA 02093

ZONING DISTRICT
 RURAL RESIDENTIAL 1
 SENIOR VILLAGE OVERLAY
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ASSESSORS PARCEL
 302-006-000
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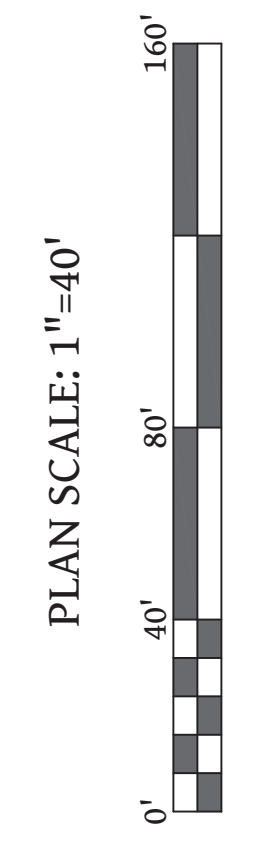
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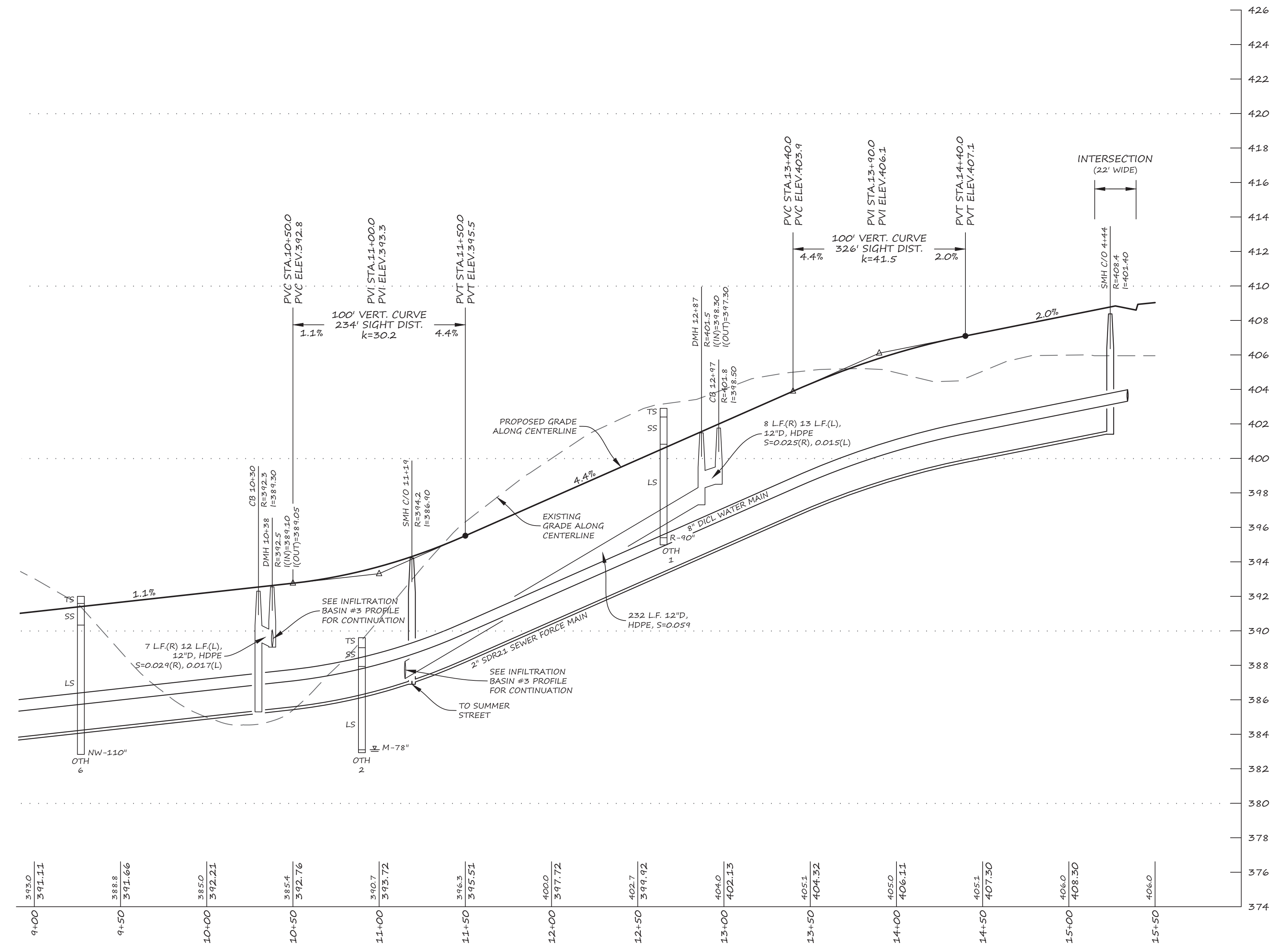
DATE APPROVED: _____
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 TOWN OF FRANKLIN PLANNING BOARD

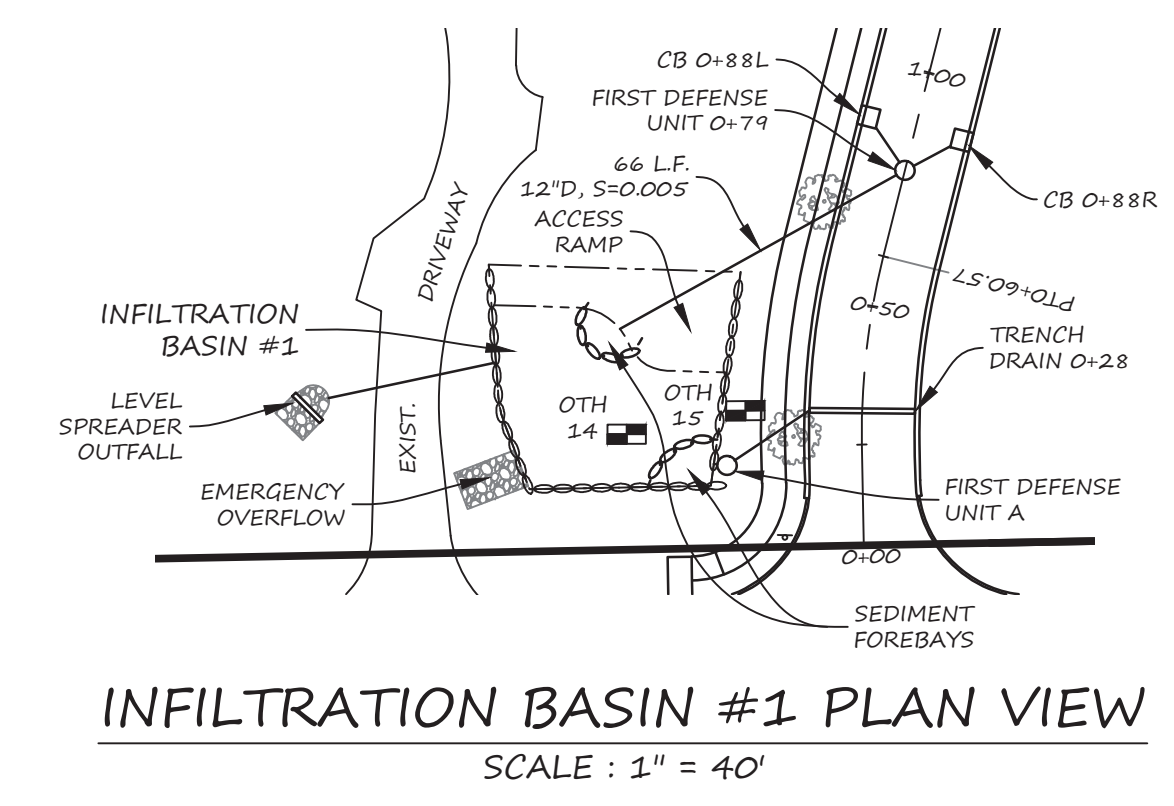


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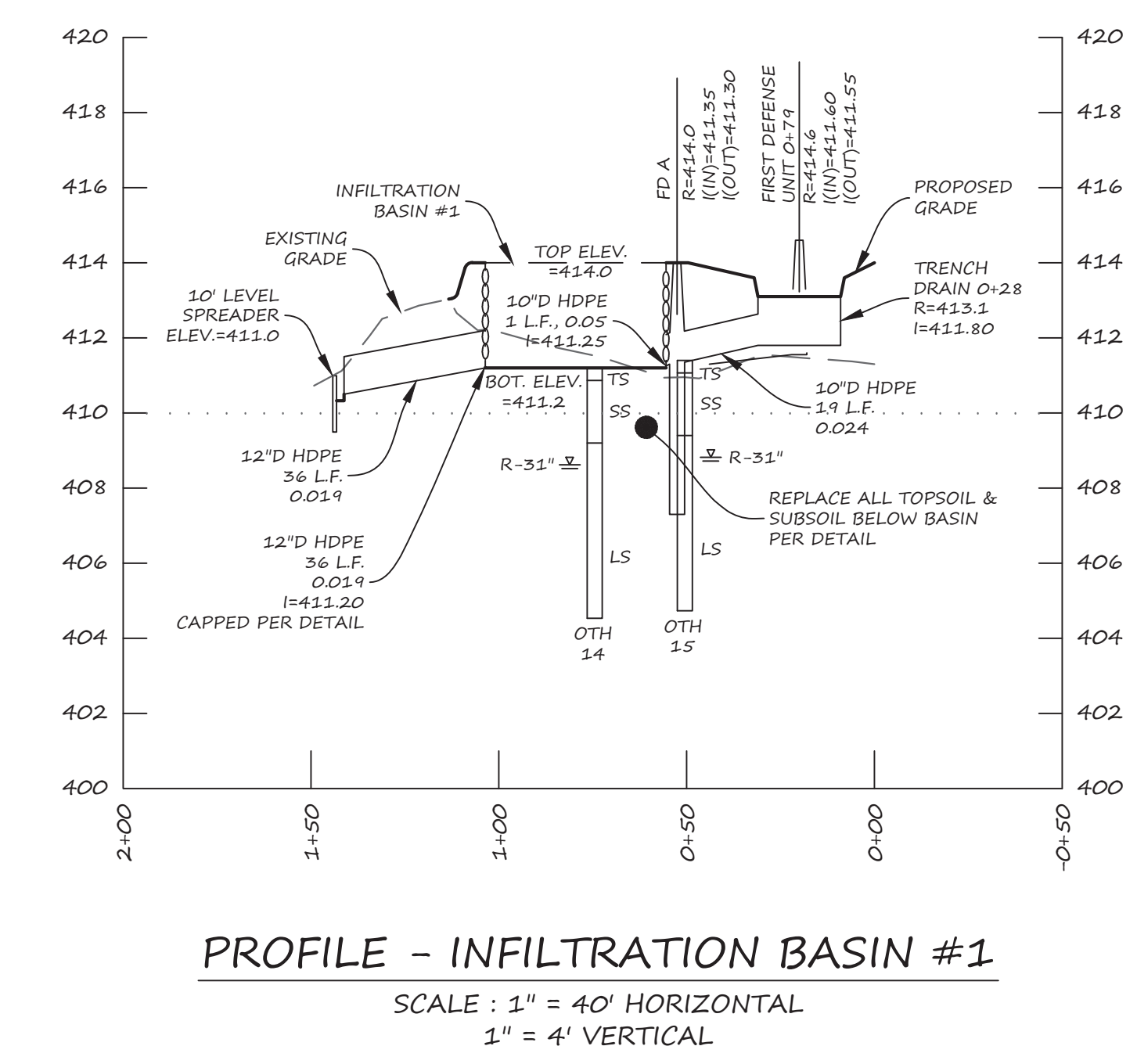
PLAN DATE: JANUARY 26, 2024



PROFILE - DRIVEWAY
 SCALE: 1" = 40' HORIZONTAL
 1" = 4' VERTICAL



INFILTRATION BASIN #1 PLAN VIEW
 SCALE: 1" = 40'

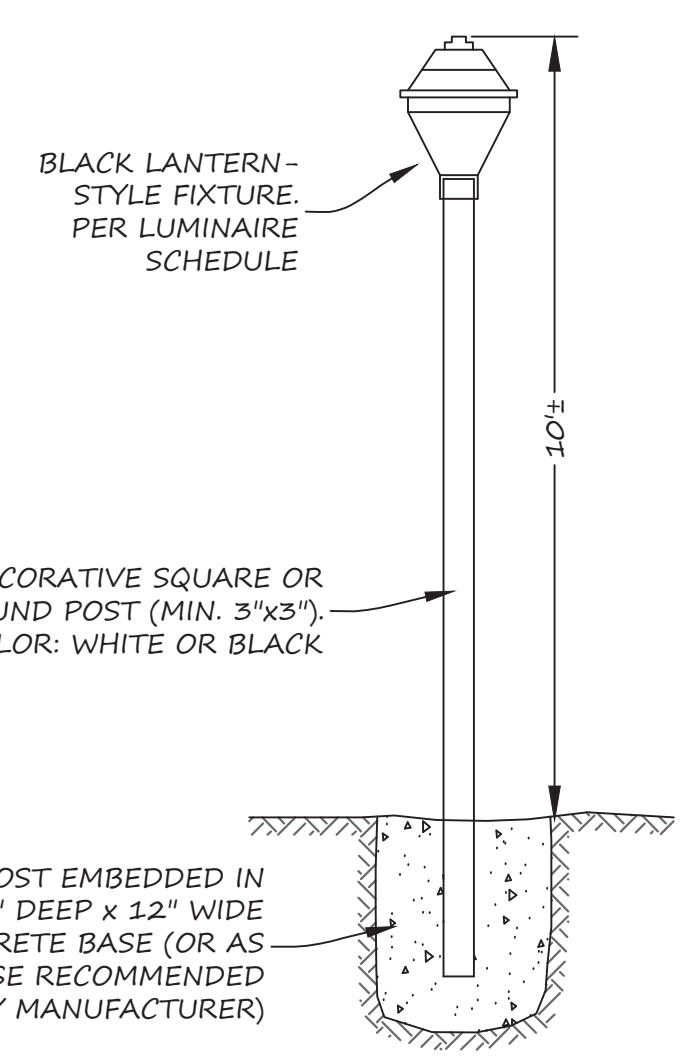
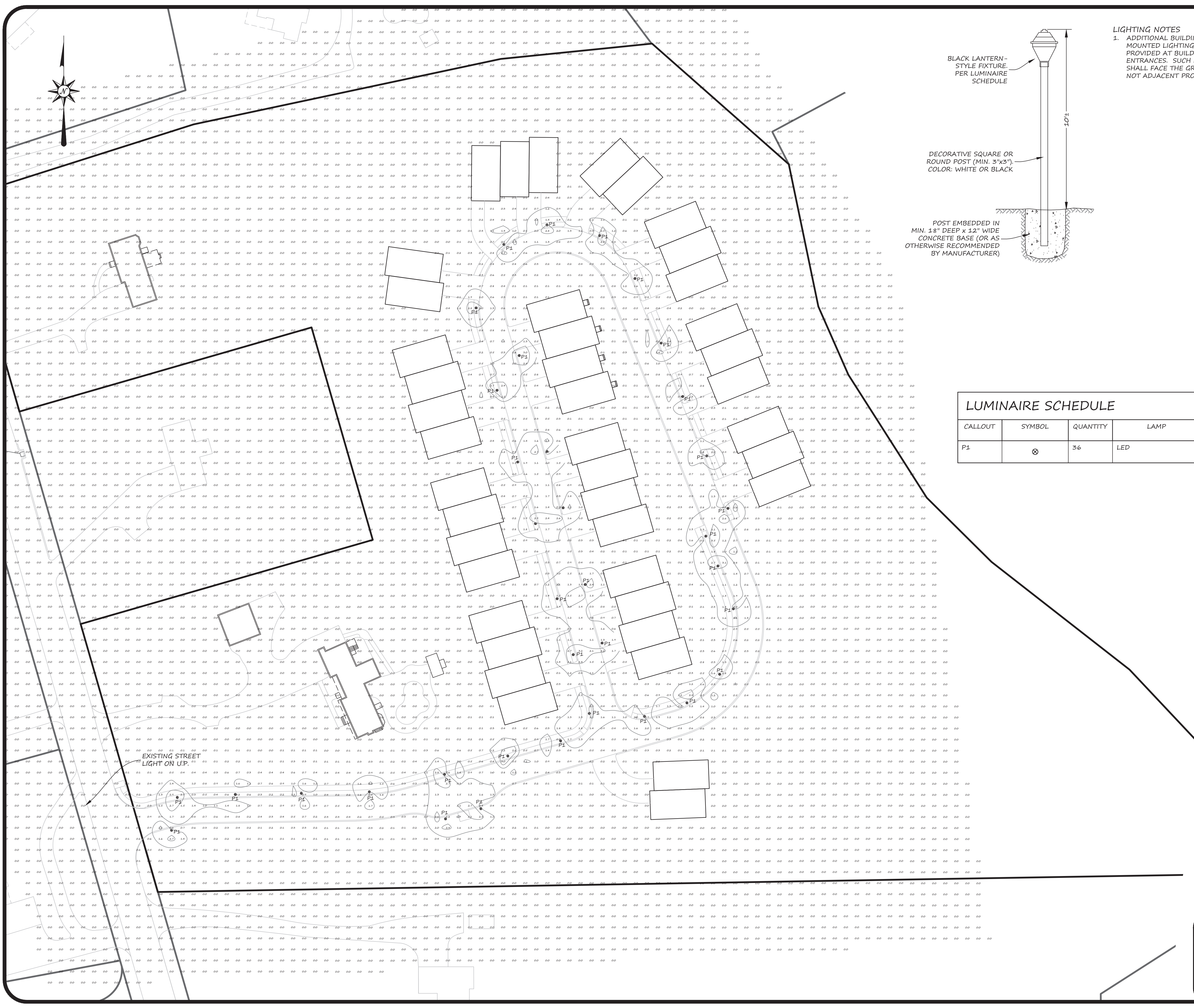


PROFILE - INFILTRATION BASIN #1
 SCALE: 1" = 40' HORIZONTAL
 1" = 4' VERTICAL

730 MAIN STREET
 SUITE 2C
 MILLIS, MA 02054
 508-376-8883(o)



AUTUMN HILL
 SENIOR VILLAGE
 PROFILE
 PLAN OF LAND IN
 FRANKLIN, MA



LIGHTING NOTES
 1. ADDITIONAL BUILDING MOUNTED LIGHTING WILL BE PROVIDED AT BUILDING ENTRANCES. SUCH LIGHTING SHALL FACE THE GROUND AND NOT ADJACENT PROPERTIES.

OWNERS
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 FRANKLIN, MA 02038

TIMOTHY JONES
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 FRANKLIN, MA 02038

APPLICANT
 SUEJO CORP.
 P.O. BOX 934
 WRENTHAM, MA 02093

ZONING DISTRICT
 RURAL RESIDENTIAL 1
 SENIOR VILLAGE OVERLAY
 ZONE II (PARTIAL)

ASSESSORS PARCEL
 302-006-000
 302-008-000

PLAN & DEED REFERENCE
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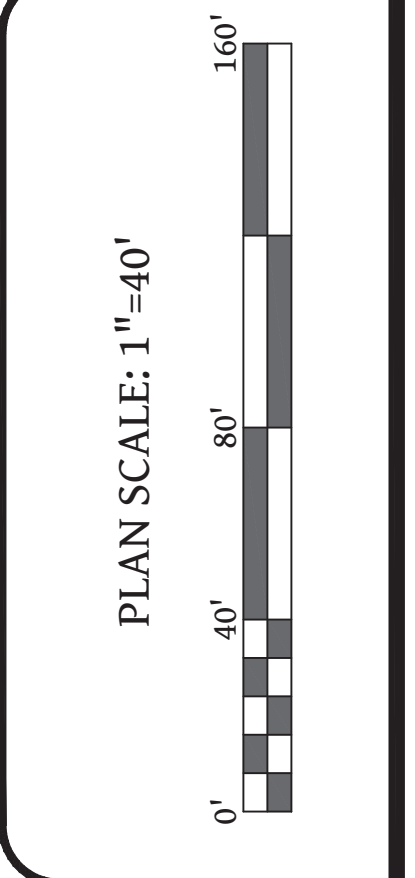
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 TOWN OF FRANKLIN PLANNING BOARD

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	QUANTITY	LAMP	MOUNTING	MOUNTING HEIGHT	MODEL
P1	⊗	36	LED	POST	10'	AMERILUX D623-FDR FULL-CUTOFF FIXTURE

Digitally signed by Daniel J. Merrikin, P.E.
 Date: 2024.01.30 14:22:12 -05'00'



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AUTUMN HILL SENIOR VILLAGE LIGHTING PLAN OF LAND IN FRANKLIN, MA

730 MAIN STREET
 SUITE 2C
 MILLIS, MA 02054
 508-376-8883(o)





EROSION CONTROL NOTES

1. THE TOTAL EXPECTED AREA OF DISTURBANCE IS 6.2± ACRES.
 - 1.1. 4.3± ACRES WILL BE DISTURBED IN PHASE 1
 - 1.2. 1.9± ACRES WILL BE DISTURBED IN PHASE 2
2. IMPLEMENT MULCH BERMS THROUGHOUT TO CONTROL SEDIMENT AND EROSION IN SPECIFIC WORK AREAS.
3. IMPLEMENT TEMPORARY SEDIMENT BASINS WITH LEVEL SPREADER OUTFALLS WHERE NECESSARY DURING CONSTRUCTION

OWNERS
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TOWN OF FRANKLIN PLANNING BOARD



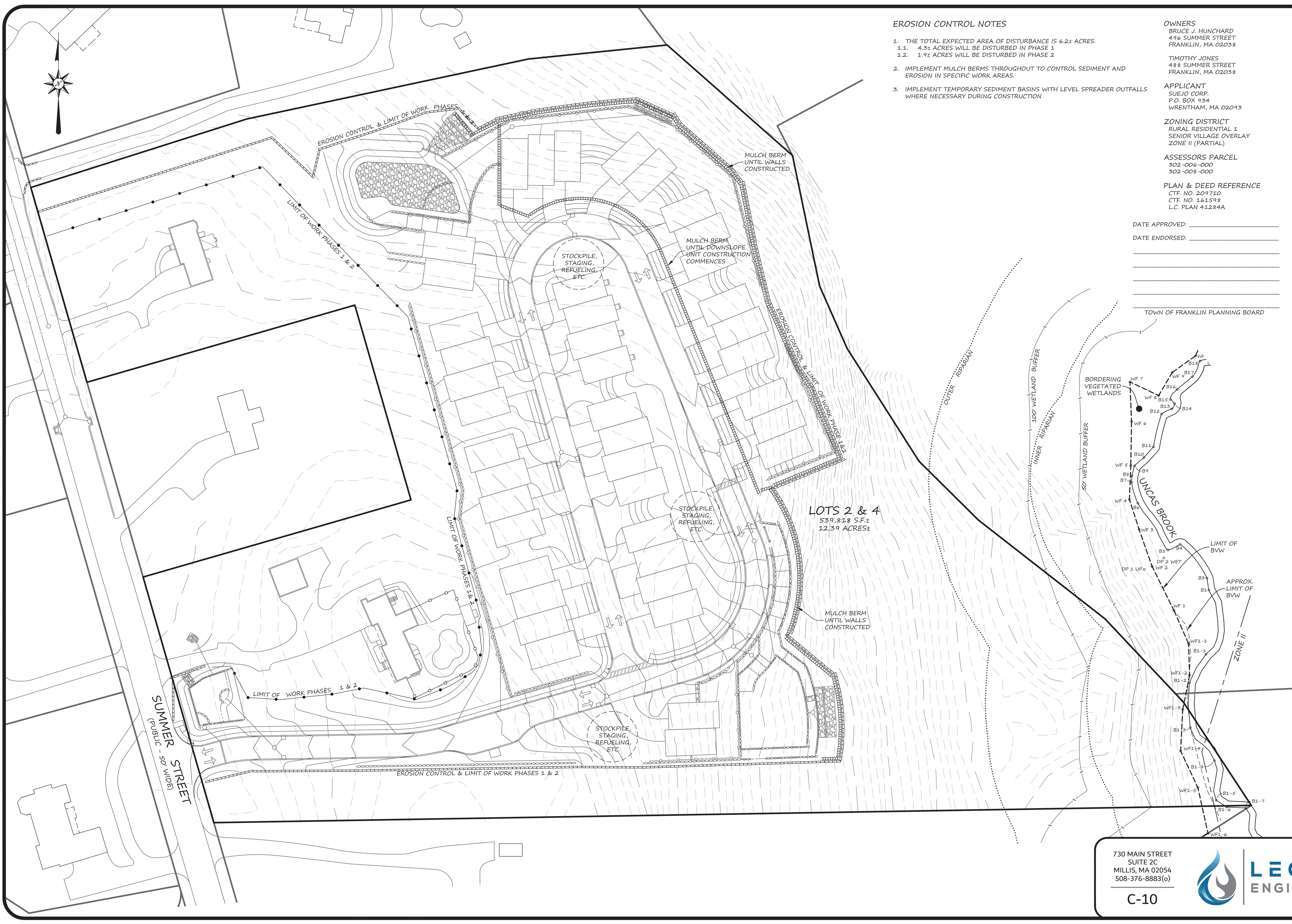
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PLAN DATE: JANUARY 26, 2024

**AUTUMN HILL
 SENIOR VILLAGE
 EROSION CONTROL
 PLAN OF LAND IN
 FRANKLIN, MA**



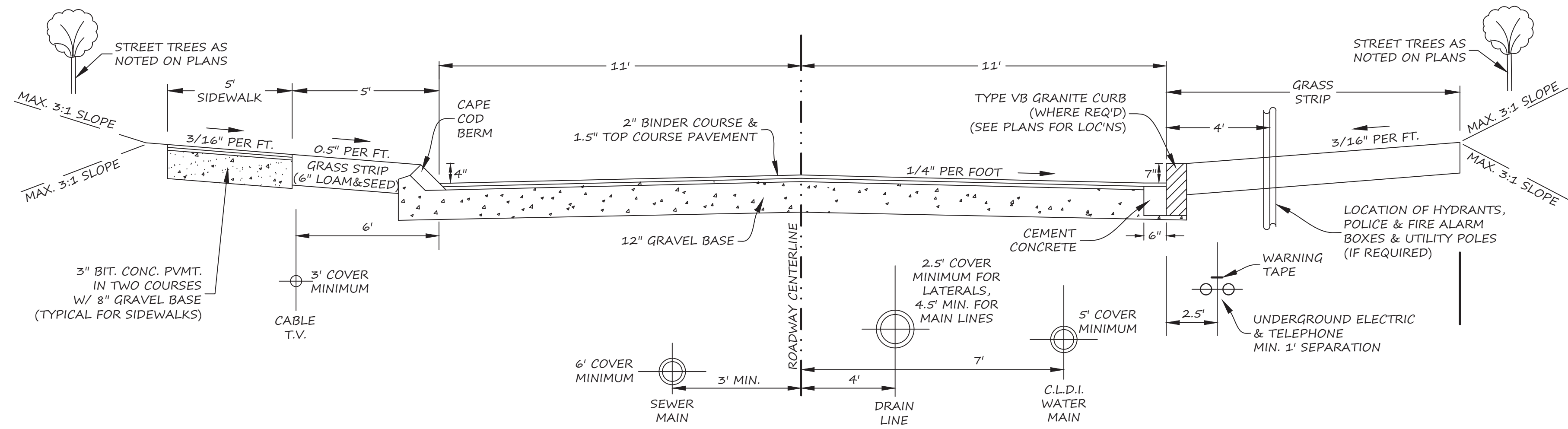
LOTS 2 & 4
 539,818 S.F.±
 12.39 ACRES±

SUMMER STREET
 (PUBLIC - 50' WIDE)

730 MAIN STREET
 SUITE 2C
 MILLIS, MA 02054
 508-376-8883(o)

C-10



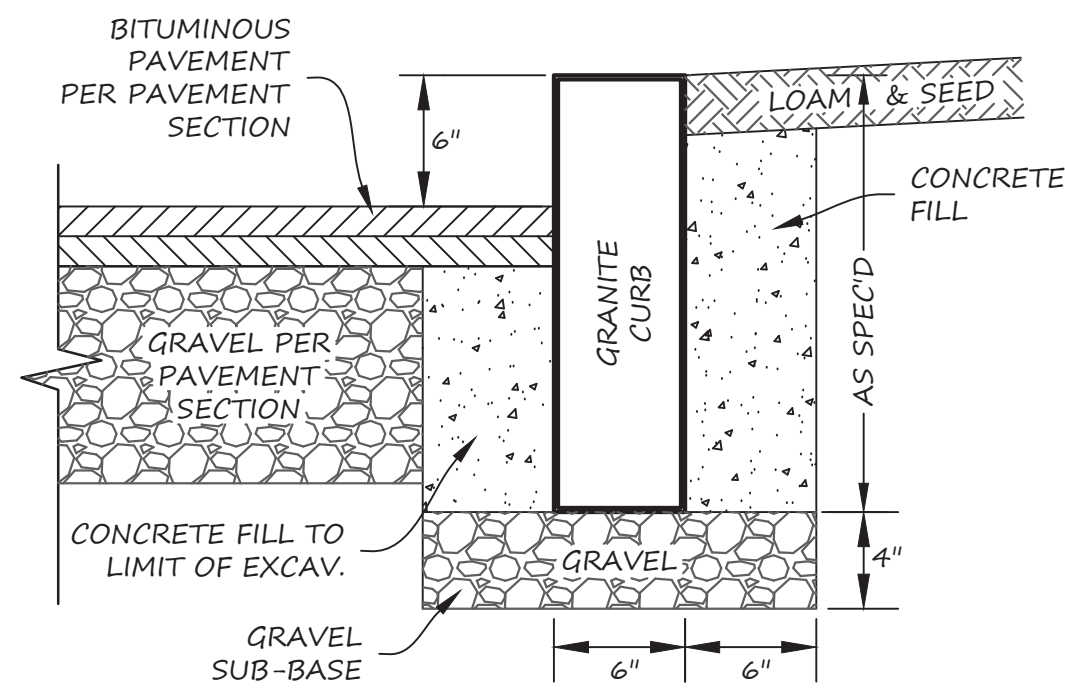


NOTES:

- UTILITY LOCATIONS WILL VARY ACCORDING TO LAYOUT. THIS DETAIL PRESENTS STANDARD DEPTHS AND SEPARATIONS.
- SIDESLOPE SPECIFICATIONS ARE TYPICAL AND WILL VARY IF OTHERWISE NOTED ON THESE PLANS.
- COMPACTION REQUIREMENTS OF THE SUBDIVISION REGULATIONS MUST BE ADHERED TO.
- NOTE: ONLY ONE SIDEWALK MAY BE PROVIDED WHERE NOTED AND IF WAIVED BY THE PLANNING BOARD.

TYPICAL MAIN DRIVEWAY CROSS SECTION

(NO SCALE)

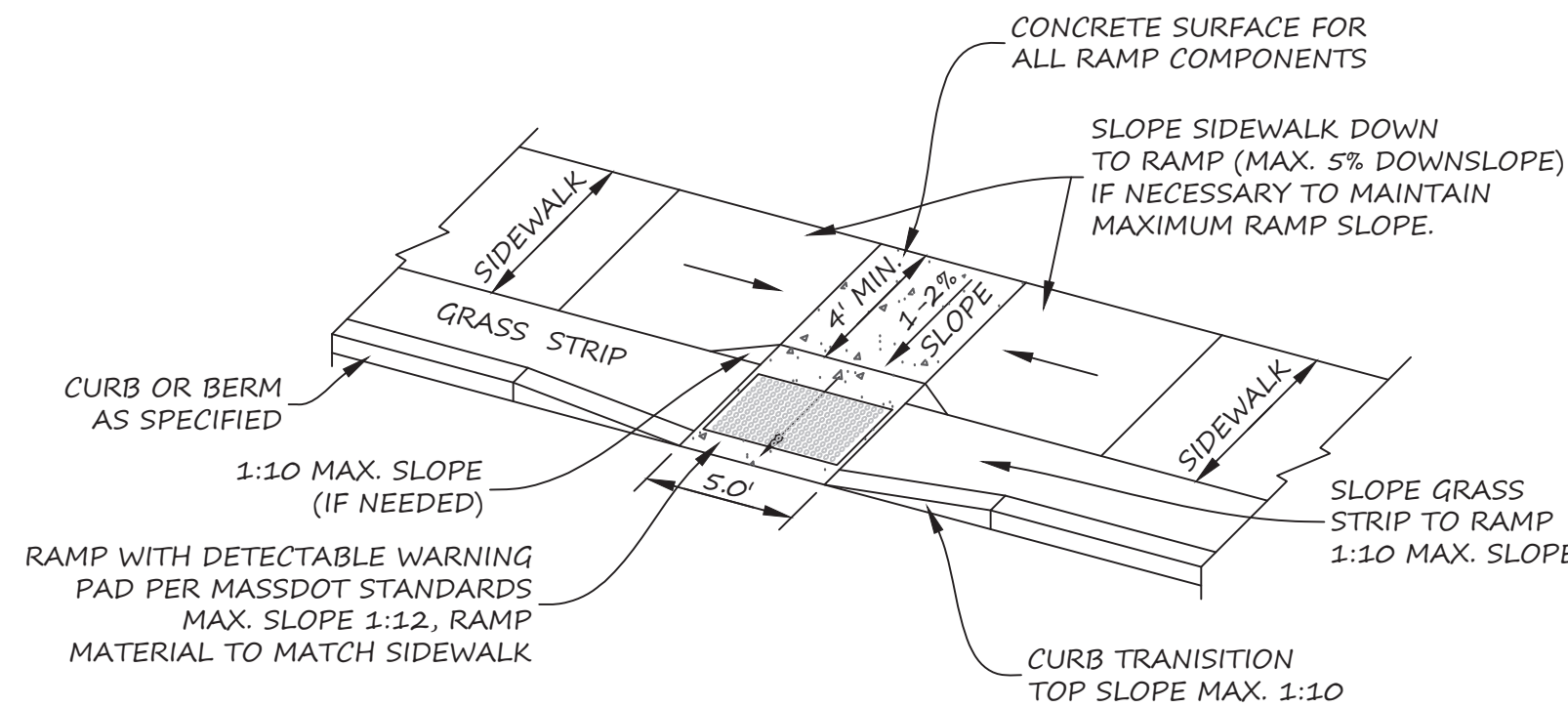


NOTES:

- CONCRETE TO BE 4,000 PSI.
- ALL RADII 50' AND SMALLER TO BE CONSTRUCTED USING CURVED SECTIONS.

VERTICAL GRANITE CURB DETAIL

(NO SCALE)

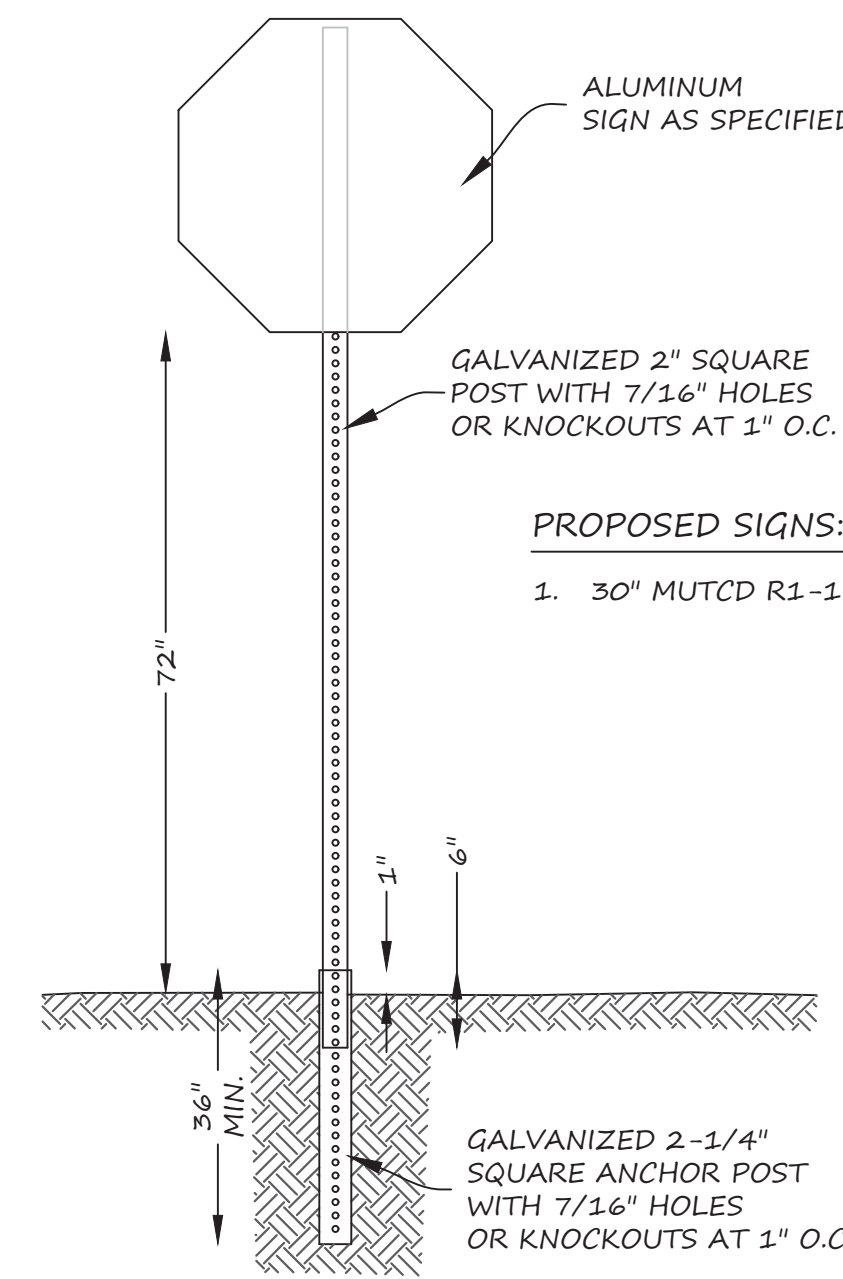


NOTES:

- RAMP AND SIDEWALK SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH ADA REGULATIONS.
- THIS DETAIL DOES NOT SPECIFY CURBING OR SIDEWALK REQUIREMENTS, BUT ONLY ACCESSIBLE (HANDICAP) RAMP SPECIFICATIONS. REFER TO APPLICABLE DETAILS FOR ROADWAY, CURBING, SIDEWALK SPECIFICATIONS.

ACCESSIBLE RAMP DETAIL

(NOT TO SCALE)

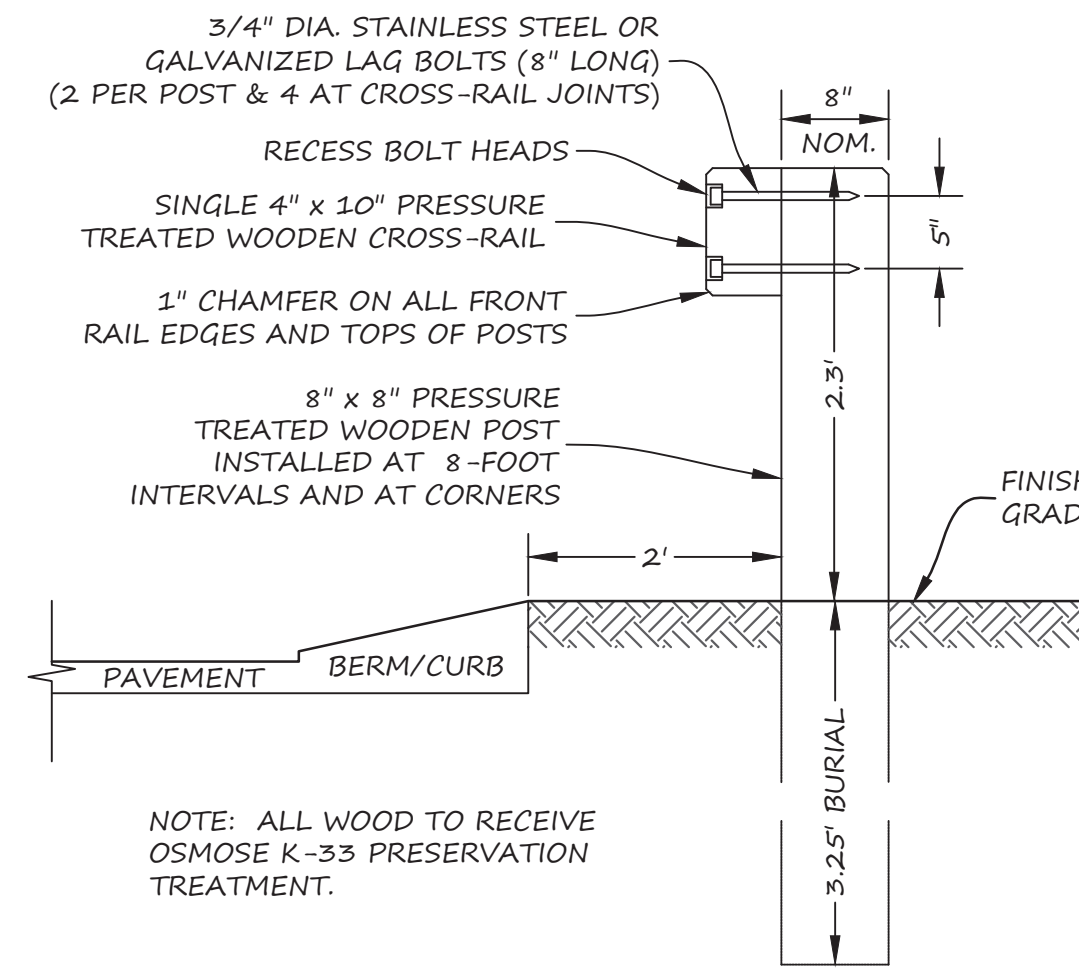


PROPOSED SIGNS:

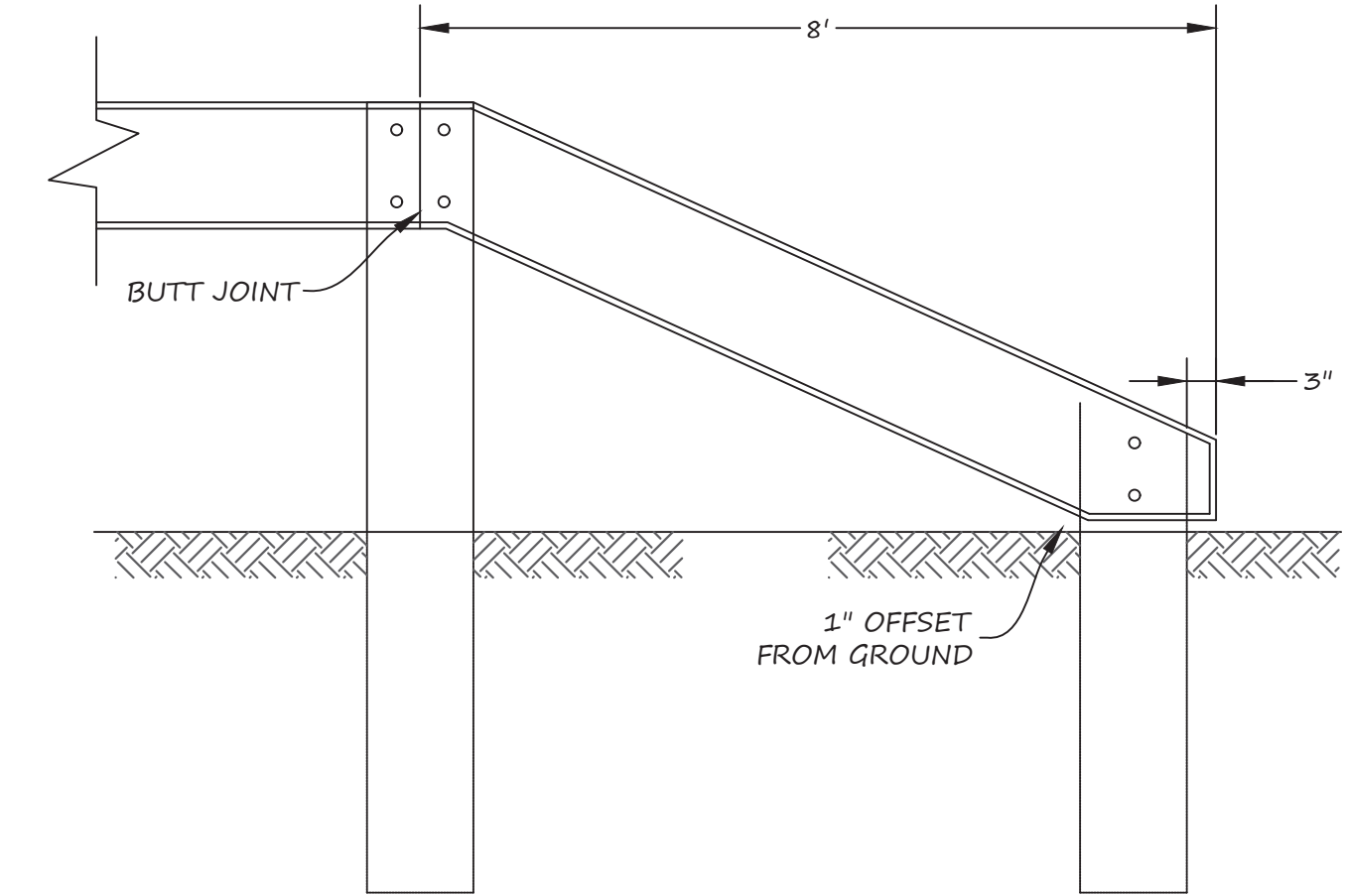
- 30" MUTCD R1-1 "STOP"

TYPICAL SIGN POST DETAIL

(NOT TO SCALE)



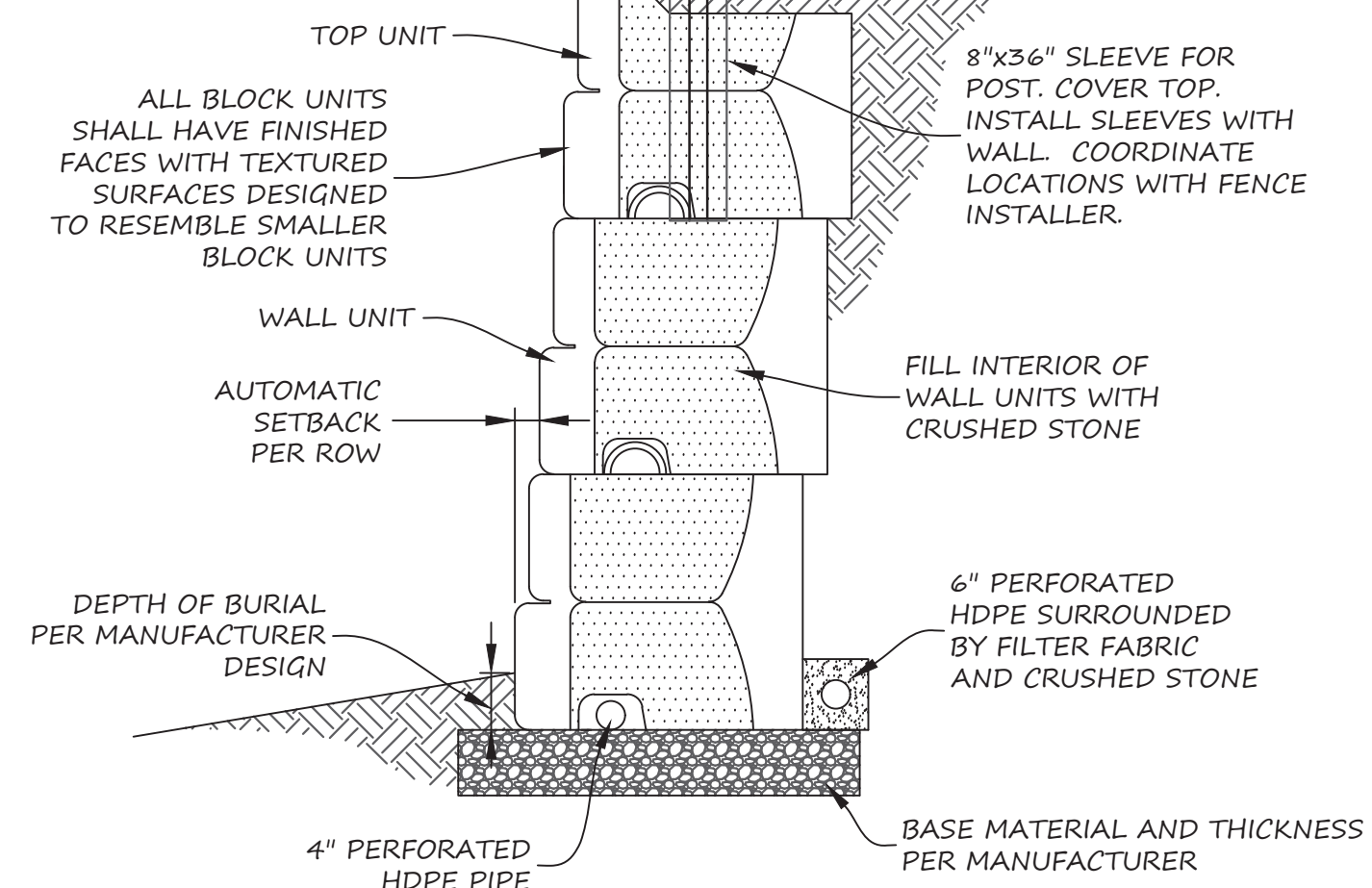
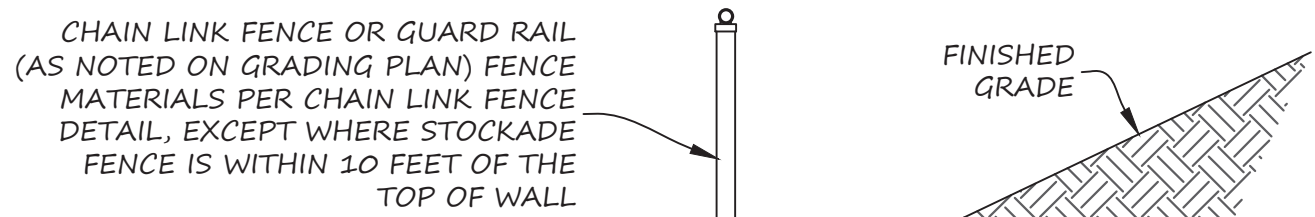
SIDE SECTIONAL VIEW



FRONT VIEW - TYPICAL END SECTION

WOOD GUARD RAIL DETAIL

(NOT TO SCALE)

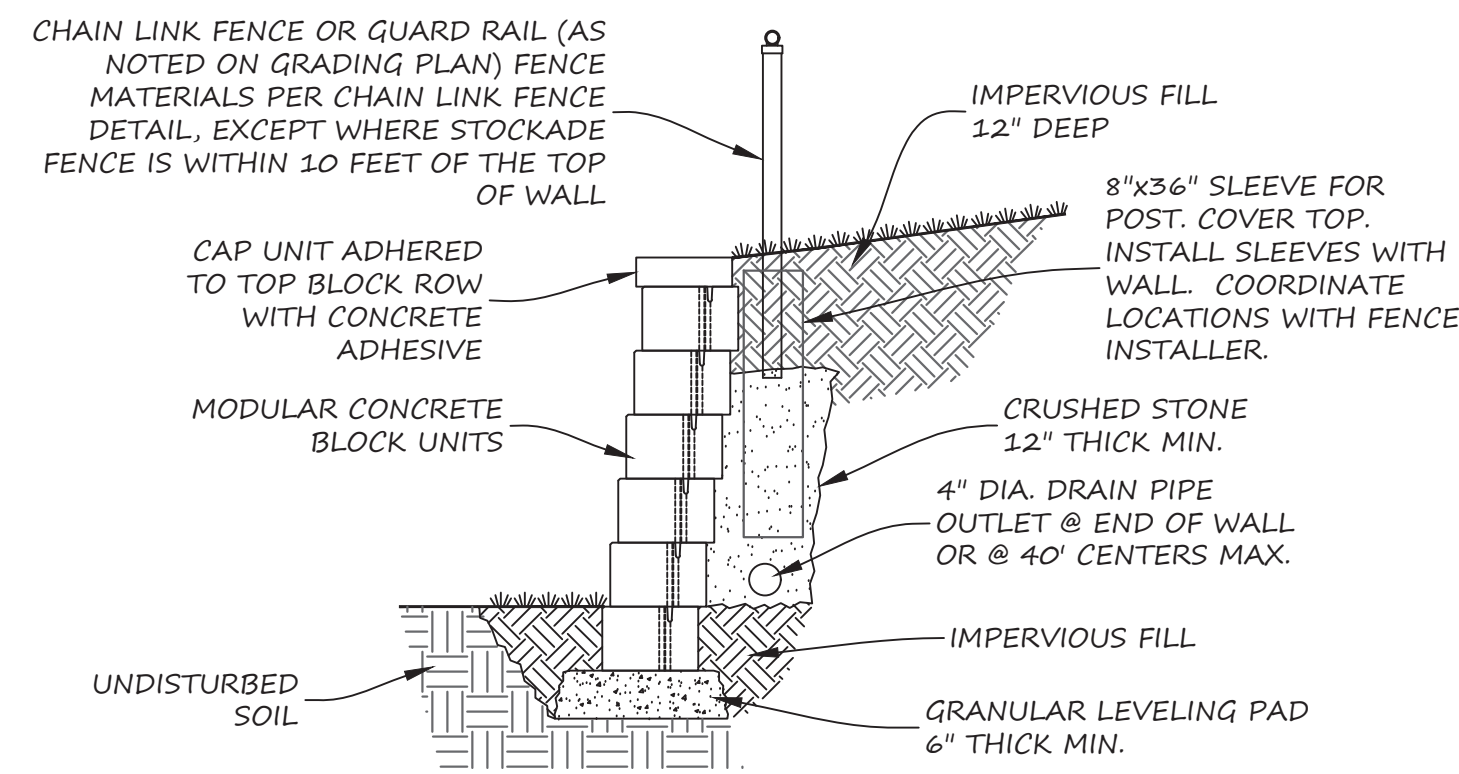


NOTES:

- RETAINING WALL SHALL BE OF THE SO-CALLED "BIG-BLOCK" GRAVITY WALL SYSTEMS. THE SYSTEM DEPICTED ON THIS PLAN IS THE "STONE STRONG" SYSTEM MANUFACTURED BY STONE STRONG, LLC. ALTERNATIVE SYSTEMS MAY BE ALLOWED BY THE OWNER.
- ANY SUBSTITUTIONS REQUIRE A NEW, MANUFACTURER SPECIFIC WALL DESIGN STAMPED BY A REGISTERED PROFESSIONAL ENGINEER, WITH A COPY SUBMITTED TO THE PLANNING BOARD AND BUILDING INSPECTOR.
- DAYLIGHT DRAIN PIPES AT EITHER END OF THE WALL.

"BIG BLOCK" WALL STANDARD DETAIL

(NOT TO SCALE)

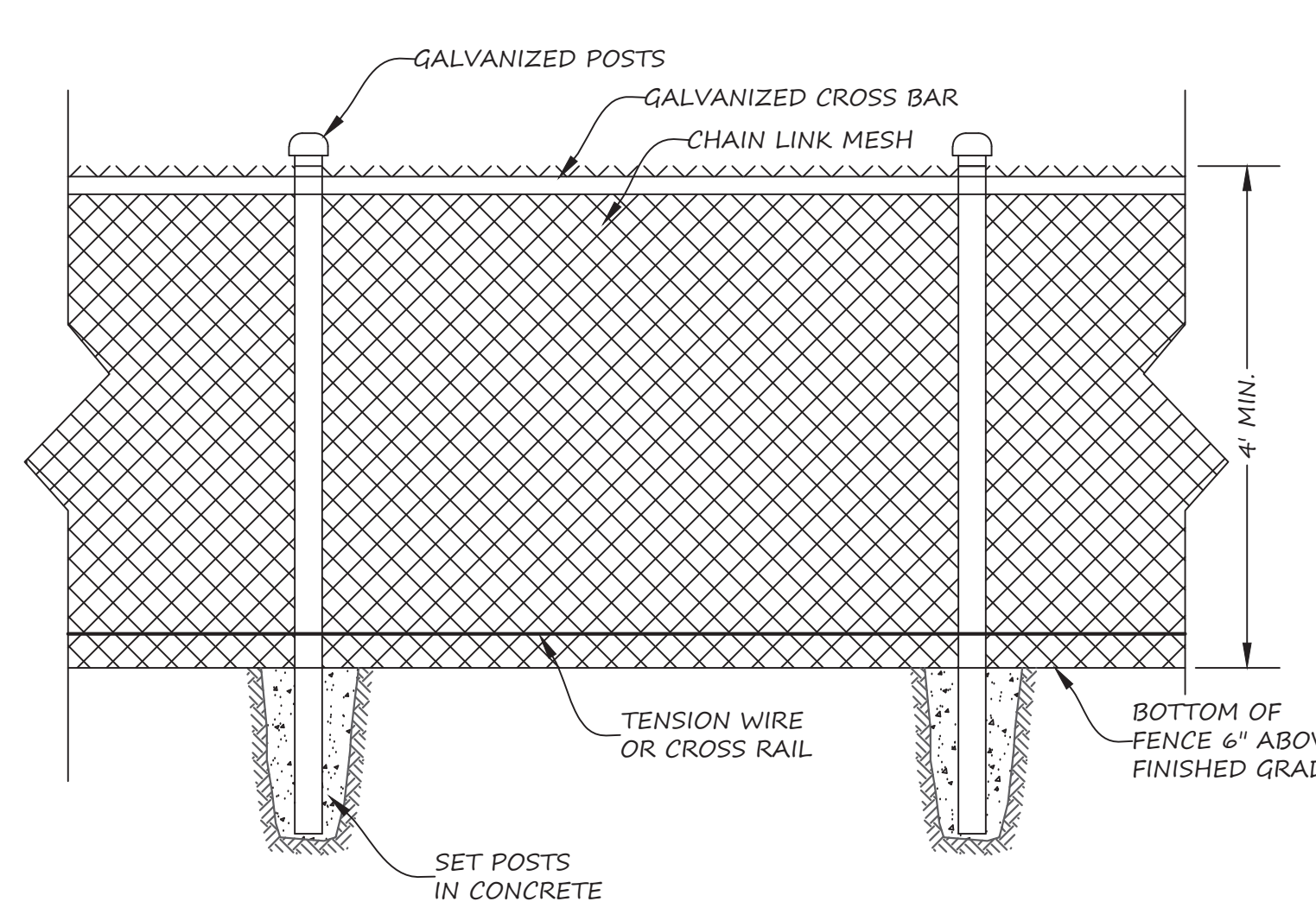


NOTES:

- SMALL BLOCK UNITS SHALL BE THE SQUARE FOOT PRODUCT BY VERSA-LOK OR APPROVED EQUAL. WALL HEIGHT WITHOUT REINFORCEMENT SHALL BE LIMITED TO 3.5' EXPOSED FACE.
- WALL HEIGHTS OVER FOUR FEET, INCLUDING FOOTING, MAY REQUIRE A BUILDING PERMIT AND/OR STRUCTURAL DESIGN. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY BUILDING PERMITS AND FOR PROVIDING STRUCTURAL WALL DESIGN MEETING THE REQUIREMENTS OF THE MASSACHUSETTS BUILDING CODE, AS DEEMED APPLICABLE BY THE BUILDING INSPECTOR.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

TYPICAL "SMALL BLOCK" RETAINING WALL

(NOT TO SCALE)

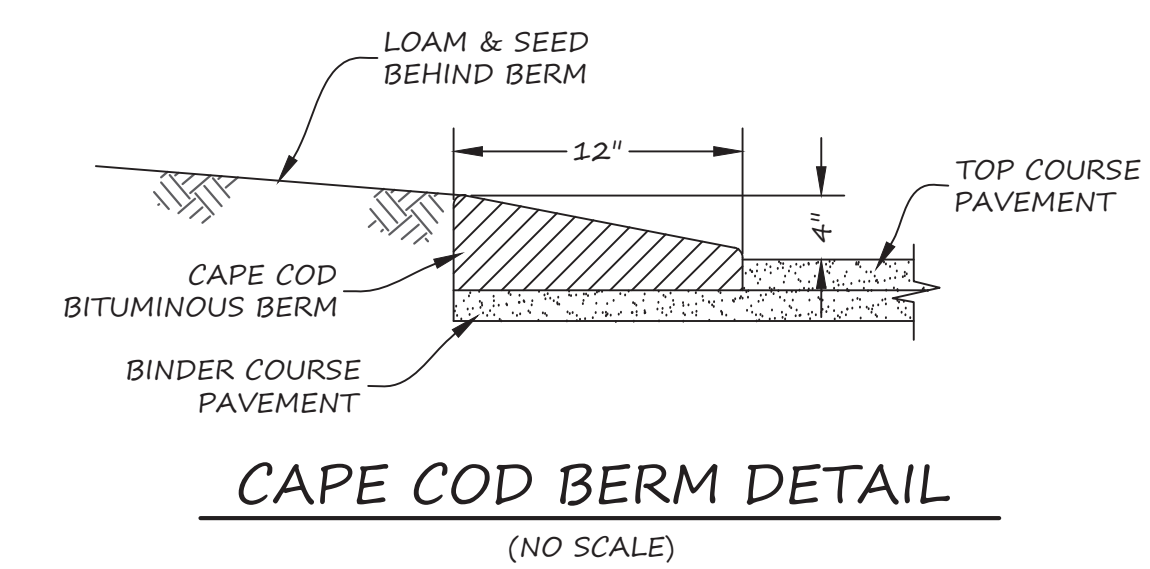


NOTES:

- ALL METAL COMPONENTS TO BE GALVANIZED OR VINYL COATED
- FENCE TO BE INSTALLED WITH FINISHED SIDE FACING ABUTTING PROPERTIES.

CHAIN LINK FENCE DETAIL

(NOT TO SCALE)



CAPE COD BERM DETAIL

(NO SCALE)

OWNERS
BRUCE J. HUNCHARD
496 SUMMER STREET
FRANKLIN, MA 02038

TIMOTHY JONES
488 SUMMER STREET
FRANKLIN, MA 02038

APPLICANT
SUEJO CORP.
P.O. BOX 934
WRENTHAM, MA 02093

ZONING DISTRICT
RURAL RESIDENTIAL 1
SENIOR VILLAGE OVERLAY
ZONE II (PARTIAL)

ASSESSORS PARCEL
302-006-000
302-008-000

PLAN & DEED REFERENCE
CTF. NO. 209710
CTF. NO. 161598
L.C. PLAN 41284A

DATE APPROVED: _____

DATE ENDORSED: _____

TOWN OF FRANKLIN PLANNING BOARD



Digitally signed by Daniel J. Merrikin, P.E.
Date: 2024.01.30 14:21:33 -05'00'

PLAN SCALE: NOT TO SCALE

REVISION	DATE	BY

PLAN DATE: JANUARY 26, 2024

AUTUMN HILL SENIOR VILLAGE
DETAILS
PLAN OF LAND IN
FRANKLIN, MA

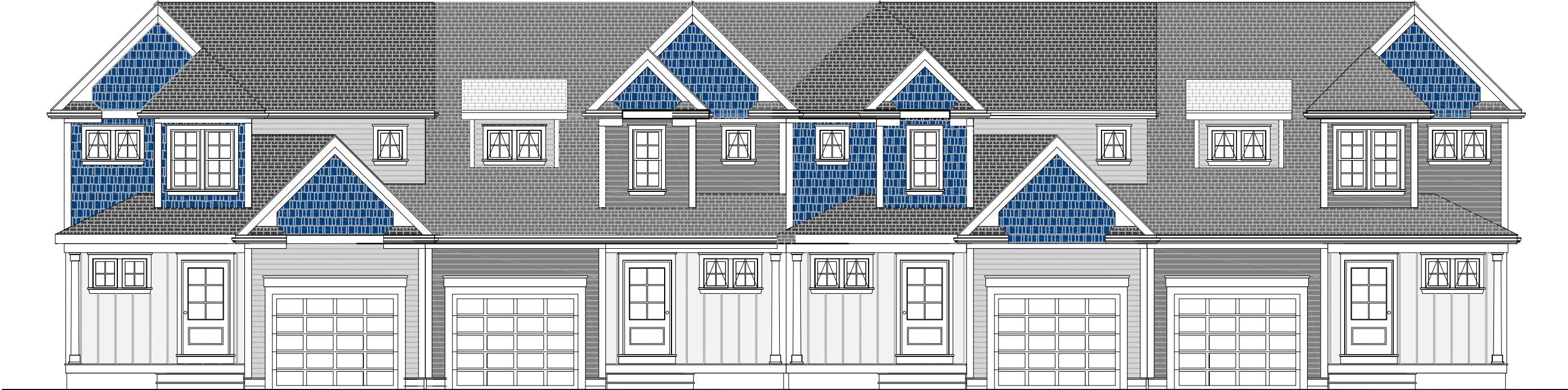
730 MAIN STREET
SUITE 2C
MILLIS, MA 02054
508-376-8883(o)



AUTUMN HILL CONDOS

FRANKLIN, MA

4 UNIT FRONT ELEVATION



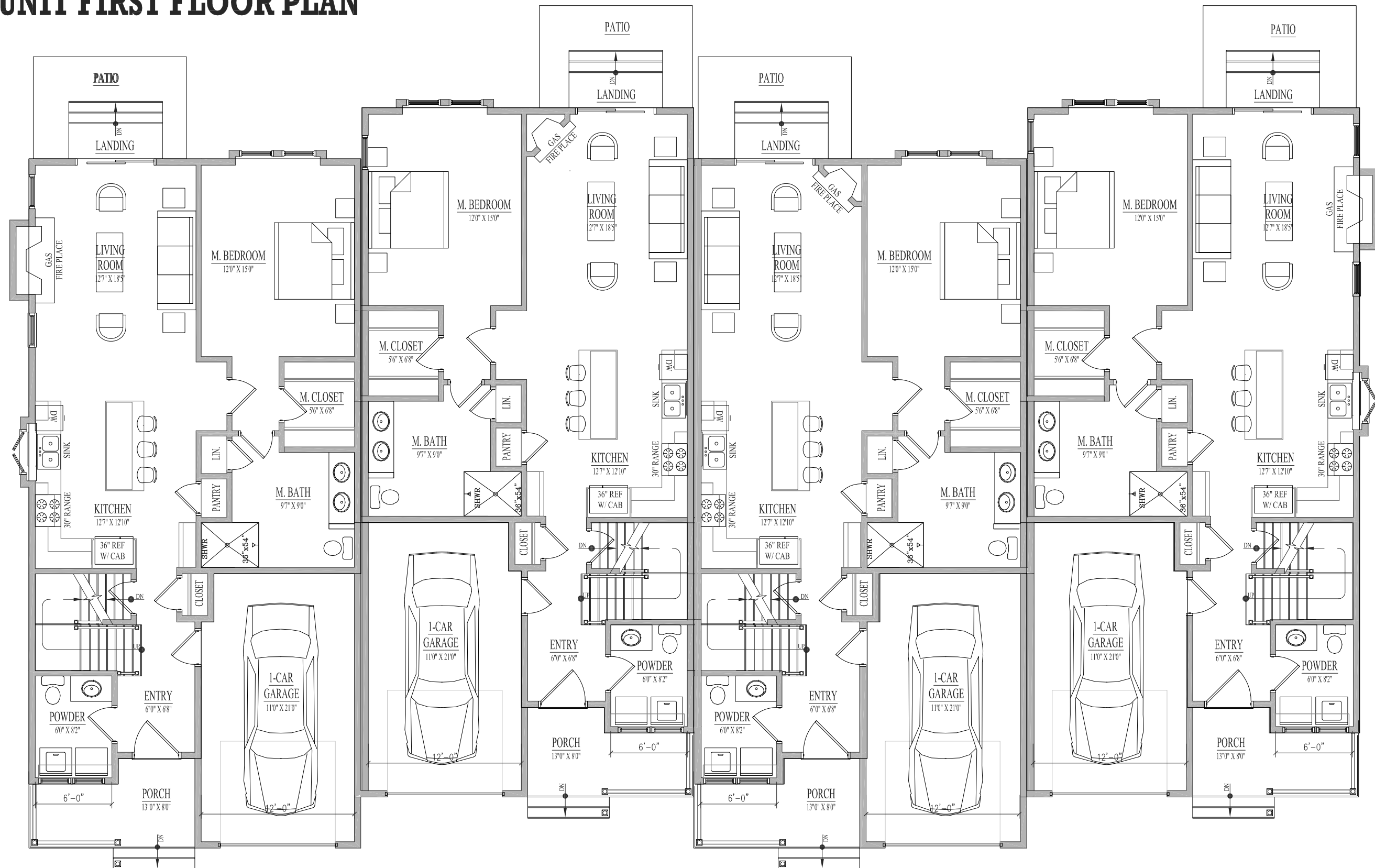
TYPICAL SIDE ELEVATION



AUTUMN HILL CONDOS

FRANKLIN, MA

4 UNIT FIRST FLOOR PLAN



AUTUMN HILL CONDOS

FRANKLIN, MA

4 UNIT SECOND FLOOR PLAN



Town of Franklin



Design Review Commission

**Tuesday, January 9, 2024
Meeting Minutes**

Chair Sam Williams called the above-captioned meeting to order this date at 7:00 PM, as a remote access virtual Zoom meeting. Members in attendance: Chair Sam Williams, Vice Chair Paul Lopez, Cassandra Bethoney. Members absent: Amy Adams, Andrew Pratt, Associate James Bartro. Also present: Maxine Kinhart, Administrative Staff.

As stated on the agenda, due to the continued concerns regarding the COVID-19 virus, this meeting will be conducted as a remote/virtual Design Review Commission meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number, or citizens can participate by using the Zoom link provided on the agenda. This meeting was recorded.

1. Rockland Trust – 2 Main Street – Replace face on existing billboard.

Chair Williams said there were some complications with the item such as the existing variance. He said the town attorney was asked to take a look at this. He asked the applicant's representative if they would mind if this item were tabled while they get a ruling from the town attorney as to if Design Review Commission has the purview to even review this or if an existing variance is sufficient for what they are doing and they can bypass the Design Review Commission.

Mr. Bryan Michener of Sign Design said he had a meeting with the applicant today, and they are convinced that they are permitted through the state for this as a billboard. He said they are trying to figure out who has jurisdiction over this billboard. Chair Williams reviewed that a variance was granted by the Town previously for this, and he noted concerns that complicate this. He reiterated that the Design Review Commission was going to table this item while it is being reviewed.

Motion: To **Table** the Rockland Trust submission to the next meeting. Motioned by P. Lopez. Seconded by C. Bethoney. Roll Call Vote: Lopez-YES; Bethoney-YES; Williams-YES. Voted 3-0-0.

2. Valvoline – 490 West Central Street – Replace 2 building signs and a double-sided pylon – from Jiffy Lube to Valvoline.

Mr. Bryan Michener of Sign Design said the pylon sign at the entrance to the building is not being modified; they are just doing the logo, so it does not change size. He said they are adding a parapet to the building, taking off the awning, and putting the 45 sq. ft. Valvoline logo wall sign on there. He said they will be replacing the existing cabinet face. He said they are also adding bay indicators.

Chair Williams said the bay indicators would be considered directional signs.

Ms. Bethoney questioned that since the business ownership is changing, should the Design Review Commission discuss they pylon as it is a different owner. Chair Williams discussed that previously they have allowed people to use the existing mounting system. He said he has concerns about the lollipop signs versus the two-legged signs. He said as it is a new owner, he can see where they would have to do a two-legged sign there. Mr. Lopez said it feels like it is too much of a hardship to have the new owner rip down an entire sign. Chair Williams said it clearly needs a coat of paint.

Mr. Michener said they had the sign and the post surveyed, and they will be painting the post when they install the sign.

Chair Williams said he is of the mind that it is there, and they are going to make it look better. Ms. Bethoney said that since the infrastructure is set in place, it does not make good sense to make them replace it. Chair Williams discussed that the building sign is 45 sq. ft., and they are not on a corner. He reviewed the locations of the proposed signs. He said they can do the sign facing the street, but not the sign on the side. Mr. Lopez confirmed the 45 sq. ft. sign works in the front of the building.

Mr. Michener asked what could be done if the applicant wanted to put two signs. Chair Williams said the only time an applicant is allowed to do two signs is if it is on a street corner facing two different streets.

Mr. Michener, in response to a question, said that on his end, he is not proposing any other signage. He said the lighting for the pylon is LED lights. He said Valvoline is producing their own signs. He said he is not sure if they are lighting the building sign, but he can find out. Chair Williams said the white part of the pylon sign will have to be opaque, so it does not shine bright white. Mr. Michener said he would let them know that; it would not be an issue.

Motion: To **Approve** the sign package as submitted with the stipulation that the side sign is eliminated, and the white face within the free-standing sign is opaqued. Motioned by C. Bethoney. Seconded by P. Lopez. Roll Call Vote: Lopez-YES; Bethoney-YES; Williams-YES. Voted 3-0-0.

3. Della Mane Salon – 357 Union Street – Replace awnings and street sign panels.

Mr. Cam Afonso of Signs by Cam, Inc. said this is the old La Cantina building which was sold to these new owners; this is a new salon. He said they are replacing the old awnings; they are using the existing frames and putting new skins on them. He said they also have a little free-standing sign in the front which will be getting two new faces. He said the applicant is not doing anything else.

Motion: To **Approve** the sign package as submitted. Motioned by C. Bethoney. Seconded by P. Lopez. Roll Call Vote: Lopez-YES; Bethoney-YES; Williams-YES. Voted 3-0-0.

4. Gem Skincare and Aesthetics – 51 West Central Street – One sign mounted on the front fascia as drawn.

Mr. Rocco Cavallaro of Cavallaro Signs was not present at the meeting.

Chair Williams suggested they can discuss this without the applicant present. Mr. Lopez asked about illumination. Chair Williams said he does not think the sign is illuminated. He said they can request the applicant return to the Design Review Commission if they are going to do any additional signs. Ms. Bethoney said it seems to meet the size requirements. Chair Williams noted that as this is not downtown, it cannot be illuminated.

Motion: To **Approve** the sign package as submitted with the stipulation that the sign is not internally illuminated. Motioned by P. Lopez. Seconded by C. Bethoney. Roll Call Vote: Lopez-YES; Bethoney-YES; Williams-YES. Voted 3-0-0.

GENERAL MATTERS

Approval of Minutes: December 12, 2023

Motion: To **Approve** the December 12, 2023 Meeting Minutes. Motioned by P. Lopez. Seconded by C. Bethoney. Roll Call Vote: Lopez-YES; Bethoney-YES; Williams-YES. Voted 3-0-0.

Old Business

None.

New Business

Ms. Bethoney questioned the approval of the Big Y's signs and asked about the illumination. She said those signs are extremely bright at night, and she does not know if they are adhering to the stipulations. Mr. Lopez said they are grandfathered, but he does not know if the brightness changed. Chair Williams said they could ask them to tone it down. He said the Design Review Commission is trying to avoid blinding lights. He said they can have Building Commissioner Gus Brown mention it to Big Y to tone it down. He said he does not know if there is a way to measure the brightness as compared to before the sign was replaced. He said he would mention it to Mr. Brown.

Ms. Bethoney asked if they were tabling the discussion on changes to the regulations. Chair Williams said nothing has moved on that front. He said he needs to speak with Director of Planning and Community Development Bryan Taberner as to where they are on that. He said he knows that there is a subcommittee that is trying to make this group have a little more influence. Ms. Bethoney said she does not want them to lose sight of regulation changes as there was much effort put into it.

Motion: To **Adjourn** by P. Lopez. Seconded by C. Bethoney. Roll Call Vote: Lopez-YES; Bethoney-YES; Williams-YES. Voted 3-0-0.

Meeting adjourned at 7:29 PM.

Respectfully submitted,

Judith Lizardi
Recording Secretary