

**DESIGN REVIEW COMMISSION
AGENDA**

**November 10, 2020
7:00 PM.**

Virtual Meeting

Due to the growing concerns regarding the COVID-19 virus, we will be conducting a remote/virtual Design Review Commission Meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number (Cell phone or Landline Required) OR citizens can participate by copying the link (Phone, Computer, or Tablet required).

Please click on <https://us02web.zoom.us/j/85973064775> or call on your phone at 1-929-205-6099, meeting ID is 85973064775.

- 7:00 PM** **AAA** – 85 Franklin Village Drive
Install signs for AAA: Wall sign – Internally illuminated, Under Canopy sign, Door
- 7:05 PM** **Stop & Shop** – 40 Franklin Village Drive
8 Online Pick-up aluminum signs on concrete bases, Online Pick-up directional sign
- 7:10 PM** **S&L Therapy** – 524 West Central Street
Replace Graphics on existing wall mount light box and free standing directory
- 7:15 PM** **Imperial Dade** – 300 Financial Park Drive
Install channel letters – LED internal illumination, 8’ low voltage whips, 1/8” Alupanel backers, 040 x 3” Aluminum returns. 3/16” acrylic face with graphics
- 7:20 PM** **94/88 East Central Street – Mixed Use** – 94/88 East Central Street
Restoration of existing house and construction of new addition

General Matters:

Approval of Minutes: 10/20/2020

COMMENTS: These listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

This agenda is subject to change. Last updated: November 4, 2020

The next meeting of the Design Review Commission is scheduled for November 17, 2020

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: AAA
Property Address: 85 FRANKLIN VILLAGE (5-246)
Assessors' Map # 270 Parcel # 014
Zoning District (select applicable zone): B
Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: HEATHER HOPKINS DUDKO
Address: 27 OLD MEETINGHOUSE ROAD
AUBURN, MA 01501
Telephone Number: 508.612.6954 hwoodhopkins@charter.net
Contact Person: HEATHER HOPKINS DUDKO

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: AAA (CORPORATE) Property Owner: CEAR FRANKLIN VILLAGE LLC
Address: 1000 AAA DRIVE 44 SOUTH BALS AVE.
HEATHROW, FL 32746 PORT WASHINGTON, NY
11050

All of the information is submitted according to the best of my knowledge

Executed as a sealed instrument this

day of 20

Heather Dudko

Heather Dudko, Agent

Signature of Applicant

Signature of Owner

HEATHER DUDKO

CEAR FRANKLIN VILLAGE LLC

Print name of Applicant

Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: NATIONAL SIGN CORPORATION
Contact Person: LYCE HASSMANN
Address: 180 FOLYBOD ROAD - BRUNY, CT 06037
Telephone Number: (860) 829-9060

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address: _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: INSTALL SIGNS FOR AAA:
• WALL SIGN AT 30 SQ FT. (INTERNALLY ILLUMINATED)
• UNDER CANOPY SIGN AT 5 SQ FT
• DOOR VINYL LETTERS

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

James



55&44

COLORS

- POPPY RED VINYL/CLOSEST MATCH TO PMS 485C
- SULTAN BLUE VINYL/CLOSEST MATCH TO PMS 287C

GENERAL NOTES

- > REMOVE EXISTING UNDERCANYOPY SIGN & RELOCATE TO NEW TENANT SPACE
- > REMOVE EXISTING VINYL & INSTALL NEW COMPLIANT MASTERBRAND/TAGLINE
- > (2) SETS OF NEW VINYL GRAPHICS

POWER REQUIREMENTS:

- * EXISTING POWER (120V)

| | | | | | | | | | |
|--|---|---|----------------------------------|--|---|---|---|---|-----------------------|
| <p>NATIONAL SIGN CORPORATION www.nationalsign.com</p> | <p>CONNECTICUT 780 Four Road Rd. Plainville, CT 06062 Phone: 860-261-5454</p> | <p>MASSACHUSETTS 21 Linnard Way North Attleboro, MA Phone: 508-852-5454</p> | <p>STATE OF CONNECTICUT </p> | <p>285 FRANKLIN VILLAGE DR FRANKLIN, MA p4444franklinvillage.com</p> | <p>STATE OF MASSACHUSETTS 667B/04 B/17/20</p> | <p>INDUSTRIAL BUILDING RYLIE KH</p> | <p>DATE: 11/22/20 BY: [Signature]</p> | <p>THIS SIGN IS APPROVED BY THE NATIONAL SIGN CORPORATION. THE NATIONAL SIGN CORPORATION IS NOT RESPONSIBLE FOR ANY DAMAGE TO THE SIGN OR THE BUILDING OR THE SIGNAGE OF OTHER TENANTS. THE SIGNAGE OF OTHER TENANTS IS THE PROPERTY OF THE SIGNAGE CONTRACTOR.</p> | <p>UL E16-024</p> |
| | <p>The Drawing is Property of National Sign Corporation and all rights to it shall remain for the duration of the term of the contract.</p> | | | | | | | | |

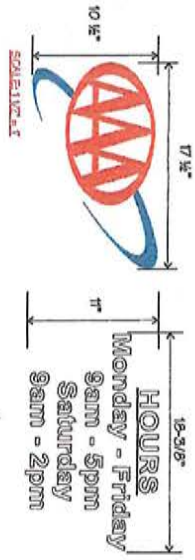
Door Vinyls

Approved

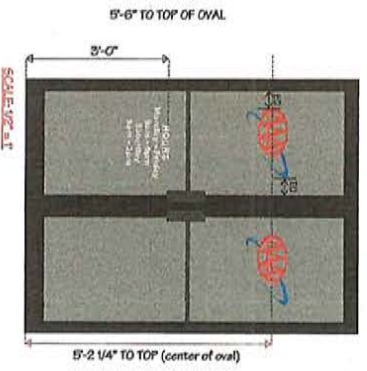
Approved by AAA National 11/22/20



SCALE: 3/8" = 1'



- COLORS**
- SULTAN BLUE/PMS 287c
 - PORTY RED/PMS 485c
- GENERAL NOTES**
- 2ND SURFACE APPLICATION
 - QTY: (2) STANDARD SIZE POOR LOGOS
- COLORS**
- MATTE WHITE
- GENERAL NOTES**
- 2ND SURFACE APPLICATION
 - QTY: (1) SET OF HOURS
 - KH CONTRAINED HOURS **NEW**



SCALE: 1/2" = 1'

NATIONAL SIGN CORPORATION
 WWW.NATIONALSIGN.COM

CONNECTICUT
 780 Four Four Rd.
 Berlin, CT 06037
 Phone) 833-6066

MASSACHUSETTS
 21 Linden Hill
 North Attleboro, Ma
 Phone) 508-4538

MAINE
 240 FRANKLIN VILLAGE DR
 FRANKLIN, MA
 Phone) 508-882-8888

NEW YORK
 66750-02
 81-1720

NEW JERSEY
 KYLE
 KH

NEW YORK
 66666
 KH

UL E61003



SCALE: 3/8\"/>



SCALE: 3/8\"/>

30 sq. ft.

- ▶ POPPY RED VINYL CLOSEST MATCH TO PMS 485C
- ▶ SALTAIN BLUE VINYL CLOSEST MATCH TO PMS 287C

GENERAL NOTES

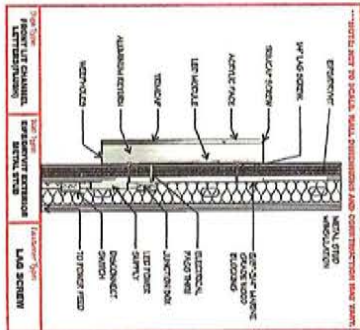
- ▶ 3\"/>

LETTERS

- ▶ 3\"/>

ELECTRICAL REQUIREMENTS:

- (1) 20 AMP - 120 VOLT CIRCUITS
- SIGN ON/OFF SWITCH
- PROPOSED SIGN 30 sq. ft.
- STOCK FRONT WIDTH 28\"/>



Approved by AAA National 11/2/20

NATIONAL SIGN CORPORATION
 WWW.NATIONALSIGN.COM
 CONNECTICUT 760 Four Road Rd., Branford, CT 06407
 MASSACHUSETTS 21 Lumbard Ave., North Attleboro, MA 01937



200 FRANKLIN VILLAGE DR
 DANVER, MA 01923
 978.251.1111

667-80-01
 81720
 KYLE
 KH

11/2/20
 EIG-024

Moving to SPACE #14.

Current SPACE #32



| | | | | | |
|----|----------------------|------------|----|---------------------------|----------|
| 1 | Chrysler Moving Inc | 4,500 SF | 29 | Maths & Mill | 4,749 SF |
| 2 | Franchise Suite | 4,500 SF | 30 | Papa John's | 4,520 SF |
| 3 | MV Support | 3,500 SF | 31 | Longhorn Supermarket | 4,523 SF |
| 4 | AT&T | 3,500 SF | 32 | AAA RepairShop24 | 3,520 SF |
| 5 | AT&T Mobility | 140,000 SF | 33 | AAA | 1,000 SF |
| 6 | Stop & Shop | 70,000 SF | 34 | Auto Beauty Detail | 1,000 SF |
| 7 | George Mason Library | 4,400 SF | 35 | Eye Care Optics | 2,500 SF |
| 8 | AMN & Baby Works | 2,500 SF | 36 | Warner Bros | 4,900 SF |
| 9 | SuperFruit | 15,000 SF | 37 | Flower City | 1,000 SF |
| 10 | Learning Center | 2,500 SF | 38 | 3-Strike Salon | 2,170 SF |
| 11 | Bank of America ATM | 270 SF | 39 | Jeffrey Dean Contemporary | 1,000 SF |
| 12 | AT&T | 1,000 SF | 40 | Artis Group | 2,500 SF |
| 13 | Farmer's Footwear | 7,000 SF | 41 | Reader Service | 2,000 SF |
| 14 | AAA LAB | 6,000 SF | 42 | Madison Area Arts | 1,200 SF |
| 15 | Bozeman Family Salon | 1,000 SF | 43 | Sun Inc | 1,000 SF |
| 16 | IZAL | 1,000 SF | 44 | E. Area Workforce | 1,000 SF |
| 17 | Shari's Warehouse | 3,000 SF | 45 | Spa & Salon | 1,000 SF |
| 18 | AAA | 1,000 SF | 46 | Walmart Super | 1,000 SF |
| 19 | AAA | 1,000 SF | 47 | AAA | 1,000 SF |
| 20 | AAA | 1,000 SF | 48 | AAA | 1,000 SF |
| 21 | AAA | 1,000 SF | 49 | AAA | 1,000 SF |
| 22 | AAA | 1,000 SF | 50 | AAA | 1,000 SF |

AAA - Current SPACE #32
moving to SPACE #14.

85 Brinkley Village SPACE #14

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Stop + Shop

Property Address 40 Franklin Village Dr.

Assessors' Map # 270 Parcel # 014

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Agnoli Sign Co.

Address: 722 WORTHINGTON ST
SPRINGFIELD MA 01105

Telephone Number: 413-221-6298

Contact Person: CHRISTINA MOREAU

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: STOP + SHOP
Address: 1385 Hancock St.
POLOCY, MA

Property Owner: Cedar Realty Trust
44 Bayles Ave
PORT WASHINGTON, NY

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this 29 day of OCTOBER 20

Christina Moreau
Signature of Applicant

attached
Signature of Owner

CHRISTINA MOREAU
Print name of Applicant

Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**
SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: AGNOLI SIGN CO., INC.
722 Worthington St.
Contact Person: CHRISTINA MOREAU P. O. Box 1055
Address Springfield, MA 01101-1055
Telephone Number: 413-221-6298

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: 8 - 18" x 24" online pick-up
ALUMINUM SIGNS ON CONCRETE BASES.
1 - 18" x 24" online pick-up directional sign

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. yes

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. yes

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. yes

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. yes

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. yes

6. **Facade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: yes

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. yes

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties.

Colors are in keeping with new Stop + Shop signs

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable.

N/A

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements.

NO LIGHTING

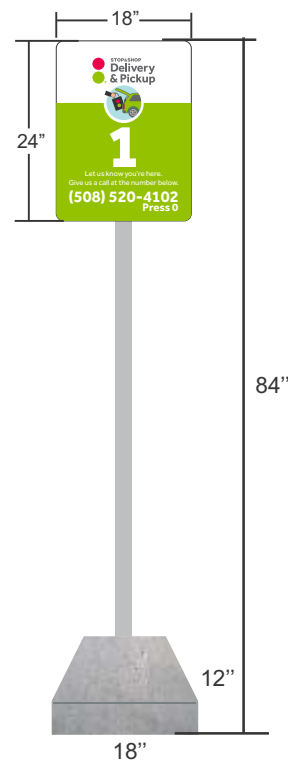
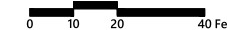
11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.

N/A

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.



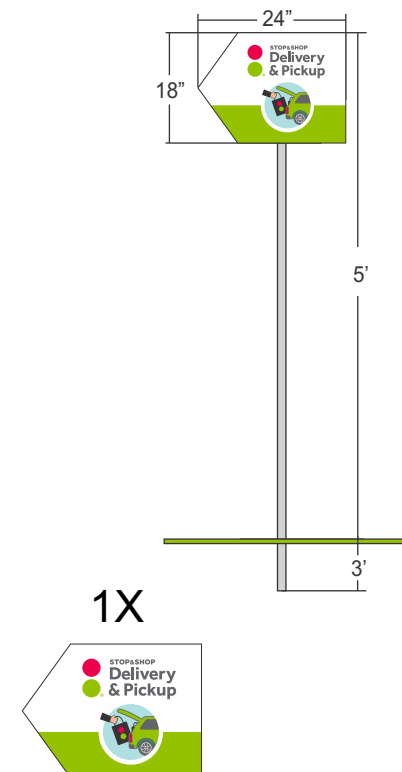
101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770



LAMINATED PRINTS ON ALUMINUM BLANKS
GALVANIZED POST
CEMENT BASE

Parking Sign
N.T.S.

01/19
Agnoli Sign



18" X 24" .080 ALUMINUM DIRECTIONAL SIGN WITH LAMINATED VINYL PRINT
GALVANIZED U-CHANNEL POST

Wayfinding Sign
N.T.S.

Agnoli Sign

SIGNS 1-8 SINGLE FACED



24" X 18" LAMINATED PRINTS ON ALUMINUM BLANKS

Parking Sign

N.T.S.

Agnoli Sign

Stop & Shop Pickup Store #472

40 Franklin Village Drive
Franklin, MA

| No. | Revision | Date | Appd. |
|-----|----------|------|-------|
| | | | |
| | | | |
| | | | |

| Designed by | Checked by |
|-------------|------------|
| | |

| Issued for | Date |
|---------------|--------------|
| CLIENT REVIEW | May 11, 2020 |

Not Approved for Construction

Site Aerial Exhibit

Drawing Number

C-1

Sheet 1 of 1

Project Number
14367.00

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: S&L Therapy

Property Address 524 West Central Street

Assessors' Map # 270-012-000-000 Parcel # _____

Zoning District (select applicable zone): Business

Zoning History: Use Variance _____ N/A

Non-Conforming Use _____ N/A

B) Applicant Information:

Applicant Name: _____

Address: EXPRESS SIGN & GRAPHICS, INC.
9B Kidder Road
Chelmsford, MA 01824

Telephone Number: 978 250 9890

Contact Person: Ann Durso

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Jasmine Gillis Property Owner: Ryan Development

Address: 68 Harvard Street 4 Lan Drive
Brookline, MA 02445 Westford MA 01886

All of the information is submitted according to the best of my knowledge

Executed as a sealed instrument this _____ day of _____ 20____

Ann Durso
Signature of Applicant

[Signature]
Signature of Owner

Ann M. Durso
Print name of Applicant

Jasmine Urganhart Gillis
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: EXPRESS SIGN & GRAPHICS, INC.
9B Kidder Road
Contact Person: Ann Durso
Chelmsford, MA 01824
Address _____
Telephone Number: 978 250 9890

b. Architect/Engineer (when applicable)

Business Name: N/A
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: Replace graphics on existing wall
Mount lightbox and free standing directory

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

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1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
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4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.



9B Kidder Road
 Chelmsford, MA 01824
 978-250-9890
 Fax: 978-250-0975
 E-Mail: ann@signs123.net

THIS IS YOUR PROOF FOR APPROVAL SIGN OFF ON THIS ARTWORK CONSTITUTES YOUR APPROVAL OF SIZE, COLORS, INSTALL METHOD TEXT, ETC. ONCE APPROVED, EXPRESS SIGN IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS. PLEASE REVIEW CAREFULLY.

SUBMITTAL

524 West Central Street
 Franklin, MA

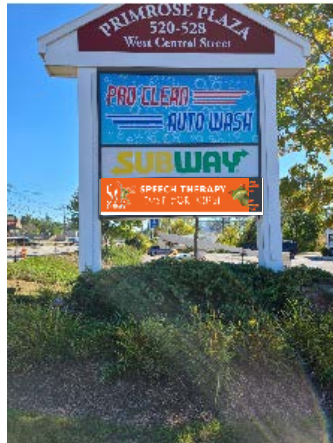
New Sign



Existing Sign



New Sign



Existing Sign



Customer Approval: _____ Date: _____



9B Kidder Road
Chelmsford, MA 01824
978-250-9890
Fax: 978-250-0975
E-Mail: ann@signs123.net

THIS IS YOUR PROOF FOR APPROVAL SIGN OFF ON THIS ARTWORK CONSTITUTES YOUR APPROVAL OF SIZE, COLORS, INSTALL METHOD TEXT, ETC. ONCE APPROVED, EXPRESS SIGN IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS. PLEASE REVIEW CAREFULLY.

SUBMITTAL

524 West Central Street
Franklin, MA



- 2 - 81.5 x 18.5 Lexan Faces with Full Color Graphics
 - 1 - 119.38 x 35.38 Panel with Full Color Graphics
- Installation into Existing Signs

Customer Approval: _____ Date: _____

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Imperial Dade

Property Address 300 Financial Park Drive

Assessors' Map # 321 Parcel # 321-060-000-000

Zoning District (select applicable zone):

Zoning History: Use Variance
Non-Conforming Use

B) Applicant Information:

Applicant Name: Luka B Signs

Address: 39 Tremont Street
Taunton, MA 02780

Telephone Number: (508) 822-9033

Contact Person: Shanna Bento

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Imperial Dade Property Owner: 431 WASHINGTON LLC
Address: 300 Financial Park Drive ONE FINANCIAL PLAZA SUITE 1700
Franklin, MA 02038 HARTFORD, CT 06103

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this 4th day of November 2020

Alexandra Bento
Signature of Applicant

Denis Cygan
Signature of Owner

Alexandra Bento
Print name of Applicant

Denis Cygan As Agent for Owner
Print name of Owner

*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: Luka B Signs

Contact Person: Shanna Bento

Address 39 Tremont Street, Taunton, MA 02780

Telephone Number: (508) 822-9033

b. Architect/Engineer (when applicable)

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

E) Work Summary

Summary of work to be done: X2 CHANNEL LETTERS - LED INTERNAL ILLUMINATION,

8' LOW VOLTAGE WHIPS, 1/8" ALUPANEL BACKERS, 040 X 3" ALUMINUM RETURNS,

3/16" ACRYLIC FACE WITH GRAPHICS

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
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1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. _____

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area.

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. _____

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. _____

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. _____

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: _____

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. _____

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. _____

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. _____

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. _____

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

ADDENDA

INSTRUCTIONS FOR COMPLETION OF FORM Q-DESIGN REVIEW APPLICATION

A. General Information

- Please list name of Business as it will appear on sign or name of project or development, as the case may be, as well as the property address
- Assessors' Map & Parcel numbers may be obtained from tax bill, Town website @ www.franklin.ma.us/Town/Assessors/PropertyTax or from the computer located outside the Assessor's Office, first floor, Municipal Building, 355 East Central Street.
- Zoning District and Zoning History information may be obtained at the Building Department, 1st floor, Municipal Building

B. Applicant Information – complete and include name of contact person w/ phone number

C. Owner Information – if business owner and property owner are not the same, please include information for both. If signage is within a shopping plaza—obtain letter of approval of sign changes from plaza owner.

Page 2 –

D. Architect/Engineer or Sign Company Information:

- Signs only – Name of Sign Company and Contact Person
- Developments & Projects – Engineer and Architect Information as well

E. Work Summary: Include brief summation of work to be done

Pages 3 & 4

F. Information & Materials to be Submitted w/Application

a) SIGNS ONLY –

- Nine (9) Copies of sign drawings and photos, which include information listed on Page 2 of the application

b) SITE PLAN APPLICATIONS FOR BUILDINGS/DEVELOPMENTS/PROJECTS.

- Nine (9) Copies of all plans including information listed on Page 2 of application.
- Please bring samples of siding and roofing materials and paint color samples to the meeting when scheduled.

DESIGN STANDARDS – For Buildings/Projects and Developments, please complete Pages 3 and 4 as they apply to your project.

ALL APPLICATIONS WITH NINE (9) COPIES OF SUPPLEMENTARY INFORMATION MUST BE FILED BY CLOSE OF BUSINESS ON WEDNESDAY PRIOR TO THE FOLLOWING TUESDAY MEETING. MEETINGS ARE GENERALLY TWICE A MONTH THE 2ND & 4TH TUESDAY OF THE MONTH.

FOR SIGN APPLICATIONS ONLY, YOU NEED ONLY COMPLETE PAGES 1 & 2 OF APPLICATION.

APPROXIMATE SCALE



APPROXIMATE SCALE



SIGNAGE DETAILS PLEASE REVIEW ALL INFORMATION FOR PRODUCT ACCURACY & SATISFACTION BEFORE APPROVING

(x2) 72"H x 186"W x 3"D (Entire Sign Dimension) Internally-Lit LED Channel Letter Sign (UL-Listed). 1/8" Composite Aluminum Backers, .040" x 3" Aluminum Returns [White], 3/16" Acrylic Faces, 1" Trim Cap [Blue/Black], 8' Low-Voltage Whips, Remote Power-Supplies In Paige Can. Back-Lit Printed & Laminated Graphics Installed Onto Individual, Custom-Shaped Acrylic Faces.
Channel Letters To Be Installed Flush With The Building Surface (No Extruded Raceway).

ORDER DETAILS/INFORMATION

Customer Name: **Imperial Dade**
Proof Date: **11/04/2020** Sent By: **Sean S.**

CUSTOMER APPROVAL

- Please Carefully Review ALL Spelling, Grammar, Logos, & Any Other Details Shown BEFORE Approving.
- Color reproduction will not be guaranteed until Pantone colors are provided.
- Production will not begin until approval has been sent.
- Design Approval must be sent via e-mail or signed in-person, NO EXCEPTIONS.
- (1) revision to the proof will be included, without incurring additional fees.
- Any further alterations will cost \$15.00 per revision.
- All Proofs & Renderings are the property of Luka B Signs & Apparel.
- Any reproduction without permission is prohibited.

APPROVED AS IS _____ / /
 WITH CHANGES _____ SIGNATURE DATE

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: 94/88 East Central - Mixed Use

Property Address 94/88 & 70/72 East Central Street, Franklin, MA 02038

Assessors' Map # 286 Parcel # 286-032/33-000

Zoning District (select applicable zone): Commercial One

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: 70 East Central Street, LLC

Address: 37 East Central st, Franklin, MA

Telephone Number: 508-507-9020

Contact Person: Brad Chaffee

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Same as Owner Property Owner: _____

Address: _____

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____



[Signature]
Signature of Applicant

[Signature]
Signature of Owner

[Signature]

Brad Chaffee
Print name of Applicant

Brad Chaffee
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: Kuth Ranieri Architects

Contact Person: _____

Address _____

Telephone Number: _____

E) Work Summary

Summary of work to be done: Restoration of existing house and construct new addition

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. Height of new addition will match existing house and meet height requirements in zoning bylaws

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. The proportions of doors and windows will match the architectural style of the new proposed mixed use building and existing house

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. The new addition will meet all setbacks and match the mass of the existing house

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. The roof shape of the addition is to match the existing house.

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. The scale of the new addition will line up with the existing house.

6. **Facade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: Facade materials will be a blend of traditional wood and metal.

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. Details and materials selections are designed to match historic and modernized look of the downtown.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. Once a business has leased the space, a sign design will be submitted

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. We are restoring the existing house to match historical style for original design

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. The addition will be designed to meet all current energy codes

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible. Frontage will be landscaped and parking is located ~~to~~ the side and rear.

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

88 EAST CENTRAL ST

PROPOSED DEVELOPMENT

OWNER: 70 E. CENTRAL STREET, LLC

OCTOBER 26, 2020



PREPARED BY
KUTRANIERI
a r c h i t e c t s



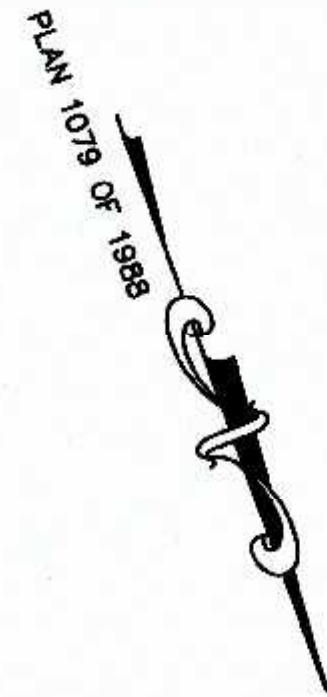






SITE PLAN MODIFICATION

70, 72, 88 AND 94 EAST CENTRAL STREET



LOCUS MAP
SCALE: 1" = 100'

70 AND 72 EAST CENTRAL STREET PROPERTY ARE LOCATED WITHIN A DOWNTOWN COMMERCIAL ZONE.
88 AND 94 EAST CENTRAL STREET PROPERTY ARE LOCATED WITHIN A COMMERCIAL I ZONE.
ZONING TABLE VALUES FOR #94 AND # 88 EAST CENTRAL STREET ARE BASED ON PARCELS "A" AND "B" BEING PART OF #94 EAST CENTRAL STREET AND ARE NOT REFLECTED AS PART OF # 88 EAST CENTRAL STREET.

| #94 EAST CENTRAL STREET - COMMERCIAL I ZONING DISTRICT | | | |
|--|---------------------|--------------|--|
| REQUIREMENTS: | EXISTING | PROPOSED | |
| AREA: | 5,000 S.F. | 33,725± S.F. | 37,203± S.F. |
| FRONTAGE: | 50' | 49.02' | 50.00' |
| DEPTH: | 50' | 268' | 268' |
| HEIGHT: | 3 STORIES - 40' *15 | 2 STORIES | # 94 4 STORIES < 50' SEE ARCHITECTURAL PLANS |
| WIDTH: | 45' | >45' | >45' |
| SETBACKS | | | |
| FRONT: | 20' *1 | 160.3' | 167.5' |
| SIDE: | 10' *14 | 24.6' | 10.5' |
| REAR: | 15' | 35.5' | 22.0' |
| COVERAGE | | | |
| STRUCTURES: | 80% | 5% | 25.6% |
| STRUC. & PAVING: | 90% | 27% | 67.5% |

| #88 EAST CENTRAL STREET - COMMERCIAL I ZONING DISTRICT | | | |
|--|---------------------|--------------|--|
| REQUIREMENTS: | EXISTING | PROPOSED | |
| AREA: | 5,000 S.F. | 20,889± S.F. | 17,411± S.F. |
| FRONTAGE: | 50' | 110.41' | 109.43' |
| DEPTH: | 50' | 212' | 212' |
| HEIGHT: | 3 STORIES - 40' *15 | 2 STORIES | # 88 2 STORIES < 50' SEE ARCHITECTURAL PLANS |
| WIDTH: | 45' | >45' | >45' |
| SETBACKS | | | |
| FRONT: | 20' *1 | 51.8' | 50.6' |
| SIDE: | 10' *14 | 15.0' | 10.5' |
| REAR: | 15' | 25.9' | 46.1' |
| COVERAGE | | | |
| STRUCTURES: | 80% | 6.5% | 19.4% |
| STRUC. & PAVING: | 90% | 17.1% | 58.4% |

| #70-72 EAST CENTRAL STREET - DOWNTOWN COMMERCIAL ZONING DISTRICT | | | |
|--|--------------------|-------------|-------------------|
| REQUIREMENTS: | EXISTING | PROPOSED | |
| DOWNTOWN COM. | 5,000 S.F. | 32,810 S.F. | 32,810± S.F. |
| AREA: | 50' | 186.07' | 186.07' |
| FRONTAGE: | 50' | 266' | 266' |
| DEPTH: | 3 STORIES - 40' *9 | 2 STORIES | 4 STORIES - 49.5' |
| WIDTH: | 45' | >45' | >45' |
| SETBACKS- | | | |
| FRONT: | 15' *10 | 20.7' | 15.7' |
| SIDE: | 0' *2 | 25.2' | 15.0' & 5' |
| REAR: | 15' | 105' | 23.3' & 17.5' |
| COVERAGE - | | | |
| STRUCTURES: | 80% | 7.6% | 26% |
| STRUC. & PAVING: | 90% | 19.2% | 65.5% |

THE ABOVE INFORMATION WAS TAKEN FROM THE APPROVED SITE PLAN FOR 70 - 72 EAST CENTRAL STREET.

- *1 - BUT NO NEW STRUCTURE SHALL BE REQUIRED TO PROVIDE A DEEPER YARD THAN EXISTED ON THAT PARCEL UPON ADOPTION OF THIS AMENDMENT.
- *14 - THE 10-FOOT SIDE SETBACK IS ONLY REQUIRED ON ONE SIDE OF THE LOT; IF LOT ABUTS A RESIDENTIAL DISTRICT, A 20-FOOT SETBACK IS REQUIRED ON THE ABUTTING SIDE.
- *15 - BUILDINGS UP TO 50 FEET IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES, MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

REQUIREMENTS FOR 94 EAST CENTRAL STREET ZONE COMMERCIAL I EXISTING AND PROPOSED LOT AREA, FRONTAGE, DEPTH, WIDTH AND COVERAGE BASED ON THE LOTS BEING COMBINED, BUILDING HEIGHT, AND SETBACKS BASED ON EXISTING AND PROPOSED BUILDINGS LOCATED ON 88 AND 94 EAST CENTRAL STREET.
PROPERTY IS NOT LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT.
THE PROPERTY IS LOCATED IN A ZONE C BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.

94 EAST CENTRAL STREET:
EXISTING BUILDING USE RESIDENTIAL
PROPOSED BUILDING USE MIXED WITH RESIDENTIAL.

88 EAST CENTRAL STREET
EXISTING BUILDING USE RESIDENTIAL
PROPOSED BUILDING USE COMMERCIAL.

70-72 EAST CENTRAL STREET
CURRENT BUILDING USE MIXED WITH RESIDENTIAL.

DRAWING INDEX:

1. COVER SHEET
 2. EXISTING CONDITIONS PLAN
 3. SITE LAYOUT PLAN
 4. SITE GRADING AND UTILITY PLAN
 5. SITE PLANTING PLAN
 6. EROSION CONTROL PLAN
 7. CONSTRUCTION DETAILS
 8. CONSTRUCTION DETAILS
 9. CONSTRUCTION DETAILS
- SITE LIGHTING-LIGHTING PLAN,
PHOTOMETRICS AND SCHEDULES
BY SK & ASSOCIATES

OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

APPLICANT:
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

SITE PLAN MODIFICATION COVER SHEET

70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
MARCH 4, 2020
SCALE: 1" = 100'

- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.

- WAIVER REQUESTS:
1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE. PROPOSED CLASS V RCP.
 2. TO ALLOW THE USE OF HPDE PIPE FROM CATCH BASIN 92 TO THE UNDERGROUND POND, FROM THE UNDERGROUND POND TO DRAIN MANHOLE 93, THE ROOF LEADER COLLECTION SYSTEM AND FROM ROOF LEADER CONNECTION TO THE UNDERGROUND POND.
 3. TO ALLOW THE SITE LIGHTING TO EXTEND PAST THE PROPERTY LINE.

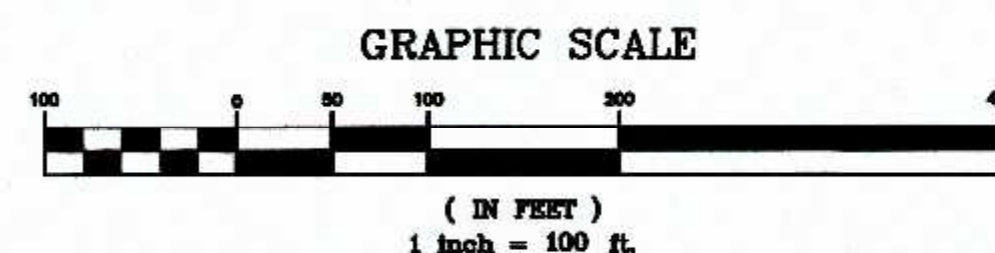
- REFERENCES:
- ASSESSORS MAP 286 PARCEL 32
 - DEED BOOK 36860 PAGE 516
 - DEED BOOK 35983 PAGE 116
 - DEED BOOK 24648 PAGE 492
 - PLAN 108 OF 1908
 - PLAN 576 OF 1900
 - OWNERS PLAN OF LAND BY GUERRIERE AND HALNON, INC DATED OCTOBER 22, 2018
 - PLAN 3334 OF 1913
 - PLAN 853 OF 1928



CARLOS A. QUINTAL P.E. #30812

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE



| NO. | DATE | DESCRIPTION | BY |
|-----|----------|------------------------|-----|
| 5 | 10/23/20 | REVIEW COMMENTS | RRG |
| 4 | 10/6/20 | BETA REVIEW COMMENTS | RRG |
| 3 | 9/14/20 | SITE LAYOUT AND DESIGN | RRG |
| 2 | 5/29/20 | REVIEW COMMENTS | RRG |
| 1 | 4/23/20 | REVIEW COMMENTS | RRG |

| DATE | FIELD BY: | INT. |
|------|--------------|------|
| 6/19 | BL | |
| BK# | FIELD BOOK | PG# |
| 3/20 | CALCS BY: | RRG |
| 3/20 | DESIGNED BY: | RRG |
| 3/20 | DRAWN BY: | COMP |
| 3/20 | CHECKED BY: | CAQ |

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8560 FAX 508-384-8566

| DATE | SCALE | PROJECT | SHEET |
|--------------|-----------|---------|--------|
| MAR. 4, 2020 | 1" = 100' | UC1334 | 1 of 9 |

MAP 286 PARCEL 44
79 CROSS STREET
N/F DESJARDINS
BOOK 36745 PAGE 271
ZONE - SINGLE FAMILY IV
USE - RESIDENTIAL

MAP 286 PARCEL 42
54-60 SUMMER STREET
N/F THAYER
BOOK 8402 PAGE 188
ZONE - SINGLE FAMILY IV
USE - RESIDENTIAL

MAP 286 PARCEL 32
70 EAST CENTRAL STREET
N/F 37 EAST CENTRAL STREET, LLC
BOOK 37054 PAGE 422
ZONE - COMMERCIAL 1
USE - SEE SHEET 1

MAP 286 PARCEL 41
48 SUMMER STREET
N/F THAYER
BOOK 17758 PAGE 488
ZONE - SINGLE FAMILY IV
USE - RESIDENTIAL

MAP 286 PARCEL 40
38 SUMMER STREET
N/F RANIERI TRUST
BOOK 30861 PAGE 162
ZONE - SINGLE FAMILY IV
USE - RESIDENTIAL

MAP 286 PARCEL 31
100 EAST CENTRAL STREET
N/F 100 EAST CENTRAL STREET, LLC
BOOK 22935 PAGE 214
ZONE - COMMERCIAL 1
USE - RESIDENTIAL

MAP 286 PARCEL 33
88 EAST CENTRAL STREET
N/F SHERRY
BOOK 24648 PAGE 492
ZONE - COMMERCIAL 1
USE RESIDENTIAL

MAP 286 PARCEL 34
70 EAST CENTRAL STREET
N/F 37 CENTRAL STREET, LLC
BOOK 37054 PAGE 422
ZONE - DOWNTOWN COMMERCIAL
USE - MIXED

MAP 286 PARCEL 39
8 SUMMER STREET
N/F G & K SIMON, INC.
BOOK 8449
PAGES 33 & 34
ZONE - DOWNTOWN COMMERCIAL
USE - RETAIL

MAP 286 PARCELS 32 AND 34
ARE TO BE COMBINED.
MAP 286 PARCEL 33 HAS A PROPOSED
EASEMENT FOR ACCESS AND UTILITIES.

REFERENCES:
ASSESSORS MAP 286 PARCEL 32
DEED BOOK 36860 PAGE 516
DEED BOOK 35983 PAGE 116
DEED BOOK 24648 PAGE 492
PLAN 108 OF 1908
PLAN 576 OF 1900
OWNERS PLAN OF LAND BY GUERRIERE AND HALNON, INC
DATED OCTOBER 22, 2018
PLAN 3334 OF 1913
PLAN 853 OF 1928

NOTES:
1. ELEVATIONS DATUM NGVD 1929.
2. EXISTING CONDITIONS SURVEY WAS COMPLETED BETWEEN JUNE 12, 2019 AND JANUARY 6, 2020.
3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.

ANDREW C. MURPHY
P.L.S. #35042
1/26/2020

- LEGEND:
- DHSB DRILL HOLE STONE BOUND
 - 297- EXISTING COUNTOUR
 - 297- PROPOSED COUNTOUR
 - x274.3 SPOT GRADE - PROPOSED
 - x274.3EX. SPOT GRADE - EXISTING
 - ⊕ 48M EXIST. TREE - DIAMETER - SPECIES
 - UP4-1 UTILITY POLE
 - OHW OVERHEAD WIRES
 - GAS GATE
 - WATER CURB STOP
 - WATER GATE
 - FIRE HYDRANT
 - DRAIN MANHOLE
 - CATCH BASIN
 - SEWER MANHOLE
 - D DUMPSTER
 - VCC VERTICAL CONCRETE CURBING
 - VGC VERTICAL GRANITE CURBING
 - ⊕ HANDICAP PARKING SPACE
 - ⊕ BUILDING MOUNTED LIGHT
 - POLE MOUNTED LIGHT

OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

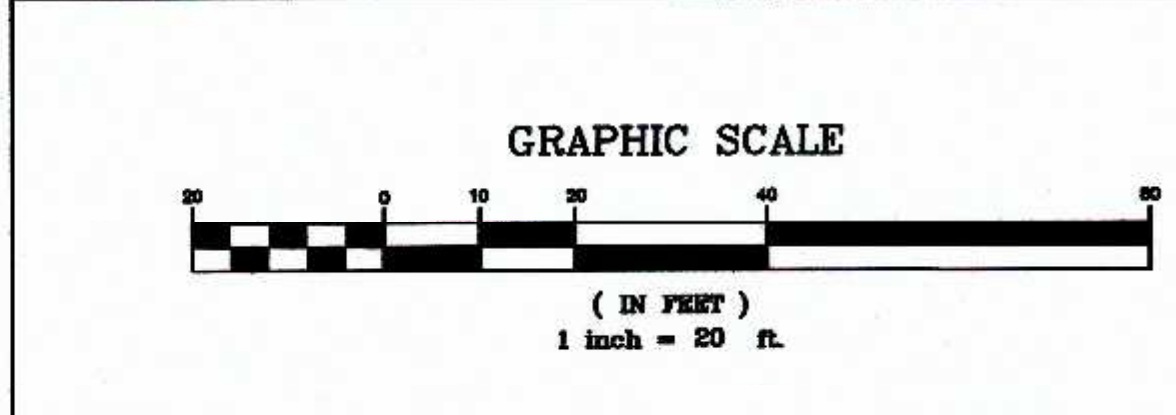
APPLICANT:
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

SITE PLAN MODIFICATION
EXISTING CONDITIONS PLAN
70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
MARCH 4, 2020
SCALE: 1" = 20'

NOTE:
SEWER, DRAIN AND WATER LOCATIONS AND
ELEVATIONS WERE TAKEN FROM PLANS OF RECORD
AND ARE NOT THE RESULT OF A FIELD SURVEY.

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE



| NO. | DATE | DESCRIPTION | BY |
|-----|----------|------------------------|-----|
| 5 | 10/23/20 | REVIEW COMMENTS | RRG |
| 4 | 10/6/20 | BETA REVIEW COMMENTS | RRG |
| 3 | 9/14/20 | SITE LAYOUT AND DESIGN | RRG |
| 2 | 5/29/20 | REVIEW COMMENTS | RRG |
| 1 | 4/23/20 | REVIEW COMMENTS | RRG |
| NO. | DATE | DESCRIPTION | BY |

| DATE | FIELD BY: | INT. |
|------|--------------|------|
| 6/19 | FIELD BOOK | BL |
| 3/20 | CALCS BY: | RRG |
| 3/20 | DESIGNED BY: | RRG |
| 3/20 | DRAWN BY: | COMP |
| 3/20 | CHECKED BY: | CAQ |

UNITED
CONSULTANTS
INC.

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6660 FAX 508-384-6666

DATE
MAR. 4, 2020

SCALE
1" = 20'

PROJECT
UC1334

SHEET
2 of 9

NOTE:
THE SITE USES ARE NOT ANTICIPATED TO REQUIRE A LOADING AREA HOWEVER THE FOLLOWING PROVISIONS HAVE BEEN LISTED.

A SU-30 TRUCK (LARGEST DELIVERY VEHICLE TO ACCESS THE SITE) WILL BE ABLE TO ACCESS THE SITE AND WOULD BE ABLE TO TRAVEL THROUGH THE 70 EAST CENTRAL STREET SITE DRIVEWAY. THE TRUCK COULD OFF LOAD AT THE DRIVEWAY CONNECTING THE PARKING AREAS.

OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

APPLICANT:
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

MAP 286 PARCEL 44
79 CROSS STREET
N/F DESJARDINS
BOOK 38745 PAGE 271
ZONE - SINGLE FAMILY IV
USE - RESIDENTIAL

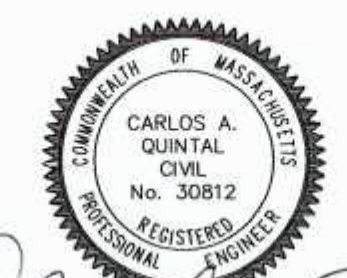
MAP 286 PARCEL 42
54-60 SUMMER STREET
N/F THAYER
BOOK 8402 PAGE 188
ZONE - SINGLE FAMILY IV
USE - RESIDENTIAL

MAP 286 PARCEL 41
48 SUMMER STREET
N/F THAYER
BOOK 17756 PAGE 468
ZONE - SINGLE FAMILY IV
USE - RESIDENTIAL

MAP 286 PARCEL 40
38 SUMMER STREET
N/F RANIERI TRUST
BOOK 30861 PAGE 162
ZONE - SINGLE FAMILY IV
USE - RESIDENTIAL

MAP 286 PARCEL 31
100 EAST CENTRAL STREET
N/F 100 EAST CENTRAL STREET, LLC
BOOK 22935 PAGE 214
ZONE - COMMERCIAL 1
USE - RESIDENTIAL

MAP 286 PARCELS 32 AND 34
ARE TO BE COMBINED.
MAP 286 PARCEL 33 HAS A PROPOSED
EASEMENT FOR ACCESS AND UTILITIES.



CARLOS A. QUINTAL P.E. #30812

PARKING CALCULATIONS:
#88 AND #94 EAST CENTRAL STREET
COMMERCIAL 1 REQUIREMENTS (SECTIONS 185-21B.(2)(o))
#94 EAST CENTRAL STREET
1.5 SPACES PER RESIDENTIAL DWELLING UNIT.
14 RESIDENTIAL UNITS PROPOSED REQUIRES 21 SPACES
17 GARAGE SPACES ARE PROPOSED FOR THE RESIDENTIAL UNITS
COMMERCIAL SPACE (NON RESIDENTIAL USE) 1 SPACE PER 500 SQ. FT. = 979 SQ. FT. / 500 = 2 SPACES REQUIRED
19 TOTAL SPACES REQUIRED.

#88 EAST CENTRAL STREET
NO RESIDENTIAL DWELLING UNITS PROPOSED
COMMERCIAL SPACE (NON RESIDENTIAL USE) 1 SPACE PER 500 SQ. FT. = 3,106 SQ. FT. / 500 = 7 SPACES REQUIRED
7 TOTAL SPACES REQUIRED.

FOR #88 AND #94 EAST CENTRAL STREET A TOTAL OF 26 PARKING SPACES ARE REQUIRED.

46 TOTAL PARKING SPACES PROPOSED INCLUDING 2 HANDICAP SPACES.

PARKING CALCULATIONS 70 AND 72 EAST CENTRAL STREET
SITE PLAN APPROVAL:
DOWNTOWN COMMERCIAL REQUIREMENTS (SECTIONS 185-21(3)(a) & (b))
1.5 SPACES PER RESIDENTIAL DWELLING UNIT.
12 RESIDENTIAL UNITS PROPOSED REQUIRES 18 SPACES
20 GARAGE SPACES ARE PROPOSED FOR THE RESIDENTIAL UNITS.
14 SPACES PROPOSED INCLUDING 1 HANDICAP SPACE.
TOTAL OF 34 SPACES ORIGINALLY PROPOSED

REVISIONS PROPOSED FOR 70-72 EAST CENTRAL STREET PARKING WITH THE SITE PLAN FOR 70, 72, 88 AND 94 EAST CENTRAL STREET
ELIMINATE 4 GARAGE PARKING SPACES
ELIMINATED FORMER SPACE 12
ADDED 2 SPACES TO PARKING AREA
= 16 GARAGE SPACES AND 17 OUTDOOR SPACES
33 SPACES PROVIDED WHERE 18 SPACES ARE REQUIRED
AS REVISED 70 & 72 EAST CENTRAL STREET PARKING AREA HAS 15 SPACES ABOVE THE ZONING BYLAW PARKING REQUIREMENTS.

MAP 286 PARCEL 39
8 SUMMER STREET
N/F G & K SIMON, INC.
BOOK 8449
PAGES 33 & 34
ZONE - DOWNTOWN COMMERCIAL
USE - RETAIL

RESIDENTIAL DENSITY:
C-1 DISTRICT: 88 AND 94 EAST CENTRAL STREET
COMMERCIAL 1 REQUIREMENTS (185 ATTACHMENT 7 - 6.1*3)
*3 - NO MORE THAN ONE DWELLING UNIT PER 1,000 SQUARE FEET OF LOT AREA MAY BE PERMITTED.

CURRENT LOT AREA 94 EAST CENTRAL STREET - 33,725± SQ. FT. / 1,000 = 33 UNITS PERMISSIBLE
14 UNITS PROPOSED.

CURRENT LOT AREA 88 EAST CENTRAL STREET - 20,889± SQ. FT. / 1,000 = 20 UNITS PERMISSIBLE
0 UNITS PROPOSED.

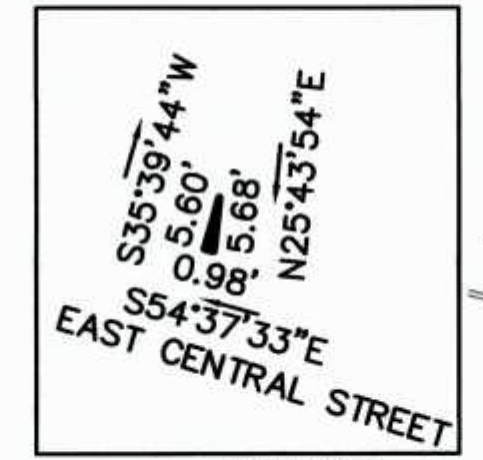
NOTE: UPON COMPLETION OF AN APPROVAL NOT REQUIRED PLAN DIVIDING 88 AND 94 EAST CENTRAL STREET THE 94 EAST CENTRAL STREET LOT SHALL CONTAIN GREATER THAN 14,000 SQ. FT. OF AREA.

LOT AREA FOR 94 EAST CENTRAL STREET TO BE DC DISTRICT: 70 AND 72 EAST CENTRAL STREET
DOWNTOWN COMMERCIAL REQUIREMENTS (185 ATTACHMENT 7 - 6.1*6)
*6 - NO MORE THAN ONE DWELLING UNIT PER 2,000 SQUARE FEET OF LOT AREA MAY BE PERMITTED; ADDITIONAL DWELLING UNITS MAY BE ALLOWED BY SPECIAL PERMIT FROM THE PLANNING BOARD
LOT AREA - 32,810± SQ. FT. / 1,000 = 32 UNITS PERMISSIBLE
12 UNITS PROPOSED.

SITE PLAN MODIFICATION
SITE LAYOUT PLAN
70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
MARCH 4, 2020
SCALE: 1" = 20'

NOTES:
- NO SITE SIGNS ARE PROPOSED AT THIS TIME. ONCE TENANTS ARE SECURED THE TENANT AND OR DEVELOPER WILL SUBMIT AND OBTAIN APPROVAL FOR SIGNS. AT THIS TIME THE DEVELOPER IS PLANNING TO UTILIZE BUILDING MOUNTED SIGNAGE THAT WILL COMPLY WITH THE TOWN OF FRANKLIN REQUIREMENTS.

- LEGEND:
- DHSB DRILL HOLE STONE BOUND
 - 297- EXISTING COUNTOUR
 - 297- PROPOSED COUNTOUR
 - x274.3 SPOT GRADE - PROPOSED
 - x274.3EX. SPOT GRADE - EXISTING
 - 48M EXIST. TREE - DIAMETER - SPECIES
 - UP4-1 UTILITY POLE
 - OHW OVERHEAD WIRES
 - GAS GATE
 - WATER CURB STOP
 - WATER GATE
 - FIRE HYDRANT
 - DRAIN MANHOLE
 - CATCH BASIN
 - SEWER MANHOLE
 - D DUMPSTER
 - VCC VERTICAL CONCRETE CURBING
 - VGC VERTICAL GRANITE CURBING
 - HANDICAP PARKING SPACE
 - BUILDING MOUNTED LIGHT
 - POLE MOUNTED LIGHT



NOTE:
ALL SITE CURBING TO BE VERTICAL GRANITE.

PROPOSED PARCEL "A"
3 SQ. FT.
TO BE CONVEYED FROM 88 TO 94 EAST CENTRAL STREET.

R=1,224.00'
L=12.30'

S54°37'33"E

R=10'

R=10'

R=10'

R=10'

R=10'

R=10'

R=10'

R=10'

R=10'

R=10'

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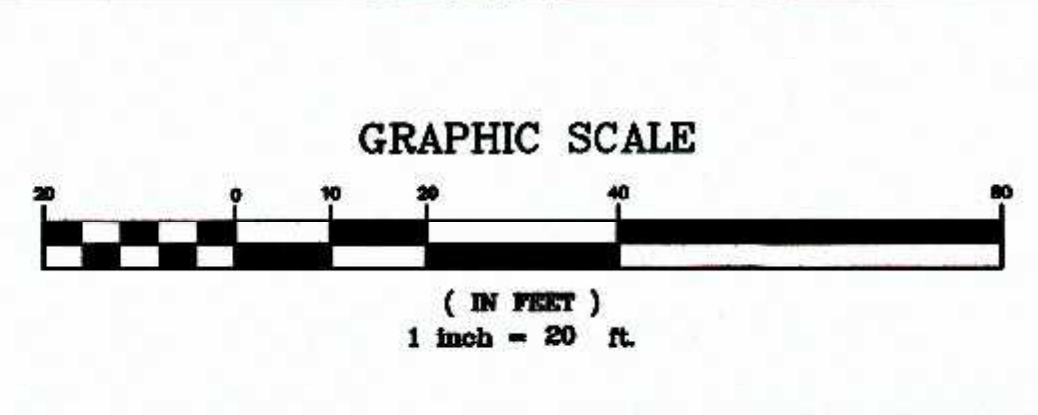
R=10'

R=10'

R=10'

R=10'

R=10'



| NO. | DATE | DESCRIPTION | BY |
|-----|----------|------------------------|-----|
| 5 | 10/23/20 | REVIEW COMMENTS | RRG |
| 4 | 10/6/20 | BETA REVIEW COMMENTS | RRG |
| 3 | 9/14/20 | SITE LAYOUT AND DESIGN | RRG |
| 2 | 5/29/20 | REVIEW COMMENTS | RRG |
| 1 | 4/23/20 | REVIEW COMMENTS | RRG |

| DATE | FIELD BY: | INT. |
|------|--------------|------|
| 6/19 | | BL |
| BK# | FIELD BOOK | PG# |
| 3/20 | CALCS BY: | RRG |
| 3/20 | DESIGNED BY: | RRG |
| 3/20 | DRAWN BY: | COMP |
| 3/20 | CHECKED BY: | CAQ |

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

| DATE | SCALE | PROJECT | SHEET |
|--------------|----------|---------|--------|
| MAR. 4, 2020 | 1" = 20' | UC1334 | 3 of 9 |

SITE PLAN APPROVAL REQUIRED
FRANKLIN PLANNING BOARD

DATE _____

LEGEND:

- DHSB DRILL HOLE STONE BOUND
- 297- EXISTING COUNTOUR
- 297- PROPOSED COUNTOUR
- x274.3 SPOT GRADE - PROPOSED
- x274.3EX. SPOT GRADE - EXISTING
- 48M EXIST. TREE - DIAMETER - SPECIES
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- CATCH BASIN
- SEWER MANHOLE
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING
- VGC VERTICAL GRANITE CURBING
- HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- POLE MOUNTED LIGHT

MARCH 13, 2019

PERFORMED BY CARLOS A. QUINTAL, P.E., SOIL EVALUATOR

TP 1 ELEV. = 324.24 - ABANDONED

TP 2 ELEV. = 324.75

0 - 8" A 10YR 3/3 SANDY LOAM

8" - 24" B 10YR 6/6 SANDY LOAM

24" - 60" C 2.5Y 5/6 SANDY LOAM

TP 3 ELEV. = 323.85

0 - 8" A 10YR 3/3 SANDY LOAM

8" - 24" B 10YR 6/6 SANDY LOAM

24" - 64" C 2.5Y 5/6 SANDY LOAM

TP 4 ELEV. = 317.52

0 - 12" A 10YR 3/3 SANDY LOAM

12" - 36" B 10YR 6/6 SANDY LOAM

36" - 90" C 2.5Y 4/3 GRAVELLY SANDY LOAM

NO GROUNDWATER

NO MOTILES AT 90" ELEV. = 310.02

TP 5 ELEV. = 318.53

0 - 18" A 10YR 3/3 SANDY LOAM

18" - 42" B 10YR 6/6 SANDY LOAM

42" - 109" C 2.5Y 5/6 SANDY LOAM

GROUNDWATER AT 100" ELEV. = 310.20

NO MOTILES OBSERVED

TP 6 ELEV. = 318.03

0 - 10" A 10YR 3/3 SANDY LOAM

10" - 42" B 10YR 6/6 SANDY LOAM

42" - 97" C 2.5Y 5/6 SANDY LOAM

NO GROUNDWATER OBSERVED

NO MOTILES OBSERVED AT 97" ELEV. = 309.94

ALL TEST PITS WERE DUG TO REFUSAL

ACCESSIBLE ROUTE SHALL NOT HAVE A CROSS SLOPE GREATER THAN 2% OR A RUNNING SLOPE GREATER THAN 5% SEE 521 CMR 20.9.

PAVEMENT RESTORATION WITHIN THE 140 RIGHT OF WAY SHALL MATCH THE EXISTING GRAVEL, DENSE GRADE, BINDER COURSE AND FINISH COURSE DEPTHS OF BITUMINOUS CONCRETE.

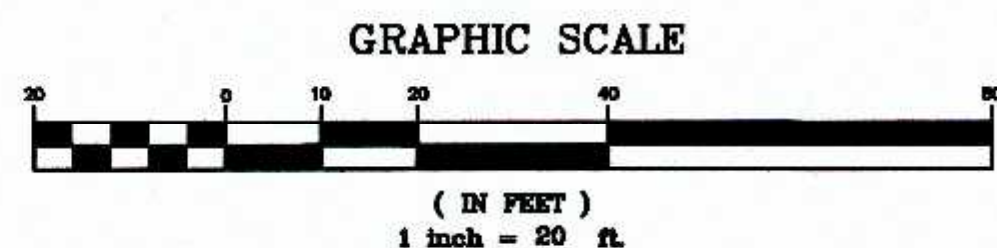
SIGHT DISTANCE BASED ON POSTED SPEED OF 25 MPH AT THE INTERSECTION OF EAST CENTRAL STREET AND ALPINE PLACE. PER MASDOT STOPPING SIGHT DISTANCE FOR 25 MPH AT 0% GRADE - 155 FEET. SIGHT DISTANCE WAS MEASURED 14.5 FEET FROM EDGE LINE. EXITING THE SITE: LOOKING WEST 200 + FEET. LOOKING EAST 300 + FEET.

REFERENCE MASS HIGHWAY EXHIBIT 3.8 200 FOOT SIGHT DISTANCE AT ZERO GRADE HAD A DESIGN SPEED OF 30 MPH.

CONSTRUCT A NEW CONCRETE SIDEWALK AT THE DRIVEWAY AREA. MATCH EXISTING GRAVEL, AND CONCRETE THICKNESS.

SITE PLAN APPROVAL REQUIRED
FRANKLIN PLANNING BOARD

DATE

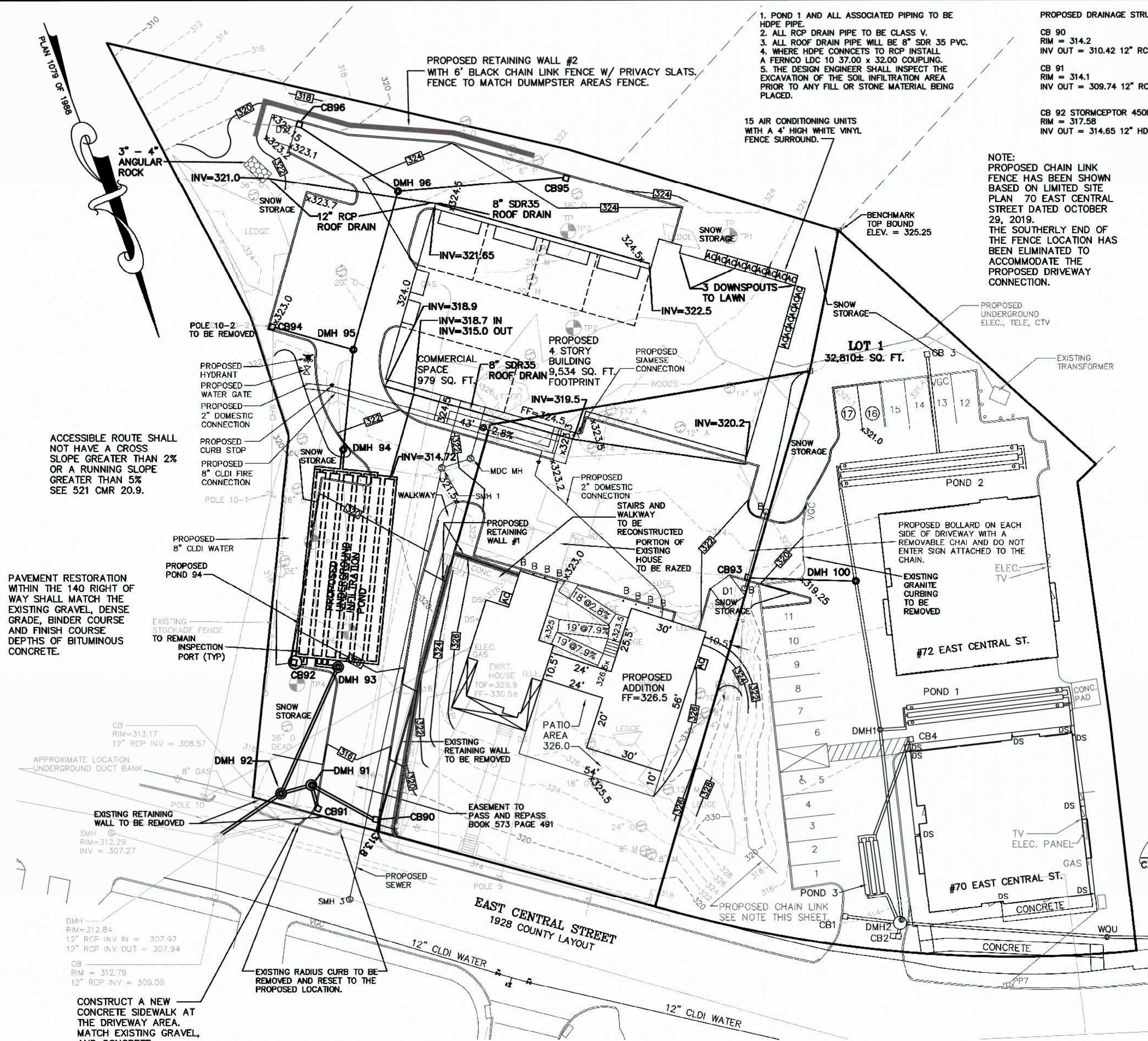


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| 1 | 4/23/20 | REVIEW COMMENTS | RRG |

| DATE | FIELD BY: | INT. |
|------|--------------|--------|
| 6/19 | BL | PG# 63 |
| 3/20 | CALCS BY: | RRG |
| 3/20 | DESIGNED BY: | RRG |
| 3/20 | DRAWN BY: | COMP |
| 3/20 | CHECKED BY: | CAQ |

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8560 FAX 508-384-8566

| DATE | MAR. 4, 2020 |
|---------|--------------|
| SCALE | 1" = 20' |
| PROJECT | UC1334 |
| SHEET | 4 of 9 |



1. POND 1 AND ALL ASSOCIATED PIPING TO BE HDPE PIPE.
2. ALL RCP DRAIN PIPE TO BE CLASS V.
3. ALL ROOF DRAIN PIPE WILL BE 8" SDR 35 PVC.
4. WHERE HDPE CONNECTS TO RCP INSTALL A FERRO LDC 10 37.00 x 32.00 COUPLING.
5. THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE SOIL INFILTRATION AREA PRIOR TO ANY FILL OR STONE MATERIAL BEING PLACED.

PROPOSED DRAINAGE STRUCTURE SCHEDULE:

| | | |
|---|--|--|
| CB 90 RIM = 314.2 INV OUT = 310.42 12" RCP | CB 93 RIM = 320.4 INV OUT = 316.4 12" RCP | DMH 91 - CDS WQU RIM = 315.0 INV IN = 310.18 12" RCP - CB 90 INV OUT = 309.68 12" RCP - CB 91 |
| CB 91 RIM = 314.1 INV OUT = 309.74 12" RCP | CB 94 RIM = 323.0 INV OUT = 318.02 12" RCP | DMH 92 RIM 314.5 INV IN = 309.5 12" RCP - DMH 91 INV IN = 310.5 12" RCP - DMH 93 INV OUT = 308.5 12" RCP |
| CB 92 STORMCEPTOR 450I RIM = 317.58 INV OUT = 314.65 12" HDPE | CB 95 RIM = 323.0 INV OUT = 319.00 12" RCP | DMH 93 RIM=317.9 INV IN =315.0 12" HDPE INV OUT = 312.46 12" RCP |
| | CB 96 RIM = 323.0 INV OUT = 319.00 12" RCP | DMH 94 WQU RIM = 322.1 INV IN = 314.82 12" RCP INV OUT = 314.82 12" RCP |
| | | DMH 95 RIM = 323.5 INV IN = 316.62 12" RCP INV OUT = 316.52 12" RCP |
| | | DMH 96 RIM = 324.2 INV IN = 318.39 12" RCP INV OUT = 318.29 12" RCP |
| | | DMH 100 - DOGHOUSE MANHOLE RIM = 319.0 INV IN = 315.73 12" RCP INV OUT = 315.63 12" RCP |

NOTE:
PROPOSED CHAIN LINK FENCE HAS BEEN SHOWN BASED ON LIMITED SITE PLAN 70 EAST CENTRAL STREET DATED OCTOBER 29, 2019. THE SOUTHERLY END OF THE FENCE LOCATION HAS BEEN ELIMINATED TO ACCOMMODATE THE PROPOSED DRIVEWAY CONNECTION.

UTILITY NOTES:

1. DOMESTIC WATER SUPPLY SHALL BE BASED ON PLUMBING ENGINEERS CALCULATIONS.
2. FIRE SUPPLY LINE TO BE CONNECTED TO EXISTING WATER MAIN IN STREET. LOCATION SHOWN APPROXIMATELY. FINAL SIZING AND LOCATION SHALL BE DETERMINED BY THE PLUMBING ENGINEER.
3. ELECTRIC, TELEPHONE AND CABLE TV LOCATIONS TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES. SERVICES ARE PROPOSED TO BE CONNECTED TO THE 70-72 EAST CENTRAL STREET SITE AND SHALL BE UNDERGROUND.
4. GAS SERVICE AND LOCATIONS TO BE DETERMINED BY THE GAS COMPANY.
5. PIV AND SIAMESE CONNECTIONS SHOWN APPROXIMATE. FINAL LOCATIONS TO BE DESIGNED BY PLUMBING ENGINEER AND APPROVED BY FIRE DEPARTMENT.
6. THE DRAINAGE INSTALLATION SHALL BE INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER PRIOR TO BACKFILLING.
7. EXISTING WATER SERVICE TO BE CUT AND CAPPED AT THE MAIN PER DPW REQUIREMENTS.
8. EXISTING SEWER SERVICE TO BE CUT AND CAPPED AT THE PROPERTY LINE.
9. EXISTING ELECTRIC, TELEPHONE AND CTV SERVICES TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANIES. POLE 10-2 TO BE REMOVED AS PERMITTED BY THE APPROPRIATE UTILITY COMPANY. 10 88 EAST CENTRAL STREET TO UTILIZE THE EXISTING SEWER SERVICE.

NOTES:

1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

MAP 286 PARCELS 32 AND 34 ARE TO BE COMBINED. MAP 286 PARCEL 33 HAS A PROPOSED EASEMENT FOR ACCESS AND UTILITIES.



OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

APPLICANT:
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

CARLOS A. QUINTAL, P.E. #30812

SITE PLAN MODIFICATION
GRADING & UTILITY PLAN
70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
MARCH 4, 2020
SCALE: 1" = 20'

GENERAL NOTES

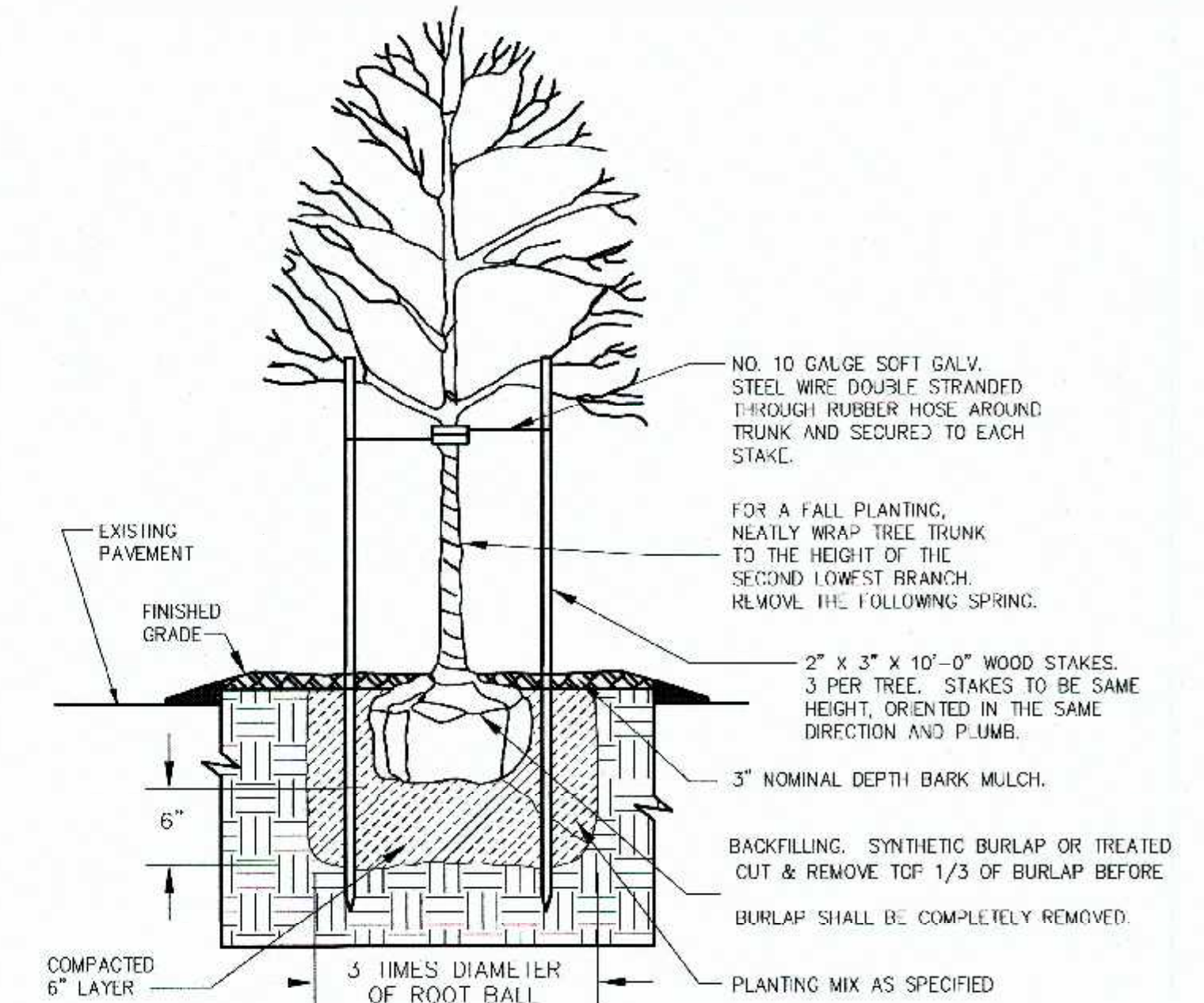
1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURERS RECOMMENDATIONS.
7. COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)

PLANTING SCHEDULE

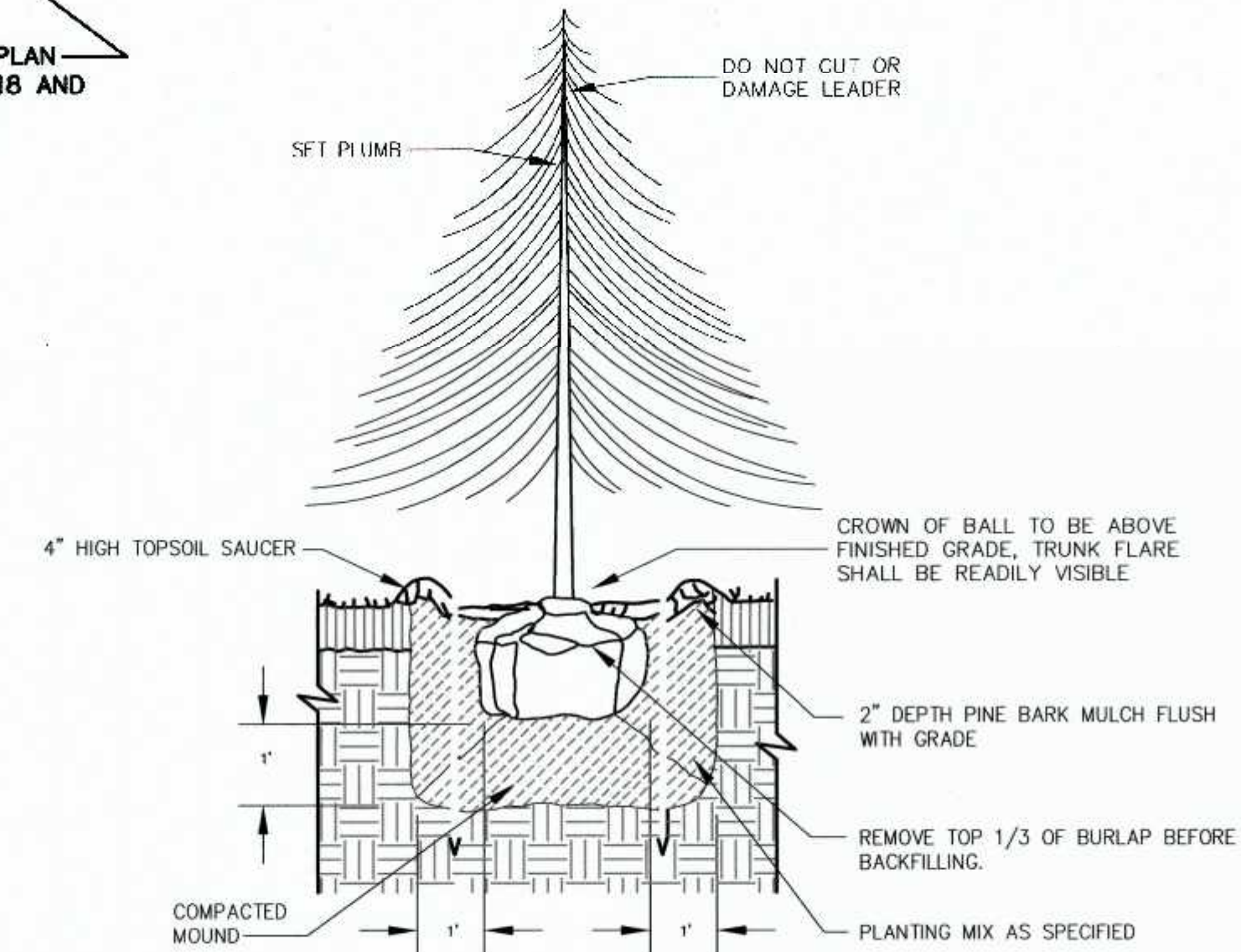
| NUMBER | COMMON NAME | SCIENTIFIC NAME | SIZE | CONDITION |
|--------|-------------------|-----------------|------------|-----------|
| 2 | AMERICAN ELM - AE | ULMUS AMERICANA | 3" | B&B |
| 3 | RED MAPLE - RM | ACER RUBRUM | 3" | B&B |
| 28 | ARBORVITAE - A | THUJA PLICATA | 4 - 6 FEET | B&B |

EXISTING TREE LEGEND:
R - TO BE REMOVED
K - TO REMAIN

PLANTINGS FOR 88 AND 94 EAST CENTRAL STREET AREAS - PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES
- 48 PARKING SPACES LOCATED OUTSIDE OF BUILDING AND INSIDE OF BUILDING = 48 / 10 = 5 TREES
5 TREES PROVIDED.
- ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.



DECIDUOUS TREE PLANTING



EVERGREEN TREE PLANTING

OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

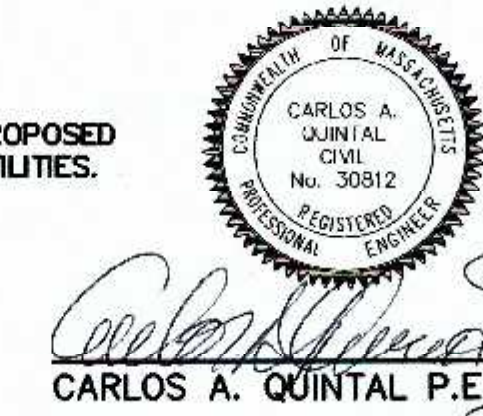
APPLICANT:
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

SITE PLAN MODIFICATION
PLANTING PLAN

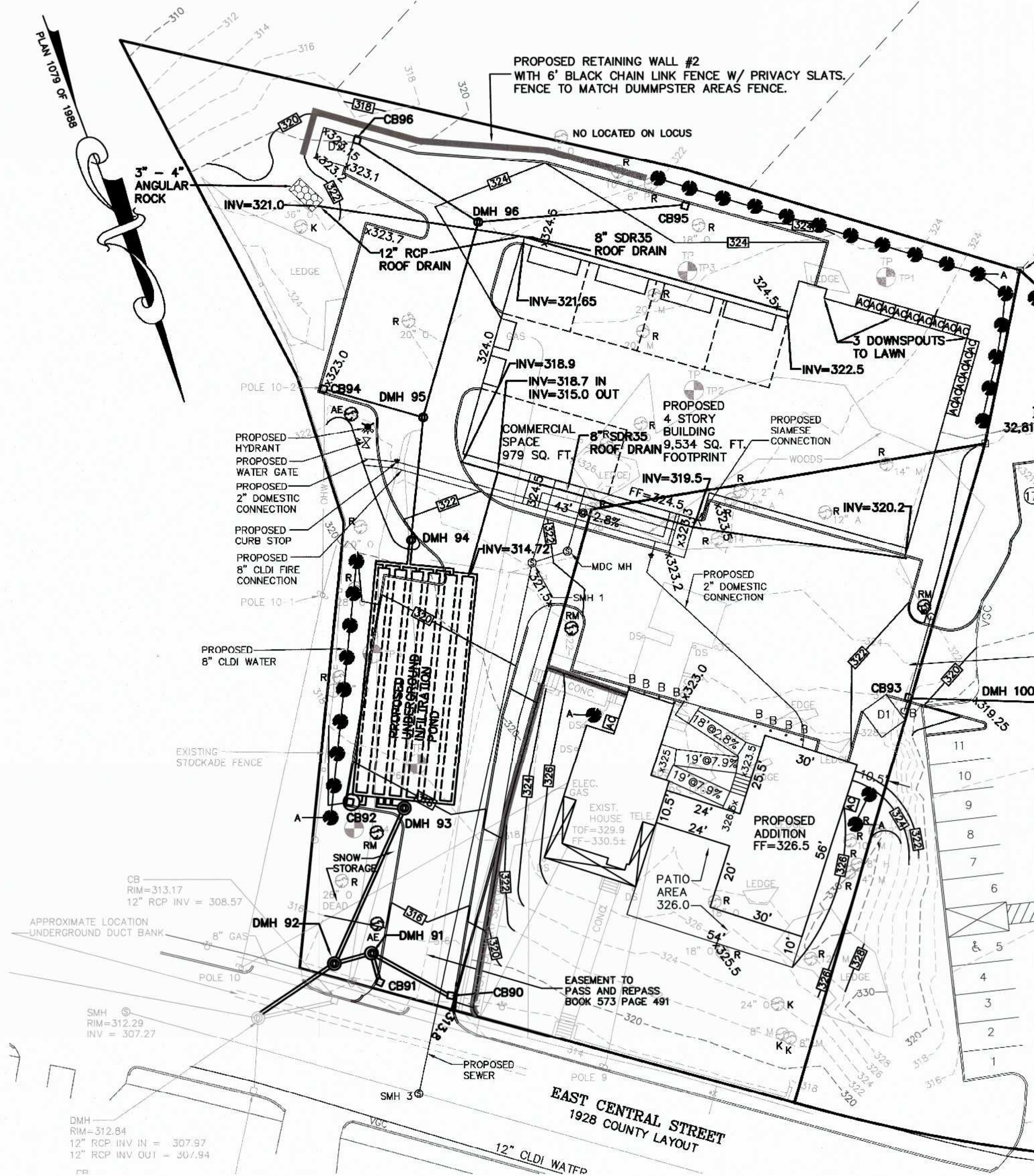
70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

PREPARED FOR
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

MARCH 4, 2020
SCALE: 1" = 20'



MAP 286 PARCELS 32 AND 34
ARE TO BE COMBINED.
MAP 286 PARCEL 33 HAS A PROPOSED
EASEMENT FOR ACCESS AND UTILITIES.



12 PROPOSED ARBORVITAE TREES AS SHOWN ON ENDORSED SITE PLAN SHEET 5 OF 11 DATED DECEMBER 15M 2017 LAST REVISED 3/28/18 AND ENDORSED ON 5-7-18. TWO PROPOSED ARBORVITAE TREES WERE RELOCATED DUE TO THE INSTALLATION OF THE TRANSFORMER.

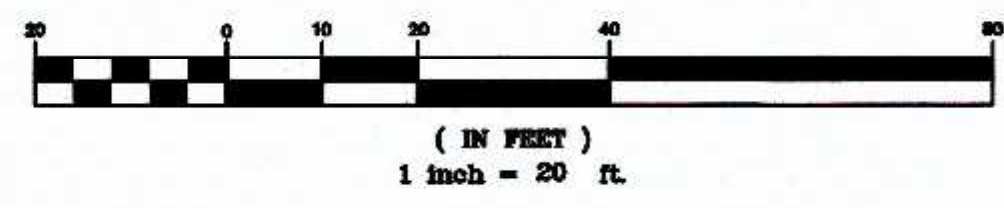
LEGEND:

- DHSB DRILL HOLE STONE BOUND
- - - 297 - - EXISTING COUNTOUR
- - - 297 - - PROPOSED COUNTOUR
- x274.3 SPOT GRADE - PROPOSED
- x274.3EX. SPOT GRADE - EXISTING
- ⊕ 48M EXIST. TREE - DIAMETER - SPECIES
- ⊕ UP4- UTILITY POLE
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- ⊕ HANDICAP PARKING SPACE
- ⊕ BUILDING MOUNTED LIGHT
- ⊕ POLE MOUNTED LIGHT

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



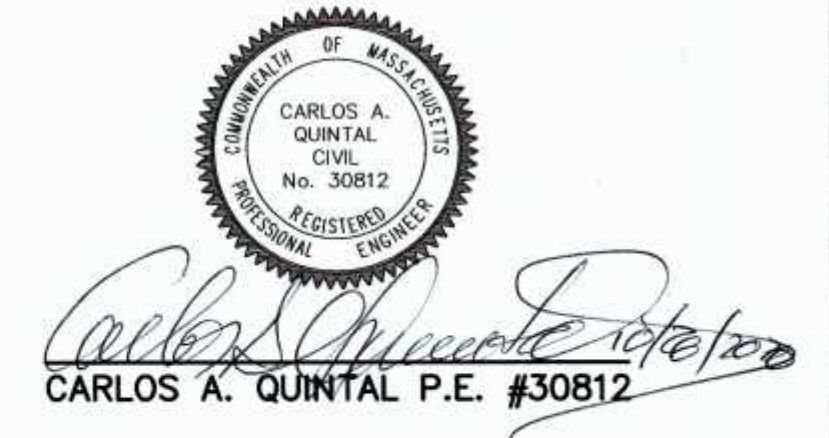
| NO. | DATE | DESCRIPTION | BY |
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| 5 | 10/23/20 | REVIEW COMMENTS | RRG |
| 4 | 10/6/20 | BETA REVIEW COMMENTS | RRG |
| 3 | 9/14/20 | SITE LAYOUT AND DESIGN | RRG |
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UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8560 FAX 508-384-8566

| DATE | SCALE | PROJECT | SHEET |
|--------------|----------|---------|--------|
| MAR. 4, 2020 | 1" = 20' | UC1334 | 5 of 9 |

OPERATION AND MAINTENANCE PLAN



CONSTRUCTION PHASE

1. THE OWNERS REPRESENTATIVE, BRAD CHAFFEE (1-508-331-6161), SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.
9. THE STORMCEPTOR UNITS SHALL BE CLEANED WITH A VACUUM TRUCK.

INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENT ARE TO BE REMOVED.
3. INSPECTIONS OF THE STORMCEPTOR UNITS TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF THE EXISTING CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
5. INSPECTION OF POND 1, THE EXISTING POND AND THE RAIN GARDEN TO DETERMINE IF CLEANING IS NECESSARY.

OPERATION AND MAINTENANCE SCHEDULE

CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. ONCE THE PARKING LOT HAS BEEN PAVED DAILY INSPECTIONS SHALL BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT SAKS SHALL BE INSTALLED AT THE STORMCEPTOR UNITS, CATCH BASIN 91 AND CB97 AND THE TWO CATCH BASINS ON 70 - 72 EAST CENTRAL STREET SITE.
4. ONCE INSTALLED THEY SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
5. THE STORMCEPTOR UNITS SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"
6. THE POND SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.

ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.

LONG TERM:

1. THE PARKING LOT SHALL BE SWEEPED TWICE PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
2. THE STORMCEPTORS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 8 INCHES
3. THE POND SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

NOTES:

1. ANY AREA NOT BEING ACTIVELY WORKED FOR 14 DAYS SHALL BE TEMPORARILY STABILIZED.
2. UPON COMPLETION OF GRADING ACTIVITIES THE AREA SHALL BE STABILIZED OR PLANTED WITHIN 7 DAYS.
3. NON-PHOSPHORUS FERTILIZER SHALL BE APPLIED AS NECESSARY.
4. NON-HALOGENATED ICE MELT SHALL BE APPLIED AS NECESSARY.

PROJECT NARRATIVE:

THE PROJECT CONSISTS OF THE DEMOLITION OF AN EXISTING BUILDING AND IMPROVEMENTS. UPON RECEIPT OF ALL NECESSARY APPROVALS THE APPLICANT WILL FILE FOR AND OBTAIN THE NECESSARY ADDITIONAL PERMITS INCLUDING SEWER AND WATER CONNECTION PERMITS, STREET OPENING PERMITS AND BUILDING PERMIT. UPON SECURING ALL THE NECESSARY PERMITS THE PROJECT WILL MOVE TO THE CONSTRUCTION PHASE AND WILL BE COMPLETED BASED ON THE CONSTRUCTION SEQUENCE.

EROSION CONTROL NOTES:

1. COMPOST SOCK SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. ENTRY MAT TO BE INSTALLED.
3. COMPOST SOCK TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
4. SLOPES GREATER THAN 3' HORIZONTAL TO 1' VERTICAL SHALL BE STABILIZED WITH HYDROSEED, SECURED GEOTEXTILE FABRIC OR RIPRAP AS REQUIRED TO PREVENT EROSION. ALL SLOPE FLATTER THAN 3' HORIZONTAL TO 1' VERTICAL SHALL BE HYDROSEED.
5. STORMCEPTOR UNITS, CATCH BASINS AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
6. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
8. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
10. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.

CONSTRUCTION SEQUENCE:

1. INSTALL COMPOST SOCK, SILT SAKS AND ENTRY MAT.
2. DEMOLISH EXISTING BUILDING
3. LEDGE REMOVAL TO SUBGRADE.
4. EXCAVATE FOR BUILDING FOUNDATION.
5. FORM AND POUR BUILDING FOOTINGS AND FOUNDATION.
6. UPON ADEQUATE CURING OF THE FOUNDATION CONCRETE THE FOUNDATION SHALL BE BACKFILLED TO SUBGRADE.
7. CONSTRUCT BUILDING SIMULTANEOUSLY WITH THE FOLLOWING SITE WORK.
8. BRING THE REMAINDER OF THE SITE TO SUBGRADE.
9. INSTALL THE UNDERGROUND UTILITIES - WATER, SEWER, ELECTRIC AND DRAINAGE.
10. UPON COMPLETION OF THE UNDERGROUND UTILITIES, BRING THE PARKING AREAS TO PROPER GRADES WITH GRAVEL.
11. PAVE THE PARKING AREAS WITH THE BINDER COURSE.
12. INSTALL THE CURBING, THE DUMPSTER PAD AND THE FENCE.
13. LOAM ALL DISTURBED AREAS.
14. PLANT SITE TREES.
15. PAVE THE PARKING AREA WITH THE TOP COURSE.
16. IF NECESSARY COMPLETE AN AS-BUILT PLAN AND SUBMIT A FORM H.

OWNER:
MAP 286 PARCELS 32 AND 34
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
JOHN AND CARMEL SHERRY
88 EAST CENTRAL STREET

APPLICANT:
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

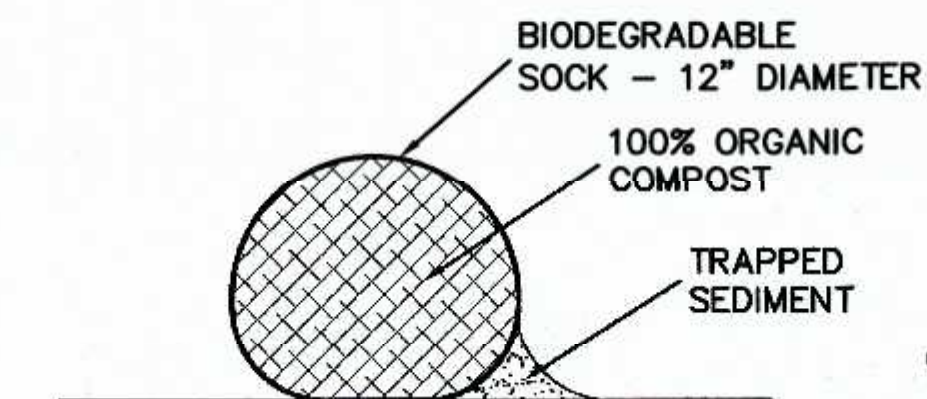
SITE PLAN MODIFICATION
EROSION CONTROL PLAN
70, 72, 88 AND 94 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
70 EAST CENTRAL STREET, LLC
37 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
MARCH 4, 2020
SCALE: 1" = 20'



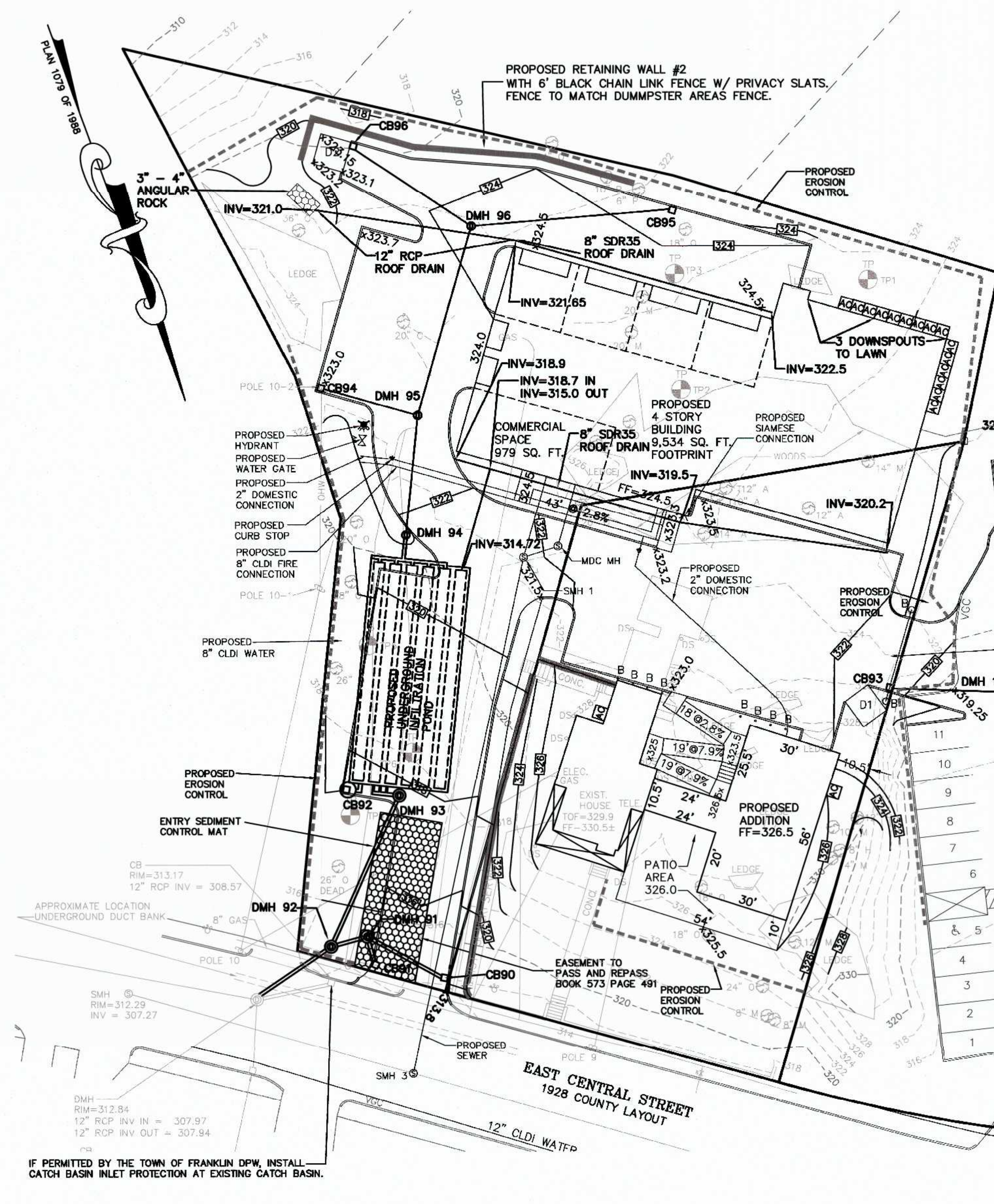
ENTRY SEDIMENTATION CONTROL
MAT SECTION
N.T.S.

NOTES:

1. PAD SHALL BE A MINIMUM OF 20 FEET IN WIDTH. EXISTING ASPHALT DRIVE TO REMAIN IN PLACE UNTIL FINAL PAVEMENT IS TO BE INSTALLED.
2. PAD SHALL CONSIST OF 4" STONE 8" MIN. DEPTH AND THEN TOP DRESSED WITH 4" OF 1" - 2" WASHED STONE.



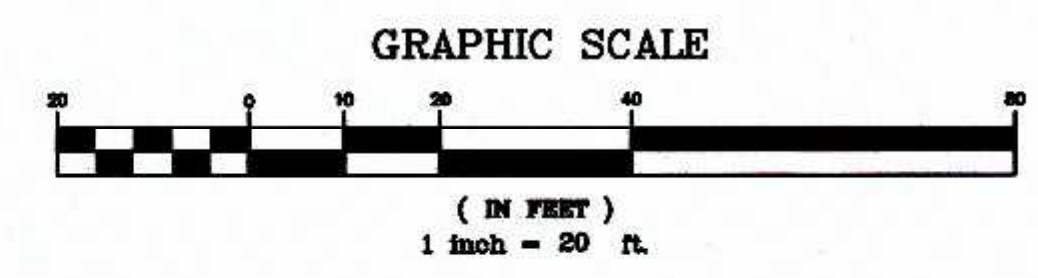
COMPOST SOCK DETAIL



IF PERMITTED BY THE TOWN OF FRANKLIN DPW, INSTALL CATCH BASIN INLET PROTECTION AT EXISTING CATCH BASIN.

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

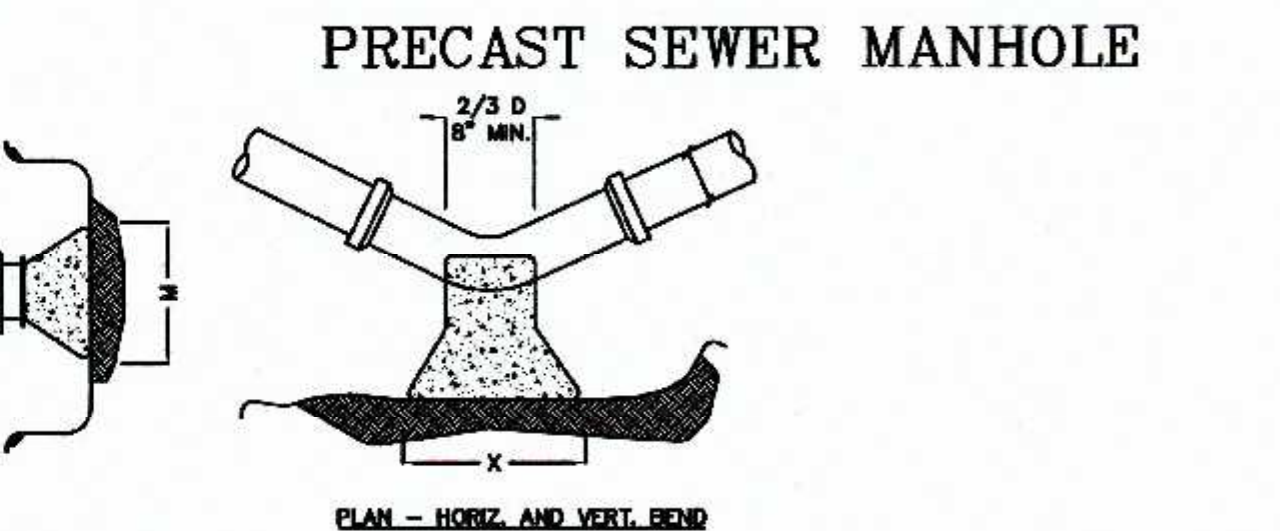
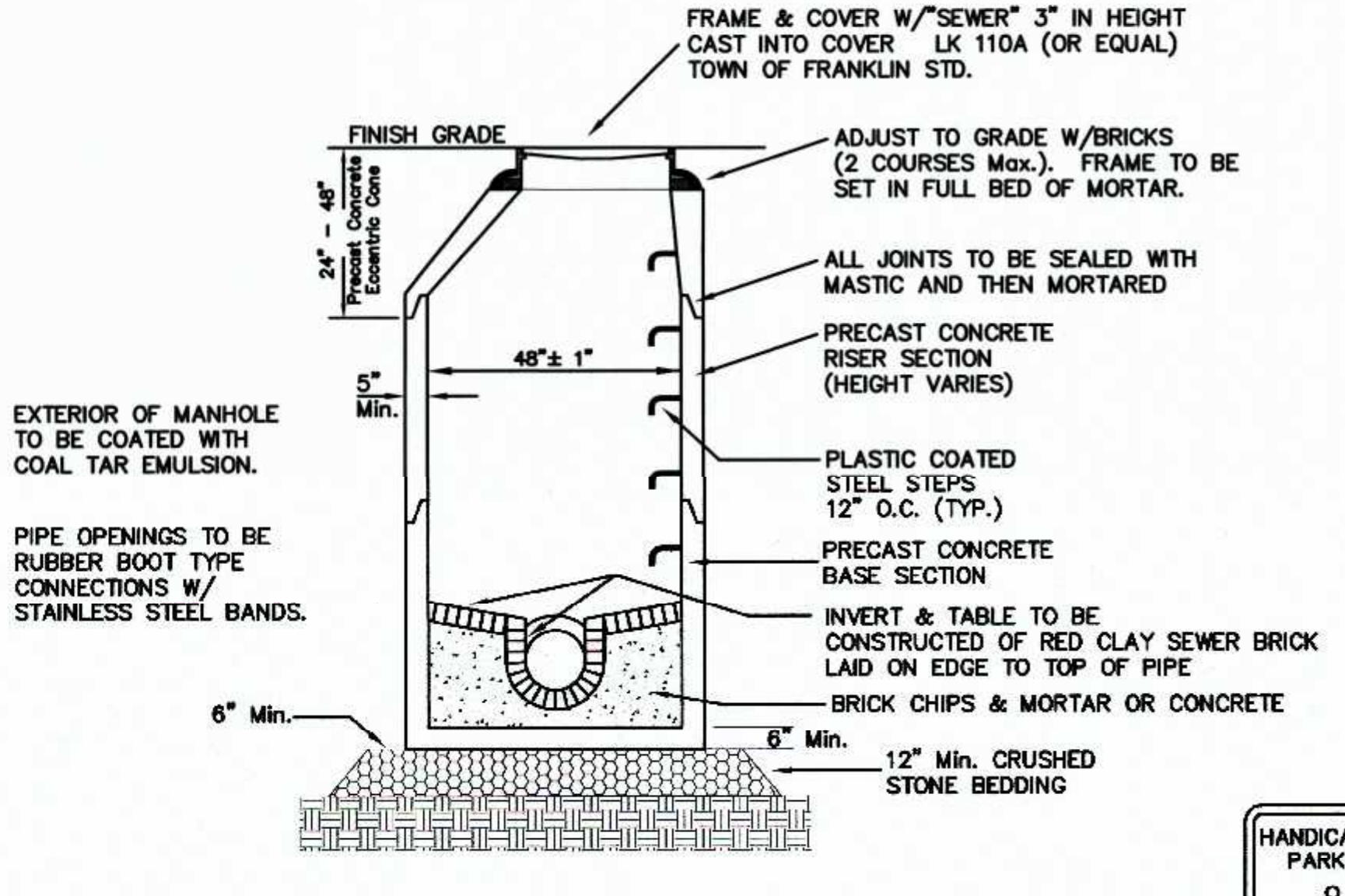
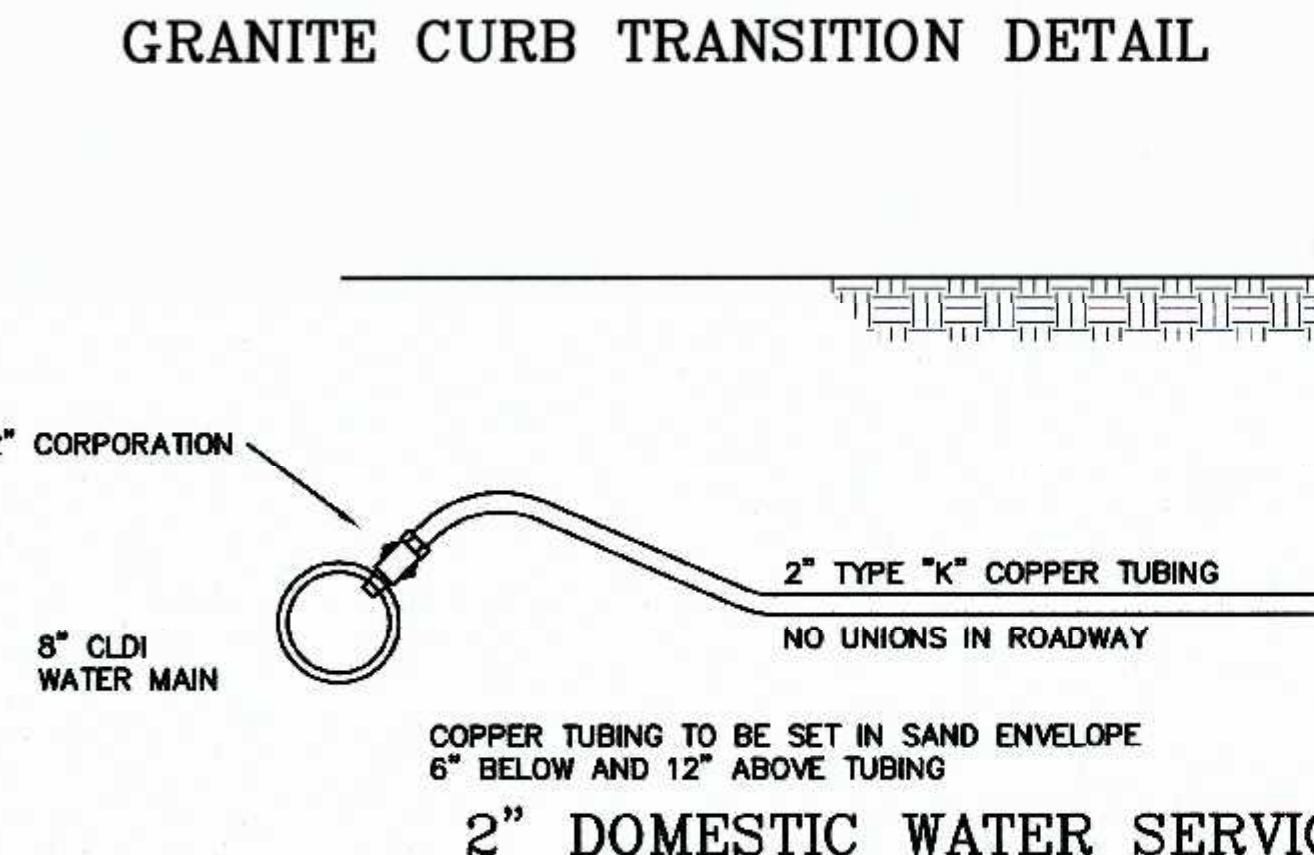
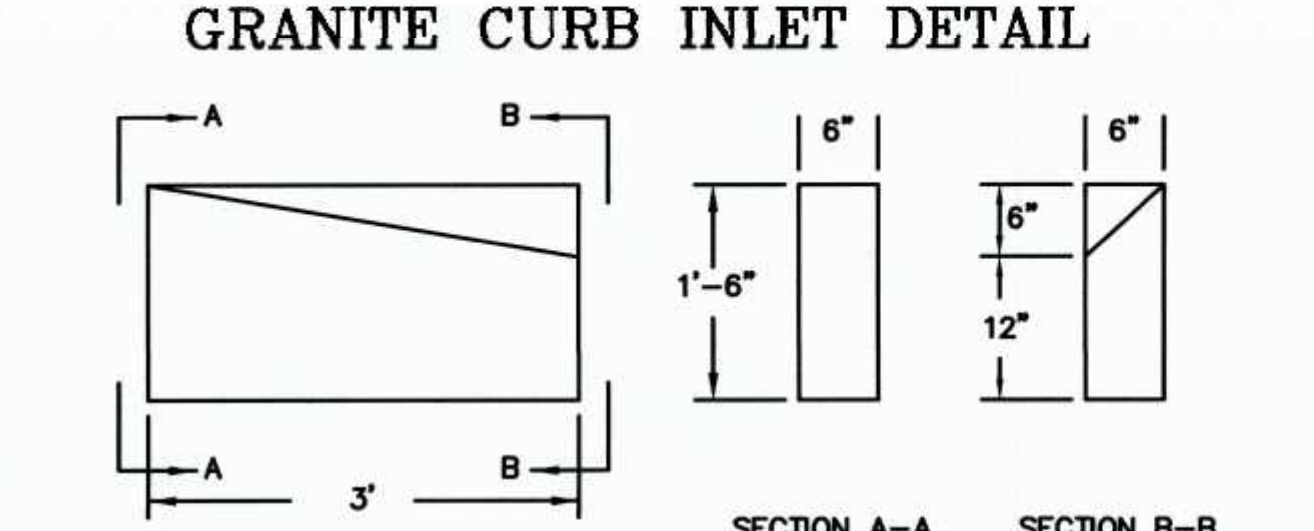
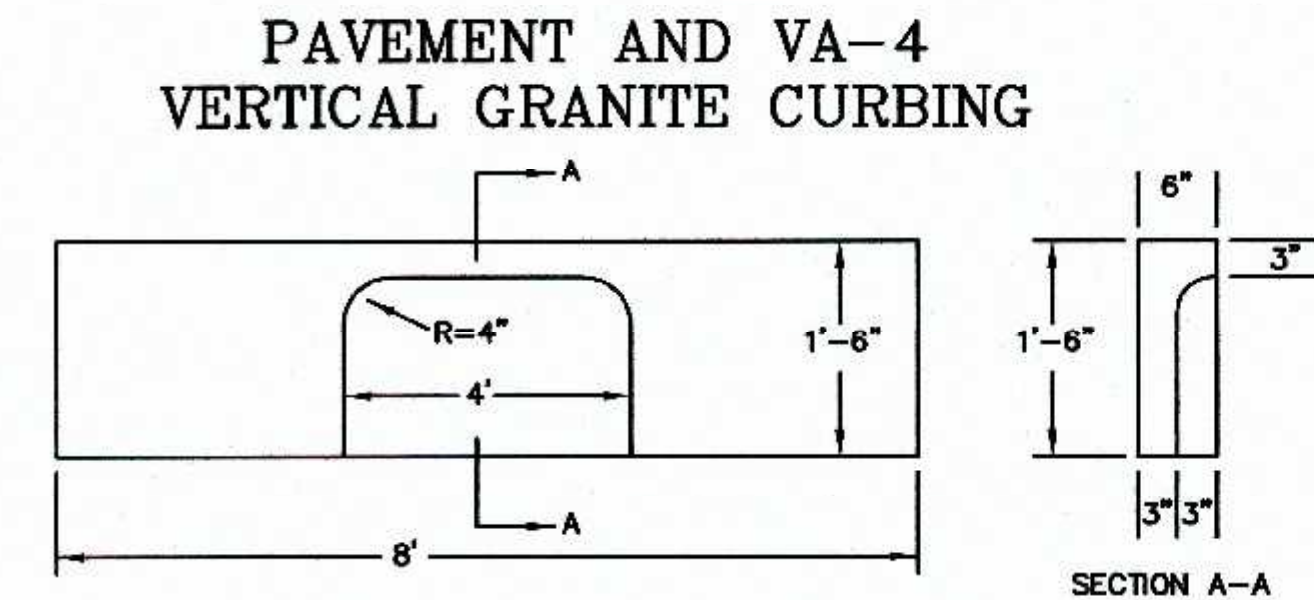
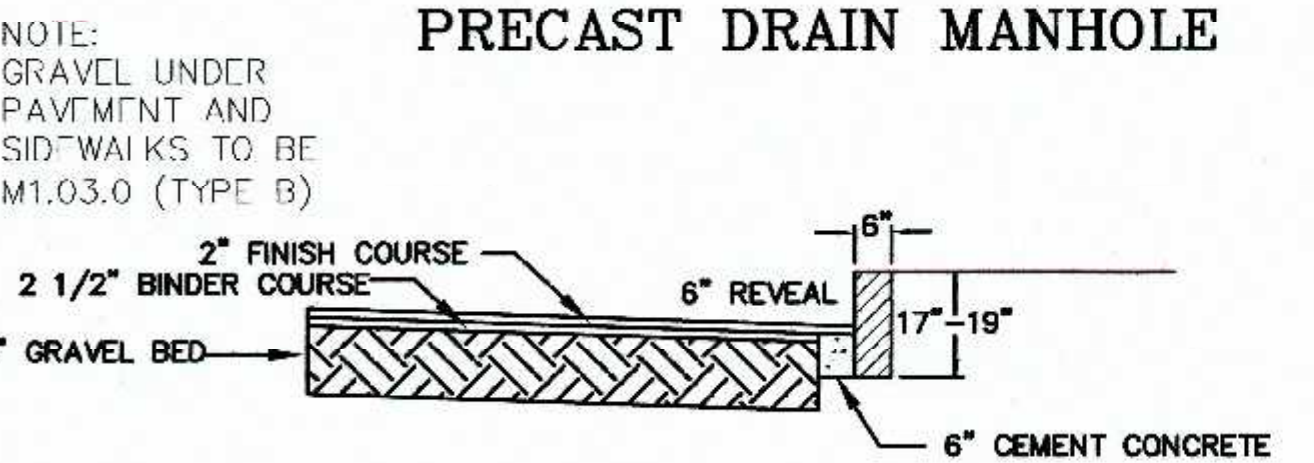
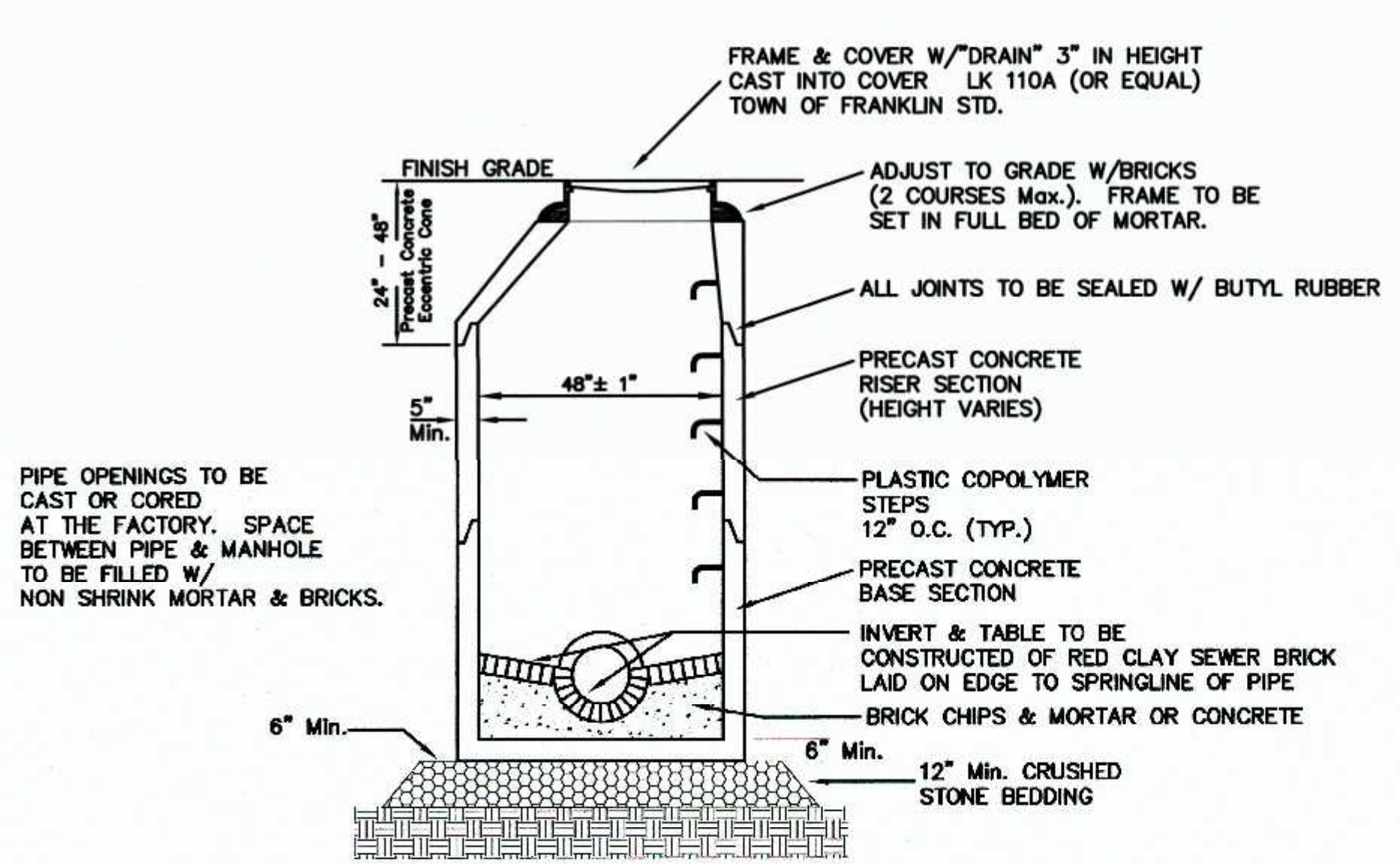


| NO. | DATE | DESCRIPTION | BY |
|-----|----------|------------------------|-----|
| 5 | 10/23/20 | REVIEW COMMENTS | RRG |
| 4 | 10/6/20 | BETA REVIEW COMMENTS | RRG |
| 3 | 9/14/20 | SITE LAYOUT AND DESIGN | RRG |
| 2 | 5/29/20 | REVIEW COMMENTS | RRG |
| 1 | 4/23/20 | REVIEW COMMENTS | RRG |

| DATE | FIELD BY: | INT. |
|------|--------------|------|
| 6/19 | FIELD BOOK | BL |
| 3/20 | CALCS BY: | RRG |
| 3/20 | DESIGNED BY: | RRG |
| 1/20 | DRAWN BY: | COMP |
| 3/20 | CHECKED BY: | CAQ |

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6660 FAX 508-384-6566

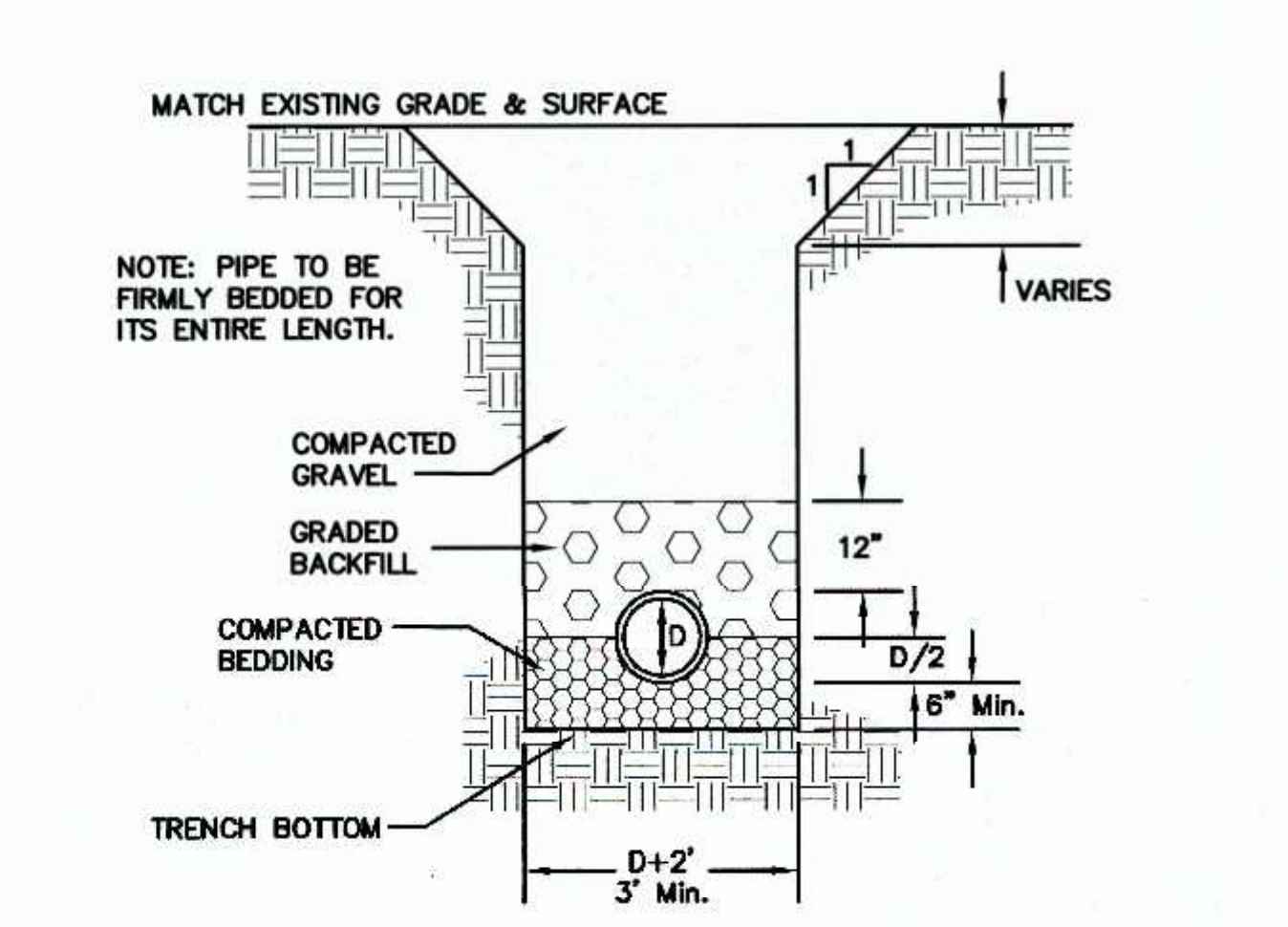
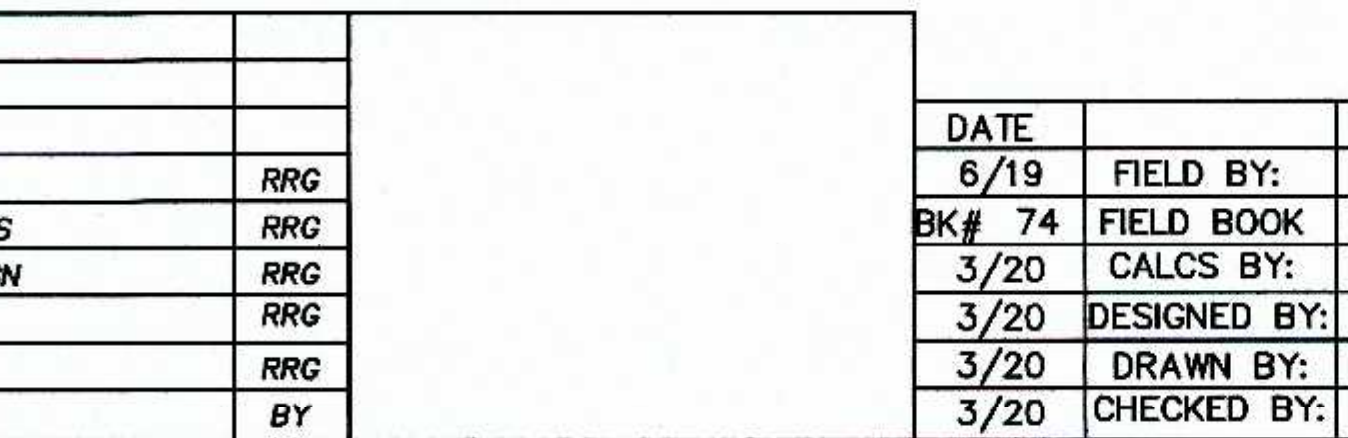
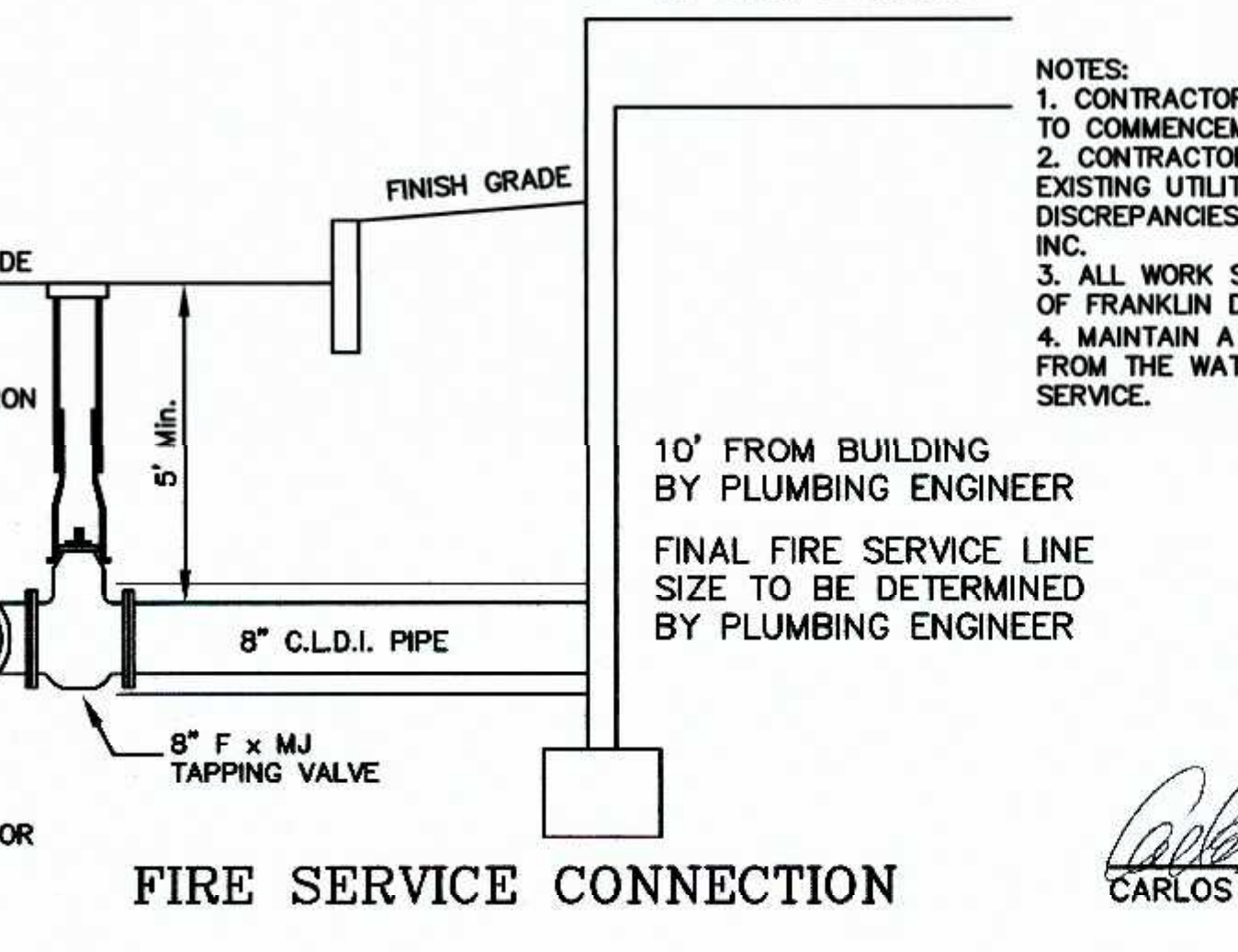
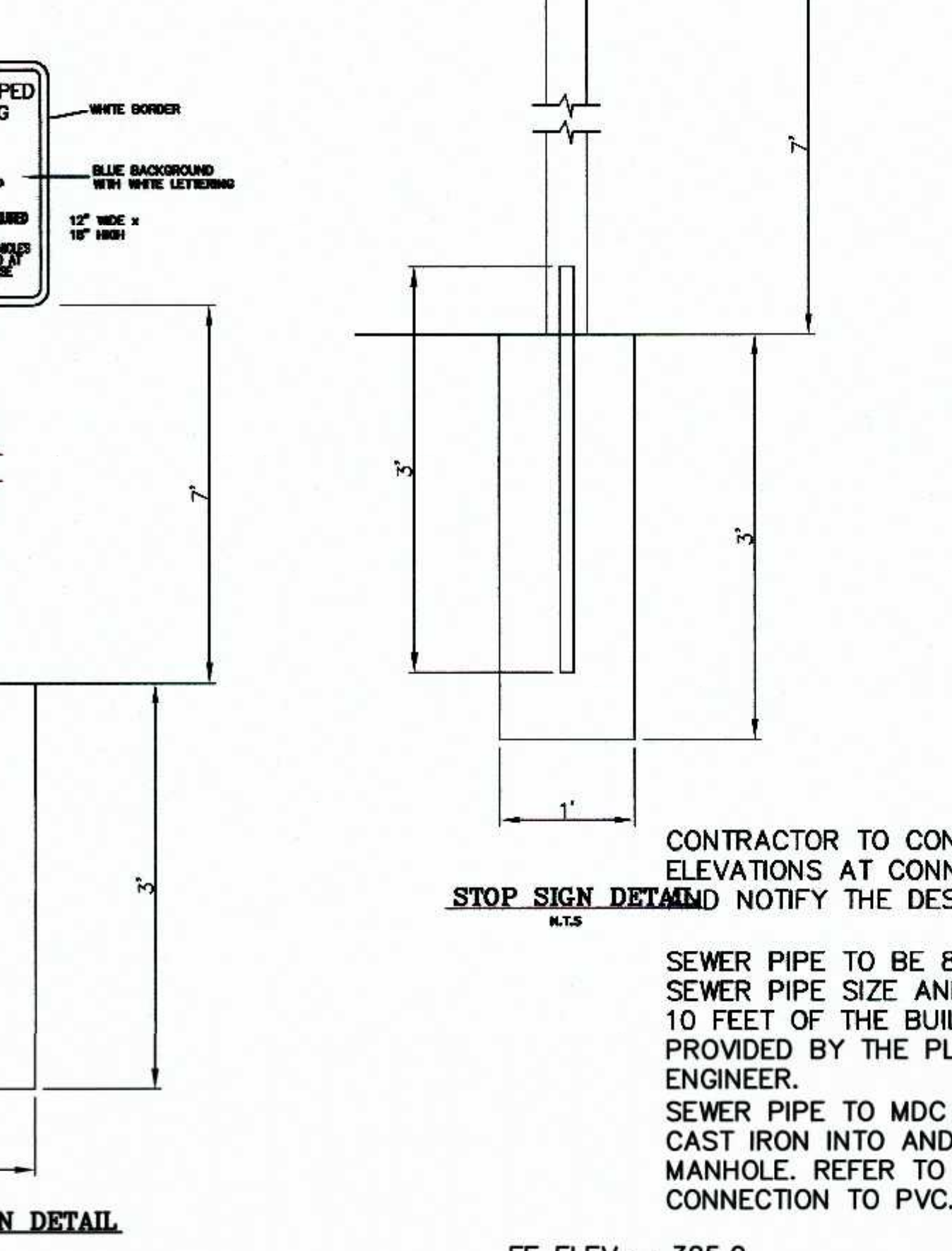
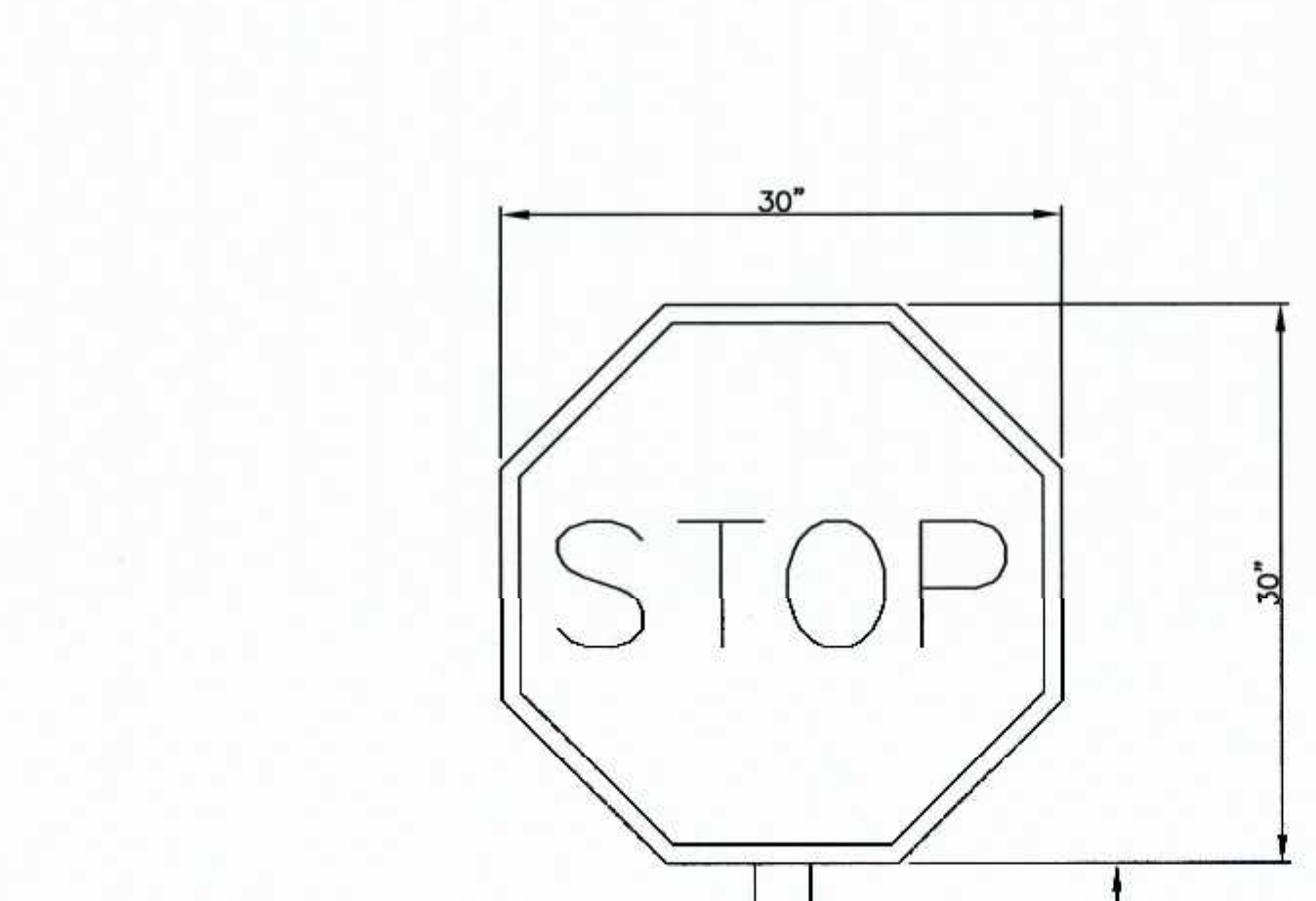
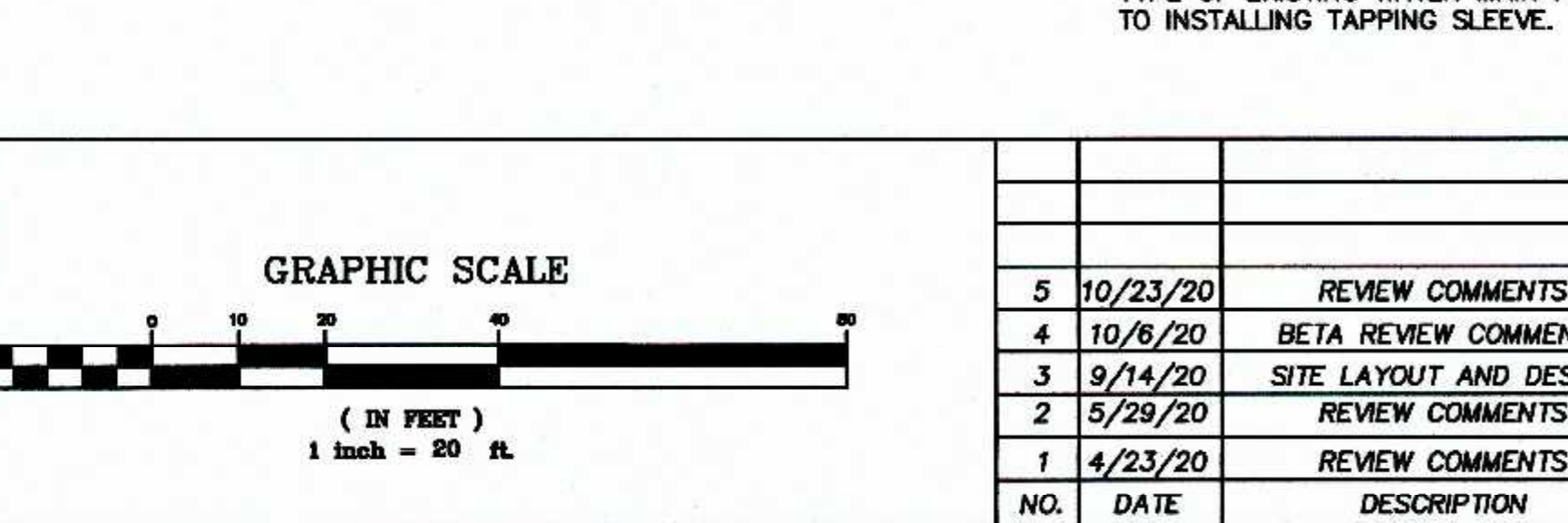
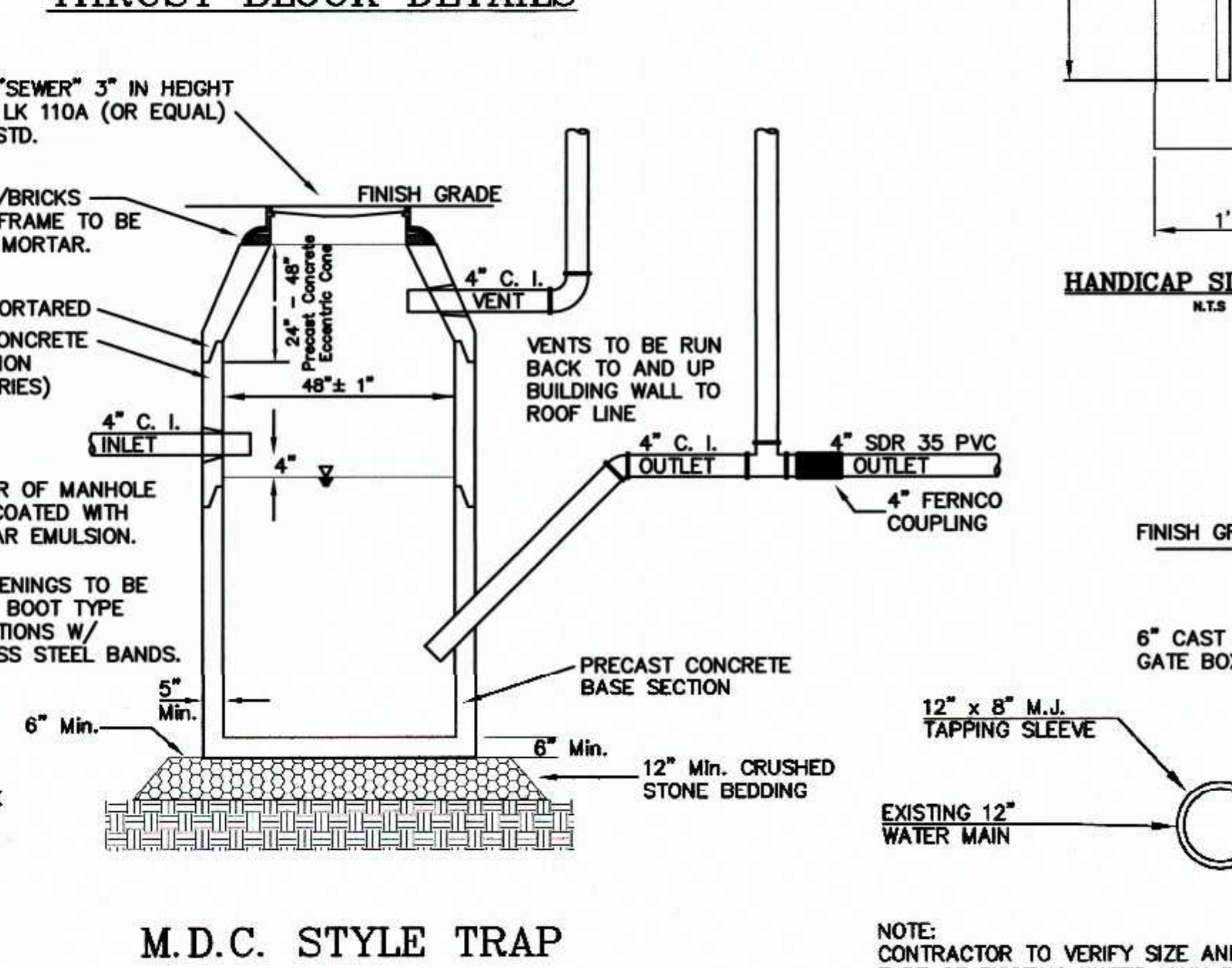
| DATE | SCALE | PROJECT | SHEET |
|--------------|----------|---------|--------|
| MAR. 4, 2020 | 1" = 20' | UC1334 | 6 of 9 |



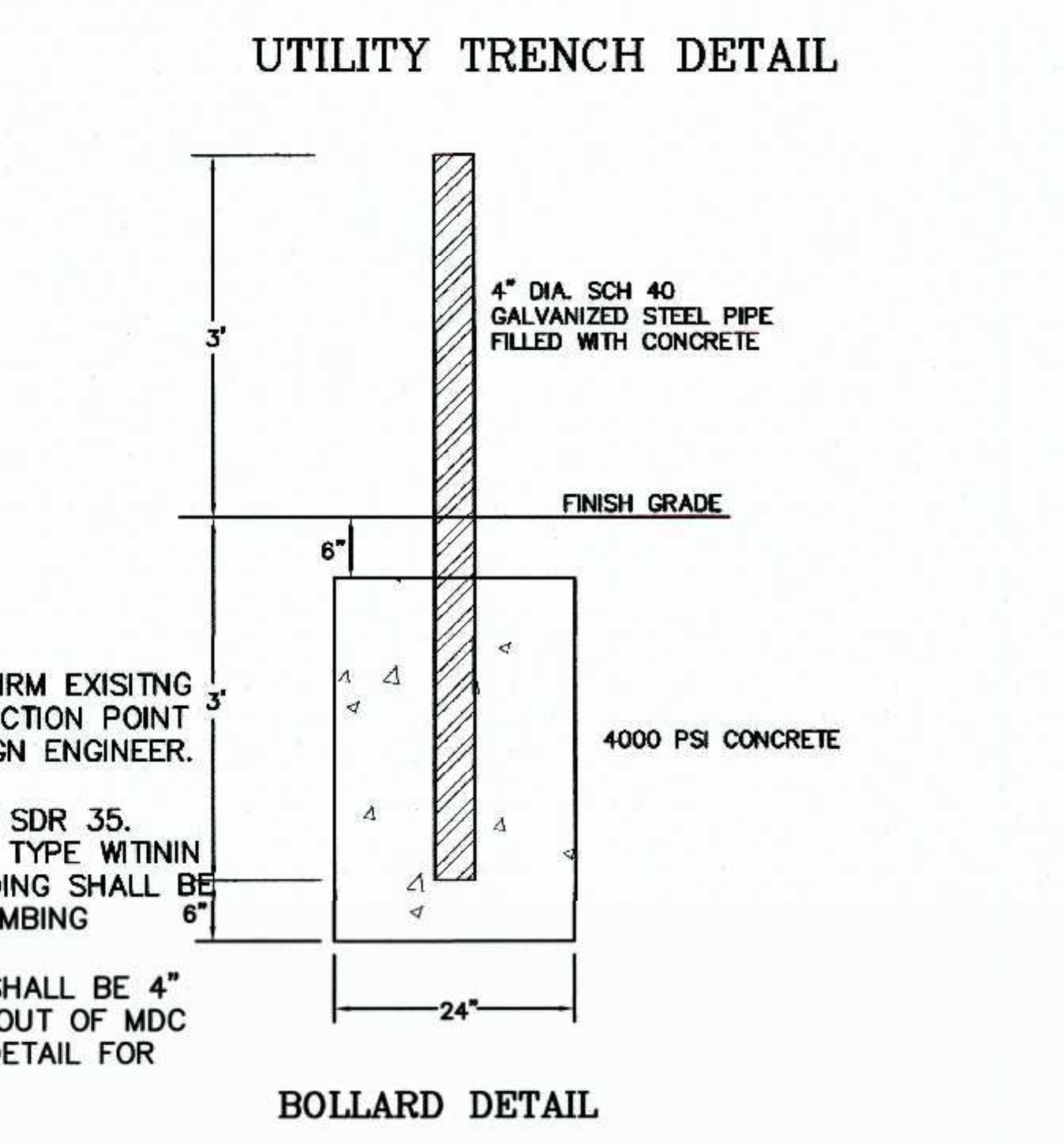
| SIZE OF BRANCH | J | K | L | M | N | O |
|----------------|-------|-------|-------|--------|--------|-------|
| 4" TO 8" | 10" | 10" | 1'-0" | 2'-0" | 1'-6" | 10" |
| 10" TO 16" | 1'-0" | 1'-0" | 1'-8" | 3'-10" | 2'-10" | 1'-8" |
| 24" | 1'-4" | 2'-0" | 2'-8" | 5'-0" | 3'-8" | 1'-8" |

| TEES AND PLUGS | |
|----------------|-------------------------------------|
| D | 4" TO 8" 10" TO 16" 24" |
| X | 1'-8" 3'-4" 3'-8" 1'-4" 2'-0" 3'-8" |
| Y | 1'-2" 1'-8" 2'-4" 1'-0" 1'-2" 2'-4" |

| BENDS | |
|---------------|-------------------------------------|
| 90 & 45 BENDS | 22 1/2 & 11 1/4 |
| D | 4" TO 8" 10" TO 16" 24" |
| X | 1'-8" 3'-4" 3'-8" 1'-4" 2'-0" 3'-8" |
| Y | 1'-2" 1'-8" 2'-4" 1'-0" 1'-2" 2'-4" |



| TYPE OF PIPE | RCP DRAIN | CLDI WATER | PVC SEWER | D.I. SEWER |
|-------------------|--------------|------------|------------|------------|
| BEDDING MATERIAL | PROC. GRAVEL | SAND | 3/4" STONE | 3/8" STONE |
| BACKFILL MATERIAL | ORD. FILL | SAND | 3/4" STONE | 3/8" STONE |



CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AT CONNECTION POINT AND NOTIFY THE DESIGN ENGINEER.

SEWER PIPE TO BE 8" SDR 35. SEWER PIPE SIZE AND TYPE WITHIN 10 FEET OF THE BUILDING SHALL BE PROVIDED BY THE PLUMBING ENGINEER.

SEWER PIPE TO MDC SHALL BE 4" CAST IRON INTO AND OUT OF MDC MANHOLE. REFER TO DETAIL FOR CONNECTION TO PVC.

FF ELEV = 325.0

NOTES:
 1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
 3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
 4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

OWNER:
 MAP 286 PARCELS 32 AND 34
 70 EAST CENTRAL STREET, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
 JOHN AND CARMEL SHERRY
 88 EAST CENTRAL STREET

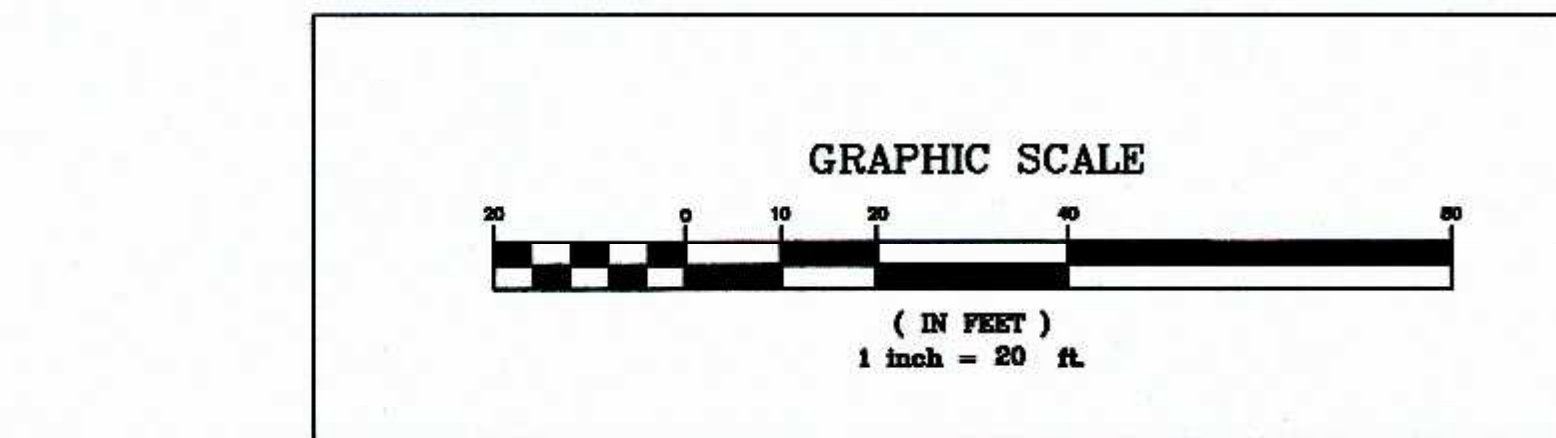
APPLICANT:
 70 EAST CENTRAL STREET, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN MODIFICATION
 CONSTRUCTION DETAIL PLAN - 1
 70, 72, 88 AND 94 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 70 EAST CENTRAL STREET, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 MARCH 4, 2020
 SCALE: 1" = 20'

CARLOS A. QUINTAL P.E. #30812

SITE PLAN APPROVAL REQUIRED
 FRANKLIN PLANNING BOARD

DATE _____



| NO. | DATE | DESCRIPTION | BY |
|-----|----------|------------------------|-----|
| 5 | 10/23/20 | REVIEW COMMENTS | RRG |
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| 3 | 9/14/20 | SITE LAYOUT AND DESIGN | RRG |
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DATE: MAR. 4, 2020
 SCALE: 1" = 20'
 PROJECT: UC1334
 SHEET: 7 of 9

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-8580 FAX 508-384-8588

DATE: 6/19
 FIELD BY: BL
 INT. PG# 63
 BK# 74
 3/20 CALCS BY: RRG
 3/20 DESIGNED BY: RRG
 3/20 DRAWN BY: COMP
 3/20 CHECKED BY: CAQ

Hydro Conduit

DR. BY: _____
 CK. BY: _____
 DATE: _____
 SCALE: N.T.S.
 DWG.# _____

CSR STC 450i Precast Concrete Stormceptor®
 (450 US Gallon Capacity)

PROJECT LOCATION: _____

SECTION THRU CHAMBER

SECTION THRU PLAN VIEW

NOTE:

- THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
- THE COVER SHOULD BE POSITIONED OVER THE CLEANOUT/VENT PIPE.
- THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.

Typical Siltsack® Construction - Type B

NOTE: GRAVEL UNDER DUMPSTER PAD TO BE M1.03.0 (TYPE B)

CONCRETE DUMPSTER PAD

NOTES:

- CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
- ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
- MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

DUMPSTER AREA FENCE

CAST IRON COVER ENCASED IN 12" WIDE CONCRETE APRON SLAB

FINISH GRADE

6" RISER W/ SCREW CAP

INSPECTION PORT DETAIL

DRAINAGE INFILTRATION AREAS

N.T.S.

FRAME & COVER W/ SEWER 3" IN HEIGHT CAST INTO COVER LK 110A (OR EQUAL) TOWN OF FRANKLIN STD.

FINISH GRADE

ADJUST TO GRADE W/ BRICKS (2 COURSES MAX.). FRAME TO BE SET IN FULL BED OF MORTAR.

ALL JOINTS TO BE MORTARED

PRECAST CONCRETE RISER SECTION (HEIGHT VARIES)

PIPE OPENINGS TO BE CAST OR CORED AT THE FACTORY. SPACE BETWEEN PIPE & MANHOLE TO BE FILLED W/ NON SHRINK MORTAR & BRICKS.

PLASTIC COATED STEEL STEPS 12" O.C. (TYP.)

PRECAST CONCRETE BASE SECTION

INVERT & TABLE TO BE CONSTRUCTED OF RED CLAY SEWER BRICK LAID ON EDGE TO SPRINGLINE OF PIPE

BRICK CHIPS & MORTAR OR CONCRETE

6" POURED IN PLACE CONCRETE BASE EXTEND 6" - 12" OUTSIDE OF WALLS

12" Min. CRUSHED STONE BEDDING

6" Min.

PROPOSED 8" PVC

PIPE OPENING TO BE RUBBER BOOT TYPE CONNECTION W/ STAINLESS STEEL BANDS.

CUTOUT FOR EXISTING SEWER PIPE

SMH 3 48" ± 1"

5" Min.

24" - 48" Precast Concrete Esophageic Cone

PRECAST DOG HOUSE SEWER MANHOLE

FINISH GRADE

12" HDPE INLET FROM ROOF DRAIN FRONT OF BUILDING AND CATCH BASIN 92.

INSPECTION PORTS TO BE INSTALLED AT EACH CORNER OF LEACHING AREA. (SEE DETAIL)

POND 94 = 315.72

12" INLET = 314.72

POND 94 = 312.72

POND 94 = 312.22

ESHGW = 310.2 BASED ON TP 5

DRAINAGE INFILTRATION AREA

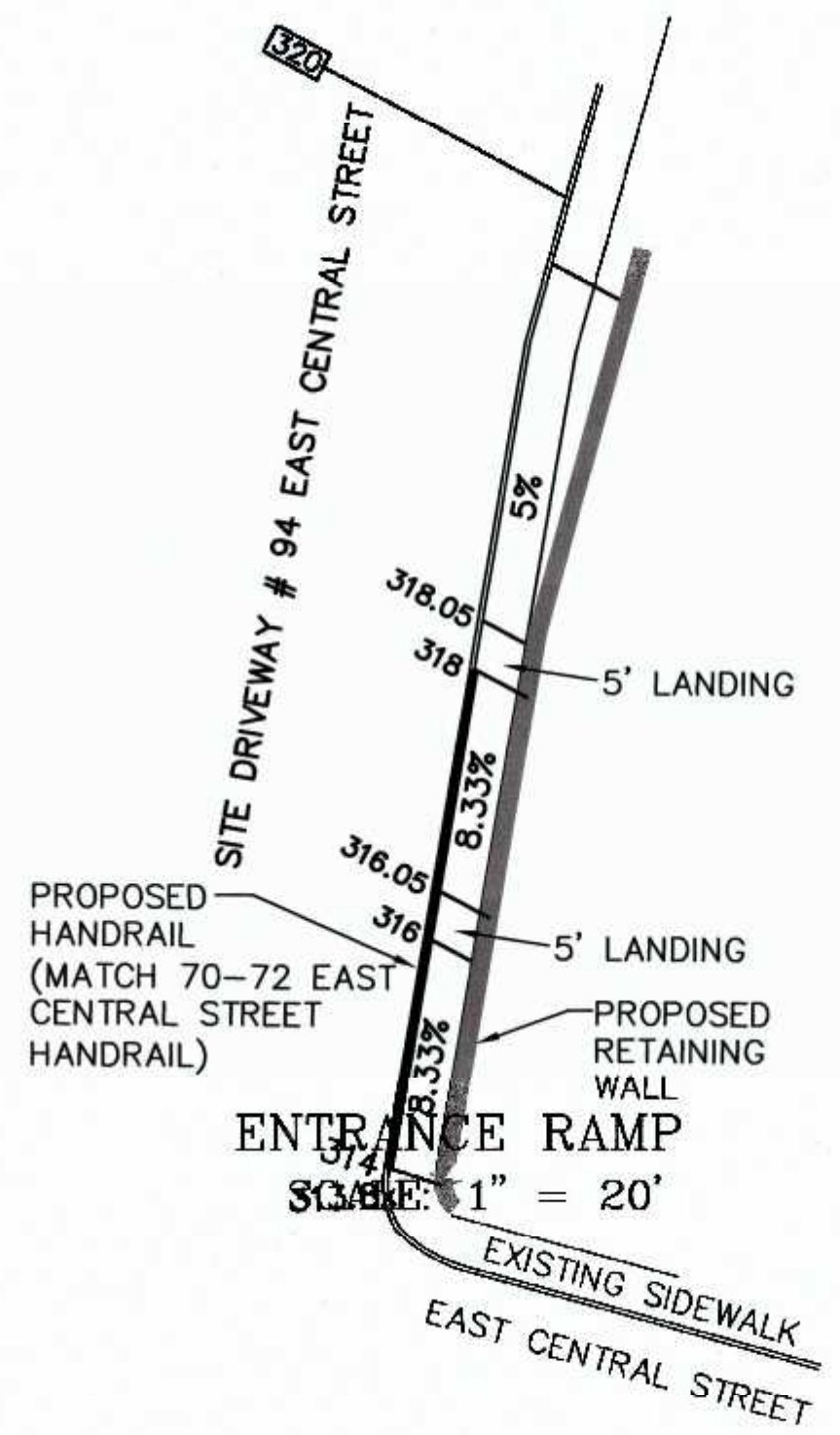
NOTE: INFILTRATION POND 94 CONSISTS OF 6 ROWS OF 3' DIAMETER PERFORATED HDPE PIPE 70' IN LENGTH. STONE EXTENTS 31.75' X 72'

THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE SOIL INFILTRATION AREA PRIOR TO ANY FILL BEING PLACED.

OWNER: MAP 286 PARCELS 32 AND 34 70 EAST CENTRAL STREET, LLC 37 EAST CENTRAL STREET FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33 JOHN AND CARMEL SHERRY 88 EAST CENTRAL STREET

APPLICANT: 70 EAST CENTRAL STREET, LLC 37 EAST CENTRAL STREET FRANKLIN, MASSACHUSETTS



WB-30 TRASH TRUCK DUMPSTER AREA ROUTE

SCALE: 1" = 20'

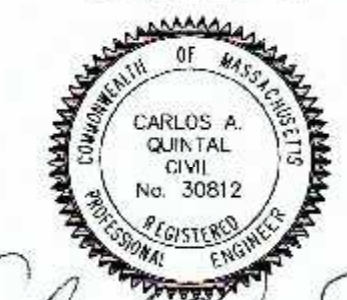
SITE PLAN MODIFICATION CONSTRUCTION DETAIL PLAN - 2

70, 72, 88 AND 94 EAST CENTRAL STREET FRANKLIN, MASSACHUSETTS

PREPARED FOR 70 EAST CENTRAL STREET, LLC 37 EAST CENTRAL STREET FRANKLIN, MASSACHUSETTS

MARCH 4, 2020

SCALE: 1" = 20'

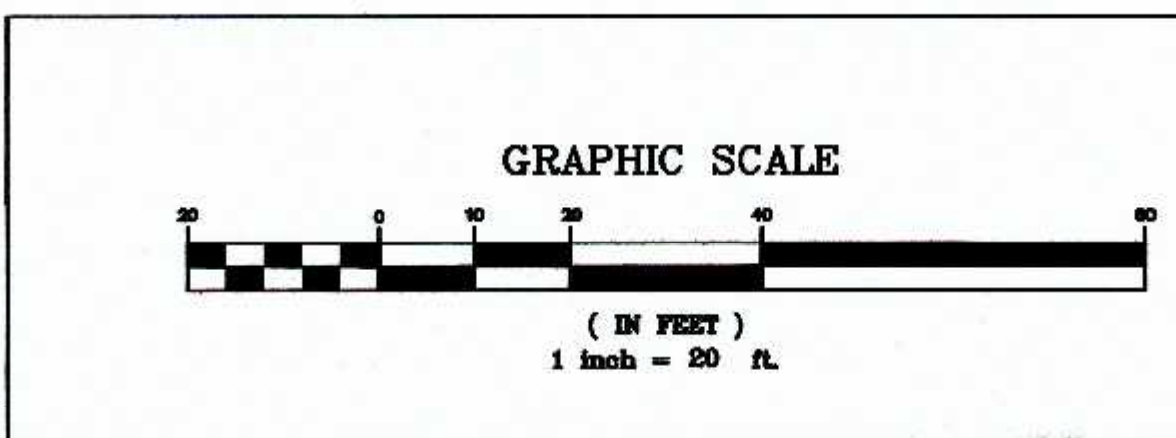


CARLOS A. QUINTAL P.E. #30812

SITE PLAN APPROVAL REQUIRED

FRANKLIN PLANNING BOARD

DATE _____



| NO. | DATE | DESCRIPTION | BY |
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| 5 | 10/23/20 | REVIEW COMMENTS | RRG |
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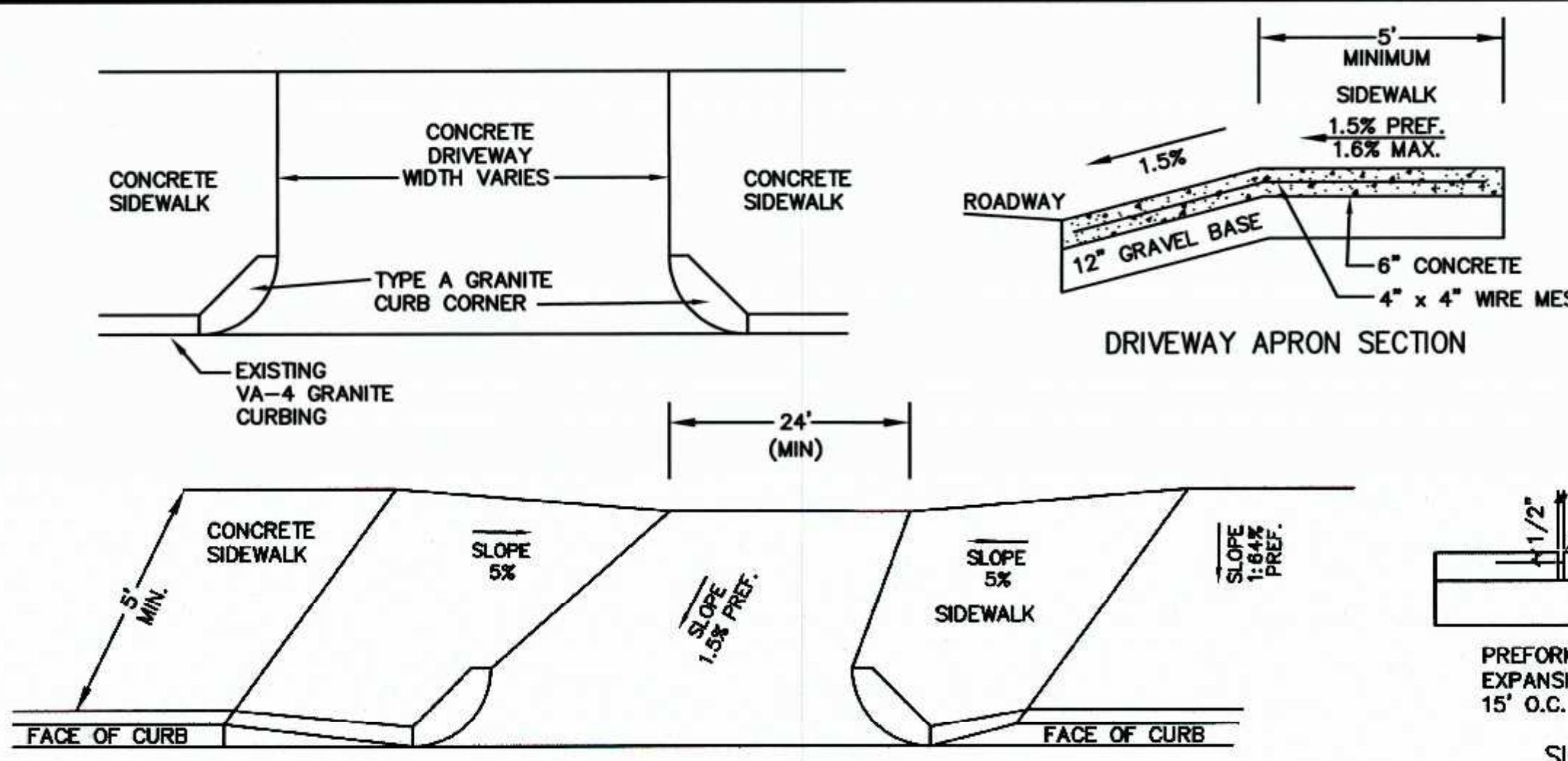
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|--------|--------------|------|
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| BK# 74 | CALCS BY: | RRG |
| 3/20 | DESIGNED BY: | RRG |
| 3/20 | DRAWN BY: | COMP |
| 3/20 | CHECKED BY: | CAQ |

UNITED CONSULTANTS INC.

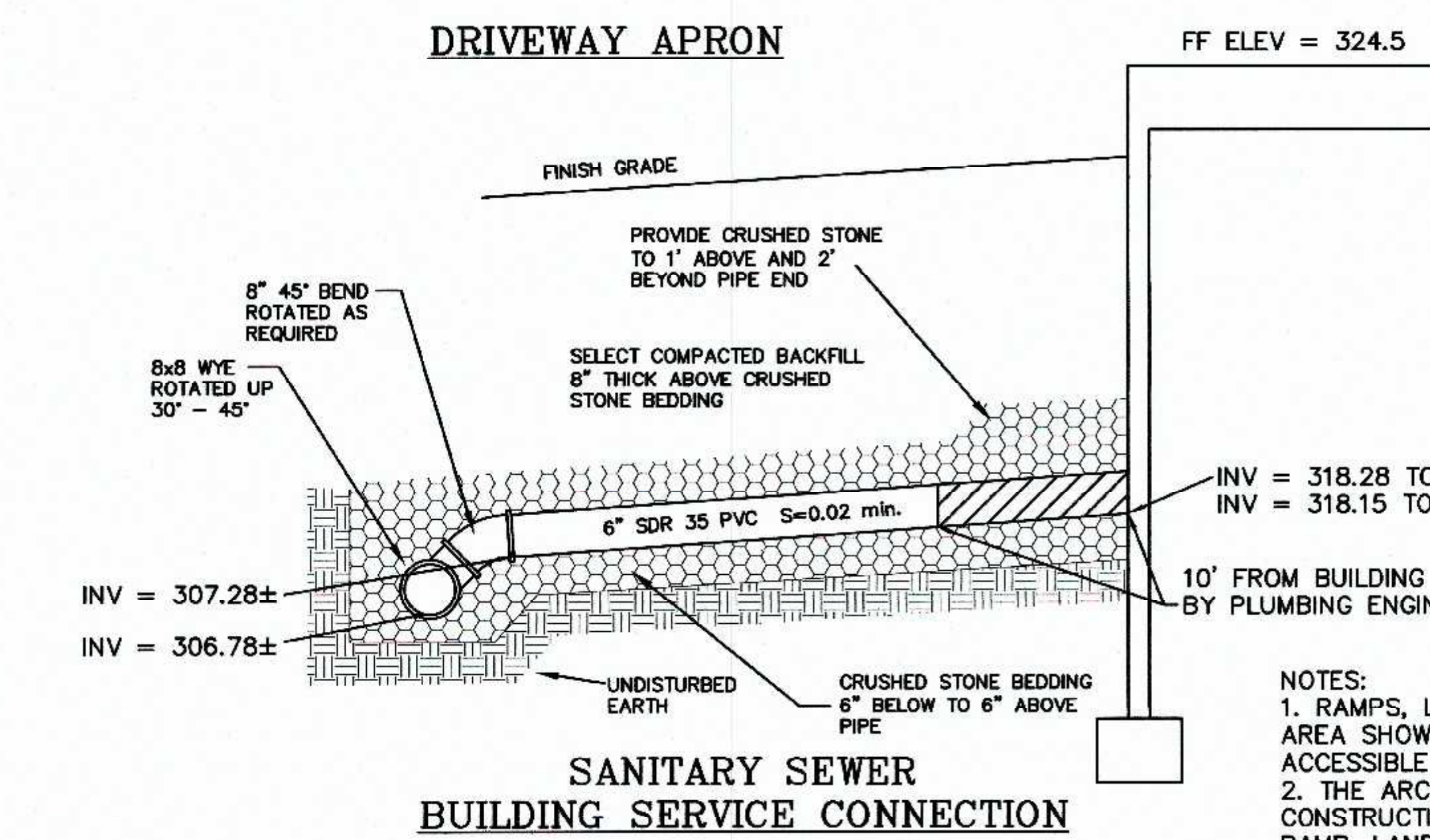
850 FRANKLIN STREET SUITE 11D WRENTHAM, MASSACHUSETTS 02093

508-384-8580 FAX 508-384-8588

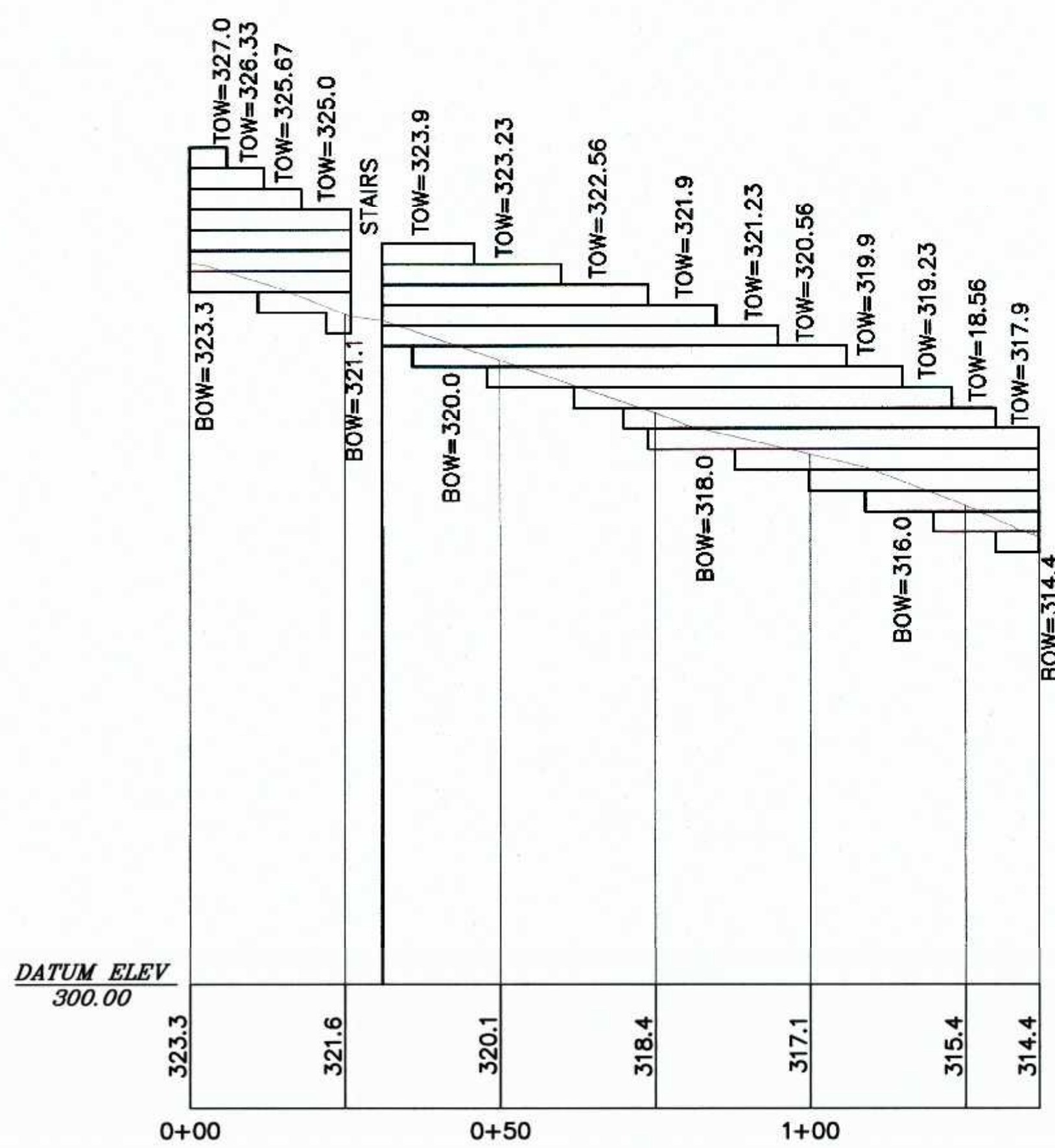
| DATE |
|--------------|
| MAR. 4, 2020 |
| SCALE |
| 1" = 20' |
| PROJECT |
| UC1334 |
| SHEET |
| 8 of 9 |



NOTES:
 1. CROSS SLOPE ON ANY RAMP, LANDING OR ACCESSIBLE ROUTE SHALL NOT EXCEED 3/16" PER FOOT.
 2. THE SIDEWALKS ARE 5' MINIMUM IN WIDTH.
 3. ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.
 4. GRAVEL UNDER SIDEWALK TO BE M1.03.0 (TYPE B)

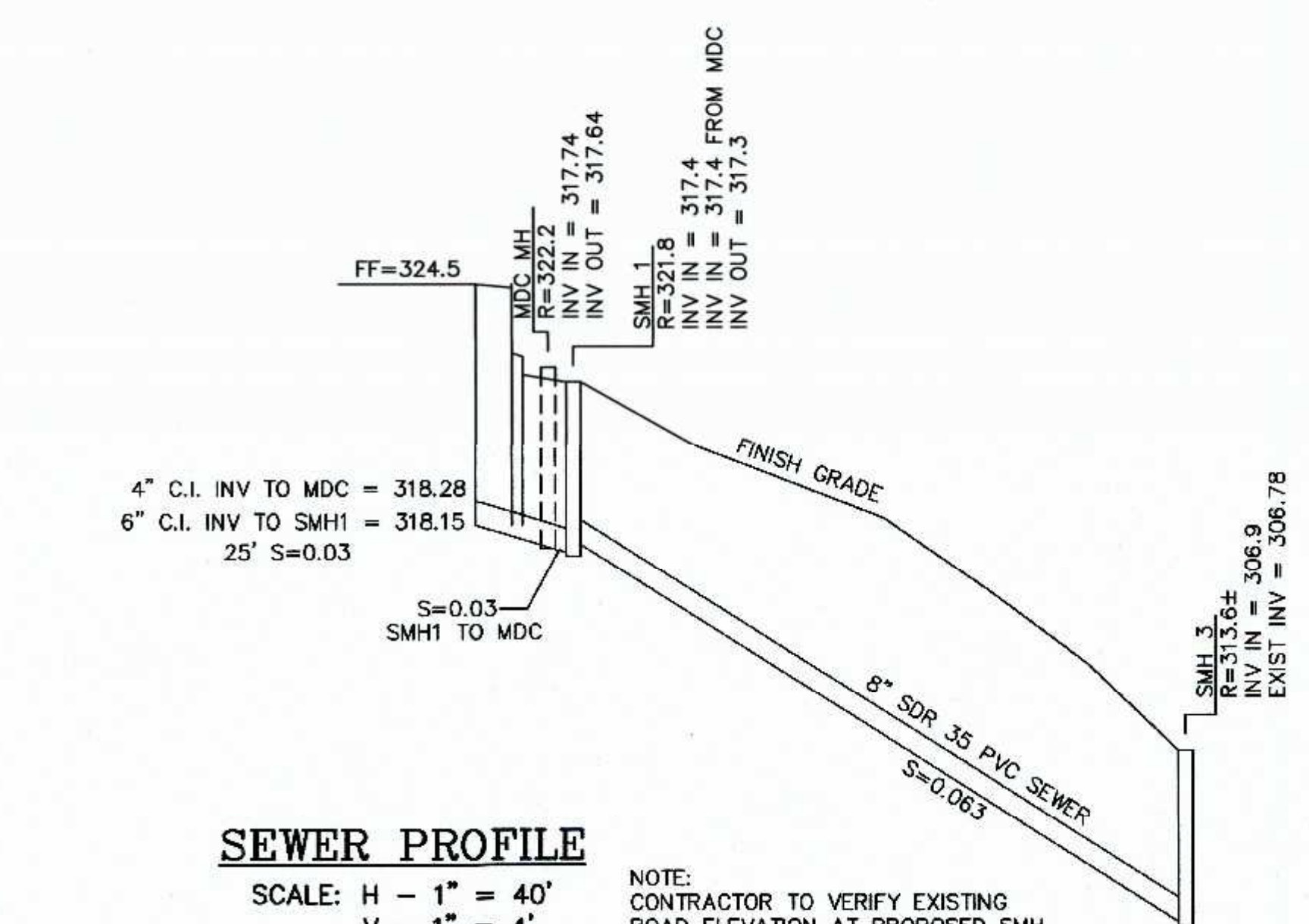


NOTES:
 1. RAMP, LANDINGS AND ENTRANCE AREA SHOWN FOR GRADING OF THE ACCESSIBLE ROUTE ONLY.
 2. THE ARCHITECT SHALL PROVIDE CONSTRUCTION DETAILS FOR THE RAMP, LANDINGS AND ENTRANCE AREA.
 3. RAMP TO INCLUDE HANDRAILS.



PROPOSED RETAINING WALL #1
 SCALE: H - 1" = 20'

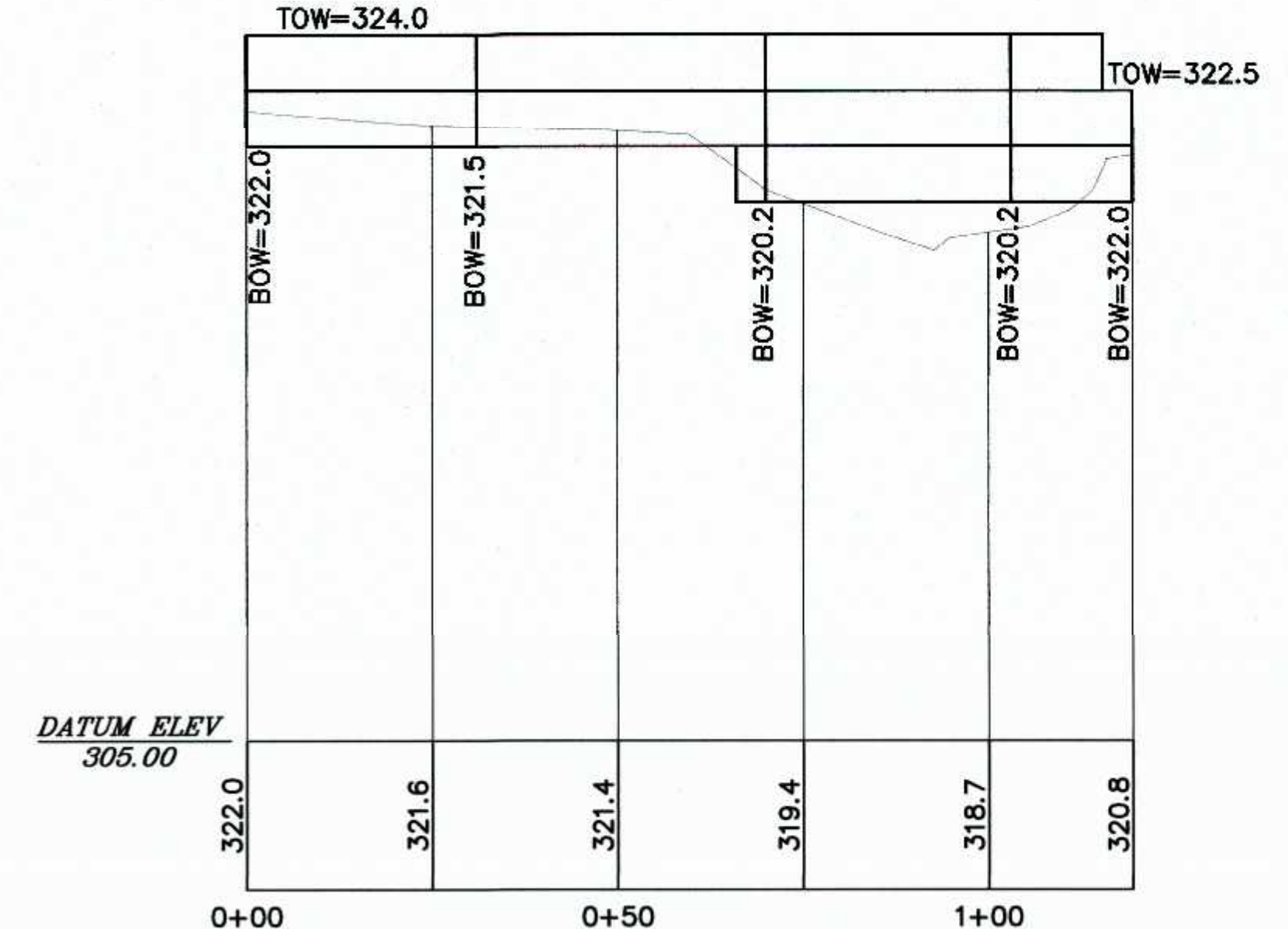
PROPOSED RETAINING WALL # 1 NOTES:
 1. PROPOSED RETAINING WALL SHOWN TO PROVIDE TOP OF WALL (TOW) AND BOTTOM OF WALL (BOW) ELEVATIONS.
 2. FINAL WALL DESIGNS TO BE COMPLETED BY A STRUCTURAL ENGINEER AND FILED WITH THE BUILDING DEPARTMENT, AS NECESSARY.
 3. PROPOSED RETAINING WALLS TO BE ALLEN BLOCKS. BLOCKS TO BE 0.67' IN HEIGHT.



SEWER PROFILE

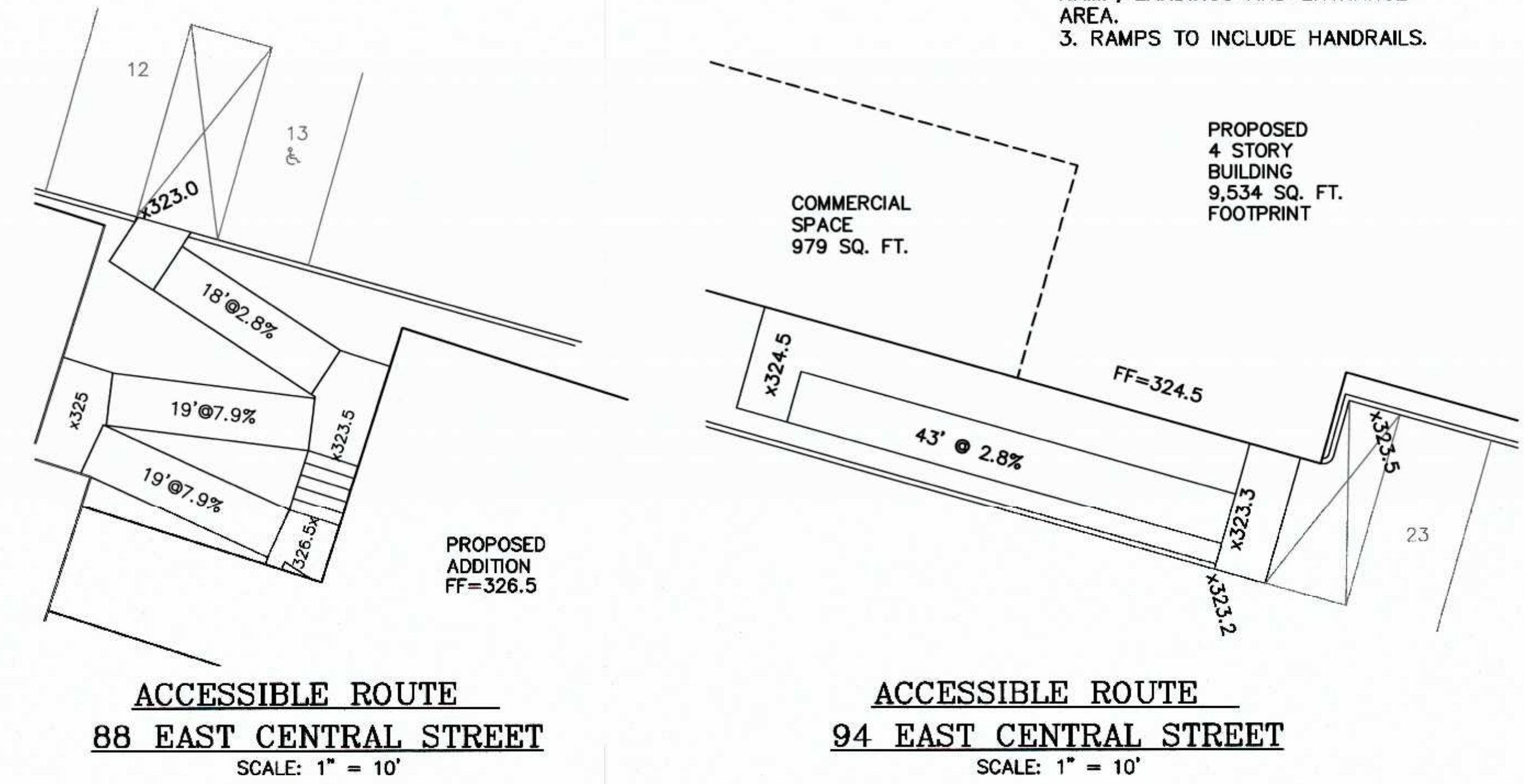
SCALE: H - 1" = 40'
 V - 1" = 4'

NOTE:
 CONTRACTOR TO VERIFY EXISTING ROAD ELEVATION AT PROPOSED SMH 3 PRIOR TO ORDERING THE PRECAST MANHOLE AND REPORT THE ELEVATION TO THE DESIGN ENGINEER.



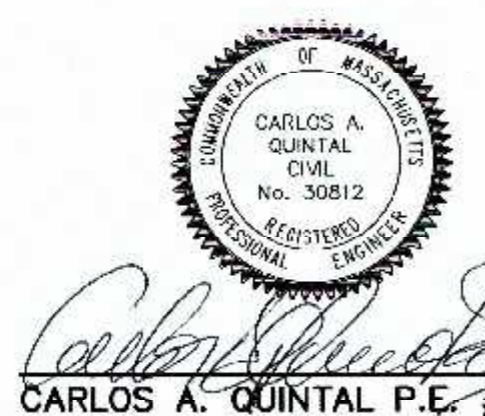
PROPOSED RETAINING WALL #2

PROPOSED RETAINING WALL # 2 NOTES: SCALE: H - 1" = 20'
 1. PROPOSED RETAINING WALL SHOWN TO PROVIDE TOP OF WALL (TOW) AND BOTTOM OF WALL (BOW) ELEVATIONS.
 2. FINAL WALL DESIGNS TO BE COMPLETED BY A STRUCTURAL ENGINEER AND FILED WITH THE BUILDING DEPARTMENT, AS NECESSARY
 3. PROPOSED RETAINING WALLS TO BE REDI ROCK BLOCKS. BLOCK TO BE 1.5 FEET IN HEIGHT.



ACCESSIBLE ROUTE
 88 EAST CENTRAL STREET
 SCALE: 1" = 10'

ACCESSIBLE ROUTE
 94 EAST CENTRAL STREET
 SCALE: 1" = 10'



CARLOS A. QUINTAL P.E. #30812

OWNER:
 MAP 286 PARCELS 32 AND 34
 70 EAST CENTRAL STREET, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33
 JOHN AND CARMEL SHERRY
 88 EAST CENTRAL STREET

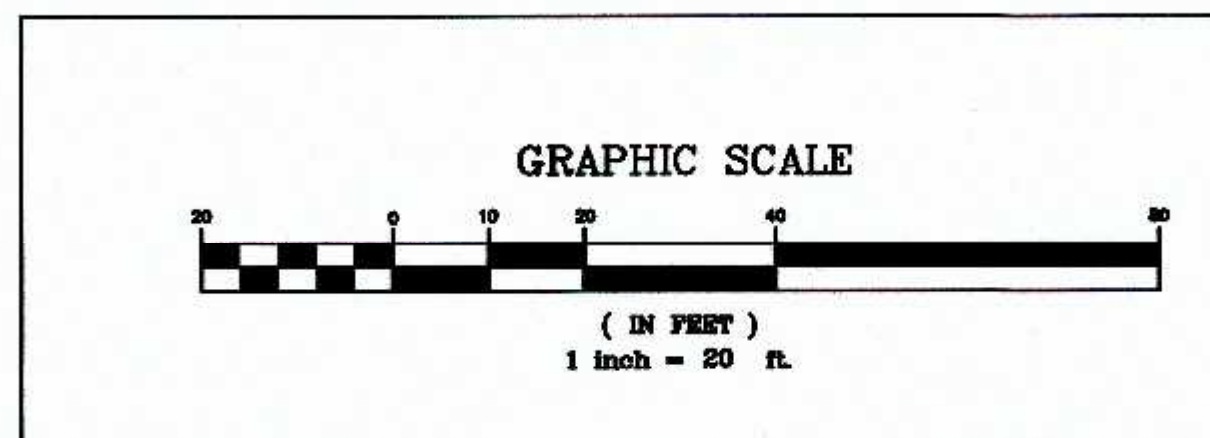
APPLICANT:
 70 EAST CENTRAL STREET, LLC
 37 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

| NO. | DATE | DESCRIPTION | BY |
|-----|----------|------------------------|-----|
| 5 | 10/23/20 | REVIEW COMMENTS | RRG |
| 4 | 10/6/20 | BETA REVIEW COMMENTS | RRG |
| 3 | 9/14/20 | SITE LAYOUT AND DESIGN | RRG |
| 2 | 5/29/20 | REVIEW COMMENTS | RRG |
| 1 | 4/23/20 | REVIEW COMMENTS | RRG |

| DATE | FIELD BY: | INT. |
|--------|--------------|--------|
| 6/19 | BL | BL |
| BK# 74 | FIELD BOOK | PG# 63 |
| 3/20 | CALCS BY: | RRG |
| 3/20 | DESIGNED BY: | RRG |
| 3/20 | DRAWN BY: | COMP |
| 3/20 | CHECKED BY: | CAQ |

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-8560 FAX 508-384-8568

| | |
|---------|--------------|
| DATE | MAR. 4, 2020 |
| SCALE | 1" = 20' |
| PROJECT | UC1334 |
| SHEET | 9 of 9 |



SITE PLAN APPROVAL REQUIRED
 FRANKLIN PLANNING BOARD

DATE _____

Town of Franklin



Design Review Commission

**Tuesday, October 20, 2020
Meeting Minutes**

Chair Fitzgerald called the above-captioned meeting to order this date at 7:00 PM, **as a Remote Access Virtual Zoom Meeting**. Members in attendance: Mark Fitzgerald, Chair; Chris Baryluk, Vice Chair; James Bartro, Sam Williams, Gerald Wood, Venkata Sompally, Associate.

As stated on the agenda, due to the growing concerns regarding the COVID-19 virus, this meeting will be conducted as a Remote/Virtual Design Review Commission meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number, or citizens can participate by using the Zoom link provided on the agenda.

1. Costello Realty – 365 West Central Street– Install Channel letters and Door lettering

Mr. Cam Afonso, Signs by Cam, present representing the owner of Costello Realty. Stated they are installing channel letters on a raceway. Landlord has approved everything. Letters will be black during the day and light up white at night. Chair Fitzgerald asked if the black letters light at night or the letters become white at night? Cam stated that the letters become white at night. He stated that during the day they look black, you can't tell they are white. When it's dark out the lights turn on. It's called day/night effect. During the day they are one color and at night they are bright white. They did it for Expressions school in the other mall that was approved couple months ago. It is a black vinyl with holes in it. When lights come on it allows the light to come through those holes. Chair asked if they were going to get a pylon sign. Cam stated not at this time. They are not interested in advertising they are not a walk-in business.

Motion by S. Williams to approve the sign package as submitted. Second by J. Bartro. Voted 5-0-0

Meeting Minutes: October 6, 2020

Motion: To **Approve** the October 6, 2020 Meeting Minutes as written. **Motion by J Bartro. Second by C. Baryluk. Voted 5-0-0.**

New Business: Discussion about Liquor World sign. Somebody shuffled the order of those signs after Shiva went under and moved Liquor World to the top without a permit. The commission would not have approved the sign if they had submitted it because of the white background with black letters in front. If owner comes in and wants a sign answer will probably be no until they bring sign into compliance.

Cake Bar sign looks in similar shape as old Acapulcos sign. Should get Gus to take a look.

Motion to Adjourn by S. Williams. Second by J. Bartro. **Voted 5-0-0.** Meeting adjourned at 7:10 PM.

Respectfully submitted,

Maxine Kinhart

Maxine Kinhart, Recording Secretary