

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Site Layout Plan - Panther Way

Property Address Panther Way

Assessors' Map # 270-038-000-000 Parcel #

Zoning District (select applicable zone): Com II

Zoning History: Use Variance
Non-Conforming Use

B) Applicant Information:

Applicant Name: Camford Property Group

Address: 37 East Central St, Franklin, MA

Telephone Number: 508-507-9020

Contact Person: Brad Chaffee

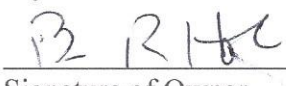
C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Property Owner: Panther Way 2019, LLC
Address: 7 Myrtle St
 Norfolk, MA

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this day of 20



Signature of Applicant



Signature of Owner

Brad Chaffee

Print name of Applicant

Brian R Holmer

Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

E) Work Summary

Summary of work to be done: Construction of proposed commercial building with
site work per plans

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. Within the Commercial II zone the new structure complies with (3) stories / 40 ft height. In the fabric of the surrounding area we feel the style and character of the proposed building is a great addition, and is compatible with its surroundings.

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. The architectural character of the surrounding area features commercial spaces with larger doors & windows, we feel the proposed building in relationship is compatible with this overall style.

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. The proposed building complies with coverage requirements within Commercial II zone. The proposed building does not have any adjoining structures.

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. The roof shape and pitch are intended to add interest along the front facade, while bringing in elements of the surrounding architectural roof styles.

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. The building scale is compatible within the commercial II zone and the immediate surrounding areas. Examples of similar building scales are Pirelli Veterans arena, Franklin PD, & Vendetti Motors.

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: The proposed building facade is intended to be inviting while creating interest from the street front with added eyebrow dormers, along with the differing building height as it steps further back from the street.

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. The proposed building details are intended to enhance the interest of the building with modern materials (Nichiha cedar wood siding, craftsman style wood detailing in eaves, standing seam metal roofing, metal siding, & stone veneer). We feel the proposed building maintains its own style while taking cues from surrounding commercial buildings.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. No advertising features are proposed at this time

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. N/A

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. The proposed building will meet IBC building code for energy efficiency based on it's use, and make efforts to adhere to principles of energy conscious design throughout the design process.

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible. The proposed landscaping surrounding the proposed building is intended to enhance the appearance of the building.

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

ADDENDA

INSTRUCTIONS FOR COMPLETION OF FORM Q-DESIGN REVIEW APPLICATION

A. General Information

- Please list name of Business as it will appear on sign or name of project or development, as the case may be, as well as the property address
- Assessors' Map & Parcel numbers may be obtained from tax bill, Town website @ www.franklin.ma.us/Town/Assessors/PropertyTax or from the computer located outside the Assessor's Office, first floor, Municipal Building, 355 East Central Street.
- Zoning District and Zoning History information may be obtained at the Building Department, 1st floor, Municipal Building

B. Applicant Information – complete and include name of contact person w/ phone number

C. Owner Information – if business owner and property owner are not the same, please include information for both. If signage is within a shopping plaza—obtain letter of approval of sign changes from plaza owner.

Page 2 –

D. Architect/Engineer or Sign Company Information:

- Signs only – Name of Sign Company and Contact Person
- Developments & Projects – Engineer and Architect Information as well

E. Work Summary: Include brief summation of work to be done

Pages 3 & 4

F. Information & Materials to be Submitted w/Application

a) SIGNS ONLY –

- Nine (9) Copies of sign drawings and photos, which include information listed on Page 2 of the application

b) SITE PLAN APPLICATIONS FOR BUILDINGS/DEVELOPMENTS/PROJECTS.

- Nine (9) Copies of all plans including information listed on Page 2 of application.
- Please bring samples of siding and roofing materials and paint color samples to the meeting when scheduled.

DESIGN STANDARDS – For Buildings/Projects and Developments, please complete Pages 3 and 4 as they apply to your project.

ALL APPLICATIONS WITH NINE (9) COPIES OF SUPPLEMENTARY INFORMATION MUST BE FILED BY CLOSE OF BUSINESS ON WEDNESDAY PRIOR TO THE FOLLOWING TUESDAY MEETING. MEETINGS ARE GENERALLY TWICE A MONTH THE 2ND & 4TH TUESDAY OF THE MONTH.

FOR SIGN APPLICATIONS ONLY, YOU NEED ONLY COMPLETE PAGES 1 & 2 OF APPLICATION.



VERTICAL BOARD & BATTEN STYLE METAL SIDING:
SW# 7757 High Reflective White OR APPROVED SIMILAR

STANDING SEAM METAL ROOFING

VERTICAL BOARD & BATTEN STYLE METAL SIDING:
SW# 6607 Red Tomato OR APPROVED SIMILAR

STANDING SEAM METAL ROOFING

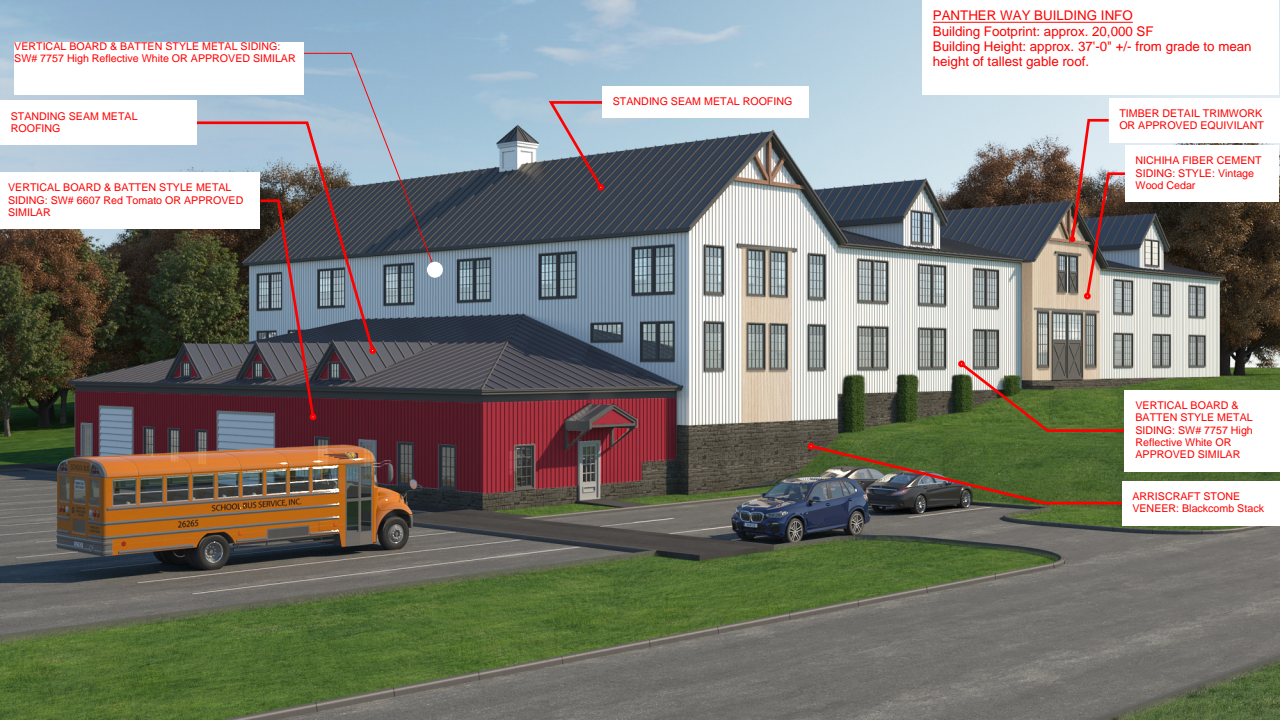
PANTHER WAY BUILDING INFO
Building Footprint: approx. 20,000 SF
Building Height: approx. 37'-0" +/- from grade to mean height of tallest gable roof.

TIMBER DETAIL TRIMWORK
OR APPROVED EQUIVILANT

NICHIHA FIBER CEMENT SIDING: STYLE: Vintage Wood Cedar

VERTICAL BOARD & BATTEN STYLE METAL SIDING: SW# 7757 High Reflective White OR APPROVED SIMILAR

ARRISCRRAFT STONE VENEER: Blackcomb Stack



FORM Q

**TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW**

A) General Information

Name of Business or Project: Proposed Development Central Square

Property Address 340 East Central Street, Franklin, MA

Assessors' Map # 285 Parcel # 009

Zoning District (select applicable zone): Commercial II

Zoning History: Use Variance
Non-Conforming Use

B) Applicant Information:

Applicant Name: 340 East Central Street, LLC

Address: 7 Swain Drive, Hampton Falls, NH 03844

Telephone Number: 508-341-2263

Contact Person: Jeff Gove

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: *Paul K. Keigan* Property Owner: EPK Properties, LLC
Address: _____ 579 Avellino Isles U25202
Naples, FL 34119

All of the information is submitted according to the best of my knowledge

Executed as a sealed instrument this _____ day of _____ 20____

Joseph Halligan
Signature of Applicant

Paul K. Keigan
Signature of Owner

Joseph Halligan
Print name of Applicant

Paul K. Keigan
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**
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D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: Phase Zero Design

Contact Person: Tim Tobin

Address 35 Pond Park Road, Bay 16 Hingham, MA 02043

Telephone Number: 781-452-7121

E) Work Summary

Summary of work to be done: _____

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. _____
The height of the building is 23'-7", below the allowance maximum height of 40'-0"

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area.
The proportions of windows and doors of the proposed buildings reflected many of the similar styles/sizes that are being used in many commercial/retail projects in surrounding area.

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. _____
The project is divided into multiple, smaller masses with parking field/open spaces between them to minimize the bulkiness of the whole project.

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. _____
The roofs are generally flat, sloping from front to back, similar to many of the retail buildings in the area.

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. _____
At the height at 23'-7" and smaller masses, the buildings are proportional to many of the retail buildings in the area.

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: _____
With height of 23'-7", the facades incorporated a lot of glazing, EIFS lines and different materials to break down the scales and blend into the existing retail/commercial context without being dominant.

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. _____
The design incorporates generous amount of glazing, fabric awnings, shallow canopies, and various materials and colors. These elements give the buildings a more humane scale, while blending itself into the surrounding areas of commercial/retail projects.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties._____

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable._____

The area is not consider historic.

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements._____

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

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INSTRUCTIONS FOR COMPLETION OF FORM Q-DESIGN REVIEW APPLICATION

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B. Applicant Information – complete and include name of contact person w/ phone number

C. Owner Information – if business owner and property owner are not the same, please include information for both. If signage is within a shopping plaza—obtain letter of approval of sign changes from plaza owner.

Page 2 –

D. Architect/Engineer or Sign Company Information:

- Signs only – Name of Sign Company and Contact Person
- Developments & Projects – Engineer and Architect Information as well

E. Work Summary: Include brief summation of work to be done

Pages 3 & 4

F. Information & Materials to be Submitted w/Application

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DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW**

A) General Information

Name of Business or Project: _____

Property Address _____

Assessors' Map # _____ Parcel # _____

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: _____

Address: _____

Telephone Number: _____

Contact Person: _____

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: _____ Property Owner: _____

Address: _____

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20

Signature of Applicant

Signature of Owner

Print name of Applicant

Print name of Owner

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a. Sign Company

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: Architects' Studio

Contact Person: Jerome Dixon

Address 630 Park St., Stoughton MA, 02072

Telephone Number: 508-649-8809

E) Work Summary

Summary of work to be done: 104 unit apartment buildings (2 buildings)

F) Information & Materials to be Submitted with Application

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Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. The height of the building is 50 feet.

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. The proportions of windows and doors of the proposed apartment buildings are similar in style and size to those that are being used in many apartment buildings in the surrounding area.

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. The project is divided into 2 buildings, one is 56 units and the other is 48 units.

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. The roof is an A-frame roof with a 6/12 pitch with architectural shingles equal to GAF timberline.

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. At a height of 50 feet, the building is proportionate to many of the apartment buildings in the area.

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: Fiber cementitious siding somewhat equal to Hardie plank.

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. The design incorporates a generous amount of windows, trim, and balconies to make it a desirable living space. The design is similar to many apartment buildings in the area.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. _____

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. _____

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. _____

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.

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FOR SIGN APPLICATIONS ONLY, YOU NEED ONLY COMPLETE PAGES 1 & 2 OF APPLICATION.



A FRONT ELEVATION
A20



B BACK ELEVATION
A20



C LEFT ELEVATION
A20



A RIGHT ELEVATION
A20

KEY TO ELEVATIONS

- 1 ROOF SYSTEM: ARCHITECTURAL SHINGLES EQUAL TO GAF TIMBERLINE
COLOR: CHORCOAL
- 2 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED
COLOR: LIGHT BLUE RAL 5012
PATTERN: HORIZONTAL
- 3 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED
COLOR: OYSTER WHITE RAL 1015
PATTERN: HORIZONTAL
- 4 TRIM AND ACCENT PANELS: PVC
COLOR: WHITE
- 5 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED
COLOR: SIMULATED WOOD
PATTERN: VERTICAL

TAJ ESTATES
340 E Central Square
Franklin, MA



ARCHITECTS' 1 STUDIO
Jerome R. Dixon, Architect

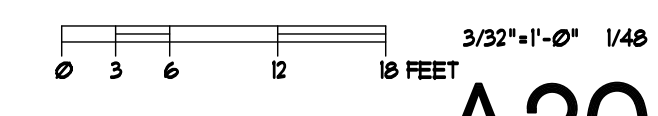
ARCHITECTURE
PLANNING
INTERIOR DESIGN

630 Park Street
Stoughton MA 02072-3654

PHONE: 508.230.9684
FAX: 508.219.4693
E-mail: ARCHITECTSSTUDIO1@Ecoporation@gmail.com
WWW.ARCHITECTSSTUDIO1.COM

Conceptual
Architectural
Elevations Building A

DATE: 06-09-2020
DRAWN BY: LP
CHECKED BY: JRD
ARCHITECT'S PROJECT NO: J20013



A20

OWNERSHIP OF DRAWINGS AND CONSTRUCTION DOCUMENTS
THE DRAWINGS AND CONSTRUCTION DOCUMENTS ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. THESE DRAWINGS ARE FOR A SINGLE SITE-SPECIFIC PROJECT AND ARE NOT FOR USE WITH OTHER PROJECTS. THEY SHALL NOT BE USED FOR OTHER PROJECTS. THIS IS A SINGLE LICENSED USE AS APPROVED BY THE ARCHITECT.
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ALL RIGHTS RESERVED. DO NOT DUPLICATE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SSC. 102 OF THE COPYRIGHT ACT. IT IS/IS NOT AS ADVISED (REGISTERED AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1980. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR HOME REPRESENTED, CAN LEGALLY RESULT IN THE CESSATION CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO JEROME R. DIXON.



A FRONT ELEVATION
A21



B BACK ELEVATION
A21



C LEFT ELEVATION
A21



A RIGHT ELEVATION
A21

KEY TO ELEVATIONS

- 1 ROOF SYSTEM: ARCHITECTURAL SHINGLES EQUAL TO GAF TIMBERLINE
COLOR: CHORCOAL
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PATTERN: HORIZONTAL
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COLOR: OYSTER WHITE RAL 1015
PATTERN: HORIZONTAL
- 4 TRIM AND ACCENT PANELS: PVC
COLOR: WHITE
- 5 FIBER CEMENTITIOUS SIDING EQUAL TO HARDIE PLANK MANUFACTURED
COLOR: SIMULATED WOOD
PATTERN: VERTICAL

TAJ ESTATES
340 E Central Square
Franklin, MA



ARCHITECTS' 1 STUDIO 1

Jerome R. Dixon, Architect
**ARCHITECTURE
PLANNING
INTERIOR DESIGN**

630 Park Street
Stoughton MA 02072-3654
PHONE: 508.230.9684
FAX: 508.219.4693
E-mail: ARCHITECTSstudio1@ecorporation@gmail.com
WWW.ARCHITECTSSTUDIO1.COM

**Conceptual
Architectural
Elevations Building B**

DATE: 06-09-2020
DRAWN BY: LP
CHECKED BY: JRD
ARCHITECT'S PROJECT NO: J20013

3/32"=1'-0" 1/4"=8'
0 3 6 12 18 FEET

A21

OWNERSHIP OF DRAWINGS AND CONSTRUCTION DOCUMENTS
THE DRAWINGS AND CONSTRUCTION DOCUMENTS ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND ARE THE PROPERTY OF THE ARCHITECT. THESE DRAWINGS ARE FOR A SINGLE SITE-SPECIFIC PROJECT AND ARE NOT FOR USE WITH OTHER PROJECTS. THEY SHALL NOT BE USED FOR OTHER PROJECTS. THIS IS A SINGLE LICENSED USE AS APPROVED BY THE ARCHITECT.
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TAJ ESTATES
340 E Central Square
Franklin, MA



ARCHITECTS' STUDIO
Jerome R. Dizon, Architect

ARCHITECTURE
PLANNING
INTERIOR DESIGN

50 Oliver Street
Studio W7
Easton, MA 02356
PHONE: 508.230.9684
FAX: 508.219.4693
E-Mail: ARCHITECT77@AOL.COM
WWW.ARCHITECTSSTUDIO1.COM

3D RENDERS

DATE: Rev 0 April 26, 2020
DRAWN BY: JCS
CHECKED BY: JCS
ARCHITECT'S PROJECT NUMBER: 20013

TAJ ESTATES of FRANKLIN Building A

PROJECT INFORMATION

00002 - PROJECT DIRECTORY

OWNER/ DEVELOPER/ CONTRACTOR:
TAJ ESTATES
Contact: Miraj Amed
1779 Central Street
Stoughton, MA
Phone: -
FAX: -
Cell: 508-962-1928
E-mail: miraj.amed@yahoo.com

ARCHITECT:
ARCHITECTSstudio, Incorporated
Principal Architect: Jerome R. Dixon, Architect, AIA NCARB CSI
50 Oliver Street Studio W7
North Easton, MA 02356
Phone: (508) 230-9684
FAX: (508) 219-4493
Contact: Karen S
Phone: (508) 230-9684
E-mail: TAJKaren@aol.com

STRUCTURAL ENGINEER:
JOHN SPINK Structural Engineer
Contact: John Spink, PE
Phone: 714-766-0544-353-5888
E-mail: jspink@gmail.com

SITE SURVEY/ CIVIL ENGINEER:
ALLEN AND MAJORS
Contact: -
Phone: -
FAX: -
E-mail: -

SOIL ENGINEER
ALLEN AND MAJORS
Contact: -
Phone: -
FAX: -
E-mail: -

LUMBER SUPPLIER:
NATIONAL LUMBER
Contact: Rob Harris
71 Maple Street
Mansfield, MA 02048
Phone: 508-339-8020
Cell: 508-509-9234
E-mail: rharris@national-lumber.com

TRUSS SUPPLIER:
RELIABLE TRUSS AND COMPONENTS INC.
Contact: -
Phone: (603) 736-2131 ext 1113
Cell: 603-552-0523
E-mail: -

FIRE PROTECTION:
FIRE INSPECTIONAL SERVICES INC.
Contact: -
Phone: -
FAX: -
E-mail: -

SITE LIGHTING DESIGN
Contact: -
Phone: -
FAX: -
E-mail: -

LIST OF DRAWINGS

ARCHITECTURAL

NO.	DESCRIPTION	REV	DATE
T101	Key Plans Project Information, Code Compliance & Gen. Requirements Wall, Floor, and Ceiling Assemblies	-	-
A100	Typical 2-Bed Apartment Unit Plans Typical 2-Bed Townhouse Unit Plans Typical 2-Bed Townhouse Unit Plans	-	-
A101	First Floor Plan	-	-
A102	Second Floor Plan	-	-
A103	Third Floor Plan	-	-
A104	Fourth Floor Plan	-	-
A105	Mezzanine Floor Plan	-	-
A106	Roof Floor Plan	-	-
A132	Stair A Plans & Sections	-	-
A133	Stair B Plans & Sections	-	-
A134	Loft Staircase	-	-
A151	Interior Elevations	-	-
A152	Interior Elevations	-	-
A211	Exterior Elevations	-	-
A212	Exterior Elevations	-	-
A300	Building Section	-	-
A301	Exterior Wall sections	-	-
A302	Exterior Wall sections	-	-
A303	Wall Types & Floor/ Ceiling Assembly	-	-
A304	Exterior Openings Sections	-	-
S000	Building 2 General Structural Notes	-	-
S100	Building 2 Foundation Plan Bolt Plan Elevations	-	-

GENERAL REQUIREMENTS

The Contractor and all Subcontractors shall perform their Work according to the following:

- 01010 SUMMARY OF WORK**
Included in the Work are the following:
a. Multi-Family Apartment Building
- 01035 SUBSTITUTIONS AND CHANGE ORDERS**
a. DO NOT substitute materials, equipment or methods unless such substitution is first discussed with the Architect and has been approved specifically in writing by the Owner.
b. Notify the Architect immediately by telephone of any hidden, unforeseen conditions and any requirements. Confirm all notifications and action required in writing within 24 hours of the event.
c. Milestone date changes must be made in writing by Owner.
- 01040 COORDINATION**
a. The Contractor and each Subcontractor shall be thoroughly familiar with the Work shown on the drawings and on the other Contract Documents.
b. Each Subcontractor shall coordinate their Work with that of others and be aware of all Related Work to be performed by others, via the Contractor.
- 01050 EXISTING CONDITIONS**
a. Prior to submitting bid proposals, the Contractor and each Subcontractor shall visit the proposed site and make themselves familiar with all existing conditions, take field measurements and record all information needed to provide a complete scope of Work.
b. Notify the Architect immediately of conditions which may contribute to unnecessary, excessive costs.
c. No additional compensation will be paid by the Owner for disputes which result from a lack of familiarity with the existing conditions.
- 01060 REGULATORY REQUIREMENTS**
Comply with all applicable national, state and local codes.
- 01100 SPECIAL REQUIREMENTS AND PROCEDURES**
a. Maintain a written daily journal.
b. The Owner shall provide a phone on site.
c. Designate a superintendent for the duration of the Project and submit his/her name to the Architect.
d. Work shall be completed in a timely manner, consistent with the approved construction schedule.
e. The Contractor shall be responsible for receiving and maintaining in good condition all millwork, fixtures and equipment up to the Date of Substantial Completion.
f. All Owners' material delivered to the Project shall be checked against the Owners' material list by the Contractor at the time of delivery. All discrepancies shall be noted in the Receiving Report and in the Daily Journal, and the Contractor shall immediately notify the Owner of same. All shortages occurring after the receipt of goods shall be charged back to the Contractor.
g. Note on all Bills of Lading, "CASES NOT INSPECTED FOR CONCEALED DAMAGES and SHORTAGES"
- 01300 SUBMITTALS**
a. Product samples, manufacturer's data and shop drawings shall be submitted to the Architect for review.
- 01700 CONTRACT CLOSEOUT**
a. Substantial Completion is the date certified by the Architect on which the Work or designated portion thereof is sufficiently complete so the Owner may occupy the same for the intended purpose.
b. Provide the following for closeout:
1-Daily Journal
2-Operation and Maintenance Data
3-Keys
4-Spare Parts, Materials and Stock
5-Certificate of Inspection/Occupancy
6-Certificate of Insurance
7-Evidence of Payment and Release of Liens
8-List of Subcontractors, Vendors and Suppliers
9-Final Statement of Account
- 01710 CLEANING**
a. Each Subcontractor shall clean his/her Work and remove all trash, debris, packing, etc., resulting from that Work.
b. Final cleaning shall be done by a professional cleaner.

SYMBOLS AND ABBREVIATIONS

- CSI SPECIFICATION DIVISION NUMBER
ITEM, NOTE OR LINE NUMBER
- ELEVATION KEY NUMBER
SHEET NUMBER
- DETAIL OR SECTION KEY NUMBER
SHEET NUMBER
- WINDOW KEY
- DOOR KEY
- NOTE KEY
- KEY TO WALLS AND PARTITION SCHEDULE
- DUPLEX OUTLET
- WEATHER-PROOF
- GROUND-FAULT INTERRUPTED
- FLOOR DRAIN
- 220 VOLT RECEPTACLE
- CEILING-MOUNTED LIGHT
- RECESSED
- PENDENT
- WALL-MOUNTED LIGHT
- SMOKE DETECTOR
- HEAT DETECTOR
- THERMOSTAT
- DIMMER
- PARTITION SCHEDULE
- CABLE
- TELEPHONE
- CEILING FAN
- DOORBELL
- RECESSED EXHAUST FAN
- RECESSED EXHAUST FAN WITH HEAT
- RECESSED EXHAUST FAN WITH LIGHT
- RECESSED EXHAUST FAN WITH LIGHT AND HEAT
- FINISHED FLOOR
- ABOVE FINISHED FLOOR
- DIMMER
- THERMOSTAT
- GROUND-FAULT
- WEATHER-PROOF
- RECESSED CHANDELIER
- FLORESCENT
- PENDANT
- EYEBALL
- DOWNSPOUT

Key to Symbols

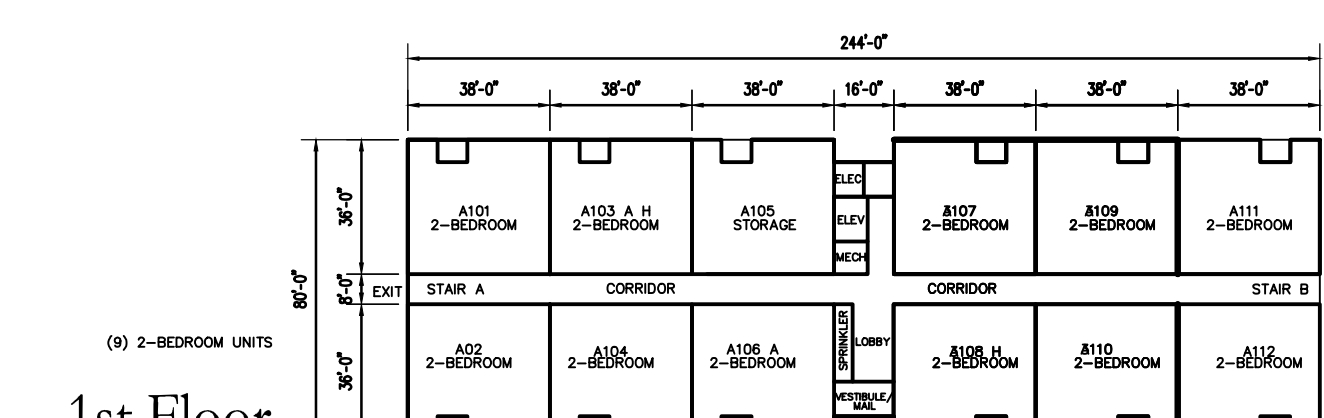
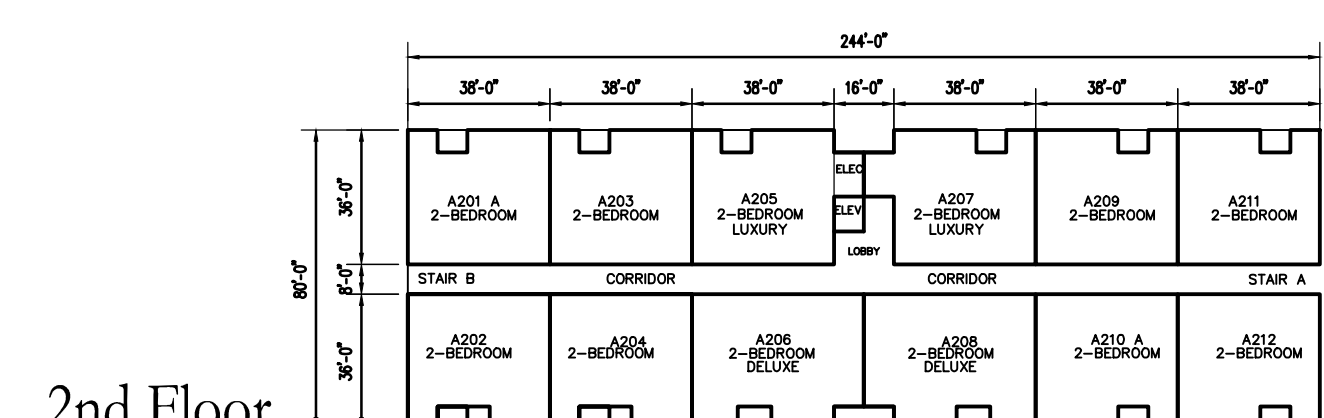
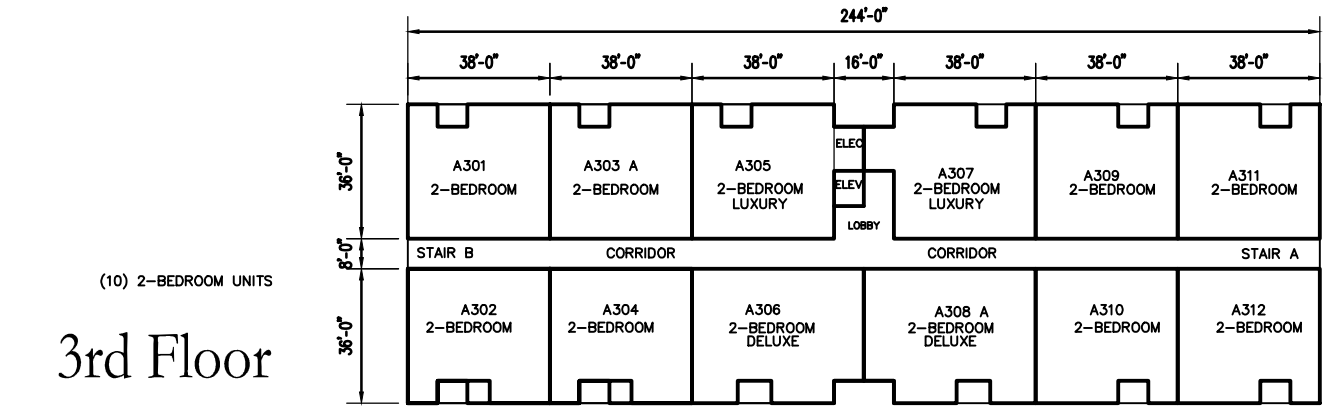
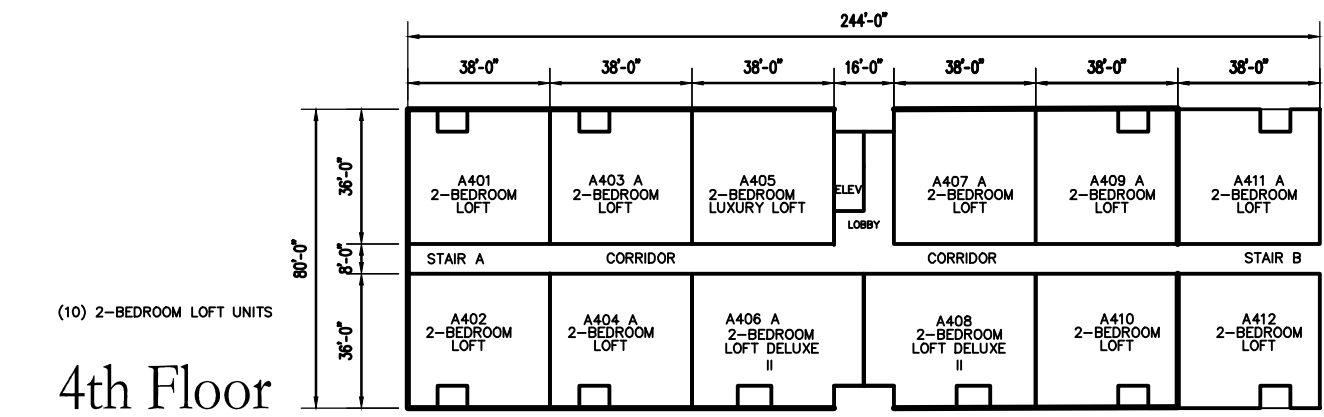
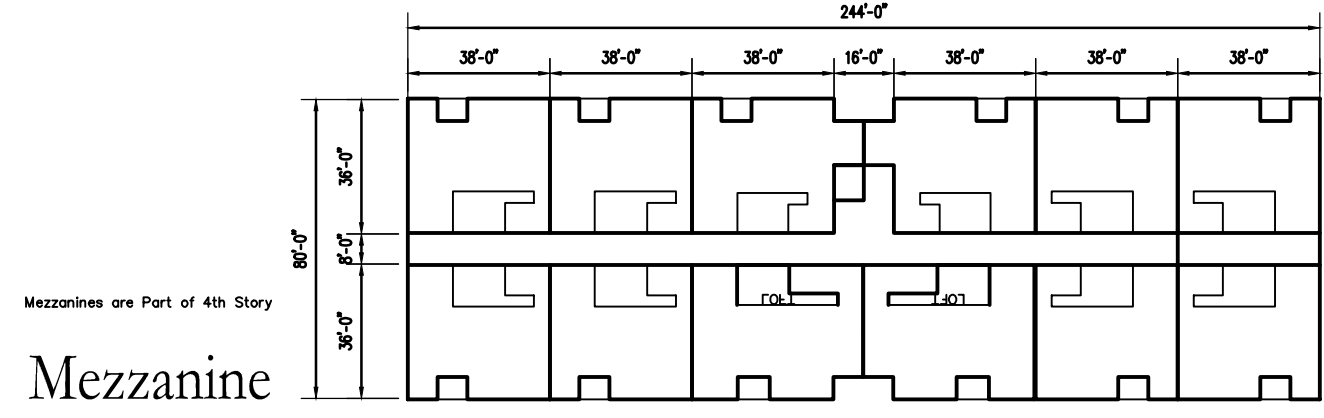
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- PULL STATION
- MINI AUDIO/VISUAL DEVICE
- FIRE EXTINGUISHER
- EMERGENCY LIGHT
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHT
- FIRE ALARM CONTROL PANEL
- MASTER FIRE CONTROL PANEL
- EMERGENCY EXIT LIGHT
- BATHROOM EXHAUST FAN

Key to wall types

- EXTERIOR INSULATED WALL
2x6 @ 16" O.C.
- INTERIOR INSULATED WALL
2x4 @16" O.C.
- INTERIOR WET WALL WITH SOUND BATTS
2x8 @16" O.C.
- INTERIOR WALL WITH SOUND BATTS
2x4 @16" O.C.
- INTERIOR WALL
2x4 @ 16" O.C.
- E and F Sheet A00

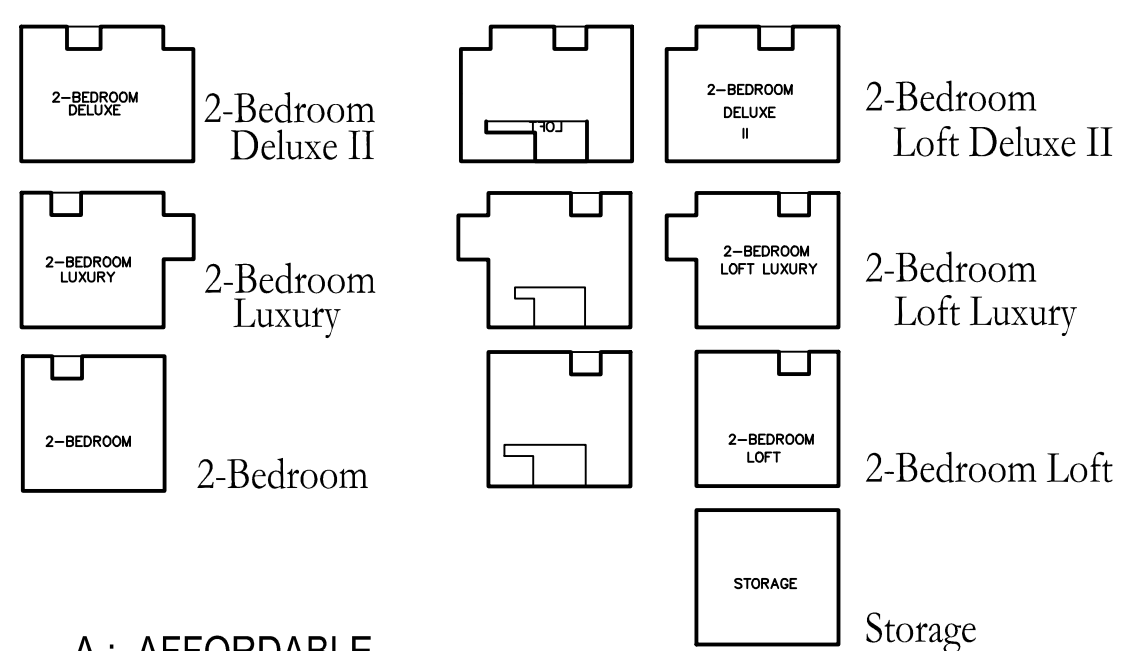
SIGNATURES
BY _____ DATE _____
OWNER

REVISION HISTORY	
△	06/10/2020 Issued for Presentation



BUILDING B

Use R-2 Multi-family Apartment Building
Building Area 19,520 SF
4 Stories above grade
1st Floor is a slab at grade
Building Height 50 feet
Construction Type VA (Protected)
NPPA 13 Sprinklers



A: AFFORDABLE
H: ACCESSIBLE

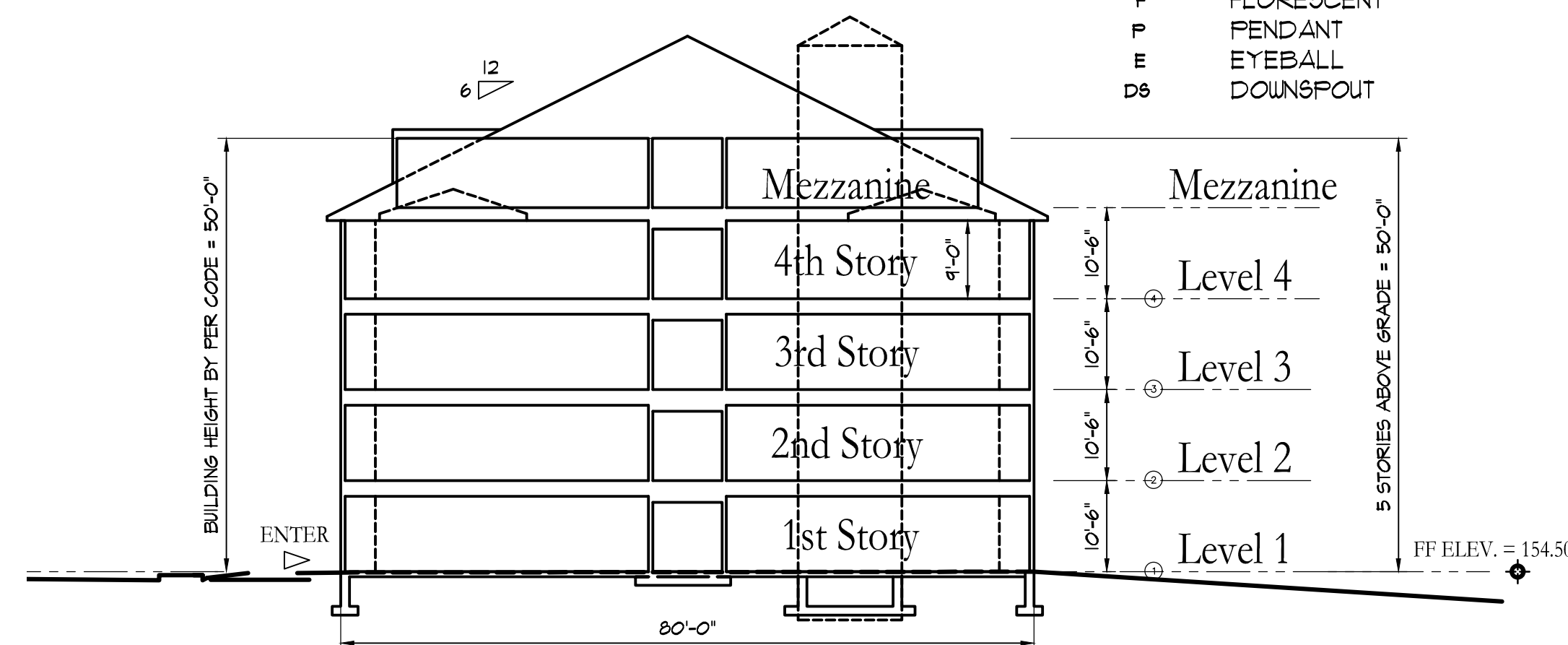
Key to Unit Types



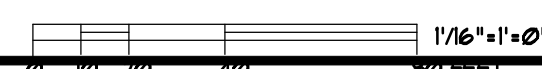
CODE COMPLIANCE

BASE CODE: 780 MASSACHUSETTS STATE BUILDING CODE 8th Edition
Amendments to INTERNATIONAL BUILDING CODE 2009 (IBC 2009)
521 CMR ARCHITECTURAL ACCESS BOARD
248 CMR PLUMBING AND GAS
521 CMR FIRE PREVENTION: Where items are not addressed, defer to IFC and/or IMC
INTERNATIONAL ENERGY CONSERVATION CODE 2012 (IEEC2012)
271 CMR DUCTWORK AND SHEETMETAL

		REFERENCE
OCCUPANCY CLASSIFICATION	R-2 RESIDENTIAL (APARTMENT BUILDING) C LOW-HAZARD STORAGE ENCLOSED	SECTION 310.1
SPECIAL REQUIREMENTS	GROUP R-2 SEPARATION WALLS FIRE PARTITIONS 1-Hr Min. FIRE RESISTANCE EXCEPTION: 1/2-Hr W/ SPRINKLER SYSTEM	SECTION 420 SECTION 420.2 SECTION 109 SECTION 109.3
CONSTRUCTION CLASSIFICATION	TYPE VA COMBUSTIBLE, PROTECTED	CHAPTER 6
MINIMUM FIRE RESISTANCE OF STRUCTURAL ELEMENTS EXTERIOR WALLS	0	TABLE 601
BUILDING AREA	7,000 ALLOWED 21,000 SF ALLOWED WITH AUTOMATIC SPRINKLER SYSTEM XXXXX SF PROPOSED GROSS AREA	TABLE 503 TABLE 506.3 SECTION 502.1
BUILDING HEIGHT NUMBER OF STORIES	2 STORIES ABOVE GRADE PLANE WITH BASEMENT, 1 STORY BELOW GRADE PLANE ALLOWED WITH SPRINKLERS	TABLE 503 (2302.2)
SPRINKLERED	YES	SECTION 903.3.1.1



Section



TAJ Estates of Franklin
340 E Central Square
Franklin, MA



ARCHITECTS' STUDIO
Jerome R. Dixon, Architect

ARCHITECTURE
PLANNING
INTERIOR DESIGN

50 Oliver Street
Studio W7
Easton, MA 02356

PHONE: 508.230.9684
FAX: 508.219.4693
E-Mail: ARCHITECT77@AOL.COM
WWW.ARCHITECTSSTUDIO1.COM

**Building A
Project
Information**

DATE: _____ Rev 0 April 26, 2020
DRAWN BY: _____ KS
CHECKED BY: _____ JRD
ARCHITECT'S PROJECT NUMBER: _____ 20013

TAJ ESTATES of FRANKLIN Building B

03-CONTRACT DOCUMENTS
TAJ ESTATES OF FRANKLIN
J20013

PROJECT INFORMATION

00002 - PROJECT DIRECTORY

OWNER/ DEVELOPER/ CONTRACTOR:
TAJ ESTATES
Contact: Miraj Amed
1119 Central Street
Stoughton, MA
Phone: -
Fax: -
Cell: 508-962-1928
E-mail: mirajamed@yahoo.com

ARCHITECT:
ARCHITECT'S studio, Incorporated
Principal Architect: Jerome R. Dixon, Architect, AIA NCARB CSI
50 Oliver Street Studio W7
North Easton, MA 02356
Phone: (508) 230-9684
Fax: (508) 219-4493
Contact: Karen S
Phone: (508) 230-9684
E-mail: TAJKaren@aol.com

STRUCTURAL ENGINEER:
JOHN SPINK Structural Engineer
Contact: John Spink, PE
Phone: 714-166-0544-353-5888
E-mail: jspink@gmail.com

SITE SURVEY/ CIVIL ENGINEERS:
ALLEN AND MAJORS
Contact: -
Phone: -
Fax: -
E-mail: -

SOIL ENGINEER
ALLEN AND MAJORS
Contact: -
Phone: -
Fax: -
E-mail: -

LUMBER SUPPLIER:
NATIONAL LUMBER
Contact: Rob Harris
71 Maple Street
Mansfield, MA 02048
Phone: 508-339-8020
Cell: 508-509-9234
E-mail: mharris@national-lumber.com

TRUSS SUPPLIER:
RELIABLE TRUSSES AND COMPONENTS INC.
Contact: -
Phone: (603) 796-2131 ext 1113
Cell: 603-552-0523
E-mail: -

FIRE PROTECTION:
FIRE INSPECTORIAL SERVICES INC.
Contact: -
Phone: -
Fax: -
E-mail: -

SITE LIGHTING DESIGN
Contact: -
Phone: -
Fax: -
E-mail: -

CODE COMPLIANCE

BASE CODE: 780 MASSACHUSETTS STATE BUILDING CODE 8th Edition
Amendments to INTERNATIONAL BUILDING CODE 2009 (IBC 2009)
521 CMR ARCHITECTURAL ACCESS BOARD
248 CMR PLUMBING AND GAS
521 CMR FIRE PREVENTION: Where items are not addressed, defer to IFC and/or IMC
INTERNATIONAL ENERGY CONSERVATION CODE 2012 (IEEC2012)
271 CMR DUCTWORK AND SHEETMETAL

		REFERENCE
OCCUPANCY CLASSIFICATION	R-2 RESIDENTIAL (APARTMENT BUILDING) C LOW-HAZARD STORAGE ENCLOSED	SECTION 3101
SPECIAL REQUIREMENTS	GROUP R-2 SEPARATION WALLS FIRE PARTITIONS 1-Hr FIRE RESISTANCE EXCEPTION: 1/2-Hr W/ SPRINKLER SYSTEM	SECTION 420 SECTION 4202 SECTION 709 SECTION 709.3
CONSTRUCTION CLASSIFICATION	TYPE VA COMBUSTIBLE, PROTECTED	CHAPTER 6
MINIMUM FIRE RESISTANCE OF STRUCTURAL ELEMENTS EXTERIOR WALLS	0	TABLE 601
BUILDING AREA	1,000 ALLOWED 21,000 SF ALLOWED WITH AUTOMATIC SPRINKLER SYSTEM XXXXX SF PROPOSED GROSS AREA	TABLE 503 TABLE 506.3 SECTION 502.1
BUILDING HEIGHT NUMBER OF STORIES	2 STORIES ABOVE GRADE PLANE WITH BASEMENT, 1 STORY BELOW GRADE PLANE ALLOWED WITH SPRINKLERS	TABLE 503 (2308.2)
SPRINKLERED	YES	SECTION 903.3.1.1

LIST OF DRAWINGS

ARCHITECTURAL

NO.	DESCRIPTION	REV	DATE
T101	Key Plans Project Information, Code Compliance & Gen. Requirements		
A100	Wall, Floor, and Ceiling Assemblies		
A101	Typical 2-Bed Apartment Unit Plans		
A102	Typical 2-Bed Townhouse Unit Plans		
A103	Typical 2-Bed Townhouse Unit Plans		
A111	First Floor Plan		
A112	Second Floor Plan		
A113	Third Floor Plan		
A114	Fourth Floor Plan		
A115	Mezzanine Floor Plan		
A116	Roof Floor Plan		
A132	Stair A Plans & Sections		
A133	Stair B Plans & Sections		
A134	Loft Staircase		
A151	Interior Elevations		
A152	Interior Elevations		
A211	Exterior Elevations		
A212	Exterior Elevations		
A300	Building Section		
A301	Exterior Wall sections		
A302	Exterior Wall sections		
A303	Wall Types & Floor/ Ceiling Assembly		
A301	Exterior Openings Sections		
S000	Building 2 General Structural Notes		
S100	Building 2 Foundation Plan Bolt Plan Elevations		

GENERAL REQUIREMENTS

The Contractor and all Subcontractors shall perform their Work according to the following:

- 0100 SUMMARY OF WORK**
Included in the Work are the following:
a. Multi-Family Apartment Building
- 0105 SUBSTITUTIONS AND CHANGE ORDERS**
a. DO NOT substitute materials, equipment or methods unless such substitution is first discussed with the Architect and has been approved specifically in writing by the Owner
b. Notify the Architect immediately by telephone of any hidden, unforeseen conditions and any requirements. Confirm all notifications and action required in writing within 24 hours of the event.
c. Milestone date changes must be made in writing by Owner.
- 0104 COORDINATION**
a. The Contractor and each Subcontractor shall be thoroughly familiar with the Work shown on the drawings and on the other Contract Documents.
b. Each Subcontractor shall coordinate their Work with that of others and be aware of all Related Work to be performed by others, via the Contractor.
- 01050 EXISTING CONDITIONS**
a. Prior to submitting bid proposals, the Contractor and each Subcontractor shall visit the proposed site and make themselves familiar with all existing conditions, take field measurements and record all information needed to provide a complete scope of Work.
b. Notify the Architect immediately of conditions which may contribute to unnecessary, excessive costs.
c. No additional compensation will be paid by the Owner for disputes which result from a lack of familiarity with the existing conditions.
- 01060 REGULATORY REQUIREMENTS**
Comply with all applicable national, state and local codes.
- 0100 SPECIAL REQUIREMENTS AND PROCEDURES**
a. Maintain a written daily journal.
b. The Owner shall provide a phone on site.
c. Designate a superintendent for the duration of the Project and submit his/her name to the Architect
d. Work shall be completed in a timely manner, consistent with the approved construction schedule.
e. The Contractor shall be responsible for receiving and maintaining in good condition all millwork, fixtures and equipment up to the Date of Substantial Completion.
f. All Owners' material delivered to the Project shall be checked against the Owners' material list by the Contractor at the time of delivery. All discrepancies shall be noted in the Receiving Report and in the Daily Journal, and the Contractor shall immediately notify the Owner of same. All shortages occurring after the receipt of goods shall be charged back to the Contractor.
g. Note on all Bills of Lading, "CASES NOT INSPECTED FOR CONCEALED DAMAGES and SHORTAGES"
- 0100 SUBMITTALS**
a. Product samples, manufacturer's data and shop drawings shall be submitted to the Architect for review.
- 0100 CONTRACT CLOSEOUT**
a. Substantial Completion is the date certified by the Architect on which the Work or designated portion thereof is sufficiently complete so the Owner may occupy the same for the intended purpose.
b. Provide the following for closeout:
1-Daily Journal
2-Operation and Maintenance Data
3-Keys
4-Spare Parts, Materials and Stock
5-Certificate of Inspection/Occupancy
6-Certificate of Insurance
7-Evidence of Payment and Release of Liens
8-List of Subcontractors, Vendors and Suppliers
9-Final Statement of Account
- 0100 CLEANING**
a. Each Subcontractor shall clean his/her Work and remove all trash, debris, packing, etc., resulting from that Work.
b. Final cleaning shall be done by a professional cleaner.

SYMBOLS AND ABBREVIATIONS Key to Symbols

- CS1 SPECIFICATION DIVISION NUMBER
- ITEM, NOTE OR LINE NUMBER
- ELEVATION KEY NUMBER
- SHEET NUMBER
- DETAIL OR SECTION KEY NUMBER
- SHEET NUMBER
- WINDOW KEY
- DOOR KEY
- NOTE KEY
- KEY TO WALLS AND PARTITION SCHEDULE
- DUPLEX OUTLET
- WEATHER-FROOF
- GROUND-FAULT INTERRUPTED
- FLOOR DRAIN
- 220 VOLT RECEPTACLE
- CEILING-MOUNTED LIGHT
- RECESSED
- PENDENT
- WALL-MOUNTED LIGHT
- SMOKE DETECTOR
- HEAT DETECTOR
- THERMOSTAT
- DIMMER
- PARTITION SCHEDULE
- CABLE
- TELEPHONE
- CEILING FAN
- DOORBELL
- RECESSED EXHAUST FAN
- RECESSED EXHAUST FAN WITH HEAT
- RECESSED EXHAUST FAN WITH LIGHT
- RECESSED EXHAUST FAN WITH LIGHT AND HEAT
- FINISHED FLOOR
- ABOVE FINISHED FLOOR
- DIMMER
- THERMOSTAT
- GROUND-FAULT
- WEATHER-FROOF
- RECESSED
- CHANDELIER
- FLORESCENT
- PENDANT
- EYEBALL
- DOWNSPOUT
- COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- PULL STATION
- MINI AUDIO/VISUAL DEVICE
- FIRE EXTINGUISHER
- EMERGENCY LIGHT
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHT
- FIRE ALARM CONTROL PANEL
- MASTER FIRE CONTROL PANEL
- EMERGENCY EXIT LIGHT
- BATHROOM EXHAUST FAN

Key to wall types

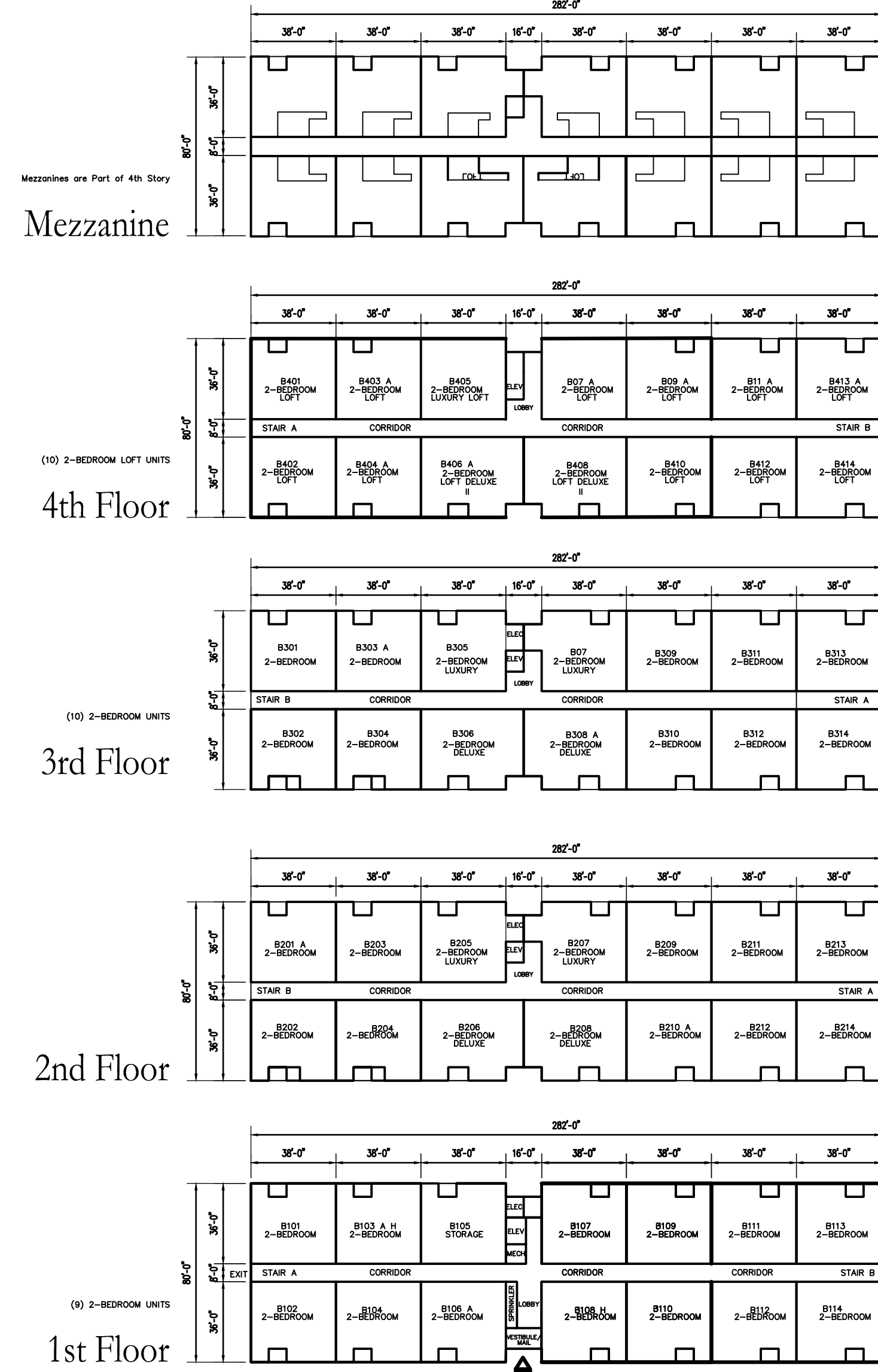
- EXTERIOR INSULATED WALL
2x6 @ 16" O.C.
- INTERIOR INSULATED WALL
2x4 @ 16" O.C.
- INTERIOR WET WALL WITH SOUND BATTS
2x8 @ 16" O.C.
- INTERIOR WALL WITH SOUND BATTS
2x4 @ 16" O.C.
- INTERIOR WALL
2x4 @ 16" O.C.
- E and F Sheet A00

SIGNATURES
BY _____ DATE _____

OWNER _____

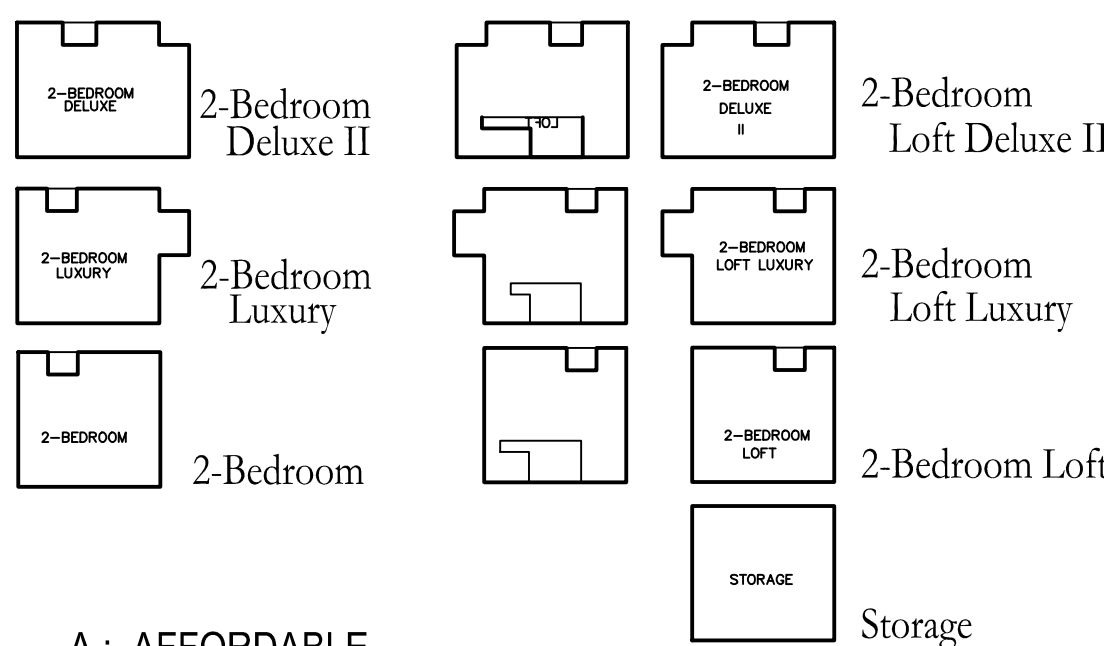
REVISION HISTORY

NO.	DATE	DESCRIPTION
1	06/10/2020	Issued for Presentation



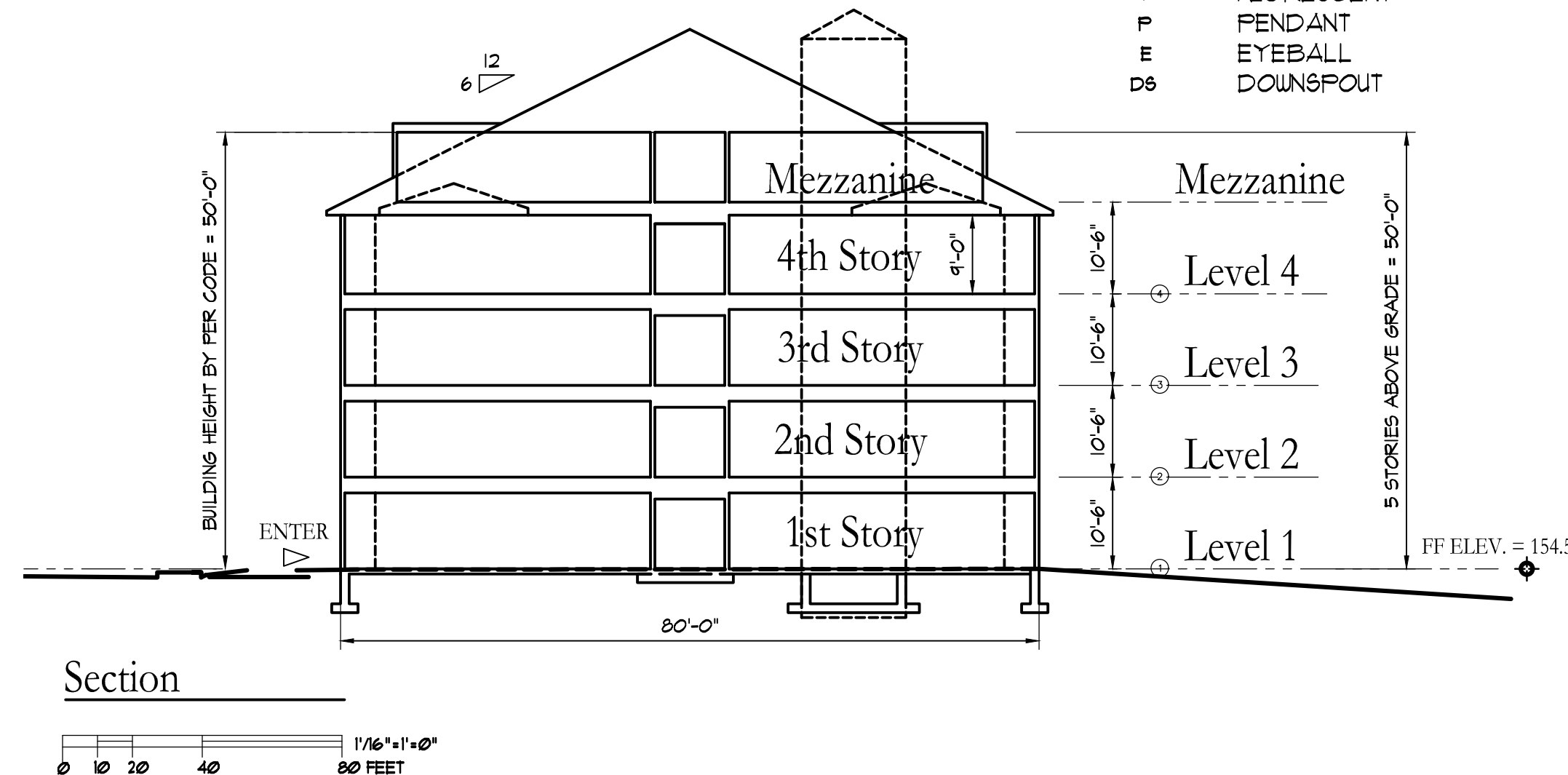
BUILDING B

Use R-2 Multi-family Apartment Building
Building Area 22,560 SF
4 Stories above grade
1st Floor is a slab at grade
Building Height 50 feet
Construction Type VA (Protected)
NFPA 13 Sprinklers



A: AFFORDABLE
H: ACCESSIBLE

Key to Unit Types



TAJ ESTATES
340 E Central Square
Franklin, MA



ARCHITECTS' STUDIO
Jerome R. Dixon, Architect

ARCHITECTURE
PLANNING
INTERIOR DESIGN

50 Oliver Street
Studio W7
Easton, MA 02356

PHONE: 508.230.9684
FAX: 508.219.4693
E-Mail: ARCHITECT77@AOL.COM
WWW.ARCHITECTSSTUDIO1.COM

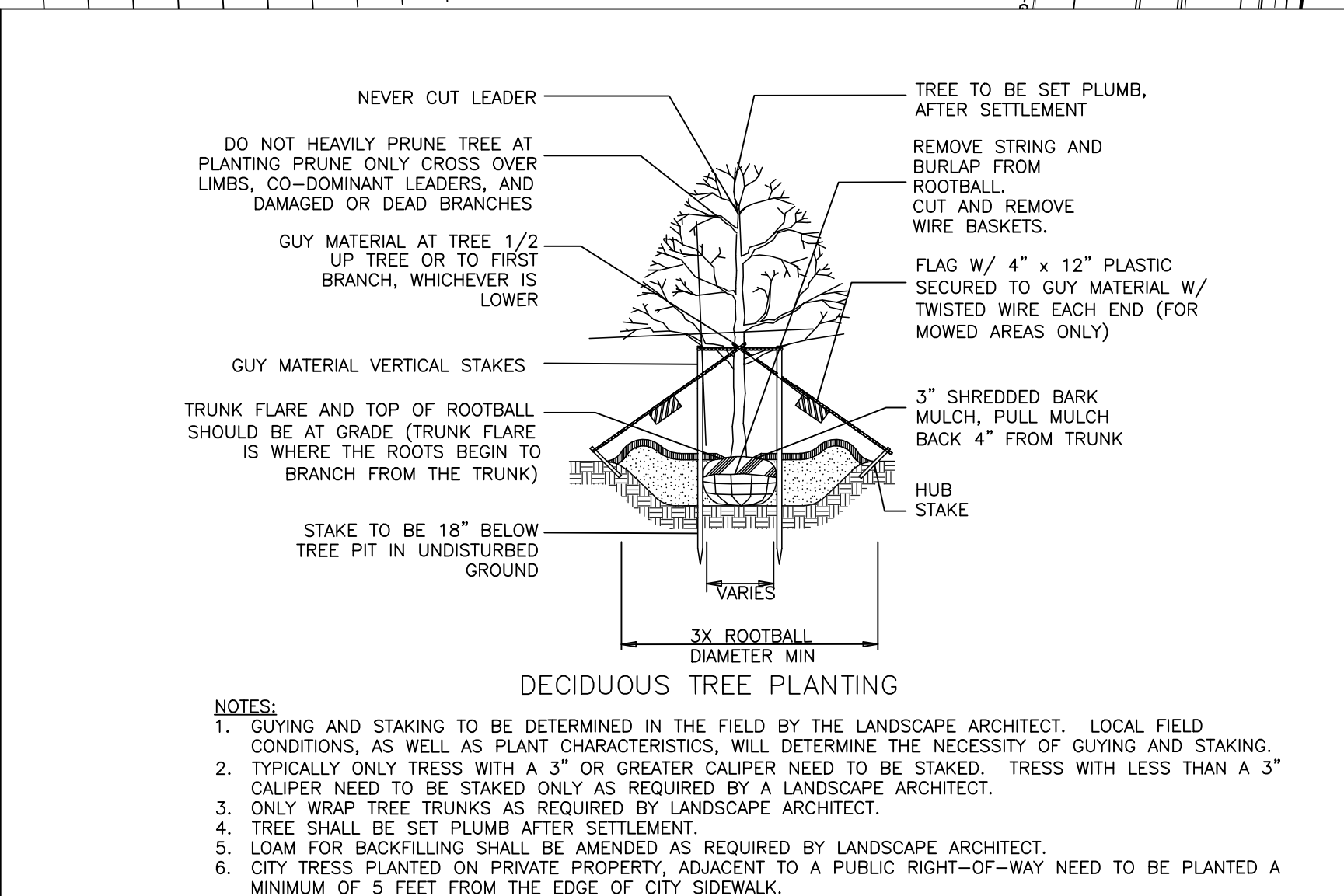
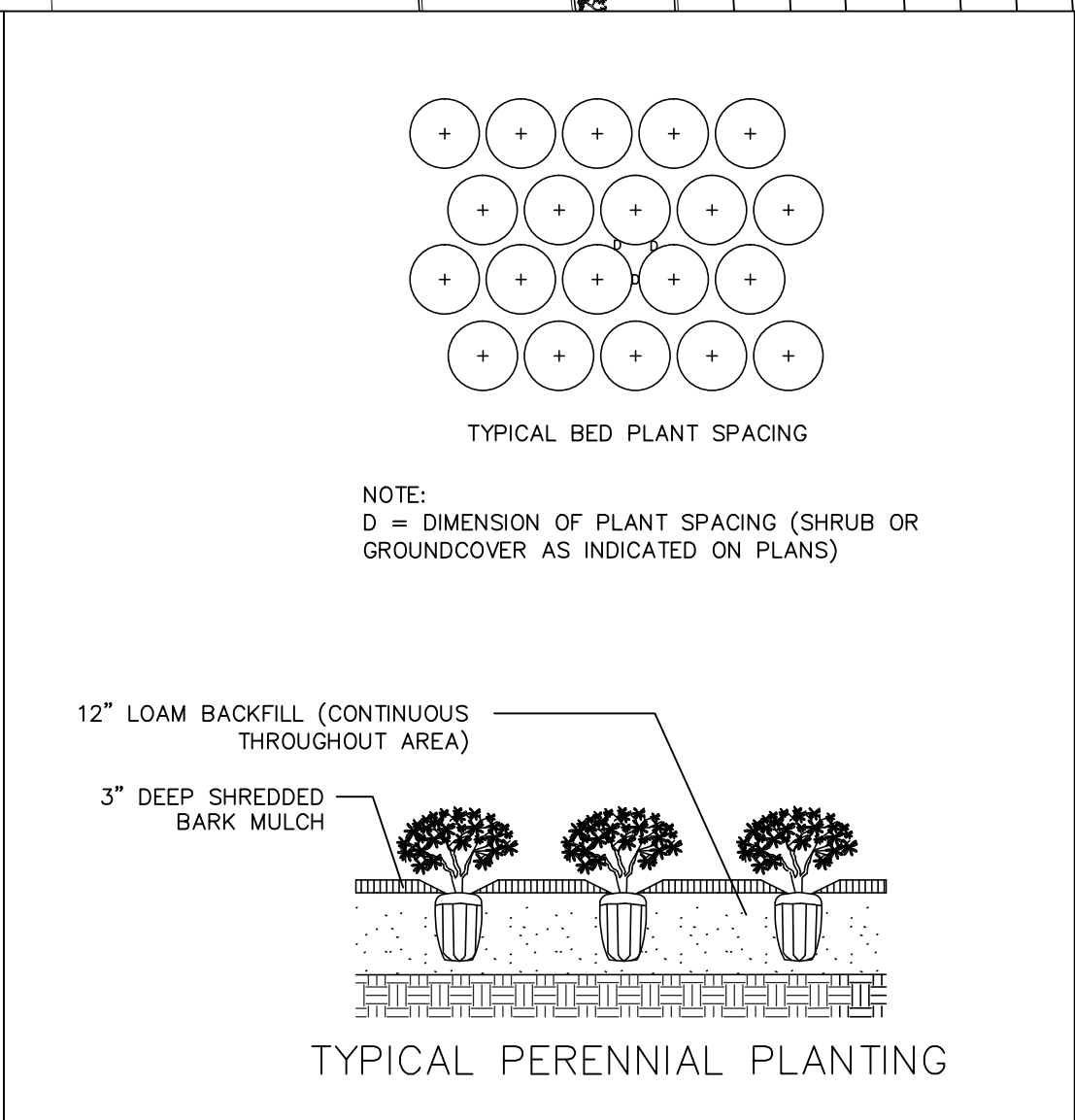
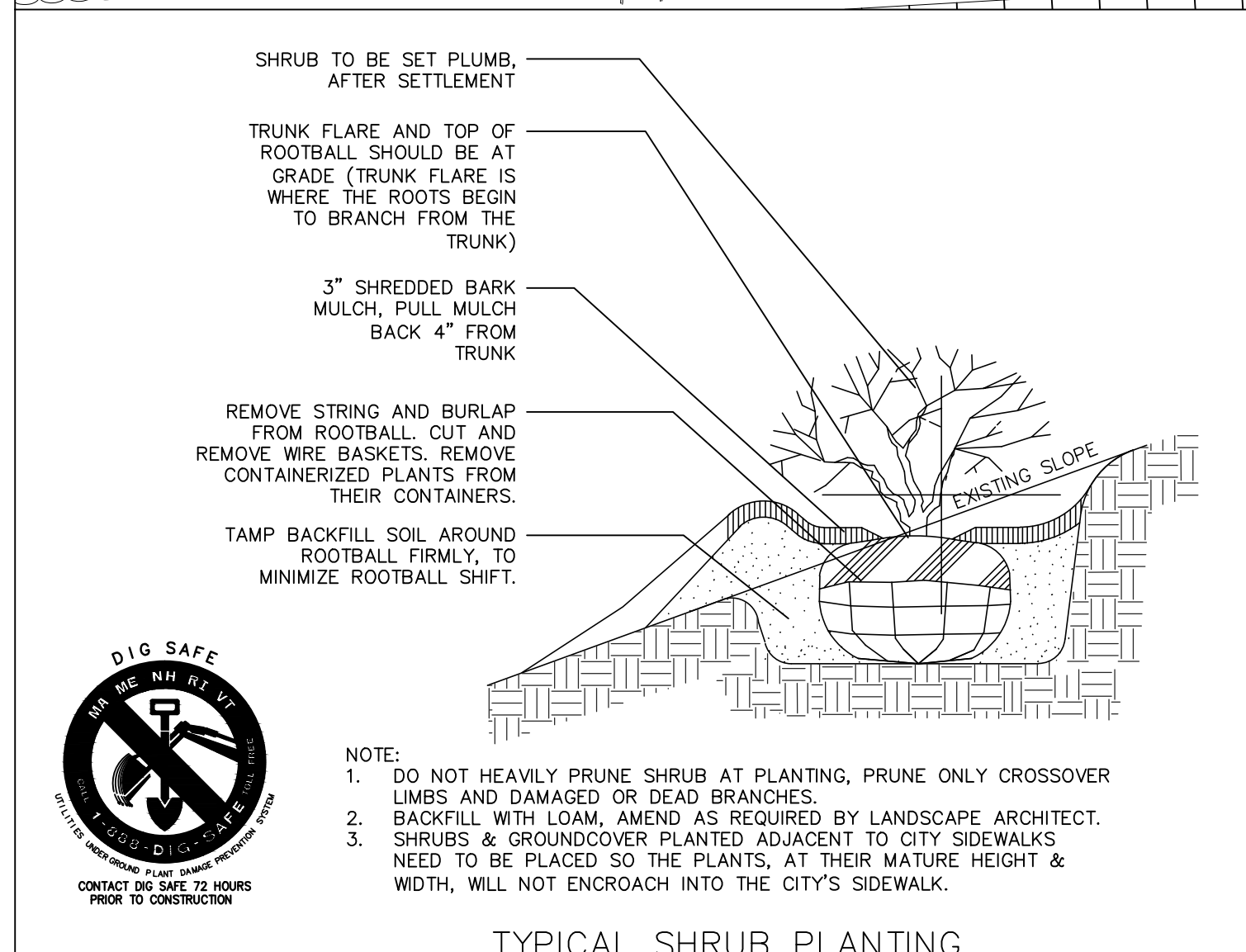
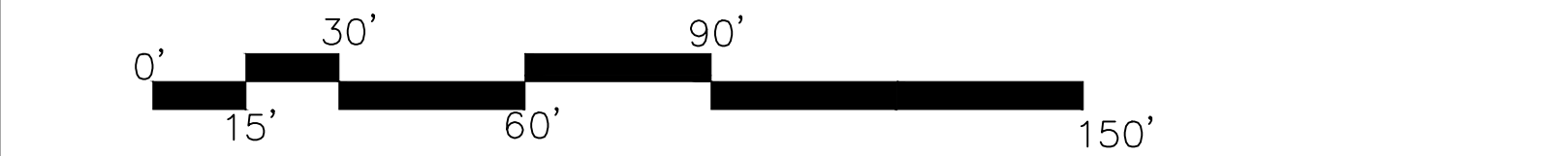
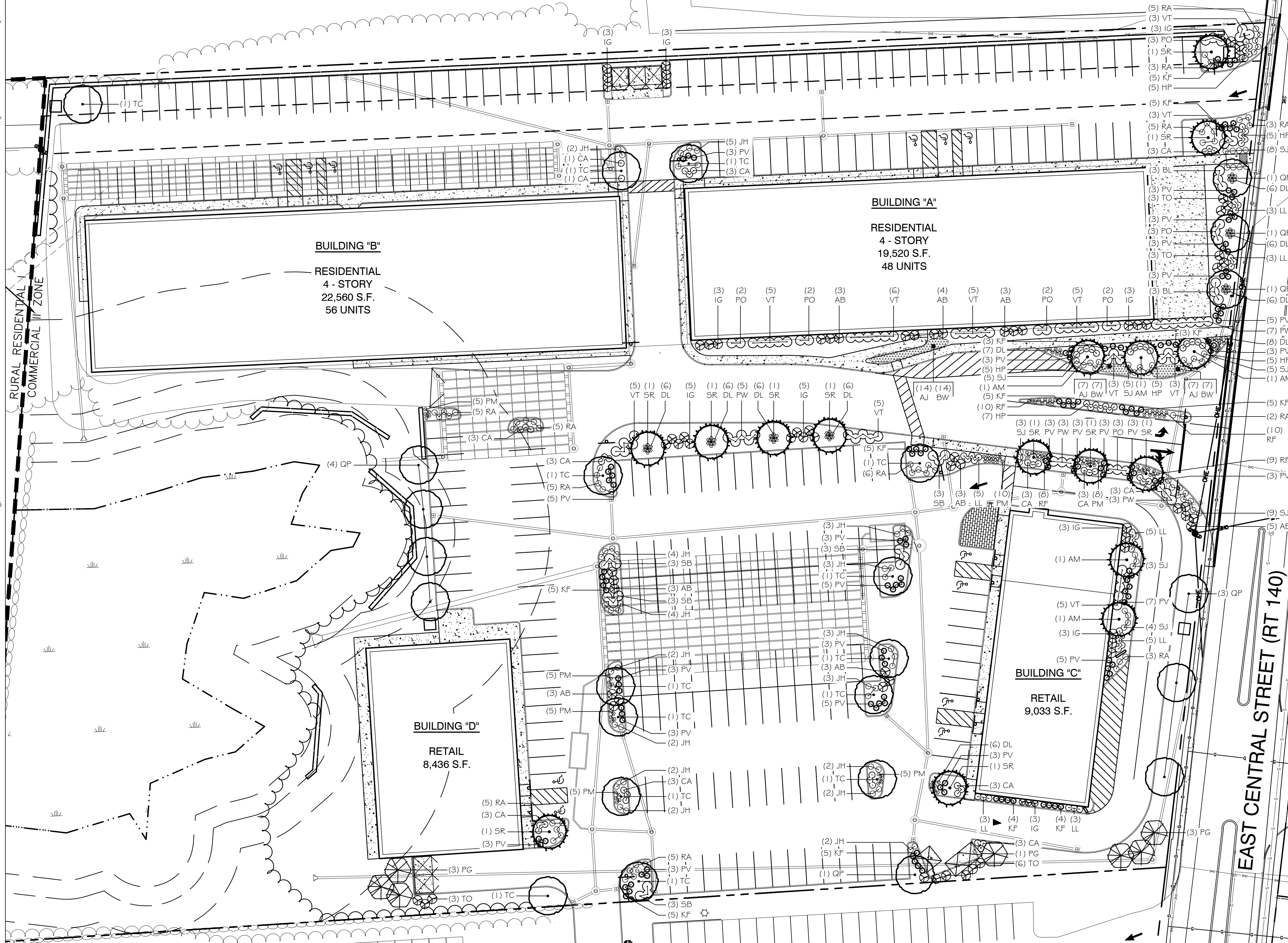
Building B
Project
Information

DATE: Rev 0 April 26, 2020
DRAWN BY: JRD
CHECKED BY: JRD
ARCHITECT'S PROJECT NUMBER: 20013

- GENERAL NOTES:**
1. BASE PLAN DEVELOPED FROM INFORMATION PROVIDED BY JONES & BEACH ENGINEERS, INC., DRAWING TITLE, "SITE PLAN, PROPOSED CENTRAL SQUARE, 340 E CENTRAL STREET, FRANKLIN, MA" DATED 01-23-20.
 2. VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS IN THE FIELD, PRIOR TO CONSTRUCTION. VERIFY FIELD CONDITIONS RELATING TO WORK TO BE INSTALLED. NOTIFY LANDSCAPE ARCHITECT OF ANY UNUSUAL OR DIFFICULT CONDITIONS IN A TIMELY FASHION PRIOR TO CONSTRUCTION CONCERNING THE CONDITION IN QUESTION.
 3. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF FRANKLIN AND STATE OF MASSACHUSETTS. NOTIFY APPROPRIATE AGENCIES AT LEAST 48 HOURS PRIOR TO PERFORMING THE WORK UNDER THEIR JURISDICTION.
 4. CONTRACTOR IS RESPONSIBLE FOR SECURING AND PAYING FOR ALL CONSTRUCTION PERMITS AND LICENSES REQUIRED TO COMPLETE SITE WORK. CONTRACTOR IS RESPONSIBLE FOR ALL APPROPRIATE INSPECTIONS OF HIS/HER WORK.
 5. ALL WORK SHALL BE OF WORKMANLIKE QUALITY AND IN CONFORMANCE WITH ALL APPLICABLE CODES. CONTRACTOR SHALL READ ALL ZONING AND ENVIRONMENTAL PERMITS WHICH PERTAIN TO THE PROJECT AND SHALL COMPLY WITH ALL THE CONDITIONS THEREIN.
 6. NOTIFY LANDSCAPE ARCHITECT AT LEAST 72 HOURS PRIOR TO ANY ROUTINE REQUIRED FIELD OBSERVATION. OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF THE LAYOUT OF ALL IMPROVEMENTS PRIOR TO CONSTRUCTION.
 7. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF DAMAGE OR DISTURBANCE TO OTHER AREAS WHICH MAY OCCUR AS THE RESULT OF HIS/HER WORK WHETHER WITHIN OR OUTSIDE OF THE CONTRACT LIMIT LINES.
 8. CONSTRUCTION SHALL FOLLOW THE SEQUENCES AND CONDITIONS ESTABLISHED IN THE SPECIFICATIONS AND PERMITS.
 9. IT IS INTENDED THAT THE WORK BE EXECUTED IN ACCORDANCE WITH THE BEST CUSTOMARY BUILDING PRACTICES. IF WORK IS REQUIRED IN A MANNER TO MAKE IT IMPOSSIBLE TO PRODUCE FIRST-CLASS WORK OR IF ERRORS, CONFLICTS OR DISCREPANCIES APPEAR AMONG THE CONTRACT DOCUMENTS, INFORM THE LANDSCAPE ARCHITECT IMMEDIATELY AND REQUEST INTERPRETATION BEFORE PROCEEDING WITH THE WORK.
 10. IF CONTRACTOR FAILS TO MAKE SUCH A STATEMENT AND REQUEST, NO EXCUSE WILL THEREAFTER BE ENTERTAINED, NOR ADDITIONAL EXPENSE BE ACCEPTED, FOR FAILURE TO CARRY OUT WORK IN A SATISFACTORY MANNER. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, CONTRACTOR IS DEEMED TO HAVE ESTIMATED ON THE MORE EXPENSIVE WAY OF DOING WORK UNLESS HE/SHE SHALL HAVE OBTAINED A WRITTEN DECISION, BEFORE SUBMITTING HIS BID, AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.
 11. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS AND EQUIPMENT STORED AT SITE.
 12. EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY WORK.
 13. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DIRECTION AND RESOLUTION PRIOR TO ANY FURTHER WORK.
 14. VISIBLE EXISTING CONDITIONS WHERE FIELD LOCATED, AND UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. SITE SUBCONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS, DIMENSIONS, AND GRADES, PRIOR TO START OF ANY FOUNDATION OR UTILITY WORK.
 15. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
 16. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TERRAIN PLANNING & DESIGN LLC, DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR, ENGINEER OR LANDSCAPE ARCHITECT HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 17. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 18. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL LANDSCAPE ARCHITECT. TERRAIN PLANNING & DESIGN LLC ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OF RECORD.
 19. TERRAIN PLANNING & DESIGN LLC ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.
 20. BASE PREPARATION UNDER ALL HARD SURFACES TO BE COMPACTED TO 98% STANDARD PROCTOR DENSITY.
 21. SITE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE PRIOR TO ANY EXCAVATION, 1-888-DIG-SAFE.

- PLANTING NOTES:**
1. CONTRACTOR SHALL OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO PURCHASING AND/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.
 2. CONSTRUCTION ACCESS WILL BE AS DIRECTED BY LANDSCAPE ARCHITECT. CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ACCESS ROUTE AND ALL AREAS DISTURBED BY PLANTING OPERATIONS UPON COMPLETION OF CONSTRUCTION OPERATIONS, AT NO ADDITIONAL COST TO THE OWNER.
 3. LAYOUT OF ALL PLANTING BEDS AND LOCATION OF PLANTS TO BE APPROVED BY LANDSCAPE ARCHITECT ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION.
 4. CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.
 5. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR ONE YEAR FROM THE DATE OF FINAL INSTALLATION APPROVAL BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL REPLACE, WITHOUT COST TO OWNER, AND AS SOON AS WEATHER CONDITIONS PERMIT, ALL DEAD AND NON-FLOURISHING PLANTS AS DETERMINED BY THE LANDSCAPE ARCHITECT. REPLACEMENT PLANTS SHALL BE GUARANTEED IDENTICALLY TO ORIGINAL PLANTS, TIME PERIOD COMMENCING FROM DATE OF REPLACEMENT PLANTING APPROVAL BY LANDSCAPE ARCHITECT.
 6. ALL BEDS TO BE MULCHED WITH 4" DEPTH SHREDDED BARK MULCH UNLESS NOTED OTHERWISE.
 7. CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.

Plant Schedule					
Botanical Name / Common Name	Size	Label	Quantity	Mature Height	
Trees					
<i>Amelanchier x grandiflora</i> 'Autumn Brilliance' / Autumn Brilliance Serviceberry	2-2.5' CAL.	AM	5	20-30'	
<i>Picea glauca</i> / White Spruce	5-6' B&B	PG	7	40-60'	
<i>Tilia cordata</i> 'Greenspire' / Greenspire Littleleaf Linden	2-2.5' CAL.	TC	14	40-60'	
<i>Thuja occidentalis</i> 'Smaragd' / Emerald Green Arborvitae	4-5' B&B	TO	15	15-20'	
<i>Quercus palustris</i> / Pin Oak	2-2.5' CAL.	QP	11	60'+	
<i>Syringa reticulata</i> / Japanese Lilac Tree	2-2.5' CAL.	SR	11	20-30'	
Shrubs					
<i>Azalea</i> 'Blaauw's Pink' / Blaauw's Pink Azalea	#3 Gal.	AB	27	4-5'	
<i>Clethra alnifolia</i> 'Compacta' / Compact Summersweet	#3 Gal.	CA	35	3-4'	
<i>Hydrangea paniculata</i> 'Bobo' / Bobo Panicle Hydrangea	#3 Gal.	HP	32	2-3'	
<i>Hydrangea paniculata</i> 'Little Lime' / Little Lime Panicle Hydrangea	#3 Gal.	LL	27	3-4'	
<i>Hydrangea paniculata</i> 'Pinky Winky' / Pinky Winky Panicle Hydrangea	#5 Gal.	PW	18	6-8'	
<i>Ilex glabra</i> 'Compacta' / Compact Inkberry	#5 Gal.	IG	34	5-6'	
<i>Physocarpus opulifolius</i> 'Amber Jubilee' / Amber Jubilee Ninebark	#5 Gal.	PO	17	5-6'	
<i>Spiraea bumalda</i> 'Anthony Waterer' / Anthony Waterer Spirea	#3 Gal.	SB	15	3-4'	
<i>Spiraea japonica</i> 'Candy Corn' / Candy Corn Spirea	#3 Gal.	SJ	42	18-24"	
<i>Syring</i> 'Bloomerang Dark Purple' / Dark Purple Bloomerang Lilac	#5 Gal.	BL	6	5-6'	
<i>Viburnum trilobum</i> 'Compacta' / Compact American Cranberry Viburnum	#5 Gal.	VT	48	5-6'	
Grasses					
<i>Calamagrostis acutifolia</i> 'Karl Foerster' / Karl Foerster Feather Reed Grass	#2 Gal.	KF	54	5'	
<i>Panicum virgatum</i> 'Shenandoah' / Shenandoah Switch Grass	#2 Gal.	PV	89	3-4'	
Perennials					
<i>Hemerocallis</i> 'Happy Returns' / Happy Returns Daylily	#1 Gal.	DL	63	18-24"	
<i>Hemerocallis</i> 'Pardon Me' / Pardon Me Daylily	#1 Gal.	PM	43	18-24"	
<i>Nepeta</i> 'Blue Wonder' / Blue Wonder Catmint	#1 Gal.	BW	28	12"	
<i>Rudbeckia fulgida</i> 'Goldsturm' / Goldsturm Black-Eyed Susan	#1 Gal.	RF	37	2'	
<i>Sedum spectabile</i> 'Autumn Joy' / Autumn Joy Stonecrop	#1 Gal.	AJ	28	18-24"	
Groundcovers					
<i>Juniperus horizontalis</i> 'Bar Harbor' / Bar Harbor Juniper	#1 Gal.	JH	41	6-12"	
<i>Rhus aromatica</i> 'Grow Low' / Grow Low Fragrant Sumac	#1 Gal.	RA	52	18-24"	



terrain
planning & design llc

311 kast hill road
hopkinton nh 03229
603. 746. 3512
terrainplanning.com

PROPOSED CENTRAL SQUARE

Site Location:
340 E. Central Street
Franklin, MA 02038
Tax Map: 285
Lot #: 9

Prepared For:
Jones & Beach Engineering, Inc.
85 Portsmouth Avenue
Stratham, NH 03885

LANDSCAPE PLAN

DATE: 04 - 01 - 2020

SCALE: 1" = 30'

PROJECT #: 2016

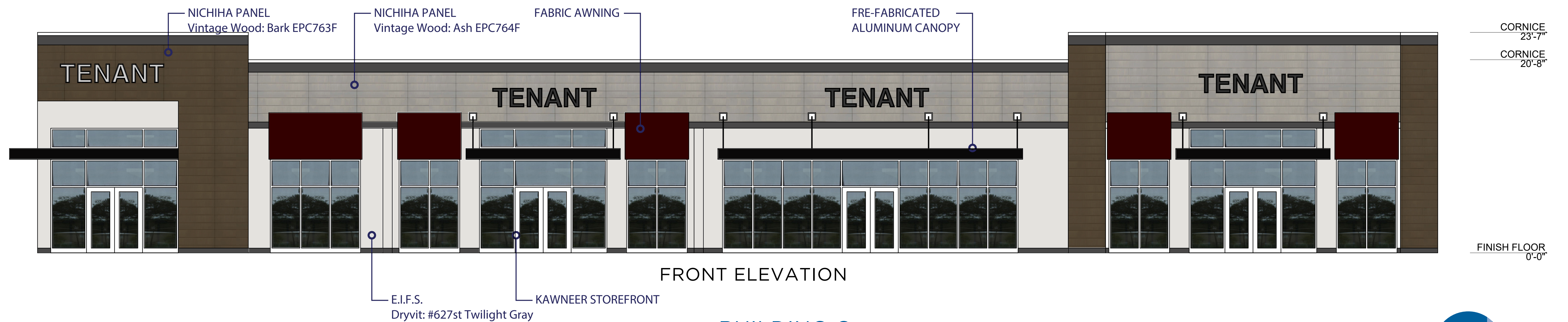
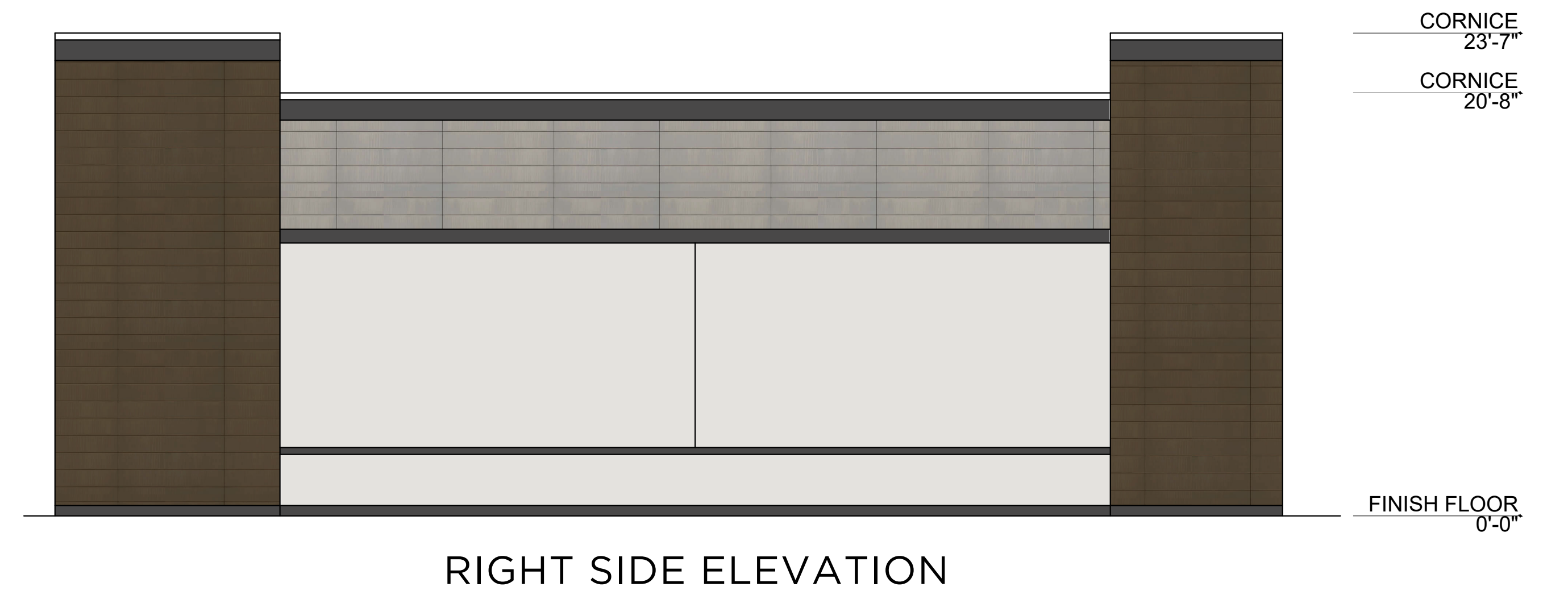
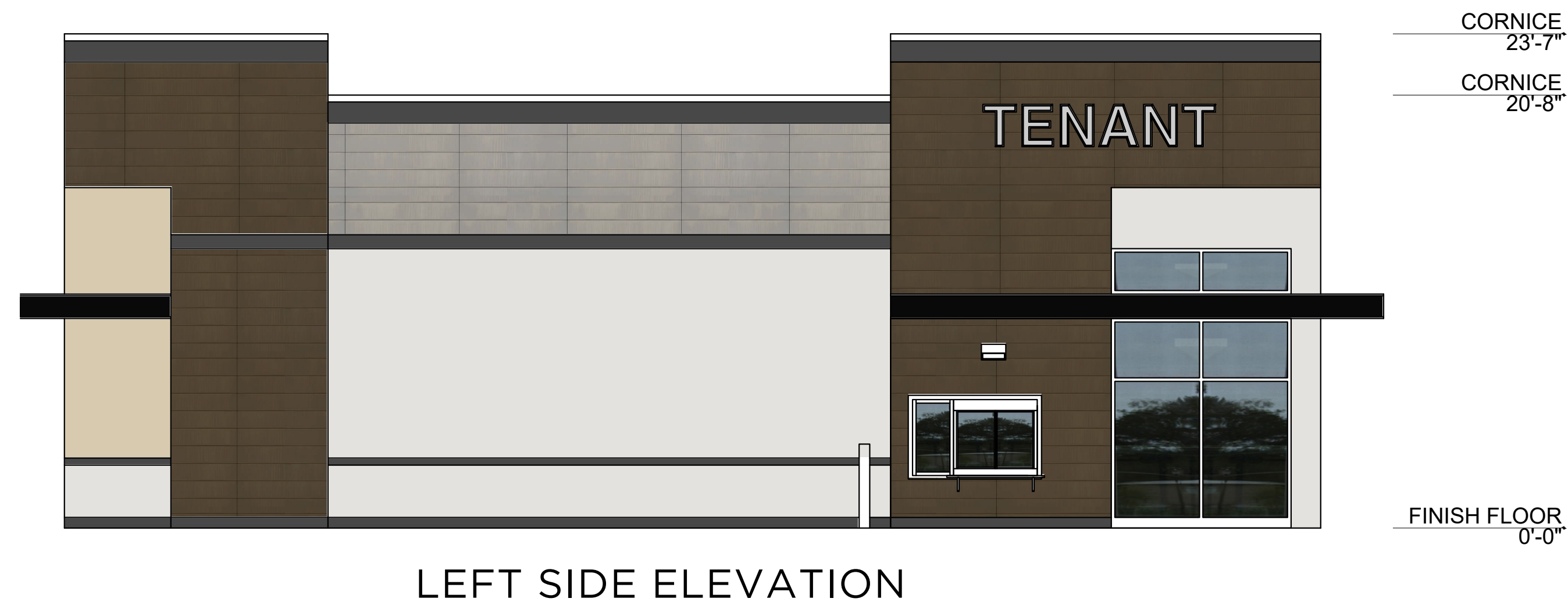
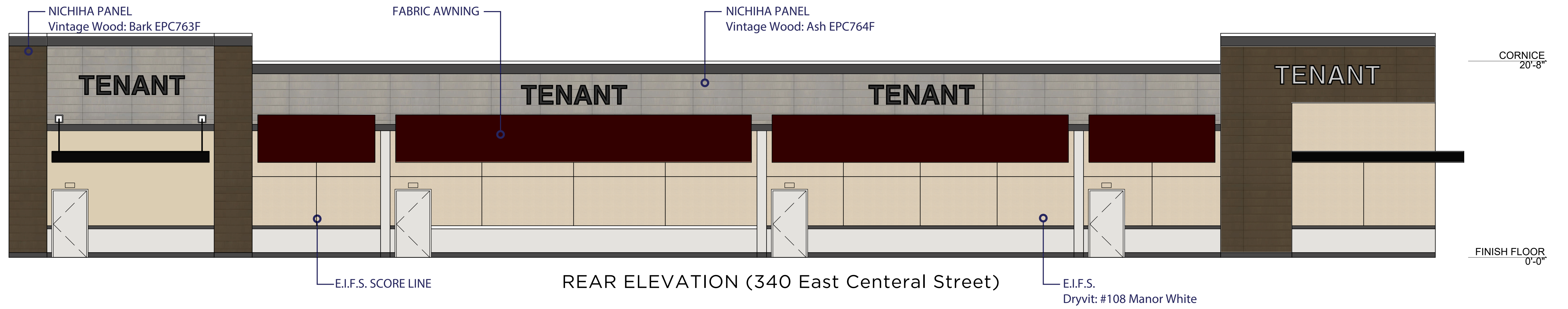
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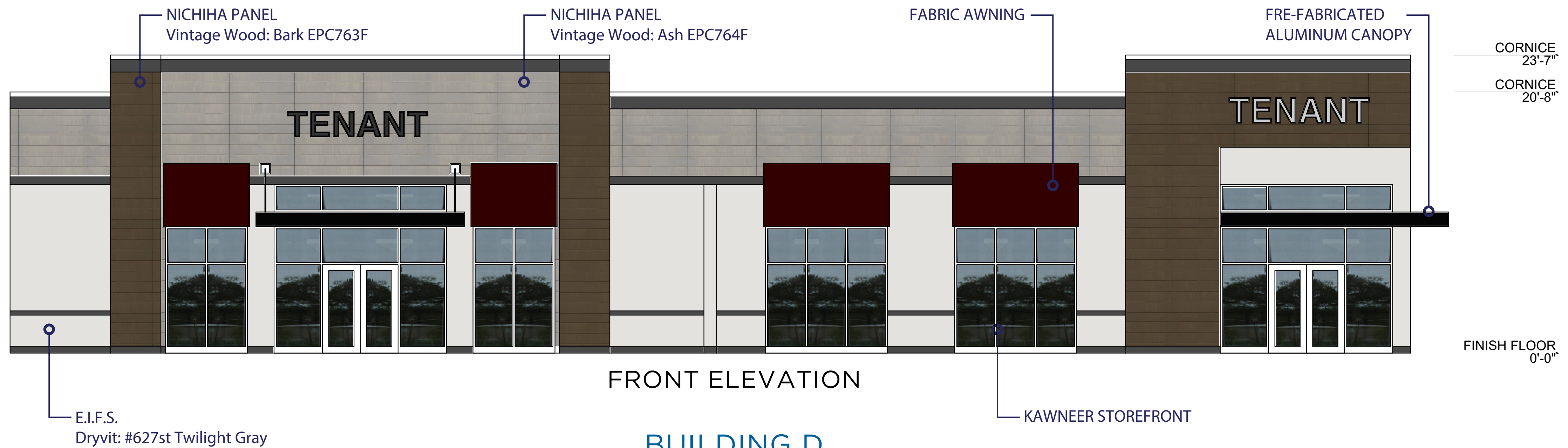
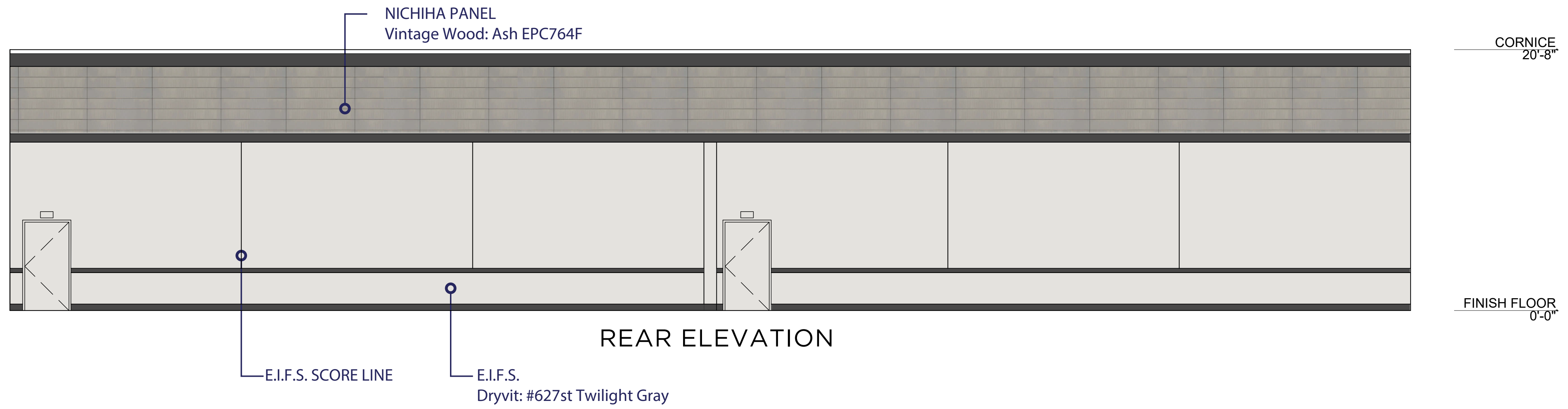
Checked By: ERB

REVISIONS: DATE:
Revised per Client 06/10/2020

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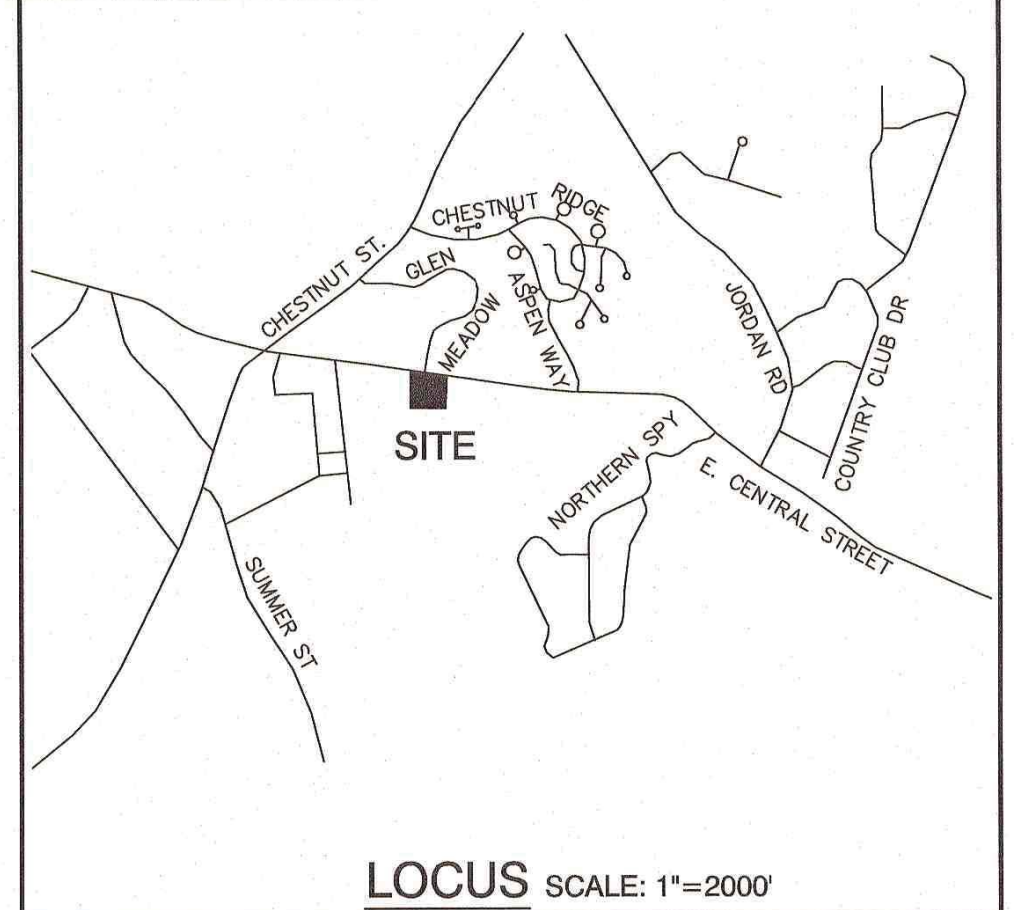
L - 01





APPROVED - FRANKLIN, MA
PLANNING BOARD

DATE:



**TAX MAP 285
LOT 108**
TOWN OF FRANKLIN
355 EAST CENTRAL STREET
FRANKLIN, MA 02038

TAX MAP 285 LOT 109
LENZI, JOSEPH
LENZI, RACHEL
860 KING ST.
FRANKLIN, MA 02038

TAX MAP 280 LOT 79
GLEN MEADOW OWNER, LLC
536 GRANITE ST SUITE 301
BRAINTREE, MA 02184

COMMERCIAL II		
FRANKLIN ZONING BYLAW SECTION 185		
ATTACHMENT 9; LAST AMENDED		
03-13-2019 BY AMENDMENT 19-821		
	REQUIRED	PROVIDED
MINIMUM LOT AREA	40,000 SF	283,394 SF
MINIMUM LOT FRONTAGE	175'	448'±
MINIMUM LOT DEPTH	200'	631'±
MINIMUM LOT WIDTH	157.5'	448'±
MINIMUM YARDS		
FRONT	40'	75.1'
SIDE	30'	20.8'
REAR	30'	337.1'
MAXIMUM BUILDING HEIGHT:		
STORIES	3*	1
HEIGHT	40'	17'
% OF LOT UPLAND COVERED BY:		
STRUCTURES	70	6.3%
STRUCTURES+PAVING	80	43.3%

*=BUILDINGS UP TO 50' IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES
MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD

- EXISTING CONDITIONS NOTES:**
- VERTICAL DATUM: NAVD83. HORIZONTAL DATUM: NAD83
 - BASE ELEVATION WAS ESTABLISHED THROUGH MULTIPLE GPS POST PROCESS OBSERVATIONS AND WAS REDUCED TO THE NAVD83 DATUM.
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA MAP 25021C0309E, EFFECTIVE DATE 7/17/2012
 - THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY GODDARD ASSOCIATES, SPRING 2020.
 - TEST PITS PERFORMED BY GUERRIERE & HALNON, INC.
 - THE EXISTING SITE IS LOCATED WITHIN THE WATER RESOURCE DISTRICT.

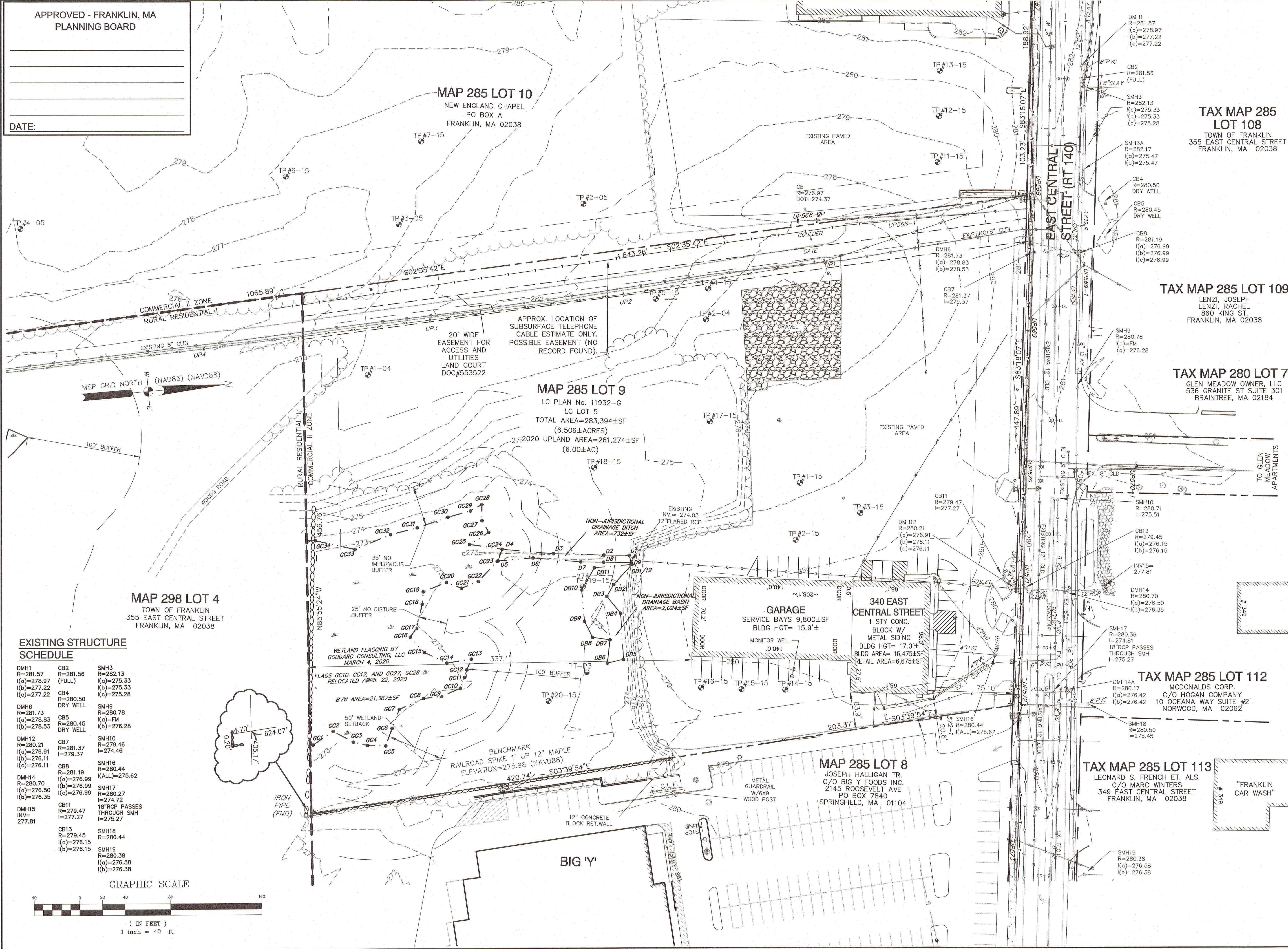
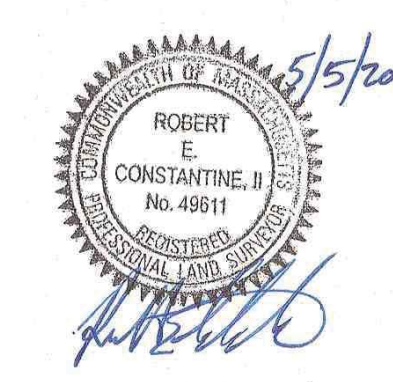
CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS (DRAWINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY DETERMINED AND RELIABLY DEPICTED. ANY UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS, OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONSTRUCTION (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 30A AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL 800SAFE AT 1(888)DIGSAFE(7233).

- PLAN REFERENCES:**
- SEE PLAN ENTITLED 'LAND COURT CASE NO. 11932 G. SUBDIVISION OF LOT B2 ON LAND COURT PLAN NO. 11932 D W/ CERT NO. 69849 PLAN OF LAND IN FRANKLIN, MASS. PREPARED FOR ARTHUR BENT', DATED MARCH 4, 1996 BY GUERRIERE & HALNON, INC.
 - SEE PLAN ENTITLED 'ALTA/ACSM PLAN OF LAND IN THE TOWN OF FRANKLIN, NORFOLK COUNTY, MASSACHUSETTS DATED DECEMBER 15, 1998.

PROJECT PARCEL
TOWN OF FRANKLIN, MA
TAX MAP 285, LOT 009

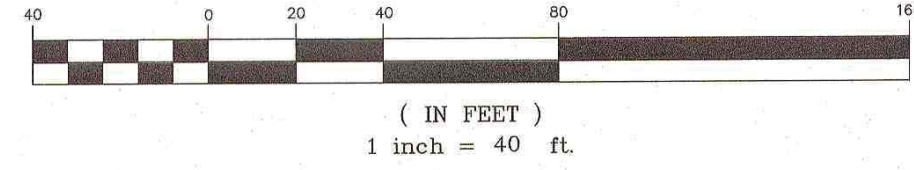
TOTAL LOT AREA
283,394 SQ. FT.
6.5 ACRES



EXISTING STRUCTURE SCHEDULE

DMH1 R=281.57 I(a)=278.97 I(b)=277.22 I(c)=277.22	CB2 R=281.56 I(a)=278.97 I(b)=277.22 I(c)=277.22	SMH3 R=282.13 I(a)=275.33 I(b)=275.33 I(c)=275.28
DMH6 R=281.73 I(a)=278.83 I(b)=278.53	CB4 R=280.50 I(a)=278.53	SMH9 R=280.78 I(a)=FM I(b)=278.28
DMH12 R=280.21 I(a)=278.91 I(b)=276.11 I(c)=276.11	CB7 R=281.37 I(a)=279.37	SMH10 R=279.46 I(a)=274.46
DMH14 R=280.70 I(a)=276.50 I(b)=276.35	CB8 R=281.19 I(a)=276.99 I(b)=276.99	SMH16 R=280.44 I(ALL)=275.62
DMH15 R=279.47 INV=277.81	CB11 R=279.47 I=277.27	SMH17 R=280.27 I=274.72
	CB13 R=279.45 I(a)=278.15 I(b)=276.15	SMH18 R=280.44 I(a)=276.58 I(b)=276.38

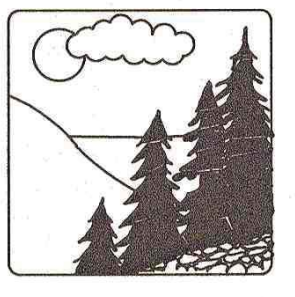
GRAPHIC SCALE



E:\Land Projects\3\13153-FRANKLIN-300-EAST-CENTRAL-STREET-TOPSFIELD-ASSOCIATES\DWG\13153-EX-CONDITIONS.dwg 11/6/2019 11:00:09 AM EST

Design: WGM	Draft: GPC	Date: 03/20/2020
Checked: WGM	Scale: AS-NOTED	Project No.: 13153
Drawing Name: 13153-EX-CONDITIONS.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE & G&H).		
ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE OR G&H.		

REV.	DATE	REVISION	BY



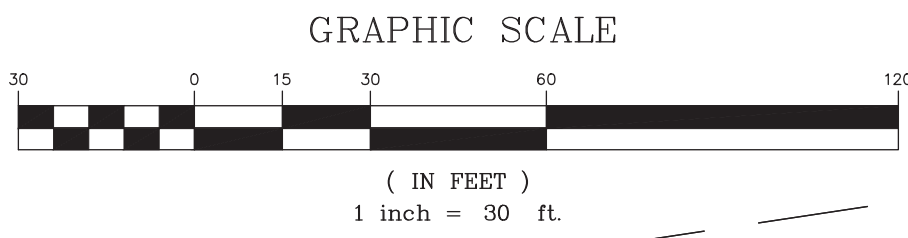
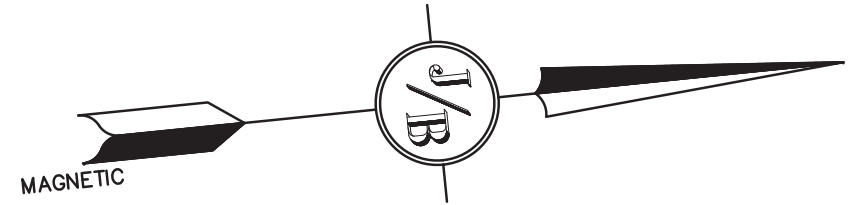
Guerriere & Halnon, Inc.
Engineering & Land Surveying

Ph. (508) 528-3221 55 WEST CENTRAL STREET
Fx. (508) 528-7921 FRANKLIN, MASS. 02038
www.gandhengineering.com

Plan Name:	EXISTING CONDITIONS PLAN
Project:	PROPOSED CENTRAL SQUARE 340 E CENTRAL STREET, FRANKLIN, MA
Owner of Record:	340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

DRAWING No.
C1
SHEET 2 OF 16
JBE PROJECT NO. 13153

DATE:



CONTRACTOR TO CONNECT
TO GRAVEL ROAD WITH GATE

COMMERCIAL II ZONE
RURAL RESIDENTIAL I

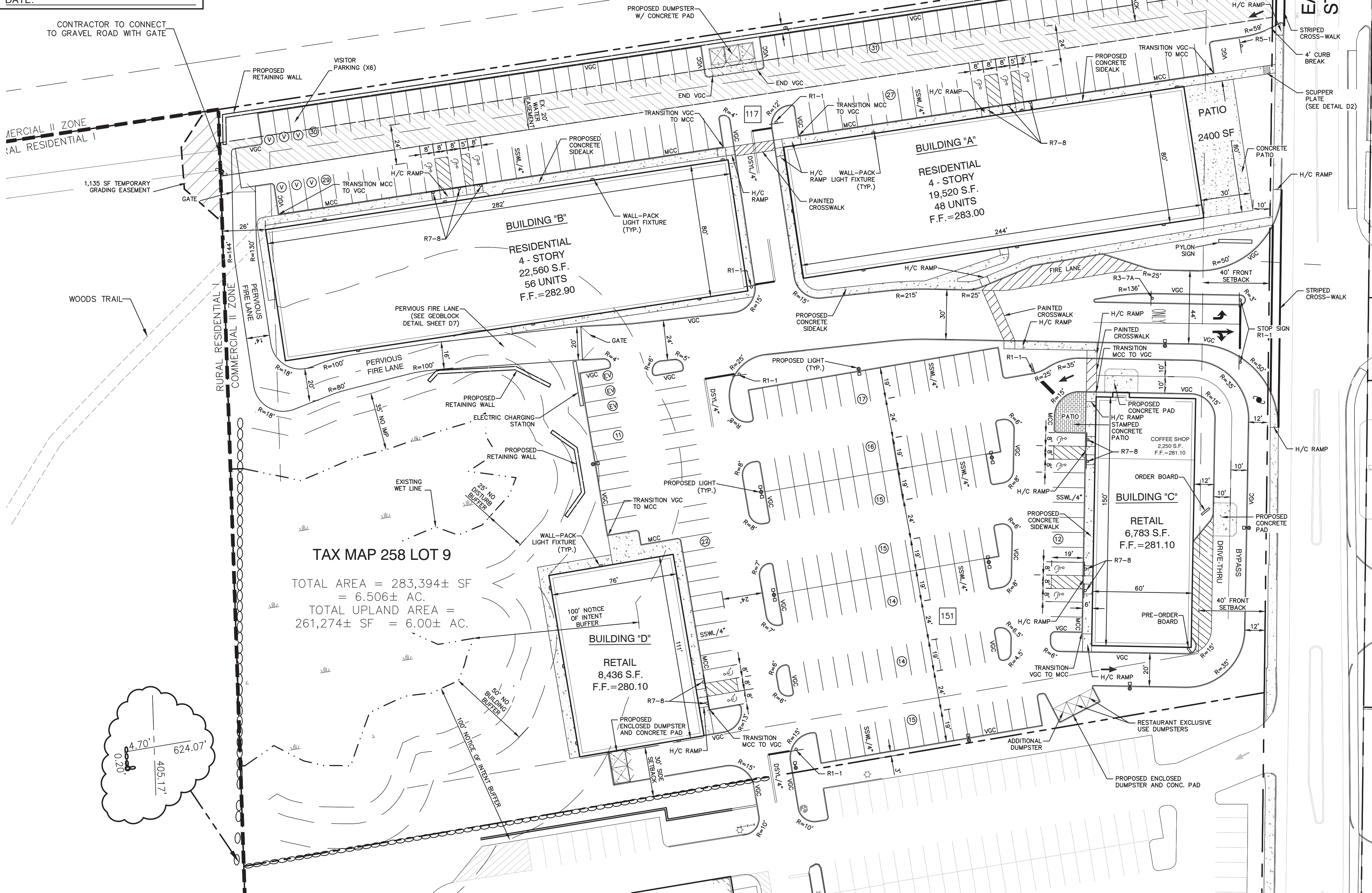
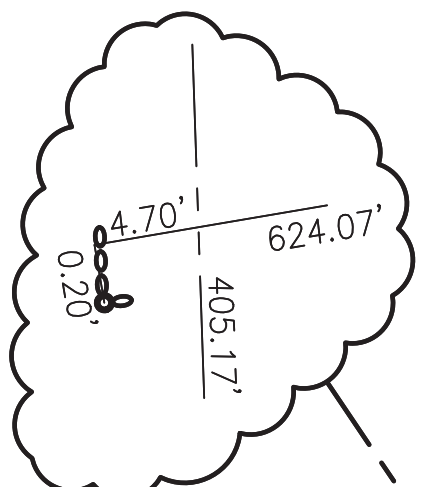
1,135 SF TEMPORARY
GRADING EASEMENT

WOODS TRAIL

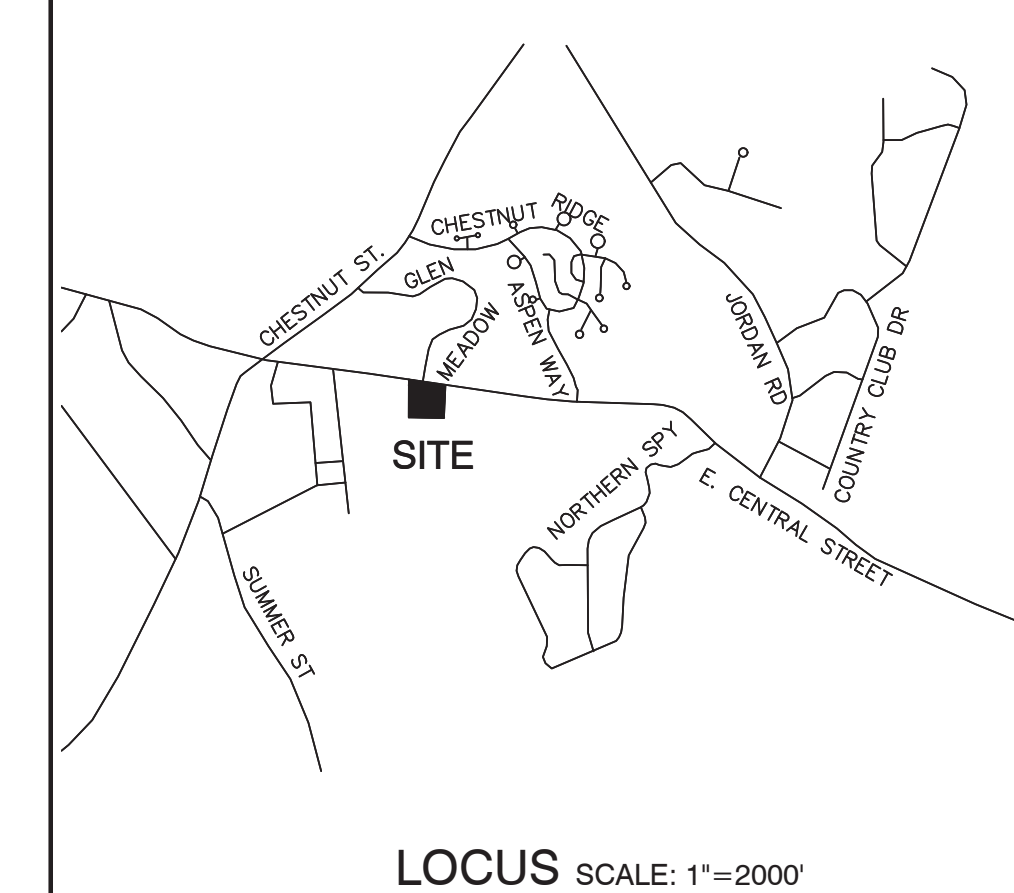
RURAL RESIDENTIAL I
COMMERCIAL II ZONE

TAX MAP 258 LOT 9

TOTAL AREA = 283,394± SF
= 6.506± AC.
TOTAL UPLAND AREA =
261,274± SF = 6.00± AC.



**EAST CENTRAL
STREET (RT 140)**



SITE NOTES:

- THE INTENT OF THIS PLAN IS TO DEPICT THE CONCEPTUAL REDEVELOPMENT OF THE CITY OF FRANKLIN, MA, TAX MAP 285 / LOT 009.
- ZONING DISTRICT: COMMERCIAL II
LOT AREA MINIMUM = 40,000 SF
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 40'
SIDE SETBACK = 30'
REAR SETBACK = 30'
WETLAND BUFFER = 100'
MAX. BUILDING HEIGHT = 40'
MAX. IMPERVIOUS COVERAGE (UPLAND) = 80%
MAX. STRUCTURE COVERAGE (UPLAND) = 70%
*SPECIAL PERMIT REQUIRED
- PARKING CALCULATIONS (COMMERCIAL):
TOTAL SQUARE FOOTAGE = 15,219 S.F. (RETAIL)
PARKING REQUIRED = 1 SPACE / 200 S.F. (RETAIL) = 77 SPACES
TOTAL NUMBER OF SEATS = 40 SEATS (RESTAURANT)
PARKING REQUIRED = 1 SPACE / 2.5 SEATS (RESTAURANT) = 16 SPACES
PARKING CALCULATIONS (RESIDENTIAL):
PARKING REQUIRED = 2 SPACES / UNIT
= 104 UNITS = 208 SPACES
TOTAL REQUIRED = 301 SPACES
TOTAL PROVIDED = 268 SPACES
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND MASSDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.). THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED. A SIGN PERMIT AND APPROVAL FROM THE TOWN DESIGN REVIEW COMMISSION MUST BE OBTAINED PRIOR TO SIGN INSTALLATION.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND MASSDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYD BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE.
- ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- ALL CURBING SHALL BE CONSTRUCTED WITH A MINIMUM RADIUS OF 2', UNLESS OTHERWISE NOTED.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS.
- ROOF TOP HEATING AND AIR CONDITIONING UNITS (RTU'S) SHALL BE DESIGNED TO VENT UPWARDS AND AIR INTAKES SHALL BE DIRECTED AWAY FROM ADJACENT NEIGHBORS.
- NO OVERNIGHT TRACTOR TRAILER PARKING SHALL BE ALLOWED ON THE PREMISES. NO TRUCK HORN BLOWING SHALL BE ALLOWED ON THE PREMISES.
- NO DELIVERIES BETWEEN THE HOURS OF 7:00 PM AND 7:00 AM
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- DUMPSTERS ARE NOT TO BE PICKED UP BETWEEN 7:00 PM AND 7:00 AM.
- PLACING MORE THAN 15 CU.YD. OF FILL WITHIN THE ZONE II WATER RESOURCE DISTRICT REQUIRED A CERTIFICATION TO BE PRESENTED TO THE BOARD OF APPEALS OR ITS DESIGNATED AGENT, THAT THE FILL DOES NOT EXCEED MCP STANDARDS.

Design: WGM	Draft: RMK	Date: 05/06/20
Checked: WGM	Scale: AS-NOTED	Project No.: 13153
Drawing Name: 13153-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	EMP	BY
0	05/06/20	ISSUED FOR REVIEW	EMP	

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-Mail: JBE@JONESANDBEACH.COM

Plan Name:	SITE PLAN
Project:	PROPOSED CENTRAL SQUARE 340 E CENTRAL STREET, FRANKLIN, MA
Owner of Record:	340 EAST CENTRAL. EPK PROPERTIES, LLC. LAND COURT CERTIFICATE 190576

DRAWING No.
C2
SHEET 3 OF 16
JBE PROJECT NO. 13153

DRAFT

Town of Franklin



Design Review Commission

**Tuesday, June 02, 2020
Meeting Minutes**

Chairman Mark Fitzgerald called the above-captioned meeting to order this date at 7:15 PM, **as a Remote Access Virtual Zoom Meeting**. Members in attendance: Mark Fitzgerald, Chris Baryluk, Ralph Niemi, Sam Williams. Member absent: James Bartro.

As stated on the agenda, due to the growing concerns regarding the COVID-19 virus, this meeting will be conducted as a Remote/Virtual Design Review Commission meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number, or citizens can participate by using the Zoom link provided on the agenda.

1. **Complete HVAC – 1000 Chestnut Street** – Replace existing signs faces

Mr. Cam Afonso of Signs by Cam stated they are replacing faces on existing signage.

Motion by Niemi to Approve the sign package as submitted. Second by Baryluk. Roll Call Vote: Fitzgerald-Yes; Niemi-Yes; Baryluk-Yes; Williams -Yes. **Vote 4-0-0.**

2. **Stop & Shop – 40 Franklin Village Drive** – Repaint designated areas where old signs were – replace with new corporate branded sign, new pylon faces in existing pylons

No representatives of Stop & Shop were in attendance.

3. **94 East Central – Mixed Use – 94/88 & 70/72 East Central Street**

Construction of a new mixed use building with approximately 590 sf of commercial space and 13 residential units total

Mr. Brad Chaffee, owner of 94 East Central – Mixed Use, referenced site plan drawings showing lot area, building materials and colors, and vegetation. Commission asked that the elm and maple trees be of at least 3” caliper. Mr. Chaffee agreed. There was no light spillage indicated. All lights are LED. There were three motions.

Motion by Williams to Recommend the vegetation landscaping as submitted with the addition of a white vinyl fence around the condenser farm and that the elm and maple trees should be of at least 3” caliper. **Second** by Niemi. **Roll Call Vote:** Fitzgerald – Yes; Niemi – Yes; Baryluk-Yes; Williams-Yes **Voted 4-0-0.**

DRAFT

Motion by Baryluk to Recommend the façade as submitted. **Second by Williams. Roll Call Vote:** Fitzgerald – Yes; Niemi – Yes; Baryluk – Yes; Williams – Yes. **Vote 4-0-0.**

Motion by Fitzgerald to Recommend the photometrics as submitted. **Second** by Baryluk. **Roll Call Vote:** Fitzgerald-Yes; Niemi-Yes; Barlyluk-Yes; Williams-Yes. **Vote 4-0-0**

New Business - None

Meeting Minutes: May 19, 2020

Motion by Baryluk to Approve the **May 19, 2020** Meeting Minutes as presented. . **Second** by Niemi. **Roll Call Vote:** Niemi-Yes; Baryluk-Yes; Fitzgerald-Abstain; Williams-Abstain. Voted 2-0-2.

General Matters: None

Motion to Adjourn by Niemi. **Second** by Baryluk. **Roll Call Vote:** Fitzgerald-Yes; Niemi-Yes; Baryluk-Yes; Williams-Yes. **Vote** 4-0-0. Meeting adjourned at 8:19 PM.

Respectfully submitted,

Maxine Kinhart

Maxine Kinhart