

**DESIGN REVIEW COMMISSION
AGENDA**

**July 6, 2021
7:00 PM.**

Virtual Meeting

Due to the growing concerns regarding the COVID-19 virus, we will be conducting a remote/virtual Design Review Commission Meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number (Cell phone or Landline Required) OR citizens can participate by copying the link (Phone, Computer, or Tablet required). Please click on <https://us02web.zoom.us/j/89260522253> or call on your phone at 1-929-205-6099, meeting ID is 89260522253

7:00 PM Botera – 1256 West Central Street
Install two sets of Channel letter signs and update freestanding sign

7:05 PM iFix Phones – 15 East Main Street
Install Belt sign

7:10 PM Marathon – 251 East Central Street
Reface existing Speedway signage to Marathon

7:15 PM Bamboo House – 2 Main Street
Install sign

7:20 PM Engine Yard – 40 Alpine Row
Street level commercial and 28 Residential units above street level

General Matters:

Approval of Minutes: 6-15-2021

COMMENTS: These listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

This agenda is subject to change. Last updated: 07-01-2021

The next meeting of the Design Review Commission is scheduled for July 20, 2021

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Botera

Property Address 1256 West Central Street

Assessors' Map # 274 Parcel # 001

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:


Applicant Name: Best Price Signs and Printing

Address: 244 Liberty Street
Brockton, MA 02301


Telephone Number: (508) 388-9568

Contact Person: Gilmar DaSilva

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: (same as property owner) Property Owner: 
Address: _____ 1256 West Central St
Franklin, MA 02038

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

 _____
Signature of Applicant Signature of Owner

Gilmar DaSilva, President of _____
Print name of Applicant Best Price Signs Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: Best Price Signs and Printing
Contact Person: Gilmar Da Silva
Address: 244 Liberty Street, Brockton, MA 02301
Telephone Number: (508) 388-9568

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address: _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: Install two sets of channel letter signs and update freestanding sign-

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DRAWING : SIGN DETAIL

REVISION : 1 **DATE :**

EXISTING



CLIENT	BOTERA
ADDRESS	1256 WEST CENTRAL STREET FRANKLIN, MA
PROJECT	SIGNAGE
FILE NAME	
DESIGNER	GILMAR
COMMENTS	

PROPOSAL



2 Sets of Channel Letter signs (same size) installed against the side and back of the building, 12' long and 2' tall

Update freestanding sign to an aluminum post and panel sign, 6' long and 10' tall

APPROVAL



WWW.BPSIGNSANDPRINTING.COM

E-mail: signs@bpsignsandprinting.com

Office: 508-388-9568
Cell: 508-825-3024
1034 N. Montello Street - Brockton, MA 02301

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: I Fix Phones

Property Address 15 E. Main St.

Assessors' Map # _____ Parcel # 279-176-000-000

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____

Non-Conforming Use _____

B) Applicant Information:

Applicant Name: _____

Signs By Cam, Inc.
837 Upper Union Street
Suite C-18
Franklin, MA 02038

Address: _____

Telephone Number: 508-364-2905

Contact Person: Cam

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Alex Mammadov Property Owner: Anna Clarke

Address: 15 E. Central St.
Franklin, MA 02038

22 Hal Place
Quincy, MA 02189

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

[Signature]
Signature of Applicant

[Signature]
Signature of Owner

Cam Arus
Print name of Applicant

ANNA CLARKE
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____ Signs By Cam, Inc.
Contact Person: _____ 837 Upper Union Street
Address _____ Suite C-18
Telephone Number: _____ Franklin, MA 02038

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: _____ Install belt sign.

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

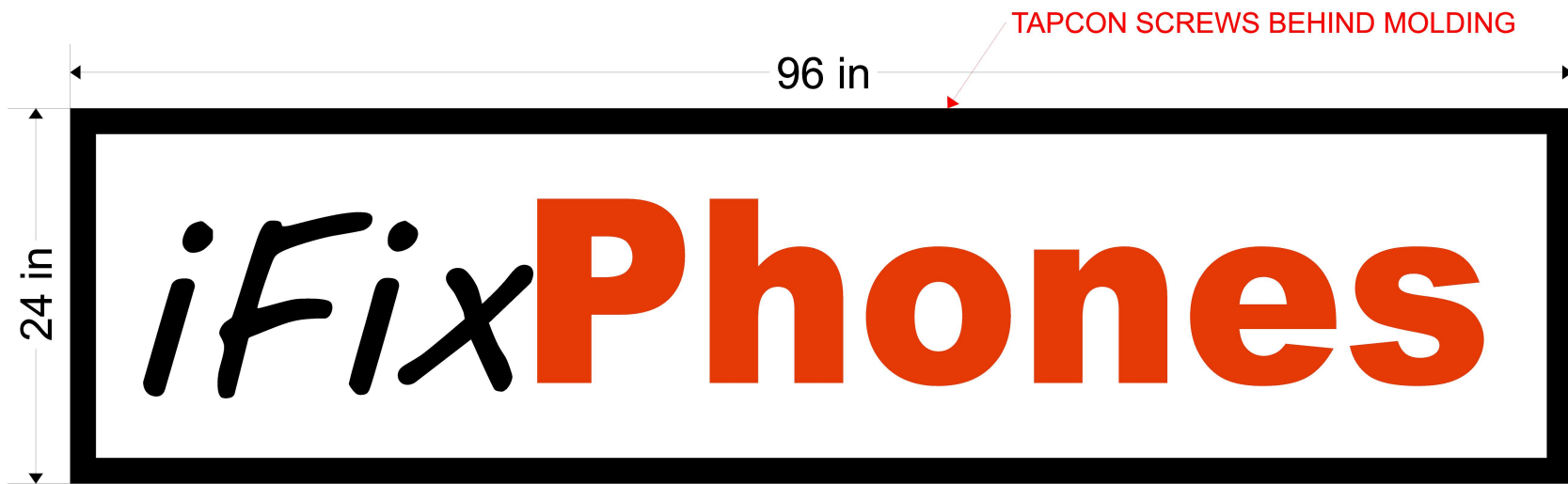
1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.



Signs By Cam Inc.

Sign & Graphic Solutions • Uncompromising Integrity

Cam Afonso
 837 Upper Union St., Suite C-18
 Franklin, MA 02038

Phone: 508-364-2905
 Fax/Office: 508-528-0766
 E-Mail: cam@signsbycam.com
 Website: www.signsbycam.com

APPROVED FOR PRODUCTION:
 X _____

© COPYRIGHT
ALL DRAWINGS ARE PROPERTY OF SIGNS BY CAM, Inc. ANY DUPLICATION OF ANY KIND IS PROHIBITED. PERSON(S) WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

JOB INFORMATION

JOB TITLE:
 CONTACT:
 PHONE:
 FAX:
 JOB DESCRIPTION:

SQUARE FOOTAGE:=

SIGN MATERIAL SPECS

BANNER: COROPLAST: WOOD:
 ACRYLIC: MAGNETIC: URETHANE:
 PVC: ALUMINUM: NUEDGE:

SINGLE SIDED: DOUBLE SIDED:

OTHER: _____

COLOR SPECS:
 BACKGROUND:
 COPY:

OUTLINE:
 SHADOW:
 BORDER:
 LOGO:

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Marathon

Property Address 251 E Central St

Assessors' Map # _____ Parcel # 285-106-000-000

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Total Image Solutions

Address: 1916 Theater Rd
South Hill VA 23970

Telephone Number: 434-584-9716

Contact Person: Mckenzie Smith

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: TKM LLC
Address: 645 Hamilton St
Allentown PA 18101

Property Owner: Hess Retail Stores LLC
539 S Main St
Fidlay OH 45840

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of 1st 2021

MG Smith
Signature of Applicant

[Signature]
Signature of Owner

Mckenzie Smith
Print name of Applicant

Randy Kets
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: Reface existing speedway
Signage to Marathon

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. Same as existing with LED prices

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. N/A

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. N/A

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible. N/A

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. 1D 15 OAH

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area.

N/A

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. Same as existing

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. N/A

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. N/A

6. **Facade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: Same as existing

just different colors / wording

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. Aluminum + plastic

Red, white, + blue

Mobil MID Sign

Reface existing sign to Mobil Synergy
 - 2 product LED price sign (Reg/Diesel Efficient)



totalimagesolutions.com

Proposed Sign: 64.5 sq. ft, 15' OAH



Existing Sign: 64.5 sq. ft, 15' OAH



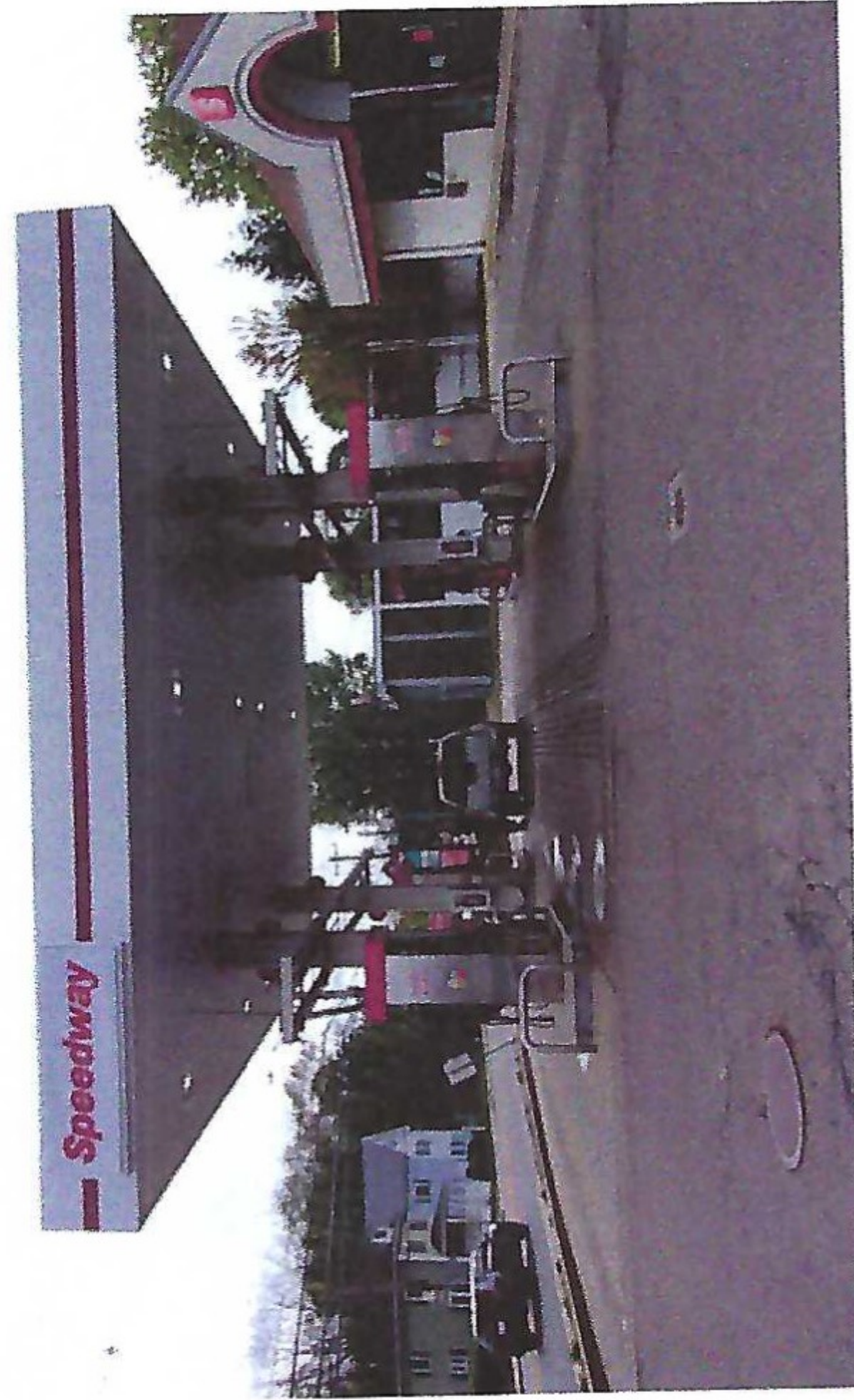
196 Theater Rd.
 South Hill, VA 23970
 P: (434) 447-3347
 F: (434) 447-3266

Brand	Mobil
Address	251 E Central St. Franklin, MA 02038
Site ID	#2460
Branded Wholesaler	Project Sonic 7 Eleven
Date	6-17-21
Revisions	1
Designed By	Raheem R.

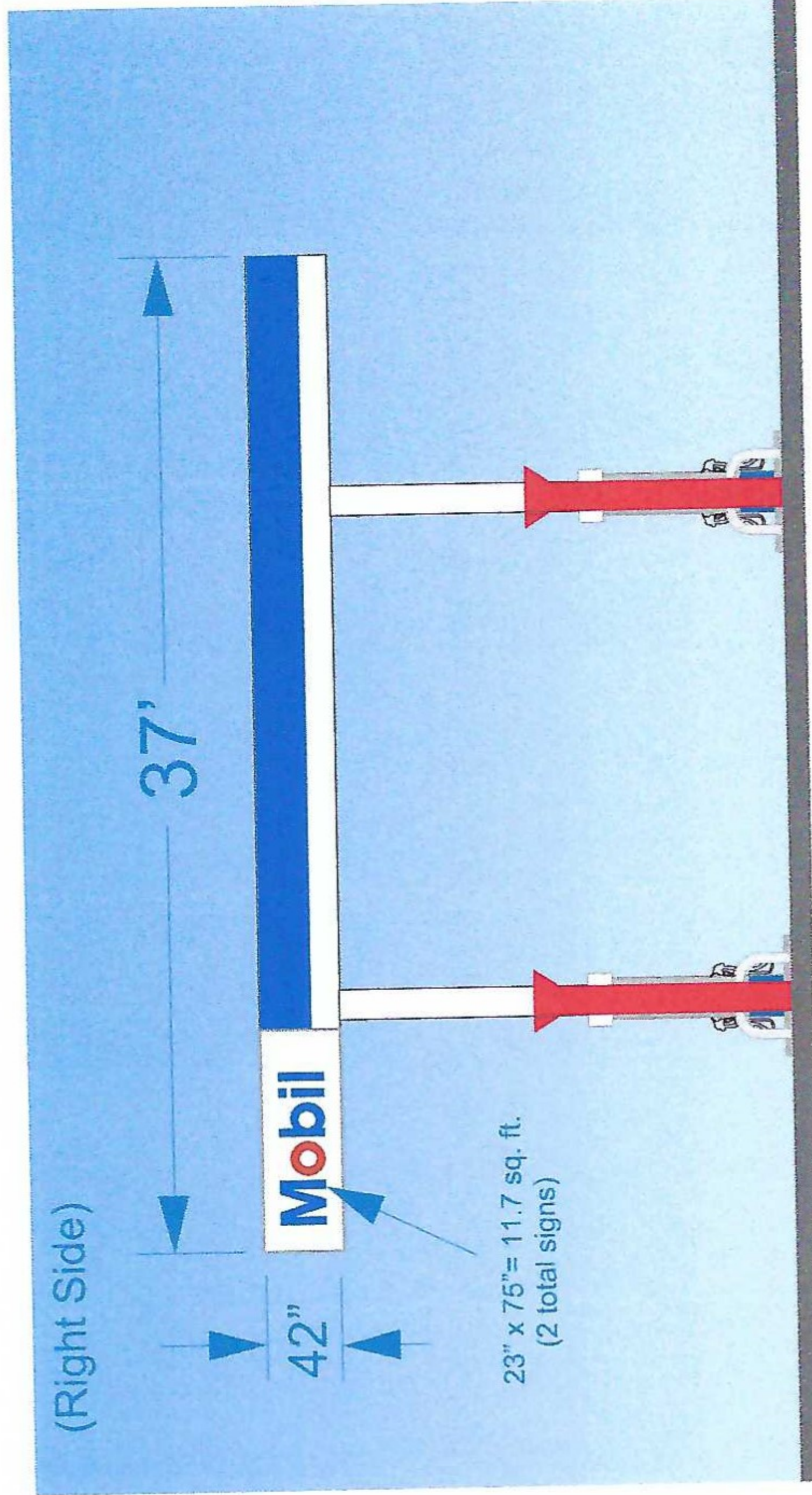
FOR PERMITTING
 PURPOSES ONLY

Mobil Gas Canopy

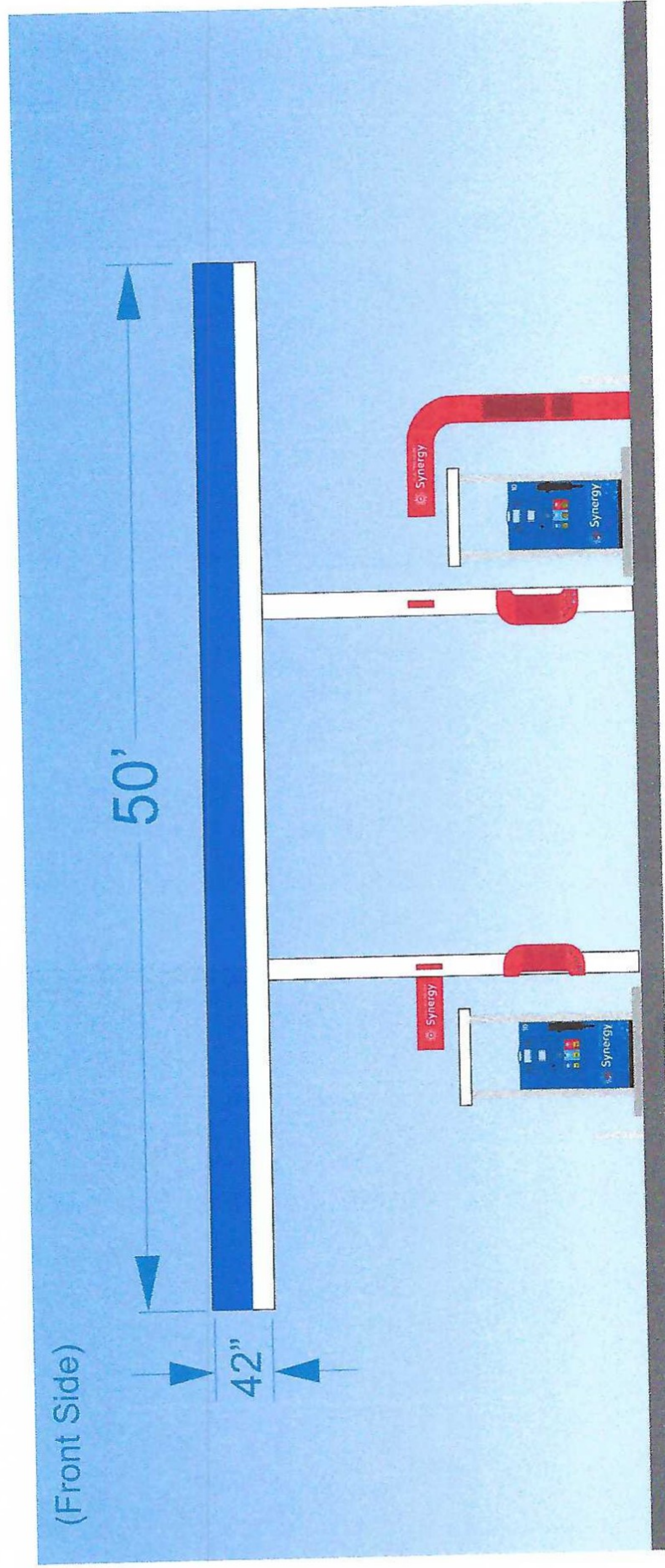
Existing Canopy:



Proposed Canopy:



Secondary Fascia



Primary Fascia



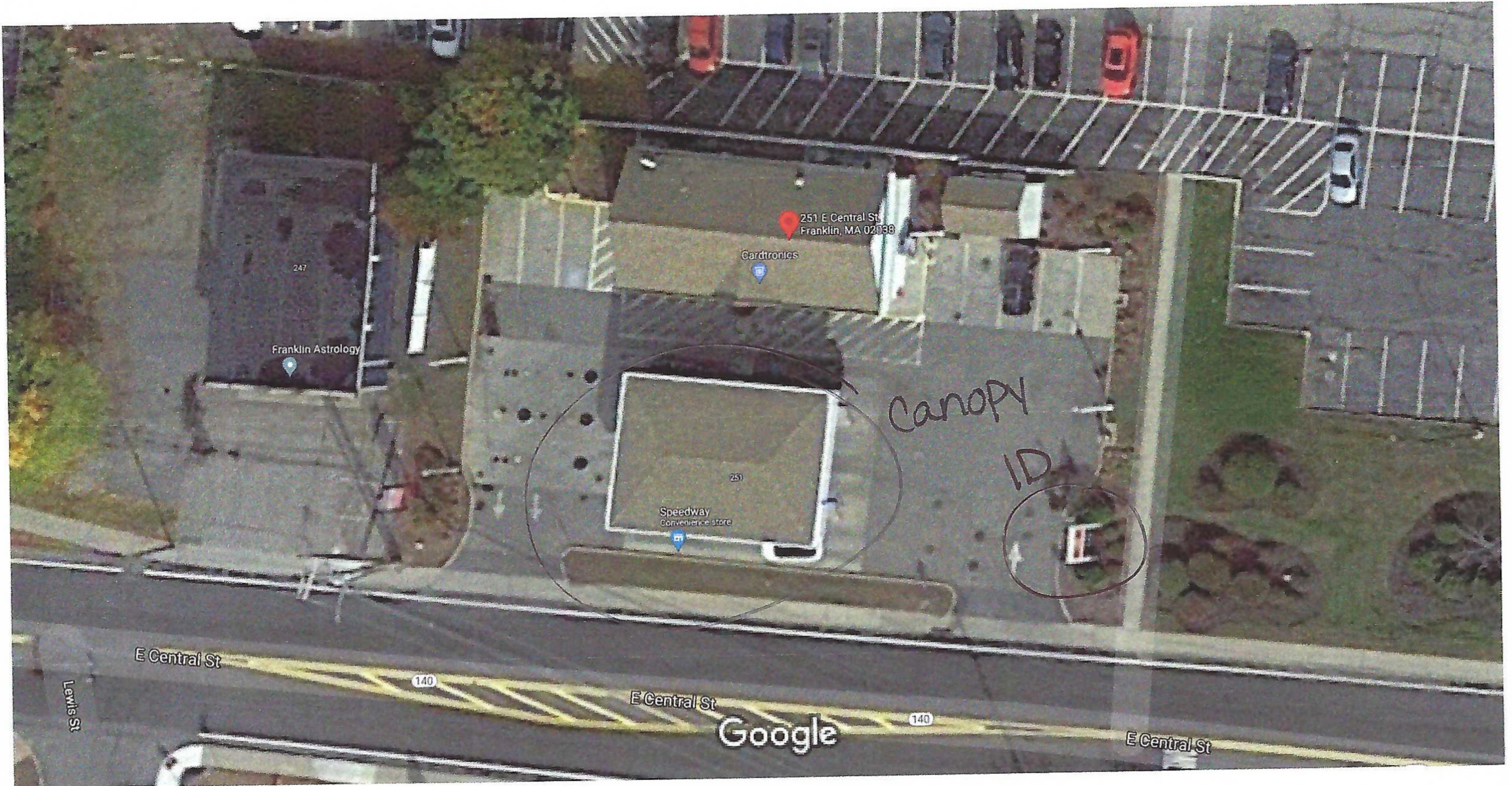
totalimagesolutions.com

196 Theater Rd.
South Hill, VA 23970

P: (434) 447-3347
F: (434) 447-3266

Brand	Mobil
Address	251 E Central St. Franklin, MA 02038
Site ID	#2460
Branded Wholesaler	Project Sonic 7 Eleven
Date	6-17-21
Revisions	1
Designed By	Raheem R.

FOR PERMITTING PURPOSES ONLY



Map data ©2021, Map data ©2021 5 m



251 E Central St

Franklin, MA 02038
Building



Directions



Save



Nearby



Send to your
phone



Share

Photos

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Bamboo House

Property Address 2 Main St Franklin, MA, 02038.

Assessors' Map # 279 Parcel # _____

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Limei Qiu

Address: 2 Main Street Franklin, MA, 02038.

Telephone Number: 508 528 9588.

Contact Person: _____

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Zhu Jiang Inc / Limei Qiu Property Owner: NJN LLC
Address: 2 Main St Franklin, MA c/o Nabil K. Nakhoul.

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

[Signature]
Signature of Applicant

Limei Qiu
Print name of Applicant

[Signature]
Signature of Owner

NABIL NAKHOUL / NJN LLC
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1-4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

Bamboo House

grecco
design co

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: LUCA SIGNS
Contact Person: HUNG LE
Address 1286 DORCHESTER AVE, DORCHESTER, MA 02122
Telephone Number: 617-834-9311

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: SIGN 18" x 59"

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

FORM Q

**TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW**

A) General Information

Name of Business or Project: Engine Yard

Property Address 40 Alpine Row

Assessors' Map # 279 Parcel # 181

Zoning District (select applicable zone): Downtown Commercial

Zoning History: Use Variance N/A
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Walker Development & Construction Management, Inc.

Address: 5 Mount Royal Avenue
Marlborough MA 01752

Telephone Number: 978-443-3600

Contact Person: Jeffrey Walker

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Landscape Network LLC Property Owner: Same

Address: 99 Highland Street
Franklin MA

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

Signature of Applicant

Jeff Walker

Print name of Applicant

Signature of Owner

Michael Lang

Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 – 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: Signs by Cam

Contact Person: Cam Afonso

Address 837 Upper Union st Suite C-18

Telephone Number 508-364-2905

b. Architect/Engineer (when applicable)

Business Name: Joe the Architect LLC

Contact Person: Alberto Cabre

Address 343 Medford Street 4C, Somerville MA 02145

Telephone Number: 617-764-3593

E) Work Summary

Summary of work to be done: Street level commercial and 28 residential units above street level

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
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4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. _____
We fall within the height restrictions of the town’s height requirement.

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. Headers all align and aesthetically follow a new England style the works with Franklin’s down town

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. _____
Building mass favors the street front and provides privacy in the rear and promotes pedestrian walkability. It meets
The open space requirements of the town.

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. _____
Proposed roof type matches flat roof style of the downtown district.

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. _____
Designed to fit into the topography of the site and fits within the towns scale requirements.

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: _____
Proposed has the same or similar styles to the down town district

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. _____
The style is in keeping with the down town texture character and feel, We have included a reference to the past use as a engine yard.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. _____
Commercial and tenant signage to be designed to the town guidelines, The residential signage uis not lit only the commercial building has minimal lighting

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. There is no existing historical significance to this site, However the site in the 1800’s was a engine Yard. The proposed building will have character to the past use

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. The land scape and building envelope will be in compliance to the energy code and standards the fixtures will promote water conservation as well as the site drainage will maximize re charge to the site

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible. the parking is in the rear in keeping with the down town commercial district zoning and all the landscaping species match The best development practices and the design review guidelines. The planting design promotes a walkability to the down town as well as promotes the buildings aesthetics

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

ADDENDA

INSTRUCTIONS FOR COMPLETION OF FORM Q-DESIGN REVIEW APPLICATION

A. General Information

- Please list name of Business as it will appear on sign or name of project or development, as the case may be, as well as the property address
- Assessors' Map & Parcel numbers may be obtained from tax bill, Town website @ www.franklin.ma.us/Town/Assessors/PropertyTax or from the computer located outside the Assessor's Office, first floor, Municipal Building, 355 East Central Street.
- Zoning District and Zoning History information may be obtained at the Building Department, 1st floor, Municipal Building

B. Applicant Information – complete and include name of contact person w/ phone number

C. Owner Information – if business owner and property owner are not the same, please include information for both. If signage is within a shopping plaza—obtain letter of approval of sign changes from plaza owner.

Page 2 –

D. Architect/Engineer or Sign Company Information:

- Signs only – Name of Sign Company and Contact Person
- Developments & Projects – Engineer and Architect Information as well

E. Work Summary: Include brief summation of work to be

done Pages 3 & 4

F. Information & Materials to be Submitted w/Application

a) SIGNS ONLY –

- Nine (9) Copies of sign drawings and photos, which include information listed on Page 2 of the application

b) SITE PLAN APPLICATIONS FOR BUILDINGS/DEVELOPMENTS/PROJECTS.

- Nine (9) Copies of all plans including information listed on Page 2 of application.
- Please bring samples of siding and roofing materials and paint color samples to the meeting when scheduled.

DESIGN STANDARDS – For Buildings/Projects and Developments, please complete Pages 3 and 4 as they apply to your project.

ALL APPLICATIONS WITH NINE (9) COPIES OF SUPPLEMENTARY INFORMATION MUST BE FILED BY CLOSE OF BUSINESS ON WEDNESDAY PRIOR TO THE FOLLOWING TUESDAY MEETING. MEETINGS ARE GENERALLY TWICE A MONTH THE 2ND & 4TH TUESDAY OF THE MONTH.

FOR SIGN APPLICATIONS ONLY, YOU NEED ONLY COMPLETE PAGES 1 & 2 OF APPLICATION.

THE ENGINE YARD

WARNING:
 This document may not be secure, may be corrupted in transmission or due to software incompatibility and/or may be amended or altered by third parties after leaving Joe The Architect LLC's possession. Joe The Architect LLC is not responsible for and accepts no liability for such matters. Subject only to any conflicting provision within any prior binding agreement by Joe The Architect LLC (which agreement may also contain additional conditions relating to this document and its use):

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3. to the extent permitted by law, all conditions and warranties concerning this document or any use to which they may be put (whether as to quality, outcome, fitness, care, skill or otherwise) whether express or implied by statute, common law, equity, trade, custom or usage or otherwise are expressly excluded.
4. any person using or relying on document releases and indemnifies and will keep indemnified Joe The Architect LLC against all claims, liabilities, loss, costs and expenses arising directly or indirectly out of or in connection with such use or reliance including without limitation any misrepresentation, error or defect in this document.

Contractors to use Architectural drawings for set out.
 Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figured Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.



40 ALPINE ROW
 FRANKLIN, MA 02038

WALKER DEVELOPMENT

PROJECT NUMBER: 440

FOR ZONING
 DATE: 06/23/2021

INDEX OF DRAWINGS

Sheet Number	Sheet Name
A000	COVER SHEET
C-1.0	EXISTING CONDITIONS
C-2.0	LAYOUT & MATERIALS
C-3.0	GRADING & UTILITIES
C-3.1	EROSION CONTROL
C-4.0	TYPICAL DETAILS
C-4.1	TYPICAL DETAILS
LA-01	SITE LANDSCAPE PLAN
LA-02	SITE LANDSCAPE DETAILS
LA-03	SITE LANDSCAPE DETAILS
LA-04	SITE LANDSCAPE PLAN IMAGERY
AL001	SITE LIGHTING PHOTOMETRICS
A007	EXISTING SITE CONTEXT IMAGES
A031	EXISTING BUILDING ELEVATIONS
A200	EXTERNAL ELEVATIONS
A201	EXTERNAL ELEVATIONS
A202	EXTERNAL ELEVATIONS
A210	EXTERNAL SIGNAGE
A910	PROPOSED BUILDING RENDERINGS

J t A
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 www.joetheadarchitect.com

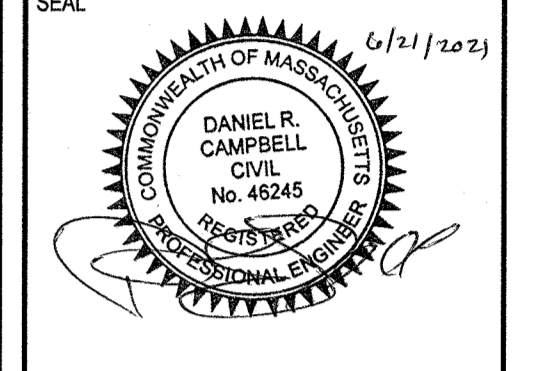
THE ENGINE YARD
 PROJECT NUMBER: 440
 DATE: 06/23/2021

EXISTING	PROPOSED
100 --- CONTOUR	--- 100 ---
D --- STORM DRAIN	--- D ---
W --- WATER	--- W ---
EM --- ELECTRIC MANHOLE	--- EM ---
E --- ELECTRICAL	--- E ---
G --- GAS	--- G ---
S --- SANITARY SEWER	--- S ---
H --- HYDRANT	--- H ---
SM --- SEWER MANHOLE	--- SM ---
DM --- DRAIN MANHOLE	--- DM ---
V --- VALVE	--- V ---
CB --- CATCH BASIN	--- CB ---
--- CURB	--- CURB ---
429.5 SPOT GRADE	429.5 --- SPOT GRADE ---
HP --- HP RAMP	HP --- HP RAMP ---
SCB --- SEDIMENTATION CONTROL BARRIER	SCB --- SEDIMENTATION CONTROL BARRIER ---
☆ --- LIGHT POLE	☆ --- LIGHT POLE ---
○ --- TREE	○ --- TREE ---
○ --- UTILITY POLE	○ --- UTILITY POLE ---
--- PV --- POST INDICATOR VALVE	--- PV --- POST INDICATOR VALVE ---
--- TRAFFIC DIRECTION	--- TRAFFIC DIRECTION ---

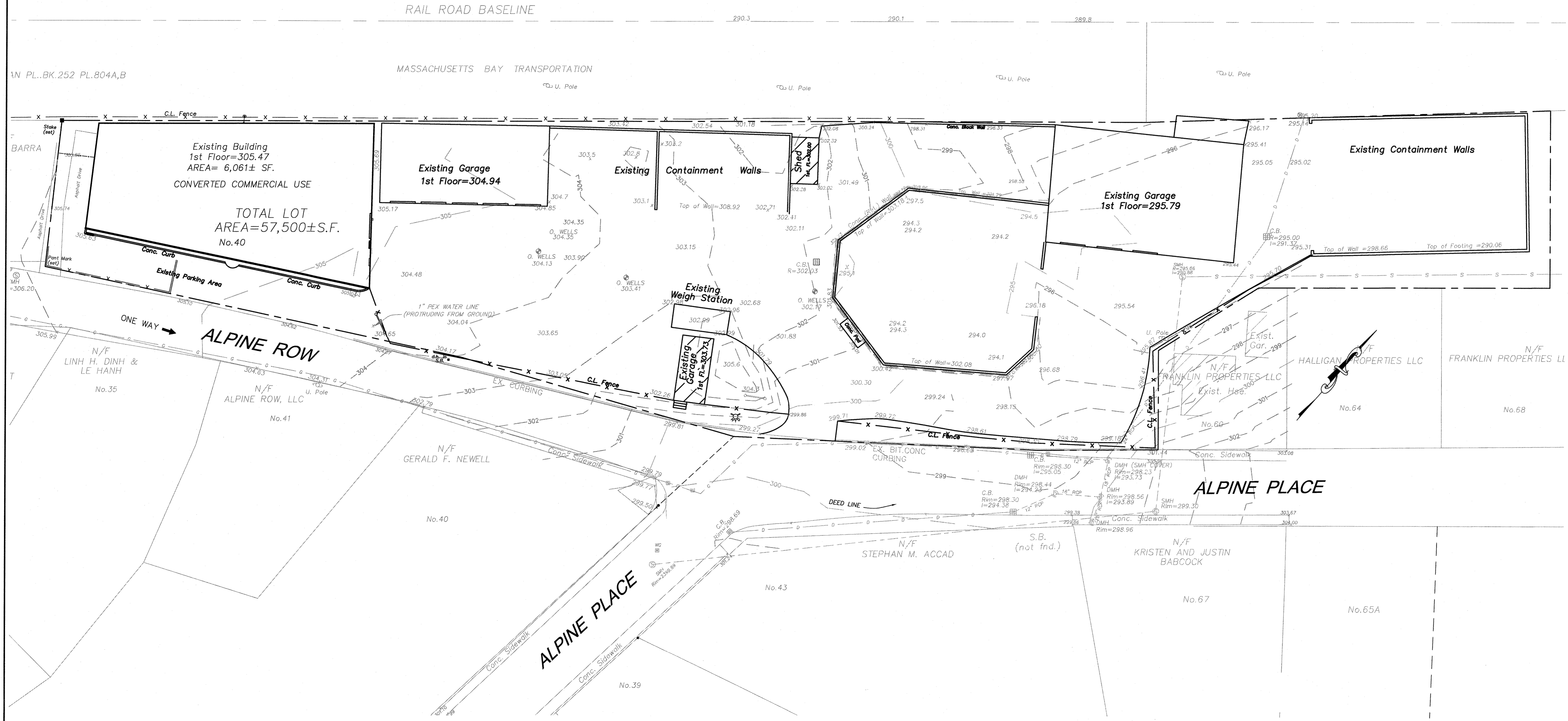
NOTES:

- EXISTING CONDITIONS WERE OBTAINED FROM PLANS PREPARED BY GUERRIERE & HALNON, INC. FRANKLIN, MA, ENTITLED "SITE PLAN AND SPECIAL PERMIT, AS-BUILT BREWING, 40 ALPINE ROW, FRANKLIN, MASSACHUSETTS" DATED MAY 6, 2019, AS AMENDED JULY 12, 2019. LDG UTILIZED TOWN GIS AND PERFORMED LIMITED INSTRUMENT SURVEY ON THE DRAIN SYSTEM IN ALPINE PRIOR TO CROSSING THE PROPERTY. THE EXISTING CB'S WE UTILIZED AS A "KNOWN" FOR PURPOSES OF THIS INVESTIGATION.
- THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.

NO	DATE	REVISIONS
1	06/21/2021	PERMIT SUBMISSION



DATE: JUNE 21, 2021
 DRAWN: DRC
 SCALE: 1" = 20'



THE ENGINE YARD
 COMMERCIAL/RESIDENTIAL REUSE
 PARCEL ID 279-181-000-000
 40 ALPINE ROW
 FRANKLIN, MASSACHUSETTS

LEVEL
 DESIGN GROUP
 CIVIL ENGINEERING / LAND SURVEYING
 249 SOUTH STREET
 UNIT 1
 PLAINVILLE, MA 02762
 TEL. (508) 695-2221 FAX. (508) 695-2219

EXISTING CONDITIONS

C-1.0
 SHEET 2 OF 7

1880.00

LEGEND	
EXISTING	PROPOSED
100	100
CONTOUR	
STORM DRAIN	
WATER	
ELECTRIC MANHOLE	
ELECTRICAL	
GAS	
SANITARY SEWER	
HYDRANT	
SEWER MANHOLE	
DRAIN MANHOLE	
VALVE	
CATCH BASIN	
CURB	
SPOT GRADE	
HP RAMP	
SEMENTATION CONTROL BARRIER	
LIGHT POLE	
TREE	
UTILITY POLE	
POST INDICATOR VALVE	
TRAFFIC DIRECTION	

ZONING BY-LAW REQUIREMENTS			
ZONING DISTRICT: DOWNTOWN COMMERCIAL			
USE: COMMERCIAL/OFFICE / RETAIL / MULTI-FAMILY HOUSING			
	REQUIRED	PROPOSED	
MIN. LOT AREA	5,000	57,500	
MIN. LOT FRONTAGE	50'	332.88'	
FRONT YARD SETBACK	5'	5'	
SIDE YARD SETBACK	0'	XXX	
REAR YARD SETBACK	15'	XXX	
% OF LOT UPLAND COVERAGE			
STRUCTURES	80%	XXX	
STRUCTURES & PAVEMENT	90%	XXX	
PARKING REQUIREMENTS			
USE: MULTI-FAMILY (18 UNITS)	REQUIRED	PROVIDED	
1.5 SPACES / UNIT	27		
USE: COMMERCIAL (6,061± S.F.)	12.12		
1 SPACE / 500 S.F.			
USE: COMMERCIAL (1,500± S.F.)	3		
1 SPACE / 500 S.F.			
REGULAR SPACES		71	
HANDICAP SPACES	3	3	
TOTAL SPACES	46	74	

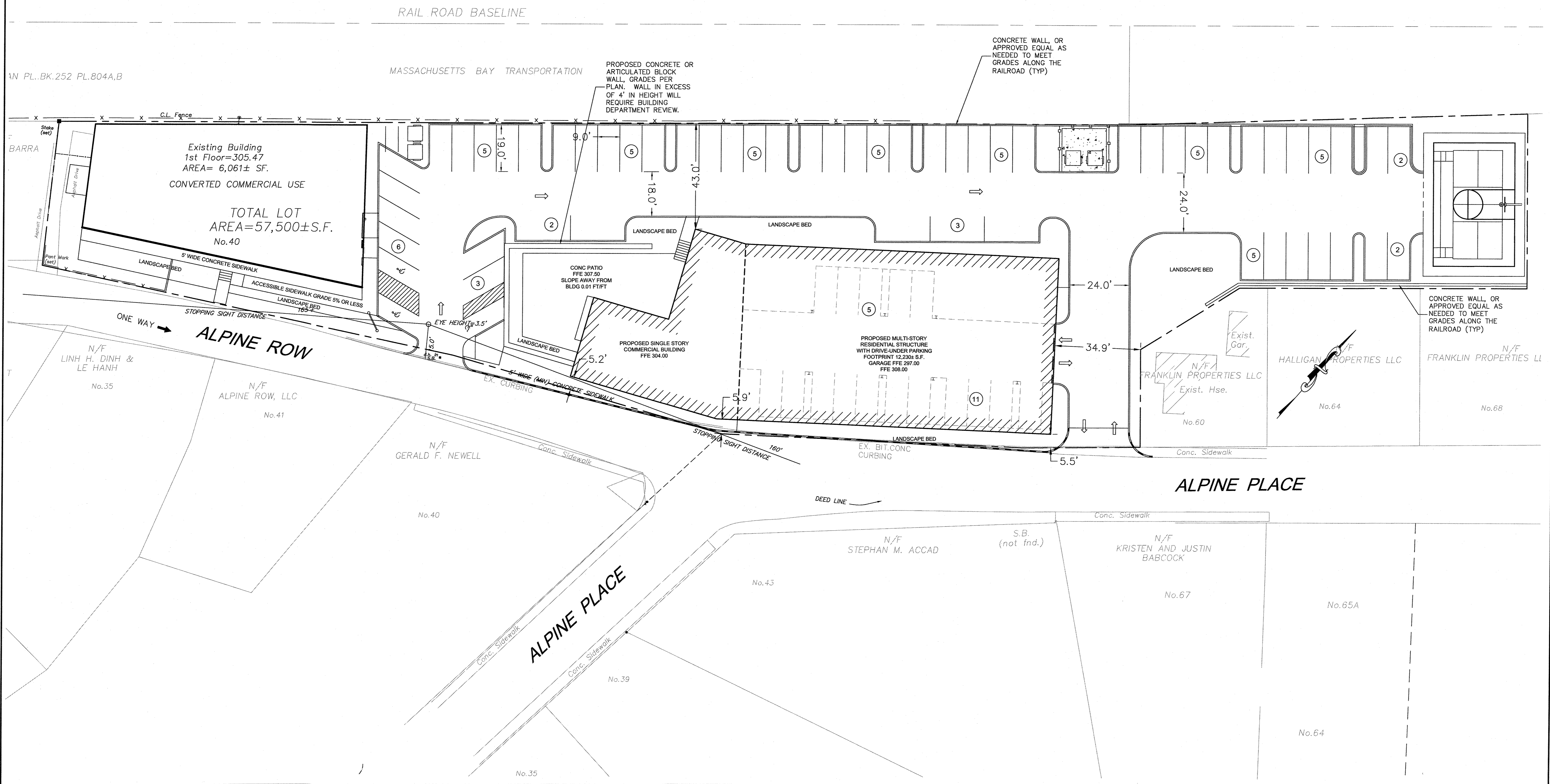
** MINIMUM FIVE-FT SETBACK ON FIRST FLOOR/STREET LEVEL. UPPER FLOORS CAN OVERHANG REQUIRED FIRST FLOOR SETBACK.
*** INCREASE TO 20' WHEN ADJACENT A RESIDENTIAL DISTRICT.

- NOTES:
- EXISTING CONDITIONS WERE OBTAINED FROM PLANS PREPARED BY GUERRIERE & HALNON, INC. FRANKLIN, MA, ENTITLED "SITE PLAN AND SPECIAL PERMIT, AS-BUILT BREWING, 40 ALPINE ROW, FRANKLIN, MASSACHUSETTS" DATED MAY 6, 2019, AS AMENDED JULY 12, 2019. LDG UTILIZED TOWN GIS AND PERFORMED LIMITED INSTRUMENT SURVEY ON THE DRAIN SYSTEM IN ALPINE PRIOR TO CROSSING THE PROPERTY. THE EXISTING CB'S WE UTILIZED AS A "KNOWN" FOR PURPOSES OF THIS INVESTIGATION.
 - THIS SITE IS NOT WITHIN THE WATER RESOURCE DISTRICT.
 - A PRE-CONSTRUCTION MEETING WITH THE DPW IS REQUIRED.
 - ALL STRIPING AND SIGNAGE SHALL CONFORM TO THE MUTCD.
 - THE ARCHITECT OR THEIR ASSIGNS WILL PROVIDE PLANS AND CALCULATIONS FOR THE PROPOSED FIRE PROTECTION.

NO.	DATE	REVISIONS
1	06/21/2021	PERMIT SUBMISSION

SEAL

DATE: JUNE 21, 2021
DRAWN: DRC
SCALE: 1" = 20'



THE ENGINE YARD
COMMERCIAL/RESIDENTIAL REUSE
PARCEL ID 279-181-000-000
40 ALPINE ROW
FRANKLIN, MASSACHUSETTS

LEVEL
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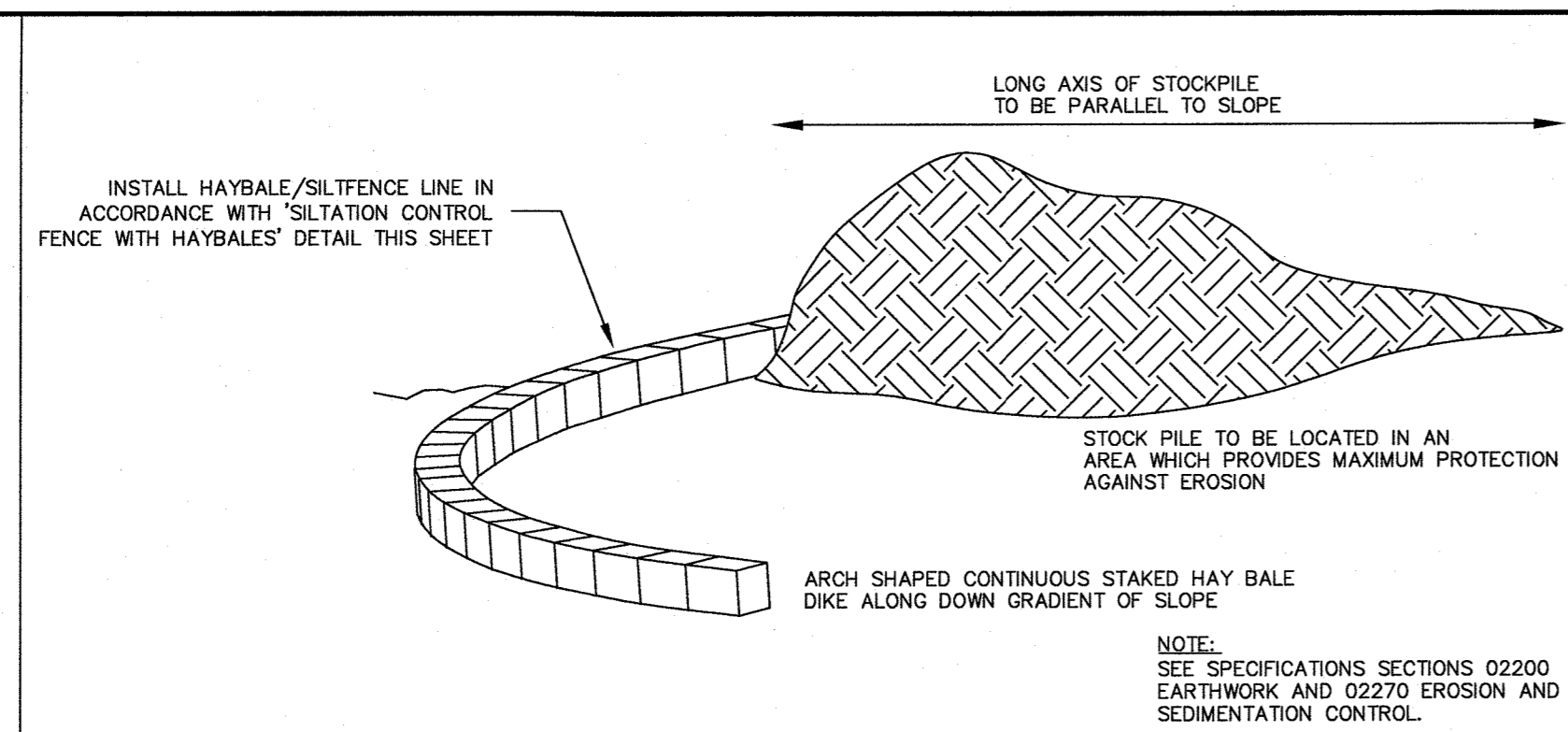
LAYOUT & MATERIALS

C-2.0
SHEET 3 OF 7

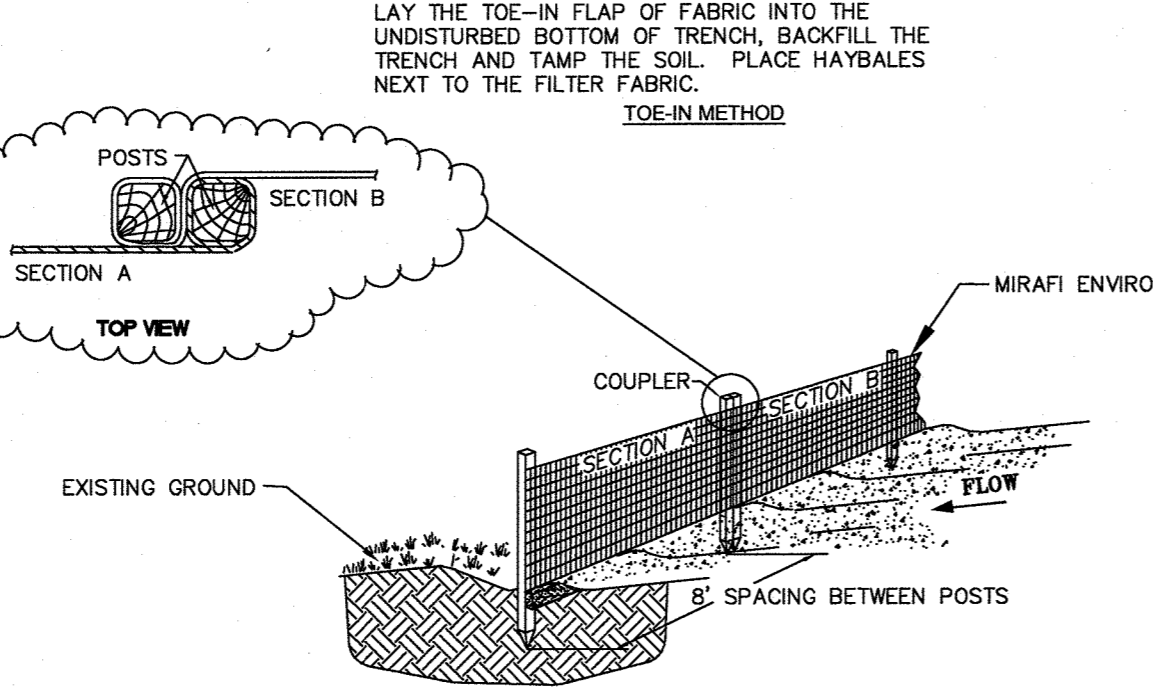
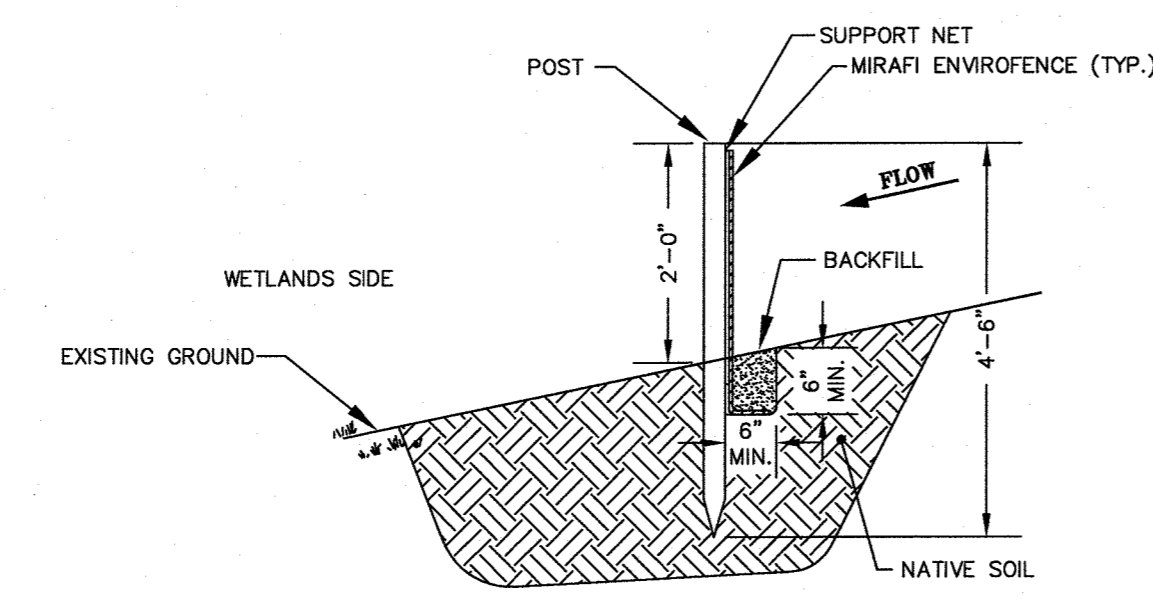
0' 10' 20' 40'

1880.00

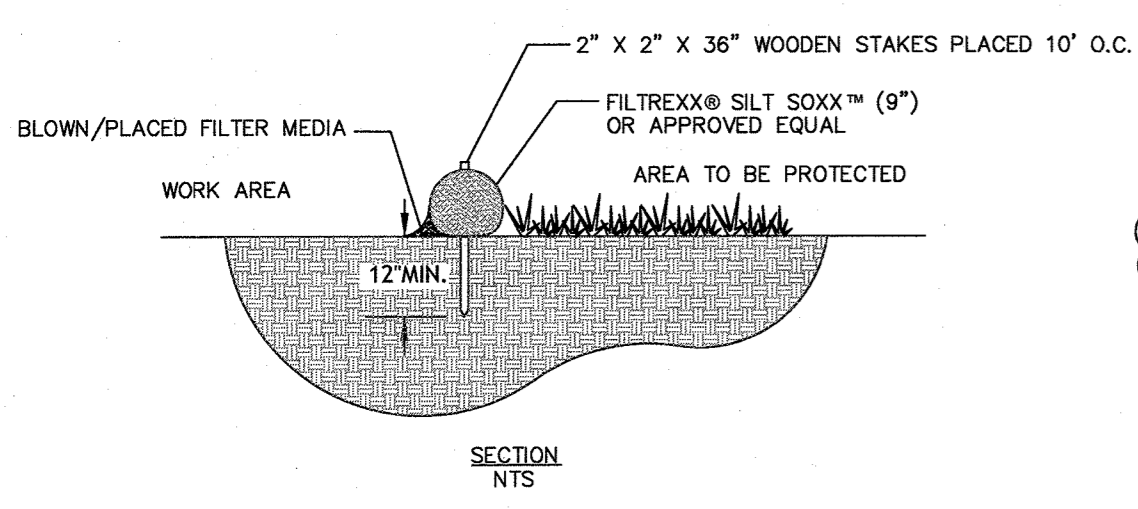
LEGEND	
EXISTING	PROPOSED
—100—	—100—
—D—	—D—
—W—	—W—
⊙	⊙
—E—	—E—
—G—	—G—
—S—	—S—
—H—	—H—
⊙	⊙
⊙	⊙
—V—	—V—
—C—	—C—
—429x5	—429x5
—HP	—HP
—S	—S
—L	—L
—T	—T
—U	—U
—P	—P
—D	—D



TEMPORARY MATERIAL STOCKPILE
NOT TO SCALE



SILTATION CONTROL FENCE
NOT TO SCALE



FILTREXX SILT SOXX
NOT TO SCALE

GENERAL NOTES:

- REFER TO SHEET C-1.0 FOR EXISTING CONDITIONS AND PROPERTY BOUNDARY NOTES.
- REFER TO SHEET C-2.0 FOR CONSTRUCTION SEQUENCE AND NOTES.

EROSION CONTROL NOTES

SILTATION CONTROL USING EROSION CONTROL FENCE WITH STRAW WATTLE, OR APPROVED EQUAL
EROSION CONTROL LINE IS TO BE VISUALLY INSPECTED AFTER EVERY RAIN FALL AND REPAIRS MADE AS REQUIRED TO THE SILTATION CONTROL FENCE AND STRAW WATTLE AFTER EACH RAIN FALL. CLEANOUT OF ACCUMULATED SEDIMENT BEHIND THE WATTLE IS NECESSARY IF 1/2 OF THE ORIGINAL HEIGHT OF THE WATTLE APPEARS TO HAVE BEEN INUNDATED WITH SEDIMENT.

PRESERVE TOPSOIL

SITE OWNERS AND OPERATORS MUST PRESERVE EXISTING TOPSOIL ON THE CONSTRUCTION SITE TO THE MAXIMUM EXTENT FEASIBLE AND AS NECESSARY TO SUPPORT HEALTHY VEGETATION, PROMOTE SOIL STABILIZATION, AND INCREASE STORMWATER INFILTRATION RATES IN THE POST-CONSTRUCTION PHASE OF THE PROJECT.

STABILIZATION OF SOILS

UPON COMPLETION AND ACCEPTANCE OF SITE PREPARATION AND INITIAL INSTALLATION OF EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES, THE OPERATOR SHALL INITIATE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION PRACTICES DURING ALL PHASES OF CONSTRUCTION ON ALL DISTURBED AREAS AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED. SLOPES IN EXCESS OF 3:1 SHALL HAVE 22 MONTH EROSION CONTROL FABRIC INSTALLED OVER A SLOPE MIX SEED MIX WITH TACKIFIER UNLESS OTHERWISE SPECIFIED.

ANY DISTURBED AREAS THAT WILL NOT HAVE ACTIVE CONSTRUCTION ACTIVITY OCCURRING WITHIN 14 DAYS MUST BE STABILIZED USING THE CONTROL MEASURES DEPICTED IN SITE PLANS, IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, AND PER MANUFACTURER PRODUCT SPECIFICATIONS.

ONLY AREAS THAT CAN BE REASONABLY EXPECTED TO HAVE ACTIVE CONSTRUCTION WORK BEING PERFORMED WITHIN 14 DAYS OF DISTURBANCE WILL BE CLEARED/GRUBBED AT ANY ONE TIME. IT IS NOT ACCEPTABLE TO CLEAR AND GRUB THE ENTIRE CONSTRUCTION SITE IF PORTIONS WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME. PROPER PHASING OF CLEARING AND GRUBBING ACTIVITIES SHALL INCLUDE TEMPORARY STABILIZATION TECHNIQUES FOR AREAS CLEARED AND GRUBBED THAT WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME.

STORMWATER INLET PROTECTION

INLET PROTECTION — WILL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM ENTERING STORM DRAIN INLETS AND SHALL BE INSTALLED WITHIN BASINS DOWNSTREAM OF DISTURBANCE WITHIN 200' OF THE PROPOSED DISTURBANCE. THESE MEASURES ARE USUALLY TEMPORARY AND ARE IMPLEMENTED BEFORE A SITE IS DISTURBED.

MAINTENANCE — THE OPERATOR MUST CLEAN, OR REMOVE AND REPLACE THE INLET PROTECTION MEASURES AS SEDIMENT ACCUMULATES, THE FILTER BECOMES CLOGGED, AND/OR AS PERFORMANCE IS COMPROMISED. ACCUMULATED SEDIMENT ADJACENT TO THE INLET PROTECTION MEASURES SHOULD BE REMOVED BY THE END OF THE SAME WORK DAY IN WHICH IT IS FOUND OR BY THE END OF THE FOLLOWING WORK DAY IF REMOVAL BY THE SAME WORK DAY IS NOT FEASIBLE.

STORMWATER BASINS — ALL AREAS CONTAINING STORMWATER BASINS (ABOVE OR BELOW GROUND) SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. THESE AREAS ARE NOT TO BE USED FOR MATERIAL STOCKPILES OR FOR PARKING EQUIPMENT. SURFACE BASINS ARE TO BE ROUGH GRADED AND PROTECTED UNTIL STABILIZED AND BROUGHT ON-LINE FOR STORMWATER MANAGEMENT OF THE STABILIZED SITE.

CONSTRUCTION ENTRANCES

CONSTRUCTION ENTRANCES SHALL BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF SEDIMENT TRACKING OFF THE PROJECT. ANY CONSTRUCTION SITE ACCESS POINT MUST EMPLOY THE CONTROL MEASURES ON THE APPROVED SITE PLANS AND IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN. CONSTRUCTION ENTRANCES SHALL BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES. ALL CONSTRUCTION ACCESS ROADS SHALL BE CONSTRUCTED PRIOR TO ANY ROADWAY ACCEPTING CONSTRUCTION TRAFFIC.

THE SITE OWNER AND OPERATOR MUST RESTRICT VEHICLE USE TO PROPERLY DESIGNATED EXIT POINTS. USE PROPERLY DESIGNED AND CONSTRUCTED CONSTRUCTION ENTRANCES AT ALL POINTS THAT EXIT ONTO PAVED ROADS SO THAT SEDIMENT REMOVAL OCCURS PRIOR TO VEHICLE EXIT. WHEN AND WHERE NECESSARY, USE ADDITIONAL CONTROLS TO REMOVE SEDIMENT FROM VEHICLE TIRES PRIOR TO EXIT (I.E. WHEEL WASHING RACKS, RUMBLE STRIPS, AND RATTLE PLATES). WHERE SEDIMENT HAS BEEN TRACKED OUT FROM THE CONSTRUCTION SITE ONTO THE SURFACE OF OFF-SITE STREETS, OTHER PAVED AREAS, AND SIDEWALKS, THE DEPOSITED SEDIMENT MUST BE REMOVED BY THE END OF THE SAME WORK DAY IN WHICH THE TRACK OUT OCCURS. TRACK-OUT MUST BE REMOVED BY SWEEPING, SHOVELING, OR VACUUMING THESE SURFACES, OR BY USING OTHER SIMILARLY EFFECTIVE MEANS OF SEDIMENT REMOVAL.

STOCKPILE CONTAINMENT

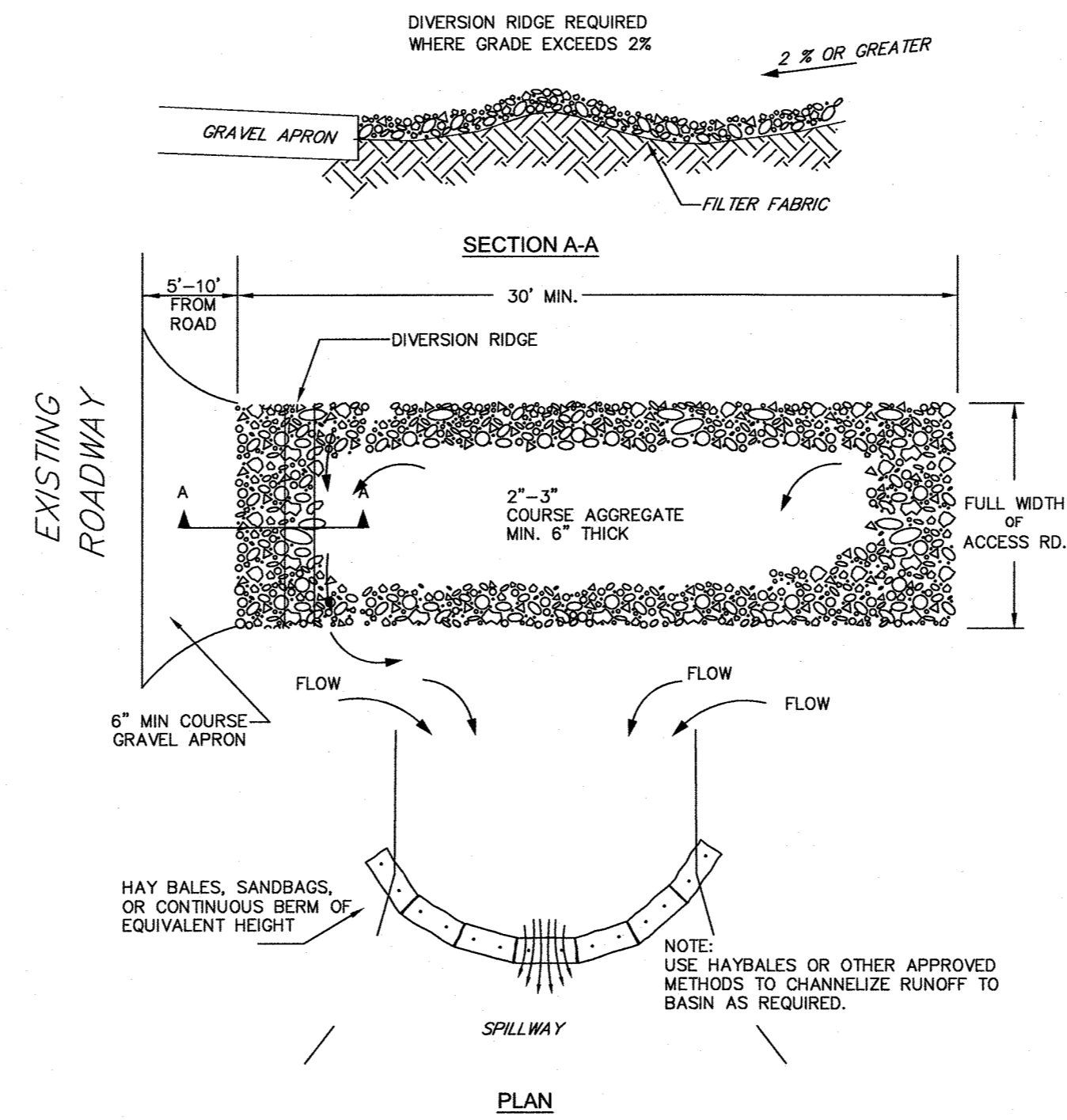
SHALL BE USED ONSITE TO MINIMIZE OR ELIMINATE THE DISCHARGE OF SOIL, TOPSOIL, BASE MATERIAL OR RUBBLE, FROM ENTERING DRAINAGE SYSTEMS OR SURFACE WATERS. ALL STOCKPILES MUST BE LOCATED WITHIN THE LIMIT OF DISTURBANCE, PROTECTED FROM RUN-ON WITH THE USE OF TEMPORARY SEDIMENT BARRIERS AND PROVIDED WITH COVER OR STABILIZATION TO AVOID CONTACT WITH PRECIPITATION AND WIND WHERE AND WHEN PRACTICAL. STOCK PILE MANAGEMENT CONSISTS OF PROCEDURES AND PRACTICES DESIGNED TO MINIMIZE OR ELIMINATE THE DISCHARGE OF STOCKPILED MATERIAL (SOIL, TOPSOIL, BASE MATERIAL, RUBBLE) FROM ENTERING DRAINAGE SYSTEMS OR SURFACE WATERS.

FOR ANY STOCKPILES OR LAND CLEARING DEBRIS COMPOSED, IN WHOLE OR IN PART, OF SEDIMENT OR SOIL, YOU MUST COMPLY WITH THE FOLLOWING REQUIREMENTS — LOCATE BILES WITHIN THE DESIGNATED LIMITS OF DISTURBANCE OUTSIDE OF THE 100-FOOT BUFFER ZONE, PROTECT FROM CONTACT WITH STORMWATER (INCLUDING RUN-ON) USING A TEMPORARY PERIMETER SEDIMENT BARRIER; WHERE PRACTICABLE, PROVIDE COVER OR APPROPRIATE TEMPORARY VEGETATIVE OR STRUCTURAL STABILIZATION TO AVOID DIRECT CONTACT WITH PRECIPITATION OR TO MINIMIZE SEDIMENT DISCHARGE; NEVER HOSE DOWN OR SWEEP SOIL OR SEDIMENT ACCUMULATED ON PAVEMENT OR OTHER IMPERVIOUS SURFACES INTO ANY STORMWATER CONVEYANCE, STORM DRAIN INLET, OR SURFACE WATER; TO THE MAXIMUM EXTENT PRACTICABLE, CONTAIN AND SECURELY PROTECT FROM WIND.

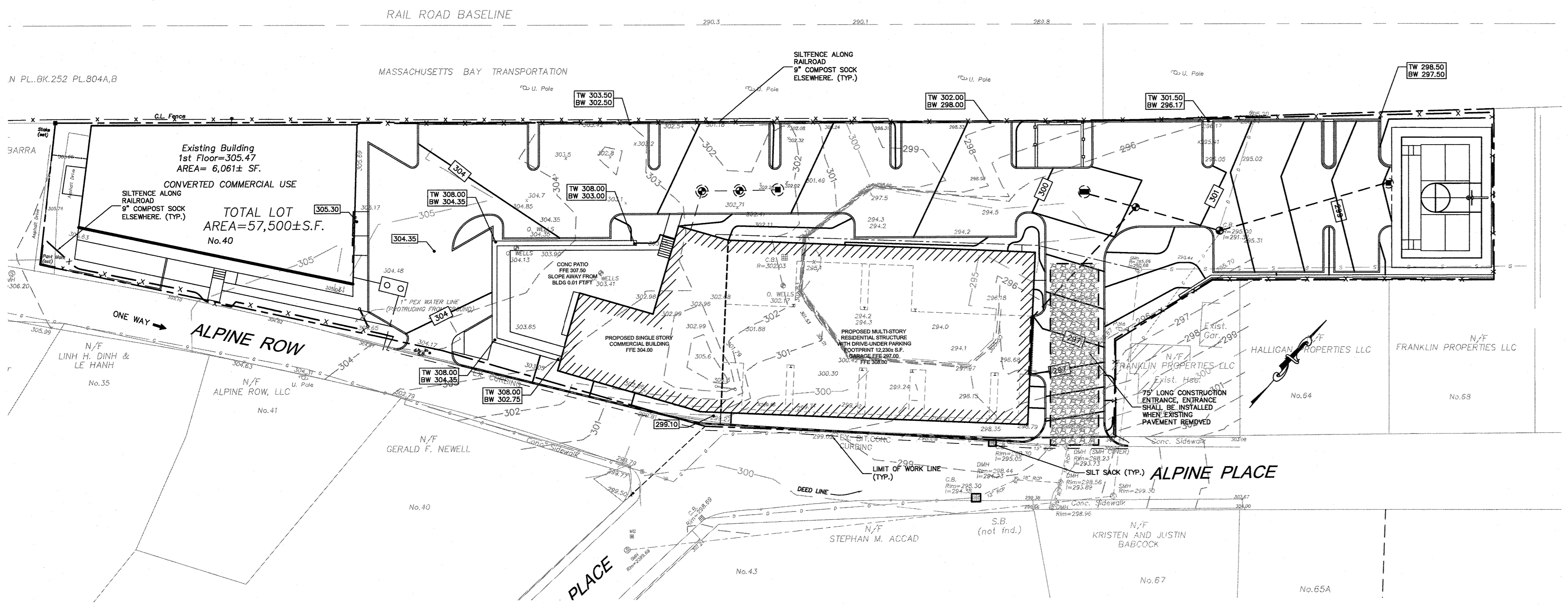
TEMPORARY SEDIMENT BASINS

IF REQUIRED, ADDITIONAL TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED TO MITIGATE THE POTENTIAL SEDIMENT LOADING TO THE ADJACENT RESOURCE AREAS. TEMPORARY SEDIMENT BASINS ARE TO BE LOCATED OUTSIDE OF THE 50-FOOT BUFFER ZONE TO THE BORDERING VEGETATED WETLANDS AND SHALL NOT BE LOCATED IN AN AREA WHERE AN INFILTRATION BASIN IS PROPOSED. TEMPORARY SEDIMENT BASIN GRADING LOCATION SHALL BE DICTATED BY THE DESIGN ENGINEER. AT A MINIMUM THE VOLUME OF THE TEMPORARY SEDIMENT BASIN, AS MEASURED FROM THE BOTTOM OF THE BASE TO THE ELEVATION OF THE CREST OF THE PRINCIPAL SPILLWAY SHALL BE AT LEAST 3,600 CUBIC FEET PER ACRE OF DRAINAGE AREA. THIS 3,600 CUBIC FEET IS EQUIVALENT TO 1.0 INCH OF SEDIMENT PER ACRE OF DRAINAGE AREA. ADDITIONAL STORAGE IN THE FORM OF A PERMANENT WET POOL SHALL BE PROVIDED WHENEVER PRACTICABLE, BUT MAY NOT BE USED TO FULFILL THE TEMPORARY STORAGE VOLUME REQUIREMENT.

SEDIMENT BASINS SHALL BE CLEANED OUT WHEN THE VOLUME REMAINING AS DESCRIBED ABOVE IS REDUCED BY SEDIMENTATION TO 1,800 CUBIC FEET PER ACRE OF DRAINAGE AREA (50 PERCENT FULL). IN NO CASE SHALL THE SEDIMENT LEVEL BE PERMITTED TO BUILD UP HIGHER THAN ONE FOOT ABOVE THE PRINCIPAL SPILLWAY CREST. AT THIS ELEVATION, CLEANOUT SHALL BE PERFORMED TO RESTORE THE ORIGINAL DESIGN VOLUME TO THE SEDIMENT BASIN. THE ELEVATION OF THE MAXIMUM ALLOWABLE SEDIMENT LEVEL SHALL BE DETERMINED AND SHALL BE STATED IN THE DESIGN DATA AS A DISTANCE BELOW THE TOP OF THE RISER AND BE CLEARLY MARKED ON THE RISER. **NO AREA OF DETENTION SHALL BE UTILIZED FOR TEMPORARY EROSION CONTROL OR DEWATERING ACTIVITIES.**

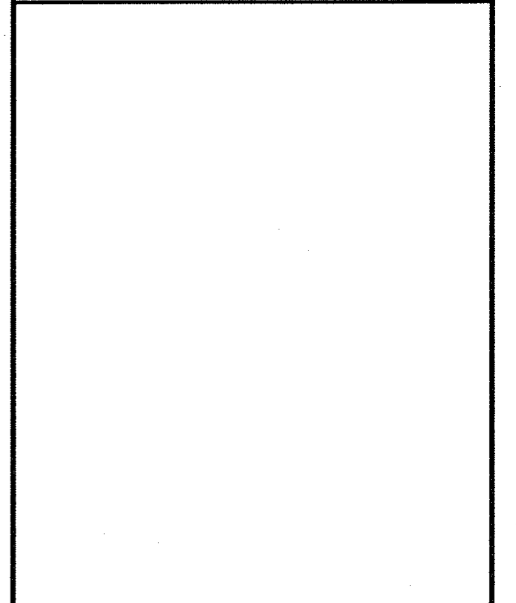


TEMPORARY CONSTRUCTION ENTRANCE/EXIT DETAIL
NOT TO SCALE



NO.	DATE	REVISIONS
1	06/21/2021	PERMIT SUBMISSION

DATE: JUNE 21, 2021
DRAWN: DRC
SCALE: 1" = 20'

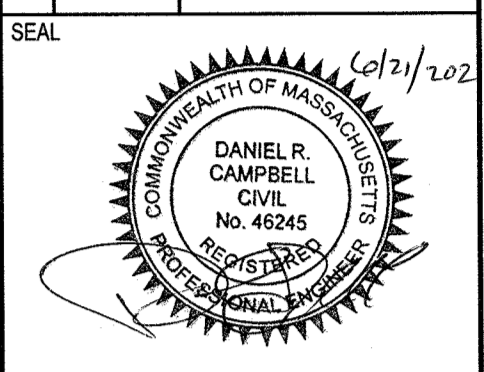


THE ENGINE YARD
COMMERCIAL/RESIDENTIAL REUSE
PARCEL ID 279-181-000-000
40 ALPINE ROW
FRANKLIN, MASSACHUSETTS

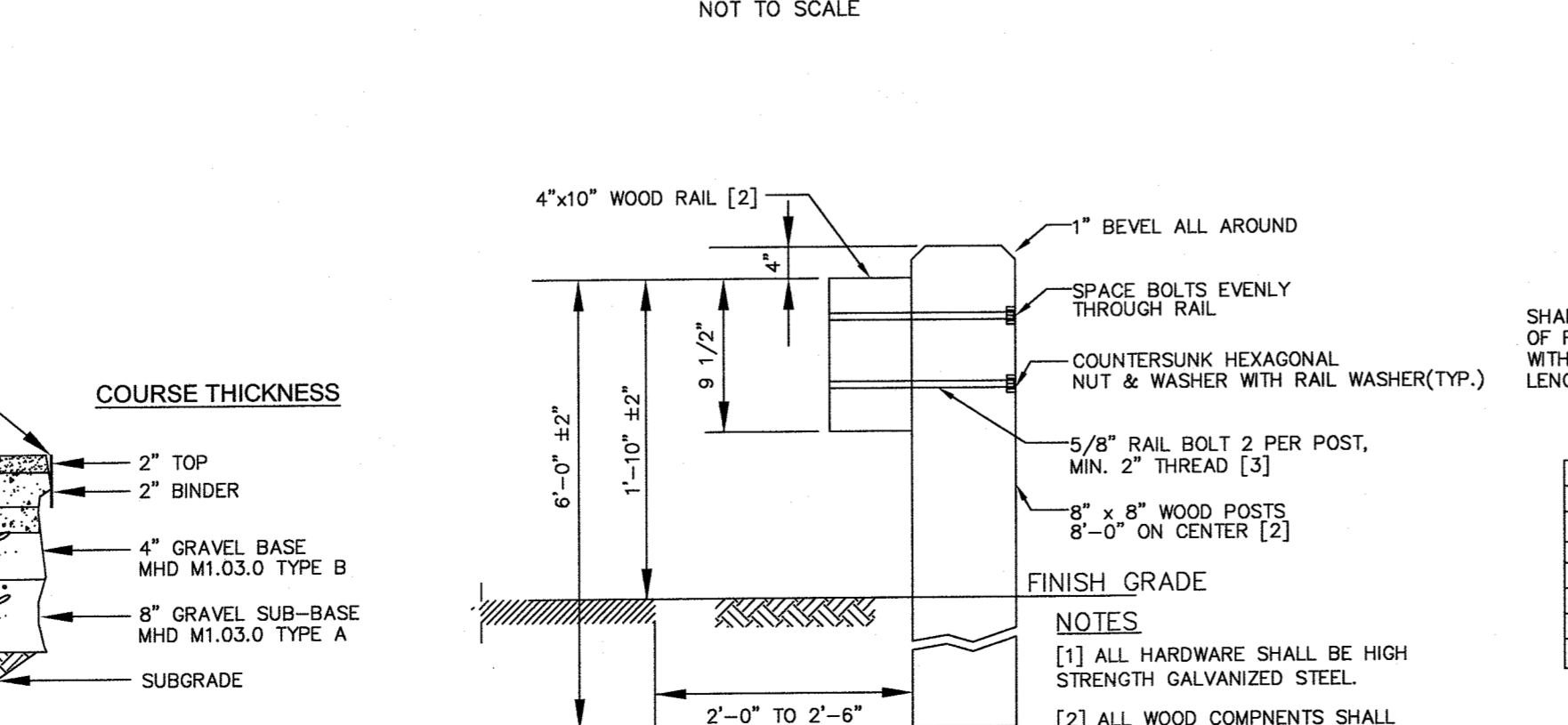
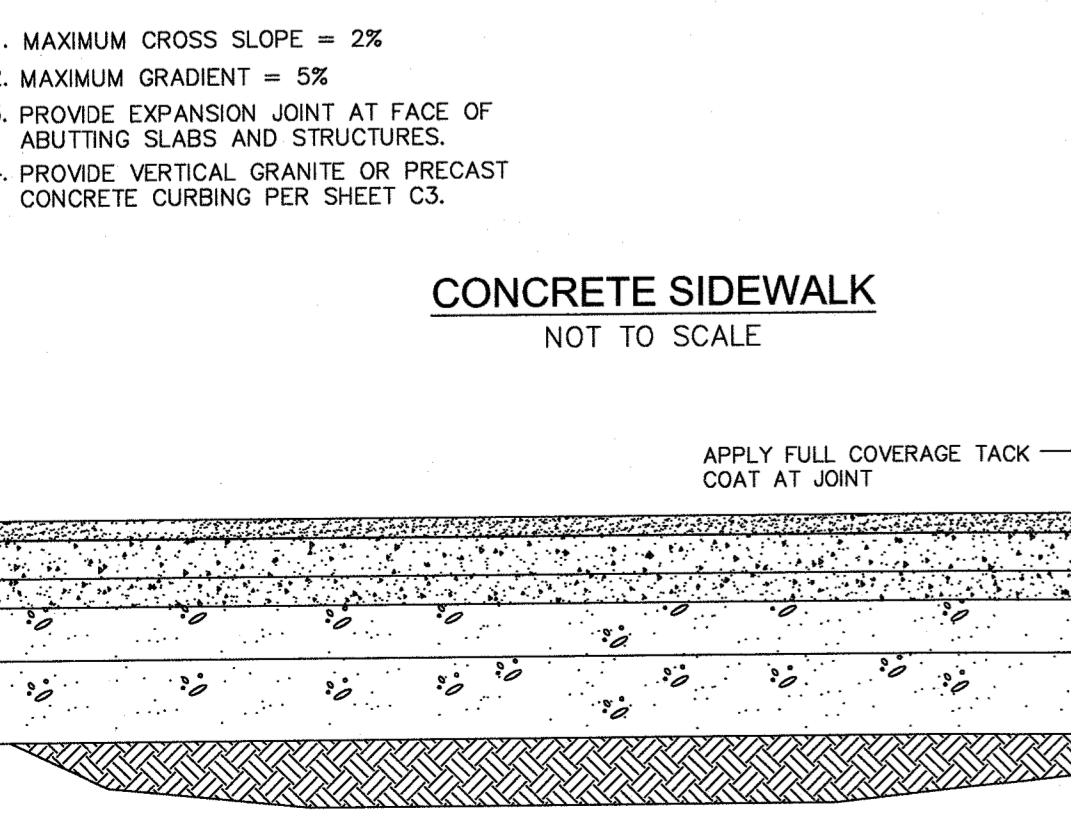
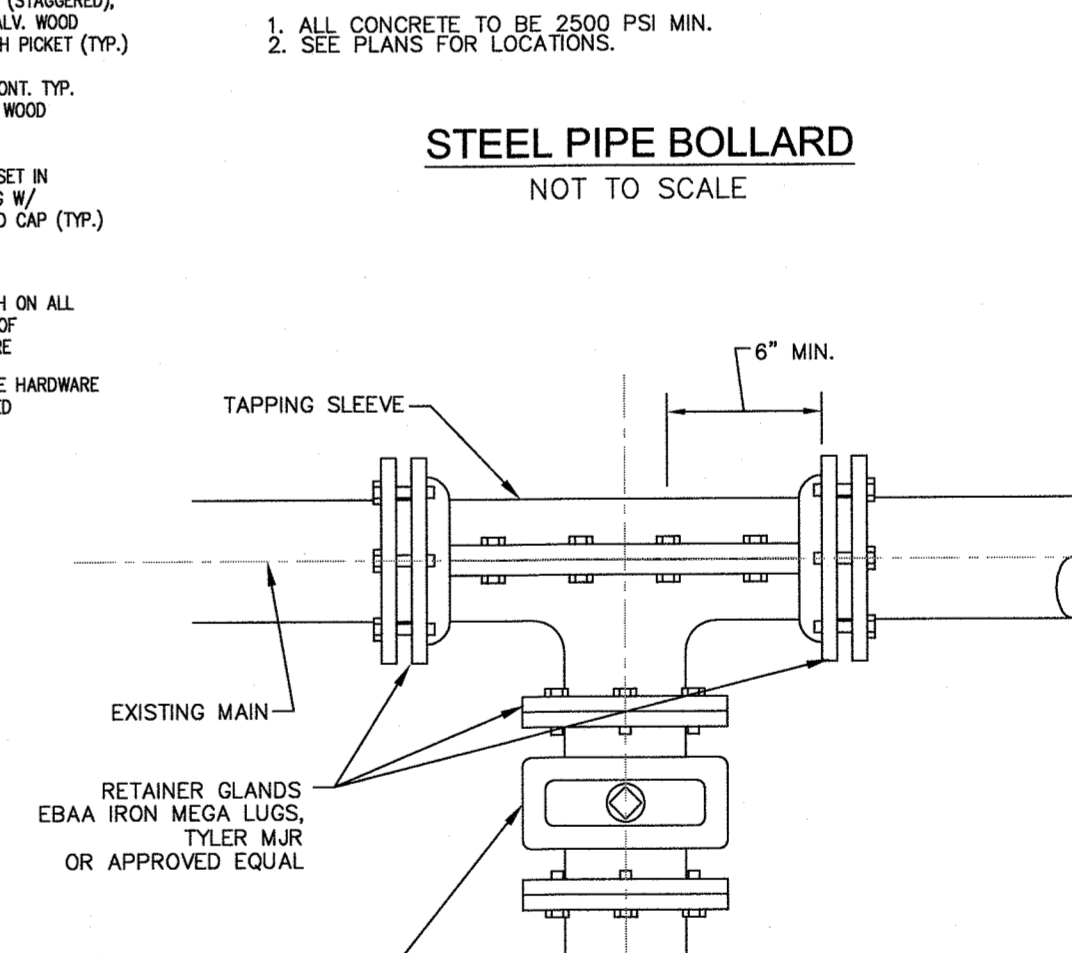
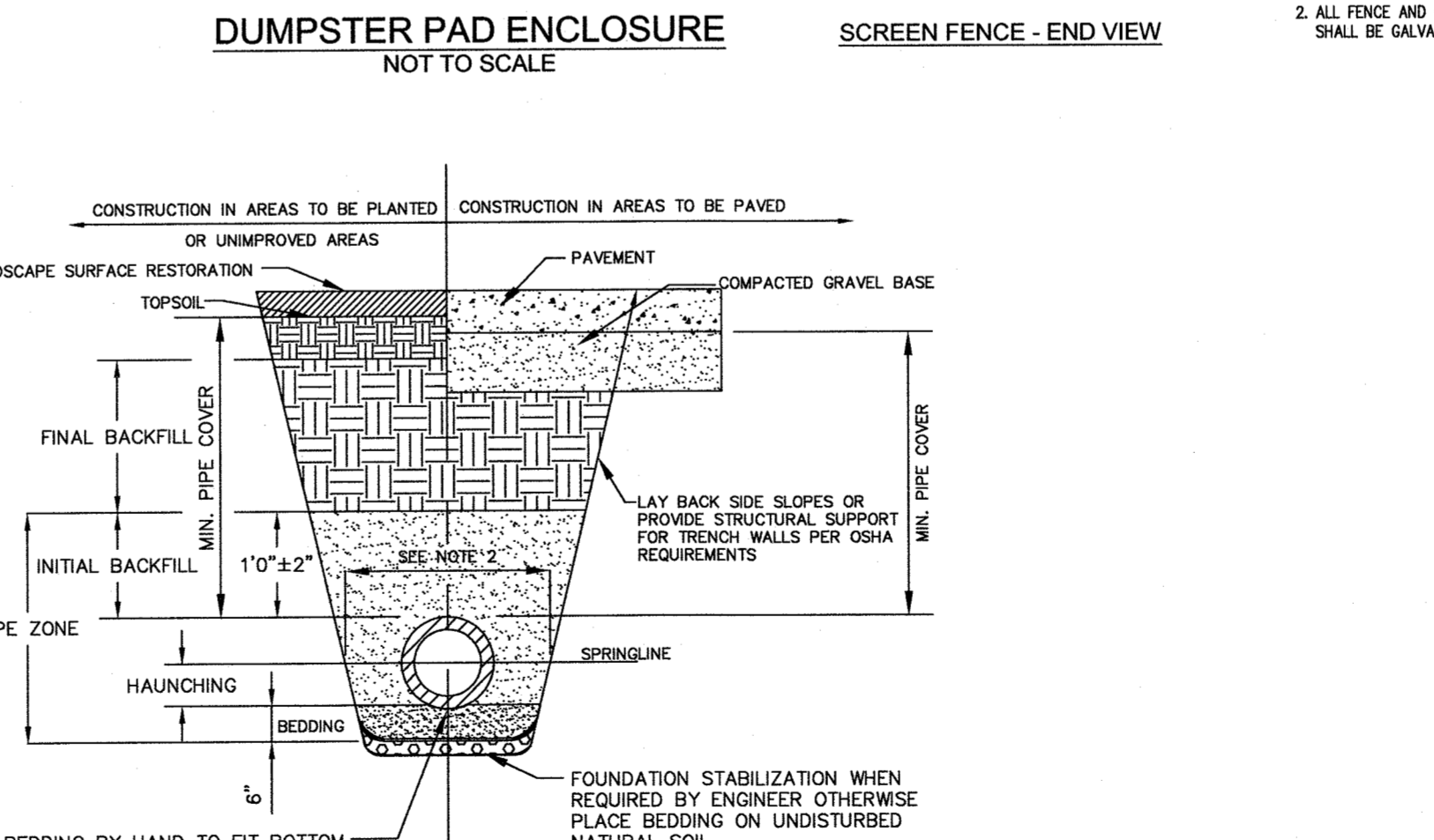
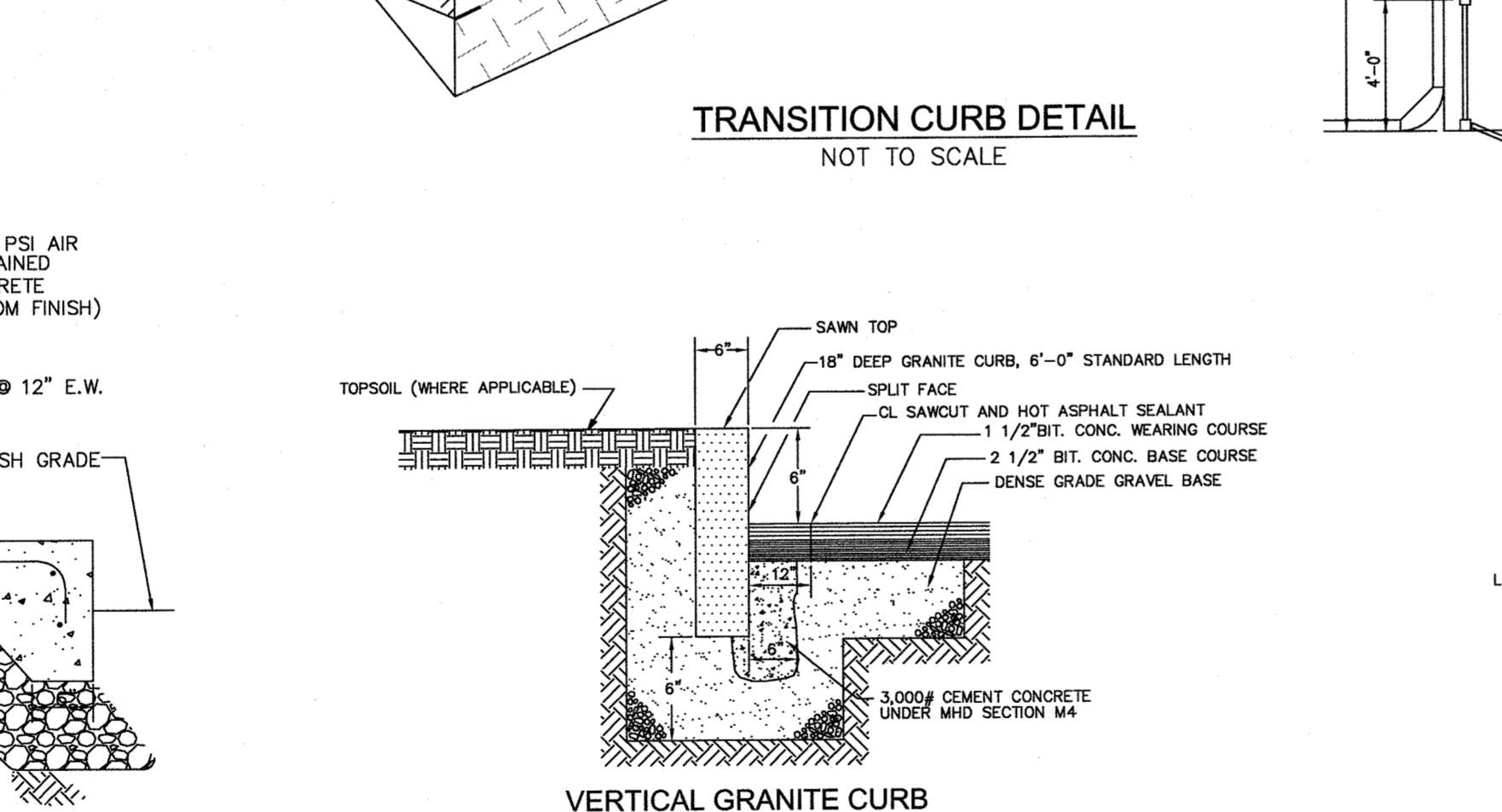
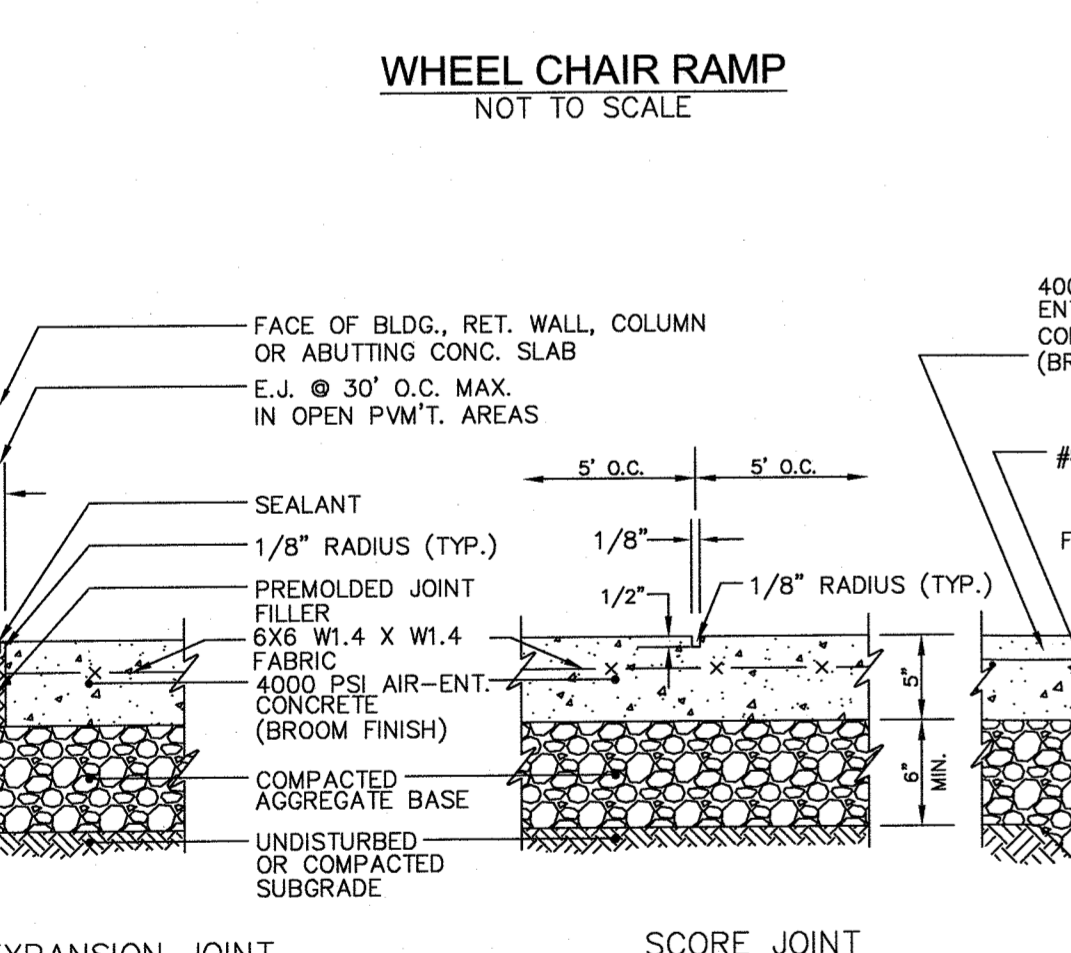
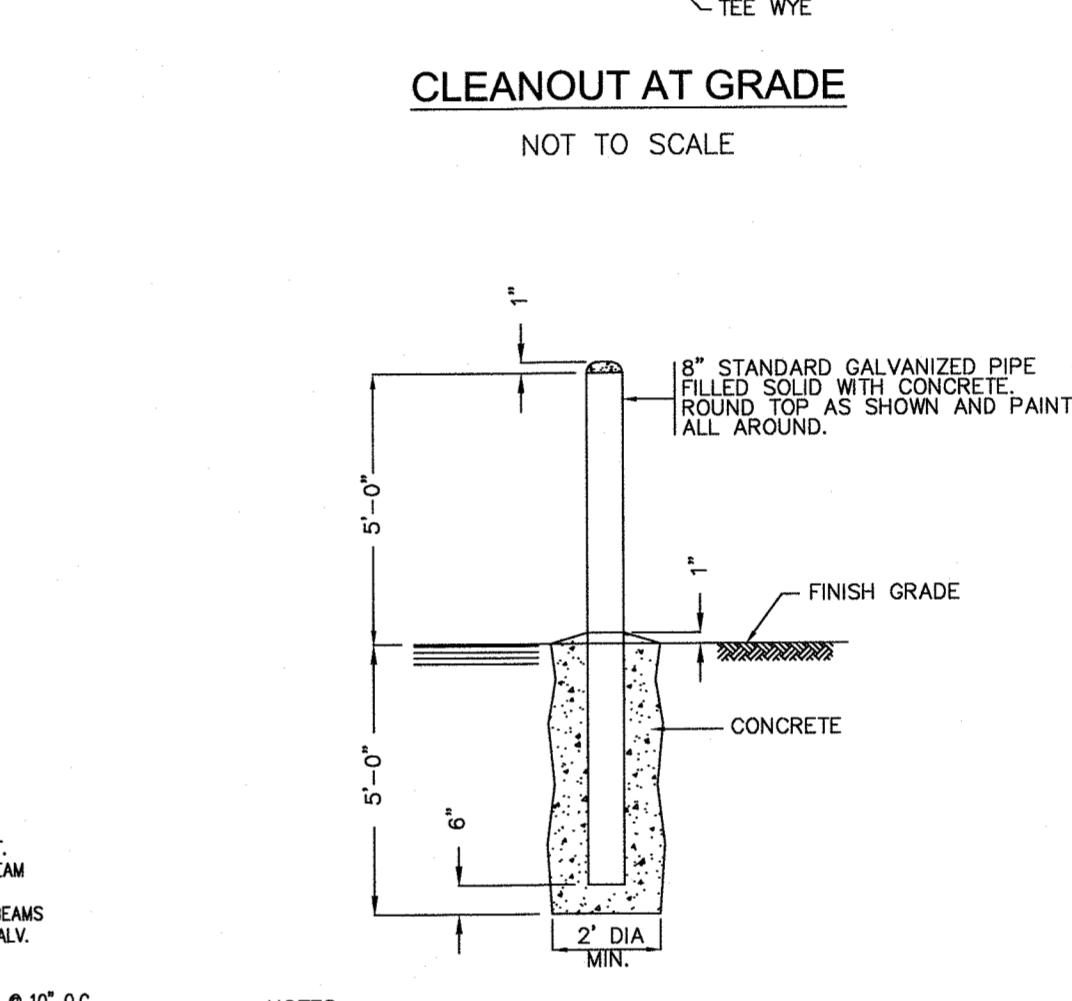
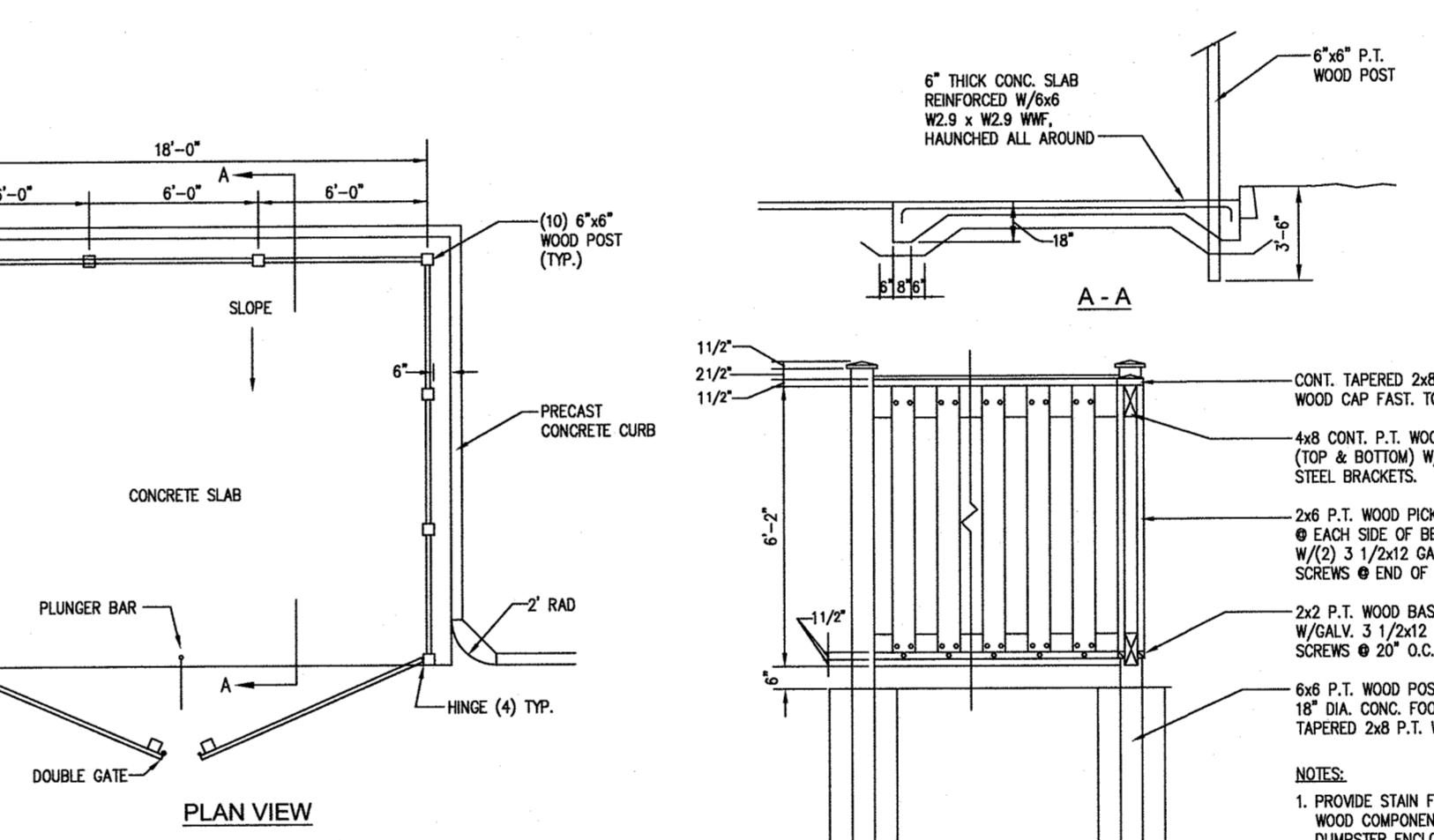
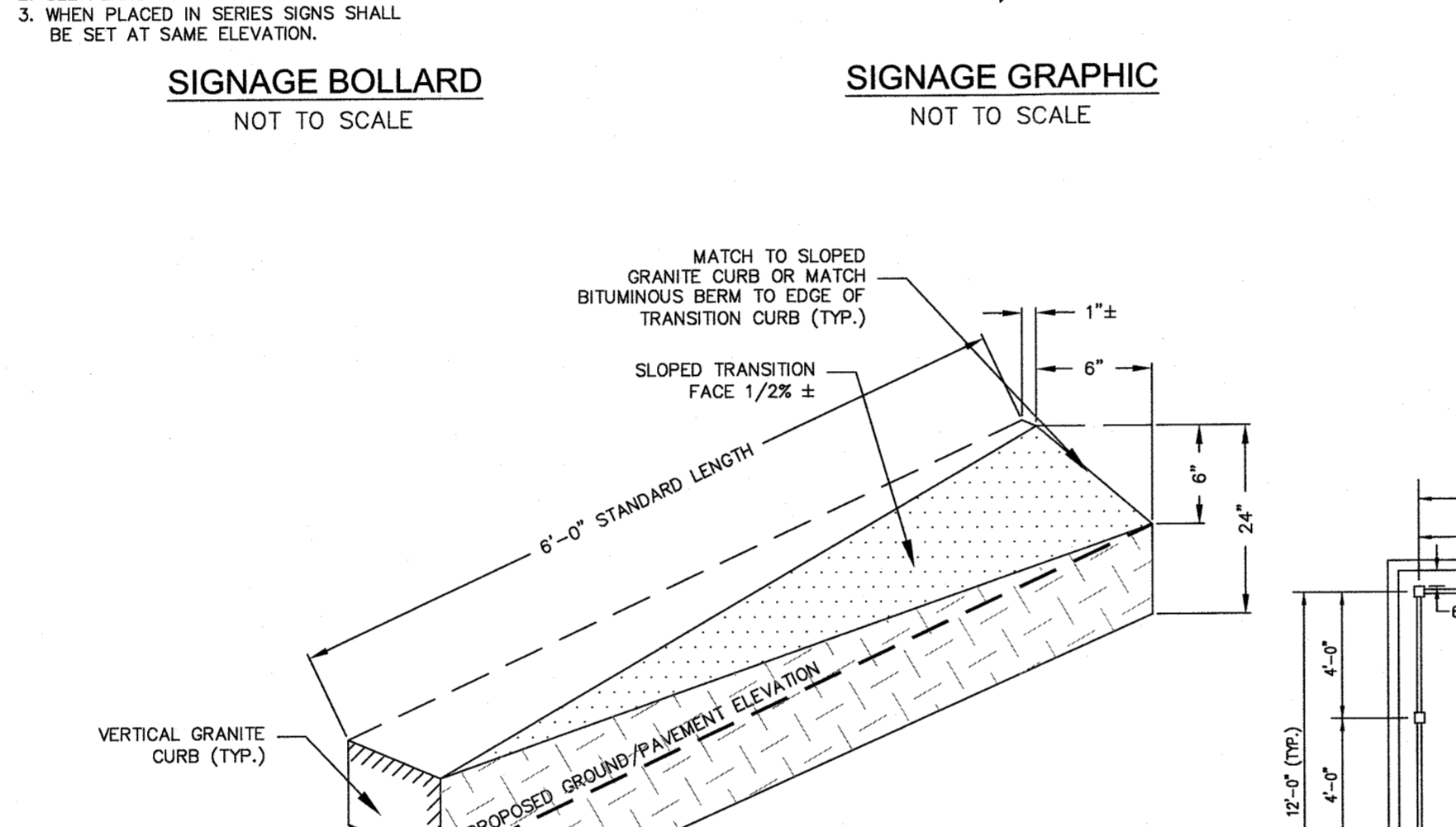
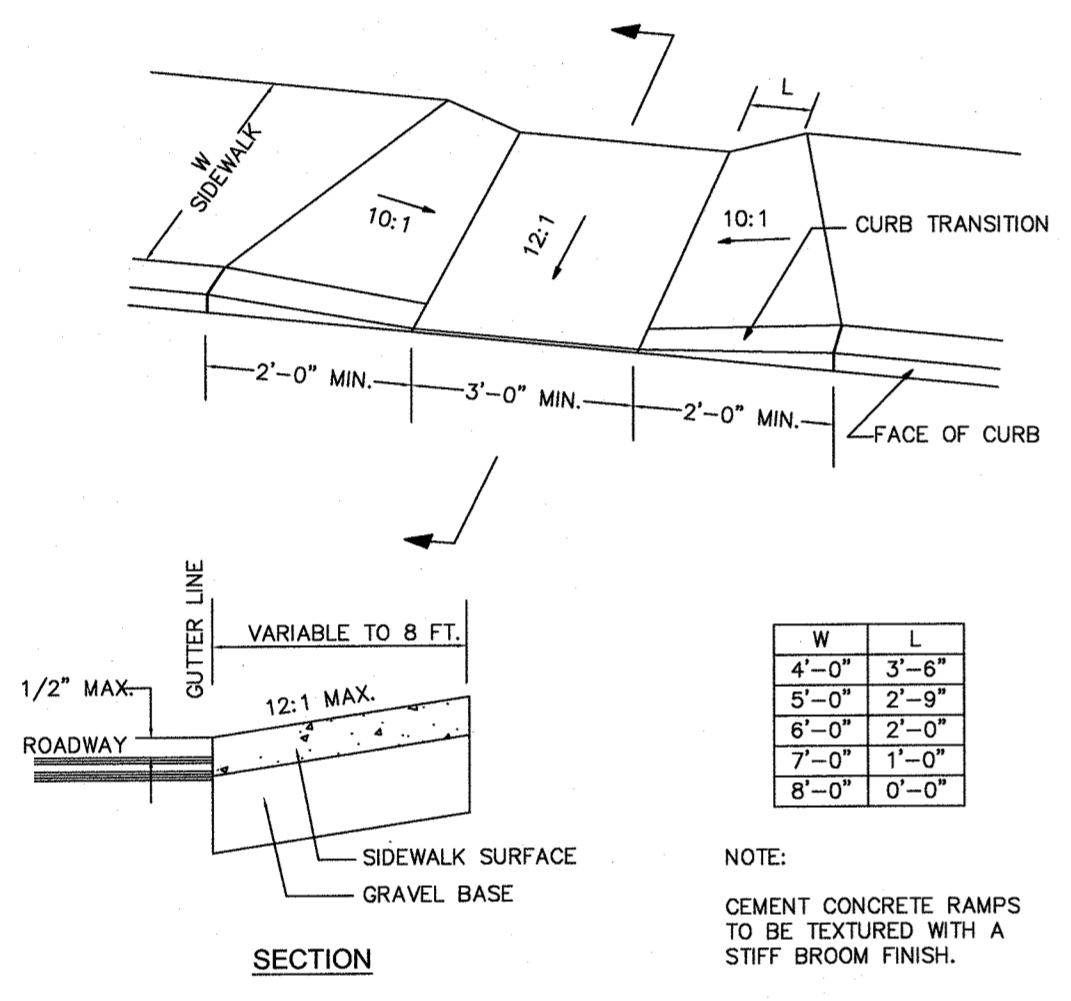
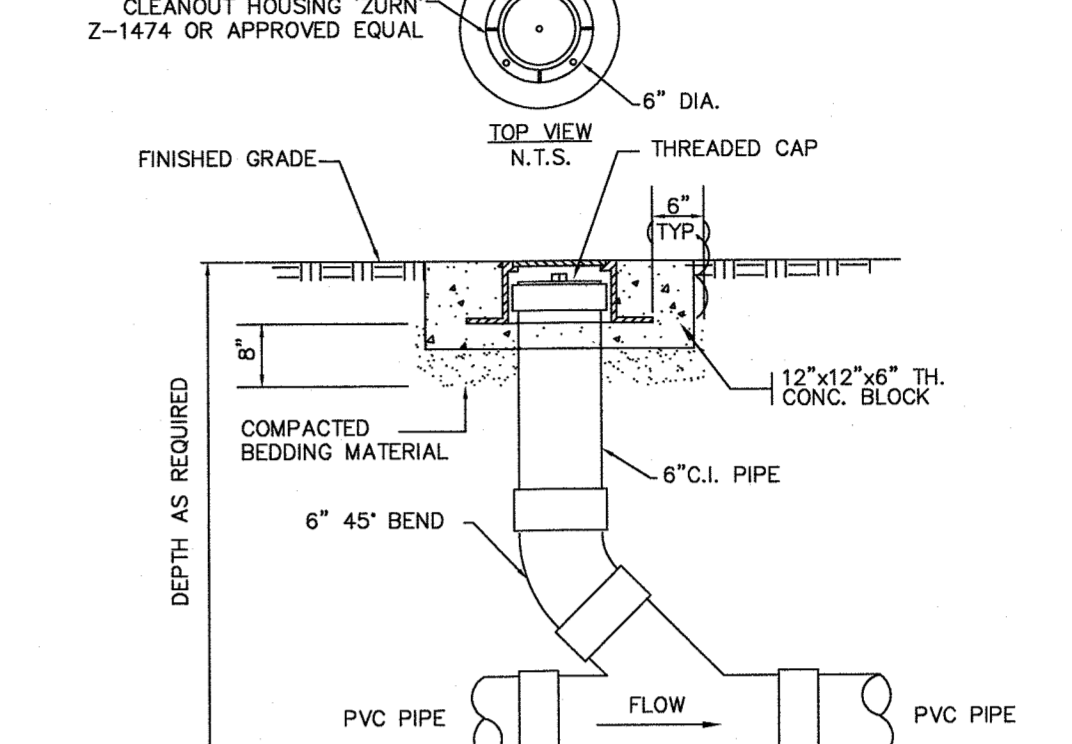
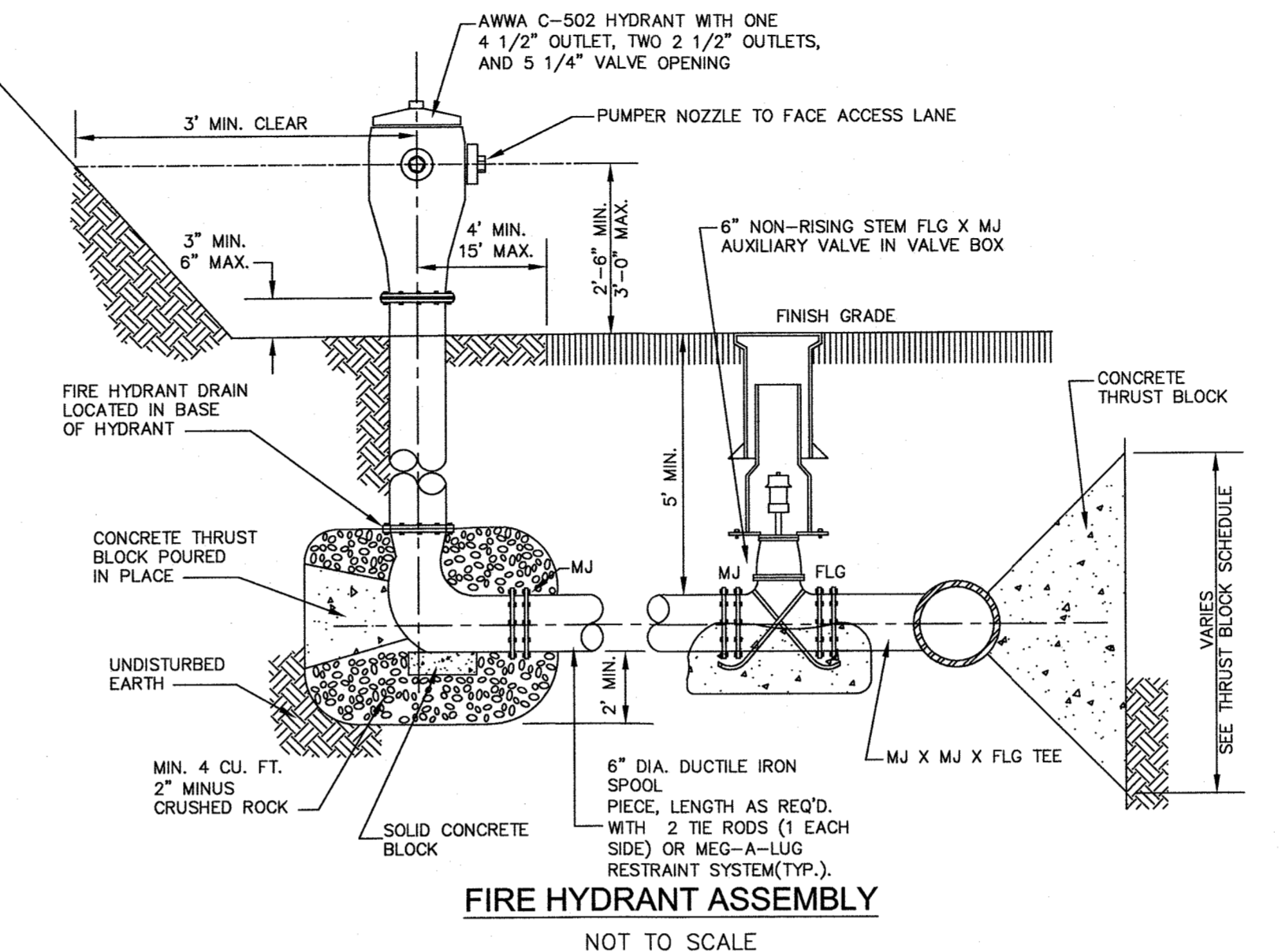
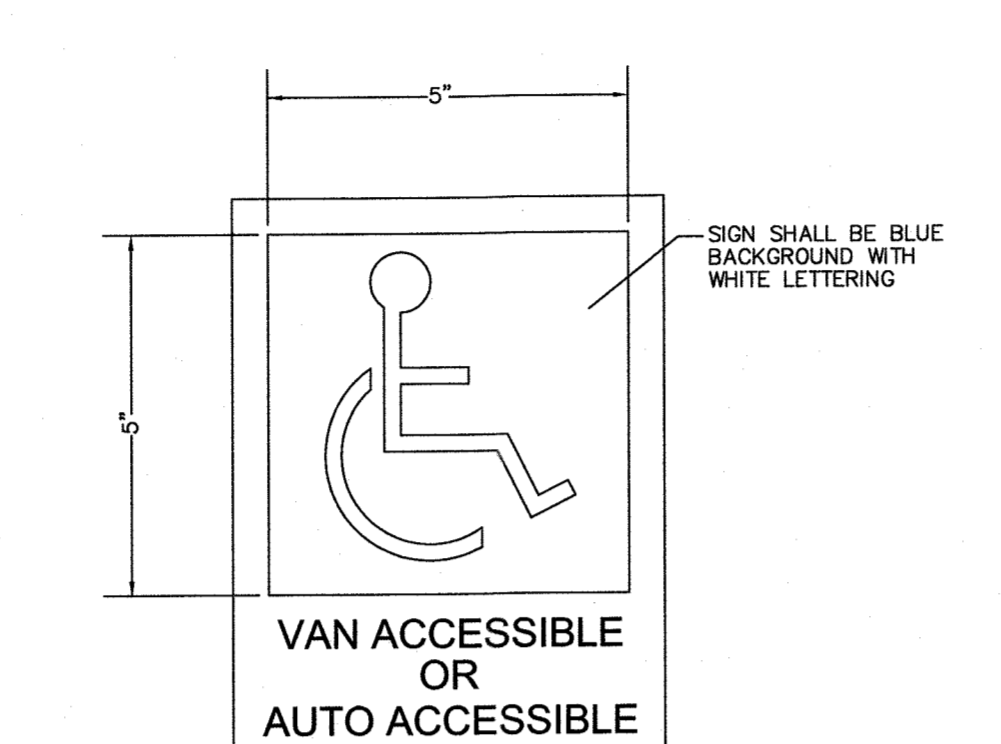
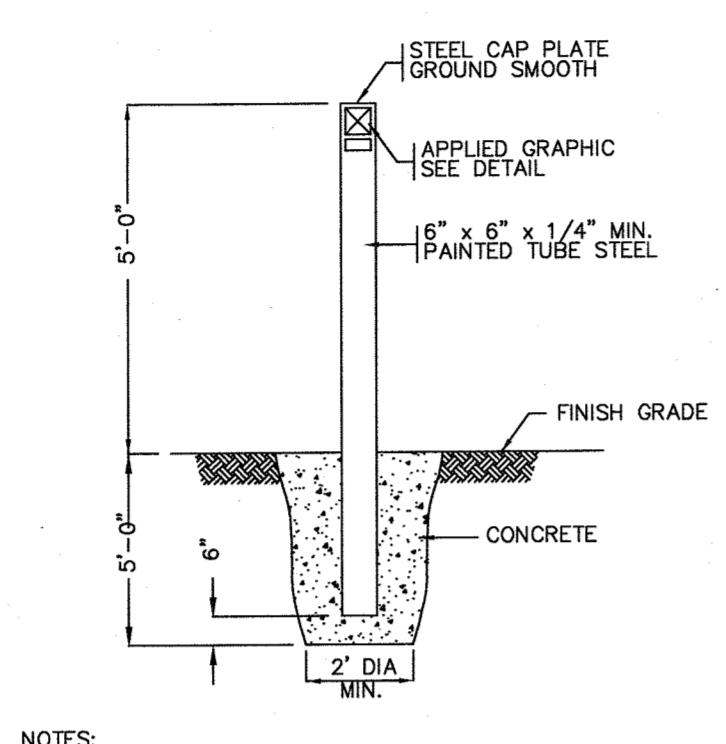
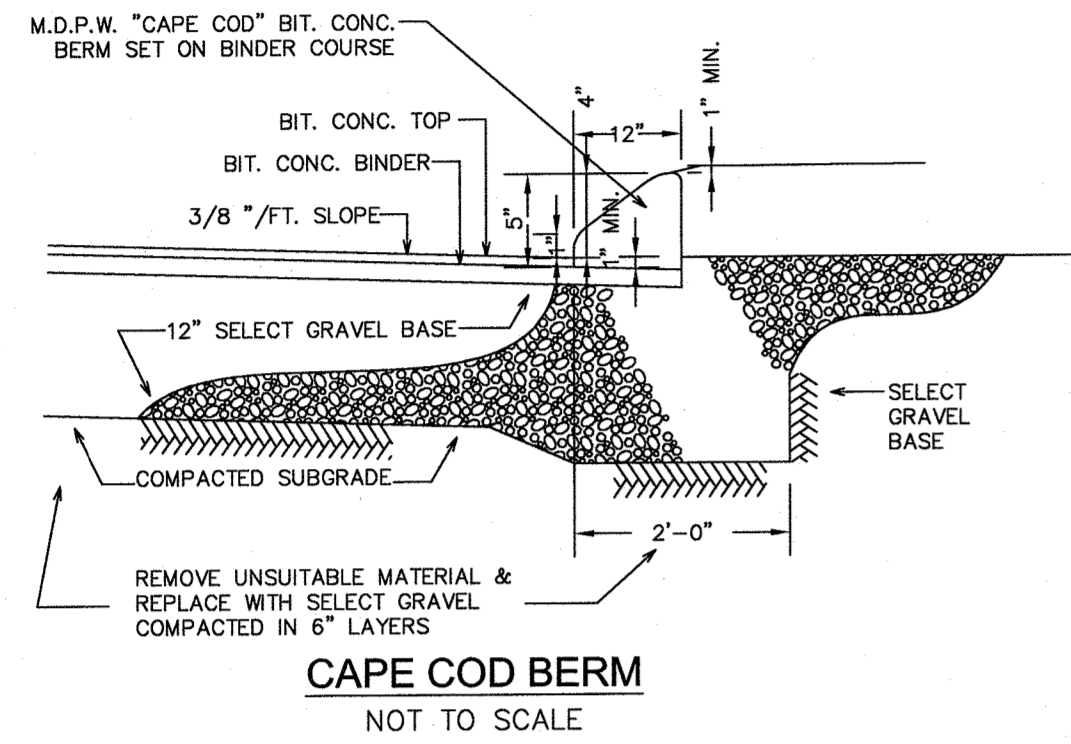
LEVEL
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249 SOUTH STREET
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TEL. (508) 695-2221 FAX (508) 695-2219

EROSION CONTROL
C-3.1
SHEET 5 OF 7
0' 15' 30' 60'
1880.00

NO.	DATE	REVISIONS
1	06/21/2021	PERMIT SUBMISSION



DATE: JUNE 21, 2021
 DRAWN: DRC
 SCALE: 1" = 20'



FOUNDATION, BEDDING AND BACKFILL MATERIALS

PIPE MATERIAL	HDP, PVC	RC, DI
FOUNDATION	NOTE [6]	[6]
BEDDING	[1]	[1]
HAUNCHING	[1]	[1]
INITIAL BACKFILL	[4]	[4]
FINAL BACKFILL	[4]	[4]
PIPE SPORE	[5]	[5]

PIPE I.D. WIDTH

PIPE I.D.	WIDTH
LESS THAN 21"	O.D. + 12"
21" TO 42"	O.D. + 24"
GREATER THAN 42"	O.D. + 30"

SHAPE BEDDING BY HAND TO FIT BOTTOM OF PIPE. INSTALL PIPE ON STABLE BEDDING WITH UNIFORM BEARING UNDER FULL LENGTH OF PIPE BARREL.

NOTES:

- PLACE 3/4" MINUS GRADED GRANULAR BACKFILL AT OPTIMUM MOISTURE IN HORIZONTAL 8" DEEP LOOSE LAYERS, COMPACT TO 95% PER ASTM D-1557.
- MINIMUM WIDTH OF TRENCH MEASURED AT SPRINGLINE OF PIPE, INCLUDING ANY NECESSARY SHEATHING.
- INSTALL PIPE IN CENTER OF TRENCH.
- IN PLANTED OR UNIMPROVED AREAS, USE ON-SITE EXCAVATED MATERIAL FOR FINAL BACKFILL. COMPACT TO 95% PER ASTM D-1557, IN PAVED AREAS, OBTAIN ENGINEER APPROVAL OF ON-SITE EXCAVATED MATERIALS FOR USE AS FINAL BACKFILL.
- MINIMUM COVER OVER TOP OF PIPE

PIPE MATERIAL	HDP, PVC	RC, DI
WATER	0" - 0"	5" - 0"
SEWER	4" - 0"	4" - 0"
DRAIN	2" - 0"	1" - 6"

[6] FOR FOUNDATION STABILIZATION, USE 2" MINUS CRUSHED STONE

RESTRAINED JOINT SCHEDULE

PIPE SIZE	90°	45°	22 1/2°	11 1/4°
D. I.	D. I.	D. I.	D. I.	D. I.
12"	92'	38'	18'	9'
10"	78'	32'	16'	8'
8"	66'	27'	13'	7'
6"	51'	21'	10'	5'
4"	38'	16'	8'	4'

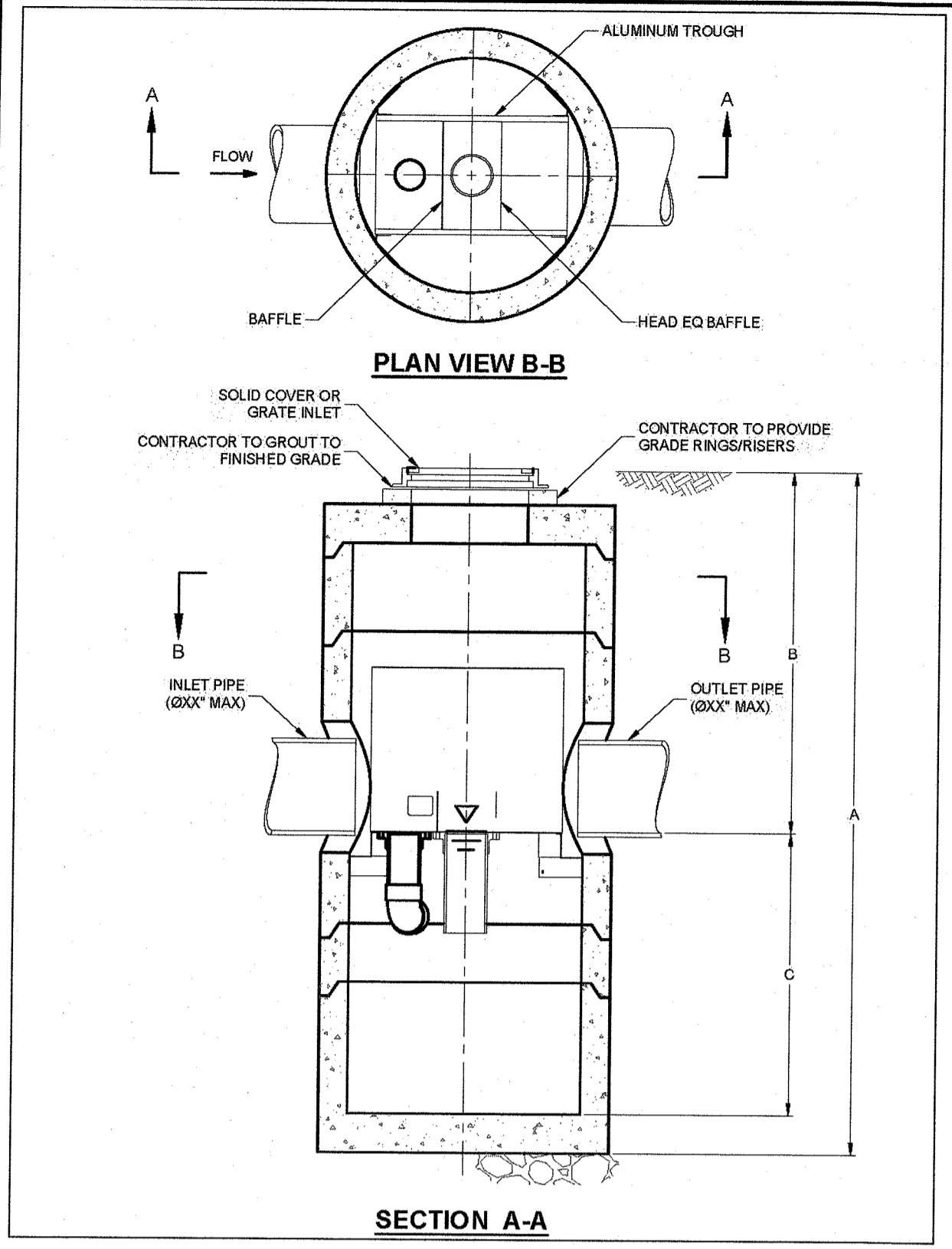
NOTES:

- RESTRAINED LENGTH FOR TEES, CROSSES, VALVES AND PLUGS SHALL EQUAL RESTRAINED LENGTH FOR 90° BENDS.
- SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING RESTRAINED JOINTS.
- THE SCHEDULE SHOWN IS FOR THE FOLLOWING SERVICE CONDITIONS 150 psig INTERNAL PRESSURE; SOIL TYPE: SAND-SILT; 36 INCHES OF COVER AND TYPE 2 LAYING CONDITIONS.
- RESTRAINED LENGTHS SHOWN IN TABLE ARE MINIMUM LENGTHS (N FEET) AND ARE REQUIRED IN EACH DIRECTION FROM FITTINGS OR VALVES.
- THRUST BLOCKS TO BE INSTALLED AS REQUIRED.

THE ENGINE YARD
 COMMERCIAL/RESIDENTIAL REUSE
 PARCEL ID 279-181-000-000
 40 ALPINE ROW
 FRANKLIN, MASSACHUSETTS

LEVEL
 DESIGN GROUP
 CIVIL ENGINEERING / LAND SURVEYING
 249 SOUTH STREET
 UNIT 1
 PLAINVILLE, MA 02762
 TEL. (508) 695-2221 FAX. (508) 695-2219

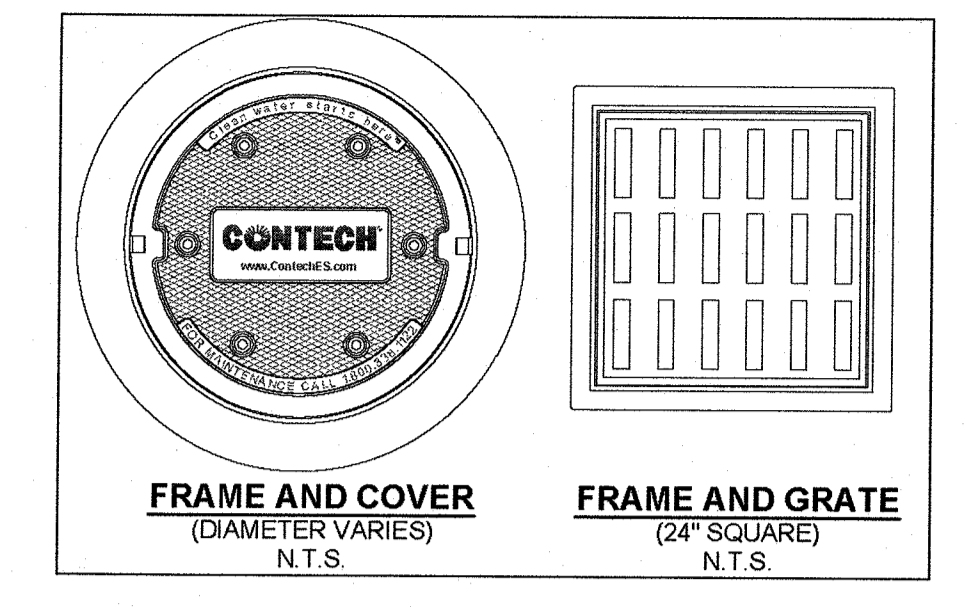
TYPICAL DETAILS
C-4.0
 SHEET 6 OF 7
1880.00



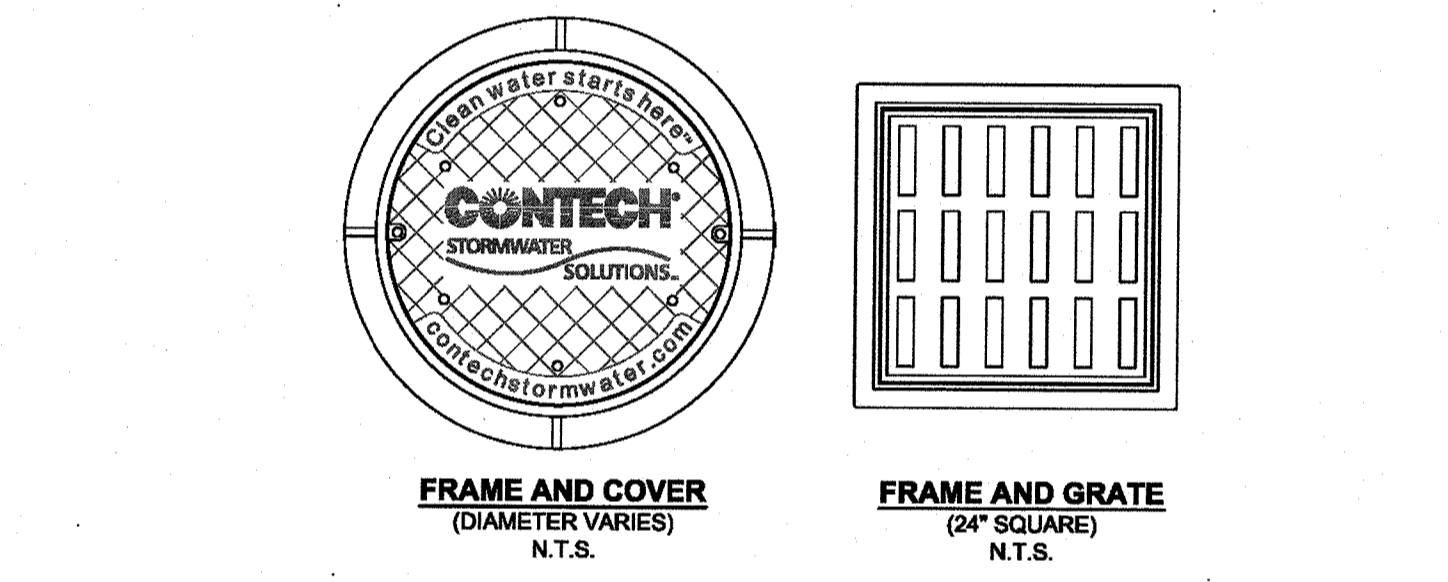
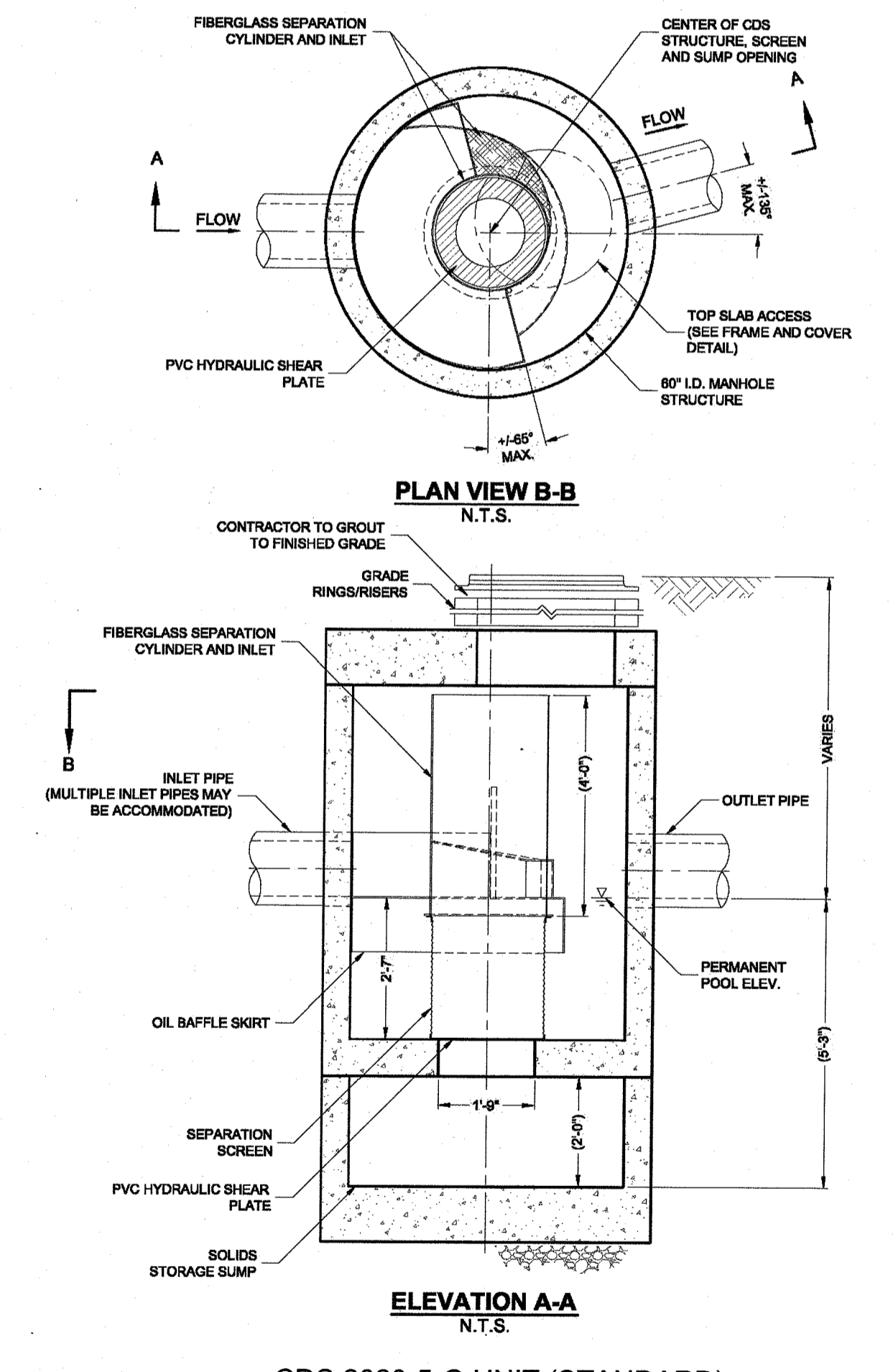
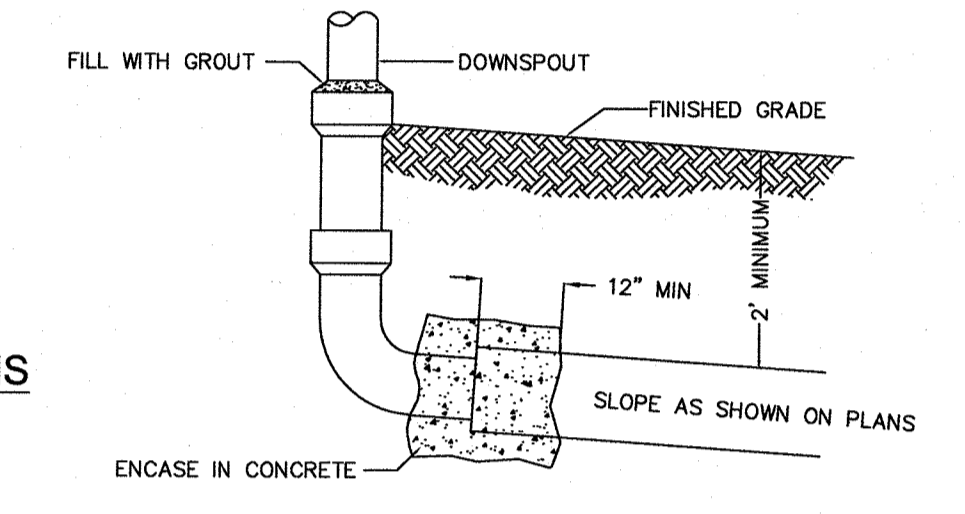
CONFIGURATION OPTION DESCRIPTION

- GRATE INLET (NO INLET PIPE)
- GRATE INLET WITH INLET PIPE

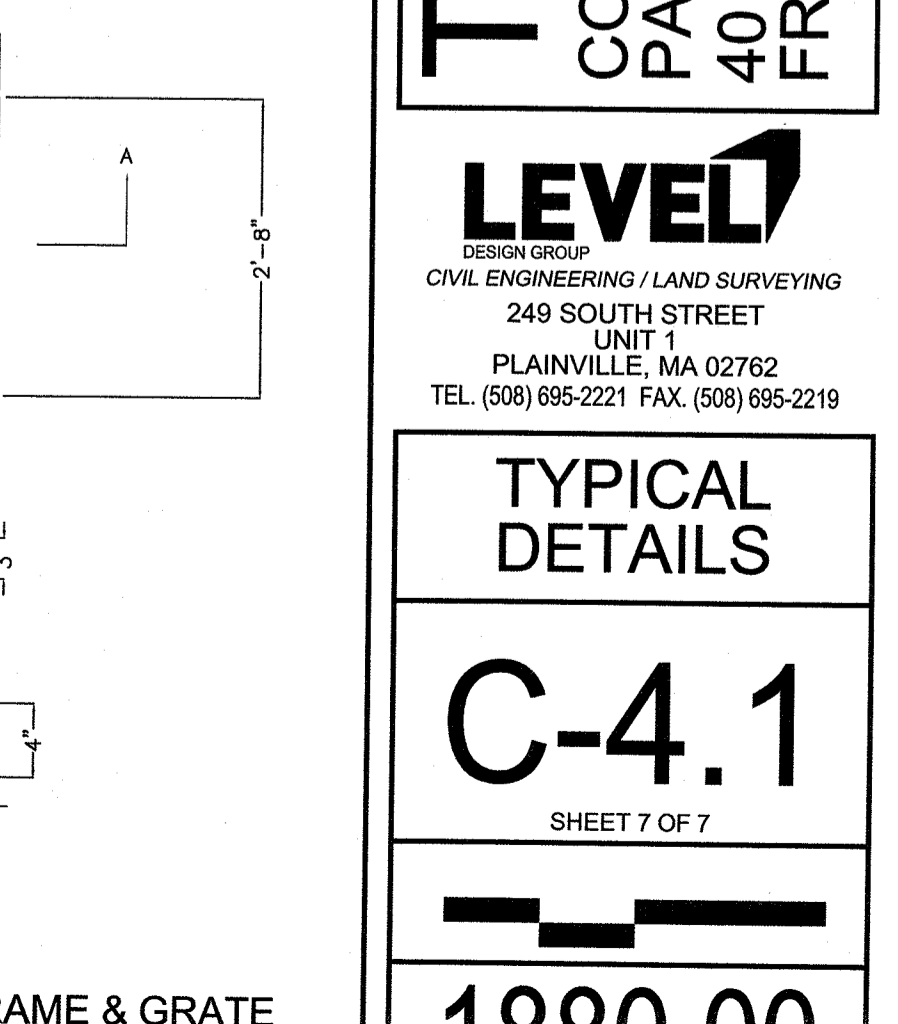
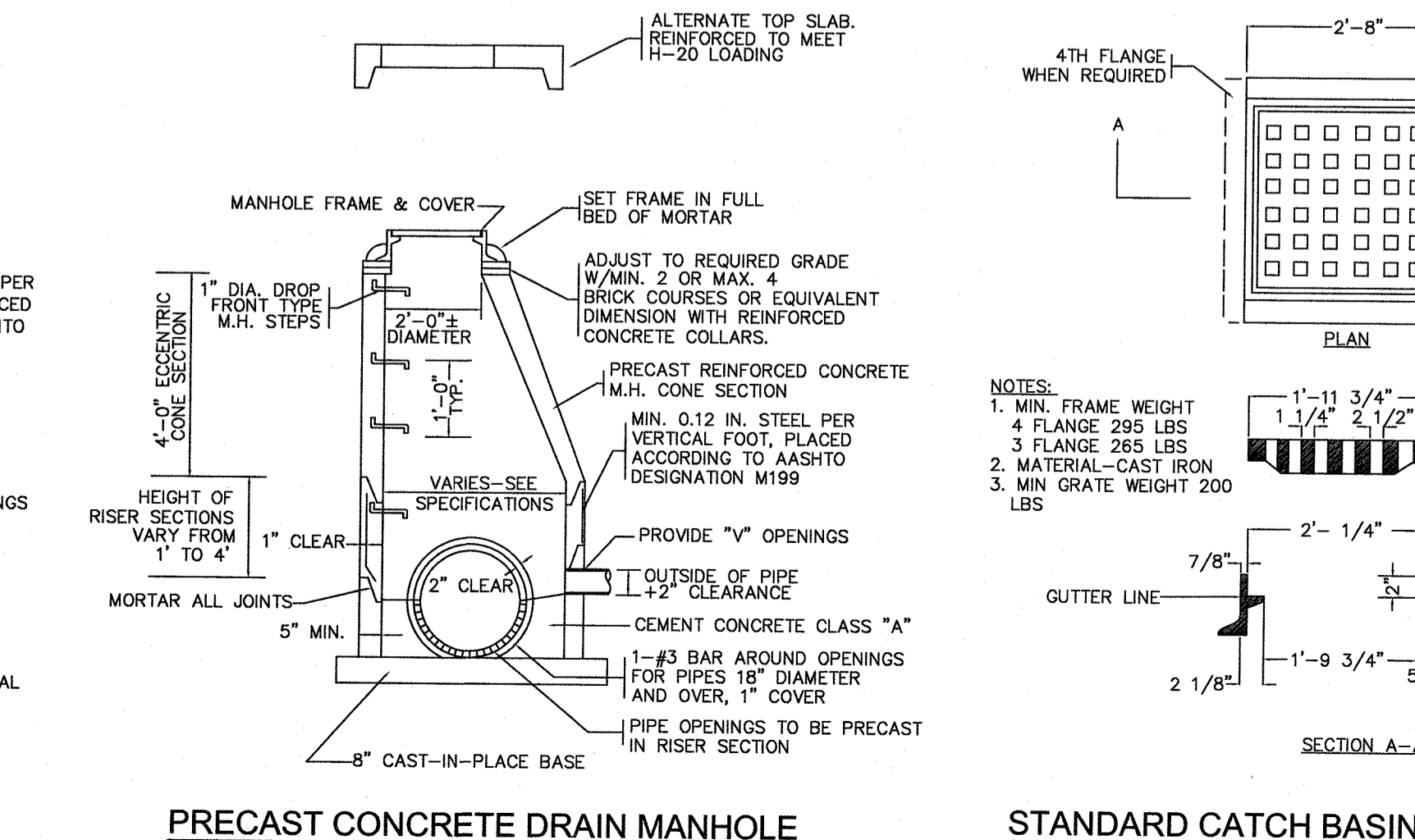
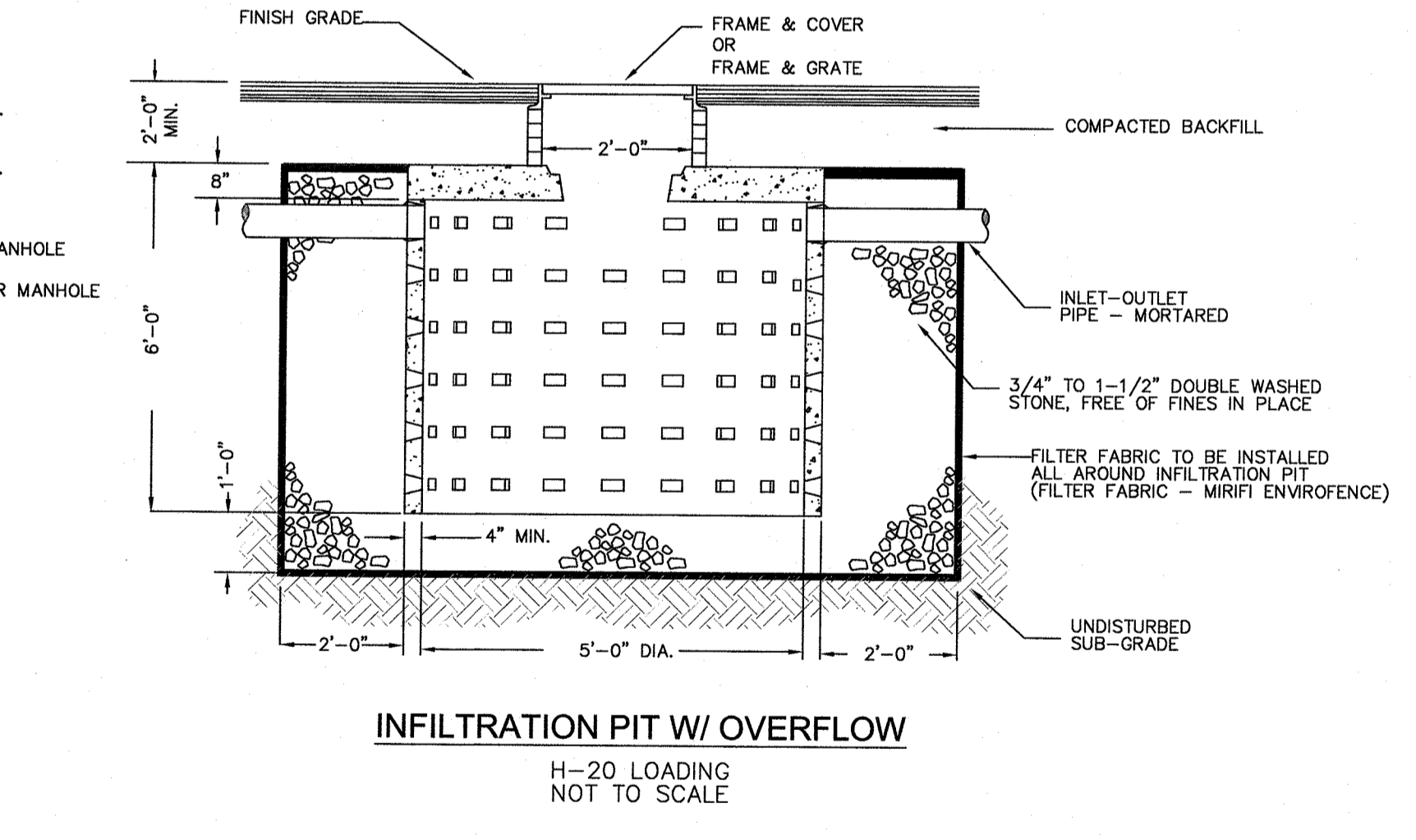
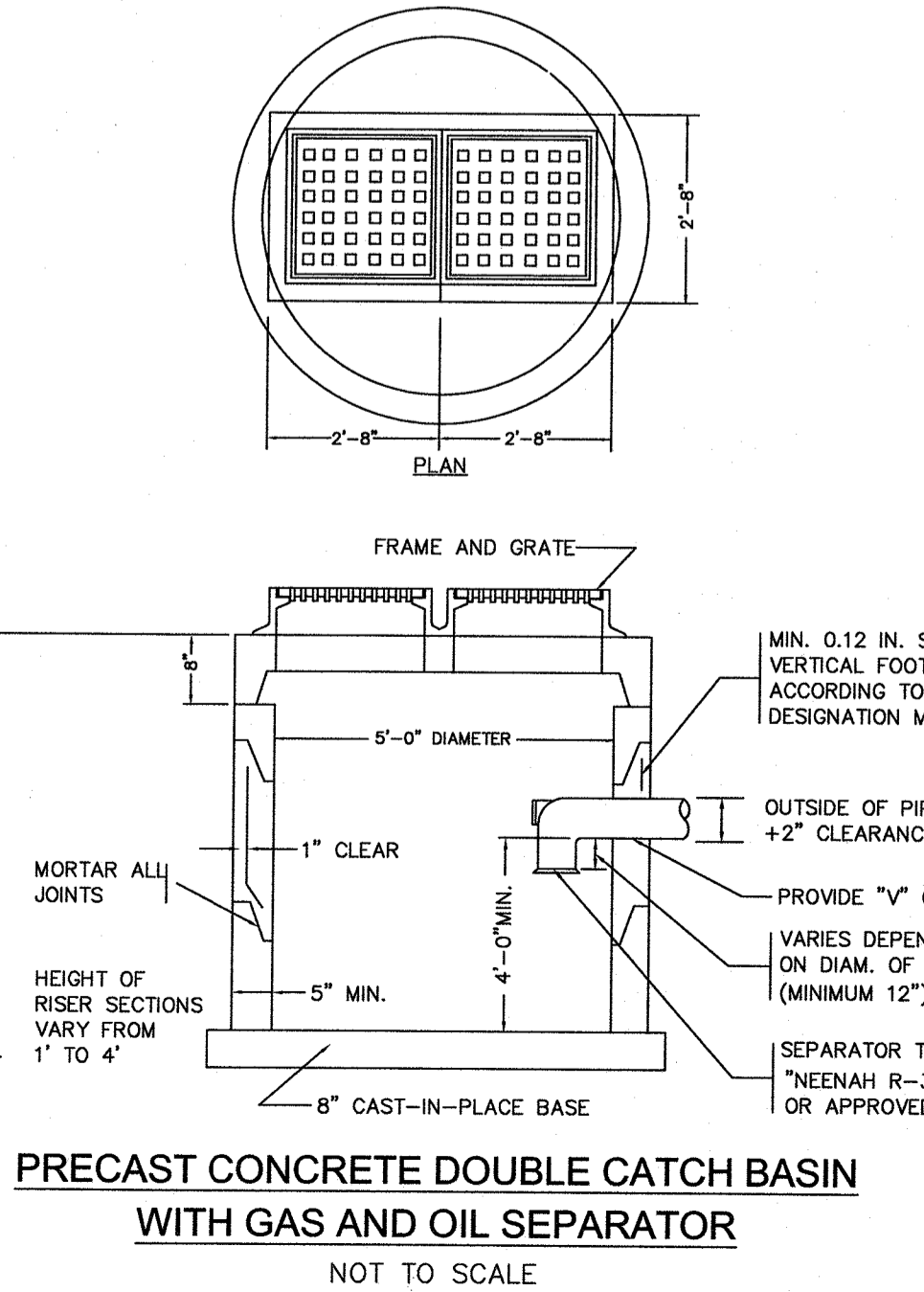
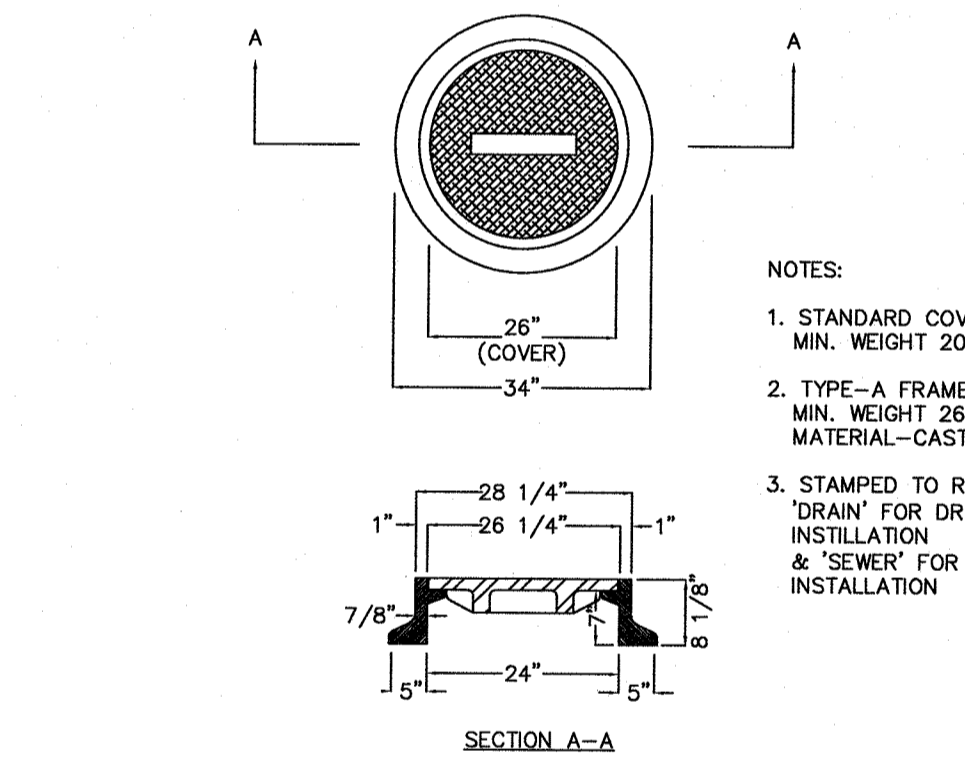
GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS, LLC REPRESENTATIVE. WWW.CONTECHES.COM
4. VORTSENTRY HS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
INSTALLATION NOTES
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE VORTSENTRY HS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
3. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



VORTSENTRY DETAILS AND SPECIFICATIONS
NOT TO SCALE



GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. WWW.CONTECH-CPI.COM
4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
INSTALLATION NOTES
1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



CDS2020-5-C DESIGN NOTES

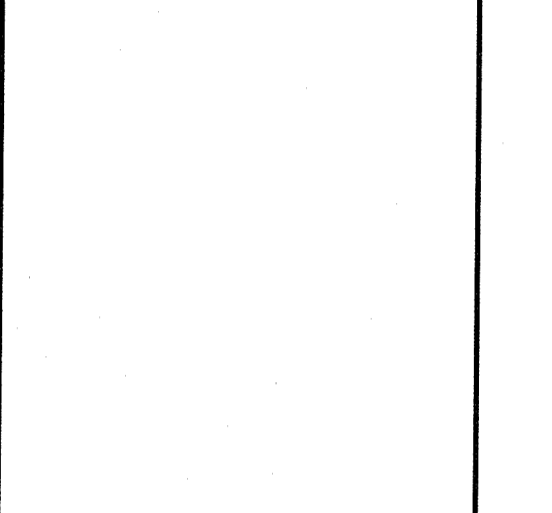
CDS2020-5-C RATED TREATMENT CAPACITY IS 2.2 CFS, OR PER LOCAL REGULATIONS.
THE STANDARD CDS2020-5-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION	
GRATED INLET ONLY (NO INLET PIPE)	
GRATED INLET WITH INLET PIPE OR PIPES	
CURB INLET ONLY (NO INLET PIPE)	
CURB INLET WITH INLET PIPE OR PIPES	
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)	
SEDIMENT WEIR FOR NUDEP / NJCAT CONFORMING UNITS	

CDS UNIT DETAILS AND SPECIFICATIONS

NO	DATE	REVISIONS
1	06/21/2021	PERMIT SUBMISSION

DATE: JUNE 21, 2021
DRAWN: DRC
SCALE: 1" = 20"



THE ENGINE YARD
COMMERCIAL/RESIDENTIAL REUSE
PARCEL ID 279-181-000-000
40 ALPINE ROW
FRANKLIN, MASSACHUSETTS

LEVEL
DESIGN GROUP
CIVIL ENGINEERING / LAND SURVEYING
249 SOUTH STREET
UNIT 1
PLAINVILLE, MA 02762
TEL. (508) 695-2221 FAX. (508) 695-2219

TYPICAL DETAILS

C-4.1
SHEET 7 OF 7

1880.00



WALKER DEVELOPMENT
 5 MT. ROYAL AVENUE, MARLBOROUGH, MA 01752



PROJECT INFORMATION
THE ENGINE YARD

40 ALPINE ROW
 FRANKLIN, MA 02038

FOR ZONING

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ISSUE CHART

2	DESIGN REVIEW	06/23/2021
1	PLANNING BOARD	06/23/2021

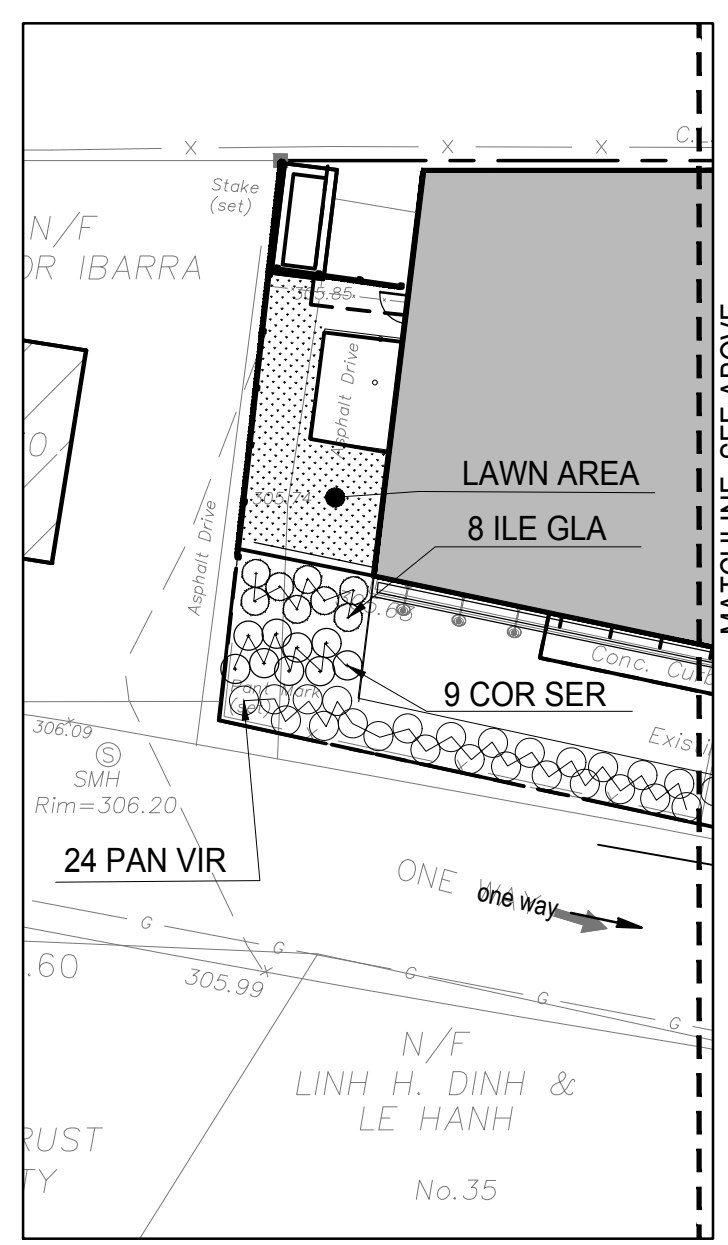
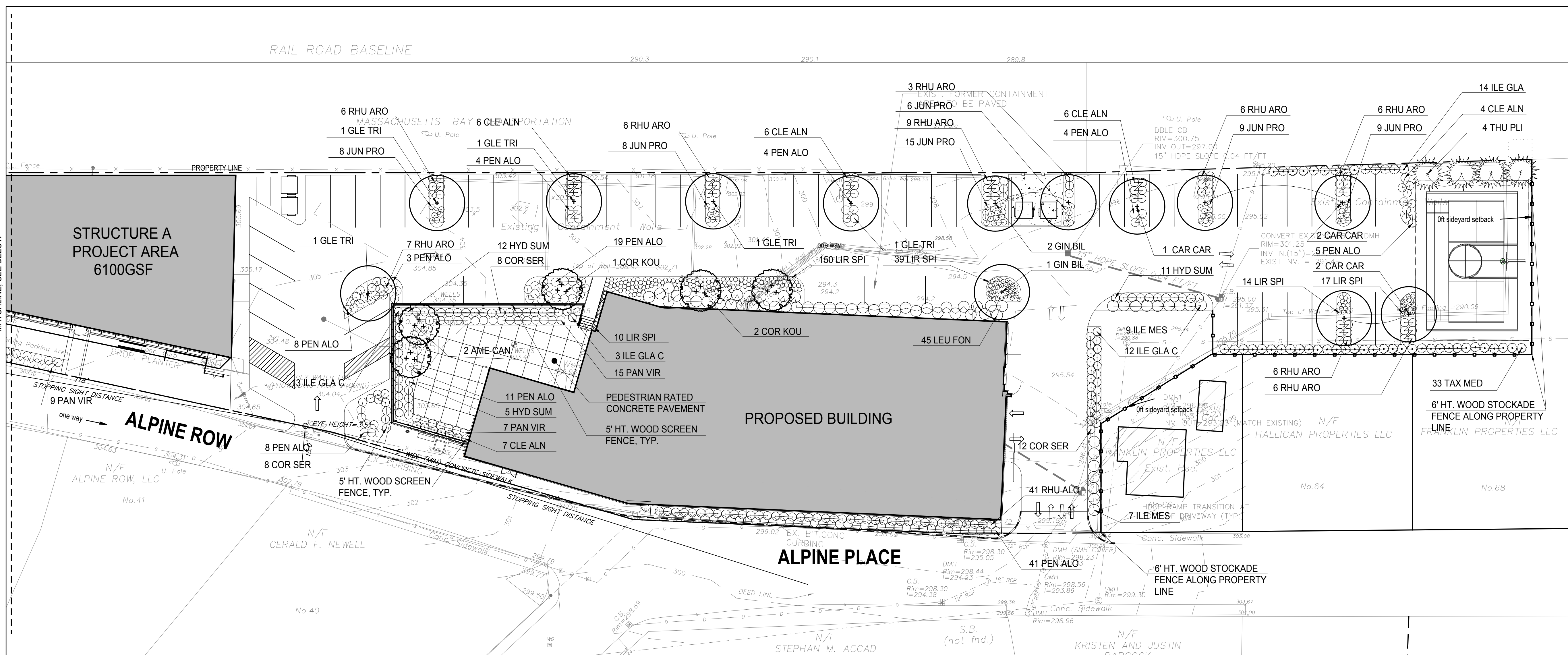
ISSUE	DATE
440	PROJECT NUMBER
Checker	CHECKED
Approver	APPROVED

SCALE
 SHEET NAME

SITE LANDSCAPE PLAN

SHEET NUMBER

LA-01

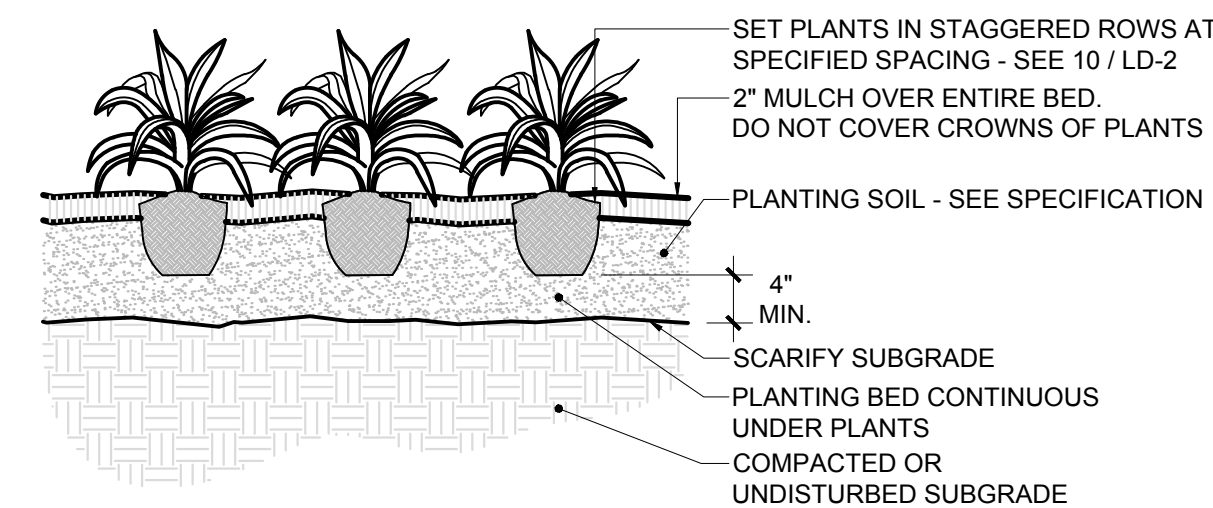


PLANTING NOTES

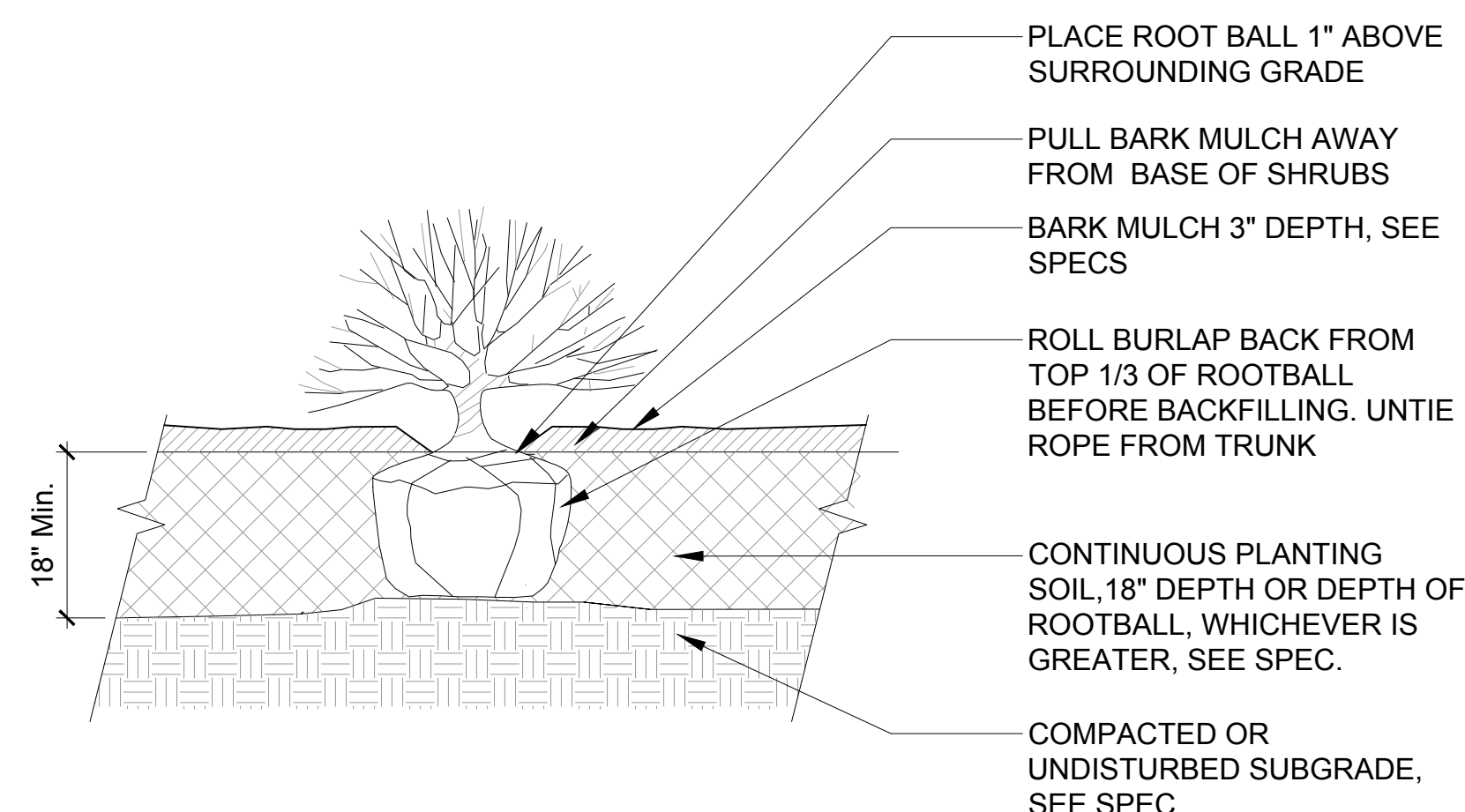
1. BASE FILE SURVEY INFORMATION PROVIDED BY JOE THE ARCHITECT, MAY 05, 2021.
2. IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
3. ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
4. ALL NEW PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER-GROWN, UNLESS OTHERWISE NOTED ON THE PLANT LIST.
5. THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
6. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
7. CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
8. STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY OWNER'S REP PRIOR TO THE COMMENCEMENT OF PLANTING.
9. NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. TREES SHALL BE SET 3" HIGHER THAN PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
10. ALL PLANT BEDS TO RECEIVE THREE INCHES (3") OF BARK MULCH AS PER THE SPECIFICATIONS.
11. ALL EXISTING TREES TO REMAIN SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. PROTECTION TECHNIQUES SHALL BE REVIEWED AND APPROVED BY THE OWNER'S REP.
12. PRUNE EXISTING AND NEW TREES IN ACCORDANCE WITH THE SPECIFICATIONS.
13. CONTRACTOR SHALL PROVIDE FULL DEPTHS OF LOAM AS NOTED ON DETAILS AND AS SPECIFIED, FOR ALL PLANTING.
14. ALL TREES TO BE REMOVED FROM SCOPE OF WORK SHALL INCLUDE GRINDING OF STUMP AND REMOVAL OFF-SITE.
15. ANY EXISTING TREES AFFECTED BY CONSTRUCTION SHALL HAVE ROOTS PRUNED PER THE SPECIFICATIONS.

PLANTING SCHEDULE

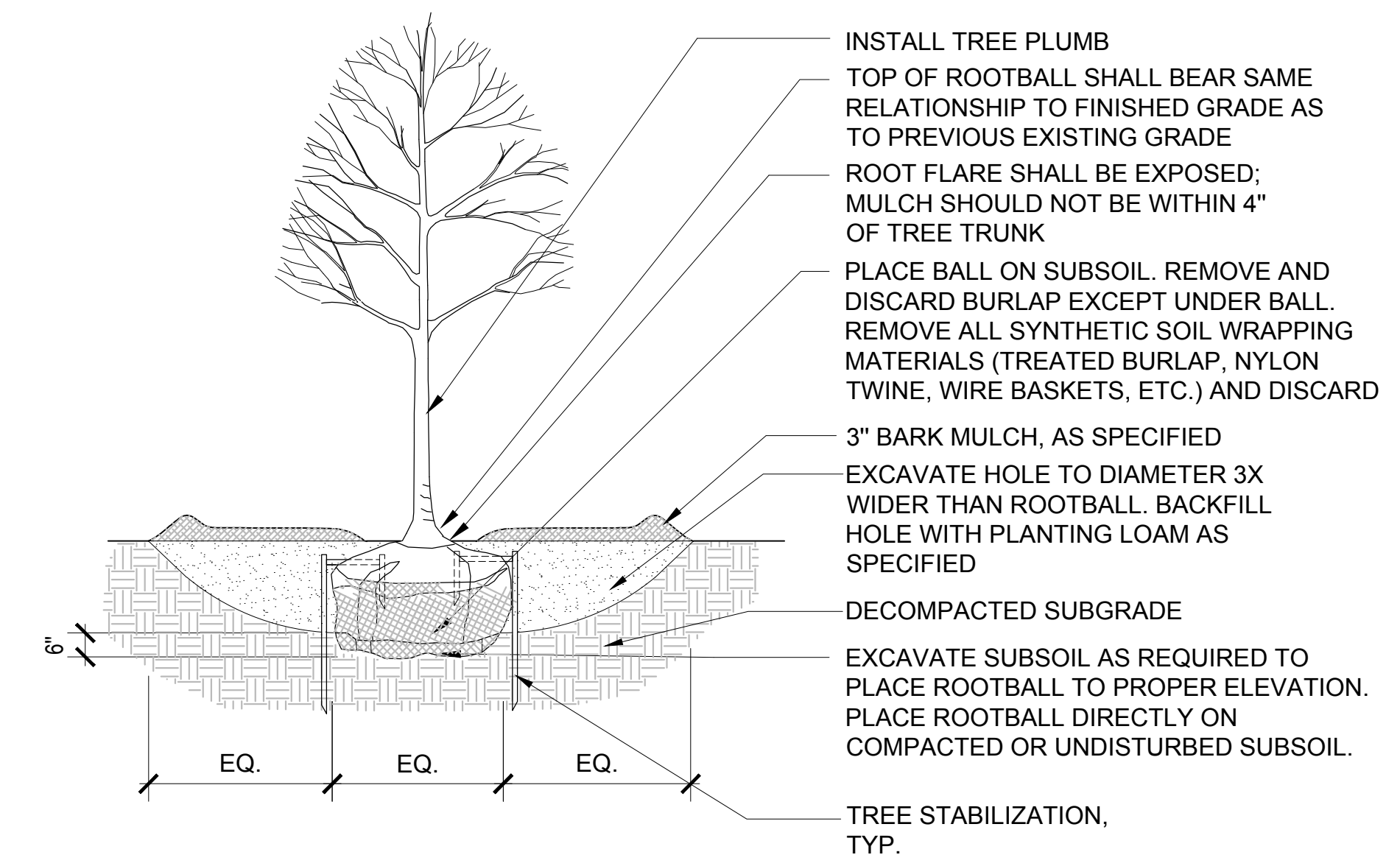
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING/NOTES
SHADE TREES					
GIN BIL	3	<i>Ginkgo biloba</i>	Ginkgo	2 - 2 1/2" CAL	B&B
GLE TRI	5	<i>Gleditsia triacanthos</i>	Honeylocust	2 - 2 1/2" CAL	B&B
CAR CAR	5	<i>Carpus carolinia</i>	American Hornbeam	2 - 2 1/2" CAL	B&B, NATIVE
ORNAMENTAL TREES					
AME CAN	2	<i>Amelanchier canadensis</i>	Serviceberry	8-10' HT.	B&B; Multi-stem, NATIVE
COR KOU	3	<i>Cornus kousa</i>	Kousa Dogwood	8-10' HT.	B&B; Multi-stem
EVERGREEN TREES					
THU PLI	4	<i>Thuja plicata 'Nana'</i>	Dwarf Western Arbovitae	8-10' HT.	B&B
EVERGREEN SHRUBS					
ILE GLA C	28	<i>Ilex glabra 'compacta'</i>	Compact Inkberry	24"-36" HT	36" O.C. NATIVE
ILE GLA	22	<i>Ilex glabra</i>	Inkberry	24"-36" HT	42" O.C. NATIVE
ILE MES	16	<i>Ilex meserveae 'Blue Prince'</i>	Blue Prince Holly	24"-36" HT	48" O.C.
LEU FON	45	<i>Leucothoe fontanesiana 'Compacta'</i>	Compact Drooping Leucothoe	2 Gal.	48" O.C. NATIVE
TAX MED	33	<i>Taxus media 'Hill's Upright'</i>	Hill's Upright Yew	36"-48" HT	36" O.C.
DECIDUOUS SHRUBS					
CLE ALN	29	<i>Clethra alnifolia 'Compacta'</i>	Compact Summersweet	3 Gal.	48" O.C. NATIVE
COR SER	37	<i>Cornus Sericea 'kelseyi'</i>	Kelsey Dogwood	3 Gal.	48" O.C. NATIVE
HYD SUM	28	<i>Hydrangea 'Endless Summer'</i>	Endless Summer Hydrangea	3 Gal.	36" O.C.
RHU ARO	90	<i>Rhus aromatica 'Gro Low'</i>	Gro-Low Fragrant Sumac	3 Gal.	36" O.C.
ORNAMENTAL GRASSES AND PERENNIALS					
JUN PRO	37	<i>Juniperus procumbens 'Nana'</i>	Dwarf Juniper	1 Gal.	24" O.C.
LIR SPI	230	<i>Liriope spicata</i>	Lily Turf	1 Gal.	18" O.C.
PAN VIR	55	<i>Panicum virgatum 'Shenandoah'</i>	Switch Grass	1 Gal.	36" O.C. NATIVE
PEN ALO	107	<i>Pennisetum alopecuroides 'hameln'</i>	Hameln Fountain Grass	1 Gal.	36" O.C.



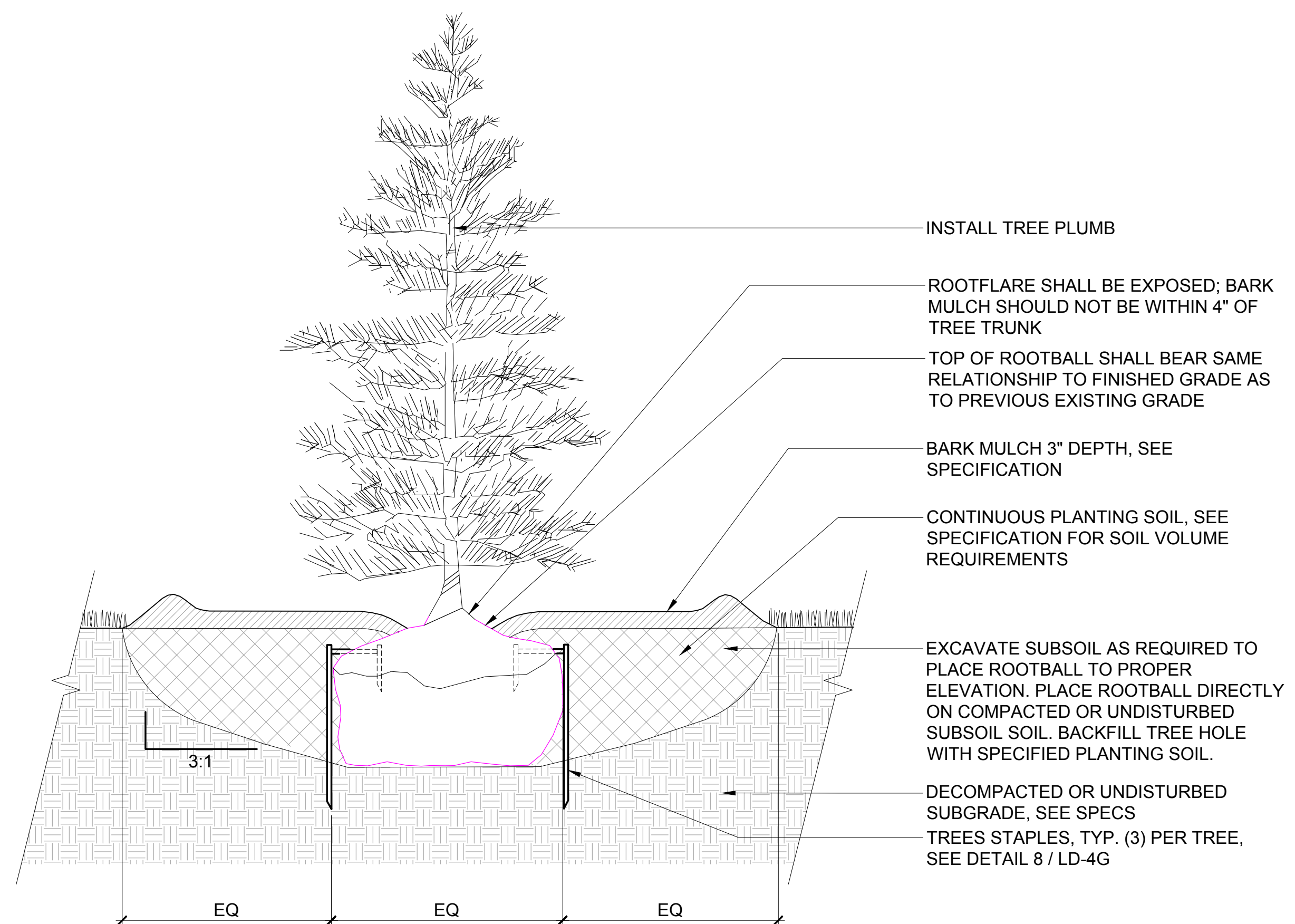
4 PERENNIAL/GROUNDCOVER PLANTING
 SCALE: NTS



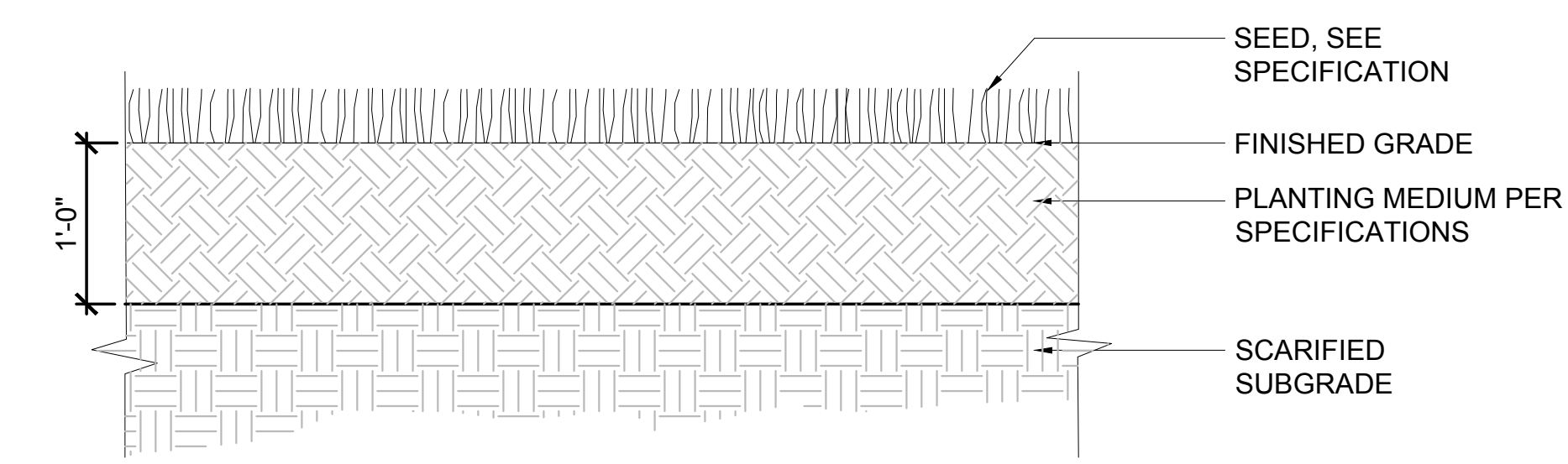
5 SHRUB PLANTING
 SCALE: NTS



1 DECIDUOUS TREE PLANTING
 SCALE: NTS



2 EVERGREEN TREE PLANTING
 SCALE: NTS



3 SEEDED LAWN
 SCALE: NTS



PROJECT INFORMATION
THE ENGINE YARD

40 ALPINE ROW
 FRANKLIN, MA 02038

FOR ZONING
 6/22/2021 10:18:23 PM

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ISSUE CHART

2	DESIGN REVIEW	06/23/2021
1	PLANNING BOARD	06/23/2021

N	ISSUE	DATE
	440	PROJECT NUMBER
	Checker	CHECKED
	Approver	APPROVED
		SCALE
		SHEET NAME

SITE LANDSCAPE DETAILS

SHEET NUMBER

LA-02

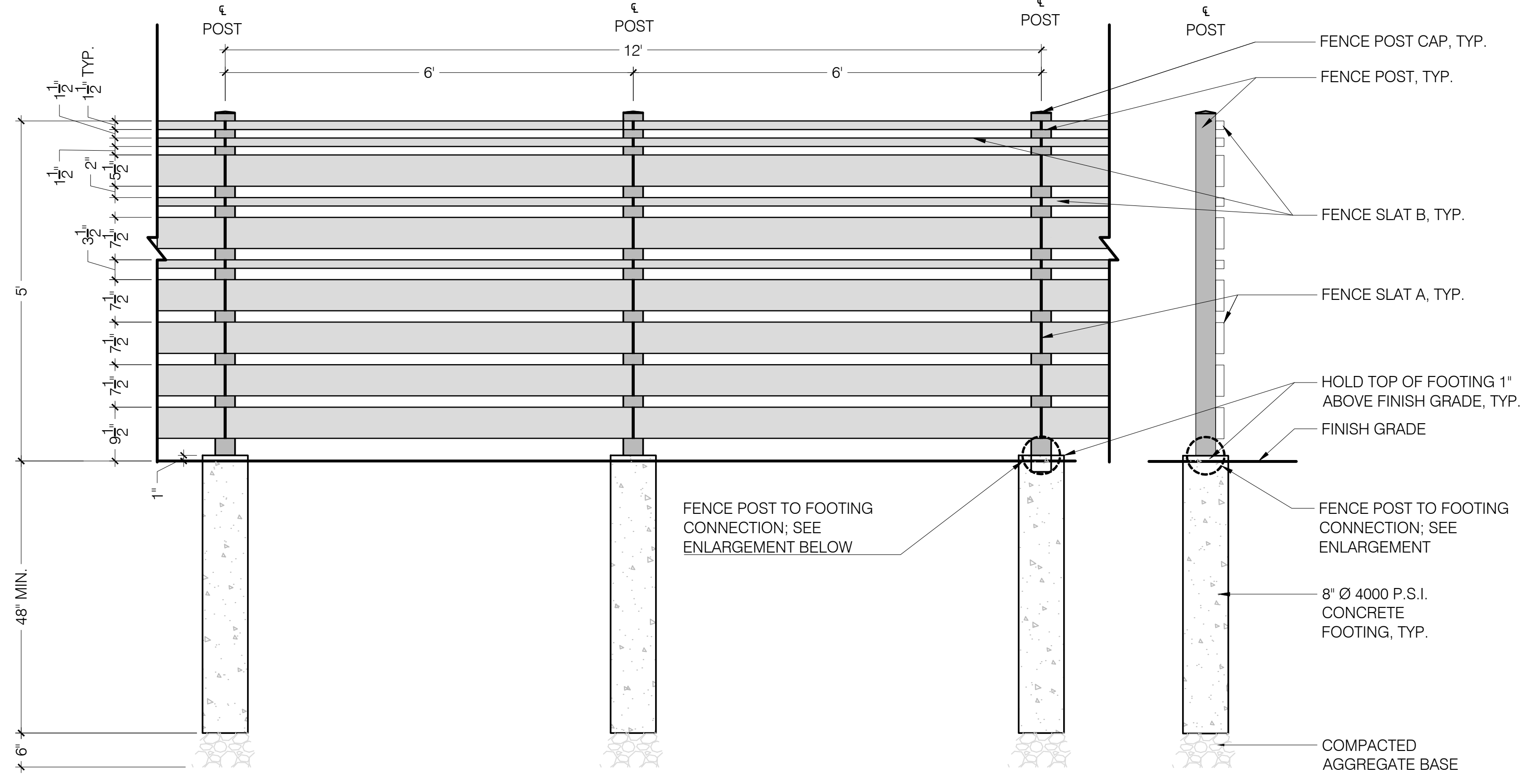
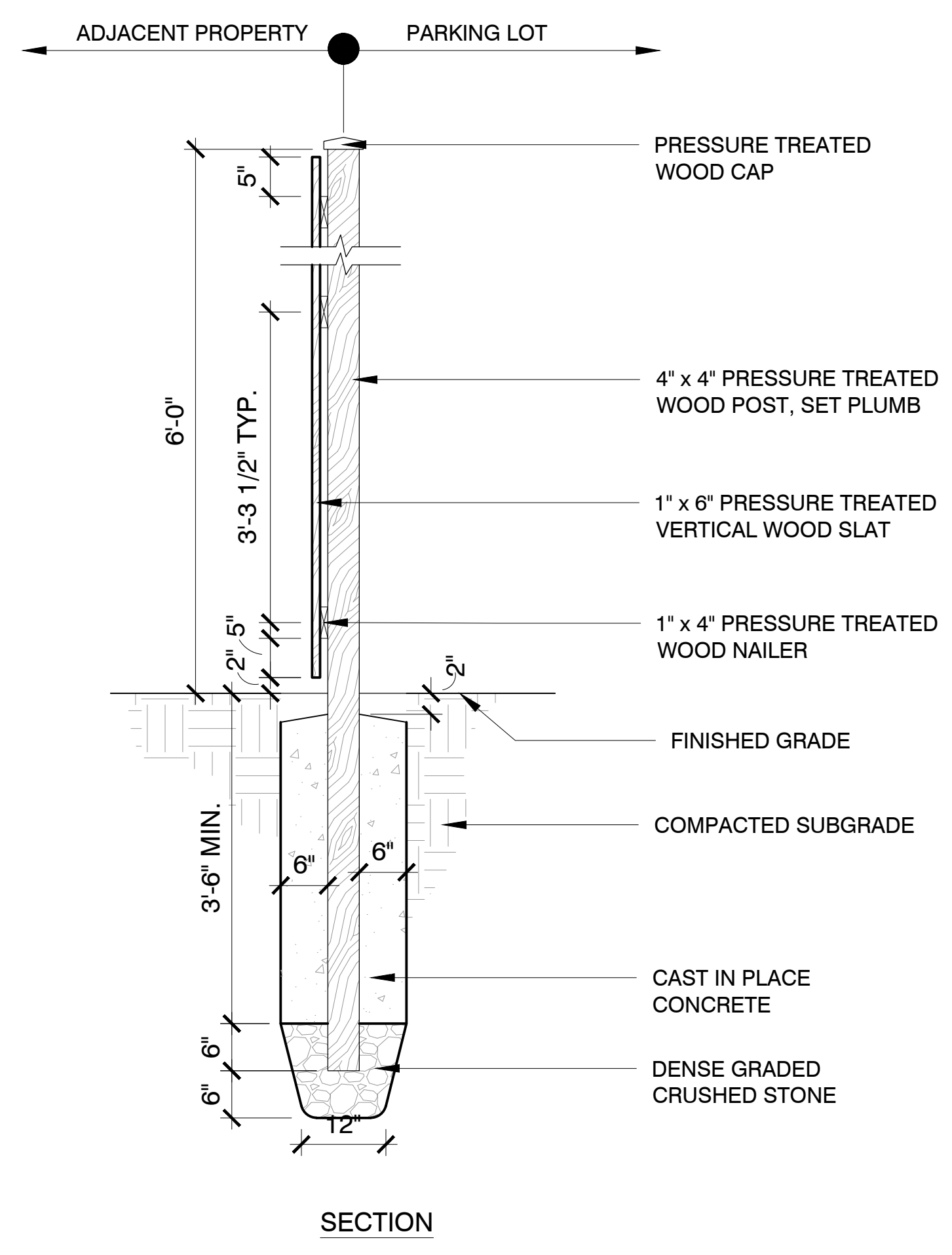
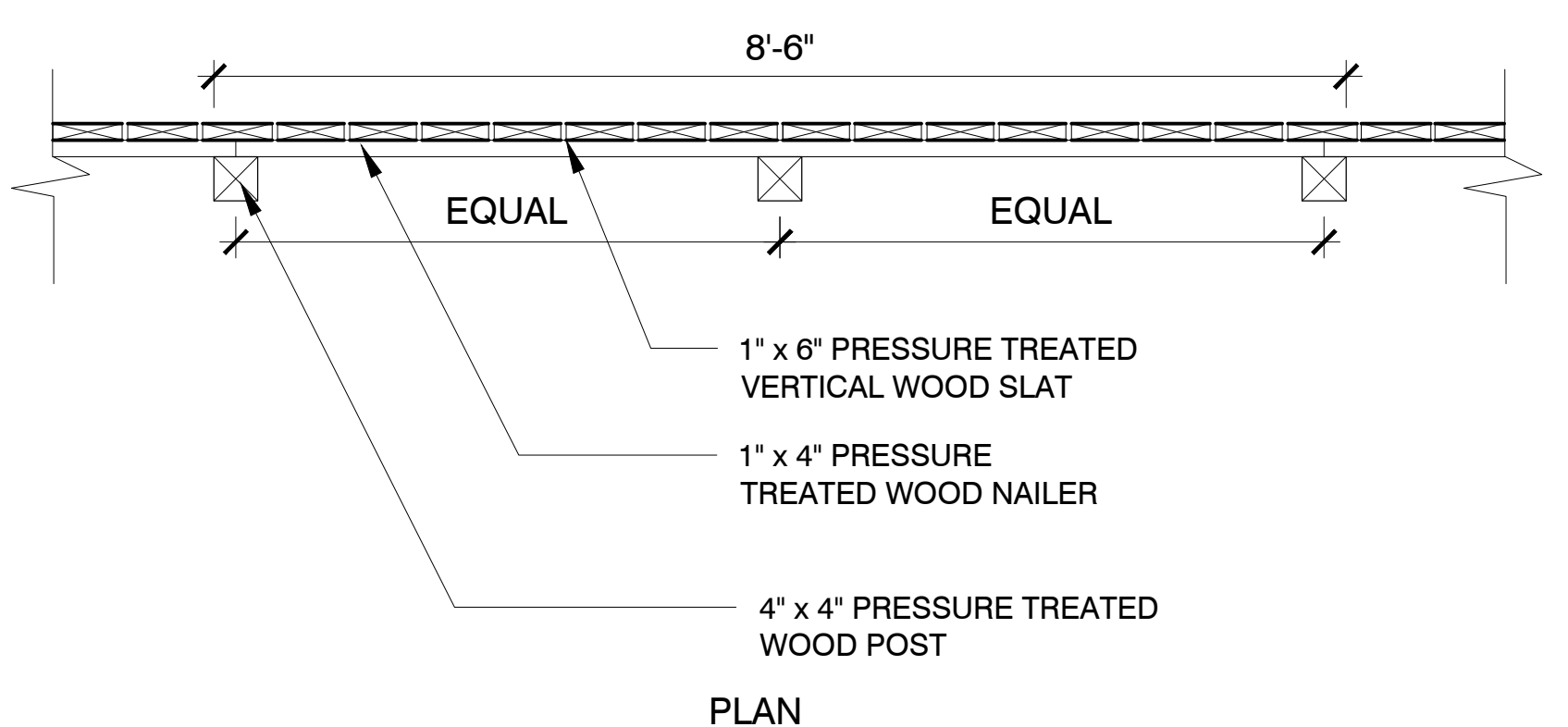


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1	PLANNING BOARD	06/23/2021

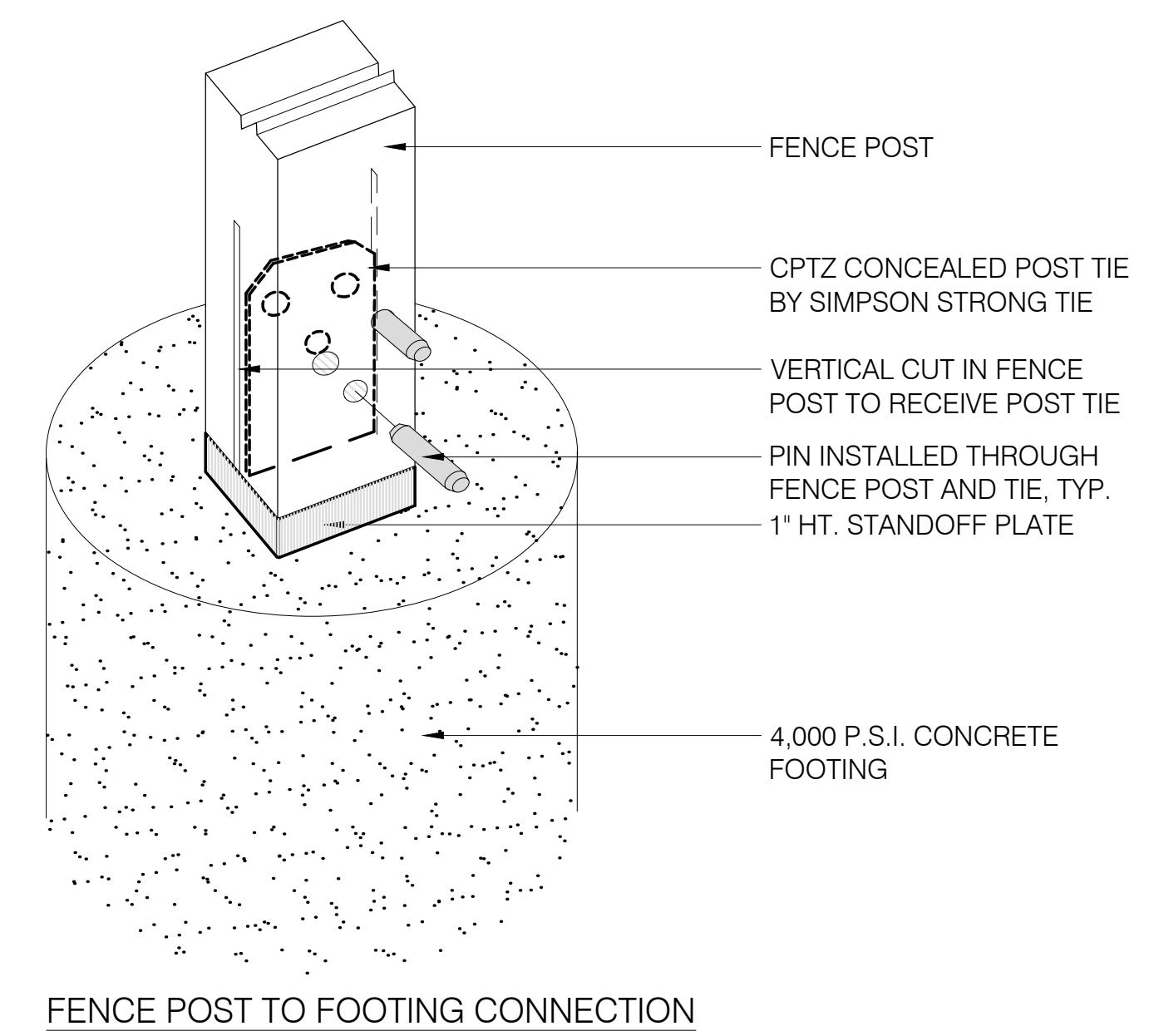
N	ISSUE	DATE
	440	PROJECT NUMBER
	Checker	CHECKED
	Approver	APPROVED
		SCALE
		SHEET NAME

**SITE LANDSCAPE
 DETAILS**

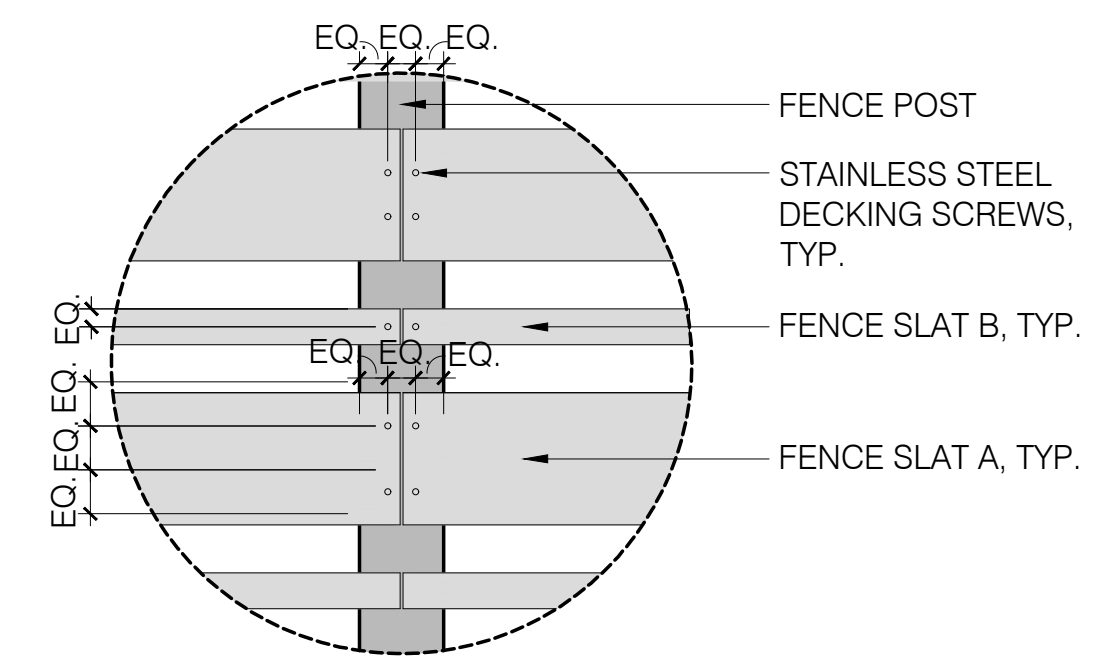


SCREEN FENCE A - ELEVATION

SCREEN FENCE A - SECTION



FENCE POST TO FOOTING CONNECTION



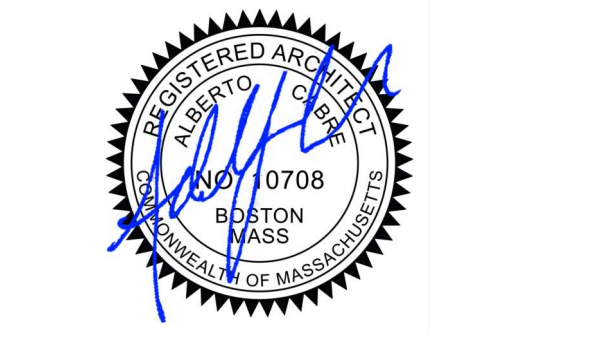
FENCE SLAT CONNECTION

NOTES:

- FENCE POST SHALL BE 4X4 NOM. EASTERN RED CEDAR POST
- FENCE SLAT 'A' SHALL BE 2X6 NOM. EASTERN RED CEDAR BOARD
- FENCE SLAT 'B' SHALL BE 2X2 NOM. EASTERN RED CEDAR BOARD
- GAPS BETWEEN FENCE SLATS SHALL BE 2\"/>

2 6' HT. WOOD STOCKADE FENCE
 SCALE: NTS

1 WOOD SCREEN FENCE AT OUTDOOR TERRACE
 SCALE: NTS



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ISSUE	DATE
440	PROJECT NUMBER
Checker	CHECKED
Approver	APPROVED
	SCALE
	SHEET NAME

**SITE LANDSCAPE
 PLAN IMAGERY**

DECIDUOUS TREES -

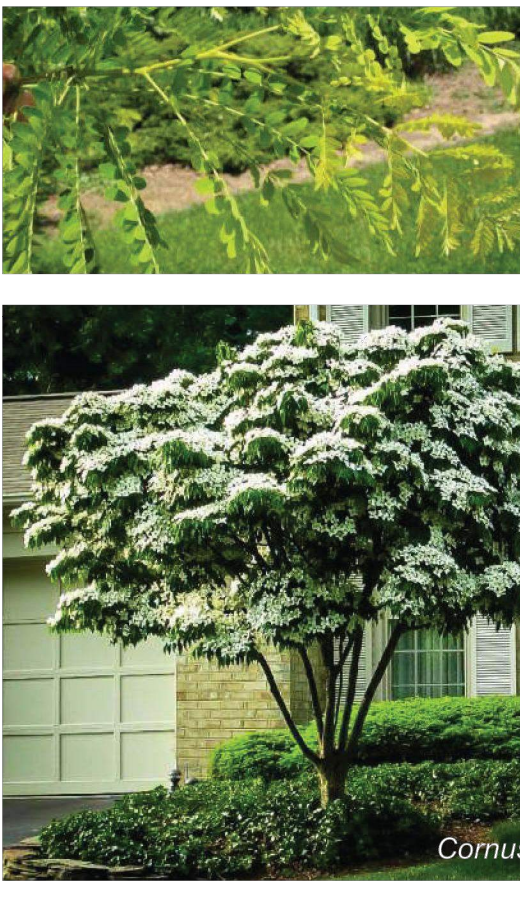
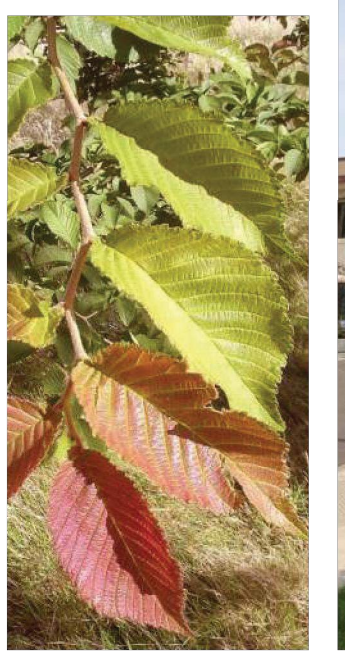
- Carpinus caroliniana* American Hornbeam
- Ginkgo biloba* Maidenhair Tree
- Gleditsia tricanthos* Thornless Honeylocust

ORNAMENTAL TREES -

- Amelanchier canadensis* Serviceberry
- Cornus kousa* Kousa Dogwood

EVERGREEN TREES -

- Thuja plicata 'Nana'* Dwarf Western Arborvitae



TREE PLANTING OPTIONS
 MAY 17, 2021

PD SD DD CD CA



EVERGREEN SHRUBS -

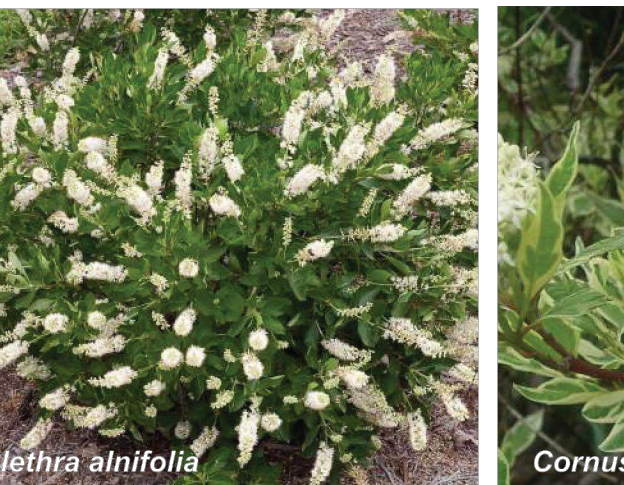
- Taxus media 'Hill's Upright'* Hill's Upright Yew
- Ilex glabra 'Compacta'* Compact Inkberry
- Ilex glabra* Inkberry
- Ilex meserveae 'Blue Prince'* Blue Prince Holly

DECIDUOUS SHRUBS -

- Hydrangea macrophylla 'Endless Summer'* Endless Summer Hydrangea
- Rhus aromatica 'Gro-low'* Gro-low Fragrant Sumac
- Clethra alnifolia* Summersweet Clethra
- Cornus sericea* Redtwig Dogwood

PERENNIALS/GRASSES/GROUND COVER -

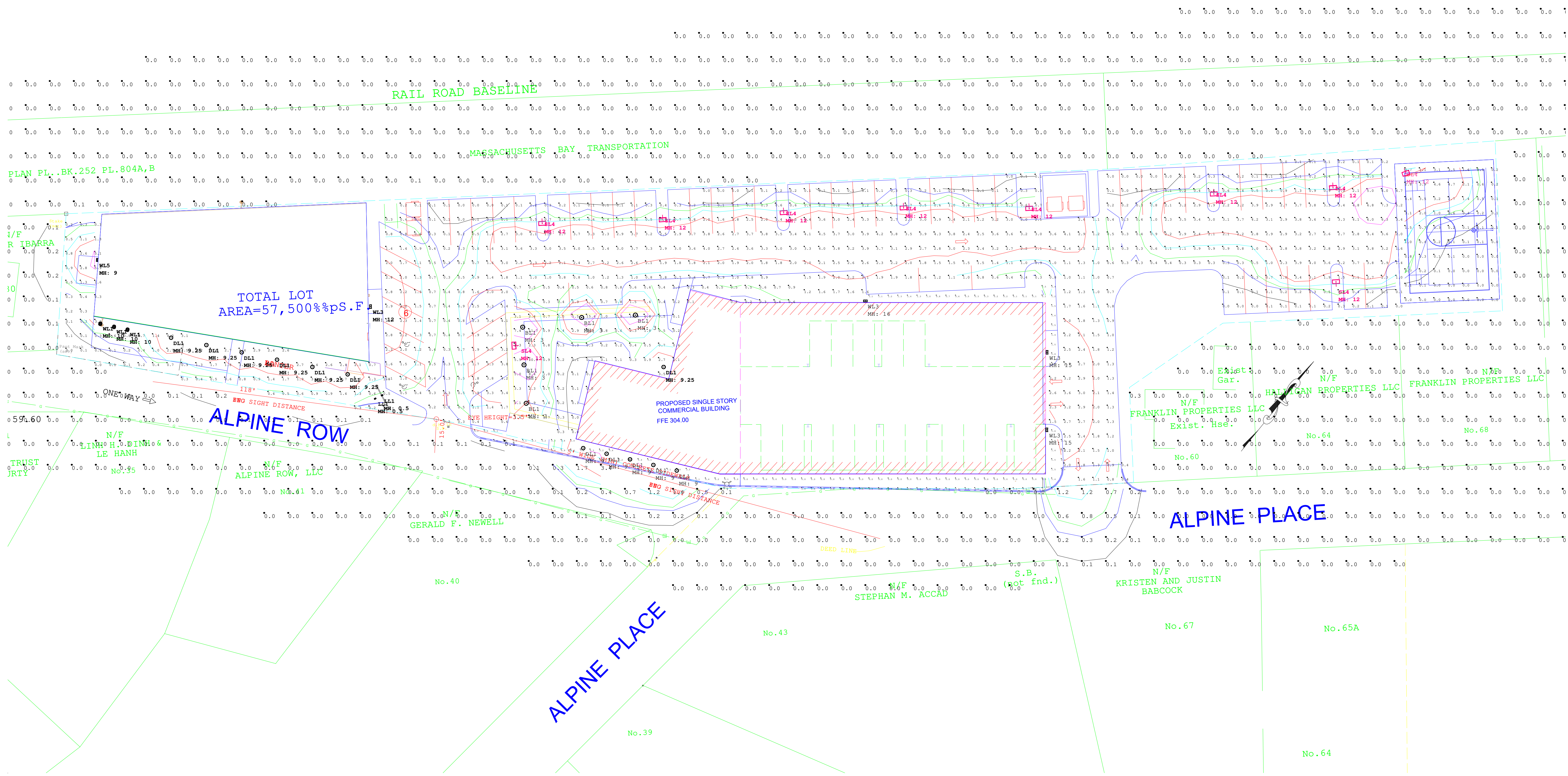
- Liriope muscari* Blue Lilyturf
- Pennisetum alopecuroides* Fountain Grass
- Panicum virgatum 'Shenandoah'* Shenandoah Switch Grass
- Juniperus procumbens 'Nana'* Dwarf Japanese Juniper



SHRUB & PERENNIAL PLANTING OPTIONS
 MAY 17, 2021

PD SD DD CD CA





Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Lumens
⊙	2	LL1	SINGLE	0.900	FL1A-BLT(BLACK)-RND-C4-K1-118-0 / M	428
⊙	3	WL1	SINGLE	0.900	H18110-91(BLACK)-1-2-HL-A-91(BLACK)	1295
⊙	12	DL1	SINGLE	0.900	FM-W9100-FINISH	924
□	4	WL3	SINGLE	0.900	RWL1-48L-25-3K7-3-U	3587
□	10	SL4	SINGLE	0.900	RAR-1-80L-50-3K7-4W-BC	3663
□	1	WL5	SINGLE	0.900	SG1-10-3K	1346
⊙	5	BL1	SINGLE	0.900	S-KK0103US-16A-0870007A-730-16US	1255
□	1	WALL LIGHT	SINGLE	0.900	RWL1-48L-45-3K7-4W-U	5484

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min Max/Min
BASKETBALL COURT	Illuminance	Fc	0.86	4.7	0.0	N.A. N.A.
GREEN SPACE	Illuminance	Fc	1.60	15.6	0.0	N.A. N.A.
PARKING LOT	Illuminance	Fc	1.61	7.3	0.0	N.A. N.A.
SIDEWALK	Illuminance	Fc	1.05	6.1	0.0	N.A. N.A.
SPILL LIGHT	Illuminance	Fc	0.04	3.4	0.0	N.A. N.A.
STRUCTURE A STORAGE AREA	Illuminance	Fc	1.34	5.9	0.2	6.70 29.50
STRUCTURE A STREET AREA	Illuminance	Fc	1.48	4.4	0.0	N.A. N.A.
TRACKS	Illuminance	Fc	0.00	0.1	0.0	N.A. N.A.



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2	DESIGN REVIEW	06/23/2021
N	ISSUE	DATE
	440	PROJECT NUMBER
	Checker	CHECKED
	Approver	APPROVED
	12" = 1'-0"	SCALE
		SHEET NAME

**EXISTING SITE
 CONTEXT IMAGES**



1
 VIEW FROM COMMUTER RAIL PLATFORM



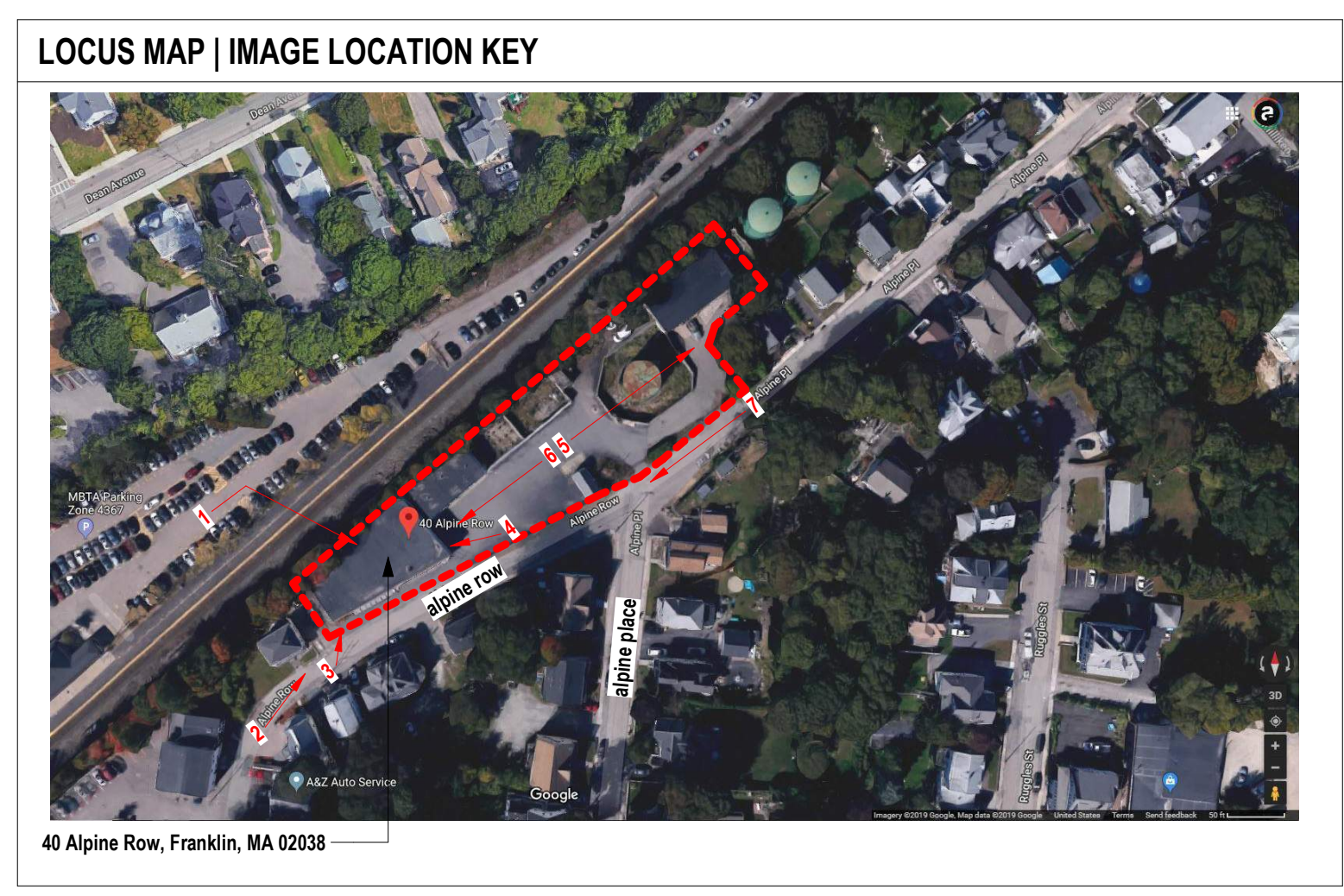
2
 VIEW DOWN ALPINE ROW



3
 VIEW DOWN ALPINE ROW



4
 VIEW OF EXISTING BUILDING FACADE



LOCUS MAP | IMAGE LOCATION KEY

40 Alpine Row, Franklin, MA 02038



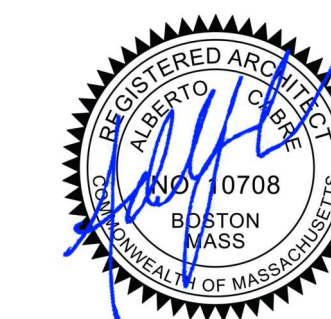
5
 VIEW OF PARKING LOT



6
 VIEW OF PARKING LOT



7
 VIEW TOWARD INTERSECTION OF ALPINE
 ROW & ALPINE PLACE



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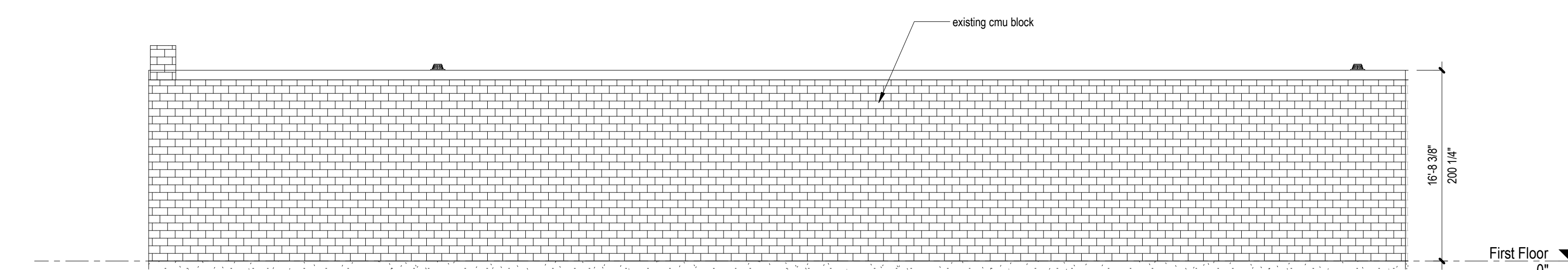
2	DESIGN REVIEW	06/23/2021
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SHEET NAME	

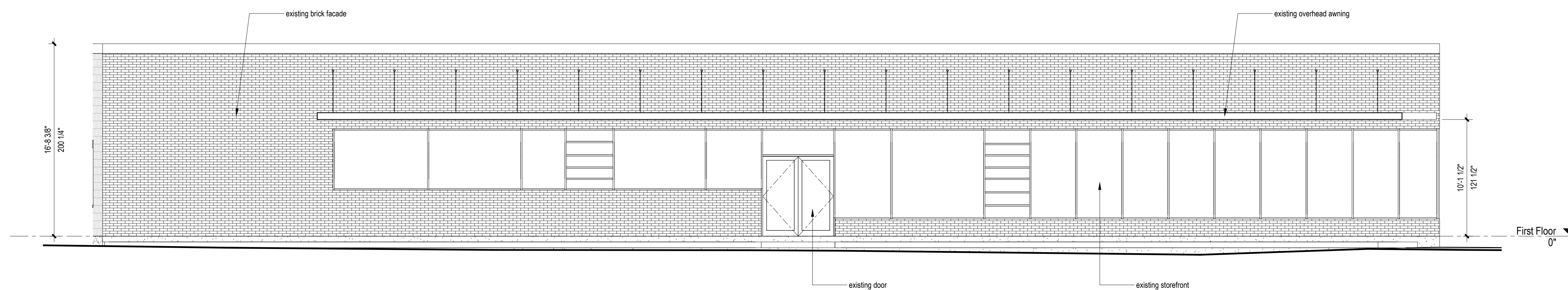
EXISTING BUILDING ELEVATIONS

EXISTING BUILDING FINISH

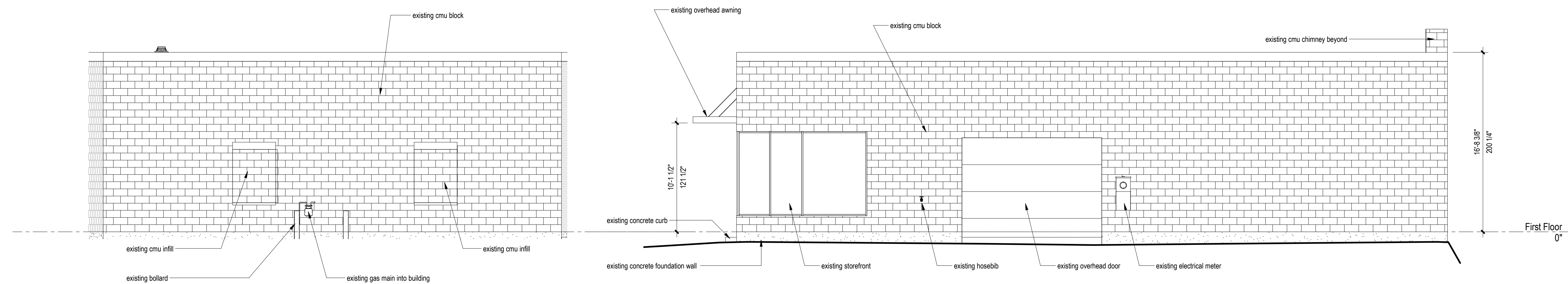
- concrete masonry unit
- brick masonry - running bond



4 EXISTING NORTH ELEVATION
A031 1/8" = 1'-0"



3 EXISTING SOUTH ELEVATION
A031 3/16" = 1'-0"



1 EXISTING EAST ELEVATION
A031 3/16" = 1'-0"

2 EXISTING WEST ELEVATION
A031 3/16" = 1'-0"



PROJECT INFORMATION

THE ENGINE YARD

40 ALPINE ROW
FRANKLIN, MA 02038

FOR ZONING

6/22/2021 10:18:02 PM

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ISSUE CHART

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1	PLANNING BOARD	06/23/2021

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	Approver	APPROVED
	1/8" = 1'-0"	SCALE
		SHEET NAME

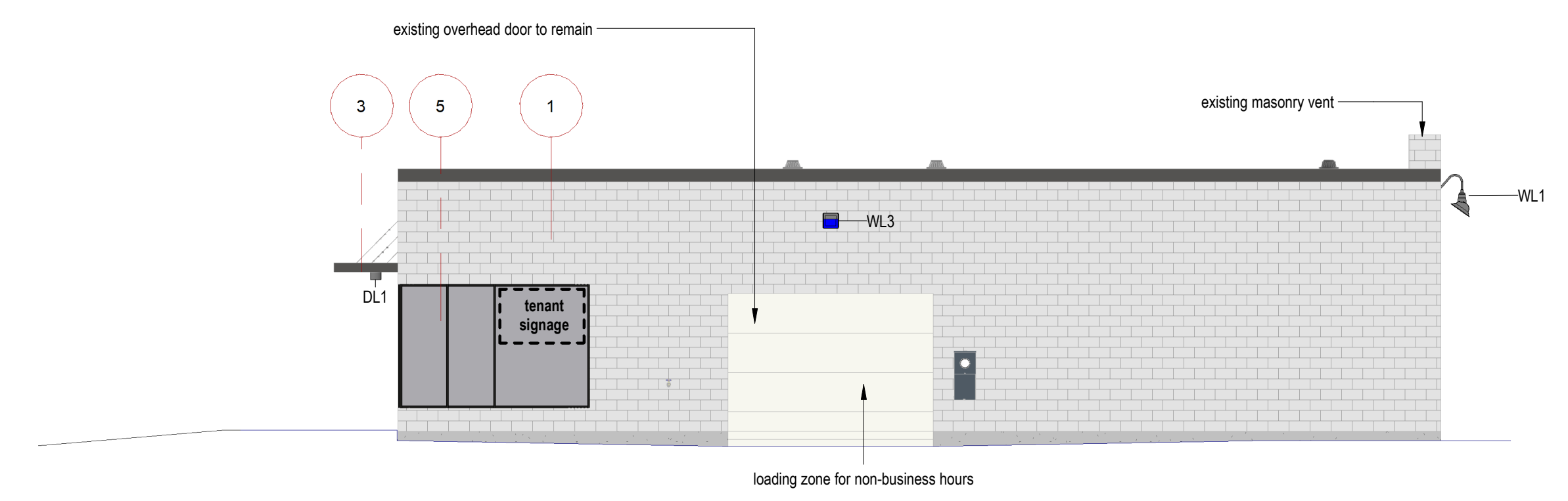
EXTERNAL ELEVATIONS

SHEET NUMBER

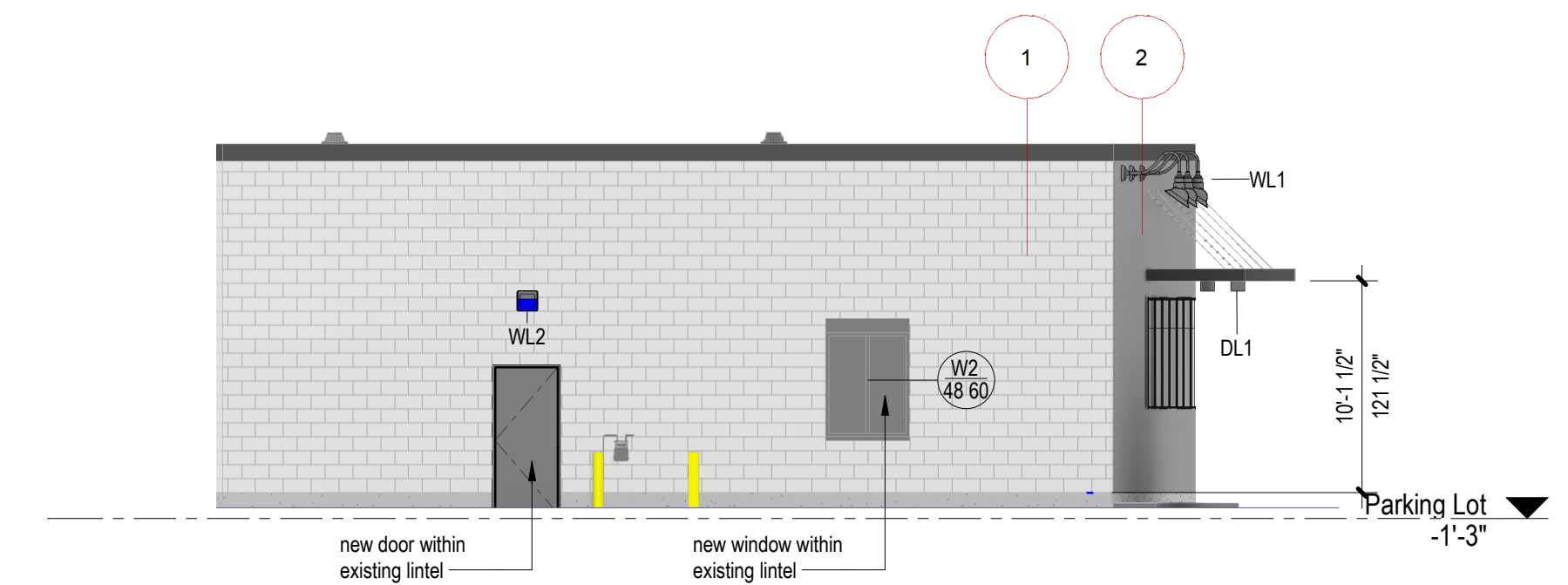
A200

PROPOSED BUILDING FINISHES

	1 concrete masonry unit; to be powerwashed clean & painted; sherwin-williams duration series SW 7006 extra white satin.		8 siding to be composite cement board; color new england pewter
	2 brick masonry - running bond; to be powerwashed clean & painted; sherwin-williams duration series SW 7006 extra white satin.		9 siding to be sugi ban (charred black natural wood)
	3 existing awning, awning angle support, and fascia trim to be painted; sherwin-williams duration series SW 6258 tricorn black matte		10 siding to be a natural pine (stained) or a natural looking composite pine.
	4 underside of existing awning to be painted; sherwin-williams duration series SW 7006 extra white satin		11 awnings to be a black metal fascia (satin black).
	5 existing storefront to be replaced with similar; new sealant and metal black satin finish.		12 parapet trim/ drip edge/window trim to be azek composite; color pantone 20-0100
	6 existing concrete landscape curb & new concrete ramp and steps to be painted; sherwin-williams H&C Acryla-deck; Muddy Gray HC172; with concrete sealer.		13 top parapet cap to be metal fascia; color satin black
	7 new landscaped surround to be concrete retaining wall block; painted sherwin-williams H&C Acryla-deck; Muddy Gray HC172		14 parapet cap @ balconies to be metal fascia; color satin black
			15 siding/trim to be composite cement board or azek; color khaki brown
			16 retaining wall; black ledge stone
			17 garage parking area openings to be concealed with open air louvre or fence to match the balconies above. black satin metal finish.
			18 siding to be composite cement board; color black



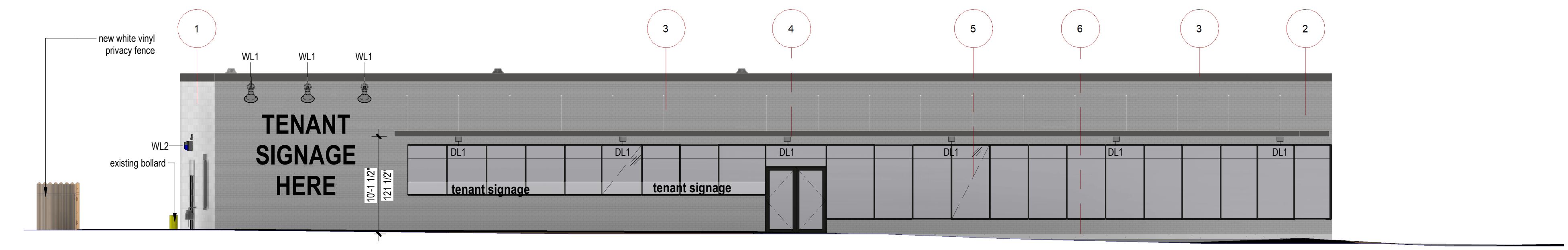
1
A200
PROPOSED EAST ELEVATION -
STRUCTURE A
1/8" = 1'-0"



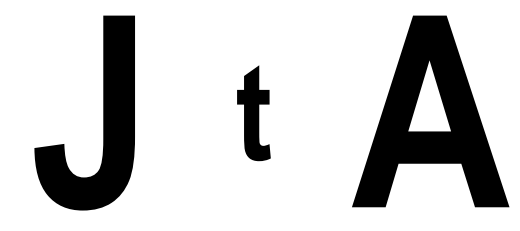
4
A200
PROPOSED WEST ELEVATION -
STRUCTURE A
1/8" = 1'-0"



2
A200
PROPOSED NORTH ELEVATION -
STRUCTURE A
1/8" = 1'-0"



3
A200
PROPOSED SOUTH ELEVATION -
STRUCTURE A
1/8" = 1'-0"



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WALKER DEVELOPMENT
5 MT. ROYAL AVENUE, MARLBOROUGH, MA 01752



THE ENGINE YARD

40 ALPINE ROW
FRANKLIN, MA 02038

FOR ZONING

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1	PLANNING BOARD	06/23/2021

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440	PROJECT NUMBER
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Approver	APPROVED
1/8" = 1'-0"	SCALE

EXTERNAL ELEVATIONS

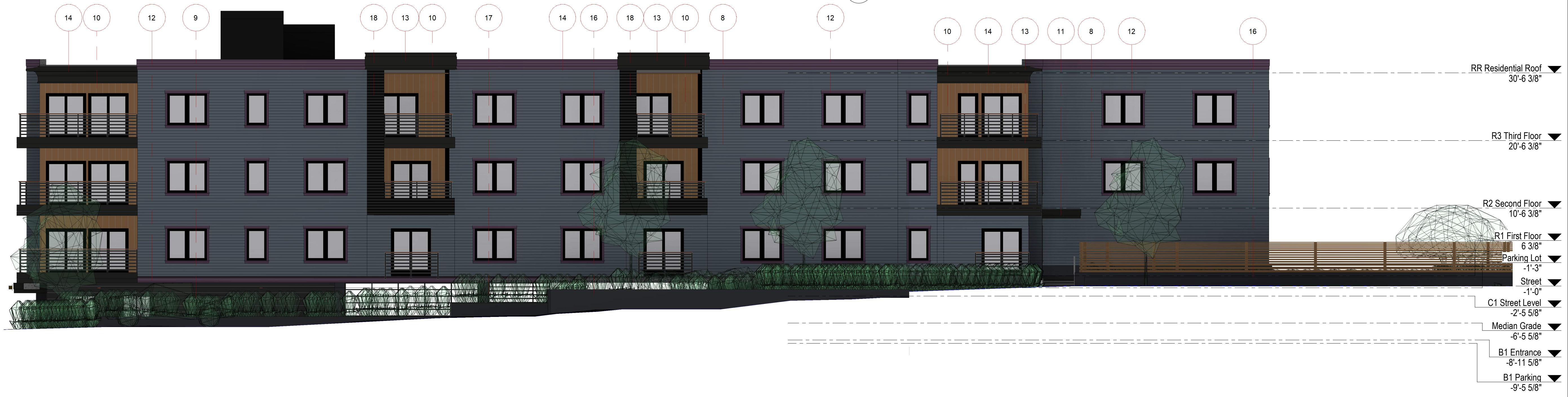
A201

PROPOSED BUILDING FINISHES

- 1 | concrete masonry unit, to be powerwashed clean & painted; sherwin-williams duration series SW 7006 extra white satin.
- 2 | brick masonry - running bond; to be powerwashed clean & painted; sherwin-williams duration series SW 7006 extra white satin.
- 3 | existing awning, awning angle support, and fascia trim to be painted; sherwin-williams duration series SW 6258 tricorn black matte
- 4 | underside of existing awning to be painted; sherwin-williams duration series SW 7006 extra white satin
- 5 | existing storefront to be replaced with similar; new sealant and metal black satin finish.
- 6 | existing concrete landscape curb & new concrete ramp and steps to be painted; sherwin-williams H&C Acryla-deck; Muddy Gray HC172; with concrete sealer.
- 7 | new landscaped surround to be concrete retaining wall block; painted sherwin-williams H&C Acryla-deck; Muddy Gray HC172
- 8 | siding to be composite cement board; color new england pewter
- 9 | siding to be sugi ban (charred black natural wood)
- 10 | siding to be a natural pine (stained) or a natural looking composite pine.
- 11 | awnings to be a black metal fascia (satin black).
- 12 | parapet trim/ drip edge/window trim to be azek composite; color pantone 20-0100
- 13 | top parapet cap to be metal fascia; color satin black
- 14 | parapet cap @ balconies to be metal fascia; color satin black
- 15 | siding/trim to be composite cement board or azek; color khaki brown
- 16 | retaining wall; black ledge stone
- 17 | garage parking area openings to be concealed with open air louvre or fence to match the balconies above. black satin metal finish.
- 18 | siding to be composite cement board; color black

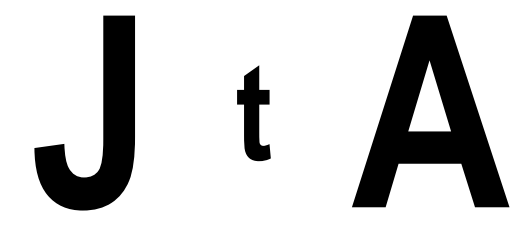


1
A201
PROPOSED ELEVATION EAST -
STRUCTURE B
1/8" = 1'-0"



3
A201
PROPOSED ELEVATION NORTH B -
STRUCTURE B
1/8" = 1'-0"

2
A201
PROPOSED ELEVATION NORTH A -
STRUCTURE B
1/8" = 1'-0"



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WALKER DEVELOPMENT
5 MT. ROYAL AVENUE, MARLBOROUGH, MA 01752



THE ENGINE YARD

40 ALPINE ROW
FRANKLIN, MA 02038

FOR ZONING

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N	ISSUE	DATE
	440	PROJECT NUMBER
	as	CHECKED
	ac	APPROVED
	1/8" = 1'-0"	SCALE

EXTERNAL ELEVATIONS

A202

PROPOSED BUILDING FINISHES

	1 concrete masonry unit, to be powerwashed clean & painted; sherwin-williams duration series SW 7006 extra white satin.		8 siding to be composite cement board; color new england pewter
	2 brick masonry - running bond; to be powerwashed clean & painted; sherwin-williams duration series SW 7006 extra white satin.		9 siding to be sugi ban (charred black natural wood)
	3 existing awning, awning angle support, and fascia trim to be painted; sherwin-williams duration series SW 6258 tricorn black matte		10 siding to be a natural pine (stained) or a natural looking composite pine.
	4 underside of existing awning to be painted; sherwin-williams duration series SW 7006 extra white satin		11 awnings to be a black metal fascia (satin black).
	5 existing storefront to be replaced with similar; new sealant and metal black satin finish.		12 parapet trim/ drip edge/window trim to be azek composite; color pantone 20-0100
	6 existing concrete landscape curb & new concrete ramp and steps to be painted; sherwin-williams H&C Acryla-deck; Muddy Gray HC172; with concrete sealer.		13 top parapet cap to be metal fascia; color satin black
	7 new landscaped surround to be concrete retaining wall block; painted sherwin-williams H&C Acryla-deck; Muddy Gray HC172		14 parapet cap @ balconies to be metal fascia; color satin black
			15 siding/trim to be composite cement board or azek; color khaki brown
			16 retaining wall; black ledge stone
			17 garage parking area openings to be concealed with open air louvre or fence to match the balconies above. black satin metal finish.
			18 siding to be composite cement board; color black



3 PROPOSED ELEVATION WEST - STRUCTURE B
A202 1/8" = 1'-0"



1 PROPOSED ELEVATION SOUTH A - STRUCTURE A
A202 1/8" = 1'-0"

2 PROPOSED ELEVATION SOUTH B - STRUCTURE B
A202 1/8" = 1'-0"

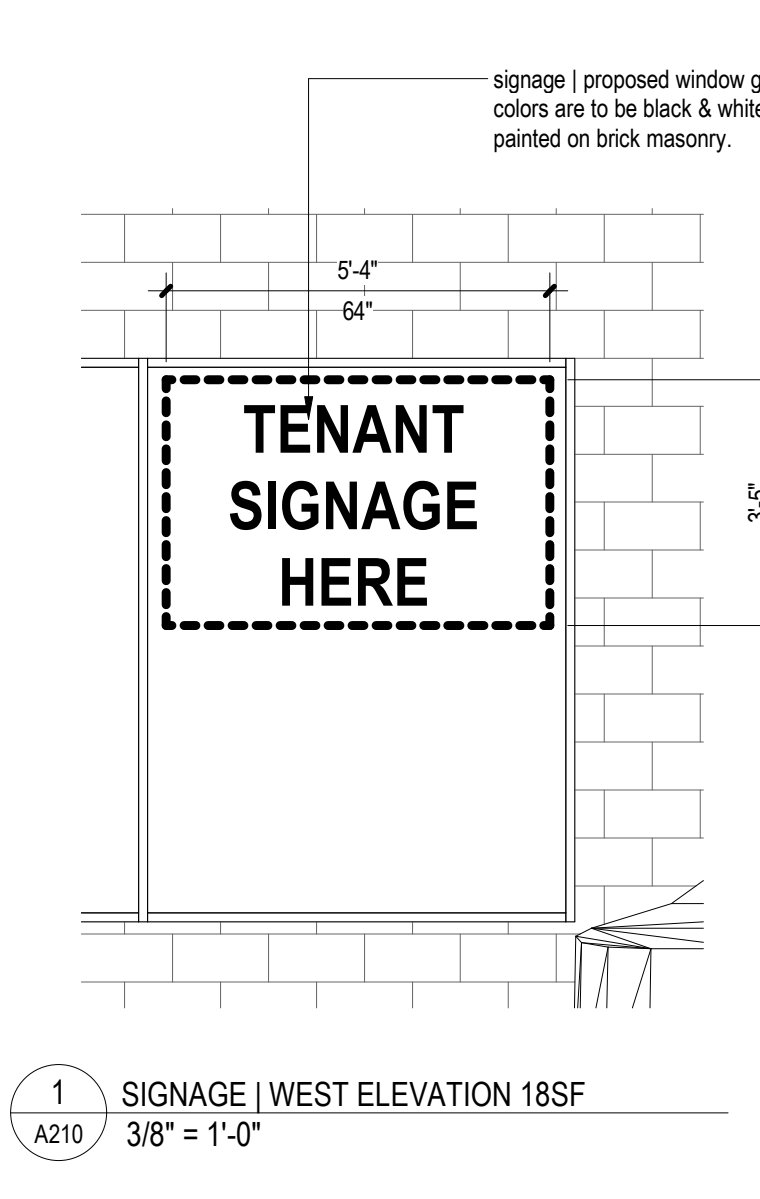
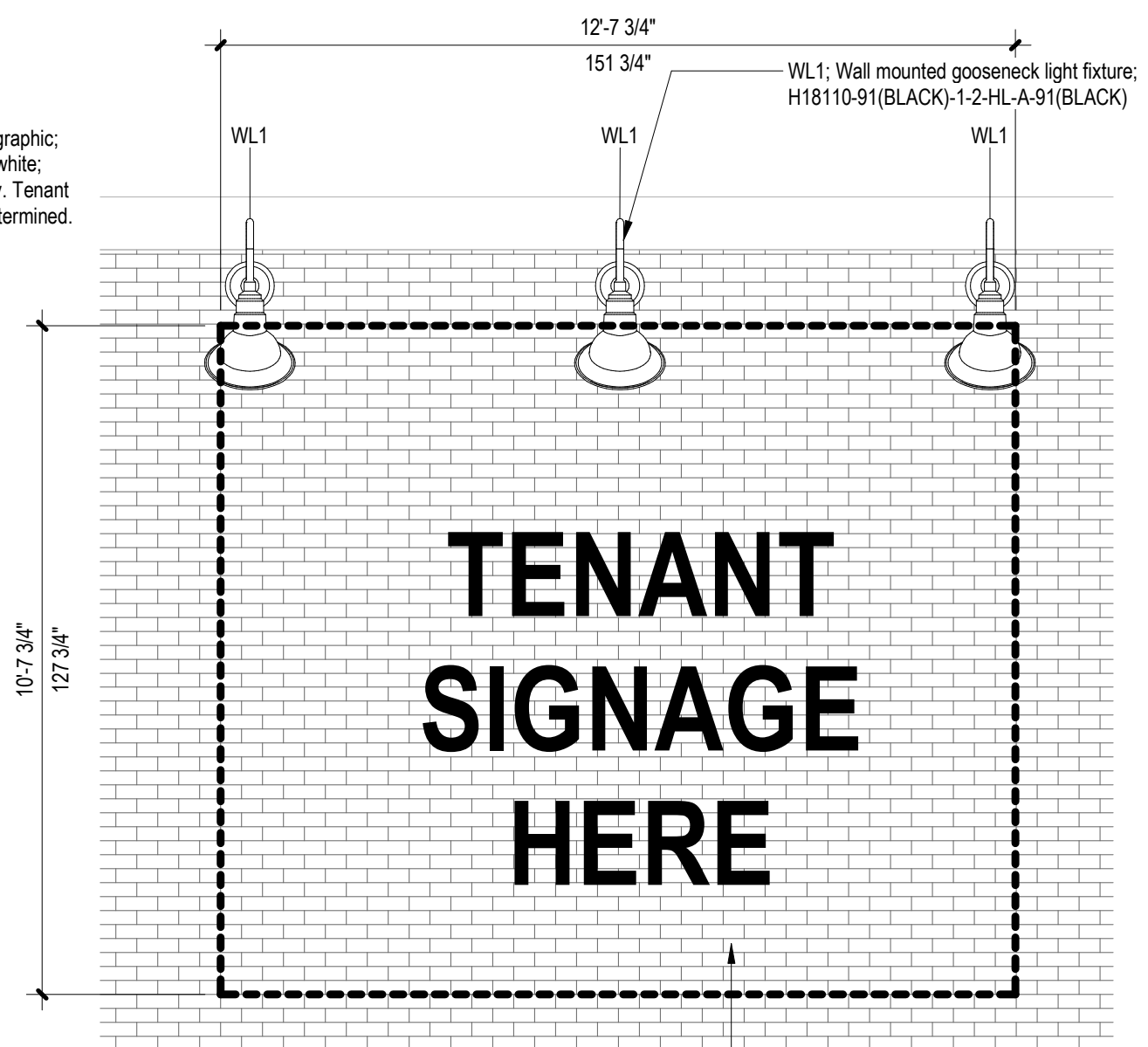
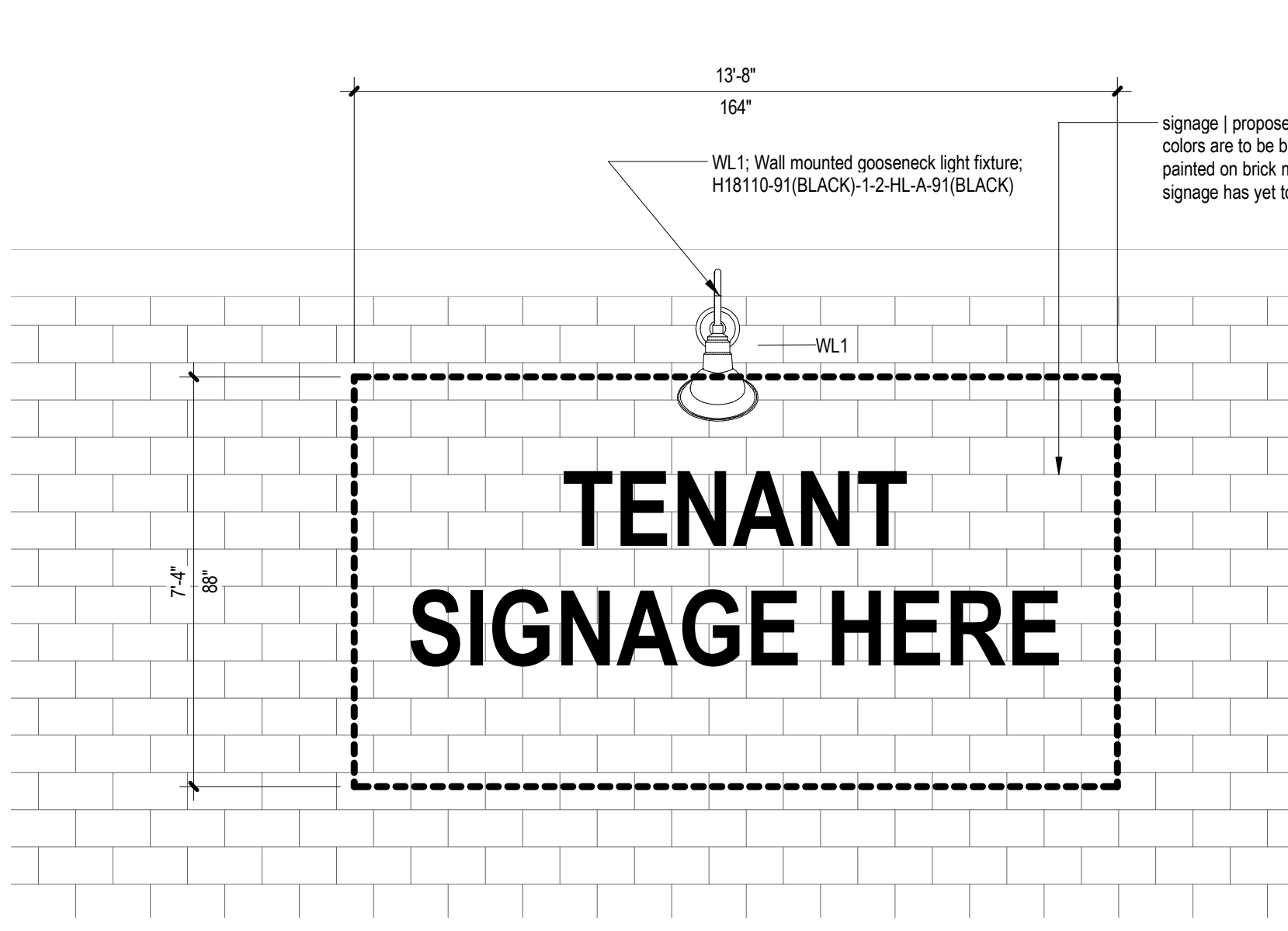


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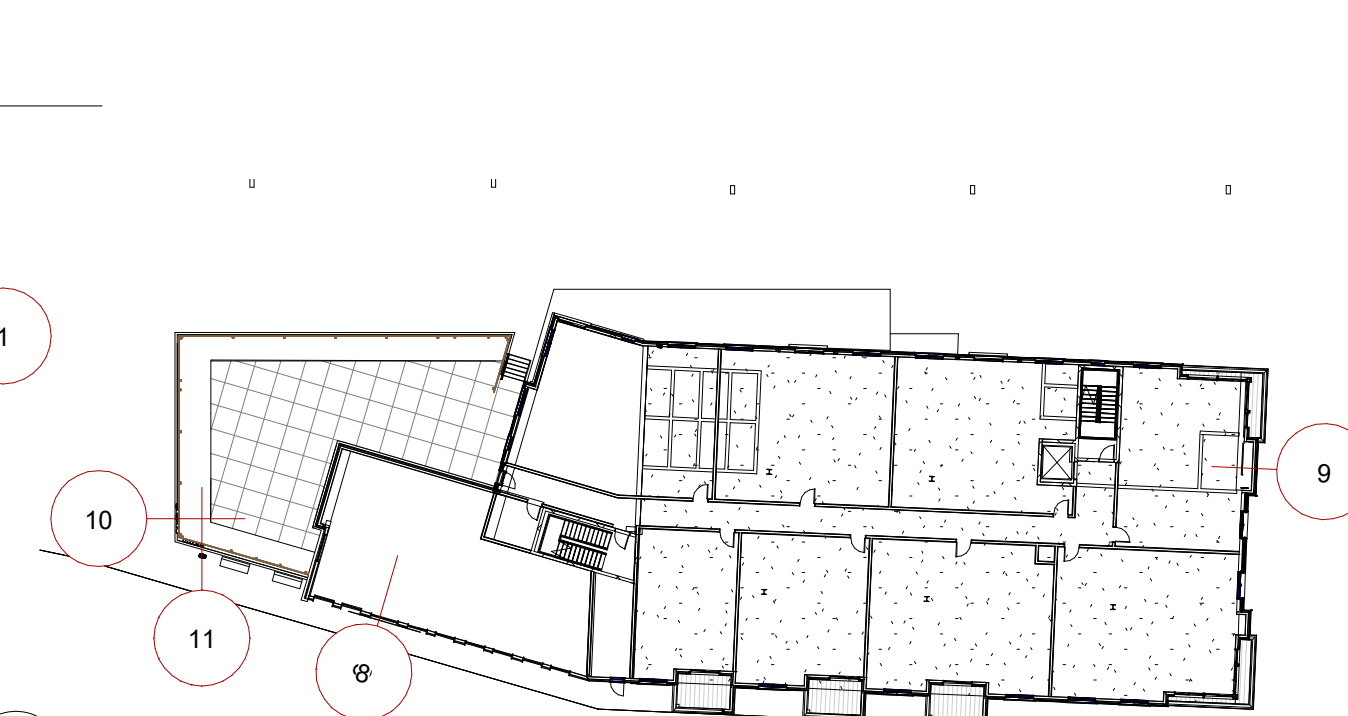
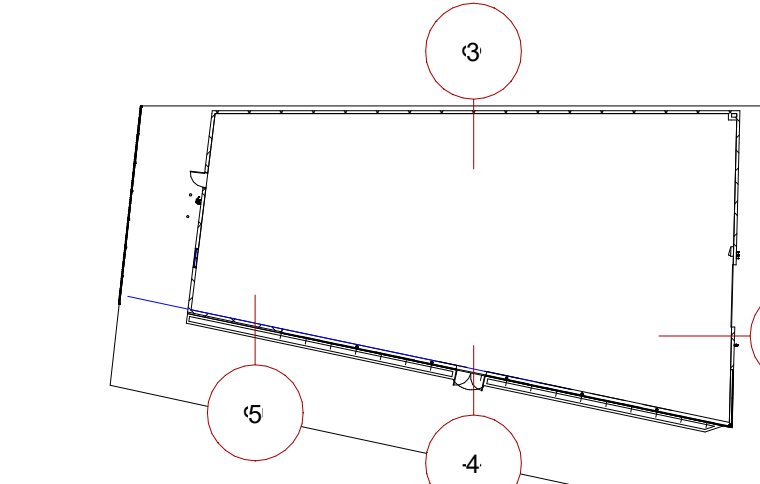
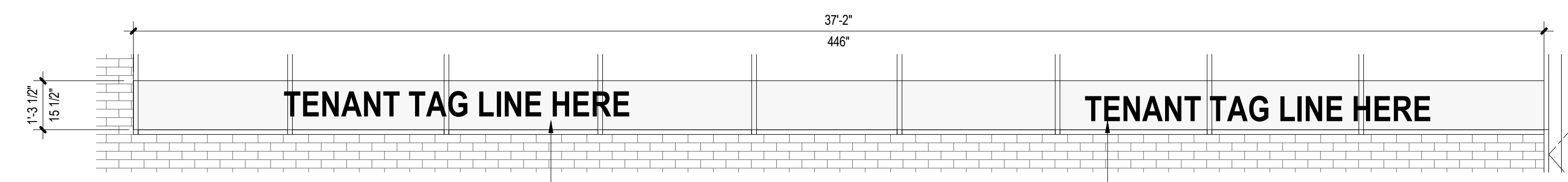
EXTERNAL SIGNAGE

Sign Type	Downtown Commercial District ¹	Downtown Commercial District ²
Wall Signs		
First floor storefront facing street	No more than 24 square feet or 10% of front facade ¹	and no more than 7 feet high
First floor storefront facing street corner	No more than 36 square feet or 15% of 1 facade divided into 2 ¹	One shared sign no more than 40 square feet and no more than 14 feet high
Upper floors facing street	Not permitted	Multiple establishments on same property with access from two roadways
Freestanding Signs		
Single establishment	One sign no more than 30 square feet and no more than 14 feet high	One additional freestanding sign permitted near secondary access drive, no more than 15 square feet and no more than 7 feet high
Single establishment with access from two roadways	One additional freestanding sign permitted near secondary access drive, no more than 15 square feet	
Window Signs		
First floor facing street	No more than 6 square feet or 10% of window surface ¹	
Upper floors facing street	No more than 4 square feet or 10% of window surface ¹	
Door signs	No more than 2 square feet	
Reader Boards		
Attached to freestanding sign	Manual with no more than 3 lines of text	
Awning or Canopy Signs		
First floor	No more than 10 square feet of signage	
Upper floors	Not permitted	
Off-Site Signs		
Freestanding or wall	Not permitted	
Temporary Signs		
Non-profits and charities	Check for availability of Town display	
Project construction signage	No more than 80 square feet or 1 square foot per linear foot of frontage ¹	
All other temporary signs	See § 185-20D	
Public Use and Safety Signs		
All sign types	Permitted	
Political Signs		
Freestanding or wall	No more than 32 square feet	



3 SIGNAGE | NORTH ELEVATION 100SF
3/8" = 1'-0"

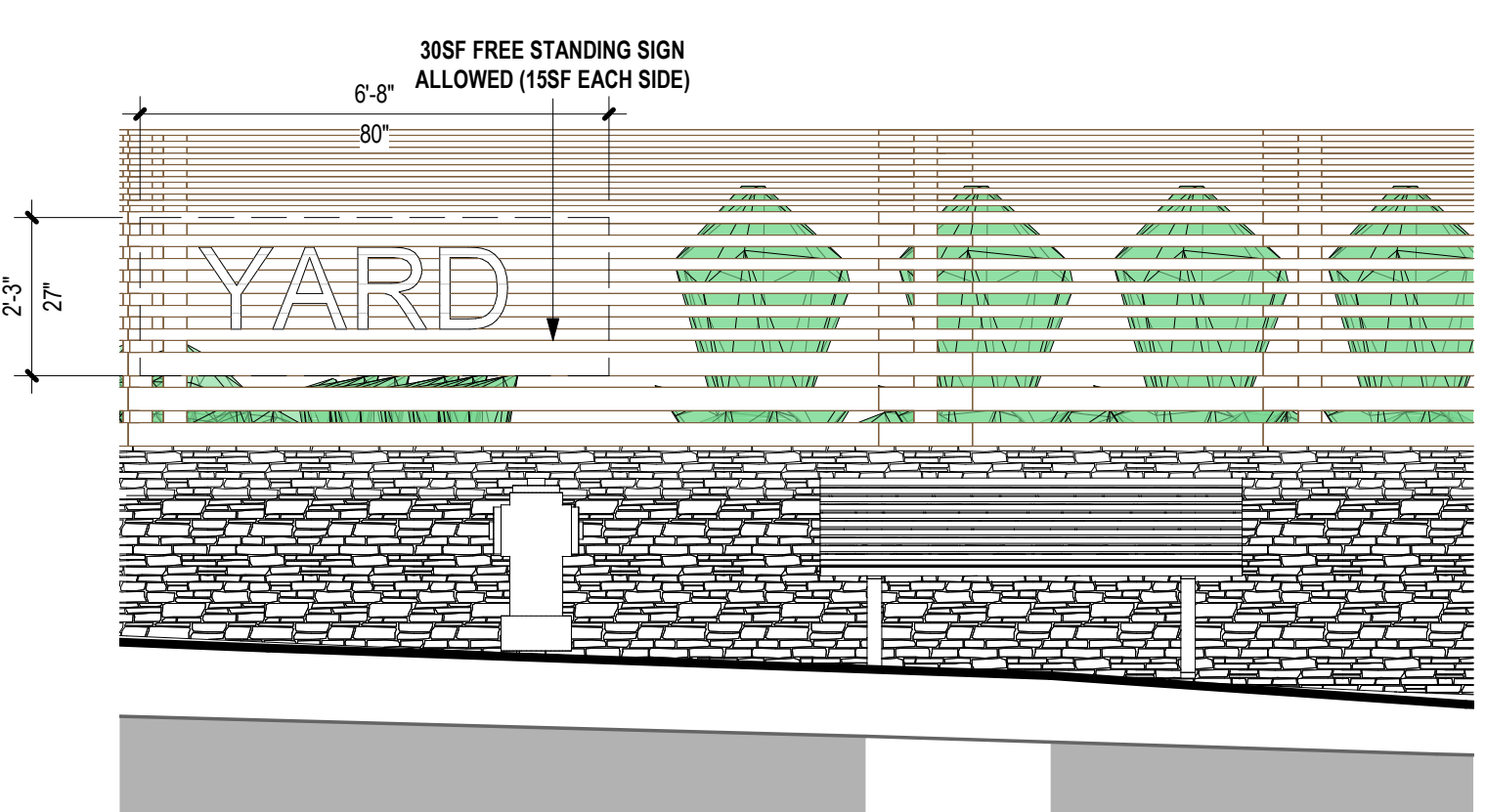
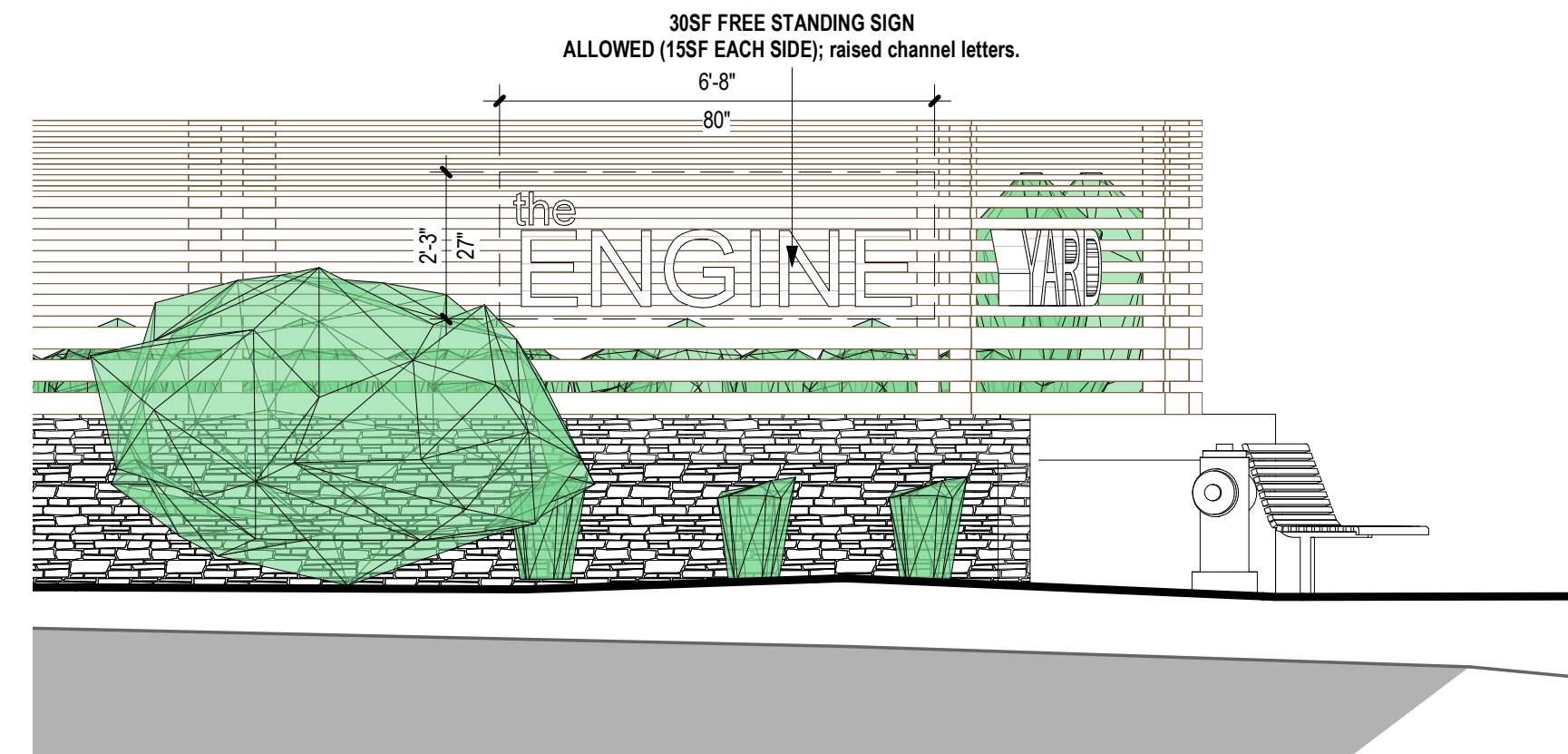
5 SIGNAGE | SOUTH ELEVATION 134SF
20 PERCENT OF STOREFRONT
3/8" = 1'-0"



4 SIGNAGE | SOUTH ELEVATION 48SF
3/8" = 1'-0"

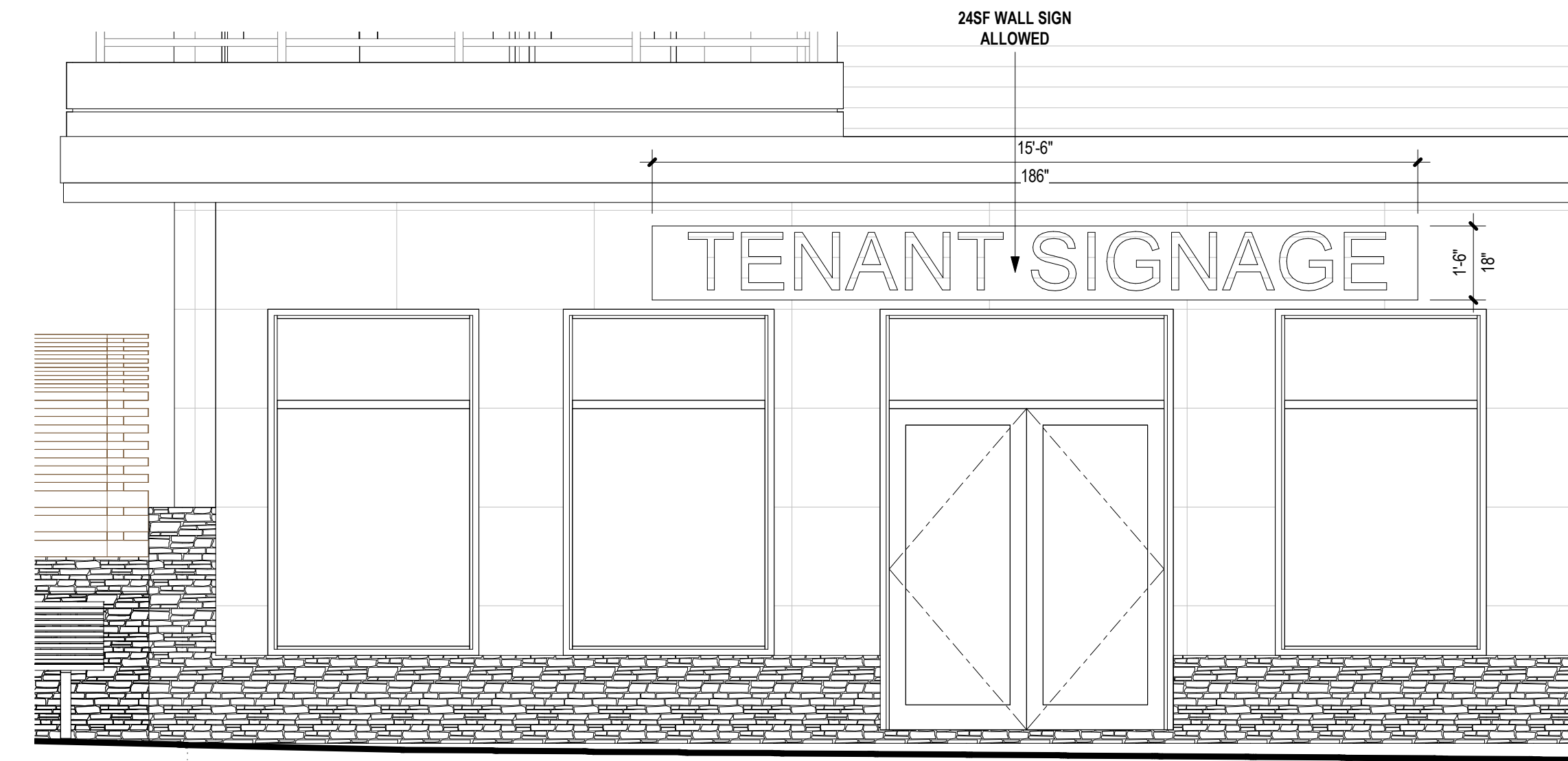
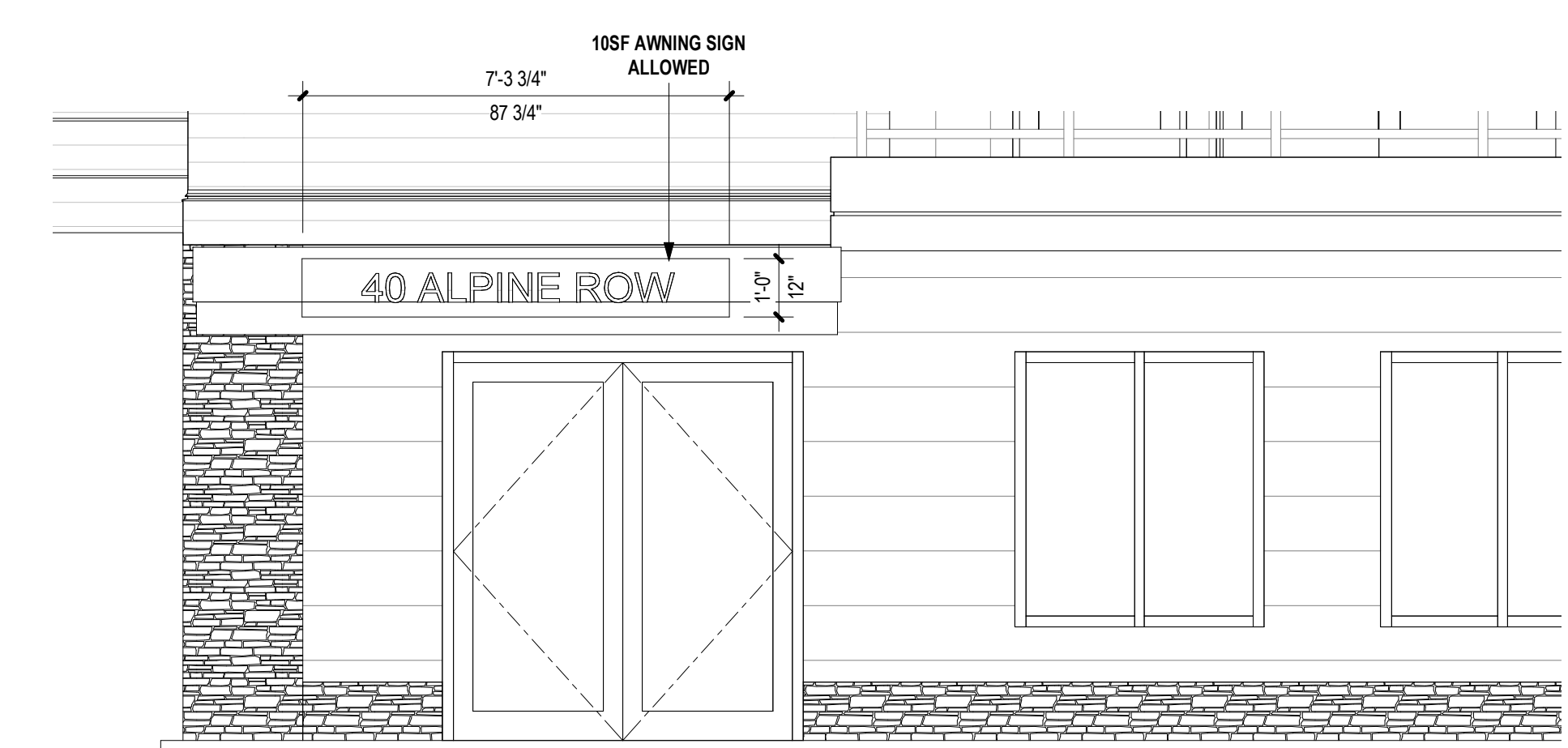
2 SIGNAGE KEYPLAN BUILDING A
1" = 40'-0"

7 SIGNAGE KEYPLAN BUILDING B
1" = 40'-0"



10 SIGNAGE - DRIVE ENTRANCE A
3/8" = 1'-0"

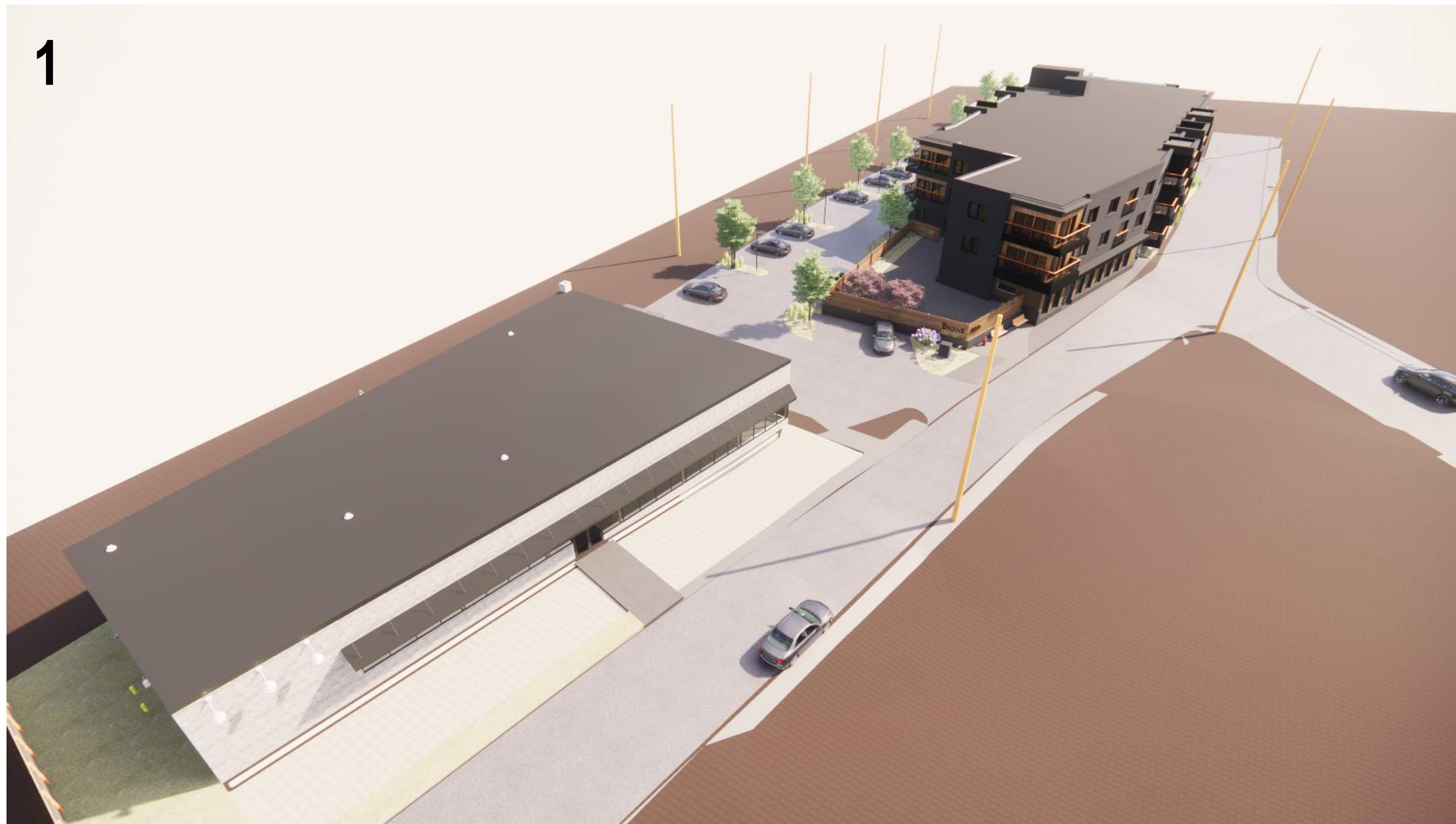
11 SIGNAGE - DRIVE ENTRANCE B
3/8" = 1'-0"



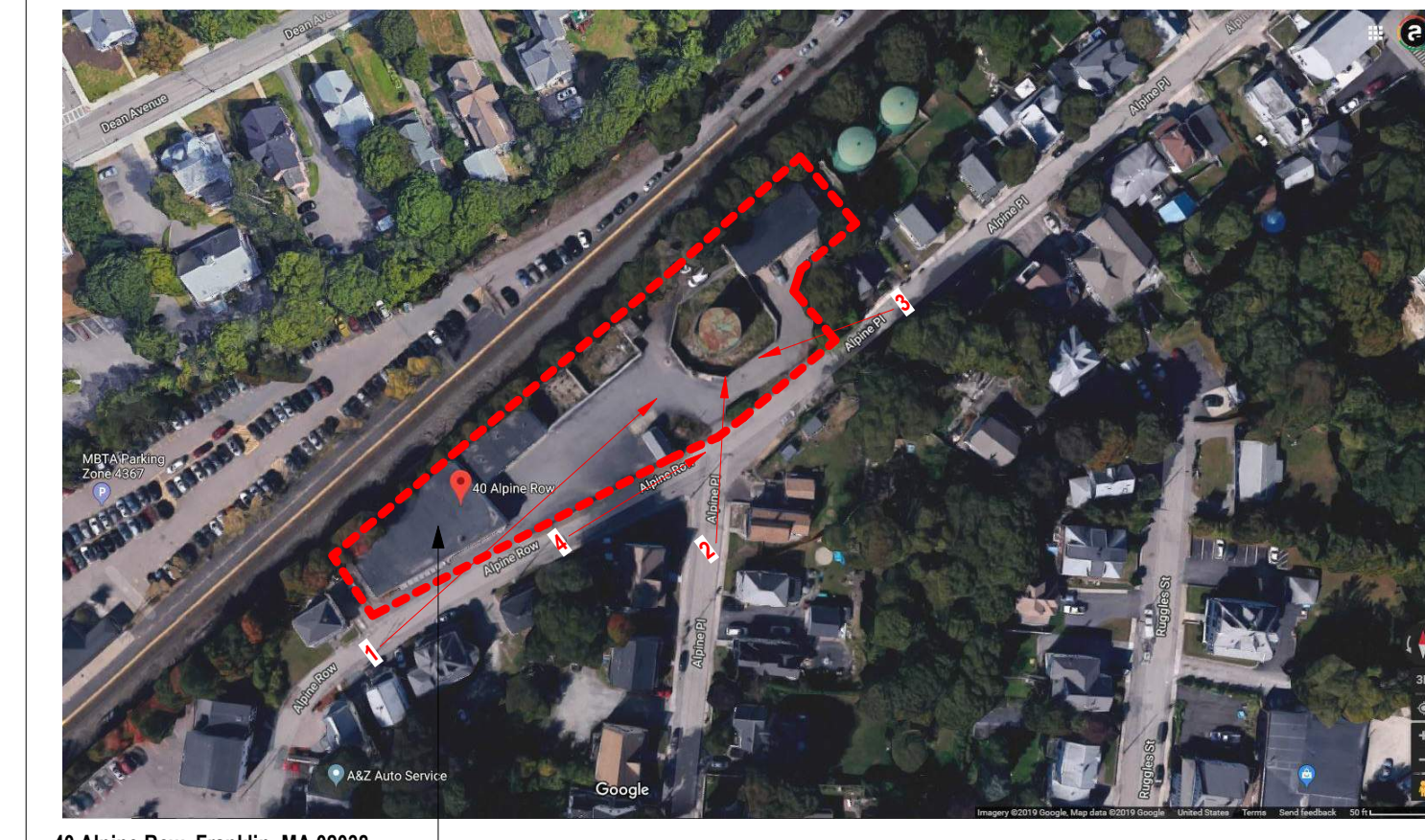
9 SIGNAGE - RESIDENTIAL ENTRANCE
3/8" = 1'-0"

8 SIGNAGE - COMMERCIAL TENANT
3/8" = 1'-0"

1



LOCUS MAP | IMAGE LOCATION KEY



40 Alpine Row, Franklin, MA 02038

GENERAL NOTES AND LEGENDS
3D VIEWS/RENDERING DISCLAIMER

1. the 3d views, photographs, and renderings on this sheet are to be used for general reference only, the contents of this sheet should not be used for any means of construction for the project, the contents of this sheet are strictly to provide a general idea of design intent, refer to the construction document technical drawings for specific information.
2. landscaping is shown for illustration only, refer to landscape drawings for detailed information.

2



3



4



DESIGN FIRM

J t A

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www.joethearchitect.com

CLIENT



WALKER DEVELOPMENT
5 MT. ROYAL AVENUE, MARLBOROUGH, MA 01752

CONSULTANT

SEAL



KEY PLAN

PROJECT INFORMATION

THE ENGINE YARD

40 ALPINE ROW
FRANKLIN, MA 02038

FOR ZONING

6/22/2021 10:18:23 PM

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ISSUE CHART

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	12" = 1'-0"	SCALE

SHEET NAME

**PROPOSED
BUILDING
RENDERINGS**

SHEET NUMBER

A910

Town of Franklin



Design Review Commission
Tuesday, June 15, 2021
Meeting Minutes

Chair James Bartro called the above-captioned meeting to order this date at 7:00 PM, **as a Remote Access Virtual Zoom Meeting**. Members in attendance: Chair James Bartro, Sam Williams, Mark Fitzgerald, Gerald Wood, Venkata Sompally. Members absent: Chris Baryluk. Also present: Maxine Kinhart, Administrative Assistant.

As stated on the agenda, due to the continued concerns regarding the COVID-19 virus, this meeting will be conducted as a Remote/Virtual Design Review Commission meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number, or citizens can participate by using the Zoom link provided on the agenda.

Chair Bartro authorized Associate member Venkata Sompally to vote.

Note: Agenda items taken out of order.

1. Botera – 1256 West Central Street- Install two sets of channel letter signs and update freestanding sign.

Two representatives of Best Price Signs and Printing, representing the applicant, addressed the Commission. Representative stated there is currently a free-standing pylon sign; however, it is damaged to some capacity. They will be updating the sign. She stated that they will also install two sets of channel letter signs on the building of size 12' long x 2' tall. She reviewed the location of the two building signs and the location of the entrance door to the building. She confirmed the sign will be internally lit. Chair Bartro stated that he would like to see the white background have a translucency to help the light go through the logo and the letters. The representative stated that was not a problem. Mr. Fitzgerald noted that there were spaces for four signs on the pylon. He asked if there were space in the building for four tenants. He noted that at this time, Botera has maxed out the allowable signage on the building. Additional tenants could only use the pylon sign. The representative stated that Ford Auto Works already has a sign above the garage on the building. She noted that Botera owns the building. Mr. Fitzgerald suggested Botera, as the building owner, return to the Commission with a uniform presentation; the four tenants cannot have multiple signs all over the building as Botera has already utilized the allowed 48 sq. ft. of signage. He stated that the Commission can approve the pylon at this time. Chair Bartro requested the applicant provide a sign attachment method. The applicant agreed to return to the next Design Review Commission meeting regarding the building signage.

Motion: To **Approve** the pylon sign as submitted with the stipulation of the shielding on the white background at night. Motioned by M. Fitzgerald. Seconded by S. Williams. Roll Call Vote: Bartro-YES; Williams-YES; Wood-YES; Sompally-YES; Fitzgerald-YES. Voted 5-0-0.

- 2. Shops at Franklin – 340 East Central Street-** Install new double sided, internally illuminated pylon sign.

Christopher Ramm of Poyant Signs addressed the Commission. He reviewed the sign package submission to install new multiple tenants, double sided, internally illuminated pylon sign. He stated this passed through the ZBA. Chair Bartro stated that he had concerns about the white background. He stated that the Commission will need to review the signs for each individual tenant. Mr. Fitzgerald discussed the location of the signs on the building and the location of cables.

Motion: To **Approve** the sign cabinet as submitted with the condition that each tenant present their sign for review individually or as a group; this motion is not an approval of the individual tenant signs. Motioned by S. Williams. Seconded by G. Wood. Roll Call Vote: Bartro-YES; Williams-YES; Wood-YES; Sompally-YES; Fitzgerald-YES. Voted 5-0-0.

- 3. iFixPhones – 15 East Central Street-** Install a sign without connecting to electricity.

Chair Bartro confirmed there was no representative for this item present at the Zoom meeting. He stated that he still has concerns about the sign and attachment method shown on the submittal.

General Matters:

Chair Bartro stated that Chris Baryluk submitted a letter requesting to step down as Vice Chair of the Design Review Commission and requested to become an Associate member of the Commission.

Motion: To **Nominate** Sam Williams as Vice Chair. Motioned by J. Bartro. Seconded by G. Wood. Roll Call Vote: Bartro-YES; Williams-YES; Wood-YES; Sompally-YES; Fitzgerald-YES. Voted 5-0-0.

Commission members agreed to recommend Venkata Sompally as Full member of the Commission.

Approval of Meeting Minutes: May 18, 2021 and June 1, 2021

Commission members reviewed the meeting minutes. The sign approval and procedure for the Pop Shops was discussed. Chair Bartro stated that he was going to send a note to Building Commissioner Gus Brown regarding Pop Shop signage.

Motion: To **Approve** the May 18, 2021 Meeting Minutes as presented. Motioned by G. Wood. Seconded by S. Williams. Roll Call Vote: Bartro-YES; Williams-YES; Wood-YES; Sompally-YES; Fitzgerald-YES. Voted 5-0-0.

Chair Bartro noted that a letter was sent to Ms. Whalen; the Commission has not heard back from Ms. Whalen.

Motion: To **Approve** the June 1, 2021 Meeting Minutes as presented. Motioned by S. Williams. Seconded by G. Wood. Roll Call Vote: Bartro-YES; Williams-YES; Wood-YES; Sompally-YES; Fitzgerald-YES. Voted 5-0-0.

Motion to Adjourn by G. Wood. Seconded by V. Sompally. Roll Call Vote: Bartro-YES; Williams-YES; Wood-YES; Sompally-YES; Fitzgerald-YES. Voted 5-0-0.

Meeting adjourned at 7:36 PM.

Respectfully submitted,

Judith Lizardi
Recording Secretary