## DESIGN REVIEW COMMISSION AGENDA

TOWN OF FRANKLIN
TOWN CLERK

2016 JAN -5 AM 9: 38

Tuesday, January 9, 2018 7:00 PM.
Municipal Building, 355 East Central Street
2<sup>nd</sup> Floor, Room 205

RECEIVED

**7:00 PM** Highland Village- 278, 280, 300 West Central Street Sign & Site Plan

**7:10 PM** McDonalds- 345 East Central Street Site Plan

#### **General Matters**

Approval of Meeting Minutes from 12-19-17

COMMENTS: These listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

This agenda is subject to change. Last updated: January 4, 2018

The next meeting of the Design Review Commission is tentatively scheduled for January 23, 2018

# Design Review Filing for Highland Village 278, 280, & 300 West Central Street Franklin, MA.

Date: October 12, 2017

Applicant Joel D'Errico 72 Deerview Way Franklin, MA. 02038



55 West Central Street Franklin, MA.02038 Tel.: 508-528-3221

#### FORM Q

## TOWN OF FRANKLIN DESIGN REVIEW APPLICATION FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information
Name of Business or Project: Highland Village Condominiums
Property Address 278-280-300 West Central St
278 Parcels 031 032 035 Assessors' Map # Parcel #
Zoning District (select applicable zone): GR 5
Zoning History: Use VarianceNon-Conforming Use
B) Applicant Information:
Applicant Name: Joel D'Errico
Address: 72 Deer View Way Franklin Mass
Telephone Number: 508-439-0022 joelwderrico@gmail.com
Contact Person: Joel D'Errico
C) Owner Information (Business Owner & Property Owner if different)
Business Owner: Property Owner: 280
All of the information is submitted according to the best of my knowledge  Signature  Date Submitted
Print Name: Joel D'Errico

\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY. FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 – 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

7	Architect/Engineer/Sign Company information (if not the applicant)	
	. Sign Company	
	siness Name: Swenson Granite	
	ontact Person:	
	ontact Person: Medway Mass	
	lephone Number:	
	. Architect/Engineer (when applicable)	
	siness Name: <u>Michael J Konosky</u>	
	ontact Person: Michael Konosky Idress Upper Union St Franklin Ma	
	lephone Number: 508-520-1965	
	Work Summary	
	mmary of work to be done: 30 unit condominium development	
	roadway entrances, curved stone wall entrances with granite	inļay sign
	HLAND VILLAGE lit by one low watt bulb, coach light on to	p of wall
Wa	are approx 30" high Inlay granite sign 66" long 4 inch in Information & Materials to be Submitted with Application HIGHLAND VI	letters LLAGE
	FOR SIGN SUBMISSIONS ONLY:	

## 1. Drawing of Proposed Sign which must also include

type of sign (wall, pylon etc.)

colors

size/dimensions

APPLICATION

materials

style of lettering

lighting-illuminated, non-illuminated and style

- 2. Drawing and/or pictures indicating location of new sign.
- 3. Picture of existing location and signs (if previously existing location)

## b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH

### NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

- 1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
- 2. Lighting Plan indicating lighting levels & specifications of proposed lights
- 3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
- 4. Drawings or pictures of existing conditions
- 5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

## **DESIGN STANDARDS**

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

	of proposed townhouse buildings 26'
windows shall be compatible	and Doors – The proportions and relationships between doors and with the architectural style and character of the surrounding area.
between it and adjoining stru	esses and Spaces – The relationship of a structure to the open space ctures shall be compatible.
in faction	mpiras with GR3 satogoks
4. <b>Roof Shape</b> – The design character of the surrounding	and pitch of the roof shall be compatible with the architectural style and buildings follow neighborhood
	eactor in architecture and height
5. Scale – The scale of the st	
cha	racter in architecture and height
5. Scale – The scale of the st the surrounding buildings 6. Façade, Line, Shape & P	ructure shall be compatible with its architectural style and the character
5. Scale – The scale of the st the surrounding buildings 6. Façade, Line, Shape & P	ructure shall be compatible with its architectural style and the character  Fellows neighborhood character  rofile – Facades shall blend with other structures in the surrounding area

permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties.
Project shall add value to neighborhood
9. <b>Heritage</b> – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable.
No historical disruption
10. <b>Energy Efficiency</b> – To the maximum extent reasonably practicable, proposals shall utilize energy efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements.
All buildings shall meet of exceed codes
11. <b>Landscape</b> - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.
A nice mix of Hybrid Poplar, Thuja Arborvitae and multi colored Rose Of Sharon thruout buildings

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

Form Q-DRC Application-2009 P/6DesRevCom/Forms&Checklists To: Planning Board

From: Council Advisory Committee

Subject: Highland Village Condominiums

Date: 18 September 2017

#### Dear Board Members:

Please be advised the Committee entertained the above- named subject on two occasions in 2016. After a lengthy presentation, and discussion, it was voted to endorse the proposal and support the development. The development support was based on the following:

It meets the objective of the Committee and it's charge under the Council, which is to support and encourage "...quality development that provides economic benefit to the community at minimum impact and is aesthetically enhancing."

The location (arterial roadway/state highway) and improvement to the existing site, as well as an aspect of needed housing, and projected financial benefit, as alluded to above, all are testament to the decision of the Committee, and we ask that you respectfully consider this recommendation in your deliberations.

The Committee is at your disposal should you require or desire any additional information.

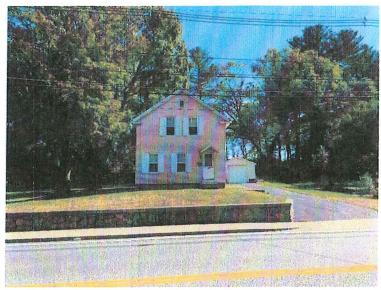
Yours truly,

L.P. Benedetto, Chairman Council Advisory Committee

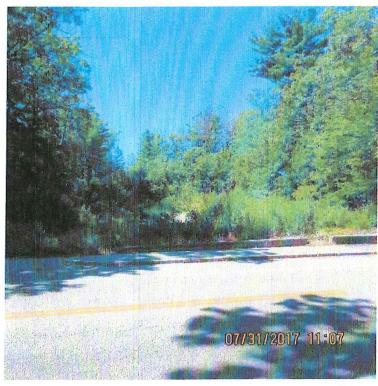
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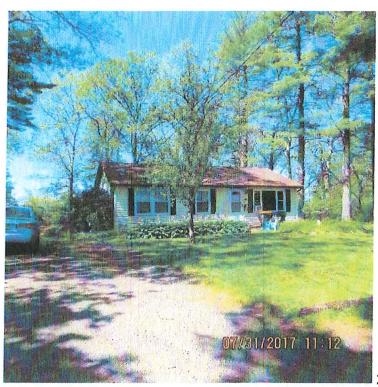
# Highland Village Franklin MA – proposed site



300 West Central Street- to be razed



278 West Central Street



280 West Central Street- to be razed

## **Highland Village**

## Franklin, MA.- abutting properties



108, 268, 270, 272,274

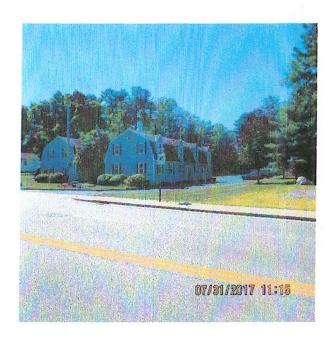
Typical Units 98,100, 102,104,106,



286 West Central Street (left)

290 West Central Street (right)

Highland Village
Franklin, MA.- abutting properties





308 West Central Street



308 West Central Street

Highland Village
Franklin, MA.- properties across West Central Street



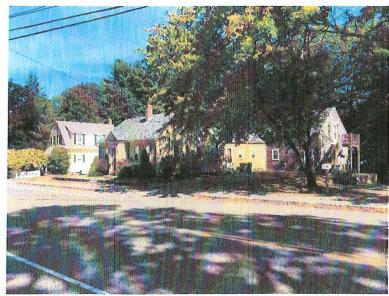
295 West Central Street



299 West Central Street



285 West Central Street



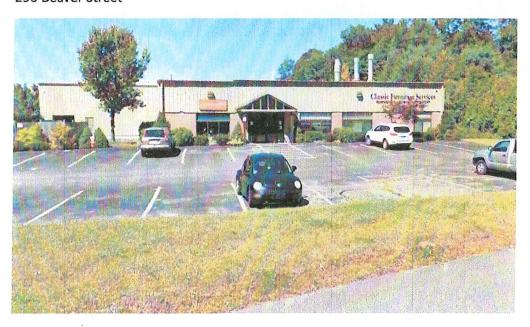
281 West Central Street

## Highland Village

## Franklin, MA.- abutting properties to the rear of site



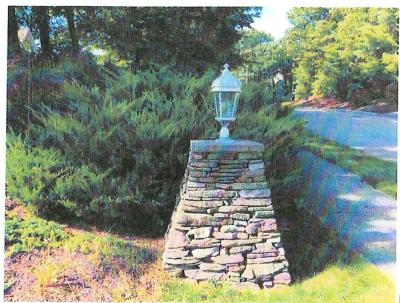
290 Beaver Street



90 Hayward Street

## Highland Village

## Franklin MA – Examples of entrances



Proposed stone entrance with coach lighting



Proposed signage for entrance

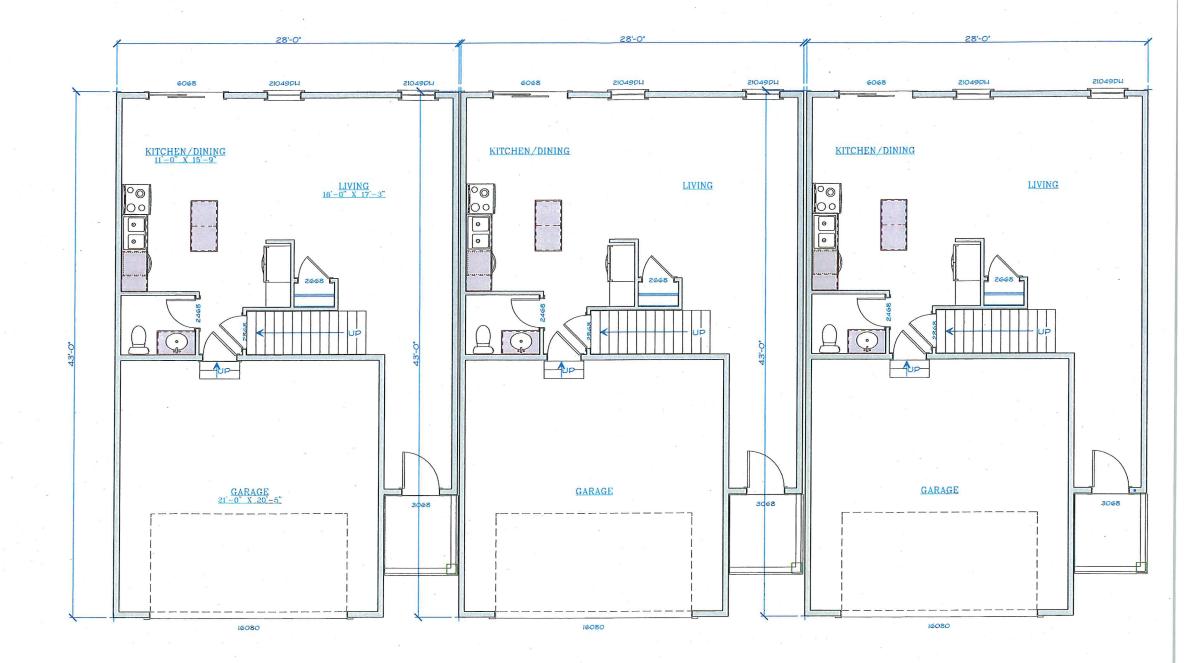
and exit

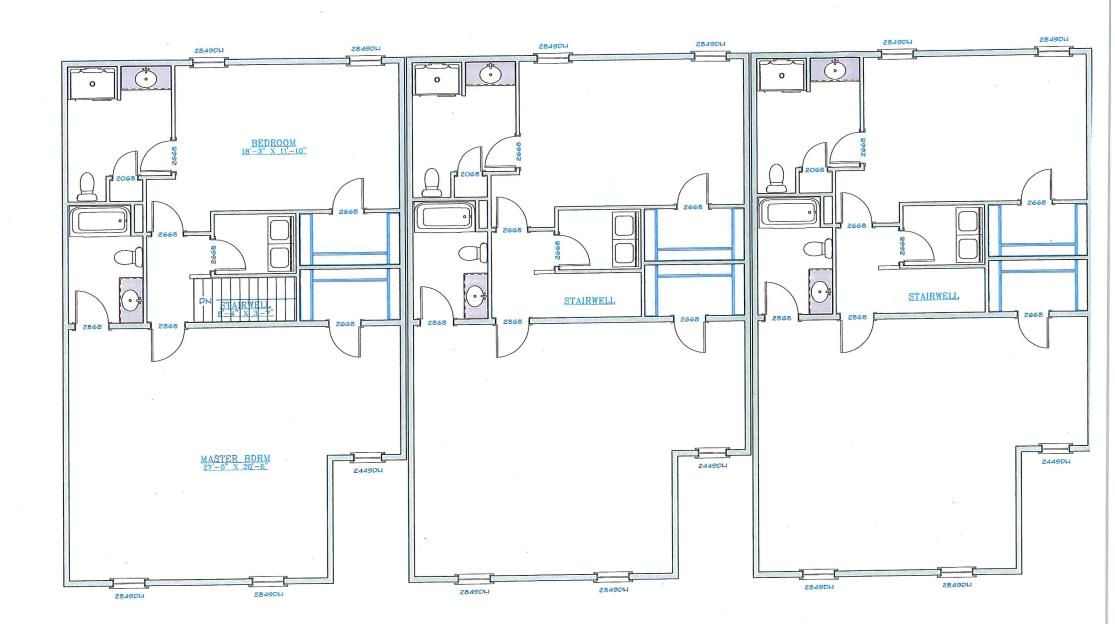


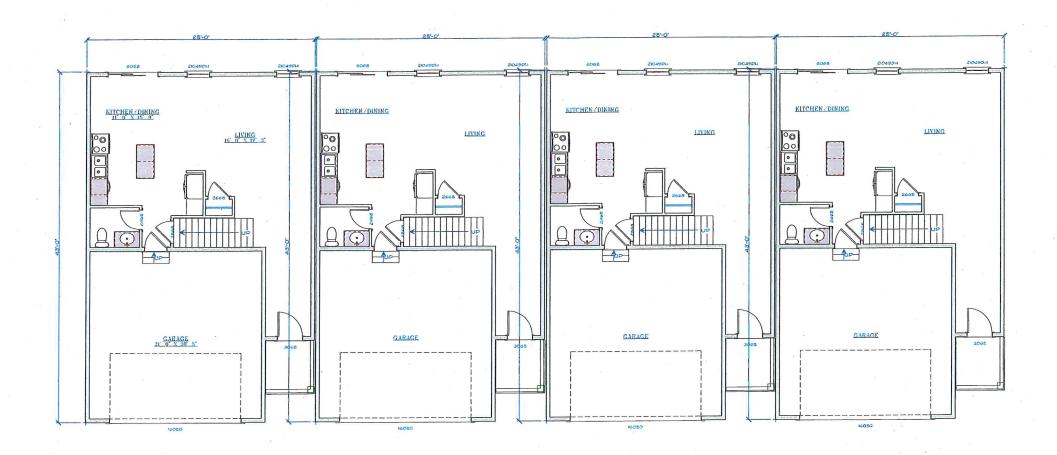


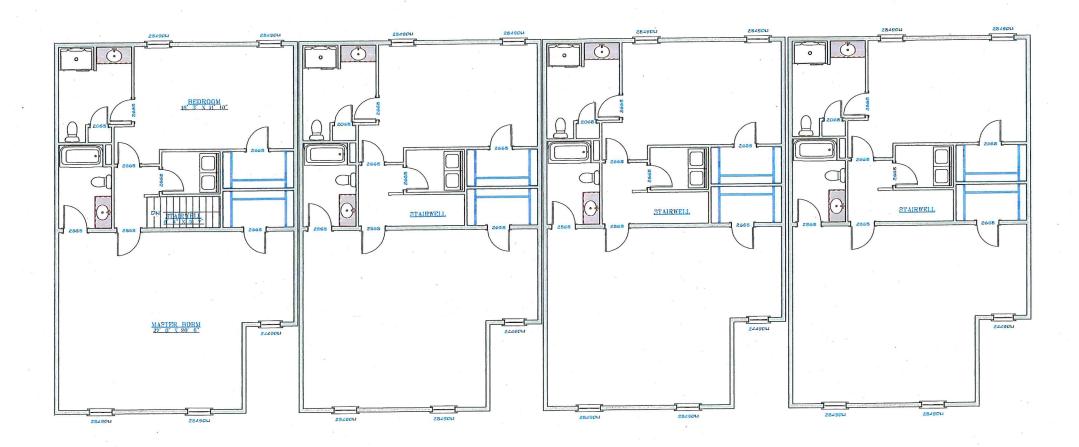












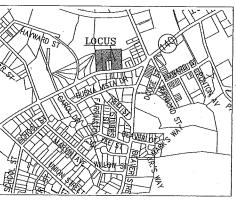
## SITE PLAN

## HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET FRANKLIN, MASSACHUSETTS

#### INDEX

- 1. COVER SHEET
- 2. EXISTING CONDITIONS
- 3. PROPOSED LAYOUT
- PROFILE
- 5. DEMOLITION & EROSION
- 6. PROPOSED GRADING &
- 7. PROPOSED UTILITIES
- 8. PROPOSED LANDSCAPING
- 9. PHOTOMETRIC PLAN
- 10. AUTOTURN FOR FIRE TRUCK
- 11-13 CONSTRUCTION DETAILS

ARCHITECTURAL PLANS



VICINITY MAP

**APPLICANT** JOEL D'ERRICO 72 DEERVIEW WAY FRANKLIN, MA 02038

**ARCHITECT** MICHAEL J. KONOSKY ASSOCIATES 842 UPPER UNION STREET FRANKLIN, MA, 02038

LOCUS:

280 WEST CENTRAL STREET JOEL D'ERRICO A.M. 278 LOT 32 DEED BK 33822 PG 200

300 WEST CENTRAL STREET JOEL D'ERRICO A.M. 278 LOT 35 DEED BK 33822 PG 200

278 WEST CENTRAL STREET DOUBLE J DEVELOPMENT LLC A.M. 278 LOT 31 DEED BK. 29771 PG. 94

	PROVED DATE: ANKLIN PLANNING BOARD
DATE:	
	BEING A MAJORITY



REVISIONS



Guerriere Fh. (508) 528-3221 55 WEST CENTRAL STREET Fr. (508) 528-7921 FRANKLIN, MA 02038

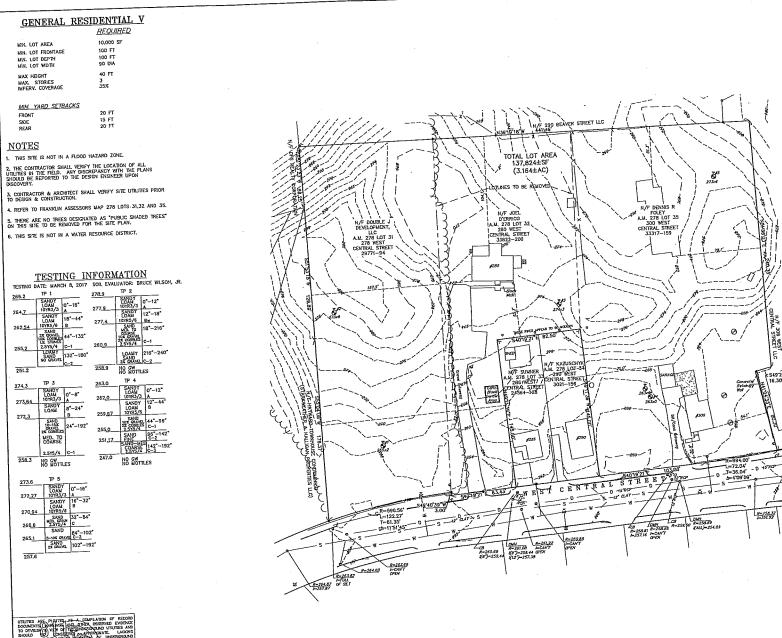
SITE PLAN

HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET

> FRANKLIN MASSACHUSETTS

COVER DATE SEPTEMBER 26, 2017 AS NOTED





JOB NO. F3988

APPROVEI FRANKLIN	) DATE: PLANNING BOARD
DATE:	
В	EING A MAJORITY



PROFESSIONAL ENGINEER

AFPLICANI
JOEL D'ERRICO
72 DEERVEW WAY
FRANKLIN, MA 02038

REVISIONS

DATE



Halnon,Inc. Ph. (504) 528-3221 55 WEST CENTRAL STREET FRANKIN, MA 02038 www.guerriereandhalnon.com

Guerriere

SITE PLAN

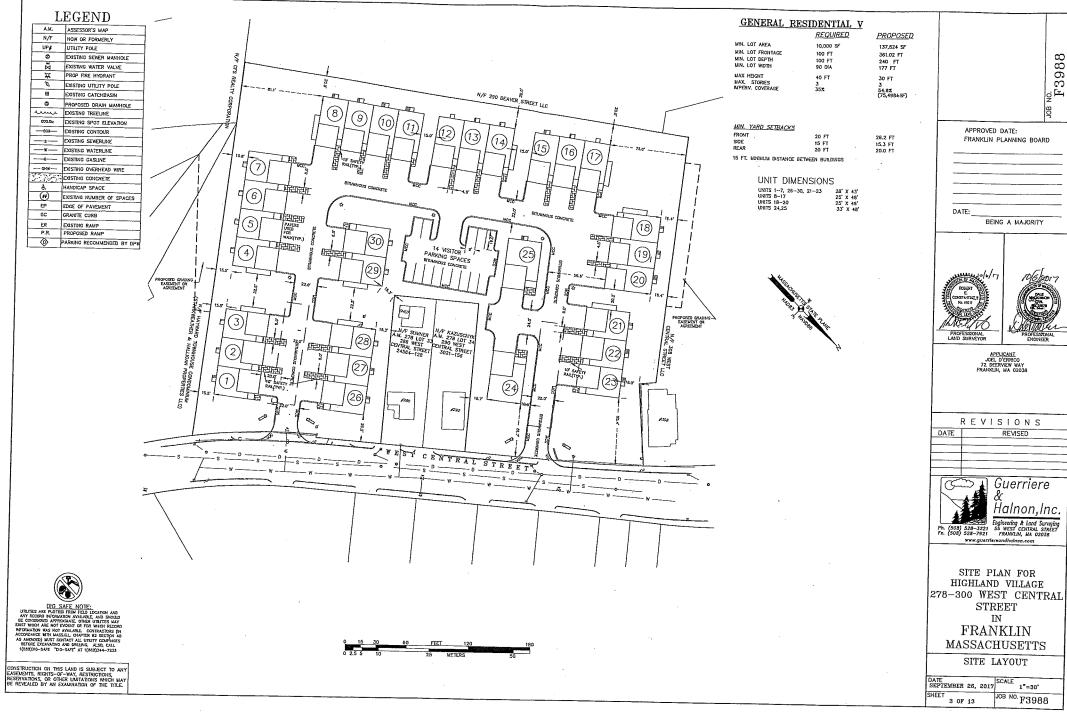
HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET

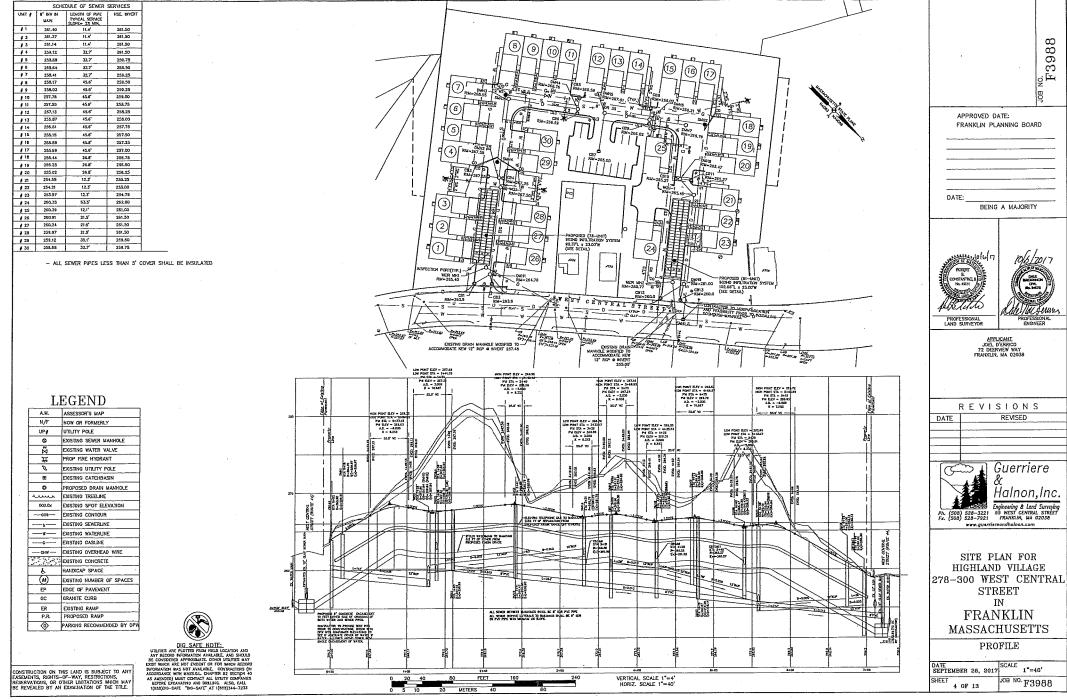
FRANKLIN MASSACHUSETTS

EXISTING CONDITIONS DATE SEPTEMBER 26, 2017 SCALE 1"=30"

SHEET 2 OF 13 JOB NO. F3988

ONSTRUCTION ON THIS LAND IS SUBJECT TO ANY ASSURITS, RIGHTS-OF-WAY, RESTRICTIONS, ISSERVATIONS, OR DITHER LIMITATIONS WHICH WAY, REVEALED BY AN EXAMINATION OF THE TITLE.





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#### LEGEND

A.U.	ASSESSOR'S MAP									
N/F	NOW OR FORMERLY									
UP∦	UTILITY POLE									
0	EXISTING SEWER MANHOLE									
×	EXISTING WATER VALVE									
<b>*</b>	PROP FIRE HYDRANT									
•	EXISTING UTILITY POLE									
	EXISTING CATCHBASIN									
0	PROPOSED DRAIN MANHOLE									
umi	EXISTING TREELINE									
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	EXISTING WATERLINE									
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ace	EXISTING OVERHEAD WIRE									
	EXISTING CONCRETE									
4	HANDICAP SPACE									
(4)	EXISTING NUMBER OF SPACES									
EP EP	EDGE OF PAVEMENT									
ec	GRANITE CURB									
ER	EXISTING RAMP									
P.R.	PROPOSED RAMP									
•	PARKING RECOVINENCED BY DPV									



#### GENERAL EROSION CONTROL AND DRAINAGE CONSTRUCTION PHASING

- 1. INSTALL EROSION CONTROL DEVICES ALONG PERIMETER OF SITE. 2. INSTALL CONSTRUCTION ENTRANCE.
- 3. SITE TO BE CLEARED AND GRUBBED.
- 4. INSTALL RETAINING WALLS.
- 5. INSTALLED SLOPE MATTING TO STABILIZE SLOPES (IF APPLICABLE)
- 6. INSTALL CONSTRUCTION ENTRANCE.
- 7. INSTALL TEMPORARY SEDIMENT BASIN.
- 8. INSTALL TEMPORARY DIVERSION SWALES AND DIRECT THEM TO THE SEDIMENT BASIN. INSTALL CHECK DAWS EVERY 100 FT.
- 9. INSTALL DRAWAGE MANHOLES AND CATCHBASINS AND ENSURE TEMPORARY COVER IS IN PLACE.
- 10. INSTALL SUBSURFACE INFILTRATION SYSTEMS AND WATER QUALITY UNIT.
- 11. INSTALL ALL DRAINAGE RISERS, GRATES AND COVERS
- 12. REMOVE CONSTRUCTION ENTRANCES.
- 13. INSTALL ROAD UP TO BINDER FINISH GRADE. 14. REMOVED TEMPORARY DIVERSION SWALES AND SEDIMENTATION BASINS AFTER SITE HAS BEEN STABILIZED AND PREPARED FROM BUILDING FOUNDATION INSTALLATION.
- 15. REMOVE PERIMETER EROSION CONTROL DEVICES ONCE SITE CONSTRUCTION IS COMPLETE.

#### NOTES:

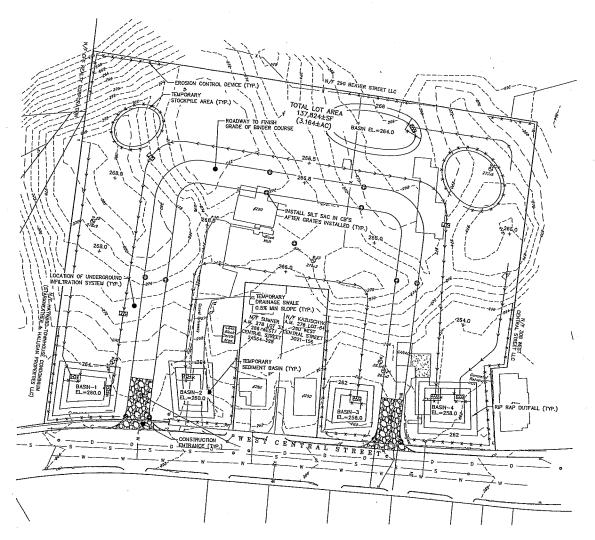
- 1. SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM.
- 2. INSTALL SILT SACKS.
- 3. BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL
- 4. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFELTRATION SYSTEM.
- 5. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
- 6. ALL EXISTING STRUCTURES TO BE RAZED.
- 7. STOCK PILE AREA TO BE CONTAINED USING EROSION CONTROL DEVICES
- 8. DIRT BAG SHALL BE USED TO PERIODICALLY CLEAN THE TEMPORARY SEDMENTATION RASINS DURING CONSTRUCTION



CONSTRUCTION ON THIS LAND IS SUBJECT TO A	١
EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH M	
BE REVEALED BY AN EXAMINATION OF THE TITLE	£

	TREUTARY AREA (AC.)	REQUIRED VOLUME (OF)	PROMOED VOLUME (CF)	WATER LEVEL 10-YR. STORM (EL)
SEDIVENT TRAP-1	0.77	1,386	4,206	263.46
SEDWENT TRAP-2	0.50	1,072	4,448	222,45
SEDIMENT TRAP-3	0.48	860	4,237	223,12
SEDIMENT TRAP-4	0.80	1,448	4,237	223.12
SEDMENT TRAP-5	0.41	73A.5	3,690	265,72

NOTE: CALCULATIONS FOR WEIGHT SEDMENT BASIN/TRAP VOLLIME BASED ON MASSACRISETIS FROSION CONTROL GENELIKES FOR URBAN AND SUBURBAN AREAS REPRINTED MAY 2003



F3988

APPROVED DATE: FRANKLIN PLANNING BOARD BEING A MAJORITY





APPLICANT JOEL D'ERRICO 72 DEERVIEW WAY FRANKLIN, MA 02038

REVISIONS

DATE REVISED



Guerriere Halnon,Inc.

Engineering & Land Surveying 55 WEST CENTRAL STREET FRANKUN, WA 02038 Ph. (508) 528-3221 Fx. (508) 528-7921 www.guerriereandhoinan.com

SITE PLAN FOR HIGHLAND 'VILLAGE 278-300 WEST CENTRAL STREET FRANKLIN MASSACHUSETTS

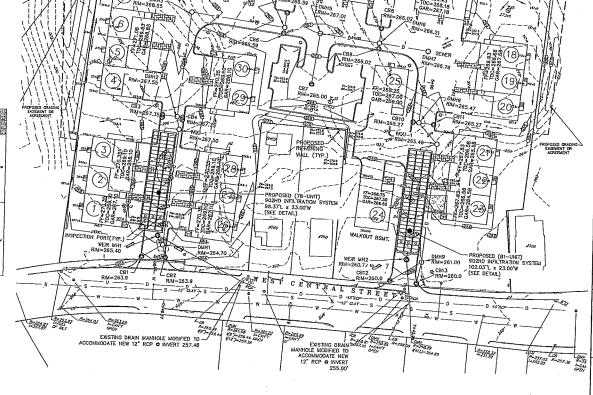
EROSION & DEMOLITION PLAN DATE SEPTEMBER 26, 2017 1\*=30' JOB NO. F3988 5 OF 13

#### LEGEND

A.M.	ASSESSOR'S MAP
N/F	NOW OR FORWERLY
UP#	UTILITY POLE
0	EXISTING SEVER MANHOLE
×	EXISTING WATER VALVE
¥	PROP FIRE HYDRANT
0	EXISTING UTILITY POLE
H	EXISTING CATCHEASIN
0	PROPOSED DRAIN MANHOLE
um	EXISTING TREELINE
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	EXISTING GASLINE
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	EXISTING CONCRETE
4	HANDICAP SPACE
(4)	EXISTING NUMBER OF SPACES
EP	EDGE OF PAVEMENT
GC C	GRANITE CURB
ER	EXISTING RAMP
P.R.	PROPOSED RAMP
<b>(a)</b>	PARKING RECOMMENDED BY DPW



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											4,84									



## DESIGN COMPUTATIONS FOR STORM DRAINS



#### STORM DRAINAGE NOTES

- 1. INSTALL CONNECTIONS TO CATCH BASINS, TSS REMOVAL UNIT AND DRAIN MANHOLES.
- CONTRACTOR & ARCHITECT ARE TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
- 4. ALL DRAIN PIPES ARE 12" RCP CLIS UNLESS OTHERWISE NOTED

#### SITE DRAINAGE INSTALLATIONS NOTES

- 1. EACH SUBSURFACE CHAMBER WILL BE INSTALLED SEPARATELY TO DESIGN ELEVATION. 2. INSTALL CONNECTIONS TO CATCH BASINS, TSS REMOVAL UNIT AND DRAIN MANHOLES.
- 3. EXCAVATE AND INSTALL SUBSURFACE UNIT, BACKFILL W/ STONE MAINTAINING 18"-24" COVER AND AS-BURLT EACH SECTION.



APPROVED DATE: FRANKLIN PLANNING BOARD

NO. F3988

BEING · A MAJORITY



REVISIONS

REVISED



Halno<u>n,Inc</u>.

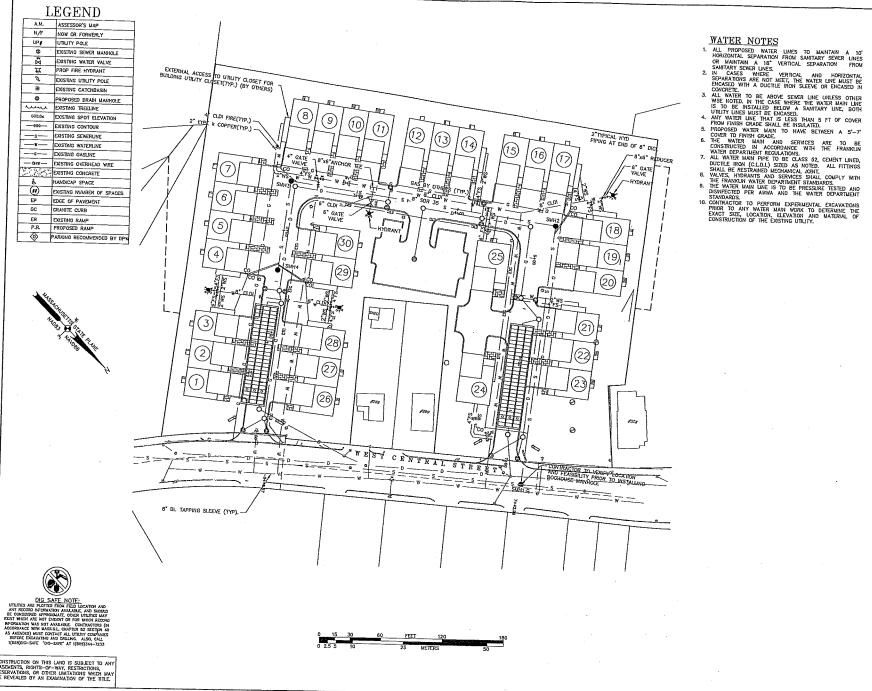
Ph. (508) 528-3221 55 WEST CENTRAL STREET FX. (508) 528-7921 FRANKLIN, MA 02038

SITE PLAN FOR HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET IN FRANKLIN

MASSACHUSETTS

GRADING & DRAINAGE

	м	BER	26,	2017	
HEET	6	OF	13		<sup>ЈОВ NO.</sup> F3988



WATER NOTES

NO. F3988

APPROVED DATE: FRANKLIN PLANNING BOARD DATE: BEING A MAJORITY





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DATE REVISED



Halnon,Inc. Ph. (508) 528-3221 55 WEST CENTRAL STREET Fx. (508) 528-7921 FRANKLIN, VA 02038 www.guerrisreandhainen.com

Guerriere

SITE PLAN FOR HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET IN FRANKLIN

MASSACHUSETTS PROPOSED UTILITIES

DATE SEPTEMBER 26, 2017 SCALE 1"=30" JOB NO. F3988 7 OF 13

#### LEGEND

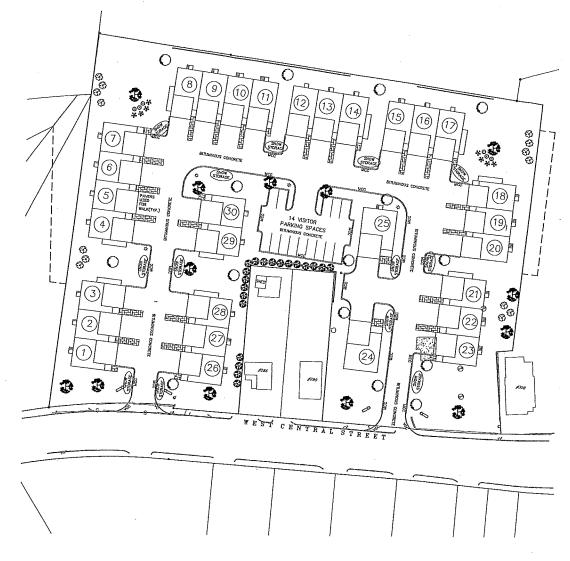
A.W.	ASSESSOR'S MAP				
N/F	NOW OR FORMERLY				
UP∦	UTILITY POLE				
0	EXISTING SEWER MANHOLE				
×	EXISTING WATER VALVE				
#	PROP FIRE HYDRANT				
₹.	EXISTING UTILITY POLE				
Œ	EXISTING CATCHBASIN				
0	PROPOSED DRAIN MANHOLE				
mu	EXISTING TREELINE				
C00.0x	EXISTING SPOT ELEVATION				
	EXISTING CONTOUR				
	EXISTING SEWERLINE				
v_	EXISTING WATERLINE				
	EXISTING GASLINE				
an-	EXISTING OVERHEAD WIRE				
	EXISTING CONCRETE				
ė	HANDICAP SPACE				
(1)	EXISTING NUMBER OF SPACES				
EP	EDGE OF PAVEMENT				
GC GC	GRANITE CURB				
ER	EXISTING RAMP				
P.R.	PROPOSED RAVP				
<b>(</b>	PARKING RECOMMENDED BY DPV				



	PLANTING LEGEND						
SYMBOL	NAME	SIZE	QUANTITY				
0	LITTLE LEAF LINDEN TILIA COROATA	4' MIN. 2.5' CAL	15				
<b>E</b>	SUPERIOR HYBRID POPLAR POPULUS DELTOIDS X POPULUS NIGRA	4' MIN. 2.5" CAL.	13				
镠	ROSE OF SHARON HIBISCUS SYJACUS	5 GAL	14				
0	RHODODENDRON . HENRY'S RED (DARK RED)	2' MIN.	6				
*	HERMOCADIS DAYLILIES	2 GAL.	8				
8	PYRAMIDUS ARBORVITAE THUJA ACCIDENTALIS	5' MIN.	20				

PLANTINGS TAKEN FROM THE TOWN OF FRANKLIN BEST PRACTICE GUIDE

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



Guerriere Ph. (SOE) 528-3221 St WEST CENTRAL STREET Fs. (SOE) 328-3221 SWEST CENTRAL STREET Fs. (SOE) 328-3221 Foundation.com

REVISIONS

NO. F3988

APPROVED DATE: FRANKLIN PLANNING BOARD

BEING A MAJORITY

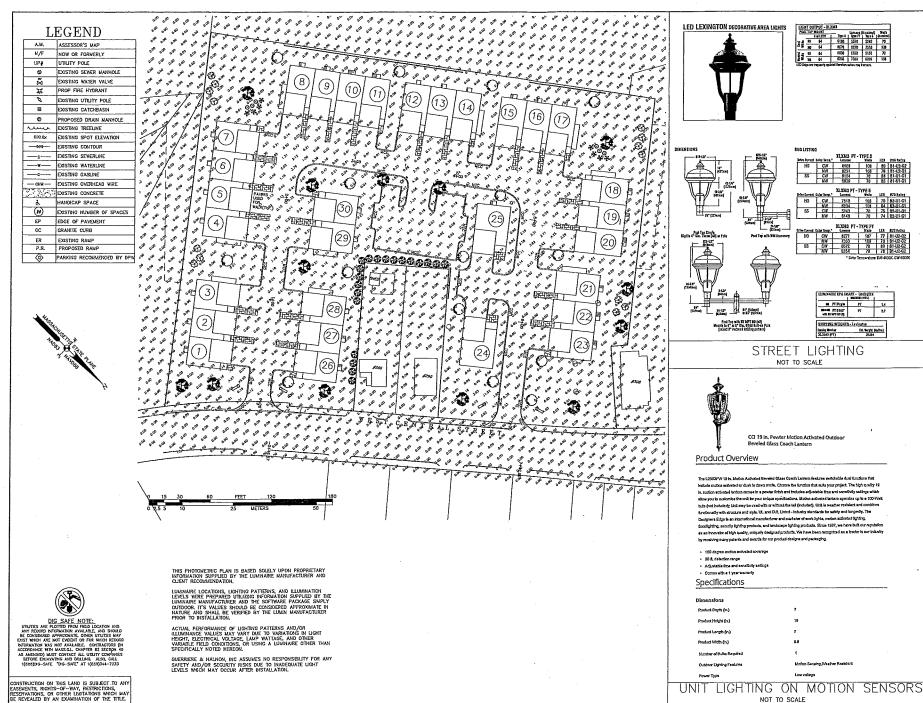
DATE

SITE PLAN FOR HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET

IN FRANKLIN MASSACHUSETTS

LANDSCAPING

DATE SEPTEMBER 26, 2017 SCALE 1"=30' JOB NO. F3988



F3988

APPROVED DATE:

DATE:

FRANKLIN PLANNING BOARD

BEING A MAJORITY

APPLICANT JOEL D'ERRICO 72 DEERVEW WAY

REVISIONS

Pb. (508) 528-3221 55 WEST CENTRAL STREET FRANKLIN, MA 02038

www.guerriereandhainen.com

SITE PLAN FOR

HIGHLAND VILLAGE

278-300 WEST CENTRAL

STREET

IN

FRANKLIN **MASSACHUSETTS** 

PHOTOMETRICS

JOB NO. F3988

DATE SEPTEMBER 26, 2017 SCALE 1"=30'

9 OF 13

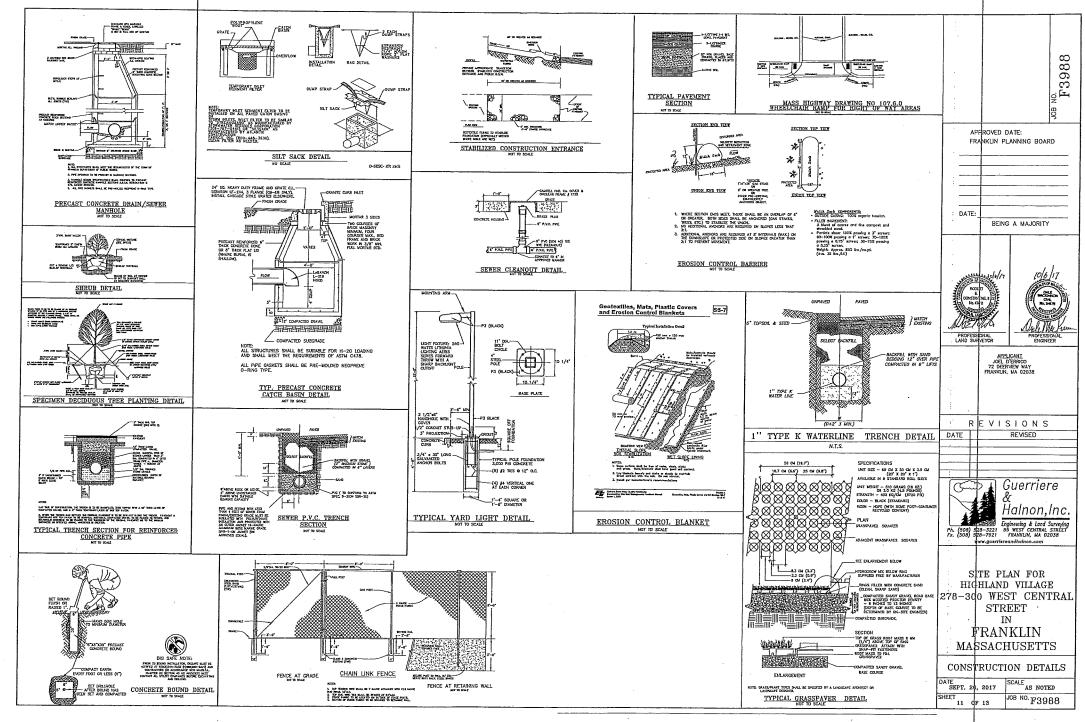
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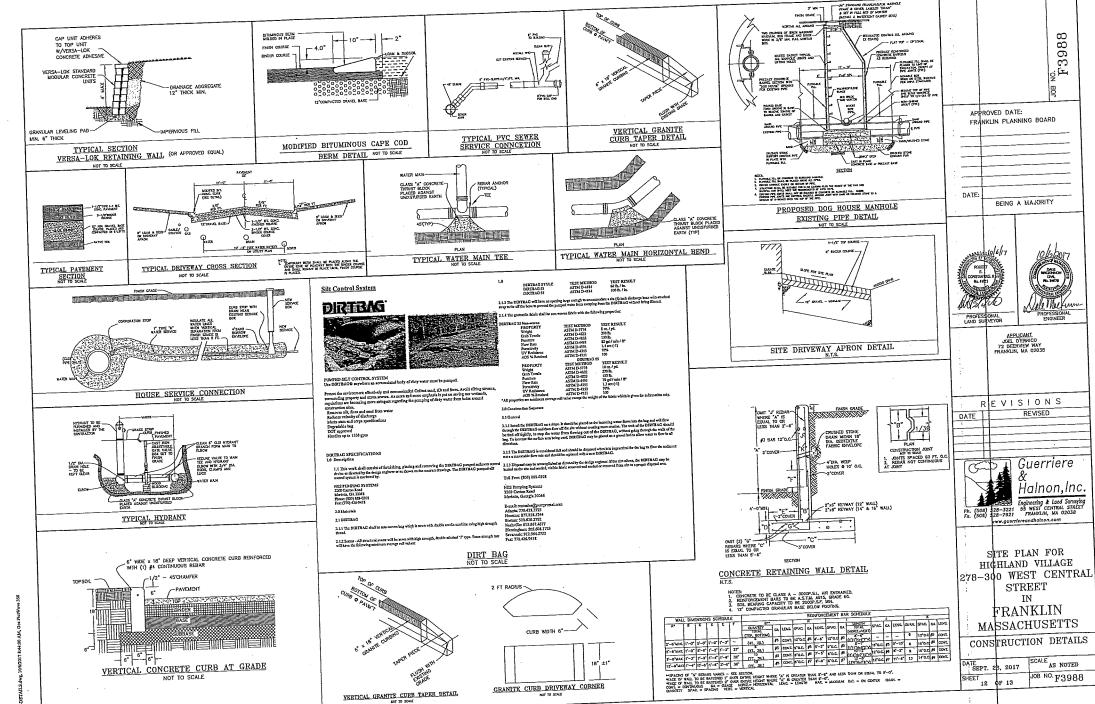
Halnon.Inc.

Vole TUCKenor

TOTAL THE PROPERTY OF THE PROPERTY AND THE PROPERTY OF THE PRO



3988\dwg\T3988-DETAILS.dwg, 10/6/2017 8:43:23 AM, Oze Plot



#### CULTEC RECHARGERS SEZNO PRODUCT SPECIFICATIONS

GERN NUMB CHANNESTS ARE DESIGNED FOR UNDERGROUND STORMALTER MANAGEMENT, THE CHAN TEXTION, PECHARGNA, DETERTION OR CONTROLLING THE FLOW OF ON-SITE STORMALTER RUNOFF,

- ALL HE MANUFACTURED IN THE U.S.A. BY COLUTED, INC. OF ERODIFFIELD, CT.
- THE DAMEERS SHALL BY DESIGNED AND TESTED IN ACCORDANCE WITH ASTA FRIETY STANDARD PRACTICE FO STRUCTURAL DESIGN OF THERMOPLASTIC CONFIDENCE WALL STORMWATER COLLECTION CHARGERS.
- THE CHILLERS SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DESYRED IN THE AASHTO LIFED BYOUGH DESKIN SPECIFICATIONS SECTION LEVY.
- THE CHARLES STALL SE STRUCTURAL FRANCISCO HOLDED OF BLIZ VACON HOLDED AND BOARD MEANT MODERN FOUNDOWN.
- S, THE CHARGES SHALL BE ARCHED IN SHAPE.
- 6. THE CHARGE SHALL BE OF ENERGY COMED.

7. THE CHARGE SHALL BE JONED USING AN INTERLOCKING OVERLAPTING RESIDETINGS. CONNECTIONS HAS THE FILLY SHOULD SHED OVERLAPTING RES., MANYS NO SEPARATE COUNTRIES.

E. THE MOMENT CHARMEST DANSHMONG OF THE CALTEC MECHANISMS SWILL SEE 48 NOTES (UTS con) TALL, THE NOTES (USS next WORLAND 4.19 FEET (1.25 co.) LONG, THE ASSETT UTS CONTROL MECHANISMS OWN SHILL SEE 3.57 FEET (1.12 ci.).

MATALE CHARGES MY EL CONNECTED TO FORM DEFERBIT LENTIH ROWS. EACH ROW SHALL SEGN NO BOY WITH A SEPARATELY FORMED QUITE REQUIRED \$100-10 BM CLP. MUSHAM NET O'TENNO ON THE DOT CLY BO'S NOSS! SOME)

TO THE CHARGES SHALL HAVE THIS SIDE PORTILES TO ACCEPT CILITED HAVE FC-AS FEED CONSECTIONS TO CREATE AN INTERVAL MANIFOLD. MAJORAM ALLOHABLE PIPE SIZE IN THE SIDE FORTILES IS 15 NORTH (2021)

11. THE HOMENUL CHANGER DRACKING OF THE CALIFED HILV" FC-49 FEED CONNECTOR SHALL SE TE NOMES (NO em) TALL, 19 NOMES (NO em) WICE AND 49 NOMES (NA em) LDVG.

12.THE NOWARL STORAGE VOLLAGE OF THE RECHANGERS SIGHT ONWERS SHALL BE IT AS FIT IT IT IS AN ALL THE ARROLL STORAGE VOLLAGE OF A DOKED RECHANGERS SIGHT SHALL BE MUSE FIT I (MAT IT I AM HE I LINT) - WITHOUT STORE. IL THE NOMEUL STORAGE VOLUME OF THE HALV" FOLIA FEED CONNECTOR SHALL BE 0.9 OF FT. (LET QLOS e.d.) (w) - WITHOUT STORE.

(A, THE RECHARGERS SUCHO CHALEER SHALL HAVE TWENTY-POUR DESCHARGE HOLES ECCED INTO THE SEERVALS OF THE LINTS CORE TO PROMOTE LATERAL CONTEYANCE OF WATER.

15. THE RECHARGERS POSTO CHANGER SHALL HAVE I CORRUCATIONS. TETTER CHAMER SHALL HAVE A PASED INTEGRAL CAP AT THE TOP OF THE ASIAN NEAR THE CENTER OF SHALLIST TO BE USED AS AN OFTICAL INSPECTION FORT OR CLEARGUE.

IT, THE UNITS MAY BE TRUSHED TO CLISTCH LENGTHS BY CUTTING BACK TO ANY CORRUGATION INTHE CRUMERS SKILL BE HANGFACTURED IN A FACILITY EMPLOYERS CILITICS DIMATRY CONTROL AND ASSEMBLES PROCEDURES.

13-MANAGE RELOWANCE COVER OVER THE TOP OF THE CHARGES SHALL SE 64 FEET (2.55 m).

THE CATTER RECHASERS SCHOOL BUT CATTERED TO AS THE CATTER RECHASERS SCHOOL BUT CATTER SECTION OF PRODUCTED, CT. (CCC-775-4415 OR 1-403-435-5502) 2. The End Cup Shall be twin-sheet thermoporned of Rhack virgin high incledible negati polyteninens.

3. THE END CLP SHALL BE JOINED AT THE BEGINNIS AND END OF EACH ROW OF CAU USING AN INTERLOCING OWERLAFFING RIS METHOD, CONNECTIONS MIST SE FULLY SHALL BETTE OFFER AFEA SHALL BY HE COMPLIES.

4. THE NOWAY DIMENSIONS OF THE BOO CAP SWALL SE \$2.500年3 (122) HOUTH TO SWALEST THE WORLD THE BOO CAP SWALL SE \$2.500年3 (122) HOUTH TO THE BOO CAP SWALL SE \$2.500年3 (122) HOUTH TO THE BOO CAP SWALL SE \$2.500年3 (122) HOUTH TO THE BOO CAP SWALL SE \$2.500年3 (122) HOUTH TO THE BOO CAP SWALL SE \$2.500年3 (122) HOUTH TO THE BOO CAP SWALL SE \$2.500年3 (122) HOUTH TO THE BOO CAP SWALL SE \$2.5000743 (122) HOUTH TO THE BOO CAP SWALL SW

5. NATURALLY SHET CRESKING ON THE END CAP IS 24 INCHES (900 mm).

- & THE END CAP SHALL FROM THE RESISTANCE TO THE LOADS AND LOAD F.

#### CULTEC HYLY FC-44 FIEED CONNECTOR PRIDDUCT SPECIFICATIONS

GENERAL CLATED HAV FC-45 FEED CONSECTIONS ARE DESCAPED TO CREATE AN INTERNAL MAN MARCH MAPS TO SHOW A THE PROPERTY OF THE SECTION OF THE SECT

PARAMETERS SCTOR SHALL BE MANUFACTURED BY CLATEC, NO. OF BROOKFELD, CT.

THE FEED CONNECTOR SHALL BE VACUUM THERMOFORMED OF BLACK HIGH MOLECULAR MODEL THAN 1995 TO POLYCON FROM THE PROMOTERS OF BLACK HIGH MOLECULAR MODEL THAN 1995 TO POLYCON FROM THE PROMOTERS OF BLACK HIGH MOLECULAR MODEL TO PROMOTE THE PROMOTERS OF BLACK HIGH MOLECULAR MODEL TO PROMOTE THE PROMOTERS OF BLACK HIGH MOLECULAR MODEL TO PROMOTE THE PROMOTE THAN 1995 THE THAN 1995 THE PROMOTE THAN 1995 THE THAN 19

I, THE FEED CONVECTOR SHALL HE ARD HED IN SHAPE.

4. THE FEED CONNECTION SHALL BE OPEN BOTTONED.

(. THE NOVEMAL DAMENSHORS OF THE COLITEC HALV FC-41 FEED CONNECTOR CHALL SE 12 NOTES (OSE cos) TALL, 18 FACHES (ASE cos) WIDE AND 12 OCHES (1245 cos) LONG.

THE ROBERTAL STORAGE VIOLAGE OF THE HALV FOLK FEED CONNECTION SHALL BE QUITE FO.
 FT (Q.D.S. of 1 e) - WITHOUT STONE.

7. THE HALV FOUR FEED CONNECTOR SHALL HAVE A CORRUSATIONS

THE HAY FLAS FEED CONSECTOR MUST BE FCRUED AS A WHOLE UST HAVING TWO OFFIN BOD WALLS AND HAVING HOS SEPARATE BOD FLATES OR SEPARATE BOD WALLS. THE UST SHALL IT HIT OT THE SEP FORTIALS OF THE CALLED RECLUMENTS FORWARTER CHARGES AND ACT ACCROSS FEED CONSECTIONS CEPARATOR AN INTERVAL MANFOLD.

THE FEED CONNECTOR SHALL BE DESPOYED TO WITHSTAND AGENT HS-25 DEFINED LOADS.
 WILLIAM ACCORDING TO CALTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.

1. THE FEED CONNECTOR SHALL BE MANUFACTURED IN AN ISO SIXTADIA CORTIFED FACULTY.

#### TATEC NO. 44" WOVEN GEOTEXTE

CONSALL
CLIEBAL SIM WOMEN GEOTEXTLE IS UTILIZED AS AN UNDERLANGENT TO FREYENT SCORANG
OURSED BY MATER MOMENTY WITHIN THE CLLTEC COMMERTS AND FEED CONSCIOUS UTILIZAD
THE CLUTED MANSOLD FEATURE.

COTTOTALE FARMWETFAN

1. THE GENERALE DUAL SE FRANCISCO SY CLATE, INC. OF SECONTELL, CT., COST/15-418 ON 1-007-15-30329

2. THE GENERALE DUAL SE PLACEN NYFFEANNES.
2. THE GENERALE DUAL SE PLACEN NYFFEANNES.
3. THE GENERALE SHALL WAS A FALLED SE DIS-CLATED RESERVANCE OF 15-5-67 AND MOST TESTING SETTING.
4. THE GENERALE SHALL WAS A FALLED SEAR THAT SECONTES OF COST (16) FOR FALLED MOST TESTING SETTING.
5. THE GENERALE SHALL WAS A FALLED SEAR THAT SECONTES OF COST (16) FOR FALLED MOST TESTING SETTING.
5. THE GENERALE SHALL WAS A FALLED SECONTES OF 15-15-15 SEAR SHAPPEN AND MOST TESTING SETTING.
5. THE GENERALE SHALL WAS A FALLED SESTINGLE OF 15-15 SEAR SHAPPEN AND MOST TESTING SETTING.
5. THE GENERALE SHALL WAS A GON FRANCING SESTINGLE OF 15-15 SEAR SHAPPEN AND MOST TESTING SETTING.
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6. THE GENERAL SHAPPEN AND MOST TESTING SETTING SETTING SETTING SHAPPEN AND MOST TESTING SETTING SETTING

METITION.

14. THE GEOTEXTRE SHALL CONSET OF A 102'S HESHTEMACTY, SLT-FELL FOLYPROPYLENE YARDS.

#### GENERAL EROSION CONTROL AND CONSTRUCTION NOTES

THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS CUTSIDE THE LIMITS OF DISTURBANCE

CONSTRUCTION ALL NEED STATE (PARTY STATES AT MEASURES AT MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY

5. AMY AND ALL DEBRIS AND LITTER WHICH ACCOUNTLATES IN THE BASINS SHALL BE REMOVED WERELY.

6. THE CONTRACTOR SHALL BRELEWIN TALL REASONABLE EROSON AND SEDBARD CONTROLS PROOR TO THE ACTUAL COMPETCHENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLARIFORM AND CONTRACTOR PHANS. SHALL BE LIMITANIED IN EFFORT HE SITE HAS BECOME CONSTRUCTION PHANS. DECOUNTE WESTER HAS BECOME AND BE READ UP BEHIND FILTERITY SHALL BE MONTORED AND BE REMOVED WHINEVER IT HAS ACCUMULATED TO FOUR MOHES IN DEPTH.

B. CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT

AS SATEL 78 INE PUSEBLE WATERD AND MAINTAINED BY THE CONTRACTOR TO EPISHE SURWAL.

20. EROSION CONTRACTS OF CONTRACTS OF CONTRACTS OF COMPACTION IS ISSUED

AA MAXIMUM FINISHED GRADE ELEV.

GG BOTTOM OF FOUNDATION STONE

BB MINIMUM COVER ELEV.

FF BOTTOM OF CHAMBER

CC TOP OF STONE

DD 12' INLET

EE 12' OUTLET

#### INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE

INSTALL EROSON CONTROL BARRIERS AND HAVE ENGINEER INSPECT AND PREPARE LETTER. RAZE THE DESSITING BULDRINS, PAYEMENT, WALKWAYS, ETG CLEAR STE OF ALL TREES DESIGNATED TO BE REJOVED. CONSTRUCT A. TEMPORANT BASIN TO COLLECT RUNGET DURING

CONSTRUCT A TEMPORARY BASIN TO COLLECT RUNCET DURING CONSTRUCTION.
STOCKPIE LOAM, OR REMOVE LOAM.
STOCKPIE LOAM, OR REMOVE LOAM.
INSTALL PIES FOR DRAINAGE SYSTEMS. UISTALL DISCHARGE FORT ON EACH SYSTEM.
REMON SITE TO SUB-GRADE.
ALL SUPES ALONG THEROPERTY LINES SHALL BE MALCHED TEMPORARY. FOR THE PROPERTY LINES SHALL BE MALCHED TEMPORARY. FOR THE PROPERTY LINES SHALL BE PLACED AT THE PROPERTY LINES WHEN ACCESSING SISTING PAYMENT, STOCKED THE PLACED AT THE PROPERTY LINES BECKERED IS THE SEASE BE SESSEMED BY THE PAYMENT LOAM AND SEED SHALL BE COVERED WITH MALCH, OR OTHER REGISSING NOTIFICE AND SEED SHALL BE COVERED WITH MALCH, OR OTHER REGISSING NOTIFICE AND SEED SHALL BE COVERED WITH MALCH, OR OTHER REGISSING NOTIFICE.

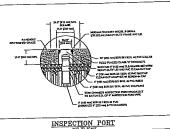
AND SEED SHALL BE COVERED WIN HOULD, AN ONLINE MOSANIC CONTROL DEVICES OR GRADES BY THE INTERIL SHALL BE SUPED TO FLOW INTO THE TELEPORARY BASIN, WHERE POSSIBLE. THE SITE MITIGATION OF EROSION IN HOSE AFEAS TO BE LANDSCAFEED OR MULCHED SHALL BE TO INSTALL AS SOON AS

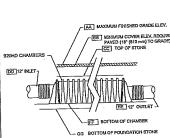
LANGEAPED OR MUCHED SHALL BE TO INSTALL AS JOHN AND DISTALL SEPONDENT OUT OF ELEMPARAY BASIN AND DISTALL CLEM HILL PER PLAN SPECTICATIONS PRIOR TO FINAL GRADNIC AND SUFFACE STREAM STATED SHALL BE INSTALLED PRIOR TO PRICE THE SUBSPICACE STREAM STREAM STREAM PROPER FLITEFARING THE STORY DISTALLED TO PRICE AT INJUSTS TO KEEP THE STORY DRAPHAGE CLEAN OF DEERIS.

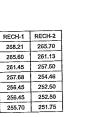
ONCE THE CURB IS INSTALLED, THE PERMANENT MUCH AND LANDSCAPING SHALL BE INSTALLED.

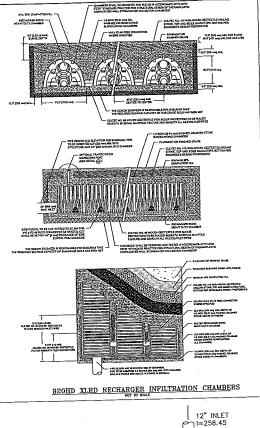
SEDMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STREAMED.

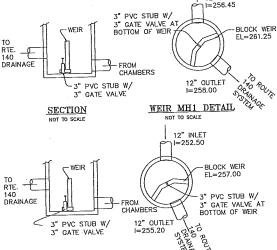
STHEALTER.
CLEAN ALL ON STIE CATCH BASINS, MANHOLES, PIPPING,
CLEAN ALL ON STIE CATCH BASINS, MANHOLES, PIPPING,
TEMPORARY BASIN, AND BYELTRATION CHAUBERS. RISTALL SLT
BASS AT EACH CATCH BASIN,
KEEP SIE SWEPT AND MANHANED PER STORWWATER
MANAGEMENT PLAN.





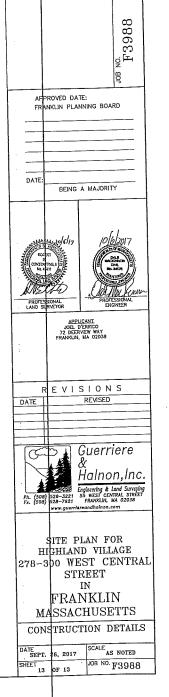






WEIR MH2 DETAIL

SECTION



ELEVATIONS

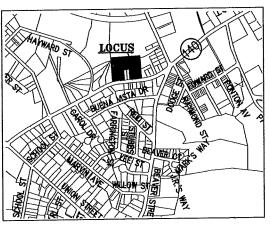
# SITE PLAN

# HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET FRANKLIN, MASSACHUSETTS

# **INDEX**

- 1. COVER SHEET
- 2. EXISTING CONDITIONS
- 3. PROPOSED LAYOUT
- 4. PROFILE
- 5. DEMOLITION & EROSION CONTROL PLAN
- 6. PROPOSED GRADING & DRAINAGE
- 7. PROPOSED UTILITIES
- 8. PROPOSED LANDSCAPING
- 9. PHOTOMETRIC PLAN
- 10. AUTOTURN FOR FIRE TRUCK
- 11-13 CONSTRUCTION DETAILS

ARCHITECTURAL PLANS



VICINITY MAP

APPLICANT JOEL D'ERRICO 72 DEERVIEW WAY FRANKLIN, MA 02038

ARCHITECT
MICHAEL J. KONOSKY ASSOCIATES
842 UPPER UNION STREET
FRANKLIN, MA. 02038

LOCUS:

280 WEST CENTRAL STREET JOEL D'ERRICO A.M. 278 LOT 32 DEED BK 33822 PG 200

300 WEST CENTRAL STREET JOEL D'ERRICO A.M. 278 LOT 35 DEED BK 33822 PG 200

278 WEST CENTRAL STREET DOUBLE J DEVELOPMENT LLC A.M. 278 LOT 31 DEED BK. 29771 PG. 94

NO. F3988 APPROVED DATE: FRANKLIN PLANNING BOARD BEING A MAJORITY REVISIONS REVISED 11/20/17 WOEN ROADWAY TO 24', ADDED SIDEWALK AND PAVERS FOR FIRE ACCESS 🖫 Guerriere SITE PLAN HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET FRANKLIN MASSACHUSETTS COVER DATE SEPTEMBER 26, 2017 SCALE AS NOTED <sup>ЈОВ NO.</sup> **F**3988

THITTES AME, PLOTTED, AS. A. COMPATION OF RECOMCOMMENTS (MANNESS) AND CHIEF COSSINED TO PRESENT

PROCESS OF THE COMPATION O

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REQUIRED 10,000 SF

MIN. LOT AREA MIN. LOT FRONTAGE

100 FT MIN. LOT DEPTH MIN. LOT WOTH 90 DIA

MAX HEIGHT 40 FT MAX, STORIES IMPERV. COVERAGE 3 35%

MIN. YARD SETBACKS

20 FT FRONT 15 FT 20 FT SIDE REAR

## NOTES

1. THIS SITE IS NOT IN A FLOOD HAZARD ZONE.

2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.

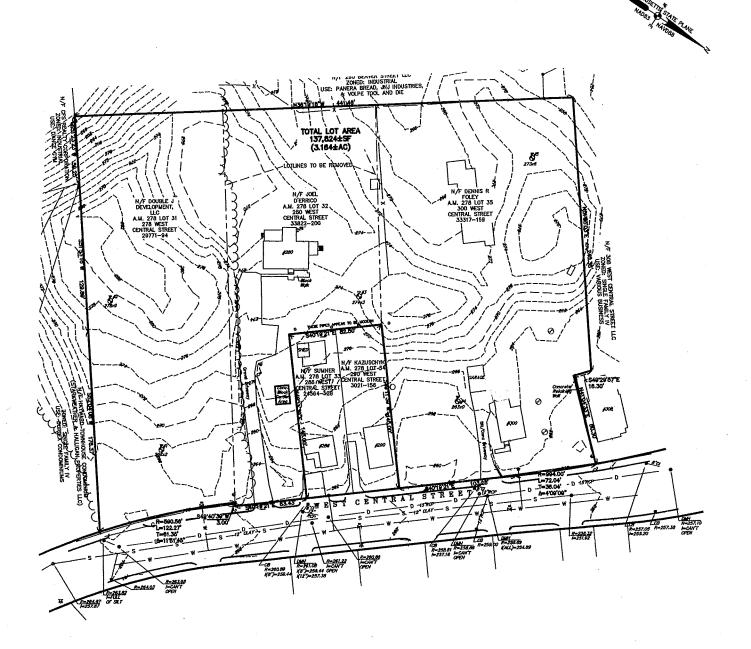
- 3. CONTRACTOR & ARCHITECT SHALL VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
- 4. REFER TO FRANKLIN ASSESSORS MAP 278 LOTS 31,32 AND 35.
- 5. There are no trees designated as "public shaded trees" on this site to be removed for the site plan.
- 6. THIS SITE IS NOT IN A WATER RESOURCE DISTRICT.

# TESTING INFORMATION

TESTING (	DATE: MARC	CH 8, 2017	SOIL EVA	WATOR: B	KUCE MILSON, C
268.2	TP 1		278.9	TP 2	
264,7	SANDY LOAM 10YR3/3	0°-18°	277,9	SANDY 10YR3/3 SANDY	0*-12* A
282,54	SANOY LOAM 10YR5/8	18"-44" B	277 <u>.4</u>	10YR5/8	12"-18" Bu
262,54	SAND			SAND MED. TO OCCUPANT MET. OCCUPANT MET. OCCUPANT	18"-216"
255 <u>.2</u>	LO STONES 2.5Y5/4	C-1	260,9	2.5Y5/4	0-1
	NO GEN VEL	132"-180" C-2		LOAMY SAND 28 GWAL	216"-240" C~2
251.2			258.9	NO SWITE	ES .
274.3	TP 3		263.0	TP 4	
-	SANDY LOAM 10YR3/3	0"-8"	263.0 262 <u>.0</u>	SANDY LOAN 10YR3/3	0"-12" A
273,64	SANDY	8"-24"		SANDY	0"-12" A 12"-44" B
-	SANDY LOAM 101R3/3 SANDY LOAM	8"-24" B	262 <u>.0</u> 259 <u>.67</u>	SANDY LOAN 10YR3/3 SANDY LOAN 10YR5/6 SAND 10YR GRAVE	A 12"44" B
273,64	SANDY LOAM 10YR3/3 SANDY LOAM	8"-24" B	282,0	SANDY LOAM 10YR3/3 SANDY LOAM 10YR5/6 SAND 2.5Y8/4 SAND FINE	A 12"-44" B 44"-96" C-1 96"-142"
273,64	SARDY LOAM 10YR3/3 SANDY LOAM 10-158 28 CARD 10-158 28 CARD 10-158	8"-24" B	282 <u>.0</u> 259 <u>.67</u> 255 <u>.0</u>	SANDY LOAM 10YR3/3 SANDY LOAM 10YR5/6 SAND 10X GRAVE 22 5Y8/4 SAND	A 12"-44" B 44"-96" C-1 98"-142"

273.6	TP 5	
272,27	SANDY LOAM 10YR3/3	0"-16" A
270,94	SANDY LOAM 10YR5/8	16"-32" B
266.6	54VD MED. 00VM 2.575/4	32"-84" C
265.1	SAND 6-10K GRAVE	84"-102 C-2
	SAND 27 GRAVEL	102*-19
257.6		

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS—OF—WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH HAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



	JOB NO.	000ca
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APPROVED DA	
FRANKLIN PLAI	NNING BOARD
DATE:	•
	A MAJORITY
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PROFESSIONAL LAND SURVEYOR	PROFESSIONAL ENGINEER

REVISIONS

REVISED
WOEN ROADWAY TO 24', ADDED SIDEWA
AND PAVERS FOR FIRE ACCESS
PER CONSULTANTS COMMENTS



Ph. (508) 528-5221 55 WEST CENTRAL STREET FRANKLIN, MA 02036

www.guerriereandhainen.com

Guerriere

Halnon, Inc.

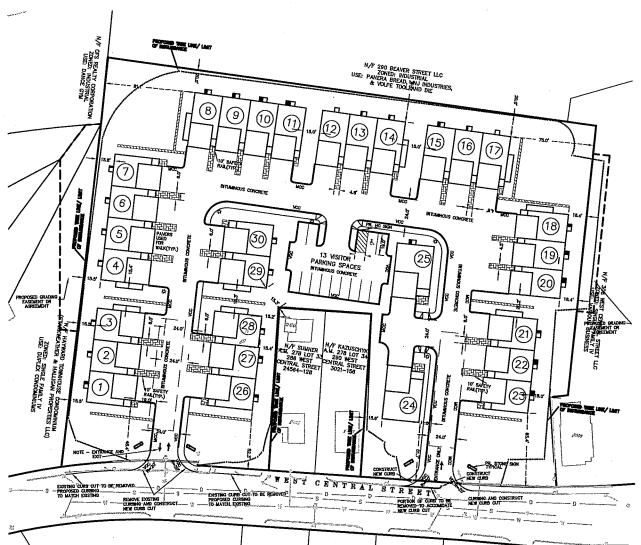
SITE PLAN

HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET

> FRANKLIN MASSACHUSETTS

EXISTING CONDITIONS

DATE SEPTEMBER 26, 2017	
SHEET 2 OF 13	<sup>JOB NO.</sup> F3988



GENERAL RESIDENTIAL V

REQUIRED PROPOSED 10,000 SF 137,824 5 MIN. LOT AREA 100 FT 361.02 FT MIN, LOT FRONTAGE 240 FT 100 FT 90 DIA MIN. LOT DEPTH 177 FT MIN. LOT WOTH 40 FT 30 FT MAX HEIGHT MAX. STORIES IMPERV. COVERAGE STRUCTURES 3 30% 26.9% (37,210±SF) 35% IMPERV. COVERAGE 29.7% (40,783±5F) 35% 56.6% (77,973±SF) IMPERV. COVERAGE

 MM. YARD SETBACKS
 20 FT
 26.2 FT

 FRONT
 20 FT
 15 FT
 15.3 FT

 SIDE
 15 FT
 15.3 FT
 7.2 FT

 REAR
 20 FT
 20 FT
 20 FT

15 FT. MINIMUM DISTANCE BETWEEN BUILDINGS

UNIT DIMENSIONS

UNITS 1-7, 28,27,29,30, 21-23 28 X 43'
UNITS 8-17 25' X 48'
UNITS 18-20 25' X 45'
UNITS 24,25 33' X 48'
UNITS 28 28' X 41'

Total Control of the Control of the

APPROVED DATE:
FRANKLIN PLANNING BOARD

BEING A MAJORITY

NO. F3988

PROFESSIONAL
LAND SURVEYOR

APPLICANT
JOEL D'ERRICO
72 DEERVIEW WAY
FRANKLIN, MA 02038

REVISIONS

DATE REVISED

11/20/17 WIDEN ROADWAY TO 24', ADDED SIDWALK

AND PAVERS FOR FIRE ACCESS

1/3/2018 PER CONSULTANTS COMMENTS



Guerriere & Halnon,lnc.

Ph. (509) 528-3221 S WEST CENTRAL STREET Fx. (508) 528-7921 FRANKLIN, MA 02038 www.guertereandhalnon.com

SITE PLAN FOR
HIGHLAND VILLAGE
278-300 WEST CENTRAL
STREET
IN
FRANKLIN

MASSACHUSETTS
SITE LAYOUT

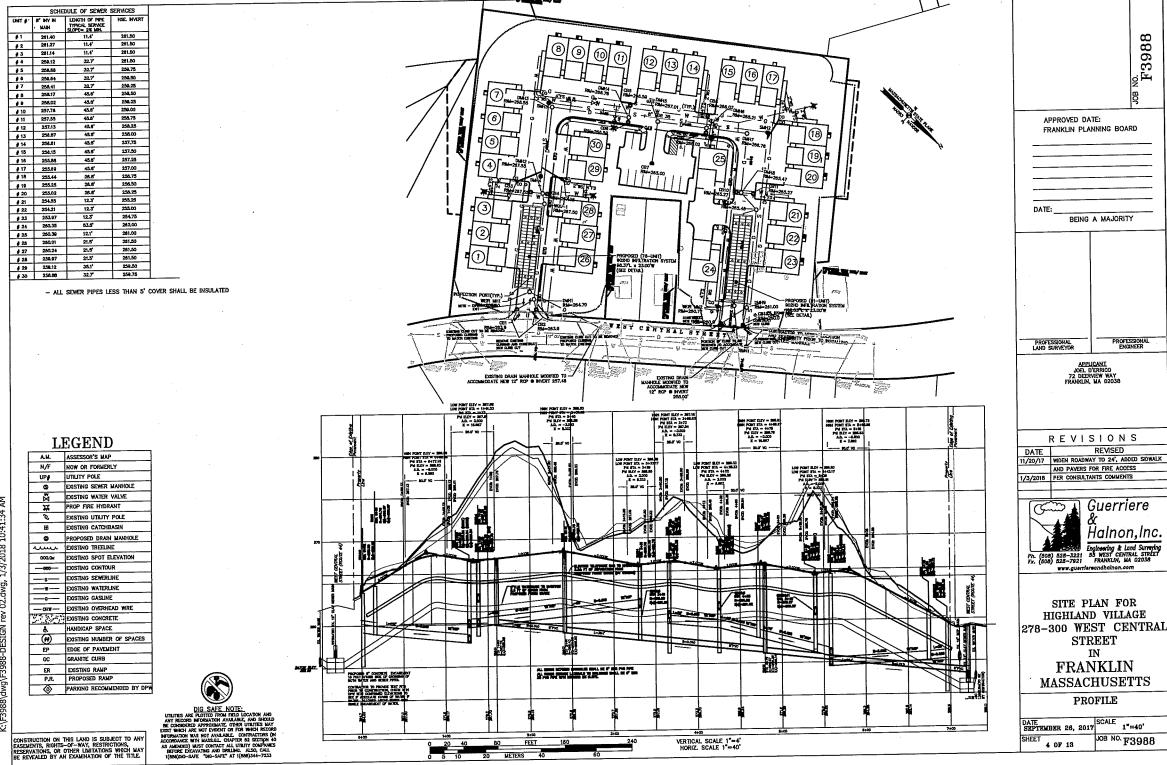
DATE SEPTEMBER 28, 2017 SCALE 1"=30'
SHEET 3 OF 13 JOB NO. F3988

DIG SAFE NOTE:

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0 15 30 60 FEET 120 0 2.5 5 10 25 METERS 50

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



FEET

20 METERS 40

VERTICAL SCALE 1"=4" HORIZ, SCALE 1"=40"

JOB NO. F3988

4 OF 13

TEGETAD					
A.M.	ASSESSOR'S MAP				
N/F	NOW OR FORMERLY				
UP#	UTILITY POLE				
0	existing sewer manhole				
×	EXISTING WATER VALVE				
**	PROP FIRE HYDRANT				
Ø.	EXISTING UTILITY POLE				
H	EXISTING CATCHBASIN				
•	PROPOSED DRAIN MANHOLE				
ımı	EXISTING TREELINE				
000.0k	EXISTING SPOT ELEVATION				
	EXISTING CONTOUR				
<u>s</u>	EXISTING SEWERLINE				
—-W	existing waterline				
<u> </u>	EXISTING GASLINE				
— OHY	EXISTING OVERHEAD WIRE				
	EXISTING CONCRETE				
ě.	HANDICAP SPACE				
(*)	EXISTING NUMBER OF SPACES				
EP	EDGE OF PAVENENT				
GC	GRANITE CURB				
ER	EXISTING RAMP				
P.R.	PROPOSED RAMP				
<b>(a)</b>	PARKING RECOMMENDED BY DE				
	CENER				



## GENERAL EROSION CONTROL AND DRAINAGE CONSTRUCTION PHASING

- 1. INSTALL EROSION CONTROL DEVICES ALONG PERIMETER OF SITE.
- 2. INSTALL CONSTRUCTION ENTRANCE.
- 3. SITE TO BE CLEARED AND GRUBBED.
- 4. INSTALL RETAINING WALLS.
- 5. INSTALLED SLOPE MATTING TO STABILIZE SLOPES (IF APPLICABLE)
- B. INSTALL CONSTRUCTION ENTRANCE.
- 7. INSTALL TEMPORARY SEDIMENT BASIN.
- 8. INSTALL TEMPORARY DIVERSION SWALES AND DIRECT THEM TO THE SEDIMENT BASIN. INSTALL CHECK DAWS EVERY 100 FT.
- 9. INSTALL DRAINAGE MANHOLES AND CATCHBASINS AND ENSURE TEMPORARY COVER IS IN
- 10. INSTALL SUBSURFACE INFILTRATION SYSTEMS AND WATER QUALITY UNIT.
- 11. INSTALL ALL DRAINAGE RISERS, GRATES AND COVERS
- 12. REMOVE CONSTRUCTION ENTRANCES.
- 13. INSTALL ROAD UP TO BINDER FINISH GRADE.
- 14. REMOVED TEMPORARY DIVERSION SWALES AND SEDIMENTATION BASINS AFTER SITE HAS BEEN STABILIZED AND PREPARED FROM BUILDING FOUNDATION INSTALLATION.
- 15. REMOVE PERIMETER EROSION CONTROL DEVICES ONCE SITE CONSTRUCTION IS COMPLETE.

02.dwg,

DESIGN rev

- 1. SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM.
- 2. INSTALL SILT SACKS.
- 3. BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL.
- 4. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION
- 5. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
- 6. ALL EXISTING STRUCTURES TO BE RAZED.
- 7. STOCK PILE AREA TO BE CONTAINED USING EROSION CONTROL DEVICES
- B. DIRT BAG SHALL BE USED TO PERIODICALLY CLEAN THE TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.



DIG SAFE NOTE:
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	TRIBUTARY AREA (AC.)	REQUIRED VOLUME (CF)	PROVIDED VOLUME (CF)	WATER LEVEL 10-YR. STORM (EL)
SEDMENT TRAP-1	0.77	1,388	4,206	283.46
SEDMENT TRAP-2	0,60	1,072	4,448	222.45
SEDMENT TRAP-3	0.48	860	4,237	223,12
SEDIMENT TRAP-4	0.80	1,448	4,237	223.12
SEDMENT TRAP-5	0.41	738.5	3,590	285.72

EROSION CONTROL DEVICE (TYP.) TEMPORARY STOCKPILE AREA (TYP.) TOTAL LOT AREA 137,824±5F (3.184±AC) -ROADWAY TO FINISH GRADE OF BINDER COURSE BASIN EL=264.0 AFTER GRATES INSTALLED (TYP.) PRATE EGSTING BUILDING SHELT DRIVEWAY, AND RELATED WALKWAYS - RAZE EXISTING STRUCTURE LOCATION OF UNDERGROUND INFLITATION SYSTEM (TYP.) 0.5% MIN SLOPE (TYP.) RAZE EDISTING BUILDING GARAGE DRIVEWAY, AND RELATED WALKWAY REP RAP OUTFALL (TYP.) — CONSTRUCTION — ENTRANCE (TAR.) ----

NO. F398E

APPROVED DATE:

DATE:

PROFESSIONAL LAND SURVEYOR

DATE

FRANKLIN PLANNING BOARD

BEING A MAJORITY

APPLICANT JOEL D'ERRICO 72 DEERVIEW WAY FRANKLIN, MA 02038

REVISIONS

11/20/17 WIDEN ROADWAY TO 24', ADDED SIDWALK AND PAVERS FOR FIRE ACCESS 1/3/2018 PER CONSULTANTS COMMENTS

Ph. (508) 528-3221 55 WEST CENTRAL STREET FX. (508) 528-7921 FRANKUN, MA 02038

SITE PLAN FOR

HIGHLAND VILLAGE

278-300 WEST CENTRAL STREET FRANKLIN

MASSACHUSETTS **EROSION & DEMOLITION** PLAN DATE SEPTEMBER 28, 2017 SCALE 1"=30'

5 OF 13

<sup>ЈОВ ИО.</sup> F398В

REVISED

Guerriere

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIJITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

NOTE: CALCULATIONS FOR MINIMUM SEDMENT BASH/TRAP VOLIME BASED ON MASSACHUSETTS BROSON CONTROL GUIDELINES FOR IXBAN AND SUBURBAN AREAS REPRINTED MAY 2003

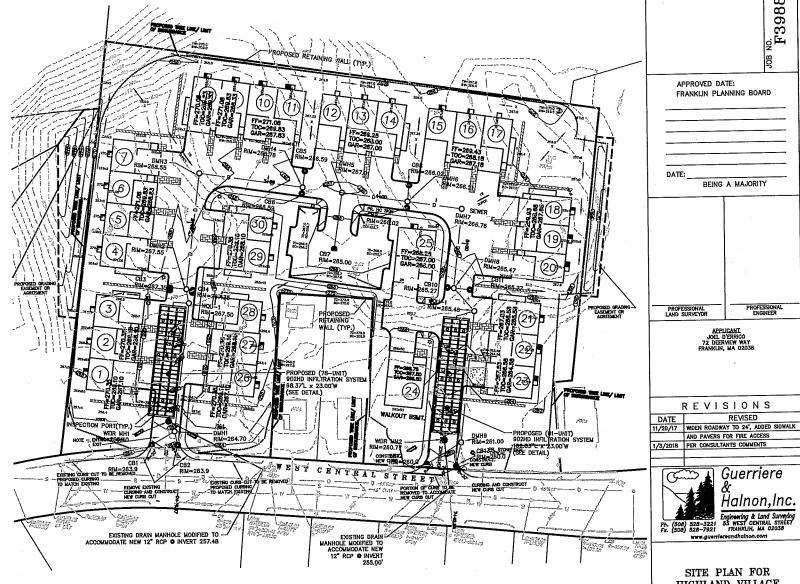
# LEGEND

Juli Cilia (12)					
A.M.	ASSESSOR'S MAP				
N/F	NOW OR FORMERLY				
UP#	UTILITY POLE				
0	existing sewer manhole				
×	existing water valve				
¥	PROP FIRE HYDRANT				
€.	EXISTING UTILITY POLE				
##	EXISTING CATCHBASIN				
0	PROPOSED DRAIN MANHOLE				
4	EXISTING TREELINE				
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—s—	EXISTING SEWERLINE				
w	EXISTING WATERLINE				
	EXISTING GASLINE				
OHW	EXISTING OVERHEAD WIRE				
2.00	EXISTING CONCRETE				
è	HANDICAP SPACE				
(4)	EXISTING NUMBER OF SPACES				
EP	EDGE OF PAVEMENT				
GC	GRANITE CURB				
ER	EXISTING RAMP				
P.R.	PROPOSED RAMP				
<b>Ø</b>	PARKING RECOMMENDED BY DP				



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72-18-CB-15	CB-13	CHAS	0.57	EDS	5 63	14		0.059			415	2.77	154.5	651			255.70	285.57	265.15	
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DESIGN COMPUTATIONS FOR STORM DRAINS





## STORM DRAINAGE NOTES

- 1. INSTALL CONNECTIONS TO CATCH BASINS, TSS REMOVAL UNIT AND DRAIN MANHOLES.
- 2. CONTRACTOR & ARCHITECT ARE TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
- 4. ALL DRAIN PIPES ARE 12" RCP CLII UNLESS OTHERWSE NOTED

#### SITE DRAINAGE INSTALLATIONS NOTES

- 1. EACH SUBSURFACE CHAMBER WILL BE INSTALLED SEPARATELY TO DESIGN ELEVATION.
- 2. INSTALL CONNECTIONS TO CATCH BASINS, TSS REMOVAL UNIT AND DRAIN MANHOLES.
- 3, excavate and install subsurface unit, backfill w/ stone maintaining 18°-24" cover and as-built each section.



SITE PLAN FOR HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET

Ph. (508) 528-3221 55 WEST CENTRAL STREET FRANKUN, MA 02038

NO. F3988

APPROVED DATE: FRANKLIN PLANNING BOARD

PROFESSIONAL LAND SURVEYOR

DATE

BEING A MAJORITY

APPLICANT JOEL D'ERRICO 72 DEERVIEW WAY FRANKLIN, MA 02038

REVISIONS

AND PAVERS FOR FIRE ACCESS

REVISED

Guerriere

Halnon, Inc.

FRANKLIN MASSACHUSETTS

GRADING & DRAINAGE

DATE SEPTEMBER 26,	2017	SCALE 1"=30"
SHEET 6 OF 13		<sup>ЈОВ НО.</sup> <b>F3988</b>

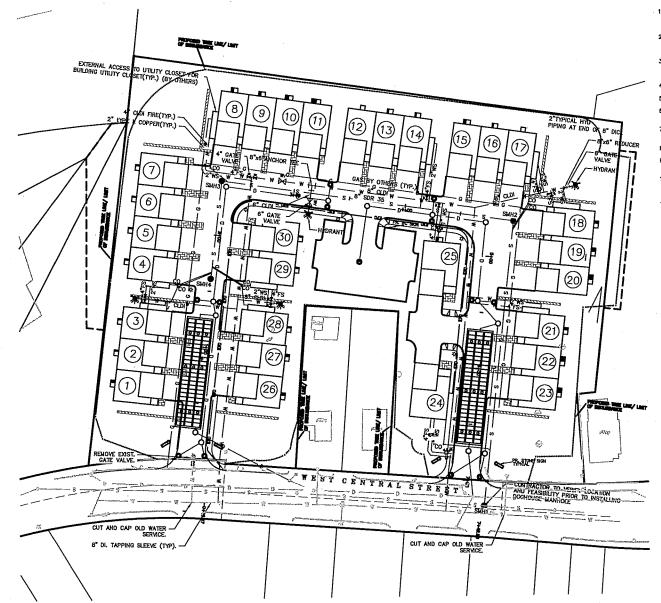
DEGREE					
A.M.	ASSESSOR'S MAP				
N/F	NOW OR FORMERLY				
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0	EXISTING SEWER MANHOLE				
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EP	EDGE OF PAVEMENT				
GC	GRANITE CURB				
ER	EXISTING RAMP				
P.R.	PROPOSED RAMP				
<b>(b)</b>	PARKING RECOMMENDED BY DPW				





DIG SAFE NOTE:
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ACCORDANCE WITH MASSELL CHAPTER 85 SECTION 40
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(1080)DOCATE TOPIC-SAFE AND ALL MASSELL CHAPTER SHOULD AND A CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



#### WATER NOTES

- THALEAN ATVALUE

  ALL PROPOSED WATER LINES TO MAINTAIN A 10'
  HORIZONTAL SEPARATION FROM SANITARY SEWER LINES
  OR MAINTAIN A 18' VERTICAL SEPARATION FROM
  SANITARY SEWER LINES.
  IN CASES WHERE VERTICAL AND HORIZONTAL
  SEPARATIONS ARE NOT MEET, THE WATER LINE MUST BE
  ENCASED WITH A DUCTILE IRON SLEEVE OR ENCASED IN
  CONCEPTE.
- SEPARATIONS ARE NOT MEET THE PRICE OR ENCASED IN ENCASED WITH A DUCTILE IRON SLEEVE OR ENCASED IN ENCASED WITH A DUCTILE IRON SLEEVE OR ENCASED IN ENCASED WITH A DUCTILE IRON SLEEVE OR ENCASED.

  3. ALL WATER TO BE ABOVE SEWER LINE UNLESS OTHER MEET MEET A CASE WHERE THE WATER MAIN LINE IS TO BE INSTALLED BELOW A SANITARY LINE, BOTH UNLESS OF THE SENASCH OF THE OF THE OFFICE OF THE COVER FROM FINISH GRADE SHALL BE INSULATED.

  4. ANY WATER LINE THAT IS LESS THAN 5 FT OF COVER FROM FINISH GRADE SHALL BE SENALED A 5'-7' COVER WATER WATER ABON TO HAVE BETWEEN A 5'-7' CONSTRUCTED IN ACCORDANCE WITH THE FRANKLIN WATER OFFI FROM SHALL SIZED AS NOTED.

  5. THE OFFI THE THE GUILATIONS.

  5. ALL WATER MAIN PIPE TO BE CLASS 52, CEMENT LINED, DUCTILE RON (CLD.1) SIZED AS NOTED. ALL HITTINGS SHALL BE RESTRAINED MECHANICAL CONTIL COMPLY WITH THE FRANKLIN WATER DEPARTMENT STROMAGNES TESTED AND SERVICES STADARDS.

  5. SISTEMICE OF THE ANY AND SERVICES STADARDS.

  5. SISTEMICE OF THE ANY AND SERVICES STADARDS.

  5. SISTEMICE OF THE ANY AND THE WATER DEPARTMENT STANDARDS.

  5. CONTRACTOR TO PERFORM EXPERIMENTAL EXCAVATIONS PRIOR TO ANY WATER MAIN WORK TO DETERMINE THE EXACT SIZE, LOCATION, ELEVATION AND MATERAL OF CONSTRUCTION OF THE DESTING UTILITY.

  1. THE 2' WATER SERVICES SHALL LINE STUT OFF VALVES

- 11. THE 2" WATER SERVICES SHALL HAVE SHUT OFF VALVES PRIOR TO ENTERING EACH BUILDING.

NO. F3988

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APPROVED DATE:

APPLICANT JOEL D'ERRICO 72 DEERVIEW WAY FRANKLIN, MA 02038

	REVISIONS
DATE	REVISED
11/20/17	WIDEN ROADWAY TO 24', ADDED SIDWAL
	AND PAVERS FOR FIRE ACCESS
1/3/2018	PER CONSULTANTS COMMENTS



Guerriere Halnon,Inc.

Ph. (508) 528-5221 55 WEST CENTRAL STREET FR. (508) 528-7921 FRANKLIN, MA 02038

SITE PLAN FOR HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET IN **FRANKLIN** MASSACHUSETTS

PROPOSED UTILITIES

DATE	SCALE
SEPTEMBER 28, 2017	1"=30'
SHEET 7 OF 13	<sup>ЈОВ NO.</sup> <b>F3988</b>



A.M.	ASSESSOR'S MAP
N/F	NOW OR FORMERLY
UP#	UTILITY POLE
8	EXISTING SEWER MANHOLE
X	existing water valve
*	PROP FIRE HYDRANT
Ø	EXISTING UTILITY POLE
88	EXISTING CATCHBASIN
•	PROPOSED DRAIN MANHOLE
um	EXISTING TREELINE
000.0 <sub>K</sub>	EXISTING SPOT ELEVATION
	EXISTING CONTOUR
s	existing sewerline
Y	EXISTING WATERLINE
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ě.	HANDICAP SPACE
(4)	EXISTING NUMBER OF SPACES
EPP	EDGE OF PAVEMENT
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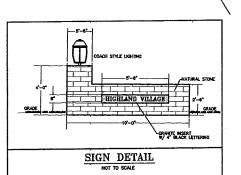
PLANTING LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
$\overline{\mathbf{O}}$	LITTLE LEAF LINDEN TILIA CORDATA	4' MIN. 2.5" CAL.	15
6	SUPERIOR HYBRID POPLAR POPULUS DELTOIDS X POPULUS NIGRA	4' MIN. 2.5" CAL.	13
•	ROSE OF SHARON HIBISCUS SYJACUS	5 GAL.	14
0	RHODODENDRON HENRY'S RED (DARK RED)	2' MIN.	6
*	HERMOCADIS DAYLILIES	2 GAL.	8
8	PYRAMIDLIS ARBORVITAE THUJA ACCIDENTALIS	5' MIN.	49

PLANTINGS TAKEN FROM THE TOWN OF FRANKLIN BEST PRACTICE GUIDE

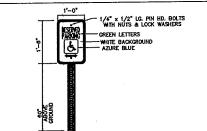
SUGAR MAPLE (ACER SACCHARUM)
 PH OAK (QUERCUS PALUSTRIS)
 RED MAPLE (ACER RUBRUM)



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(8) (9) 13 WSITOR PARKING SPACES Service Contract / The same of the last WEST CENTRAL



HANDICAP PARKING SIGN DETAIL

SITE PLAN FOR HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET IN **FRANKLIN** MASSACHUSETTS

NO. F3988

APPROVED DATE: FRANKLIN PLANNING BOARD

BEING A MAJORITY

APPLICANT JOEL D'ERRICO 72 DEERVEW WAY FRANKLIN, MA 02038

REVISIONS REVISED

11/20/17 WIDEN ROADWAY TO 24', ADDED SIDWALK AND PAVERS FOR FIRE ACCESS

Ph. (508) 528-3221 55 WEST CENTRAL STREET FRANKUN, MA 02038 www.guerriereandhainon.com

Guerriere

Halnon, Inc.

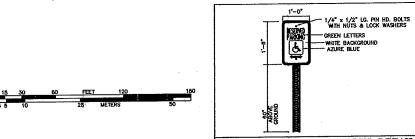
1/3/2018 PER CONSULTANTS COMMENTS

PROFESSIONAL ENGINEER

DATE:

LANDSCAPING

DATE SEPTEMBER 26, 2017 SCALE 1"=30' JOB NO. F3988 8 OF 13



DIG SAFE NOTE:

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CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS—OF—WAY, RESTRUCTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

THIS PHOTONETRIC PLAN IS BASED SOLELY UPON PROPRIETARY INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND CLIENT RECOMMENDATION.

LUMINAIRE LOCATIONS, LIGHTING PATTERNS, AND ILLUMINATION LEVELS WERE PREPARED LITULIZING INFORMATION SUPPLIED BY THE LUMINAIRE MANIFACTURER AND THE SOFTWAME PACKAGE SUPLY OUTDOOR, IT'S VALUES SKOULD BE CONSIDERED APPROXIMATE IN NATURE AND SHALL BE VERFIED BY THE LUMIN MANUFACTURER PRIOR TO INSTALLATION.

ACTUAL PERFORMANCE OF LIGHTING PATTERNS AND/OR ILLUMINANCE VALUES MAY VARY DUE TO VARIATIONS IN LIGHT HEIGHT, ELECTRICAL VOLTAGE, LAUP WATTAGE, AND OTHER VARIABLE FIELD CONDITIONS, OR USING A LUMINAIRE OTHER THAN

CUERRIERE & HALMON, INC ASSUMES NO RESPONSIBILITY FOR ANY SAFETY AND/OR SECURITY RISKS DUE TO INADEQUATE LIGHT LEVELS YMICH WAY OCCUR AFTER INSTALLATION.

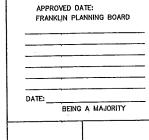


POLE HEIGHT TO BE 18'

AUB LISTING

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1942



NO. F3988

HO CW 7510 104 70 83-U1-01 NW 6894 108 64 83-U1-01

STREET LIGHTING NOT TO SCALE



Prof. by mild his MFT to (12) Metalets (" mil" Wis, Did States from fechal it" reduced delites a record

Parl Top Block Highes of Ro. Topin (C) or Febr

CCI 19 In. Pervier Motion Activated Outdoor Beveled Glass Coach Lantern

Product Overview

12553PW 19 h. Moton Activated Bevaled Glass Cough Lardam is shares switchable duel include motion activated or deal, to draw mode. Choose the function that suits your project. The high quality 19 mize the unit for your unique specifications. Motion activated lanters operates up to a 100-Wat buts (not included); Unit may be used with or without the left (included). Unit is weather resistant and countri arctionality with structure and style. UR and CUL Listed - industry standards for safety and longerty. The Designers Edge is an international manufacturer and manufactor of work lights, replies activated lighting, foodlighting, security lighting products, and landscape lighting products. Since 1697, we have tust our reputator at an innovator of high quality, uniquely designed productly. We have been recognized as a leaster in our industry oversceiving many patients and awards for our product designs and packaging

- 150 degree proton activated covers s 30 ft, detection range
- Adjustable time and sensitivity settings
- Corres with a 1 year warrant

Specifications

Product Depth (n.)

UNIT LIGHTING ON MOTION SENSORS NOT TO SCALE

REVISIONS

JOEL D'ERRICO 72 DEERVIEW WAY FRANKLIN, MA 02038

PROFESSIONAL ENGINEER

DATE	REVISED
11/20/17	WIDEN ROADWAY TO 24', ADDED SIDWA
	AND PAVERS FOR FIRE ACCESS
1/3/2018	PER CONSULTANTS COMMENTS



Halnon, Inc. Engineering & Lond Surveying 55 WEST CENTRAL STREET FRANKLIN, WA 02038

Guerriere

www.guerriereandhainon.com

SITE PLAN FOR HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET IN FRANKLIN MASSACHUSETTS

PHOTOMETRICS

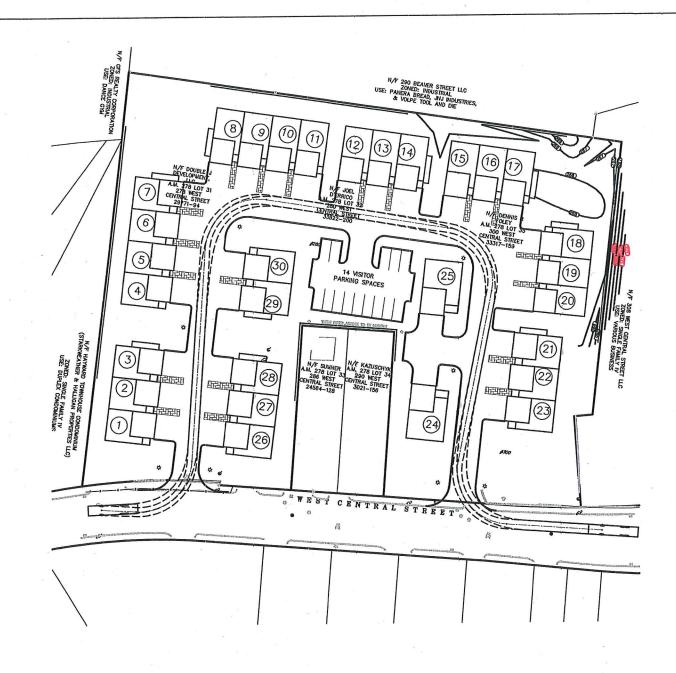
SCALE 1"=80" DATE SEPTEMBER 26, 2017 JOB NO. F3988

# · LEGEND

	111	JULITE
ſ	AM.	ASSESSOR'S MAP
Ī	N/F	NOW OR FORMERLY
1	UP#	UTILITY POLE
Ī	0	EXISTING SEWER MANHOLE
I	×	EXISTING WATER VALVE
1	共	PROP FIRE HYDRANT
1	Ø	EXISTING UTILITY POLE
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I	•	PROPOSED DRAIN MANHOLE
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ı	—s—	EXISTING SEWERLINE
1	w	EXISTING WATERLINE
1	—c—	EXISTING GASLINE
	- OHW-	EXISTING OVERHEAD WIRE
		EXISTING CONCRETE
	. &	HANDICAP SPACE
1	(4)	EXISTING NUMBER OF SPACES
1	EP	EDGE OF PAVEMENT
1	GC	GRANITE CURB
	ER	EXISTING RAMP
	P.R.	PROPOSED RAMP
	<b>(</b>	PARKING RECOMMENDED BY D



CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RICHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



SITE PLAN FOR HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET IN

Ph. (508) 528-3221 Fx. (508) 528-7921 FRANKLIN, MA 02038

JOB NO. F3988

APPROVED DATE: FRANKLIN PLANNING BOARD

BEING A MAJORITY

APPLICANT JOEL D'ERRICO 72 DEERVIEW WAY FRANKLIN, MA 02038

REVISIONS REVISED

> Guerriere Halnon, Inc.

PROFESSIONAL ENGINEER

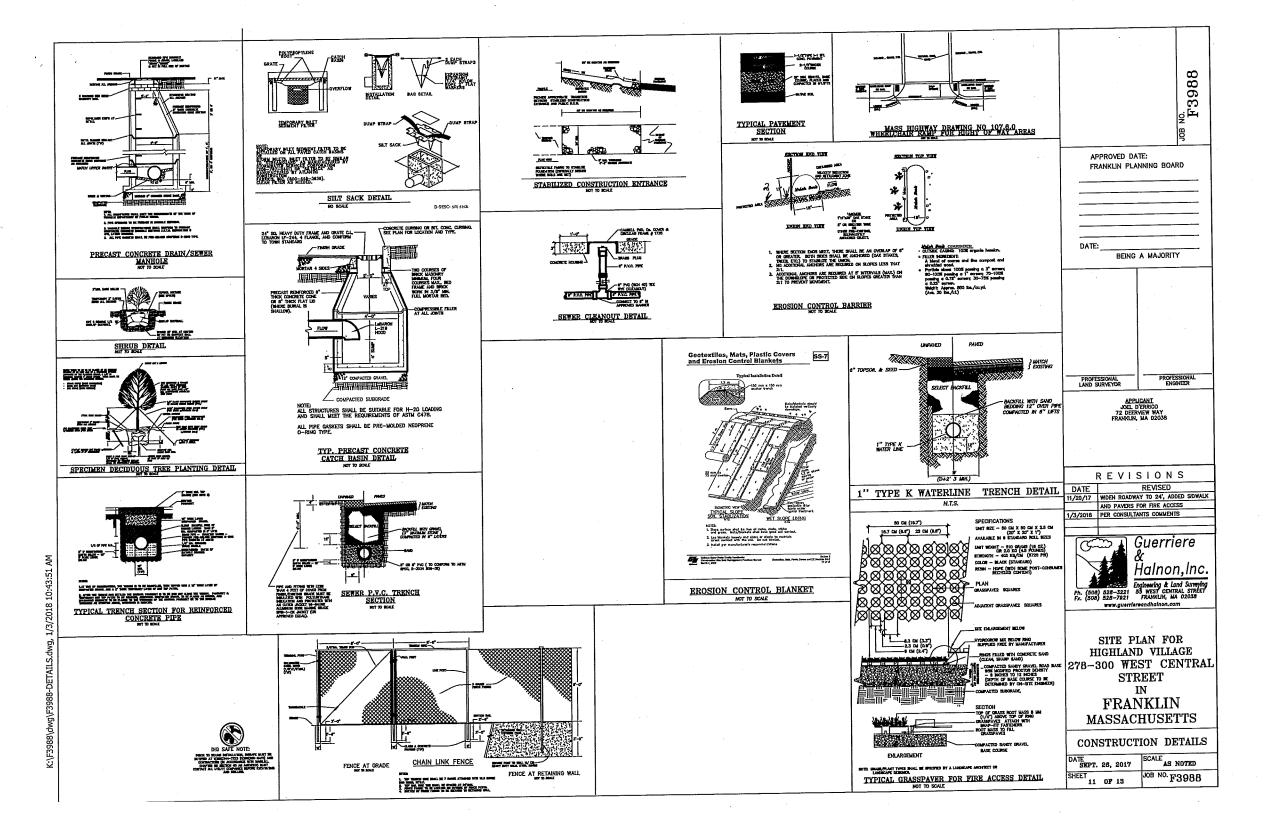
DATE:

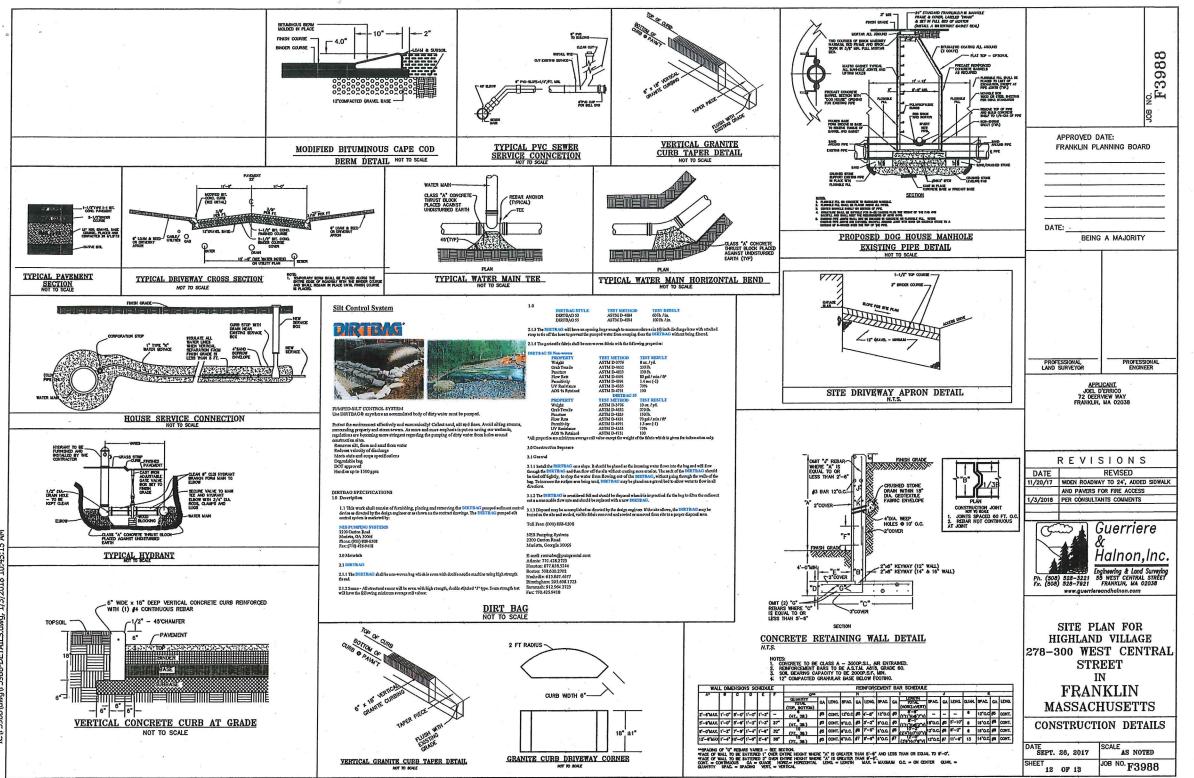
PROFESSIONAL LAND SURVEYOR

**FRANKLIN** MASSACHUSETTS

LANDSCAPING

TE JUNE 21, 2017	SCALE 1"=30"		
10 OF 13	JOB NO. F3988		





CASERAL.
CLUTEC RECHARGERO SCAND CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMMATER MANAGEMENT. THE CHAMBERS I CLUTEC RECHARGERO SCAND CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMMATER MANAGEMENT. THE CHAMBERS I SELIMON END STORMMATER RUNGER.

CAMBER PARAMETERS

1. THE CHAMBERS SHALL BE MANUFACTURED IN THE U.B.A. BY CULTEC, INC. OF BROCKFELD, CT. (2017)5-4116 (OR 1-600-428-6027)

- 2. THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ADCORDANCE WITH ASTNI F2767 "STANDARD PRACTICE FOR BYTCH THE UPPER OF THE BURG ASTIC CORRESOATED WALL STURMWATER COLLECTION CHAMBERS."
- 3. THE CHAMBER SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LIFE BETCS: DESIGN SECTEFICATIONS SECTION 12.12.
- 4. THE CHAVASER SHALL BE STRUCTURAL FOAU RESCTION MOLDED OF BLUE VIRON HIGH KOLECTIAN WEIGHT MAACT-MODIFIED POLYPROPILIENE.
- I THE CHANGER SHALL BE ARCHED IN SAFE
- 8. THE CHAVAER SHALL BE OPEN-BOTTOMES
- 7. THE CHANGER SHALL BE JOSHED USING AN INTERLOCKING OVERLAPPING RIS METHOD CONNECTIONS JUST BE FULLY SHOULDERED OVERLAPPING RES, HAYING NO SEPARATE COUPLINGS.
- 6. THE NOVANAL CHANGER DIVENSIONS OF THE CULTED RECHARGERS WITHD SHALL BE A PROCES (1219 mm) TALL, 78 NOVES (1881 mm) WIDE AND A 10 FEET (1.25 mm) LOHO, THE INSTALLED LENGTH OF A JONED RECHARGERS WITHD SHALL BE 3.57 FEET (1.12 m).
- MULTIPLE CHAMBERS MAY BE CONNECTED TO FORM DEFERENT LENGTH ROWS. EACH ROW SHALL EEGIN AND END WITH A REPARATELY FORMED CLATED RECHARGENS 0004D END CAP. MUSAMAN PLET OPENING ON THE BIOL CAP BE A PROCESS (000 mg).
- 19. THE CHANGER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTED HAVE FEED CONSIGTORS TO GREATE AN INTERVAL MAYEROLD MAGRAIN ALLOWASLE PRE-522E IN THE SIDE PORTAL IS 11.5 INCRES 222 mm).
- 11. THE HOMENAL CHAMBER DIMENSIONS OF THE CULTEC HYAVE FC-45 FEED CONNECTOR SHALL BE 12 INCHES (DOD pm) TALL, 15 INCHES (406 pm) WIDE AND 48 INCHES (1245 pm) LONG.
- 12. THE HOMEAU STORAGE VOLUME OF THE RECHARGERS SOZED CHAUSER SHALL BE 17.85 FT3 / FT (1.84) rd / rd ) - WITHOUT STONE. THE NOWARD STORAGE VOLLAGE OF A JONED RECOURGER ROTHER STORE.
- 13.THE HOMENAL STORAGE VOLUME OF THE HALV = FC-48 FEED CONNECTOR SHALL BE 0.913 FT3
  /FT r0.666 Ed / e1 WITHOUT STONE.
- 14. THE RECHARGERS SOOND CHANGER BHULL HAVE TWENTY-FOUR DESCHARGE HOLES BORED BITO THE SDEWALLS OF THE UNITS CORE TO PROMOTE LATERAL CONVEYANCE OF WATER. 15. THE RECHARGERS 902HD CHAMBER BHALL HAVE 7 CORRUGATION:
- IS THE CHANSER SHALL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH NEAR THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN OUT.
- 17. THE UNITS MAY BE TRUMBED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION
- 18. THE CHAMBER SHALL BE MANUFACTURED IN A FACILITY EMPLOYING CULTECTS QUALITY CONTROL AND ASSURANCE PROCESSURES.
- 18 MAXIMUM ALLOWANCE COVER OVER THE TOP OF THE CHALLER SWILL SEE 6.3 FEET (2.63 pc).
- D CAP PARAMETERS

  1. THE CULTED RECHARGERS 1028D END CAP (REFERRED TO AS TOND CAP) SHALL BE
  MANUFACTURED IN THE U.S.A. BY CULTED, INC. OF BROOKFELD, CT. (201-715-44)8 OR 1-800-428-6822
- 2. THE END CAP SHALL BE TWIN-SHEET THERMOFORMED OF BLACK VIRGIN HIGH MOLECULAR
- THE END CAP SKALL SE JONED AT THE BEGINNING AND END OF EACH ROW OF CHA USEND AN INTERLOCING OYIER JAPPING RIS METHOD. CONSECTIONS MUST BE FULLY SHOULDEED OFFER JAPPING RISS, INVINGENCE STRANGE COUPLINGS.
- 4. THE NOWAY, DAIRNESONS OF THE END CAP SHALL BE 44.5 NG/ES (1231 mm) TALL, 78 NG/ES (1892 mm) WIDE AND 8.7 NG/ES (248 mm) LONG, WHISH JONES WITH A RECHARGER 800-10 CHAMBER, THE RETAILED LEGATION OF THE END CAP SHALL BE 8.8 NG/ES (1877 mm).
- 5. MAXIMUM PRIET OPENING ON THE END CAP IS 24 INCHES (800 mm).
- THE END CAP SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEDESIN SPECIFICATIONS SECTION 12.12.

THE THE HAS A PECAL PEPP COMMECTOR PRODUCT RESCRICATIONS

QUINERAL

CLATECHMAY FO-43 FEED CONNECTIONS ARE DESIGNED TO CREATE AN INTERNAL MAKEPOLD FOR CULTEC RECK
MODEL SIGNED STORMWATER CHAMBERS.

- OR SHALL BE MANUFACTURED BY CULTED, INC. OF EROCKFIELD, CT
- THE FEED CONNECTOR SHALL BE VACUUM THERMOFORMED OF BLACK HIGH MOL WEIGHT HIGH DENSITY POLYETHTIENE (MARKOFE).
- 3. THE FEED CONNECTOR SHALL BE ARCHED IN SHAPE
- THE FEED CONNECTOR SHALL BE OPEN-BOTTOMED.
- THE NOLINAL DIJENSIONS OF THE CULTEC HALV FC-48 FEED CONNECTOR SHALL BE 12 INCHES (300 cm) TALL, 16 INCHES (400 cm) WIDE AND 48 INCHES (1246 cm) LONG.
- THE NOMENAL STORAGE VOLUME OF THE HALV FC-48 FEED CONNECTOR SHALL BE 0.913 FT\*/ FT (0.65 p\*/ ph) WITHOUT STOME.
- 7. THE HALV FC-48 FEED CONNECTOR SHALL HAVE 4 CORRUGATI
- THE HALV FO-48 FEED CONNECTION MUST SE FORMED AS A WHOLE UNIT HAVAND TWO OPEN BHO WALLS AND HAVAND NO SEPARATE END PLATES OR SEPARATE END WALLS. THE URIT SHALL FIT WITO THE SOSE PORTILAS OF THE CULTER EXCURRIES STORWARTER CHAMBER AND ACT AS GROSS FEED CONNECTIONS GREATING AN INTERVAL MAYOR.
- THE FEED CONNECTOR SHALL BE DESIGNED TO WITHSTAND ASSITO HS-23 DEFINED LOADS WHEN INSTALLED ACCORDING TO CALTEC'S RECONAUGHDED INSTALLATION INSTRUCTIONS.
- O. THE PEED CONNECTOR SHALL BE MANAPACTURED IN AN ISO BOX 2008 CERTIFIED FACILITY.

1/3/2018

OCHECAL.

CULTEGNO, 65 "MOVEN GEOTECTILE IS UTILIZED AS AN UNDERLAYMENT TO PREVENT SCOURING
CULTEGNO, 65 "WOVEN GEOTECTILE IS UTILIZED AS AN UNDERLAYMENT TO PREVENT SCOURING
CULTED BY WATER MOVEMENT WITHIN THE CULTEC CHARGES AND FRED CONNECTORS UTILIZANG
THE CULTEC MAYOUD FEATURE.

- 1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-44)8 OR 1-800-125-8832)
- THE GEOTEXTELE SHALL BE BLACK IN APPEARANCE.
- 1. THE GEOTEXTRE SHALL HAVE A TENSILE STRENGTH OF 315 LB9 (LAGO) PER ASTM 04602 TESTING METHOD. A THE GEOTEXTILE SHALL HAVE A TENSILE ELONGATION RESISTANCE OF 15% PER ASTILIDADO TESTINO METHO
- THE GEOTEXTILE SHALL HAVE A MULLEN BURST RESISTANCE OF BOOPSI (4138 KPA) PER ASTM D3788 TESTING METHOD.
- 6. THE GEOTEXTRE SHALL HAVE A TEAR RESSTANCE OF 116 LBS (0.51 NO) PER ASTM DASSITEETING METHOD.
  7. THE GEOTEXTRE SHALL HAVE A PRACTURE RESISTANCE OF 116 LBS (0.51 NO) PER ASTM DASSITEETING METHOD.
  7. THE GEOTEXTRE SHALL HAVE A PRACTURE RESISTANCE OF 106 LBS (0.68 NO) PER ASTM DASSITEETING METHOD.
- IL THE GEOTEXTILE SHALL HAVE A CHR PUNCTURE REDISTANCE OF NOT LBS (4.00 NO) PER ASTM DEZ41 TESTING METHOD.
- A THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF TON @ 500 HRS. PER ASTM DASS TESTING MET IL THE GEOTEXTILE SHALL HAVE A PERMETTIMITY RATING OF D.C.S. SEC-1 PER ASTIM DATA! TESTING METHOD,
- II. THE GEOTEXTRE SHALL HAVE A WATER FLOW RATING OF A GPIAFT2 (180 LPMAIZ) PER ASTM D4421 TESTING METHOD.
- 2. THE GROTEXTEE SHALL HAVE A PERCENT OPEN AREA OF <1% PER CW-02216 TESTING METHOD. THE SHALL HAVE AN APPARENT OPENING BOZE OF 40 US STID. SELVE (0.425 MM) FER ASTIN DATA! TESTING
- 14. THE GEOTEXTILE SHALL CONSIST OF A 100% HIGH-TENACITY, ELT-FILM POLYPROPYLENE YARNS.

#### **GENERAL EROSION CONTROL AND** CONSTRUCTION NOTES

- THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE
- CONSTRUCTION, ALL AREAS OUTSIDE THE BUILTS OF DISTORBAN SHALL REMAIN TOTALLY UNDISTURBED. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.
- RAINFALL EVENT.

  AMENTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.

  CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION
- AND SEDIMENT CONTROLS FOUND TO BE FAULTY.
  ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE
  BASINS SHALL BE REMOVED WEEKLY.
- BASINS SHALL BE REMOVED MEEKLY.

  THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION
  AND SEDMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT
  OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR COURDING OF ANY PORTION OF THE PROPERTY. THESE MEASURES GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASOS SHALL BE MAINTAINED IN FEFFOR THROUGHOUT THE DITTIES CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADECUATIVE FORETAINET COVER. SEDILIENT BUILD UP BEHIND FILTERUIT SHALL BE AND BE READOWD WHENEVER IT HAS ACCUMULATED TO FOUR
- INCHES IN DEPTH.
- INCHES IN DEPTH.

  B. CATCH BASHS SHALL BE PROTECTED WITH SLT FILTERS (SLT SACKS). RISPECT SEDMENT FILTERS AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER RAMPAL THAT PRODUCES RUMOFF.

  9. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDMENT REACHES WHEN 124 HOURS OF INSPECTION WHEN SEDMENT REACHES ONE HALF OF THE FILTER SACK PETH. CATCH BASHS SHALL BE PROTECTED BY SEDMENT FILTERS THROUGHOUT THE CONSTRUCTION PERSON AND UNIT. ALL DISTURBED AFEC SACE THROUGHOUT STRABLED, DATE OF SHALL BE CALEARD WITHOUT STRABLED, THE STALLATION
- BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 28 INCHES AND DIMEDITATE YOLOMBIG INSTALLATION OF PERMANENT PACIENT.

  O. HE CONTRACTOR SHALL MANTAIN AN ADEQUATE STOCKPILE OF ENGSON CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROLLINE REPLACEDED THO SHALL INCIDENCE MATERIALS TO REPLACE SHAT PRO SHALL INCIDENCE MATERIALS TO REPLACE OF THE SHALL SHATE OF THE PACE OF THE SHALL SHATE OF THE SHALL SHATE OF THE SHAT
- DURING CONSTRUCTION.

  11. THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2 INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED BUILDINGLY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSON CONTROL DEWICES SHALL BE MAINTAINED, REINFORCED, OR REPLACED IF NECESSARY, ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED
- MATERIALS COLLECTED
  BY THE SEDMENTATION CONTROL SYSTEMS SHALL BE REMOVED
  AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND
  DISPOSED OF IN A MANKET THAT IS CONSISTENT WITH THE
  INTENT OF THIS PLAN, IN AN UPLAND AREA.
- INTENT OF THIS PLAN, IN AN UPLAND AREA.

  13. TEMPORARY EARTH OR STONE DIKES, DRAINAGE SWALES AND/OR
  TEMPORARY SLOPE DRAINS SHALL BE INSTALLED WHERE OFF—SITE
  OR ON—SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL
- OR ON-SITE RUNDEY IS SUFFICIENT ENDUCH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSON WHIBIN THE FLUINS OF WORK.

  4. STORM DRAIN HILET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASSINS IN THE PROCECT AREA. PRIOR TO COMPLETION OF THE PROCECT, ALL CATCH BASSINS WITHIN THE PROCECT AREA. SHALL BE CLEARED.

  5. ALL DISTURBED EARTH SUCPES AREA TO BE ESTABLIZED WITH PERMANENT VESETATIVE COVER TO BE ESTABLISHED AS SOON AS POSSIBLE, DISTURBED AREAS, TO BE ESTABLISHED AS SOON AS CONSTRUCTIVE COVER AS SOON AS FINAL CONTROLLING THE COVER AS SOON AS FINAL CONTROLLING. ILBIDOMAY YELETATIVE CUPEN AS SOON AS IMAC EXPONENT TO THE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHED FOR YELETABLISHED FOR YELETABLISHED TO FECETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED AS SOON AS WEATHER CONDITIONS ALLOW.
- CONDITIONS ALLOW.

  10. THERE SHALL BE NO DIRECT DISCHARGE OF DEWATERING OPERATIONS INTO ANY DRABAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETILEABLE SOLIDS. ANY DEWATERING DISCHARGE CONTAINING SETTLEABLE SOLIDS. (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE(FILTER BAC) TO REMOVE THESE SOUDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTRE DEWATERING OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
- DEFICIENCIES IMMEDIATELY.

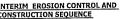
  17. SOL STOCKPILE AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS.

  18. ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND
- CONSTRUCTION,

  19, ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE
- ONTRACTOR TO ENSURE SURWALL

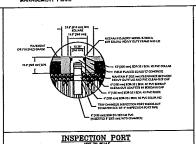
  OF EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE
  CERTIFICATE OF COMPLETION IS ISSUED

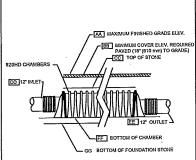
#### INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE



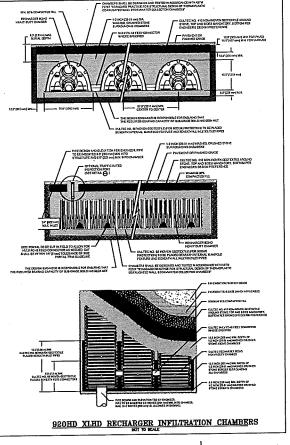
- INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER INSPECT AND PREPARE LETTER. RAZE THE DESIGNED BUILDINGS, PAVEMENT, WALKWAYS, ETC CLEAR SITE OF ALL TREES DESIGNATED TO BE REJOVED. CONSTRUCT A TEMPORARY BASIN TO COLLECT RUNOFF DURING CONSTRUCTION.
- CONSTRUCTION.
  STOCKPILE LOAM, OR REMOVE LOAM.
  INSTALL PIPES FOR DRAINAGE SYSTEMS. INSTALL DISCHARGE
  POINT ON EACH SYSTEM.
- BRING SITE TO SUB-GRADE
- BILLY SUPERALDER THE PROPERTY LINES SHALL BE MULCHED TEMPORARY, IF DISTURBED.

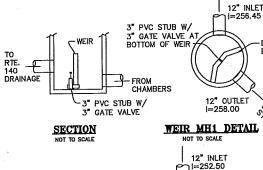
  TEMPORARY STOKE (3/4" 1 ½") SHALL BE PLACED AT THE
- PROJECT ENTRANCE WHEN ACCESSING EXISTING PAYEMENT.
  SWEEPING IS REQUIRED IF FINES ARE OBSERVED IN THE
  PARKING LOT OR PUBLIC WAYS. ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM
- AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEVISE. ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED
- ALL CONSTRUCTION GRADES IN THE INTERIOR STATE BE SECTED TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE.
  THE SITE MITIGATION OF EROSION IN THOSE AREAS TO BE LANDSCAPED OR MULCHED SHALL BE TO INSTALL AS SOON AS
- 12. CLEAN ALL SEDIMENT OUT OF TEMPORARY BASIN AND INSTALL CLEAN FILL PER PLAN SPECIFICATIONS PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
- AND SURFACE STABILIZATION.
  THE SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED
  PRIOR TO PAVEMENT INSTALLATION PROPER FILTERFABRIC
  SHALL BE PLACED AT INLETS TO KEEP THE STORM DRAINAGE
- CLEAN OF DEBRIS.
  ONCE THE CURB IS INSTALLED, THE PERMANENT MULCH AND
  LANDSCAPING SHALL BE INSTALLED.
  SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS
- SEDIMENT CONTROL SHALL REMAIN IN PLACE OF THE STABILIZED.
  CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING,
  TEMPORARY BASIN, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT FACH CATCH BASIN.
- KEEP SITE SWEPT AND MAINTAINED PER STORMWATER MANAGEMENT PLAN.



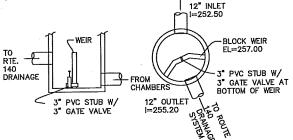


		:	
		RECH-1	RECH-2
AA	MAXIMUM FINISHED GRADE ELEV.	268.21	265.70
ВВ	MINIMUM COVER ELEV.	265.60	261.13
CC	TOP OF STONE	261.45	257,50
DD	12" INLET	257.68	254.46
EE	12" OUTLET	256.45	252.50
FF	BOTTOM OF CHAMBER	256.45	252.50
GG	BOTTOM OF FOUNDATION STONE	255.70	251.75





SECTION



WEIR MH2 DETAIL

8 . F391

APPROVED DATE: FRANKLIN PLANNING BOARD DATE: BEING A MAJORITY PROFESSIONAL

> APPLICANT, JOEL D'ERRICO 72 DEERVIEW WAY

REVISIONS

DATE REVISED 11/20/17 WIDEN ROADWAY TO 24', ADDED SIDWALK AND PAVERS FOR FIRE ACCESS 1/3/2018 PER CONSULTANTS COMMENTS



-BLOCK WEIR

EL=261.25

Guerriere Halnon.inc.

Ph. (508) 528-3221 55 WEST CENTRAL STREET FX. (508) 528-7921 FRANKLIN, MA 02038 www.guerriereandhalnon.com

SITE PLAN FOR HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET IN

FRANKLIN **MASSACHUSETTS** 

CONSTRUCTION DETAILS

AS NOTED SEPT. 26, 2017 <sup>рв но.</sup> F3988 13 07 13

**ELEVATIONS** 

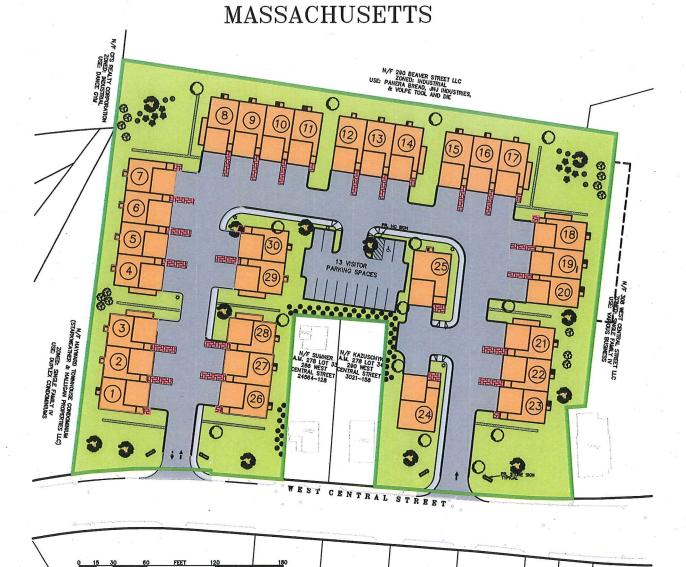


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— OHW —	EXISTING OVERHEAD WIRE
200	EXISTING CONCRETE
å	HANDICAP SPACE
(#)	EXISTING NUMBER OF SPACES
EP	EDGE OF PAVEMENT
GC	GRANITE CURB
ER	EXISTING RAMP
P.R.	PROPOSED RAMP
<b>(</b>	PARKING RECOMMENDED BY DP

# HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET IN FRANKLIN



B NO.





CONSTRUCTION ON THIS LAND IS SUBJECT TO AN EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MA

Guerriere & Halnon, Inc.

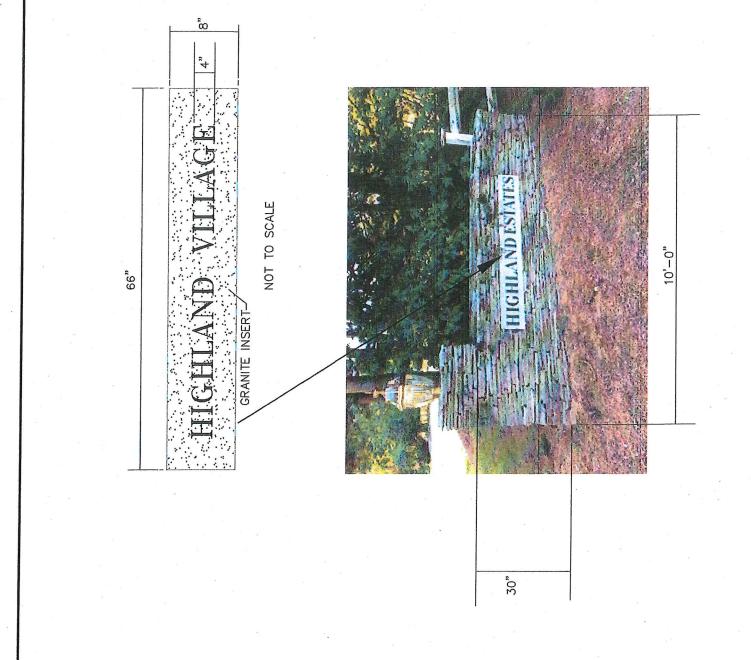
Ph. (500) 828-3221 Engineering & Lond Surveying 85 WEST CENTRAL STREET

PK. (808) 852-3221 ENGINEER, MA 202058

JOEL D'ERRICO 72 DEERVIEW WAY FRANKLIN, MA 02038

SITE LAYOUT

DATE JANUARY 2, 2018 | SCALE 1"=30' |
SHEET JOB NO. F.3.088



SIGN DESIGN
HIGHLAND VILLAGE
278, 280, & 300 WEST
CENTRAL STREET
IN
FRANKLIN
MASSACHUSETTS

3988

APPLICANT JOEL D'ERRICO 72 DEERVIEW WAY FRANKLIN, MA 02038



# FORM Q

# TOWN OF FRANKLIN DESIGN REVIEW APPLICATION FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information
Name of Business or Project: McDonald's Restaurant
Property Address 345 East Central Street
Assessors' Map # Parcel # 112
Zoning District (select applicable zone):Commercial II District
Zoning History: Use VarianceNon-Conforming Use
B) Applicant Information:
Applicant Name: McDonald's USA, LLC
Address: 690 Canton Street  Westwood, MA
Westwood, MA
Telephone Number:(781) 329-1450
Contact Person: Rhona Murray (Rhona.murray@us.mcd.com)
C) Owner Information (Business Owner & Property Owner if different)
Business Owner: Property Owner: McDonald's Real Estate Company
Address: One McDonald's Plaza
Oak Brook, IL 60523
All of the information is submitted according to the best of my knowledge
1 Duan Husty 11.20.2017
Signature Date Submitted
Print Name: PRIAN T. SHEEDY

\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 – 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) <u>Architect/Engineer/Sign C</u>	Company Information (if not the applicant)
a. Sign Company	
Business Name:	
Contact Person:	
Address	
Telephone Number:	
-	
b. Architect/Engineer (when	ı applicable)
Business Name: SkyBorne Tec	chnologies
Contact Person:	
Address P.O. Box 875, Wes	stford, MA 01886
Telephone Number:	
E) Work Summary	
Summary of work to be done:	Re-design of drive-thru configuration, accessibility upgrades
and exterior/interior building ren	nodel.
D T C 41 O B T 4 1 1	4. L. C. L. Add. J. m. M. A. a. L. Add.

# F) Information & Materials to be Submitted with Application

## a) FOR SIGN SUBMISSIONS ONLY:

# NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include

type of sign (wall, pylon etc.)

colors

size/dimensions

materials

style of lettering

lighting-illuminated, non-illuminated and style

- 2. Drawing and/or pictures indicating location of new sign.
- 3. Picture of existing location and signs (if previously existing location)

# b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

# NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

- 1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
- 2. Lighting Plan indicating lighting levels & specifications of proposed lights
- 3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
- 4. Drawings or pictures of existing conditions
- 5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

# **DESIGN STANDARDS**

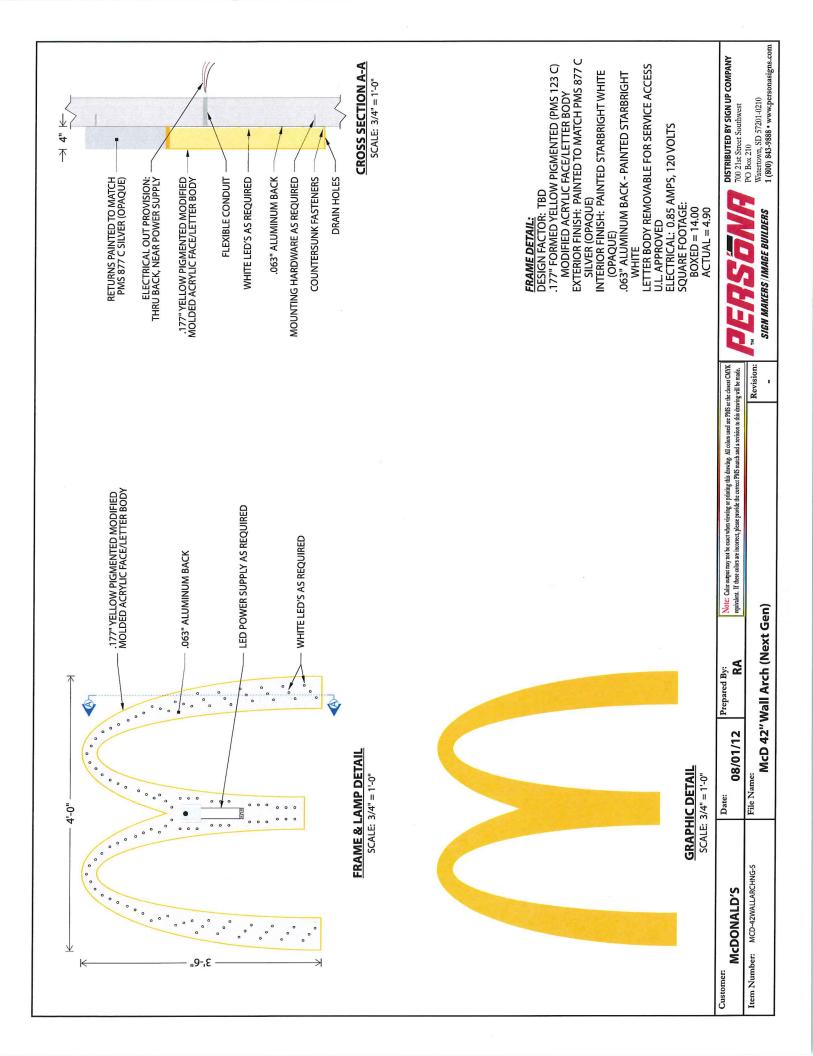
Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

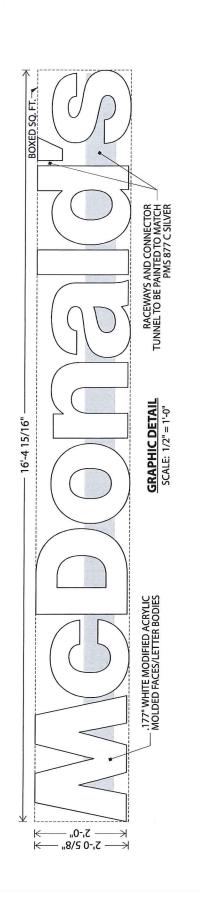
1. <b>Height</b> —The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements.
The Height of the new structure will be the same as it was before construction ±19'-4".
The Holgh of the new drastare will be the came as a was select constraint.
2. <b>Proportions of Windows and Doors</b> – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. The existing windows and doors will be replaced with new energy efficient windows and doors of like kind
and size. The only difference will be the removal of the existing bay window with a regular store front
window. Doors will be replaced with new doors of same size.  3. Relations of Building Masses and Spaces – The relationship of a structure to the open space between it and adjoining structures shall be compatible.
The building is not changing from the existing footprint/size
4. <b>Roof Shape</b> – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. The roof shape did not change in the front of the building but the rear mansard roof is proposed to change to a parapet to match the front.
5. Scale – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. The scale of the building is not changing.
6. <b>Façade, Line, Shape &amp; Profile</b> – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context:
7. <b>Architectural Details</b> – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area.  The new signage will be of like size and kind limited to (2) Arch signs, and (1) wordmark sign and will
not be any color that wasn't already approved.

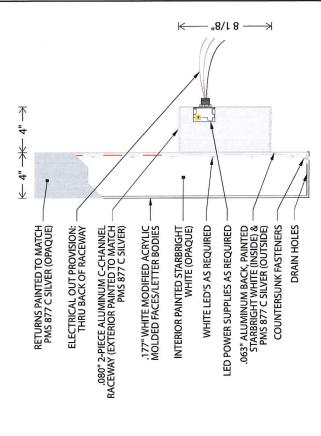
8. Advertising Features – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the
proposed buildings and structures and the surrounding properties.
This is a commercial area with existing advertising signs. All new signs are of like size and color to what
is currently existing.
9. <b>Heritage</b> – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable.  Not applicable
10. <b>Energy Efficiency</b> – To the maximum extent reasonably practicable, proposals shall utilize energy efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. The new windows are energy efficient and materials used are made from sustainable materials.
11. <b>Landscape</b> - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.  No new landscaping will be added nor any existing removed.

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

Form Q-DRC Application-2009 P/6DesRevCom/Forms&Checklists







.177" MOLDED WHITE MODIFIED ACYLIC LETTER BODIES EXTERIOR FINISH: MATCH PMS 877 C SILVER (OPAQUE); **BACKS PAINTED PMS 877 C SILVER** INSTALLED ON ALUMINUM BACKS

INTERIOR FINISH: STARBRIGHT WHITE (OPAQUE)

LETTER BODIES REMOVABLE FOR SERVICE ACCESS ACCESS PANEL BEHIND LETTER "n" FOR RACEWAY ACCESS

ELECTRICAL: 2.50 AMPS, 120 VOLTS U.L. APPROVED

SQUARE FOOTAGE:

ACTUAL = 19.53 BOXED = 33.38

Customer:

" McDONALD'S	Date: 07/31/12	Prepared By: RA	Note: Color oupur may not be exact when viewing or printing this drawing, All colors used are PMS or the closest CAPTK equivalent. If these colors are incorrest, please provide the correct PMS match and a revision to this drawing will be made.
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Item Number:

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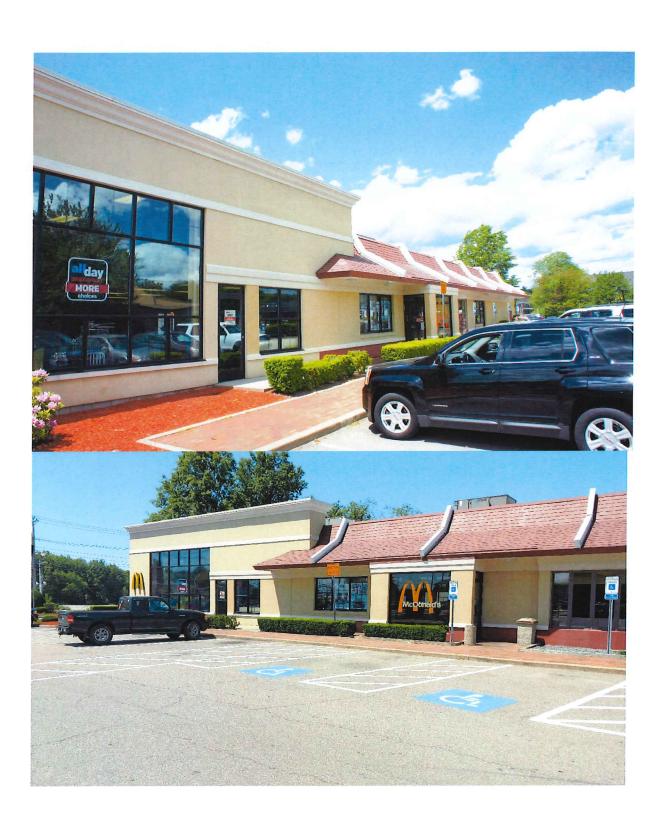
**LETTER PROFILE** SCALE: 11/2" = 1'-0" **DISTRIBUTED BY SIGN UP COMPANY** 700 21st Street Southwest PO Box 210

Watertown, SD 57201-0210 1 (800) 843-9888 • www.personasigns.com













# SITE DEVELOPMENT PLANS

PROPOSED

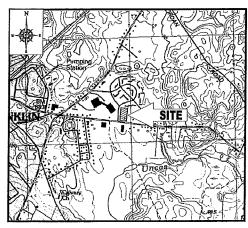


WITH DRIVE-THRU

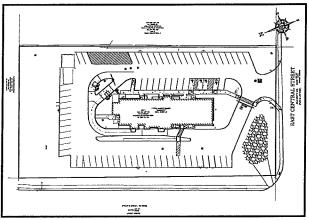
LOCATION OF SITE:

# 345 EAST CENTRAL STREET TOWN OF FRANKLIN NORFOLK COUNTY, MASSACHUSETTS

LOT 112, MAP 285



LOCATION MAP



AREA PLAN

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1 OF 11
GENERAL NOTES SHEET	C-2 OF 11
DEMOLITION PLAN	C-3 OF 11
SITE PLAN	C-4 OF 11
GRADING & DRAINAGE PLAN	C-5 OF 11
SOIL EROSION & SEDIMENT CONTROL PLAN	C-6 OF 11
SOIL EROSION CONTROL NOTES & DETAILS SHEET	C-7 OF 11
DETAIL SHEET	C-8 OF 11
DETAIL SHEET	C-9 OF 11
LANDSCAPE PLAN	C-10 OF 11
LANDSCAPE NOTES	C-11 OF 11
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 OF 1

## SHEET INDEX

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SST TURKINE ROLD SOUTHBOROUGH, MA 01772 Proce Cott 40-9000 www.BohlerEngineering.com	CAD LD. #: M172008_ss0.dwg

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SITE DEVELOPMENT PLANS				
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		PLAN CHECKED	11/21/17
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#### GENERAL NOTES

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- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY PEPERBYCE AS PART OF THIS SITE FLAN.
- SURVEY TROUNDARY & TOPOGRAPHIC SURVEY, NADOWALD'S USA, LLC, SAS EAST CENTRAL STREET, REFLARED BY CONTROL POINT ASSOCIATES, NC., DATED JANG 12, 2027.

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#### GENERAL DEMOLITION NOTES

- SURJEY SOLIZORY & TOPOGRAPIO SURJEY, NEOVALDS USA, LLC, INSERST CENTRAL STREET, PREFARED BY CONTROL PONT ASSOCIATES, RIC, DATED J.A.S. 12, 2317.
- CONTRICTOR SHALL REPORT ALL WORLD ACCORDANCE WITH THE REQUESTES OF THE OCCUPATIONAL EMETY AND HEALTH ACT OF 15°D, (28 U.S.C. 61 H Mag.). AS IMPORTED AND ANY MODERNITORS, AMENORED TO REPORT A TO SAME
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- THE CONTRACTOR WASTURE DUST COURTED, MASSARS TO LIMIT ARRONG DUST AND DRIT RISING AND SCATTERING IN THE ARE IN ACCORDANCE WITH FEEL AND RECORD STEADARDS. AFTER THE DISBUTION'S COMPLETE CONTRACTOR WASTED DAYS ALL LOUGHEST STRUCKLINGS AND ARRONGESTS TO RESIDENCE AND ADMINISTRATION OF THE CONTRACTOR REPORTS OF FOREIGNING ALL LAUGHOST AREAS THE TRES DISBUTION.
- CONTRACTOR IS RESPONSEDED ON SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMONSTRON IN SUICH A WANNER AS TO PREVENT THE ENTRY OF
- CONTRICTOR IS REPORTED FOR STE TOR EVETY, WHICH MUST NOLICE BUT NOT BE UNITED TO, THE INSTALLATION AND MANIFEMENTE OF SAFRERD, FENCING AND 21 OTHER APPROPRIATE SAFETY (FIBS) RECESSARY TO PROTECT THE PLEBUC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVATE. THE BEAM CHILD HAVE A PURPOUT DOUBLY FIVE BEATTH FIRE DOUBLY THAN A PROPERTY OF THE PURPOUT OF T
- DESIGNATION OF EIGRED ON THE BURGET STE. ALL DEACHTON WASTES AND DESIGN DEWATER MUST BE DISPOSED OF INACCIDENCE RETHALL MANOW COUNT, STATE, AND FEEDRAL LIMB AND PROJUCES CODES. THE CONFINCTION WAST WANTAIN RECORDS TO DEMONSTRATE PROFER DISPOSAL ACTIVITIES, TO BE PROJECTLY PROJUCED TO THE OWNER POLICY.
- CONTRACTOR ILEST MANTAN A RECORD SET OF PLANS APON INFOLIS INDICATED THE LOCATION OF ELETING UTILITIES THAT ARE CAPPED, ASMOCRED IN PLACE, OR RELICATED LET TO RECOLD CONTRACTION FOR THE SECOND DOCUMENT MUST BE PREPARED IN A MEAT AND INCREMINATIVE MUNICEL, MOTURNED OVER TO THE DWARFDOWN COMMENTATION OF THE ROOK.

#### ADA INSTRUCTIONS TO CONTRACTOR:

- . PRINCIPLE SPACES AND PARKING MERES SCOPE SHALL NOT EXCRED 150 (OF YER FOOT OR NEWNALLY ZONG MANY DEFECTION
- LINDINGS MUST BE PROVIDED AT EACH END OF RRUPS, MUST PROVIDE POSITIVE DRIVINGS, AND MUST NOT EXCEED 150 (MF PER FOOT OR NOWNALLY 20%) IN
- IN THE THIRD, LOCAL CASSISSES, EXT. A. MET PROVED, A JAMON ON GRASTIAN LOCALISATION BETTY OF THAT CAN OFFINISHED ALOOH INFORMATS.

  CHANGE TRANSPARE THAN MARKINGHY, THE CHANT SEE OF GENERAL WAS LOGALISHED ALOOH TO CHANT FOR CHA
- WELL HE PROVIDED CONSTRUCTION MOVIES RECORDINATION, LICENSFORM OF DEPRESON OF OR THE CONSTRUCTION OF THE PROVIDED CONSTRUCTION OF TH
- The contractor must never the slopes of contractors forus from to fournet concrete. If any non-conformace is deserted or exists, contractor must basedately notify the dispers from to fourne concrete contractor is responsed for all costs to resort, refar no

IT IS STRENGED RECOMMENDED THAT THE CONTRACTOR REVEN THE INTENDED CONSTRUCTION WITH THE LOCK, BLILDING CODE FRICK TO COMMENCERRY TO CONSTRUCTION

#### GENERAL GRADING & UTILITY PLAN NOTES

LOCATION OF ALL EXTRA ON PROPERTIES RECOLLER EXPROUNT FOUND AT SEX EXPRESSION TO OWNER OWN HILLOUTH OWNER FROM TO COMMISSION OF AN CONTRACTION OF DECENTION SWAME RESERVANCE CHRENITER SWAME CONFIGURATION SHALL SEX EXPRESSION OF AN OWNER FROM THE COMMISSION ALL COMMISSION ALL COMMISSION ALL COMMISSION OF A COMMISSION ALL COMMISSION

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- THE CONTRACTOR MET LOCKTE AND GLERRY AND DAMHGLOUGY GETTE VERTICALLY AND HORSOFIRLITY ALL RETIRE AND INCIDENT UTILITY AND RESERVACE DISTRIBUTIONS RESPONSE ET TO FORTER AND WATERALD MACINE STITLES THAT ARE TO SET REMOVED. THE
- THE CONTRACTOR MUST FAMILIARZE FIRST FIRST HEAPPLACE UTLITY SERVICE PROVIDER REQUIREMENTS AND B RESPONSE FOR ALL CONTRACTOR GROUPED UTILITY REQUIREMENTS AND B RESPONSE FOR ALL CONTRACTOR WAS TRACTED FROM THE PRODUCT OF THE CONTRACTOR FOR THE CONTRACTOR FOR THE PROVIDER AND THE PRODUCT OF THE CONTRACTOR FOR THE CONTRACTOR FOR THE CONTRACTOR FOR THE CONTRACTOR FOR THE CONTRACTOR STATES AND CONTRACTOR FOR THE CONTRACTOR FOR THE CONTRACTOR STATES AND CONTRACTOR FOR THE CONTRACTOR FOR THE CONTRACTOR STATES AND CONTRACTOR FOR THE CONTRACTOR FOR THE CONTRACTOR STATES AND CONTRACTOR FOR THE CONTRACTOR FOR THE CONTRACTOR STATES AND CONTRACTOR FOR THE CONTRACTO
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- RATES SERVICE WITHOUTS BARK COPYRI, AND COMER RECURRENCES WAST SERVED FOR THE COLUMITY COMPANY, CONTRACTORS PROCE FOR WATER SERVICE WAS TRACLED BY THE ADDRESS REQUIRED BY THE PROCESS RECORD FOR THE PROCESS RECORD BY THE
- ALL NEW UTL/TEMSTRACES, NOLLONG DESCRICT, TELEPHONE, CARE TYLED UNCERCITATION OF ALL NEW VITL/TESSERVICES MATTER RESULTED INCORPRANCE WITH THE LITERASERY OF THE PROTECTION AND ENABLED IN ADMINISTRATION OF THE PROTECTION AND ENABLED IN ADMINISTRATION OF THE PROTECTION OF THE PROTECTION AND ENABLED IN ADMINISTRATION OF THE PROTECTION OF
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- PAYMENT MEST BE MAIN OF INSTRUCTIONS, AND EXCEPT FOR EXCEPT CONTROL MEST EXTEND TO THE RULL DEPTH OF THE EXCENT AND REMAIN ALL CHERRS FROM REMAIN OF CHERRICAL MAST BE REMAINED. THE TOPS OF ERSTAND MANAGLES, MLET STRUCTURES, AND ENTURY CLEANING TOPS MUST SE ADJUSTED, AS NECESSARY, TO WATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICATION FROM PROPOSED FROM P
- NOT THE THE PROPERTY AND REVENUE THE THE THE PROPERTY AND THE PROPERTY AND
- THE CONTINUED IS ALLY PERFORMED FOR HER PROPERTION OF PERIND TOPOCOMPIC PROGRAMMONUTLET IN MORT ELECTION FOR THE CONTINUED IN CONTINUED IN ALLY PERFORMED FOR THE CONTINUED IN CONTINUED IN
- PROPOSED FOR OF CLASS BENATIONS ARE OSSERVELY O ASONE DESTRUCTIONAL ASPARET GRADE VALUES OTHERWISE MOTED. FIRED ADJACT TO CASATE A MARKING FARM CUTTER CRUCE ALLAND CLASS
  FACE. IT IS CONTRACTORS OSSIGNIZATION TO DESIZE THAT DESCRIPTIONS FAVIL CASANG CUT SHEETE FROM TO INSTALLATION OF SAVE.
- 18. REFER TO THIS BHEET FOR ADDITIONAL NOTES
- 22 NITIRE EVENT OF DISCREPANDES AND OR CONFIDENT RETWEEN PLANS OR PELATINE TO OTHER PLANS, THE STE PLAN WILL TAKE PRECEDENCE AND CONTROL CONTRACTOR MIST IMMEDIATELY NOTIFY THE DESCRIPTION OF AN INSTRUCTION AND CONFIDENCES AND CONFIDENCES
- CONTRACTOR IS REQUEST TO SECURE ALL NELESSAY INDORFRECIDED PETACTS IND APPROVALS FOR ALL OFF STE MATERIAL SOLINCES IND DESCOSAL FINALTIES. CONTRACTOR MET SURPLY A COPY OF APPROVALS TO SECURED AND CONTRACTOR MET MORE AND CONTRACTOR MET SURPLY A COPY OF APPROVALS TO SECURED AND CONTRACTOR MET MORE.
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- STORIDANCE PREVIOUS MODIFIED THEY RE, ALL STORI EXTRA PER WITTER PERFORDED CONCRETE PREVIOTO CONCRETINES THAT ITEM CANTE. WE CHARGEST FRUSTMENT FRE-PORTS OF LIBERTOR THE RIVAR, IT MAIN CONCRETING AND THE SECOND INTERCEM IN HAVILLAN CORRUSTIONS (WITHOUT STORIST TOP TIME, PROPRET COMMON CONCRETING AND THE SECOND FREE TO SECOND CONCRETING AND THE SECOND CONCRETING CONCRETING AND THE SECOND CONCRETING C
- UNLESS INDICATED OTHERWISE ON THE DRAWNESS, GAVITARY SEWER PIPE DIVALL BE AS FOLLOWS
- FOR PPES LESS THAN 12TT, CEEP, FOLYMAN, CHLORDE (PAC) SET AS FER ASTRUCTAN
   FOR PPES LOCE THAN 12TT CEEP, FOLYMAN, CHLORDE (PAC) SAT SE FER ASTRUCTAN
   FOR PPES LOCE THAN 12TT CE SELLONG, FOR INTERFEL FALL CONSYNTAINT-PUZZE RELIGIO AND PLUMING CODES, CONTRACTOR TO VERSEY MITH LOCAL CEPICALE
- 25 STORM AND SANTARY SEWER PRELIBERTHS INDICATED ARE NORMAL AND MEASURED CENTER OF INLET AND/OR WANTED STRUCTURE TO CENTER OF STRUCTURE.
- 2 STOWNSTER ROOF DRAN LOCATIONS ARE MADE ON PREJUDANY ARCHITECTURAL PLANS. CONTRICTOR IS RESPONSED FOUND FOR VERY YING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.
- 27. SERGIS CROSSING STREAMS AND OR LOCATION WITHIN OF THEFT OF THE STREAM EMBANALENT, OR WISSING STREAM CONCITONS SO NOTICINE, MUST BE CONSTRUCTED OF STREAM, PERFORMED CONCRETE, DUCTLES FOR OR DEPORT STREAM EMBANAL.
- SERIES CONCINCI MATERY FLOR CHARGE SATINITY AND STORMATER FOR ALL FLORESCENE FOR MATERIANS BY A DETINCE OF AT LEAST WHEEL FORESCHLLY. F SUMLITHER REPRESENTS IN CHECKER IN THE PRESENT BY SEPARTE TROOPS WITH THE REPRESENT LIGHT UND ASSESSION THE CONTROL OF THE WITHTHAM OR SUMMOR SEPARTORISES. WHEREOUT IN THE CONTROL OR SUMMOR SEPARTE TROOPS WITH THE REPRESENT LIGHT UND ASSESSION THE CONTROL OF THE WITH MAY OR SUMMOR SEPARTORISES.
- MERE APPROPAIR SEASON FROM NOTES MANS NOT POSSED. THE SEMERANT SE DECASED MODICATE OF CONTRACTED OF DUTILE PROMPSE USING MEDIAWOU, OR SUPPLIED AND STANCE OF TELEST OFFET OR FROM PRESENCE OF THE MODIFIED AND STANCE OF THE MOD
- 22 INTERIOUN PRIOR OUT TENSTRUED IN ACCORDANCE WITH THE REQUESTED OF SPECIAL SPECIAL OF THE LOCAL WATER PURPOSE OF BUCH REQUESTED IN THE ASSESSE OF BUCH REQUESTED IN THE ASSESSE OF BUCH REQUESTED IN THE COMPANION WITH THE COMPANION WITH THE PRIOR OF THE COMPANION WITH THE COMPANION WITH THE PRIOR OF THE P
- CONTRACTOR MAT EARLINE INVITAL UTLIN'T TENDO ES LOCATED IN EDISTRO, RIVED POLOMANS NALLING SERRA, WATER ARD STOPM SYSTEMS, MAST RE REFARRED IN CONTRACTOR WITH REFERENCED
  MANCHAL, COUNTY MOOR DOT DETMAS AS IMPLICACES CONTRACTOR MAST COORDINATE REPECTION NO APPROVIL OF COMPLETED MORK WITH THE ARBICT WITH ALL RESISTEM OFFI REME
- LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY
- 31. CONSULTANTS RETIRETURAL MORRESPONDED FOR MY SESSIFIACE CONDITIONS AND FURTHER SHALL HAVE NO LIKEUTY FOR MY HADROOUS WATERIAS, HIZAROOUS SUSTAINCES, OR POLITANT OF ABOUT DELIVER THE PROFEST.

	ABBREV	IATI	ONS
KEY	DESCRIPTION	KEY	DESCRIPTION
BC	BOTTOM CLFEE	FROP.	PROPOSED
TC	TOP CLFS	TEAR	TO EE REMOVED AND REPLACED
900	SACK OF CURS	TER	TO BE REMOVED
Eff	BOTTOM OF WALL GRADE	TPF	TREE PROTECTION FEACE
TW	TOP OF WALL	BLDG.	BURLIPAG
E057.	EXISTR4G	5F	SOURRE FEET
BAL	SENCHMARK	944	SENER MAN CLE
502	EDGE OF PAVEMENT	DANE	DRAWWOLE
ę	CENTERLINE	STM	STORM
FF.	FINSHED FLOOR	SAN	SANTARY
VIF.	VERIFY IN FIELD	CONG.	CONCRETE
œ	GENERAL CONTRACTOR	ARCH	ARCHITECTURAL
HP.	HIGHPOINT	DEP.	DEPRESSED
LP.	LOW POINT	R	RAZILES
TrF.	TYRCAL	MM	MASSEM
NT.	INTERSECTION	MX	MYXIAM
PC	POSIT OF CURVATURE	No./6	NAMER
FV.	POINT OF TANGENCY	₩.	WIDE
PL.	POINT OF INTERSECTION	DEC	DECORATIVE
Pvt.	PONT OF VERTICAL INTERSECTION	ELEV.	ELEVATION
STA.	STATION	UNG	UNDERGROUND
द्धरा	GRATE	ROW	RIGHT OF WAY
PM.	INVERT	UF	UNEARFOOT
DP.	DUCTLE RONPIPE	100	LIMIT OF DISTURBANCE
P/C	POLYVIMIL CHLORIDE PIPE	LOW	LIMIT OF WORK
HOPE	HIGH DEVENTY POLYETHYLENE PAPE	184	LANDSCAPED AREA
ROP	REINFORCED CONCRETE PAPE	z	PLUS OR MARKS
\$	SLOPE	•	DEGREE
ME	WEET-EXSTING	B/DA	DAWETER

TYPICAL

REFER TO SITE PLAN FOR ZONING ANALYSIS TABLE AND LAND USE/ ZONING INFORMATION & NOTES

REFER TO SOIL EROSION CONTROL OTES & DETAILS SHEET FOR TYPICAL EROSION NOTES AND DETAILS

S Ĭ 0 MeD STATUS DATE DRAVAN BY: 110107 DJF PLAN CHECKED 11/21/17 AS-BUILT

BOHLER ENGINEERING SITE CIVIL AND CONSULTING ENGINEERING
AND SURVEYING PROGRAM MANAGEMENT LANDSCAFE ARCHITECTUL
USTAINABLE DESIGN PERMITTING SERVICES
TRANSPORTATION SERVICE

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FRIEDRICH BEACH DE MORTHERN WARD
 CENTRAL WARDN
 RALEIGH, NC
 CHARLOTTE, NC
 TAMPA, FL
 SOUTH FLORIDA 352 TURNPIKE ROAD Phone: (508) 480

CONSTRUCTION CHECK DATE CONSTRUCTION CHECK DATE PROJECT No.: M172008 CAD LD. #: M172008\_ss0.dwg

COMPLIANCE CHECK DATE

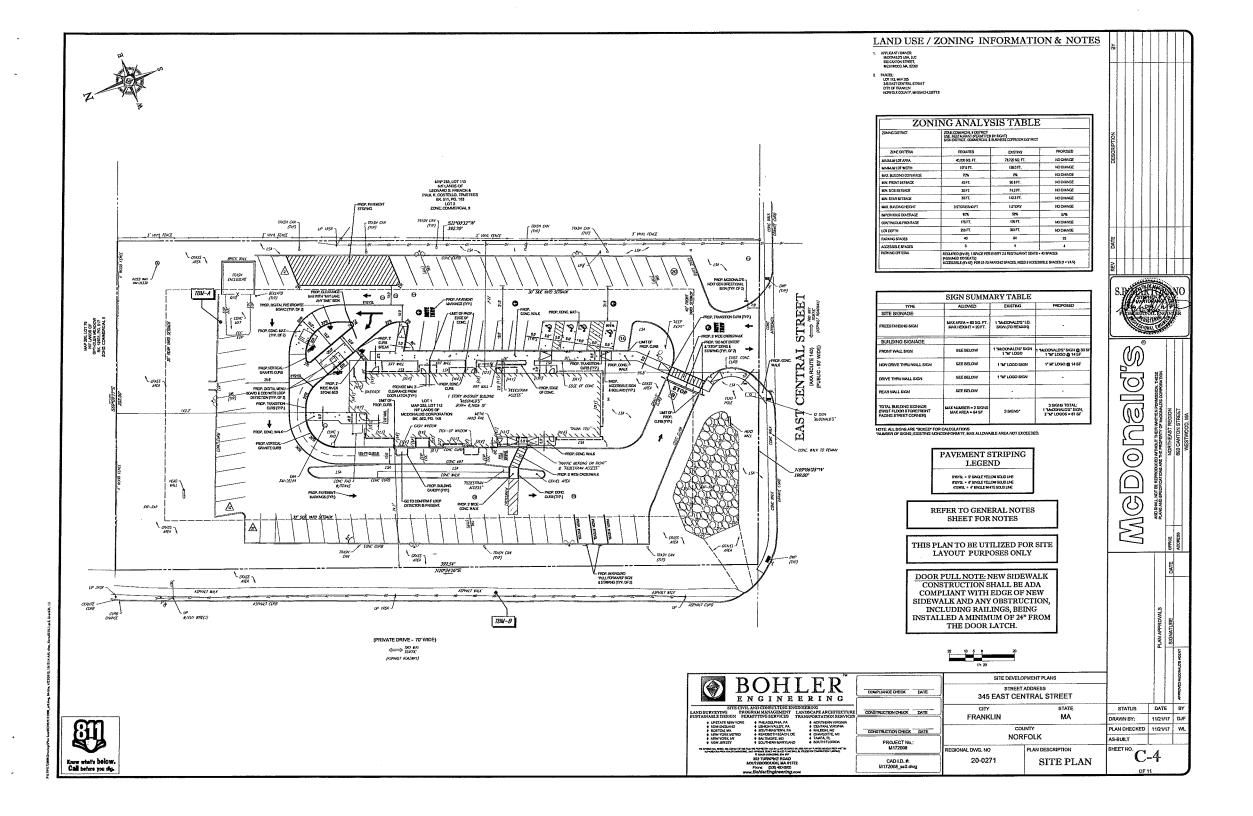
SITE DEVELOPMENT PLANS STREET ADDRESS FRANKLIN COUNT

EGIONAL DWG. NO GENERAL 20-0271 NOTES SHEET

345 EAST CENTRAL STREET STATE MA NORFOLK SHEET NO.

PROBLEM (M) STONE BOUND -W/DPLI HILE TOUND POR BK537 PG 146 AND THE CERT / EAS CONTROL OF SCALE MeDonald's CANE-DATA SAZENED COSCOS / ALL EXISTING SITE FEATURES OUTSIDE OF LIMIT OF WORK ARE TO REMAIN UNLESS SPECIFIED OTHERWISE (PRIVATE DRIVE - 70' WIDE) (ASSHALT FOXURUS) REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES THIS PLAN TO BE UTILIZED FOR DEMOLITION/ REMOVAL PURPOSES ONLY SITE DEVELOPMENT PLANS STREET ADDRESS 345 EAST CENTRAL STREET CITY FRANKLIN STATE STATUS DATE BY MA RAWN BY: 11/21/17 DJF PLAN CHECKED 11/21/17 CONSTRUCTION CHECK DATE NORFOLK S-EUILT PROJECT No.: M172008 PLAN DESCRIPTION
DEMOLITION SHEET NO. NAL DWG. NO C-320-0271 PLAN





STREE MeDonald's EAST TBV-B (PRIVATE DRIVE - 70' WIDE) THIS PLAN TO BE UTILIZED FOR SITE  $\iff$  THO BUT GRADING PURPOSES ONLY (ASPARET FORTINA) REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES BOHLER SITE DEVELOPMENT PLANS STREET ADDRESS
345 EAST CENTRAL STREET COMPLIANCE CHECK DATE STATUS DATE FRANKLIN RAWN BY: 11/21/17 COUNTY PLAN CHECKED 11/21/17 NORFOLK AS-BUILT PROJECT No.: M172008 AN ADMINISTRATION OF THE PROPERTY OF THE PROPERTY AND THE THE PROPERTY AND THE PROPERTY OF THE REGIONAL DWG. NO PLAN DESCRIPTION
GRADING & C-520-0271 CAD LD, #: M172008\_ss0,dwg DRAINAGE PLAN



DISTERNAL D MAP 280, LOT 78 NF LANDS OF GPT-GLEN MEADOW DK. 12831, PG. 817 ZONE: COMMERCEL II MeDonald's THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY (PRIVATE DRIVE - 70' WIDE) (ESPHEL POPERTY) REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS SITE DEVELOPMENT PLANS STREET ADDRESS
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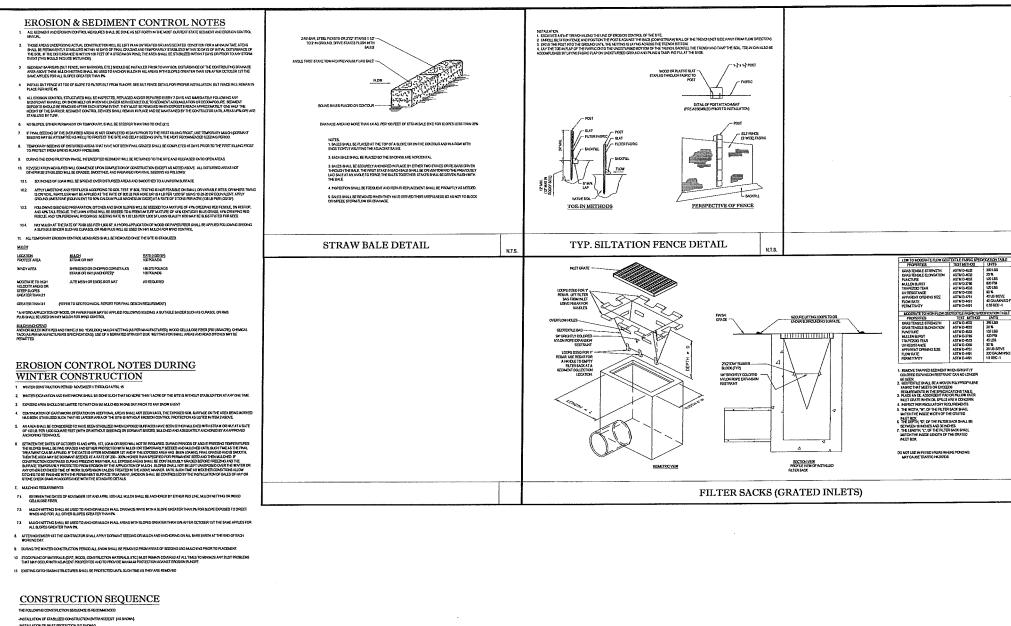


CONSTRUCTION CHECK DATE PROJECT No.: M172008 CAD LD. #: M172008\_ss0.dwg

COUNTY PLAN CHECKED 11/21/17

NORFOLK REGIONAL DWG. NO PLAN DESCRIPTION
SOIL EROSION
& SEDIMENT
CONTROL PLAN 20-0271

AS-BUILT C-6



OBJOURDING EXISTICA STE STRUCTURES (SEE DEMOLITICH PLAN)
DEMOLITICAL OF DISTING STE PAREMENT AND AMENTES (SEE DEMOLITICH PLAN)
CLUB RIGHT AND TECHNICALS IN DISTING AS PEOPSSURY
ANTHRONIS AND TECHNICALS IN DISTING AS PEOPSSURY

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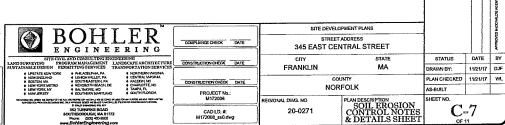
-PAYE FARIONG LOT

CONSTRUCTION OF ALL CURRING AND LANGUAGE STANCE AS NODATED ON THE FLANS SERVICE TO POOR, ON SLOPED AREAS AND SEED AND MALCH

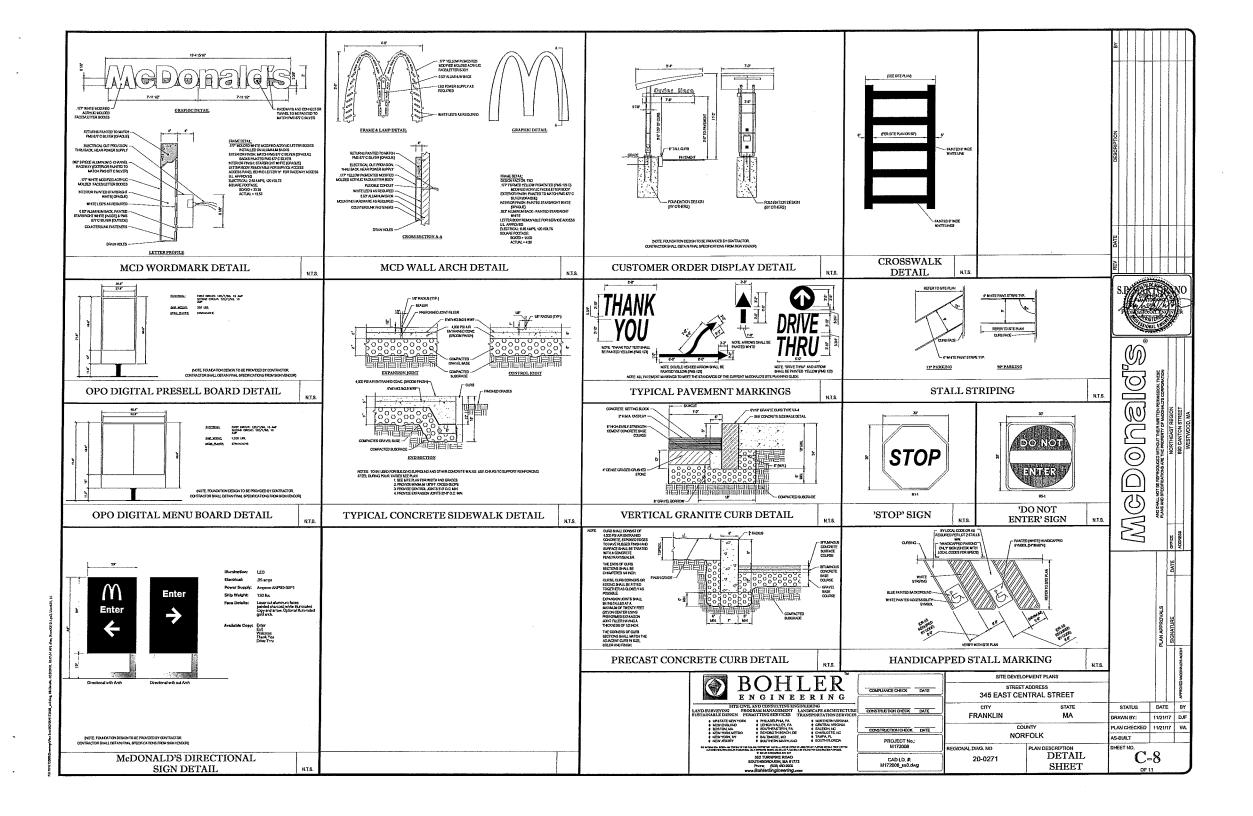
ARMONE PROSON CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER

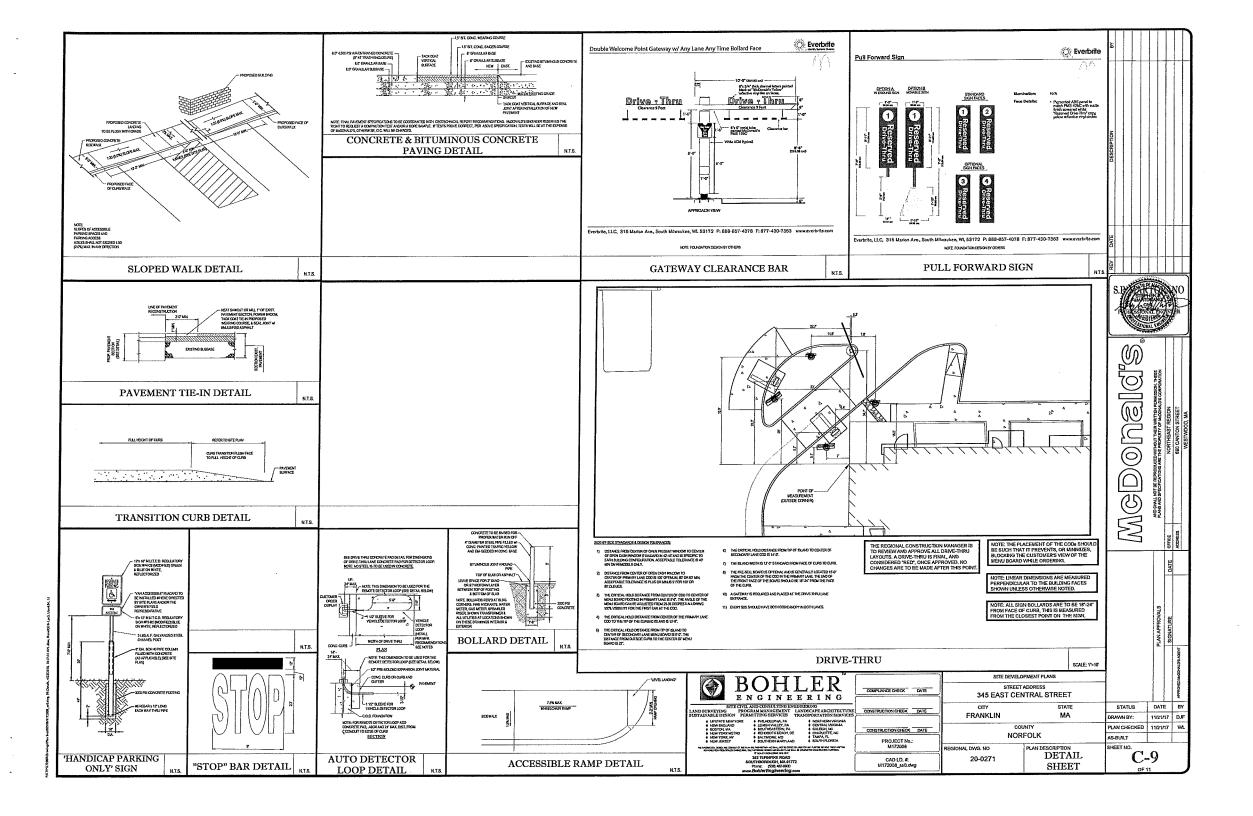
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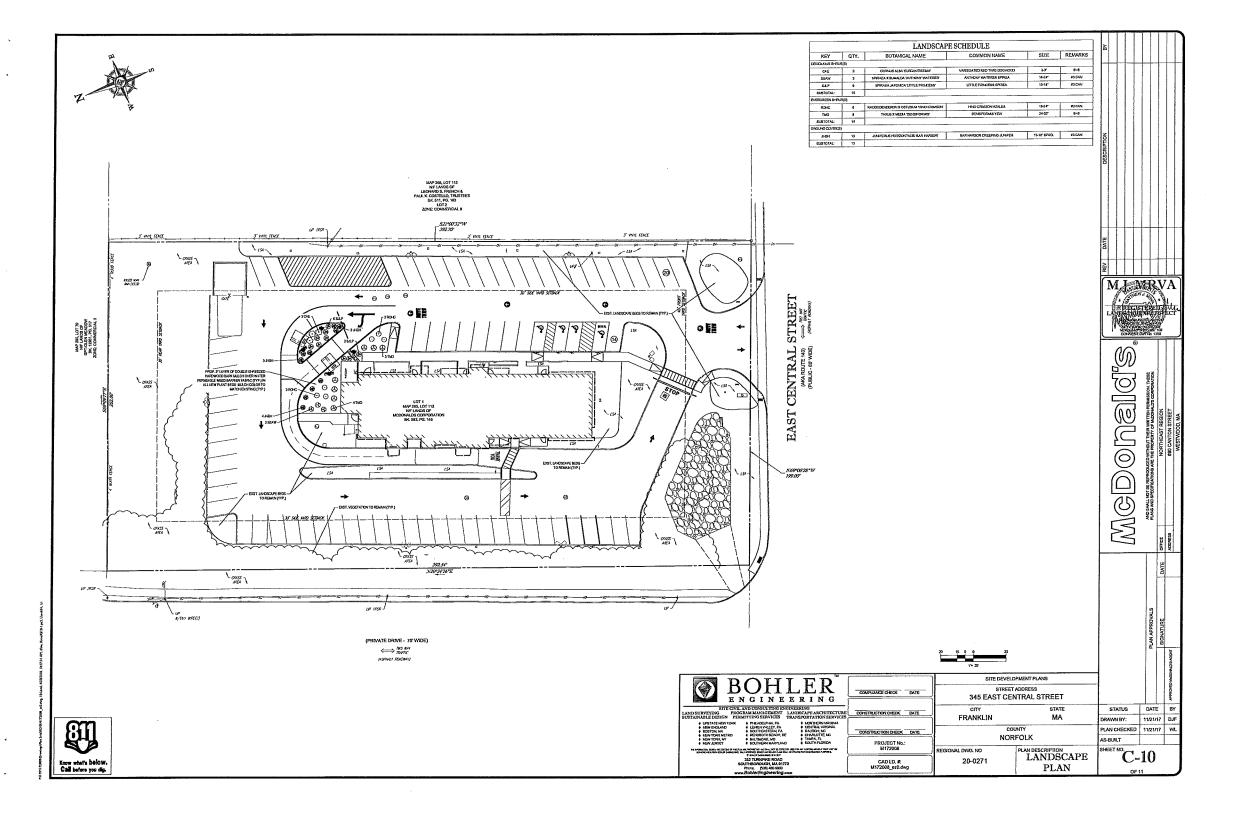


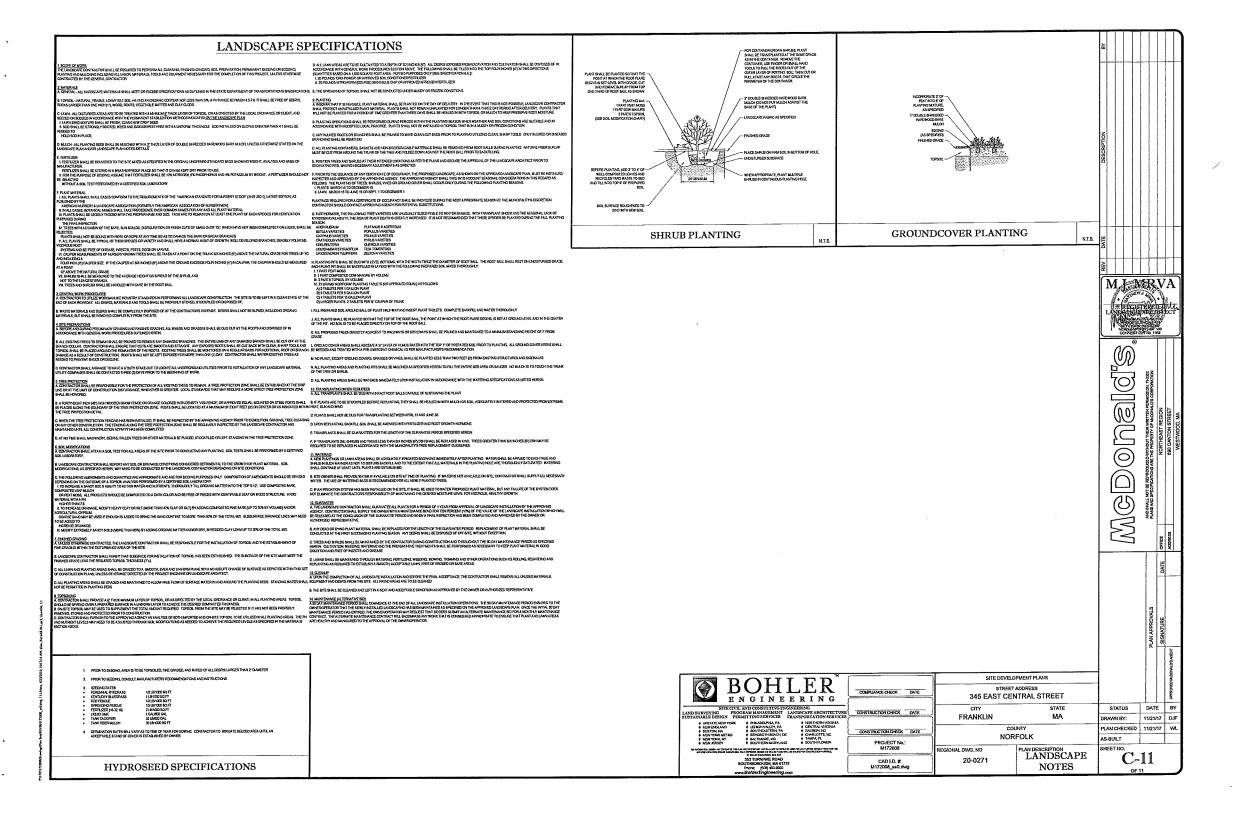


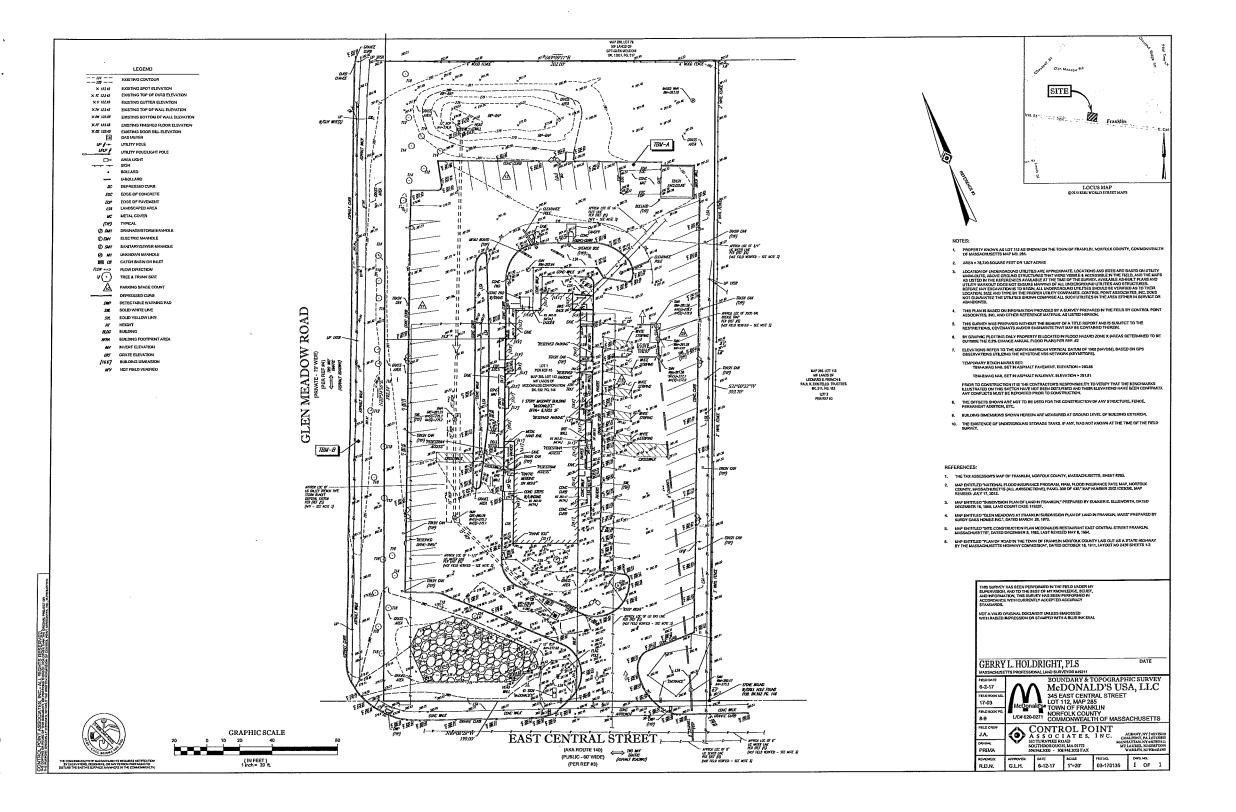
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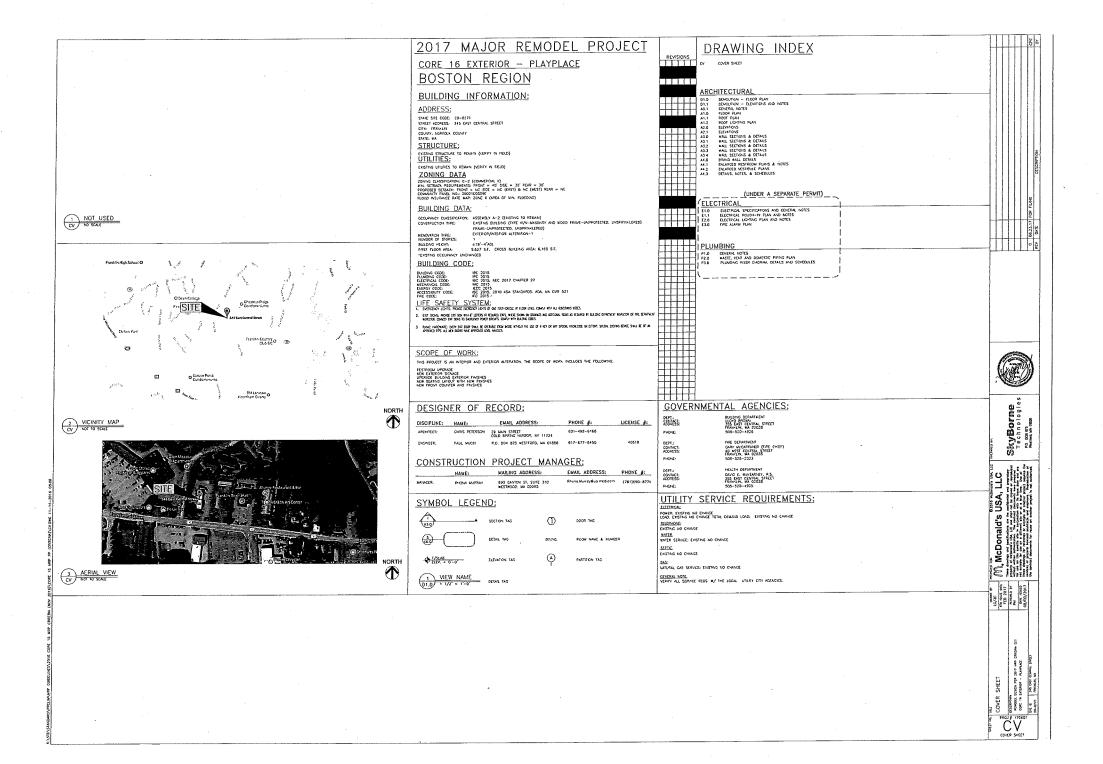




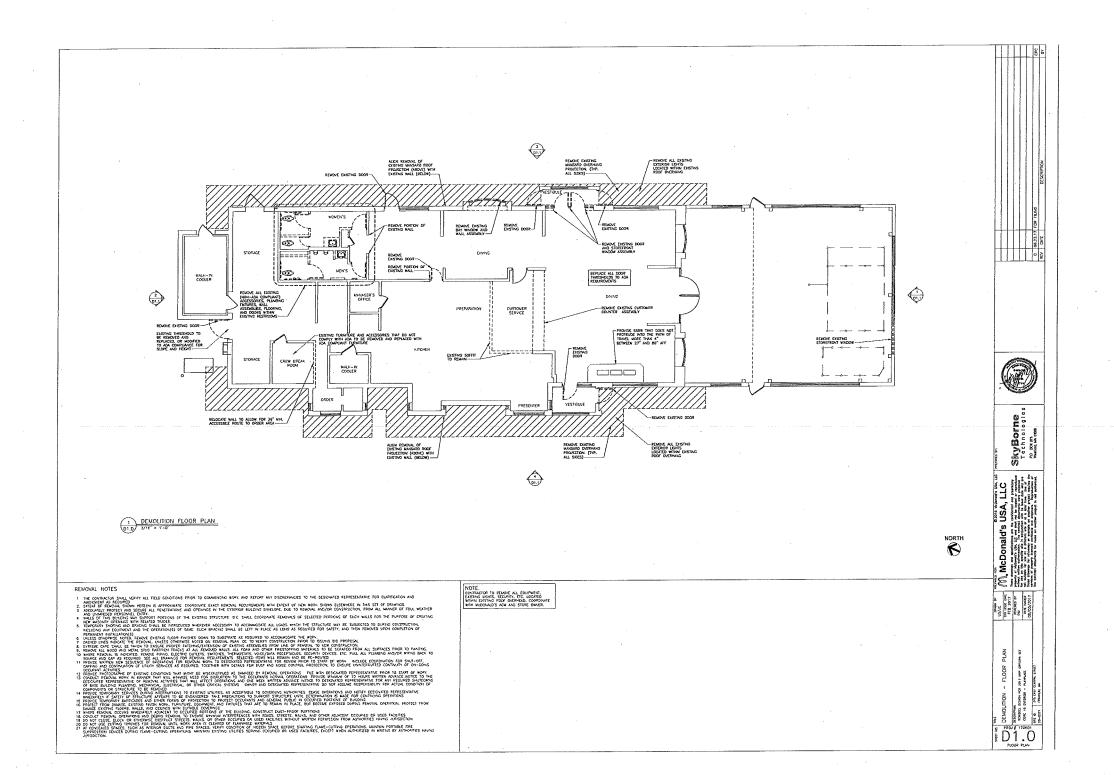




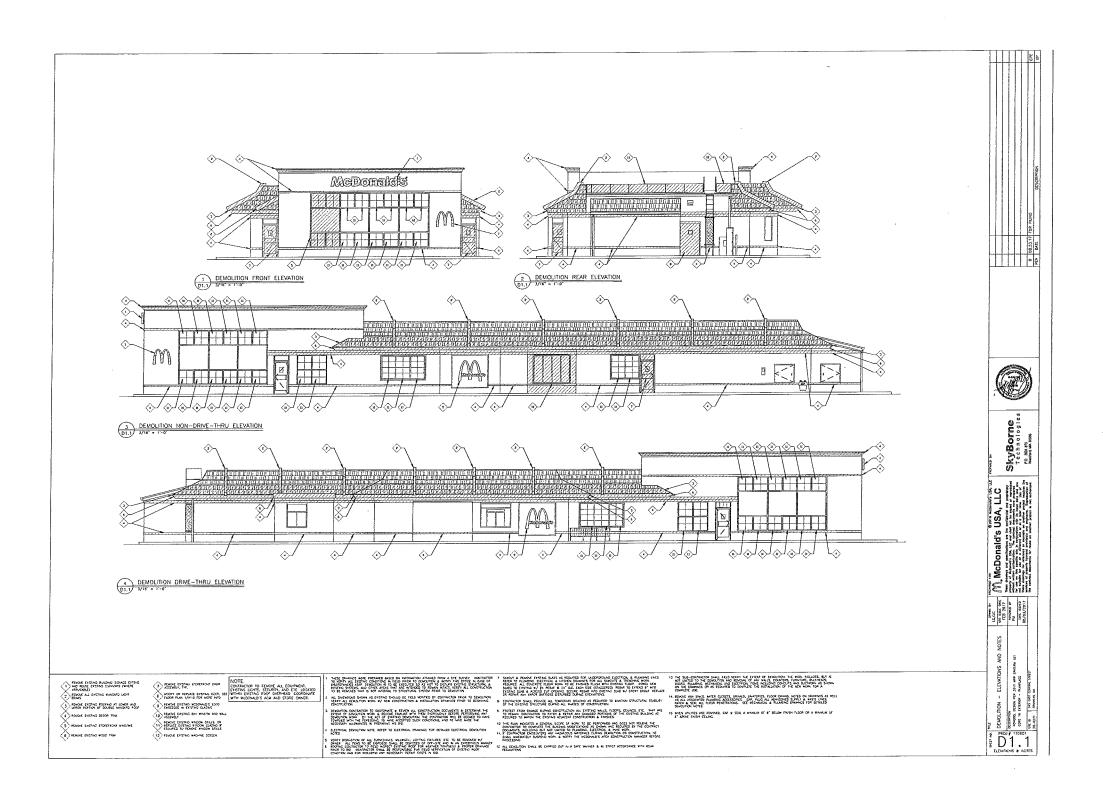




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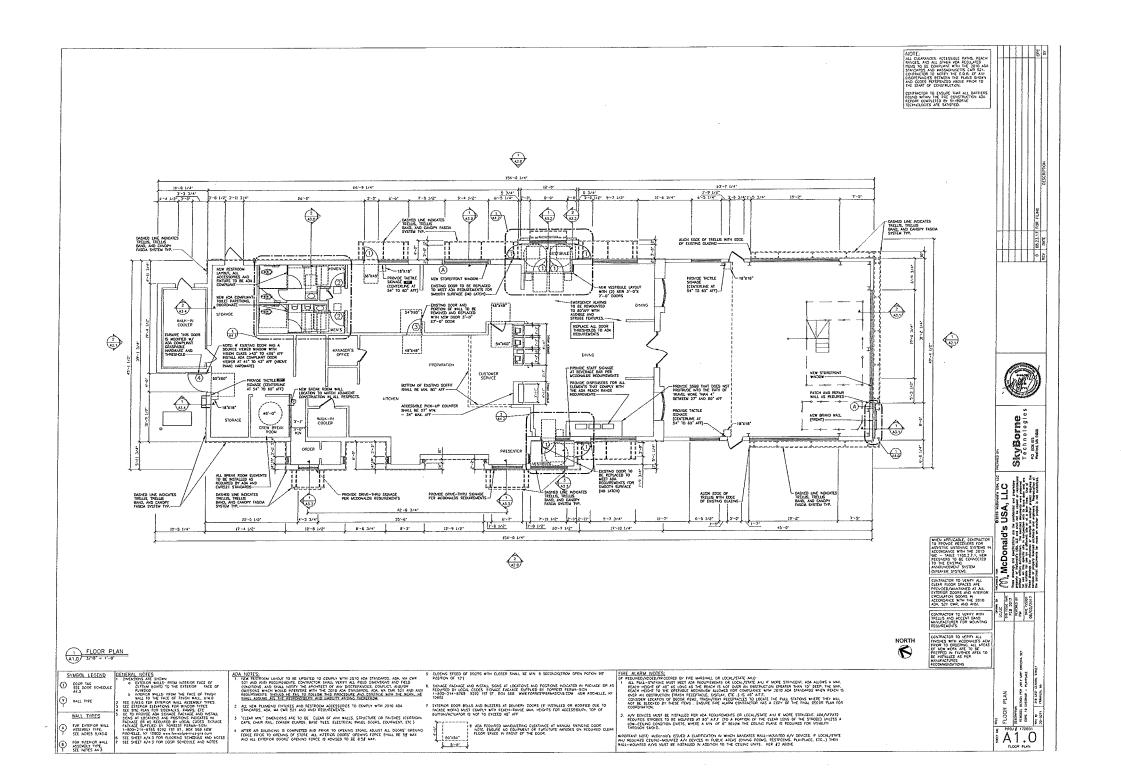


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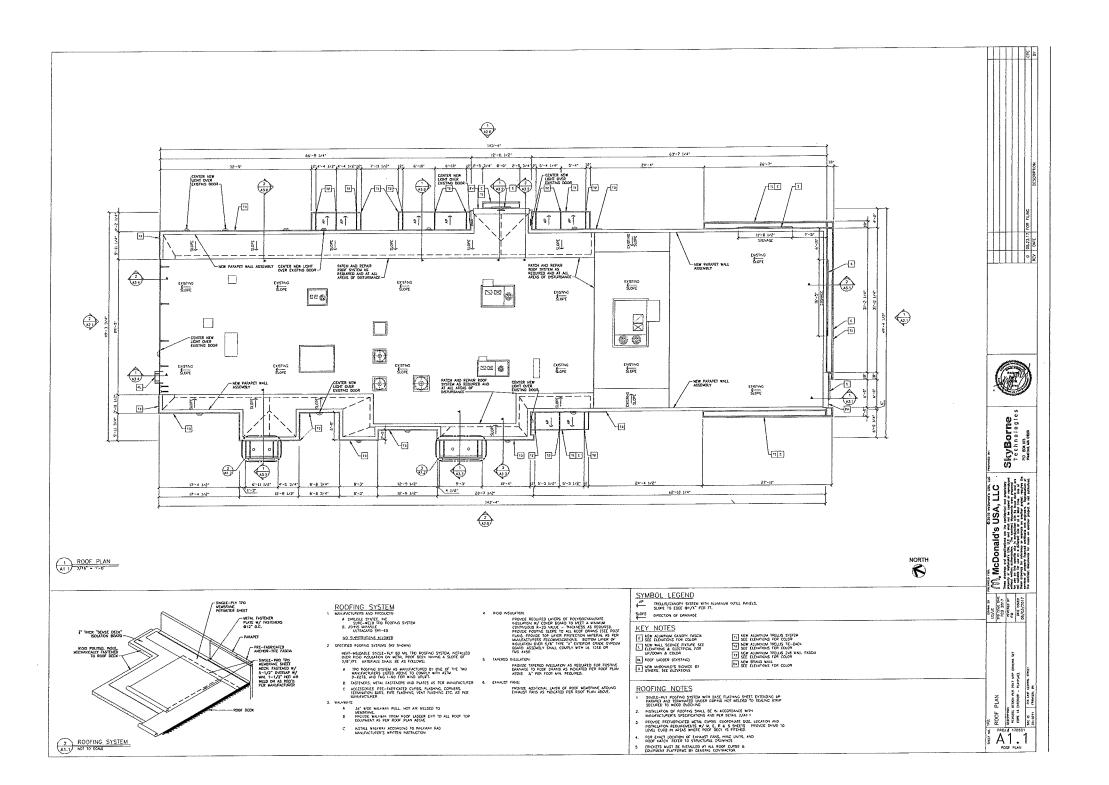


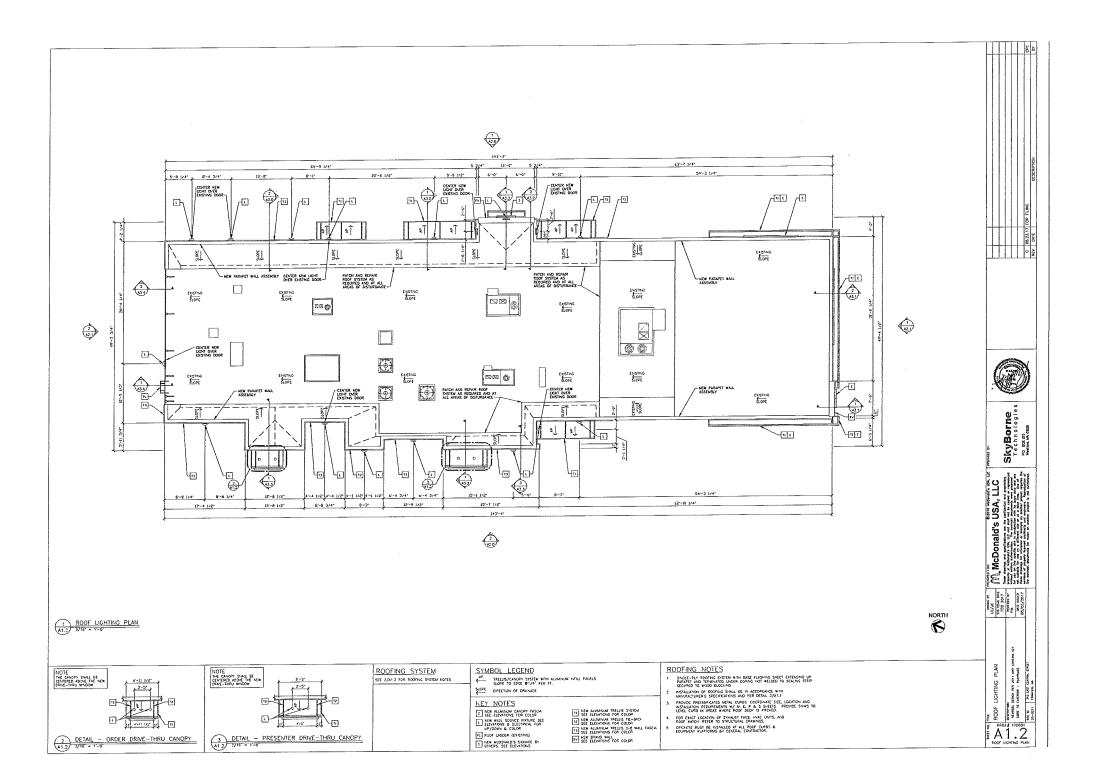
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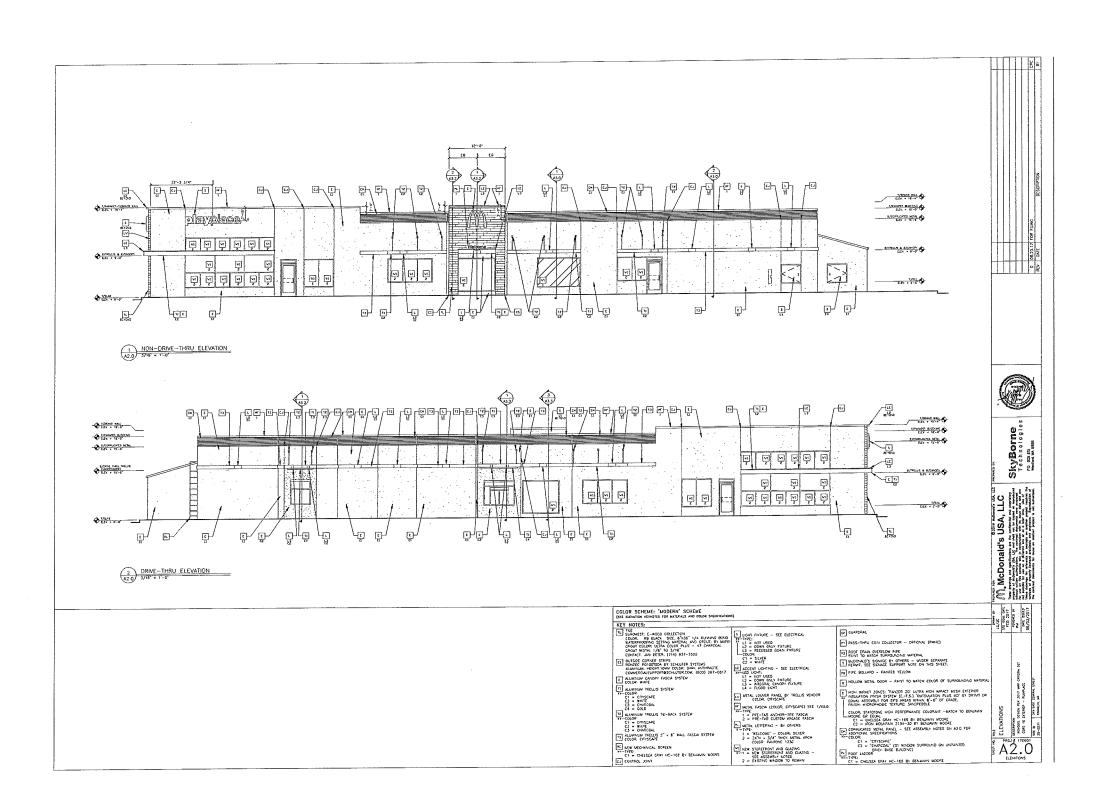
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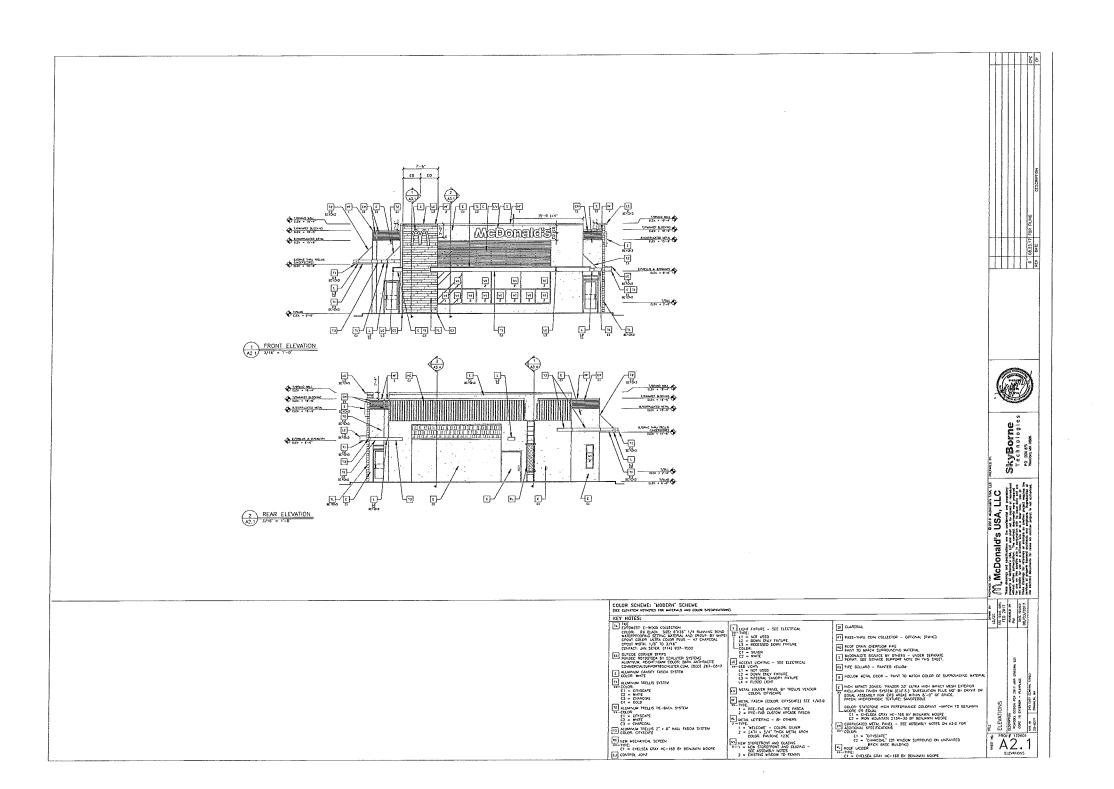


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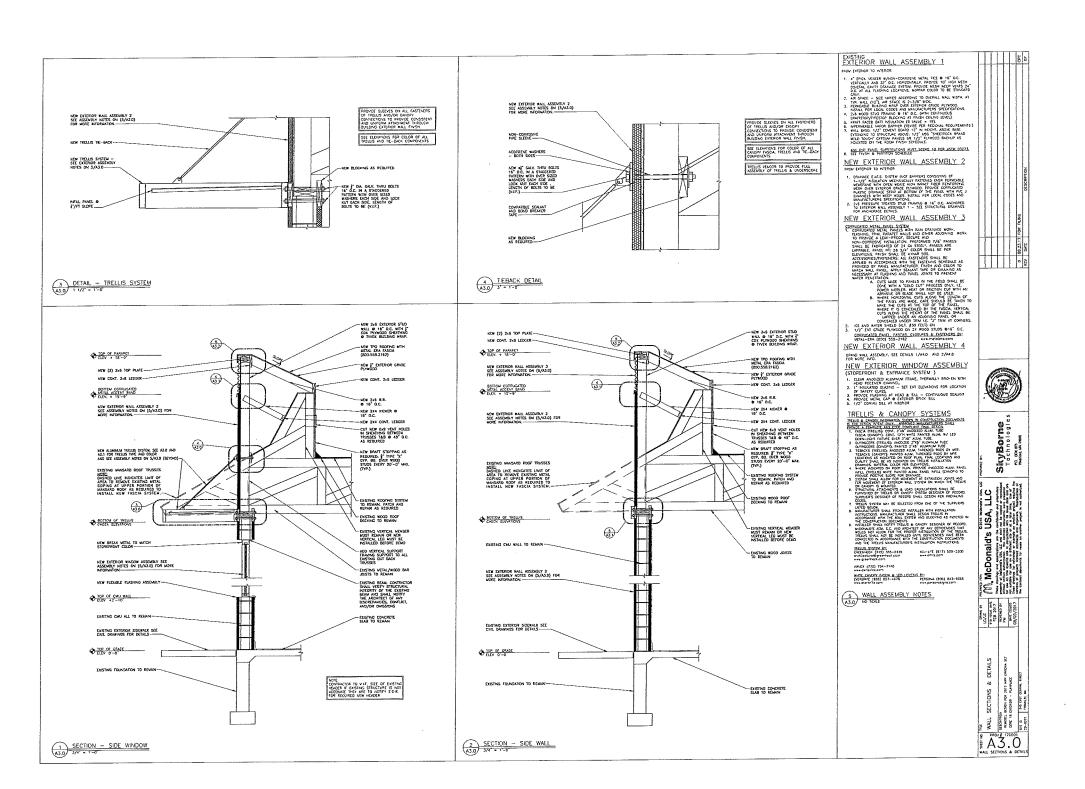


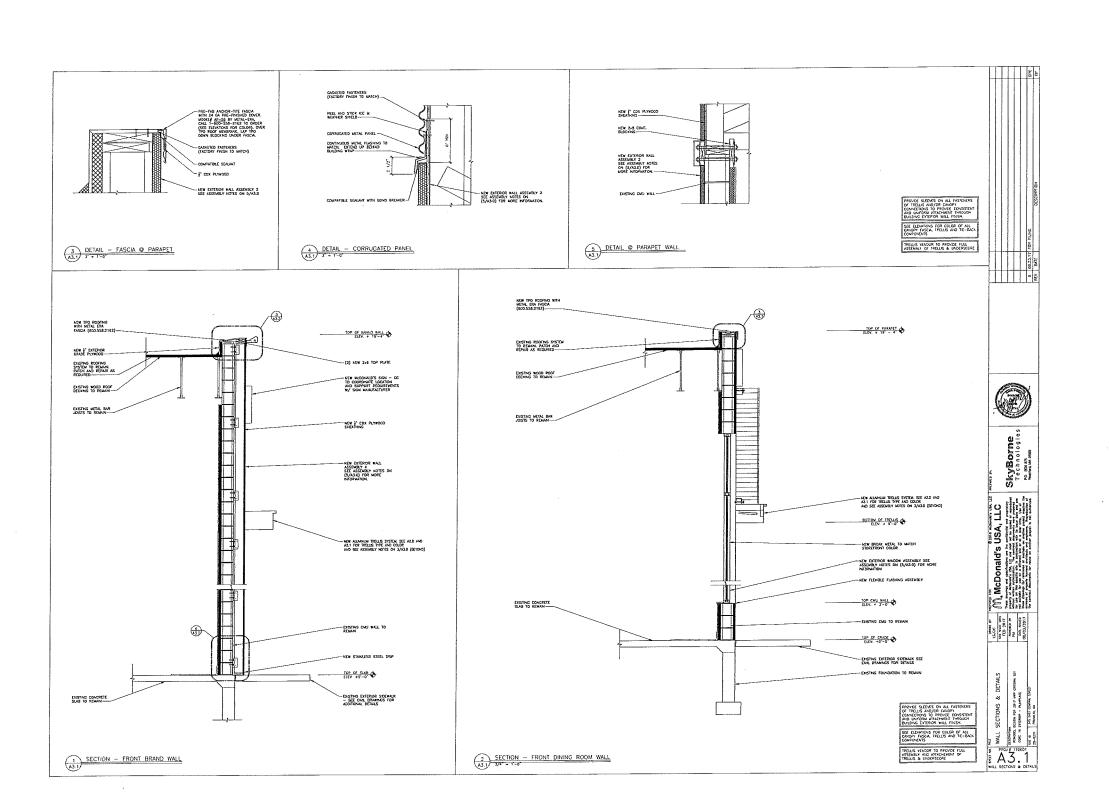


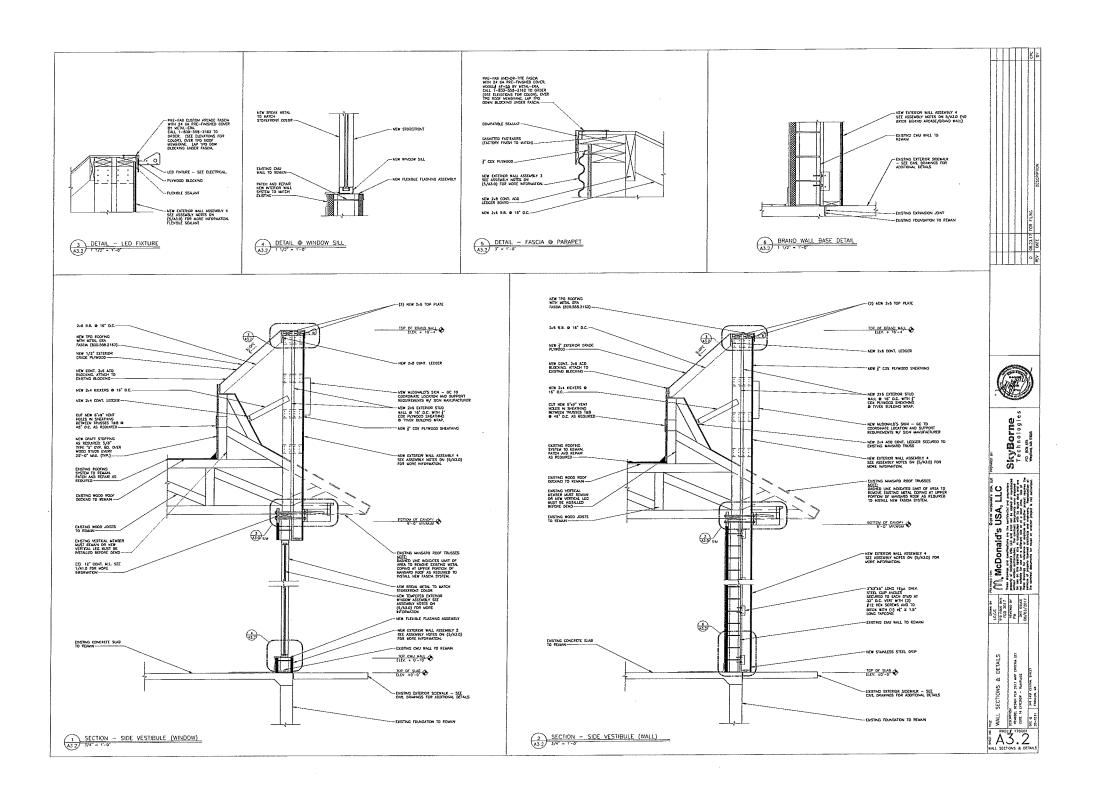


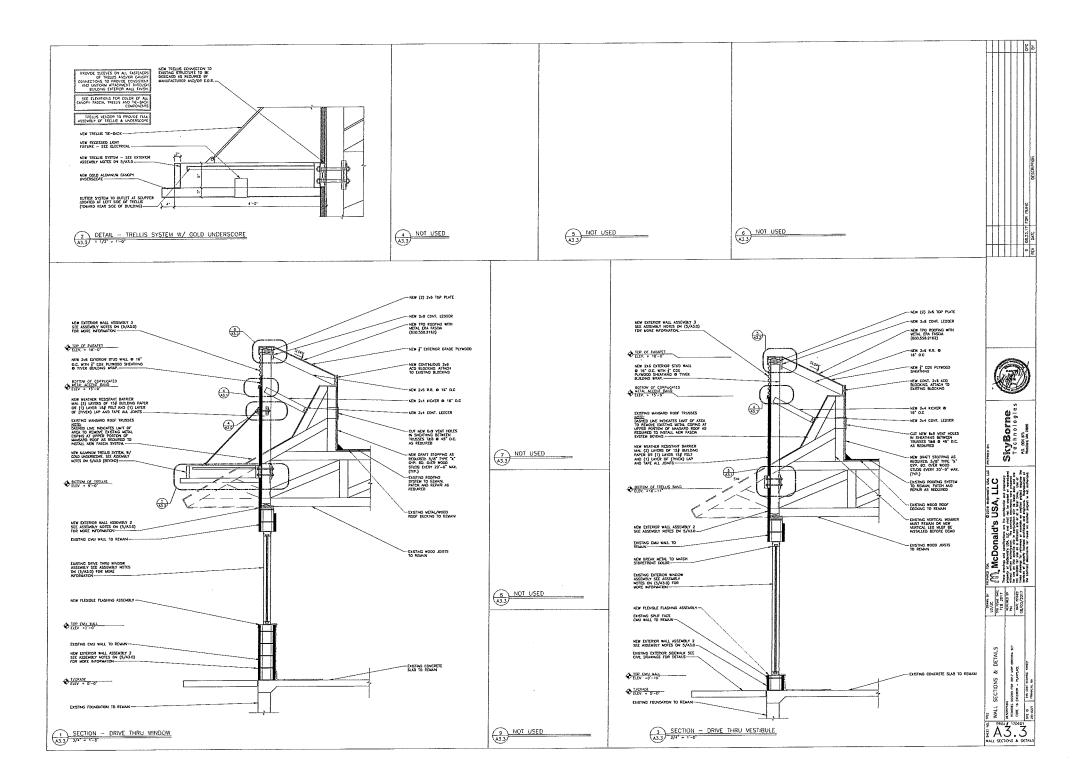


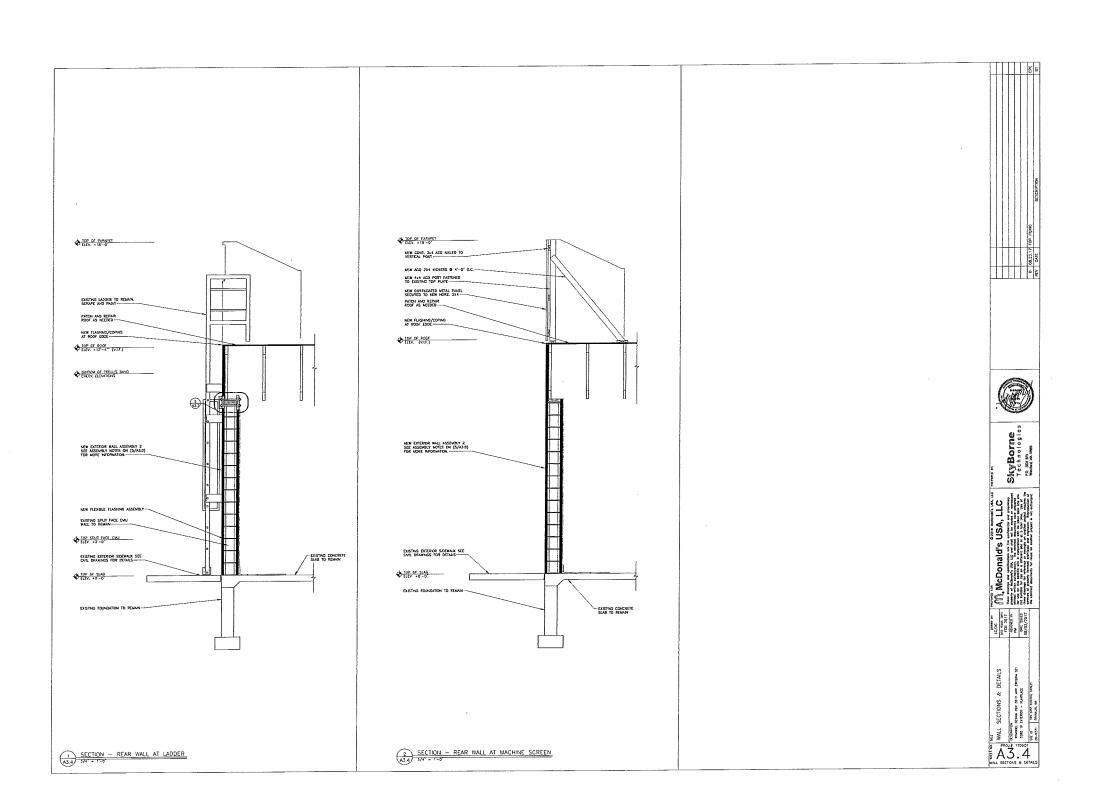
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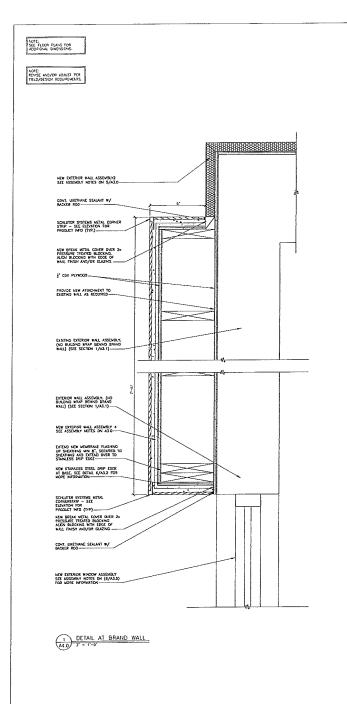


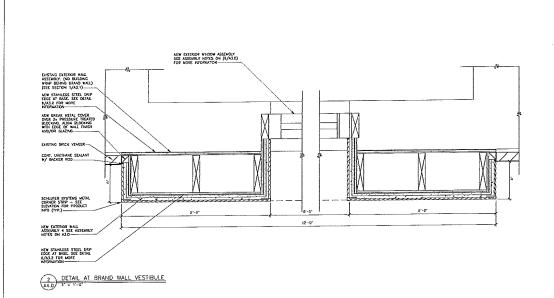












THE SALL ASSOCIAT.

1. 216 MOOD STAD FRANKES & 16" D.C. (WITH CONTINUOUS SOUTISTICS/FIRSTOP BLOCKAC.

1. 216 MOOD STAD FRANKES & 16" D.C. (WITH CONTINUOUS SOUTISTICS/FIRSTOP BLOCKAC.

2. INSET FACE DEST INSULATION (WALLE - '19).

3. METEROPHICAL WORD AURIST STROKE FIRS ROOM, COLUMBIOLIS IN MAD.

4. MOOD STATE OF THE SALE OF THE

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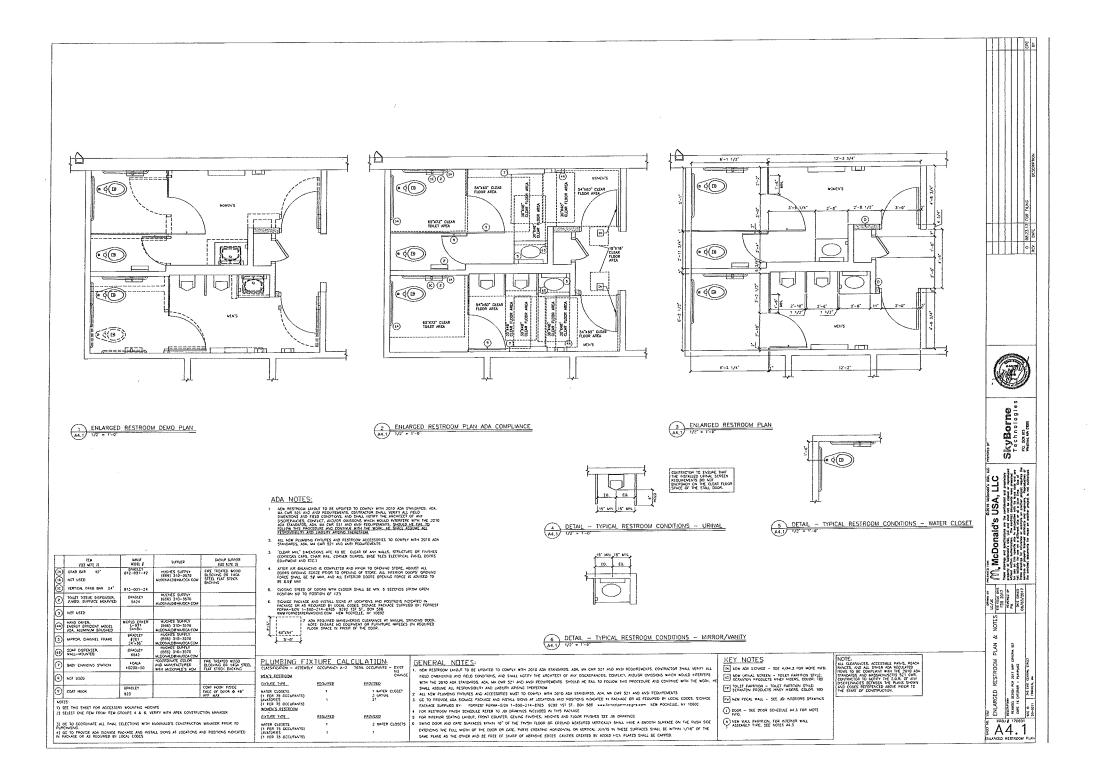
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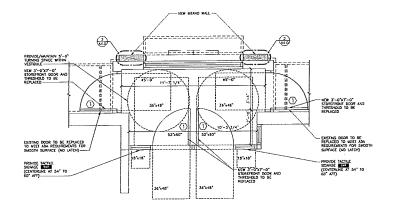
SKVBOTNE Technologies

M. McDonald's USA, LLC

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2 ENLARGED VESTIBULE PLAN (DRIVE-THRU)

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PRONDE TACTLE
SCHAGE TOTAL
(CENTERLINE AT 54" TO
60" AFT) 52'+60"



SkyBorne Technologies

MicDonald's USA, LLC

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EXTEROR DOOR SELLS AND BUZZERS AT DELARRY DOORS (F INSTALLED OR MODIFIED DUE TO FACACE WORK) WHIST COURSE WITH RELEXT-RANGE MIX. RESIDENTS FOR ACCESSIOURY, TOP OF ENTROPHENDAGES AND TO EXTERD 47. B ADA RECURED INMEUMENTS CLEARLICE AT MANUAL TRYFORD DOOR HOTE, LINGUEL NO EQUIPMENT OF PLEATURE IMPEDES ON KEOLIFED CLEAR FLOOR STACE ON FEOOT OF THE EDOCH

) CLOSING SPEED OF DOORS WITH CLOSER SHALL BE USY 5 SECONOSIFROM OPEN POTION SO POSITION OF 12)

FIRE ALARM NOTES.

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ANY CONCES WITH BE INSTRUCTED FOR ALLA FEOUNDMENTS OR LOCALISTING AND IN WORS STRICTED, MAJASTATZ RECORDS STRICTED OF LOCALIST AND ALL TO A PARTICAL OF THE CLUM LIDGE OF THE STRONG) UNLESS A LOCALISTIC COLOTION DISTIS, WHERE A WAY OF 6" BELOW THE CLUM THATE STRONGED FOR WESSELDT THROUGH SHOW.

APPORTANT MOTE HERMAN'S INDICE A CLARECATION IN WHICH MACRIES WALL-MOUNTED AN INDICES. IF LOCALISTATE AND REQUESTS CERMO-MONITOD AND EXPECTS ON FRANCE MEDIS (DATIO) REQUEST, RESISTORIS, PLARECAEL, ETC...) THEN WALL-MOUNTED AND MUST BE PREMILTED IN ADDITION TO THE CENSION LOTS. PR. § 2 ARDIC.

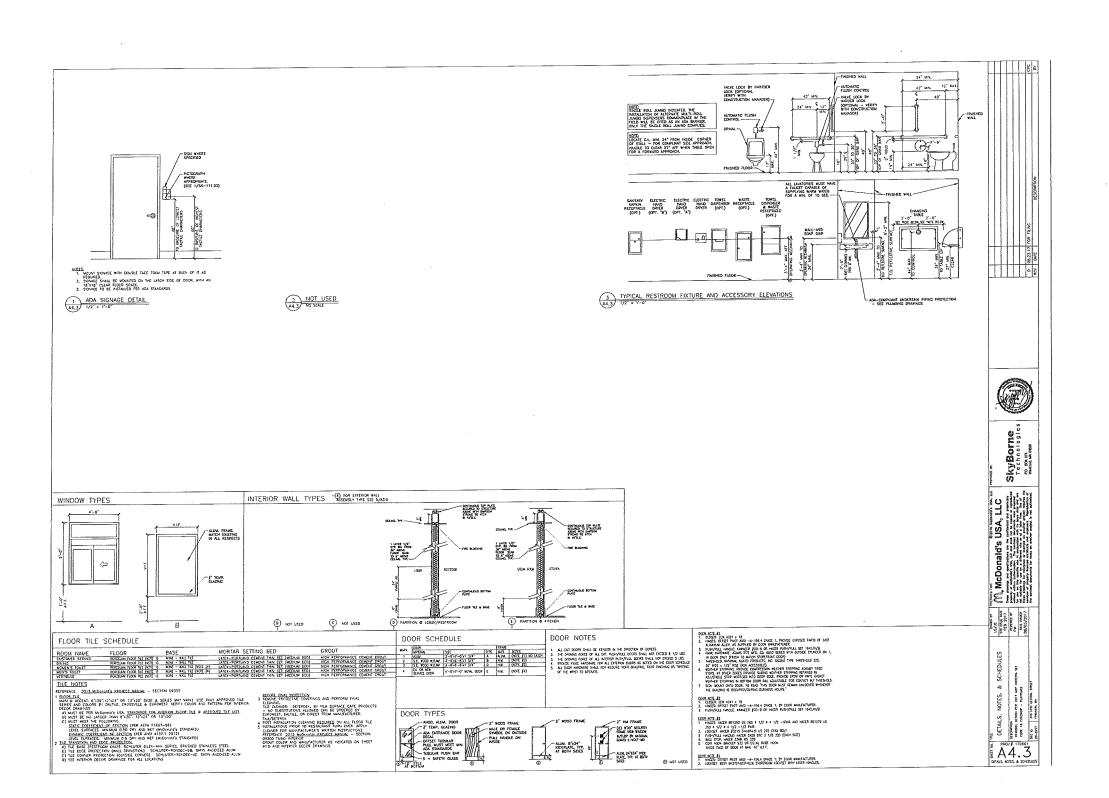
SYMBOL LEGEND DOOR TAG SEE DOOR SCHEDULE A4.5

 FALL TIFE WALL TYPES

"CLEAR UNL" DURDIECKE ARE TO BE CLEAR OF AKE MALE. STRUCTURE OR FANDLES (CORPORAL CAPE, CHAR RAL. CORKER GUARDS, BASE THES, ELECTRICAL PANEL DOORS, EQUIPMENT, ETC.) ATTER AR BALANCING IS CONFLITED AND FROM TO DEFENDE STORE, ADJUST ALL DOORS' OPENING FROME FROM BY STORE ALL INTERES FOOT' OPENING DOORS' OPENING FROM ALL INTERES FOOT' OPENING FOOT OF STORE ALL INTERES TO BE 15 MAX. AND ALL DEFENDED FOOT OF A PAYINGET OF BE 15 MAX.

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SEE NOTES 5/A3.0 B FOR INTERIOR WALL
SEE NOTES AN 3

ENLARGED VESTIBULE PLAN (ENTRY)



### ELECTRICAL SPECIFICATIONS AND CENERAL MOTES:

- HE ELECTRON CONTRACTOR (E.C.) SHALL PROVIDE ALL LABOR AND HALLY SECURISH FOR A COMPANY AND PLANT OPPLICATION FLEDISCUL SCHOOL/ASSELLMENT.
- WEERLS NO INSTALLATION SHILL TOWN! WITH ALL COOKS, LUTS, AND OFFICIALISTS OF FLECHAL, SAME, AND LOCK SOMETHING STORES HAVING ARRESTSTOR.
- I KE WEEKS NO DEPOSE SHE IS ISSUE AC/OR UNITED IN CLEEK, ISA OR ACCOUNT MEMORY HEAVY DEPOSED.
- ( THE EXPLANTED SHALL SELDER AND THE FOR ALL REPORTS, COMPANDIAR, FILES, THAT A SOURCE SHALL WERE THE THAT CHILD, CHARGE SHALL WERE THE THAT CHILD, CHARGE SHALL WERE TO CHARGE SHALL WE SHALL WE WERE TO CHARGE SHALL WE WERE TO CHARGE SHALL WE WERE TO CHARGE SHAL
- THE CONTRACTOR SHALL PREMIET NO SIGNED TO CONTRACTOR ACCIONES, VILLEY COMPARES, NO LICOLA COST OFFICIALS SHOW DESIRED, AND ACCULATION STORES SHOW AND ROUND BY SHOW ACTURES TOR THE OFFICIAL.
- HE EXPRICACE SHALL PRETAIL AND SUBJET TO THE THE PREVIOUS BUFFLO ALL
  EXCLUSIVES, BACKSON DEFINES AND SUBJECTS, EXCLUSION TO SHOW APPROVAL OF THE
  EXPERTMENTAGE LIFE FUTURE AND OFF SOM STATEON, OF THE
  EXPERTMENT DEFINES SHALL BE PROVIDED TO THE ANY DESCRIPTION
  TO THE ANYPOUND DEFINES SHALL BE PROVIDED TO THE ADMINISTRANCE DEFINED.
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- HE CONSIDER SHALL RALLES IN BO AN ALDERNAT FOR THE FOLLOWING ADDITIONAL LIFE
  SHITT DOESES, MALLINGS IN SECRETARY AND AN ALDERNAT SHALL FOR ADDITIONAL SHALL SHALL
- THE CONSISTS ASSESSMENT REST TO SHOULD SENT MATERIAL SECTION AND SECTION AND SECTION AND SENT MATERIAL SECTION AND S
- WHEN IS IN STAFF HE HEIDE AN TOWNSCHOOL OF DEFOUNDS OLD AN INDIVIDUAL HEAVER HE HEIDER HEAVER HAN GOALDUS BEHOUWE HE HEAVER HE HEAVER H
- 12. THE CHERTORS SHALL PROVIDE PROVIDE HAS MORE FOR THE PROTOGRAPH OF CONTRICTION AND SHALL PROVIDE AT THE PROVIDE AT CONTRACTOR AND SHALL PROVIDE AT CONTRICTION AT CON
- HE DISTING FORCE, SONI, AND COMMISSIONS STITLE HE TO REMAIN IN SERVER, TO FROME THE HE CONSTITUTIONE FRACTIONS SOULD BE RECORD HESCHAPT TO SHAFF ON HE STETS HE REPORT OF A STETS HERSON, IN FERRE MEST HE EXCENDED THAT HE RE-PRESENT HANGES AND SHAFF OF THE THE STATE OF THE STATE OF THE SERVER HE STATE OF THE STATE OF THE THE STATE OF THE STATE OF THE STATE OF THE PRESENT HANGES AND THE STATE OF THE STATE O
- 14. ALL METRALS AND COLUMNESS SAVE OF FREEZE ASSISTED, COLUMNESS, CALLONIA, COLUMNESS, CALLONIA, CALLON
- 16 SOP DEFINES SALE MODEL INVESTIGETS WARE, COULD WARRES, DATE, INCIDENT, AND STREET FOR AS WIT ELL STORAGE, SPARTES SALE ELL MECHOL COLPS (FOR INVASIA ALL LIGHES TATASCE). HAVING SERVING SINGLES ON HE SERVING.
- 1). Sized four (i) others of the following stop distances for revers.

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- DOUT AS NOTED CHARGES ALL BOOK HOUSED FOR THE DELITRON INSTITUTION AS SOOM ON DESIRES SHALL INCIDENT ALL LANDS, ASSELLATION INFOCES, DIAMENT, AND MASSINGS AND SHALL BE IN STREET DESIRECT, EAST, MIL BRADING, STANDARDS.
- PROVE A CORPLE WENT INCIDENT STEM, FIRMES AND INCIDENTS FOR ALL DILETERS, MINES SOUND TO ME NEWLYDD FOR FOR PROJECT, SYSTEM SHALL DILETERS, AND CONTROLS. 22. MOT LISTE.
- Indian coult set sait be 1/2 not fer cheek locker and forex chilest pairs cheeks! Nooils mo/or reliefs at cost.
- 25. HOT USED
- 27. BANCY CRUIT INDICATE FEEL

  18. BANCY CRUIT INDICATE FEEL

  16. CHARLES FEEL

  16.

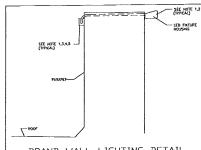
- 28 A. HE FROM BROKER OF DEPTH PARADOUS AN INTERIOR INCIDENCE SHALL MAD INTERIOR BEACH FRANCE MAD INTERIOR BEACH FRANCE MAD INTERIOR BEACH FRANCE MAD INTERIOR BEACH FRANCE MAD INTO A COURT BOUND SHALL BEACH FRANCE FRANCE
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- 12. N. SEPROTO CLIMAS, SEPORI COPLUS MS LACTON BERS DRICKY FROM THE SPECIAL STYLE, CLIC OF HAMMA PROCED FOR THE SECOND BROWN DOWN DOWNESS SHALL KIST COMPRED THE CLIMAD SERVICE MESS OF PLANT LIMITS HE CLIMA STYLE HAS BEEN STATEMEN RESIDED FOR THE PROCESS MO APPROVE HIS BERN SHANGE IN THE ALESSET HAS DIM CORRELL.
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- I ALL NOT COOLE EAS SHALL ET INTALLO MOVE AND OUR THE TOP OF ALL NÉE MACHON DISTRIC DICTMONE, PRINC CONDUCE, PALESTES, DEL LES SHALL PREMISE ALL MITTERNY ACCESSES, PALESTES COOLE BEAUTS SHALL BELLEDIG COX STATEMENT AND ALL SHALL LES SHALL PARTIC ALL PALESTES AS EXCUEND
- C. NEW CONCUST RUNS ON PALLEDNESS SHALL NOT BE INSTALLED LESS THAN 2 NOVES ARMY MYSSORY LESSING PARTIESS SHALLS APPROVED BY THE DECREES. NOR CONDUT RUNS OR PARTNESS SHALL NOT EXCIT OR PREMER FULL AND COMPLETE ACTORS AND DEPENDES OF NOT OR DISTRICT HANG EXCURPENT, ACCURATE FIRM MANUEL, JUACUA SERVE, DATH HUMBER, WAS SERVEY AND RETIRAL AS DELECT, PARTNESS SERVED, ACCURACY, SERVED,
- LINE DECOME APPLICATE TO BE MORALD RICH HOLD FOR DESING TREMON SMILL BE MORALD BOTH BY MORALD BY THE BOTH BY MORALD BY THE BY THE BY MORALD BY THE BY TH
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- H MI NO BROWN SANGED FROMEN, BOYES, AND WIERES SHALE IT IN A TO GOLDEN WIERES FOR STORED WEIGHT FOR SHALE AND BROWN WIERES FOR STORED WE WIND SHALE SHALE SHALE SHOW AND AN APPROAD OF A MODELLY WOLLD WANTE, MO TO DOMER.
- I. M.I. DIEMEDICT AND EST SON JUNTON BORES SHILL BE MINTED BOD. FINEL TAG AND DROUT REMERE FOR MILL MENG MONN LINCTON BOX SHALL BE MODIFIED ON FOLLOWING.
- J. ALL JACTON BOXES SERVING LODING AND FONES SHALL HAVE DECAT MARKETS AT FAMEL DASS FOR ALL ROOMS STORM JACTON SOLE SHALL BE ADDRESS ON DIVIDES.
- A MEN PROFISORO CEPTER CHOING BUS SWILL BE INSTRUME FOR EQUIPMENT CHOINGING REQUIREMENTS FOR ALL PROFISOROS LICENSE & DELLAG SES.
- 4. ANY ELETING DETERMEN WEBSEL AND EDUNANCE WHICH NUTBERS WHICH WEB MODIFIED AND FERRORS OF DESIRES WALLE SHARED AN INFORMATION AND ADMINISTRATION ADMINISTRATION AND ADMINISTRATION ADMINISTRATION AND ADMINISTRATION ADMINISTRATION AND ADMINISTRATION ADMINISTRATION ADMINISTRATION AND ADMINISTRATION ADMINIS
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- 4. WHE DESIGN COOKER SOME OF THE BOWNES, IF 6 SHOW INCREMENTALLY, THE DUCT HOWER OF THE DESIGN CONCURT SHALL BE REPORTED ON THE LOS SEE IN THE DESIGNATION.
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- AS CONTACTOR SHALL PROMER ALL RETURNS PROMERS STEE BALL OR MELIFORE HALL SETTONS, AND RELIEVED AND RESIDENCE AND RESIDENCE AND RESIDENCE HALL SETTONS.
- A ALL MAY EMPERORY LICEOUS TREATS AND LESS SHALL HE PROVIDE MAY AN INCIDEL EMPERORY NECES PRILLED IN LICEOUS HAND AND AN INCIDEL EMPERORY NECES PRILLED IN LILEOUS HAND AND AN INCIDENT HAND AND AN INCIDENT HAND AND AND AN
- 43. CONFEDERS OF ELECTRICAL PERS
- A FRANCE REMARKED EXCEPTION WHICH HE WERE TO RELECTION HE DE FIX OF DESTRUCE MEMORIES HAS RESIDENTE TOWNSHIP TO SERVED, WITH THE SAME RESIDENCE AS SHOWN IN THE PROMISE ALL DESTRUCTION WHICH SHALL BE CORRECT AND NOTH APPELL AS SHOWN IN THE PROMISE AND ASSESSMENT OF THE PROMISE A B. MAY LOSSED FACE LAWET MUCHAUS SET AND CONSECUE THE CONSECUE AND CONSECUE THE CONSECUE AND CONSECUE THAT CONSECUE TH
- C. PRINT A THEFTIES MICCON OF DROPS IN LIGHTS AND RINKS WAS AND PROVE HAID, DEVERTION IN BLOCK ALTO FIRST SEALED INCEPTIONS ON HE AREA OF THE CONTRACT OF THE DISTRICT OF THE OWNERS OF THE DISTRICT HAID. OF DISTRICT AND THE OWNERS OF THE DISTRICT HAID.
- B. PROVED ON DOCK PARES FOR LOCAL TOTAL SAFENING THE SAFENING WASHES, BUT LOCAL INFO CHARGE SAFENING TOTAL SAFENING TOTAL SAFENING TO AND CHARGE SAFENING TO AND CHARGE SAFENING TO AND CHARGE SAFENING TOTAL SAFENING TOTAL SAFENING TO AND CHARGE SAFENING TO AND CHARGE SAFENING TOTAL SAFENING
- E DARREST STUT-AD-ERIG PUSITE TAPE DARRES WILL NOT BE ACCUPED.
- O THERMOL CHATHCON SOLL CHORNAT, HIL EXENCE OF MAY MON-ACCESSED SOURS EXPENSIVES, PLUSCHES, MO COUPLEY, DE. FOR MICHOLON IN ACCESSED CHARD HAVE, LE. SPAI MOLICE ALL COMPATIO COSTO FOR MICHOLON MOL WERY SLOW CHORNONS WAS MONTHERED CLASS PLANS PROCED THREE MICHO.
- N. DESIGN CONTROL OF ALL DESING BRENG DEPRENT, DAVIS, FRITATS, NO SIGNE FAIL HERRS HERROR, DISK, HELPTON, DE GENERANDA DE HE PROVINCE NO SIGNEDON DE LE DESING HOUSE DE HELE DAVIS DE DESING HOUSE DE HELE DAVIS DE MONDROS DE LE PRENTE DE L'ADRIC DE CONTROL DE SAUL DEPART À DOTAR SE PRENTE MONDROS DE PREJENCE, RECOLO NO LIBERTO DE L'ADRIC DE
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- 22. EE SAN BEIGN DE MONETUREN DRONGS FOR DE CIENTOS OF AN OLITERON MO DOMENICADOS CREATE DICTRICA, DRONGS FOR DECLICAÇÕES OF AN OLITERON MO DECLICAÇÃO DEL CONTRACTOR DE CONTRACTOR DE CONTRACTOR DE CONTRACTOR DE SERVICIO DEL CONTRACTOR DE CO
- 53 EL SRI HERE ID MONACH NO RUMBIG DEPENDE BANNES FOR ENCI MONIOS OF ALL MEDINICA NO PLINING EXPREN.

L	IGHT	ING FIXTUR	RE SC	HEDU	LE:			
WARK	SYMBOL	DESCRIPTION	DIFFUSER	WATTS	MPS TYPE	BALLAST	MOUNTING	MANUFACTURER AND CATALOG NUMBER
F2		2' X 4' GRD TROFFER	PREMATIC ACRYLIC	45W	1ED	-	PECESSED	SECURITY LIGHTNO: \$ SITTLES 4-32NTC-12Y15-En-Ab
F7		1' X 4' GRD TROFFER	PREMATE ACRYLIC	35W	uD.	-	SECE2210	SECURITY LICHTING   SELT14-35HLG-FSA12F-EU-NP
F125	0	E, TED DOMA TICHLE	-	12#	uD.	-	PECESSED	SECURITY LICHTING #LBSLEDATOL-35K-9-54/DB1QL
F12SA	0	6" LED ADARSTASKE DOWN	-	12W	TED	-	PETESSED	SECURITY LIGHTING FLESLEDATOL-35K-9-WW-SA/DRIC
£12T	0	6" LED DOWN LIGHT -	-	126	LID)	-	PECESSED	SECURITY LIGHTAGE (LESLEDATOL-55K-9-WH/EXS
F20	8	ENT SICN WITH BATTERY BACKUP	-	1.80	LED	-	SURFACE	SECURITY LIGHTING: FRE SEE HOTE LS2 ON THIS SHEE
F21	డి	2 HEADED EMERGENCY BATTERY LICHT	-	-	LED	-	SURFACE TO BULL DR CEEUNS	SCURITY LTG. JEV40
722	翠	ENENG BATTERY & 2 REWOTE HEADS	-	-	LED	-	SLEFACE TO BALL OR SOFFIT	SECURITY LTG. \$EV40-021-0/EV008
F23	靐	2 HEADED EVERG LIGHT & 2 REWOTE HEAD IF REQUE		-	LED	-	RALL DR	SECURITY LTC.   13/40/EVODS
SIH	9	"DOWN DALY" RADING WALL SCONCE - SEVER THISH	GIASS GIASS	(1)-14#	LED	-	KALL	SECURITY LIGHTING:   FRISC-36L-5K-00-U-FS
52H	-	"UP/DOWN" PADAL WALL SCONCE - SLVER FINISA	TEMPERED CLASS	(1)-25#	LED	-	#ALC	SECURITY LIGHTING: FRYSC-72L-5K-LID-U-PS
SIW	9	"DOWN DALY" RADIAL WALL SCOACE - WHITE FINISH	TEMPERED CLASS	(1)~74W	CED	-	MAT	SECURITY LIGHTING: #RWSC-36L-SK-DO-U-WH
SLED3	-	DOWN ONLY ACCENT LICHTING	TEMPERED CLASS	1-30e PER FXTURE	LED	-	SHALL	SECURITY (XIDITINO): SL-LED-35-00-120-PS
LED29-HE	-	DOWN ONLY ACCENT	TEMPERED GLASS	T-TOW PER FIXTURE	LED	-	SATACE	SECURITY LIGHTNA: HRAF-LED-24-DO-120-PS
34-6£011		DOWN DALY ACCENT LICHTING	TEMPERED GLASS	1-148 PER FIXTURE	LED	-	SURFACE	SECURITY LIGHTING. HPUF-LED-38-DO-120-PS
LED+D-HE	_	DOWN ONLY ACCENT .	TEMPERED CLASS	T-19# PER FOTURE	TED	-		SECURITY LIGHTING: HEAF-LED-48-00-120-PS
CLILED		UP ONLY ACCENT LIGHTING (SEE PLAN)	TEMPERED CLASS	1-334 PER FOTURE	LED	-	SURFACE	SECURITY LICHTING: CFL-27L5KUV-WH



BRAND\_WALL\_LIGHTING\_DETAIL

- . PLACE LED FIXTURE AT DESPRED LOCATION AND INSTALL FIXTURE FROM LEFT TO RIGHT WIEN FACING ARCADE AND ATTACH POWER SUPPLY AND MOUNTING BRACKET AS RECOMMEDED BY MANUFACTURES.
- EC SHULL CONNECT NEW FOCURES TO THE NEXT AVAILABLE SPARE 120V CROUST AND MAKE ALL ELECTRICAL CONNECTIONS AS REQUIRED FOR A COUPLETE OPERATING SYSTEM.
- POWER SUPPLY SHALL ALWAYS BE INSTALLED TO THE LEFT SIDE OF FIXTURE WHEN FACING
- OVERALL FOCUSE RUN TO BE CENTERED ON OVERALL LENGTH OF WALL.
- CONFICURITY (ED PRIDES TO DISTING LIGHTON COUNTY), REQUEST DISTING AND SOURCE DISTING AND SOURCE DISTING AND SOURCE DISTING AND SOURCE AND SOUR



SKyBorne Technologies

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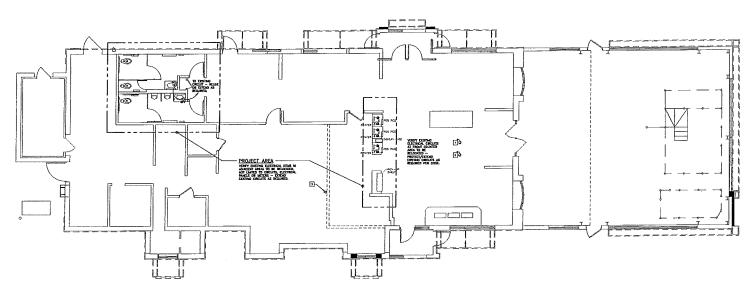
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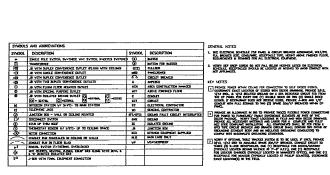
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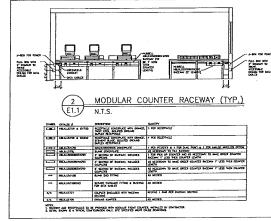




ELECTRICAL ROUGH-IN PLAN

3/16" = 1"-0"





- ALL NOTES CONTAINED IN THIS DOCUMENT APPLY TO THE PROJECT AREAS
- 1. ALL MOTES COUNTED IN THE DOCUMENT MAPE TO THE PROCEST AMAS AS SPECIFIES.
  2. DOMESTIC ROSE AND PROCESSON POWER AS MESSIAMY FIRST.
  2. DOMESTIC ROSE AND SELECT ON EXTENSION POWER AS MESSIAMY FIRST.
  3. ALL WROND SHALL COMPOSE TO ALL PROMOSES OF CURRENT MYMERSE.
  4. WROND SHALL COMPOSE TO ALL PROMOSES OF COLUMNAT FOR THE COUNTED AND COUNTED MYMERSE.
  4. WROND SHALL COMPOSE TO SELECT LECOTIONS AND LODGERS DESIGNED.
  5. THIS INTEREST WAS ASSOCIATED.
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  6. MEDISSAN, OTHER SPECIAL WROND ROSES, PROMOSE RESTRUCTED AS RECESSORY FOR A COMPOSE AND ASSOCIATED.
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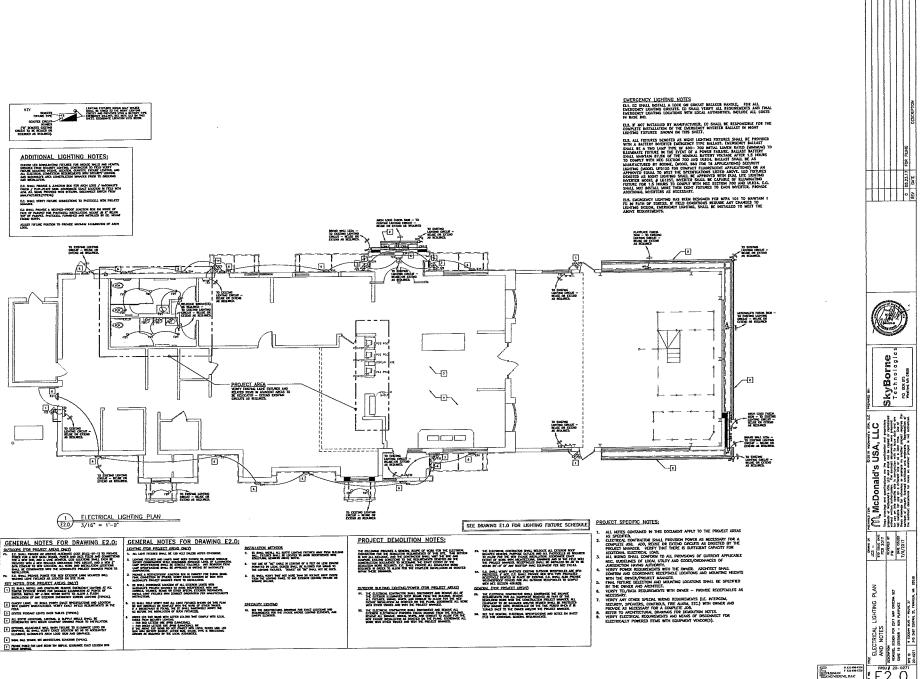
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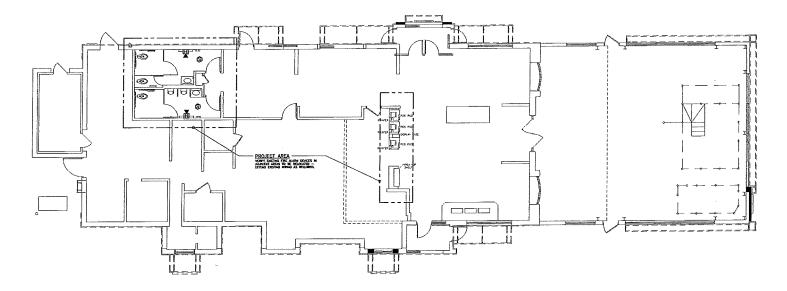
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ROUGH-IN PLAN 2 2017 WAY CRITISM SET NOW PLANELLEC 1805 - NOUT 27





1 FIRE ALARM PLAN

830 3/16" = 1'-0"

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### GENERAL FIRE ALARM NOTES:

### PROJECT SPECIFIC NOTES:

	FIRE ALARM LEGEND
SYMBOL	DESCRIPTION
FACE	FIRE ALARM CONTROL PANEL
ANN	FIRE ALAISH REDICTE ANNUNCHTOR PANEL
EOD	END OF LINE RESISTOR
ECO	FUSED CUT OUT
6)	SMOKE DETECTOR - "N" NDICATES ZONE
Sh.	SUPPLY DUCT-MOUNTED SWOKE DETECTOR
(Dan	SMOKE DETECTOR ABOVE DROP CELLING, REMOTE LAMP!
0	THERMAL DETECTOR, FIXED (195')
(IS)	TAMPER SWITCH
FS	FLOW SMITCH
E	FIRE ALARM WANTAL PURIL STATION
84	FIRE ALARM HORN/STRORE
<u>s</u>	FIRE ALAM STROBE
₩P	WEATHER PROOF
-®-	REMOTE ALARM LAMP (LOCATED ON CELLING)
· · · · · · · · · · · · · · · · · · ·	CARBON MONORIDE DETECTOR

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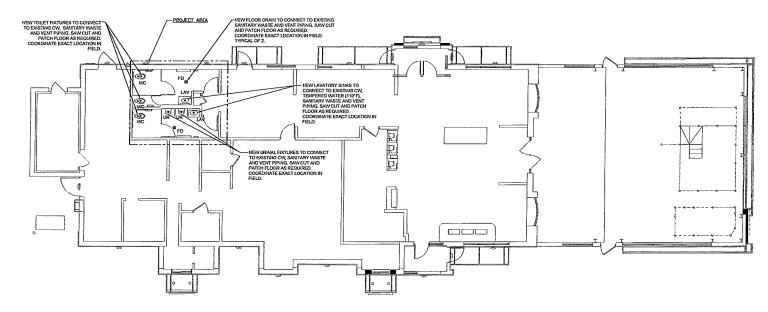
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	GENERAL PLU	JMI	BING NOTES	LEGEND ABBREVIATIO				
<u> </u>	BAL. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL LOCAL COOLS AND ACCEPTURE TO THE AUTHORITY HAVING JERGEOCHOM.	Ι.	CONTRACTION	l ——	COLO MATER PIPING	ACM	AREA CONSTRUCTION WANAGE	
L	ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER.	3.	NOTIONS WHER SEPTCE PRESSURE SHOULD BE BETWEEN 45 AND 55 PSI SLUTE, WHERE WHER PRESSURE SERVICE EXCEDS BY PSI STATE, AN HEPPOTED MIRE-PRESSURE FELLIZAN SALES WHIT STEMBER EXPONENCE TO ASSE 1003 SHALE BE NOTIALIED, WHERE NOTING WHITE PRESSURE BE BELLIP 45 PSI STATE, A PRESSURE BOOSTER STSTEM SHALL BE NOTIALIED.		TEMPERED WATER PENO (110F)	A/S	ATVOSPHERIC VACUUM BREAK	
	ALL DIMENSIONS, CLEARANCES AND TOLERANCES SHALL BE VERTED FROM TO INSTALLATION. ALL ROUSE-IN LOCATIONS SHALL BE COORDINATED WITH THE MALERATURER'S SENSITIAL INFORMATION.	١.	ECLOW 45 PG STATE, A PRESSENT BOOSTER SYSTEM SHALL BE INSTALLED.  F. THE RESTURBANT HAS A COMPANY WATER AND FIRE SPENNLER SERVED.		HOT WATER PIPMS (140F)	ESI	BEVERAGE SYSTEM INSTALLER	
			IF THE RESTURANT HAS A COMBINED WATER AND FREE SPRINKLER SERVICE, THE INCOMING WATER SERVICE SHALL BE SEED INSED ON THE TITLE SPRINKLER CONTRACTOR'S HIDRALLIC CALCULATIONS.		RECIRCULATED HOT MATER PIPAG	co	CLEAN-OUT	
	ALL DADASONAL INTORVATION IS AS FOLLOWS (UNLESS NOTED OTHERWISE):  A. DECERGIOUSE PIPE IS TO FOUNDATION  B. OKERALO PIPE IS TO FINISHED MILL  C. ELEVATIONS ARE TO FINISHED FLOOR	5.	PROVER A DANGER IS ANNUAR CLEARANCE AROUND ALL PRE SLAB PENETRATIONS.		OVERHEAD LINES (BY P.C.)	DC DC	DOWNSPOUT COVER	
	AL MATERIALS, PRIVERS AND COUPMENT USED SHALL BY IN ACCORDANCE WITH MEDOWARD'S PERCENCIATIONS, SECRETARIANS AND COMMON METHOD HESE DEMONS AND THE MEDOWARD'S PROJECT MANUL. ANY CONTRACTOR METALOGY AND AREA CONTRACTOR METALOGY AND AREA CONTRACTOR METALOGY AND AREA CONTRACT FROM THE MEDOWARD'S AREA CONSTRUCTION MANUERS. ANY VARIOUS FROM THE	6.	A REDUCED PRESSURE PRACTICE RECEIVED PERVENIER (RFZ) SHALL BE INSTALLED AT THE RECOURSE SERVICE MEDIC RECORDE BY COOK.		UNDERGROUND SANTARY PIPING	DFU	DRAWAGE FATURE UNT(S)	
	IN NEED OF A COPY OF THE MICHORYLUS PROJECT WARM, SHALL CONTACT THE MICHORYLUS AREA CONSTRUCTION MANAGER. ANY VARIANCE FROM THE MICHORYLUS SPECIFICATIONS SHALL BE REVEWED AND APPROVED BY THE DECRETE-OF-RECORD.	8.	AN DEPAND OF THE WALL BE ASSAULTED AND THE FOLIA THE THE THE THE EXPANSION TANK SO-BUILD.  THE WATER HEATER SEE EXPANSION TANK SO-BUILD.  THE WATER SECON PROF WITHOU MANUARY IN THE FRIENDS AS PERIODER BY		UNDERGROUND GREASE WASTE PIPMG	EC	ELECTRICAL CONTRACTOR	
	SEE COORDINATION SCHEDULE FOR ADDITIONAL SCOPE OF WORK	"	ALL WATER SLIPPLY PIPE WITHIN MINIMUM OF THE BULDOWS AS REQUIRED BY LOCAL COOPES, HEALTH DEPARTMENT AND WATER AUTHORITY AND REDGE THE BULDOWS SHALL COMPLY WITH NSE 61 AND SHALL BE TYPE L COPPER TURNAL COPPER PIPE OF CIPIC PIPE.		YEAT PRING	FIC	FIRE ALARM CONTRACTOR	
	all eduppient shall be distalled in accordance with its listing and/or the manafacturer's distallation instructions.	9.	CINC PAPE SHALL BE FLOWCLARD COLD OR FLOWGLARD REPEABLE AS MANUFACTURED BY LIGHTOCH.		ABOVE GROUND STORM PIPING	rco	FLOOR ELEAN-OUT	
	WHERE POOR SOR CONDITIONS EXIST OR WHERE SUBSTAINTIAL SETTLEWENT OF ETHER THE PREME THE BUILDING OR ADJUSTATION WALKS, PLANTESS, ETC., MAY OCCUR, THE CONTRACTOR SHALL PROVINCE ASSOCIATE UNCERSIAS STANLESS STEEL PRE HAUGERS OR APPROVED OTHER SUPPORT.	10.	CPVC PIPE SHULL BE CONNECTED WITH FLOWGUARD GOLD YELLOW LOW-VOC SOLVENT CEMENT AS WANUFACTURED BY PS WELD-ON OR GATEY.		UNDERGROUND STORM PRING	FD	FLOOR DRAW	
	Staness steel five fingers of approved other support.  ALL PRE SLEEKS SHALL BE PROPERLY SEALED AND INSULATED TO FREVENT HEAT LOSS AND SEEPAGE.	11. 12.	ALL CAN'S PAPE SHALL BE INSULATED TO PREVENT EXPOSERS TO GREASE.  ALL SUSPENCED PAPE SHALL BE SUPPORTED AS FOLLOWS:	<u> </u>	HOSE BEB	FPC	FIRE PROTECTION CONTRACTO	
	heat loss and seepage.  All pipe insulation shall be protected from Danage from Pipe Hangers. Protection shall be light cause galvanzed steel dr	"	MATERIAL MAX. HORZ. SPACING MAX. VERT. SPACING COPPER PAPE 12 FT. 10 FT.	12	DECK WINE	rs	FLOOR SNK	
	LOUAL.		COPPER TURNS > 1)* 10 FT. 10 FT.	+	BALL VALVE	æ	GENERAL CONTRACTOR	
	ALL PENETRATIONS OF FRE-PATED BALLS SHALL BE FRESTOFFED WITH AN APPROVED AND LETTED FRESTOFFING SYSTEM.  ARY AND VENT SYSTEMS:	13.	CP√C ≥1X* 4 FT. 10 FT.	A	THERWOSTATIC MIXING VALVE	GI .	GMEASE INTERCEPTOR	
	NY ADJUNE STEELS THE BURNES MAKEN PRE SHALL BE LOCATED A WAMAN AS REDURED BY LOCAL COOKS, REALTH OFFATHERS AND ANDER AUTHORITY, FROM THE BURNES AND ANDER AUTHORITY, FROM THE BURNES AND ANDER AND ANDER AND ANDER AND		A REDUCED PRESSURE PRACEPUE BACATION PARVENTER (RPZ) SHALL BE INSTALLED AT THE NALE TO THE MATER FLITATION SYSTEM. ALL PRINCE DOWNSTRUM OF THE RPZ SHALL BE COPPER OR CROSS-LINKED POXISTEMIENE (PEX).	G G	FLOOR DRAW	624	GALLONS PER FLUSH	
	THE BOTTOM OF THE WATER STRACE PIPE SHALL BE A WALLEM AS BEDLARTD BY LOCAL CODES, HEALTH DEPARTMENT AND WATER AUTHORITY REDUCE THE TOP OF THE HIGHEST POINT OF THE SANTARY PIPE.	14,	ALL DEVEIS, APPLIANCES, AND APPLABILIS INTUNDED TO SERVE SOME SPECIAL TUNCTION SHALL BE PROVIDED WITH PROTECTION ACASST BUCKLOW AND COMMISSION OF THE WAITE SUPPLY STSTEM. ALL BOAGING PREVENTION DOVICES SHALL BE ASSET LISTED AND APPROVED FOR THE DEVICE OR APPLIANCE THAY SERVE.	0	CLEAN-OUT (FLOOR OR YARD)	CPW	GALLONS PER MINUTE	
	KLL SANTARY AND YOUT PIPE SHALL BE PVC TYPE DWY, ABS OR CAST-SION KHERE FEOURED BY CODE.			₩	FLOOR SNK	CH	CHEYZE AYZLE	
	rl horizonia, sociary pipe shall be installed with a minara pitch as follows:	15.	ALL WATER SUPPLY LIKES SHALL EX PROVOED WITH A GUARTER-TURN SHUT-OFF VALVE EXPORE TIME CONNECTION TO EQUIPMENT.	o	PRESSURE GUAGE	+5	HUD SNX	
	FIFE SQT UNI SLOPE 25' OR USSS K' FIRE IT. 3' 10 6' K' FIRE IT. 8' OR UNSCR K' FIRE IT.	16.	CLURTER-TURN SHIT-CEF VALVES SHALL BE INSTALLED UPSTREAM OF ANY BLAKE BACARLOW FREVENTION DEVICE.	10	LOW PRESSURE SATION	tP.S.	HON PIPE SIZE (4150 NPS)	
	8" OR UNCER X," FER IT.  ELEMONTS SHALL BE DETALLED IN ALL HORZOWIAL DRANGE PIPE AND WALL BE LOCATED HIT HORE THAN 100 IT. APART.	17.	ALL VALVES AND EXCEPTION PREVIATION DEVICES SHALL BE INSTALLED WITH FITTINGS THAT PROJURATE REMOVAL IN CASE OF FALLIES.	8	HOH PRESSURE SWITCH	kĐ	KITCHEN EQUIPMENT INSTALL	
	DALL BE LOCATED NOT MORE THAN 100 FT, APART.  LEANNUTS SHALL BE INSTALLED AT ALL CHANGES OF DIRECTION GREATER.	18.	ALL DAENHAD WATER LINES SHALL BE INSULATED WITH 1" THE'S EXTERNAL DAKETED INSULATION AND A WINDOW INSTITUTE OF 3.7.	器	SOLENDE VALVE	KES	KRICHEN EQUIPMENT SUPPLE	
	CLUMDITS SHALL BE INSTALLED AT ALL CHARGES OF DIRECTION GREATER HAM 45 DEGREES. WHERE MORE THAN DAY CHARGE OF DIRECTION COCURS IN A SWITE PIPE RUN, ONLY ONE (1) CLUMDIT SHALL BE REQUIRED FOR VERY 40 FEET OF DISTLOCKED LIMBIN.	19.	PROF TO BULDING TURNOVER, THE COMESTIC WATER SUPPLY SYSTEM SHALL BE PURGED OF DELETEROUS MATERIAL AND DISSIFICIED. DISINFECTION STATE BE COME IN ACCORDANCE WITH THE LECAL PEACHT CODE, PLANSING CODE OF IN ACCORDANCE WITH AWAY 6551 OR AWAY 6552.	₽.	THREE-BAY VALVE	LAV	LAVATORY	
	clanduts shall be installed on pipes pixor to any slab exetration	\$10 1.	ON DRANGE STOTEKS: ALL ROOF DRANG SHALL BE EXZED IN ACCOMPANCE WITH LOCAL CODES AND SHALL ROOFDOWN TO ASME ATTRICTION OF ATTRICT.	ÞØ	PRESSURE REGULATOR	MC .	RECHARGAT CONLENCTOR	
	WHERE PIPPING IS LOCATED WITHIN WALL CAVITIES, ACCESS TO THE CLEANOUTS WALL BE PROVIDED.	2.	SHALL COMPONE TO ASKE ATT2.21.2M OR ATT2.3.1.  ALL STORM DRAINGE POINT SHALL BE ABS, PAC TYPE DWY DR CAST-ROM WHERE REQUEST BY COM-		DIMT DIETK ANTAE ON 1865	usit .	WALE HOSE THREADS	
	SEAROUTS ON 6-IN, AND SWALLER PEPES SHALL BE PROVIDED WITH A EDRANCE OF NOT LESS THAN 18 IN. CLEAROUTS ON 8-IN, AND LARGER PRE-SHALL BE PROVIDED WITH A CLEARANCE OF NOT LESS THAN 35 IN.	3.	WHERE REQUIRED BY COOK.  ALL SUBJECTORS STORM DRAININGS PARE SUPPORT REQUIREMENTS SHALL BE THE SAME AS THE SANTARY AND YEAT REQUIREMENTS.	1181	DUAL DIECK VALVE WITH ATMOSPHERC VEHT	ws .	NOS ENC	
	al suspenced santary and vent pipe shall be supported as dilens:	4.	ALL HORZONIAL STORM DRANGE PIPE PITCH SEQUIPEMENTS SHALL BE THE SIME AS THE SUNTARY AND WITH REQUIREMENTS.	. н	STRUCK	NFS	NATIONAL PIPE THEEAD STAN	
	MAX, HORZ, MAX, YERT, SPACING SPACING ASS 4 FT, 10 FT,	5.	ALL HORZONTAL STORM DRANAGE FIFE SHALL BE INSULATED WITH 1" THICK DITERNAL ACCRETED INSULATION AND A MANAGEM INSULATED R-VALUE OF 3.7 TO PROTECT AGAINST CONSENSATION.	b	RELIEF VENT	NPT	NATIONAL PIPE THREAD TAPES	
-	PAC (TIFE DAY) 4 FT. 10 FT.  PAST-BON (C10 FT. PPE SECTIONS) 5 FT. 15 FT.  CAST-BON (10 FT. PPE SECTIONS) 10 FT. 15 FT.	6.	to protect against consensation.  Clemouts shall be installed in all horizontal drainuse fiese and shall be located not hore than 100 ft, apart.			0/0	OWNER/OPERATOR	
	LL PLINGING FORTURES SHALL BE VENTED AND THE MAXIMUM DISTANCE THOM THE FORTURE TRUP TO THE VENT SHALL BE AS FOLLOWS:	7.				эн	OVEHEAD	
I			CLEMONTS SHALL BE INSTALLED AT ALL CHANCES OF DIRECTION CREATER THAN AS DEEPERS, WHERE MORE THAN ONE CHANCE OF DIRECTION OCCURRS IN A SINGLE PIPE TILL, ONLY ONE (1) CLEANOUT SHALL BE REQUIRED FOR EVERY 40 FEET OF DEVELOPED LEAGH.				PLAIP	
	2" K PER FT. 5'-0"	В.	CLEARCHTS SHALL BE INSTALLED ON PIPES PEIOR TO ANY SUAB PENETRATION			PC	PLINENC CONTRACTOR	
	4" R LANGER A" PER FT. 10"-0"  11. PALMENO VENTS THROUGH THE ROOF SHALL TERMONTE A MANAGEM OF A MONEY BOARD THE ROOF, TO BE VERFERD WITH LOCAL CODE	9.	where Paping is located within wall cavities, access to the cleanduts shall be provided.			PC	REFRGERATION CONTRACTOR	
	IL PLINGERS VEHTS THOUGHT THE ROOK SHALL TRANSACTE GENERAL DE PROFESSOR, AND THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE ROOM OF THE ROOM OF THE ROOM OF THE AUGUST AND SHALL BE LOCATED A MORING OF BY THE PROPERTY WALL, THE WENT SHALL TERMANTE A MINIMAL PER MYSTER SHALL TREVANTE A MINIMAL PER MYSTER AND THE PROPERTY WALL. THE WENT SHALL TERMANTE A MINIMAL PER MYSTER AND THE PROPERTY OF TH	10.	ROOF DRANS AND EMERICAN ROOF DRANS SHALL BE PIPED INDEPENDENTLY. DISERTON ROOF DRANS SHALL NOT BE CONNECTED TO THE PERMARY ROOF DRANGE STIEM.			RPZ	REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTER	
	F 6 NOVES ABOVE THE PARAMET. LL PLUMBING MENTS SHALL TERMINATE A MINIMUM OF 10 FT, HORIZOATALLY				in the second se	55	SAUTARY SEWER	
1	IL PLIMBING VENTS SHALL TERMENTE A MINIAUM OF 10 TT. HORIZONTALLY ROM ANY CUTDOOR AR MINIAE. WHERE A PLIMBING VENT IS LOCATED WHEN 10 FT. OF AN INTAKE, THE VENT SHALL TERMINATE A WINIAUM OF 2 I. ABOYE THE MINIAE.					51	STORM SENER	
	LL SOE WALL YENT TERMANIONS SHALL BE PROTECTED TO PREVENT BROS R RODENTS FROM ENTERING OR BLOCKING THE YENT OPENING.					2/8	ANTI-SPHON, SPILL RESISTAN VACUUM BREAKER	
	LL FLOOR DRAWS THAT DO NOT SERVE EQUIPMENT SHALL BE PROTECTED CARST DRYWG GUT ETHER THROUGH THE INSTALLATION OF A TRUP FRIMER, EEP SEAL TRUP OR PROSET TRUP GUARD.					PAF	TEST AND BALANACE CONTRAC	
						uc	UNDERGROUND	
֡	IL APPLIANCES SHALL DOWN TO AN APPROVING SHAPPING RECEIVED FOR THE PROPERTY WAS FLOOR SHALL WITH FLOWERS. INDEED DANGER FROM AN PRIVATE SHAPL MAN FOR THE BENEFITH THE PREFOUNDED FOR THE PRECIPIOR. THE MANAGEM DISTANCE THERE THE PREFOUND FOR THE PRIVACE DAVA PER CEPTOR SHALL BE THICK THE DAMETER OF THE PRIVACE DAVA PER.				-	UR .	Issur	
	PPLANCE DRAN PIPE.					· ·	VOII	
1	IS SUBJECT ONTINGS.  TO ENCOUND BUT SERVICE PPE SHALL BE LIDORITO A MINHAM AS COUNTED BY LOCAL CODES, PEACH REPAYMENT AND WITER AUTHORITY, COUNTED BY LIDORITY AND WITER AUTHORITY, COUNTED BY LIDORITY AND WITER AUTHORITY, COUNTED BY LIDORITY AND WITER AUTHORITY, FROMFOR BY LICAL COOKS, PEACH REPAYMENT AND WATER AUTHORITY, CONTINUED BY LICAL COOKS, PEACH REPAYMENT AND WATER AUTHORITY, CONTINUED BY LICAL COOKS, PEACH REPAYMENT AND WATER AUTHORITY, CONTINUED BY LICAL COOKS, PEACH REPAYMENT AND WATER AUTHORITY, CONTINUED BY LICAL COOKS, PEACH OF THE SOMEWAY PRE.					wc	WATER CLOSET	
٠,					1	WCD.	WALL CLEAN-OUT	
,	S ETGURED BY LOCAL COOKS, POLITH DEPARTMENT AND WAITER AUTHORY.  JOHN THE TOP OTHE HIGHEST FORM OF THE SANTARY PPE.  L MORROBOUND SITE PLUMBUD, TO COURDE AS PROJECTED BY LOCAL  DOCS, SHALL BE THE K COPPER HIGHOS OR COPPER PPE, POSITIONIZED  ET OPP. C. F. CHYC IS USED, FOW INSENTION SHALL BE INSTINCT.  ALL DUMBES OF PRETICION TO ACCOUNT FOR LEWISCON AND				ŀ	WSFU	WATER SUPPLY FATURE UNTIL	





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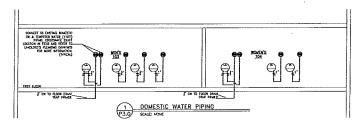
WASTE, VENT & DOMESTIC PIPING
P2.0 SCALE 3/16" = 1"-0"

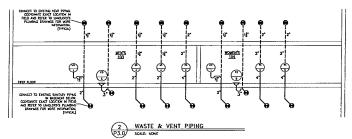
DRAWING NOTES	 		1	WASTE	E PIPE S	ZING	- IPC	
, ALL SANTARY AND YENT PIPE SHALL BE CAST-GROW WHERE REQUEED BY CODE.		FPCTL	RE TYPE		TRAPSZE	CFU	CLIMATITY	ATOT
DOMESTIC WATER SUPPLY SHALL SE TYPE & COPPER TURNS OR COPPER FIPE PRINC POLITIES ARE CENTRAL AND MAY VARY DUE TO THELD CONSTIONS. COORDINATE ALL		(E)t	NL.		2 IV	4	2	8
PUT ROUTES WITH OTHER TRADES. FROMOE PROSET TRAP GUARDOOR TRAP FRINER FOR FLOOR DRAINS.			R CLOSET		4 JN	- 5	3	18
The result is seen as the result is the resu		LAVA			1 14.	1	2	2
		FLOO	R DRAIN DR	3412	3 N.	5	2	10
		<b></b>					TOTAL	39
				VALVE	SCHED	JLE		
		MANUFACTURER	MODEL	TEMP. SETTING	LISTING		557VE3	
		ZITAV	LIII	124°F	ASSE 1069,1976	140	S & HAND SIN	WE MIN
<b>.</b>		KORCO	FP-600A		7312 1107,117		RESTROOM SH.	
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M. McDonald's USA, LLC 102 - 102 - 103 -

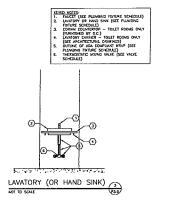
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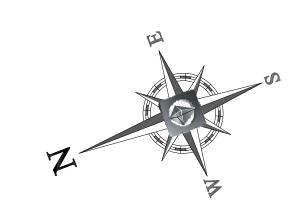




					CHEDULE,			
TAG	DESCRIPTION	MALFACTURER	NOOR.		FAUCES DESATION SENSUR			
F-1	FALCET FOR LAV	1010	T(1.3%S124CP	10.17 644/15	nt.			
				SEC EVELE)				
- 1		מזסד	LT1915	<b></b> i	FACETI F-1	SEE NOTE 7		
LAV	LAVATORY				TRUERRO LAVGUARZE MODEL 4152-E-Z CORTAN COUNTER BY GC.	SEE BEIARC 3 DR F33		
	646 FLEER BRAIN	ZURN	2415-BZ			FLANEL MONE		
LD	SAS FLIER BRAIN	JAY R. SMITH	2005		STRAINER SIZE: 6" MICKEL BRIDGE	SEE MOTE 6		
		1010	UT447E			FLUSH VALVE DEFRATION SOUGH		
us i	ATA VALL-HING LICINAL	ZURN	25750	45 GPF	ZIRN ZGENSZOCV-EVS % 1PS, 1' TOP SPUB	SEC NOTE 2		
- 1		-	1-					
		TOTO	CT705EL		FLUSH VALVE: TOTO TETILICISICP	FLUSH VALVE IPERATION SENSO		
vc i	ADA VATER CLOSET	ZURN	25665	128 CPF		SEAT: RENIS MIDEL BISSOT		
- 1		-	-		1' IP.S., 16' TIP SPUB			
2 M 3 M 3 M 4 M 5 M 6 M 6 M 6 M 6 M 6 M 6 M 6 M 6 M 6	EE HEIDNAUS PROJECT MANUAL FOR AD LUMBING CONTRACTION SHALL COORDINATE LUMBING CONTRACTION SHALL COORDINATE LUMBING CONTRACTION SHALL COORDINATE LUMBING CONTRACTION SHALL SPECIFY CO- LUMBING CONTRACTION SHALL SPECIFY CO- LUMBING CONTRACTION SHALL SPECIFY CO- LUMBING CONTRACTION SHALL SPECIFY CO-	VITH GC. TO PROVID VITH VIEW REPORT VITH VIEW REPORT VIEW REPORT VITH VIEW REPORT VITH VI	e blocking for fr e interior blocking e blocking for fr fpe vhen groering ring	ES DN V/V BLILI DPER SIVK SUPPO	DIS FOR VALL DIAMP	110 DREER PLUMBING FIXTURES, CONTACT HD SUPPLY, PROND 1666) 313-3576 E-HARL MODITIERRENDSUPPLY.CDM		







MAP 285, LOT 113 N/F LANDS OF LEONARD S. FRENCH & PAUL K. COSTELLO, TRUSTEES BK, 511, PG, 183

ZONE: COMMERCIAL II

<sup>+</sup>4.5 <sup>+</sup>4.4 <sup>+</sup>3.4 <sup>+</sup>2.7 <sup>+</sup>3.2 <sup>+</sup>2.8 <sup>+</sup>2.6 <sup>+</sup>2.6 <sup>+</sup>3.4

1 STORY MASONRY BUILDING "McDONALD'S"

BFPA= 6,160± SF

(PRIVATE DRIVE - 70' WIDE)

< → TWO WAY
TRAFFIC (ASPHALT ROADWAY)

MAP 285, LOT 112

N/F LANDS OF MCDONALDS CORPORATION BK. 592, PG. 146

2.0 1.5 1.4 1.2 1.0

# LIGHTING NOTES:

- 1. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- 2. THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- 3. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
- 4. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINARIES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- 5. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC, ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE
- 6. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS, CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- 7. CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- 8. IT IS LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- 9. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO. GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES. LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- 10. THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- 11. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

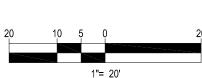
LUMINAIRE SCHEDULE							
SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION	MOUNTING HEIGHT	
<b>⊕</b> □ A	2	SINGLE	-	0.72	400 WATT AREA LIGHT	20'	
В	6	DOUBLE @ 90	-	0.72	400 WATT AREA LIGHT	20'	
С	17	SINGLE	-	0.72	DECORATIVE BUILDING LIGHT	11.5'	
D	4	SINGLE	-	0.72	DRIVE-THRU CANOPY LIGHT	11'	

S.P. MARTORANO

PROFESSIONAL ENGINEER MASSACHUSETTS LICENSE No. 45942

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THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES ♦ UPSTATE NEW YORK
♦ PHILADELPHIA, PA NEW ENGLAND LEHIGH VALLEY, PA CENTRAL VIRGINIA

BOSTON, MA NEW YORK METRO NEW YORK, NY BALTIMORE, MD NEW JERSEY

1.8 1.6 1.3 <sup>†</sup>0.8

<sup>†</sup>2.8 <sup>†</sup>2.3 // <sup>†</sup>2.0 <sup>†</sup>1.5

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 SOUTHEASTERN, PA RALEIGH, NC ◆ REHOBOTH BEACH, DE CHARLOTTE, NC TAMPA, FL SOUTH FLORIDA SOUTHERN MARYLAND

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	REGIONAL DWG. NO
	20-0271

SITE DEVELOPMENT PLANS STREET ADDRESS 345 EAST CENTRAL STREET CITY STATE STATUS RANKLIN DRAWN BY: COUNTY PLAN CHECKED | 11/21/17 | NORFOLK AS-BUILT SHEET NO. DWG. NO PLAN DESCRIPTION LIGHTING

PLAN

DATE BY

11/21/17 DJF

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# DESIGN REVIEW COMMISSION MINUTES OF MEETING December 19, 2017

A meeting of the Design Review Commission was held on Tuesday, December 19, 2017, at the Franklin Municipal Building, Franklin, Massachusetts. Members present were Mark Fitzgerald, Chairman, Chris Baryluk, Vice Chairman, Nancy Pendleton, Claudine Silverman, Samuel Williams, and Associate Member James Bartro. Also in attendance was Chrissy Whelton.

Mark Fitzgerald, Chairman opened the meeting at 7:00 PM.

## 1. 360 Pizzeria – 384 Union Street – Window Sign, Door Sign & Awning

Cam Afonso from Signs by Cam represented 360 Pizzeria with a proposal to replace existing signs and awnings with new company logo signs and awning. Remove old window lettering for fresh clean look.

**Motion:** To accept the sign package as submitted. Motioned by Bartro. Second by Pendleton: Voted (6-0-0).

### 2. Crunch Fitness— 100 Franklin Village Drive— Pylon sign, Blade, Building Sign

John Foreacre from Unisign represented Crunch Fitness with a proposal to replace existing pylon, Building and Blade signs. Board recommended they use a complimentary background other than white on the Pylon Sign such as Blue or Black.

**Motion:** To accept the sign package as submitted. Motioned by Baryluk. Second by Pendleton: Voted (6-0-0).

### **3.** Alpine Green— 116 Alpine Place- Site Plan

Jeff Swahn from NE Premier Properties, LLC. represented Alpine Green with a site plan proposal to remove a Single Family and build a multi-family. At the previous meeting members had some concerns about the utilities and condensers and where they will be located. Jeff Swahn showed that the gas meters will be on the right side of the building and the electrical meters will be on the left side of the building. Both will be shielded with some type of shrubbery or fencing to deflect the noise of the condensers from the abutters. Colors of siding and roofing were shown, no concerns. Application was No photometric needed as lighting will only be above doorway.

**Motion:** To accept the site plan proposal as submitted. Motioned by Williams. Second by Pendleton: voted (6-0-0).

### **4.** McDonalds – 345 East Central Street- Site Plan and Signs

Bill Lucas represented McDonalds with a site plan and sign package proposal to remodel the interior and exterior of the building with a new modern look. Sign package was tasteful and within the square footage allowed. Sign package was approved. Site plan shows same footprint only change will be the drive thru from a one lane to a two lane with two speakers and menu boards. Small changes to parking.

Only repaving a small section. The Commission asked for a better rendering of color and materials with more embellishment and detail. An entire site photometric was not submitted. Commission decided to table the site plan and have applicant return with the photometric. The commission is concerned about the light spilling over to the apartments in the rear of the building.

**Motion:** To approve the sign package as submitted and to Table the site plan proposal to the next meeting with an entire site photometric. Motioned by Fitzgerald. Second by Pendleton: voted (6-0-0).

## **Other Business:**

 Meeting minutes from November 28, 2017 meeting were approved (4-0-2)(ABSTAIN: Baryluk, Silverman)

Chrissy Whelton
Respectfully submitted,
Adjourned at 8:30 P.M.
Motion to adjourn. All in favor 6-0-0.