

**DESIGN REVIEW COMMISSION  
AGENDA**

**Tuesday, July 09, 2019 7:00 PM.**  
Municipal Building, 355 East Central Street  
2<sup>nd</sup> Floor, Room 205

- 7:00 PM** NHS Print – 333 East Central  
Refacing (3) Existing Signs – Printed Graphics Only
- 7:05 PM** Corbin Townhouses – 21 Corbin  
Demolition and construction of 4 Townhouse units in multi-family dwelling

RECEIVED  
2019 JUL -3 A 8:21  
TOWN OF FRANKLIN  
TOWN CLERK

**General Matters**

Approval of Minutes: 06/18/2019

COMMENTS: These listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

**This agenda is subject to change. Last updated: July 02, 2019**  
The next meeting of the Design Review Commission is scheduled for July 23, 2019

FORM Q

TOWN OF FRANKLIN DESIGN  
REVIEW APPLICATION  
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: NHS PRINT

Property Address 333 E. CENTRAL STREET

Assessors' Map # 285 Parcel # 109

Zoning District (select applicable zone): \_\_\_\_\_

Zoning History: Use Variance \_\_\_\_\_  
Non-Conforming Use \_\_\_\_\_

B) Applicant Information:

Applicant Name: NHS PRINT

Address: 333 E. CENTRAL STREET  
FRANKLIN, MA 02038

Telephone Number: (508) 541-8900

Contact Person: JOHN MARINO

Email Address: JOHN@NHSPRINT.COM

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: JOHN MARINO Property Owner: E. CENTRAL STREET REALTY  
Address: \_\_\_\_\_ JOSEPH LENZI  
(508) 528-7644

All of the information is submitted according to the best of my knowledge  
Executed as a sealed instrument this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

Signature of Applicant

JOHN P. MARINO / NHS PRINT  
Print name of Applicant

Signature of Owner

Michael J Lenzi  
Print name of Owner

**\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

**FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

**D) Architect/Engineer/Sign Company Information (if not the applicant)**

**a. Sign Company**

Business Name: NHS PRINT  
Contact Person: JOHN MARINO  
Address 333 E. CENTRAL STREET, FRANKLIN MA  
Telephone Number: (508) 541 - 8900

**b. Architect/Engineer (when applicable)**

Business Name: \_\_\_\_\_  
Contact Person: \_\_\_\_\_  
Address \_\_\_\_\_  
Telephone Number: \_\_\_\_\_

**E) Work Summary**

Summary of work to be done: WE ARE RE-FACING (3) EXISTING SIGNS.  
PRINTED GRAPHICS ONLY.

**F) Information & Materials to be Submitted with Application**

**a) FOR SIGN SUBMISSIONS ONLY:**

**NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION**

1. Drawing of Proposed Sign which must also include  
type of sign (wall, pylon etc.)      colors  
size/dimensions                              materials  
style of lettering                              lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

**b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:**

**NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION**

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.



- 1/8" Alumilite Panel Signs
- Custom Printed Graphics
- Single-sided
- Replacement Panels In Existing Frame Construction



144" 36"

**JOB NAME**  
NHS Print Signage

**LOCATION**  
33 E. Central Street  
Franklin, MA 02038

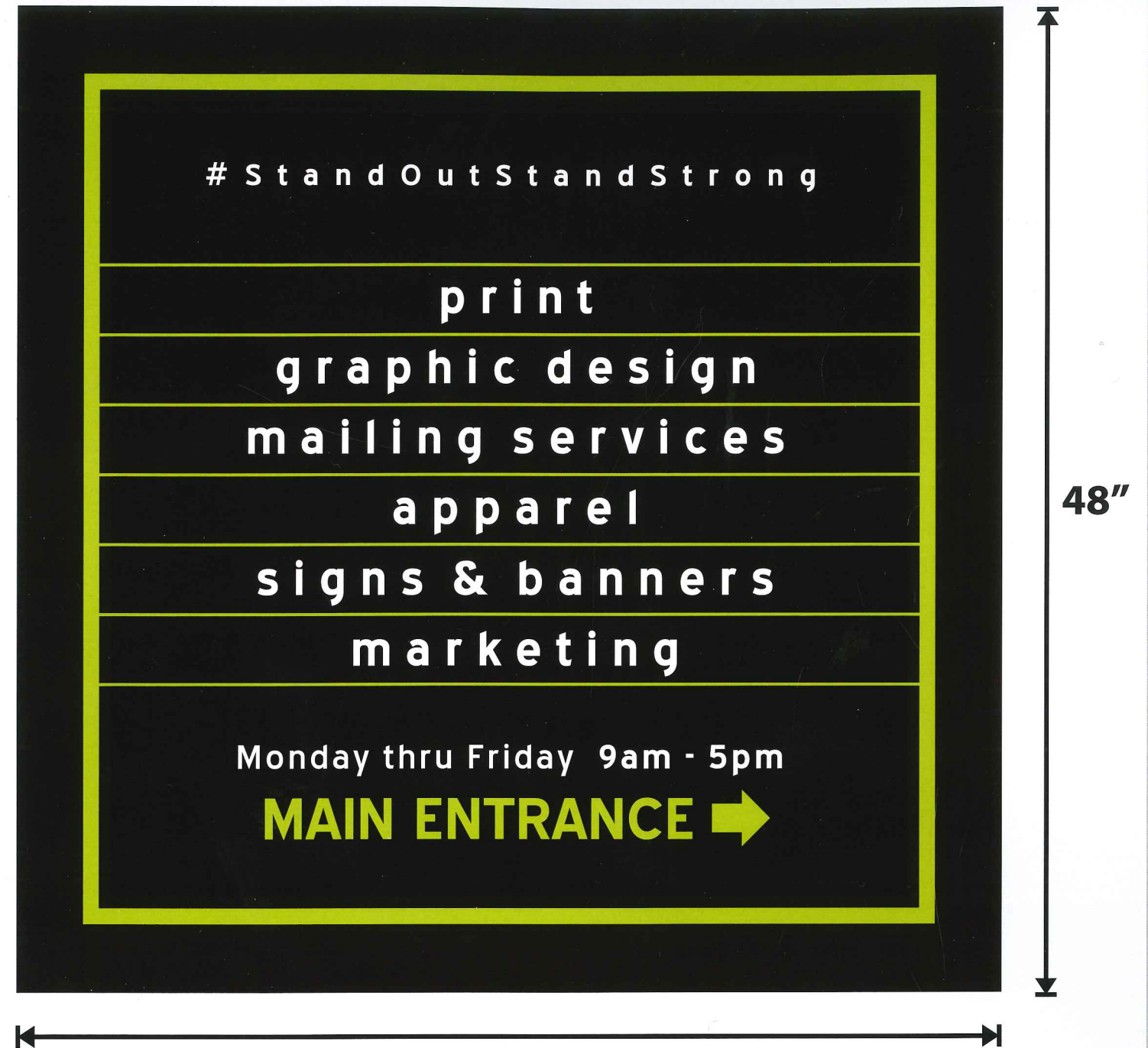
DESIGN | PRINT | MAIL | APPAREL | SIGNS | MARKETING



**NHS Print**

333 E. Central Street | Franklin, MA  
(508) 541-8900 | [www.nhsprint.com](http://www.nhsprint.com)

#StandoutStandStrong



- 1/8" Alumilite Panel Signs
- Custom Printed Graphics
- Single-sided
- Replacement Panels In Existing Frame Construction

© COPYRIGHT NHS PRINT ALL ARTWORK AND DRAWINGS ARE THE SOLE PROPERTY OF NHS PRINT. ANY DUPLICATION OF ANY KIND IS PROHIBITED. PERSON(S) WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

**DB NAME**  
NHS Print Signage

**LOCATION**  
33 E. Central Street  
Franklin, MA 02038

DESIGN | PRINT | MAIL | APPAREL | SIGNS | MARKETING



**NHS Print**  
333 E. Central Street | Franklin, MA  
(508) 541-8900 | www.nhsprint.com  
#StandoutStandStrong

FORM Q

TOWN OF FRANKLIN  
DESIGN REVIEW APPLICATION  
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Corbin Townhouses

Property Address 21 Corbin Street

Assessors' Map # 286 Parcel # 263

Zoning District (select applicable zone): GR-V

Zoning History: Use Variance \_\_\_\_\_  
Non-Conforming Use \_\_\_\_\_

B) Applicant Information:

Applicant Name: CBB Ventures, LLC

Address: 446 Oakland Pkwy, Franklin, MA 02038

Telephone Number: \_\_\_\_\_

Contact Person: Jeremy Ballarino, jballarino@ballarinocorp.com

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: SAMO Property Owner: \_\_\_\_\_

Address: \_\_\_\_\_

All of the information is submitted according to the best of my knowledge  
Executed as a sealed instrument this 25 day of June 2019

  
Signature of Applicant

  
Signature of Owner

\_\_\_\_\_  
Print name of Applicant

\_\_\_\_\_  
Print name of Owner

**\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.  
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

**D) Architect/Engineer/Sign Company Information (if not the applicant)**

**a. Sign Company**

Business Name: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Address \_\_\_\_\_

Telephone Number: \_\_\_\_\_

**b. Architect/Engineer (when applicable)**

Business Name: Level Design Group, LLC

Contact Person: Daniel Campbell, P.E.

Address 249 South Street, Unit 1, Plainville, MA 02762

Telephone Number: 508.695.2221

**E) Work Summary**

Summary of work to be done: \_\_\_\_\_

Demolition of existing structure and construction of 4 townhouse units in multi-family dwelling

**F) Information & Materials to be Submitted with Application**

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1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
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3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.



June 20, 2019

Town of Franklin, Design Review Commission  
**Attn: Mr. Mark Fitzgerald, Chair**  
**C/O Mrs. Amy. Love, Planner**  
355 East Central Street  
Franklin, MA 02038

Re: Corbin Townhouses  
21 Corbin Street, Franklin, MA  
**LDG Proj. No.: 1627.00**

Mr. Fitzgerald and Members of the Commission:

Level Design Group, LLC (LDG) on behalf of CBB Ventures, LLC does hereby submit an application for Design Review for a 4-unit multi-family housing at 21 Corbin Street, Franklin, MA. The site plans include but are not limited to the proposed structure, parking, driveways and associated utilities.

There is no proposed on-site lighting which is not directly attached to the structure itself.

#### **DESIGN STANDARDS**

1. Height—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements.  
*The local area has many varied styles of houses and housing with varied heights and character. The proposed building is a new England style with some relief in the building façade.*
2. Proportions of Windows and Doors – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area.  
*The proportions of the windows and doors are in keeping with the structure and similar structures in the immediate area. There are larger and smaller single and multi-family houses in this neighborhood.*
3. Relations of Building Masses and Spaces – The relationship of a structure to the open space between it and adjoining structures shall be compatible  
*The structure has more open space adjacent to the eastern neighbor than previously exists which will create a more interesting street sight line. The driveway sight-line will provide some landscaped views through the front of the façade.*
4. Roof Shape – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings.  
*Though there are many varied styles of structures in the immediate area the roof lines are similar and consistent.*
5. Scale – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings.  
*Though there are many varied styles of structures in the immediate area the scale of this building will be similar and consistent with other in the area.*



6. Façade, Line, Shape & Profile – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context:  
*Though there are many varied styles of structures in the immediate area, general façade towards Corbin will be the end view that currently exists in the existing single-family home on-site.*
7. Architectural Details – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area.  
*Though there are many varied styles of structures in the immediate area, general façade style and materials will be consistent with the surrounding area.*
8. Advertising Features – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties  
*There are no proposed advertising signs.*
9. Heritage – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable  
*There are no existing historic features to be disrupted.*
10. Energy Efficiency – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements  
*The proposal will be consistent with current building and energy codes.*
11. Landscape - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.  
*The proposal includes varied landscape and street trees where few exist today.*

Enclosed please find:

- Nine (9) copies of the site and Architectural Plans, Reduced;

I look forward to meeting with the Board at the next meeting. If there are any questions prior to the hearing please do not hesitate to ask.

Truly yours,

**LEVEL DESIGN GROUP, LLC**

Daniel Campbell, P.E.  
Principal

Attachments

Cc: Matthew Crowley, P.E., Project Manager, 315 Norwood Park South, 2<sup>nd</sup> Floor, Norwood, MA 02062  
CBB Ventures, LLC  
File

# CORBIN TOWNHOUSES

## MULTI-UNIT TOWNHOUSE DEVELOPMENT

### 21 CORBIN STREET

### FRANKLIN, MASSACHUSETTS

NO.	DATE	REVISIONS
1	08/19/2019	PERMITTING SUBMISSION

**OWNER/APPLICANT:**

CBB VENTURES, LLC  
 446 OAKLAND PARKWAY  
 FRANKLIN, MA 02038

**CIVIL ENGINEER:**

**LEVEL**  
 DESIGN GROUP  
 CIVIL ENGINEERING / LAND SURVEYING  
 249 SOUTH STREET  
 UNIT 1  
 PLAINVILLE, MA 02762  
 TEL. (508) 895-2221 FAX. (508) 895-2219

**PROPERTY ADDRESS:**

21 CORBIN STREET  
 FRANKLIN, MASSACHUSETTS

**ASSESSORS PARCEL ID:**

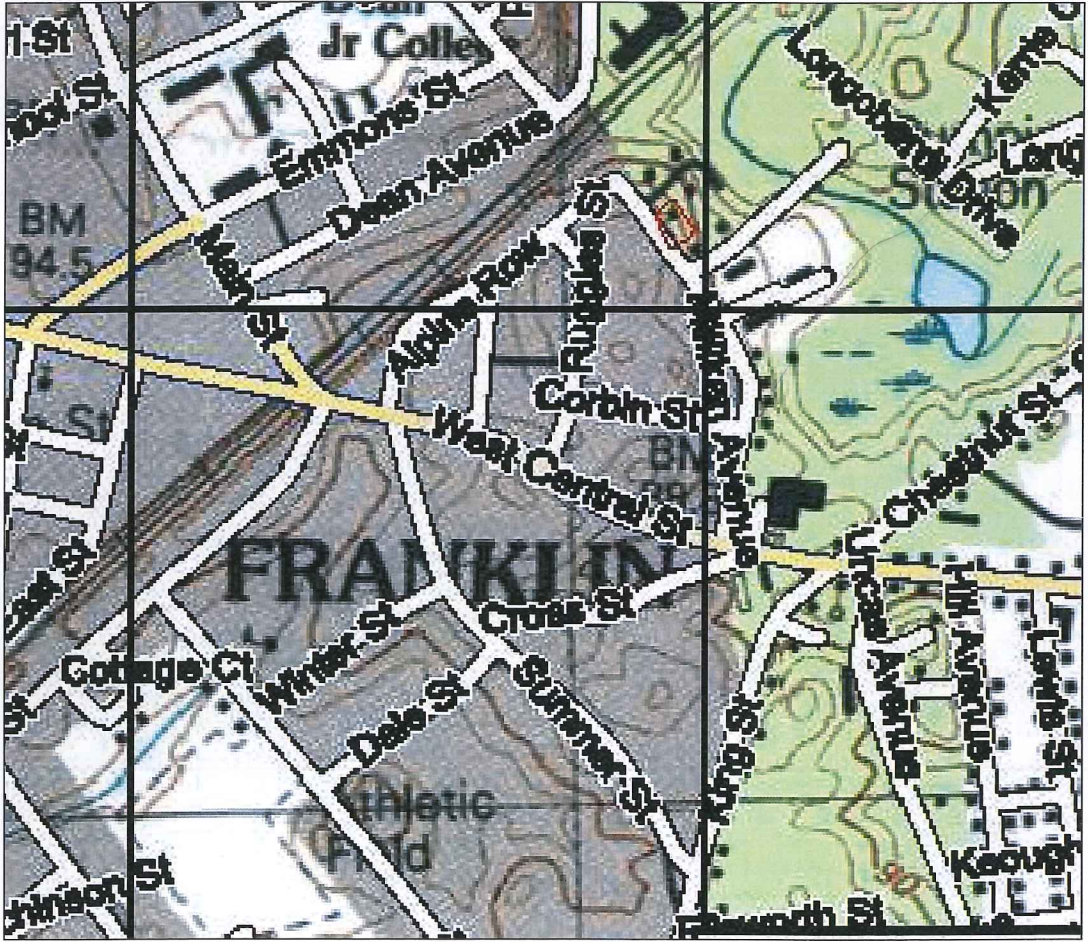
286-263-000-000

**ZONING DISTRICT:**

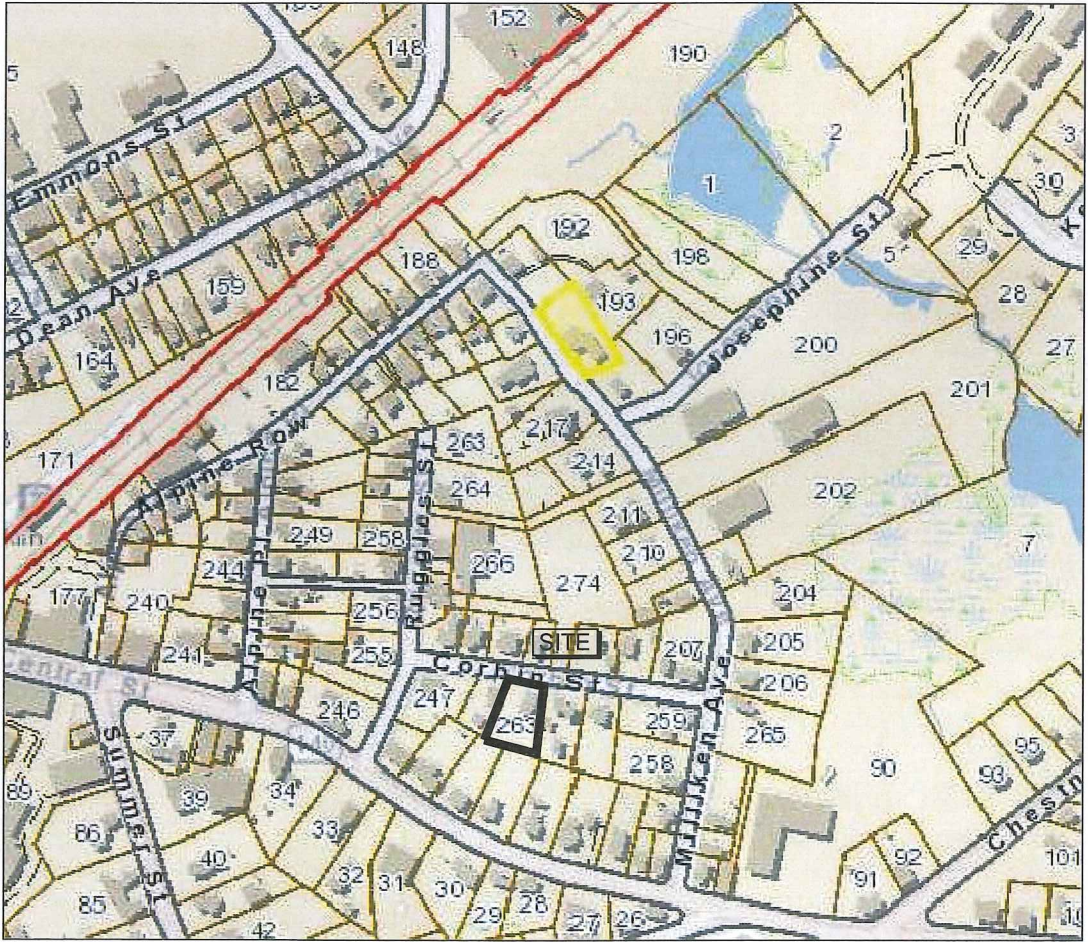
GRV-GENERAL RESIDENCE V

**DRAWING LIST:**

- C-0.0 COVER
- C-1.0 EXISTING CONDITIONS
- C-2.0 LAYOUT AND MATERIALS
- C-3.0 GRADING AND UTILITIES
- C-4.0 LANDSCAPING PLAN
- C-5.0 TYPICAL DETAILS
- A1 ARCHITECTURAL COVER
- A2 EXTERIOR FINISHES
- A3 EXTERIOR FRONT ELEVATION
- A4 EXTERIOR SIDE ELEVATION
- A5 GROUND FLOOR PLAN
- A6 FIRST FLOOR PLAN
- A6 SECOND FLOOR PLAN



**USGS MAP**  
 SCALE: 1"= 500'±



**ASSESSORS MAP**  
 SCALE: 1"= 500'±

APPROVED DATE: \_\_\_\_\_  
 FRANKLIN PLANNING BOARD

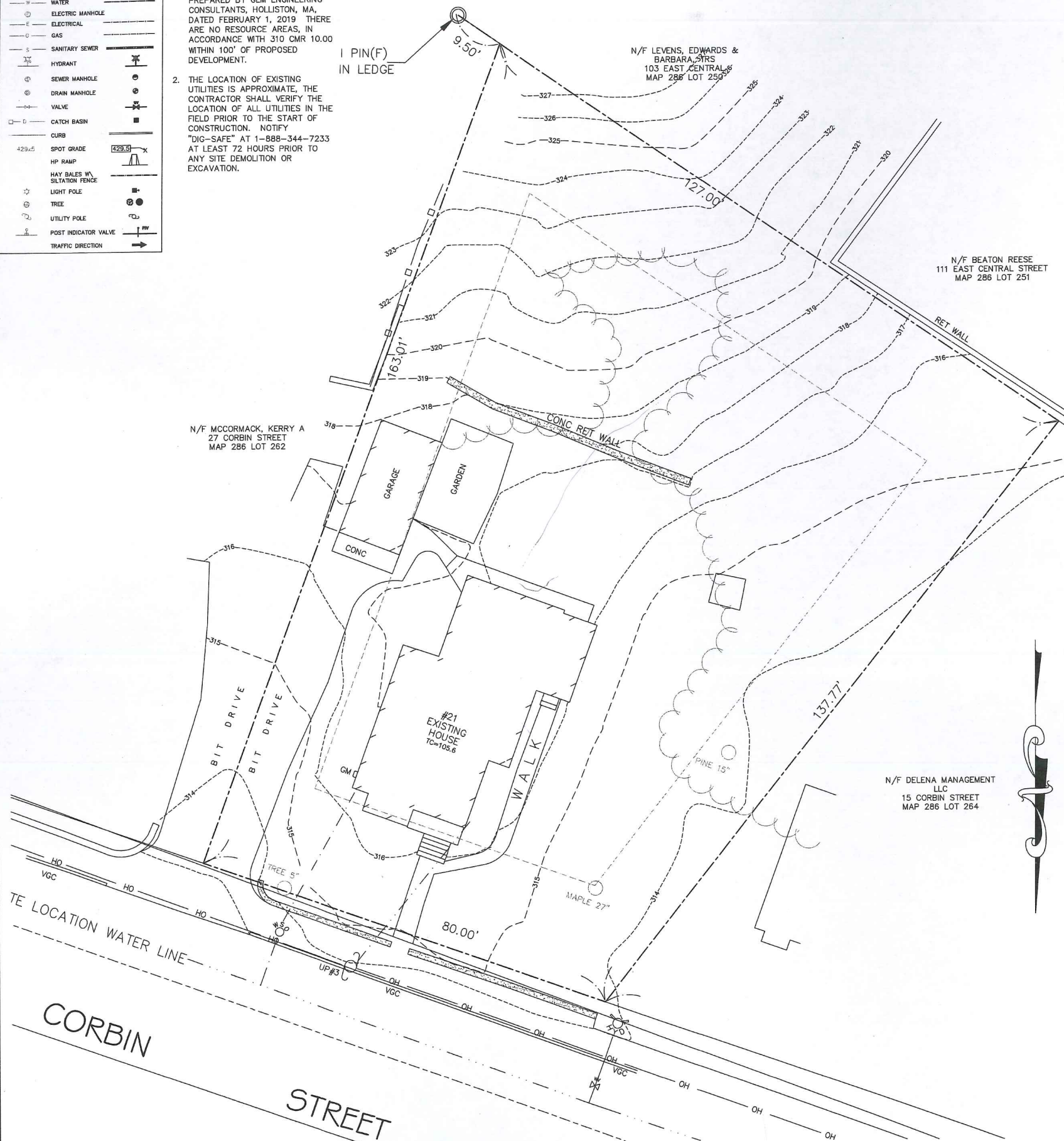
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DATE: \_\_\_\_\_  
 BEING A MAJORITY

LEGEND	
EXISTING	PROPOSED
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W	
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H	
SM	
DM	
V	
C	
429.5	429.5
HP	
HAY BALES W/ SILTATION FENCE	
LIGHT POLE	
TREE	
UTILITY POLE	
POST INDICATOR VALVE	
TRAFFIC DIRECTION	

**NOTES:**

- EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY GLM ENGINEERING CONSULTANTS, HOLLISTON, MA, DATED FEBRUARY 1, 2019. THERE ARE NO RESOURCE AREAS, IN ACCORDANCE WITH 310 CMR 10.00 WITHIN 100' OF PROPOSED DEVELOPMENT.
- THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.



NO	DATE	REVISIONS
1	06/19/2019	PERMITTING SUBMISSION

SEAL

DATE: FEBRUARY 12, 2019  
 DRAWN: DRC  
 SCALE: 1" = 20'

**CORBIN TOWNHOUSES**  
 MULTI-FAMILY HOUSING  
 AM 286 PARCEL 263  
 21 CORBIN STREET  
 FRANKLIN, MASSACHUSETTS

**LEVEL**  
 CIVIL ENGINEERING / LAND SURVEYING  
 249 SOUTH STREET  
 UNIT 1  
 PLAINVILLE, MA 02762  
 TEL. (508) 695-2221 FAX. (508) 695-2219

EXISTING CONDITIONS

**C-1.0**

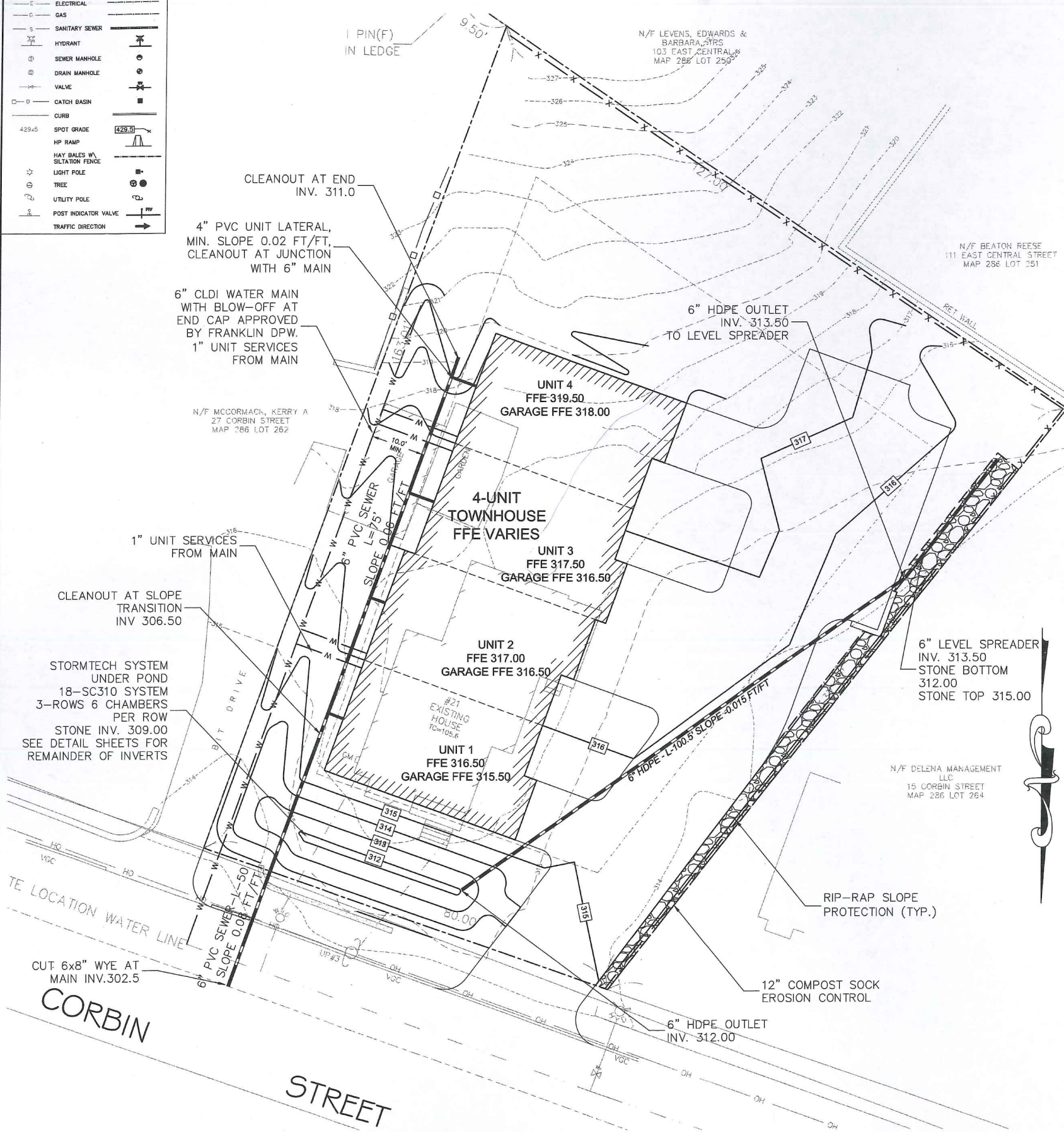
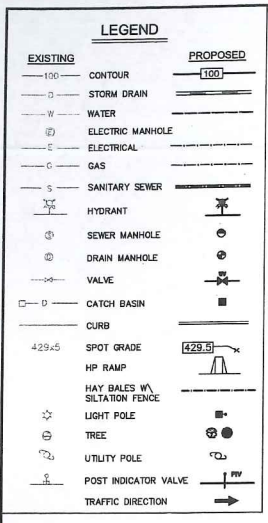
SHEET 2 OF 6

1627.00

APPROVED DATE: \_\_\_\_\_  
 FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_  
 BEING A MAJORITY





- NOTES:**
1. EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY LEVEL DESIGN GROUP, LLC OR THEIR AFFILIATED COMPANIES FEBRUARY 1, 2019. THERE ARE NO RESOURCE AREAS, IN ACCORDANCE WITH 310 CMR 10.00 WITHIN 100' OF PROPOSED DEVELOPMENT.
  2. THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.
  3. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN THE DESIGN PLANS PRIOR TO THE START OF CONSTRUCTION.
  4. ALL EXISTING PAVEMENT SHALL BE SAWCUT PRIOR TO REMOVAL.
  5. ALL EXISTING PAVEMENT, CURB, WALKS, UTILITIES, LIGHT POLES, TREES, SHRUBS, ETC., SHALL BE REMOVED FROM THE AREAS TO BE DEVELOPED. ALL SUCH ITEMS NOT WITHIN THE WORK AREA SHALL BE PROTECTED AND UNDISTURBED.
  6. ALL DISTURBED AREAS NOT RECEIVING IMPROVEMENTS SHALL BE LOAMED AND SEEDED.
  7. ALL CONSTRUCTION AND CONSTRUCTION ACTIVITIES SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS. INCLUDING BUT NOT LIMITED TO THE TOWN OF FRANKLIN, THE COMMONWEALTH OF MASSACHUSETTS AND ANY OTHER AGENCIES HAVING JURISDICTION.

- EROSION CONTROL NOTES:**
1. ALL CATCH BASINS WITHIN 100' OF THE PROPOSED PROJECT SHALL BE OUTFITTED WITH SILTSACK OR APPROVED EQUAL EROSION CONTROL.
  2. ALL EROSION CONTROL SHALL BE CHECKED WEEKLY OR AFTER A STORM EVENT IN EXCESS OF 0.25".
  3. NO AREA OF DETENTION SHALL BE UTILIZED FOR TEMPORARY EROSION CONTROL OR DEWATERING ACTIVITIES.
  4. ALL EROSION CONTROL SHALL BE INSTALLED IN THE AREA OF WORK PRIOR TO THE START OF WORK AND INSPECTED AS REQUIRED BY THE DESIGN ENGINEER.
  5. A 75' LONG STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ANY POINT OF SITE ACCESS, WHICH IS NOT CURRENTLY PAVED.
  6. ALL SOIL OR MATERIAL STOCKPILES WHICH HAVE THE POTENTIAL FOR EROSION SHALL BE SURROUNDED WITH STAKED HAY BALES OR APPROVED EQUAL METHOD OF EROSION CONTROL.
  7. SLOPES IN EXCESS OF 3:1 SHALL HAVE 22 MONTH EROSION CONTROL FABRIC INSTALLED OVER A SLOPE MIX SEED MIX WITH TACKIFIER UNLESS OTHERWISE SPECIFIED.
  8. EROSION AND SEDIMENTATION CONTROL: EXPOSED AND DISTURBED AREAS, AS A RESULT OF STRIPPING VEGETATION, SOIL REMOVAL, AND REGRADING, WILL BE PERMANENTLY STABILIZED WITHIN SIX (6) MONTHS OF OCCUPANCY OF A STRUCTURE. DURING CONSTRUCTION, TEMPORARY VEGETATION AND/OR MULCHING, SHALL BE USED TO PROTECT EXPOSED AREAS FROM EROSION. UNTIL A DISTURBED AREA IS PERMANENTLY STABILIZED, SEDIMENT SHALL BE TRAPPED BY USING, FOR EXAMPLE, STAKED WATTLES, SEDIMENTATION TRAPS, OR SILT TRAPS.

APPROVED DATE: \_\_\_\_\_  
 FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_  
 BEING A MAJORITY

NO	DATE	REVISIONS
1	06/19/2019	PERMITTING SUBMISSION

DATE: FEBRUARY 12, 2019  
 DRAWN: DRC  
 SCALE: 1" = 20'

# CORBIN TOWNHOUSES

MULTI-FAMILY HOUSING  
 AM 286, PARCEL 263  
 21 CORBIN STREET  
 FRANKLIN, MASSACHUSETTS

**LEVEL**  
 DESIGN GROUP  
 CIVIL ENGINEERING / LAND SURVEYING  
 249 SOUTH STREET  
 PLAINVILLE, MA 02762  
 TEL. (508) 895-2221 FAX. (508) 895-2219

**GRADING & UTILITIES**

## C-3.0

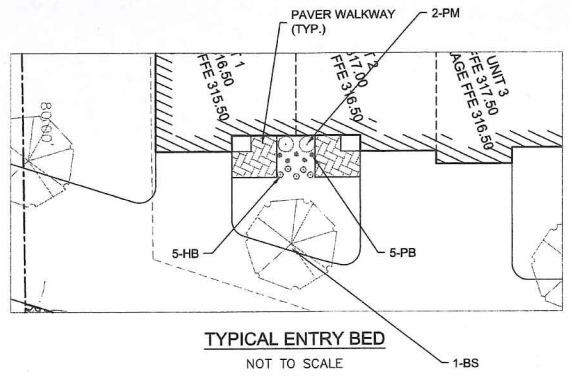
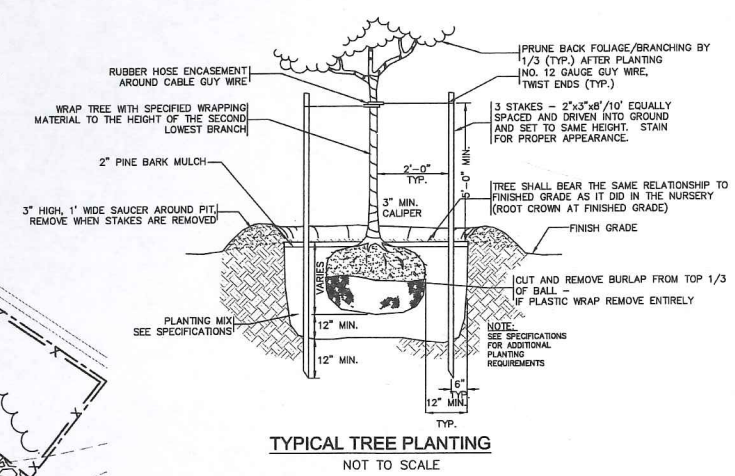
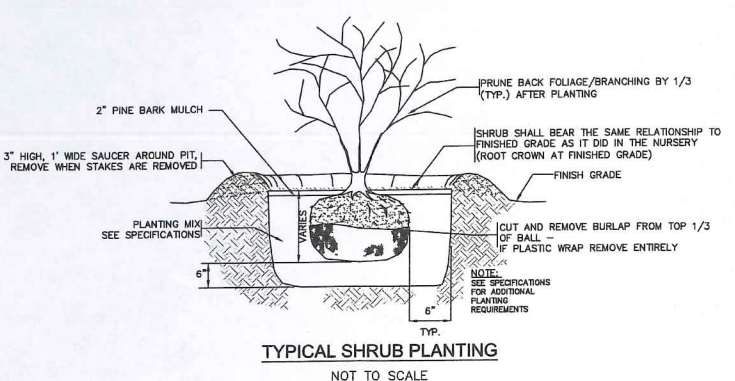
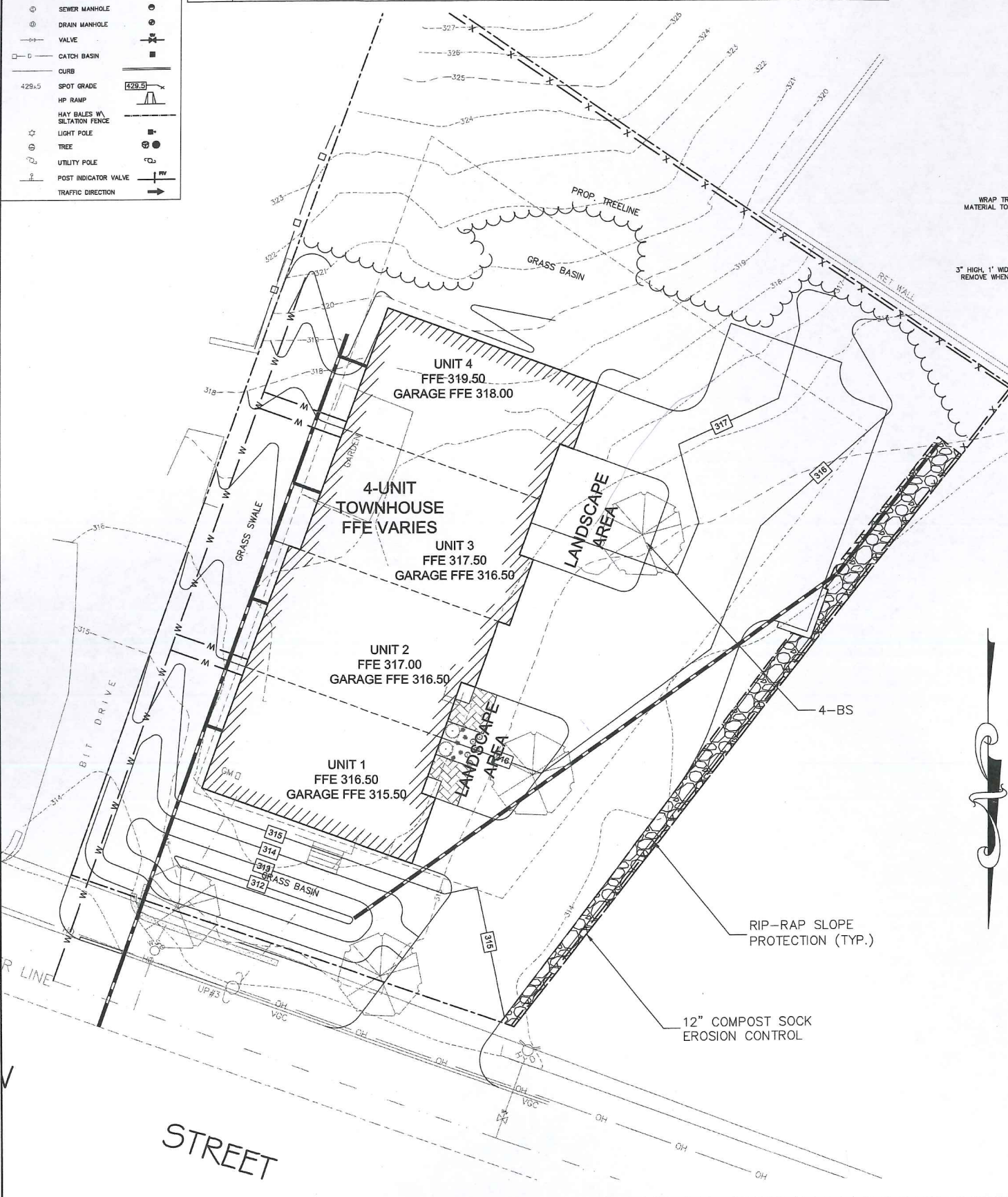
SHEET 4 OF 6

0' 5' 10' 20'

# 1627.00

LEGEND	
EXISTING	PROPOSED
100	100
CONTOUR	CONTOUR
STORM DRAIN	STORM DRAIN
WATER	WATER
ELECTRIC MANHOLE	ELECTRIC MANHOLE
ELECTRICAL	ELECTRICAL
GAS	GAS
SANITARY SEWER	SANITARY SEWER
HYDRANT	HYDRANT
SEWER MANHOLE	SEWER MANHOLE
DRAIN MANHOLE	DRAIN MANHOLE
VALVE	VALVE
CATCH BASIN	CATCH BASIN
CURB	CURB
SPOT GRADE	SPOT GRADE
HP RAMP	HP RAMP
HAY BALES W/ SILTATION FENCE	HAY BALES W/ SILTATION FENCE
LIGHT POLE	LIGHT POLE
TREE	TREE
UTILITY POLE	UTILITY POLE
POST INDICATOR VALVE	POST INDICATOR VALVE
TRAFFIC DIRECTION	TRAFFIC DIRECTION

PLANT SCHEDULE					
KEY	SCIENTIFIC NAME	COMMON NAME	QN'TY.	SIZE	REMARKS/COMMENTS
BS	BETULA Papyrifera 'SNOWY'	SNOWY PAPER BIRCH	4	8-10' HT	SINGLE STEM / B & B
PM	PICEA Pungens 'MONTGOMERY'	MONTGOMERY BLUE SPRUCE	4	18"-24" HT	
PB	Pennisetum Alopecuroides 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	40		1 GALLON
HB	Hemerocallis X 'BIG TIME HAPPY'	DAY LILLY	27		1 GALLON
TF	Taxus Baccata 'FASTIGATA'	FASTIGA ENGLISH YEW	2	3-4' HT	5 GALLON
AA2	Amelanchier Arborea 'AUTUMN BRILLIANCE'	DOWNY SERVICEBERRY	4	7-8'	B & B / CLUMP



**NOTES:**  
**DESIGN INTENT**  
 THESE PLANTING PLANS ARE INTENDED TO ADDRESS THE LANDSCAPING REQUIREMENTS NOTED IN THE CODE OF ORDINANCES FOR THE TOWN OF FRANKLIN, MASSACHUSETTS.

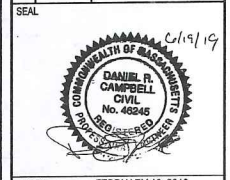
**TREE AND SHRUB PLANTING BED PREPARATION:**  
 ALL TREE AND SHRUB PLANTING BEDS ARE TO BE TREATED AS FOLLOWS:  
 \* ALL PLANTING BEDS ARE TO BE EXCAVATED TO A DEPTH OF 6" BELOW FINISHED GRADE.  
 \* THE BOTTOM OF THE PLANTING BEDS ARE TO BE SCARIFIED TO ENCOURAGE DRAINAGE AND PREVENT COMPACTION.  
 \* ALL PLANTING BEDS ARE TO BE BACKFILLED WITH 6" OF LOOSE, FRIABLE, ORGANIC LOAM OR COMPOST.

**PLANTING:**  
 \* PROVIDE QUALITY PLANTS IN THE GENUS, SPECIES AND VARIETY INDICATED IN THE PLANT SCHEDULE, COMPLYING WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK.  
 \* PROVIDE PLANTS IN THE SIZE AND NUMBER INDICATED IN THE PLANT SCHEDULE. PLANTS SHALL BE GROWN IN NURSERIES LOCATED IN THE NORTHEASTERN U.S.  
 \* DELIVER FRESH DIG TREES WHICH ARE BALLED AND BURLAPPED, AND SHRUBS WHICH ARE BALLED AND BURLAPPED OR IN NURSERY CONTAINERS. ALL PLANTS ARE TO BE HEALTHY, VIGOROUS AND FREE OF INSECTS AND DISEASE.  
 \* PLANTS ARE TO BE INSTALLED AS SPECIFIED IN THE PLANTING DETAILS WITH ADEQUATE WATER PROVIDED DURING PLANTING TO ALLOW COMPACTION OF THE PLANTING SOIL TO PREVENT ANY AIR POCKETS OR SETTLEMENT AFTER PLANTING.  
 \* ALL PLANTING BEDS ARE TO BE COVERED WITH 2" WELL AGED PINE BARK MULCH.  
 \* AFTER THE TREES AND SHRUBS ARE PLANTED, THE DISTURBED AREAS BETWEEN THE PLANTING BEDS SHALL BE LOAMED AND SEEDED WITH A SEED MIX AS SPECIFIED IN THE LOAMING AND SEEDING NOTES.  
 \* ALL DECIDUOUS AND EVERGREEN TREES OVER 8' TALL ARE TO BE STAKED AS SHOWN IN THE PLANTING DETAILS. TREES ARE TO REMAIN UPRIGHT AND SHALL BE ADJUSTED AS NEEDED. ALL STAKES AND BURLAP TIES ARE TO BE MAINTAINED AND ADJUSTED TO PREVENT GIRDLING OF THE TRUNK AND REMOVED WHEN NO LONGER NEEDED.  
 \* RECOMMENDED PLANTING DATES ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.  
 \* PLANT SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY ONLY WITH DIRECT APPROVAL FROM THE CIVIL ENGINEER.  
 \* ALL PLANTINGS SHALL COME FROM THE BEST DEVELOPMENT PRACTICES SOURCEBOOK (SWS-31.0, 1, 2, 3).

**LOAMING & SEEDING:**  
 1. AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS WHICH ARE AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS WHICH ARE LABELED AS "GRASS" ARE TO BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE. IF COMPACTION, THE SUBGRADE IS TO BE SCARIFIED TO A DEPTH OF 12" WITH THE TEETH OF A BACKHOE TO RESULT IN AN UNCOMPACTED SUBSOIL. THEN 6" OF GOOD QUALITY TOPSOIL IS TO BE APPLIED AND RAKED TO FINISHED GRADE.  
 2. THE TOPSOIL IS TO BE GOOD QUALITY LOAM, FERTILE AND FREE OF WEEDS, STICKS AND STONES OVER 3/4" IN SIZE AND OTHERWISE COMPLYING WITH SECTION 116.01 OF THE R.I. DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.  
 3. PRIOR TO SEEDING, FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT PRIOR TO SEEDING, FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 1-2" OF THE PLANTING SOIL. APPLY AT A RATE OF 8 LBS. PER 1000 SQUARE FEET.  
 4. LIME IS TO BE APPLIED AT A RATE OF ONE TON PER ACRE AND UNIFORMLY INCORPORATED INTO THE TOP 1-2" OF TOPSOIL.

**SEEDING**  
 THE AREAS LABELED AS "GRASS" SHALL BE SEEDED AS FOLLOWS:  
 \* AFTER THE SEED BED IS PREPARED, SEED IS TO BE BROADCAST EVENLY OVER THE SURFACE AND WORKED INTO THE TOP 1" OF SOIL.  
 \* SEED SHALL BE DARK AND DURABLE (AVAILABLE FROM VALLEY GREEN), 40% S. DARK AND DURABLE (AVAILABLE FROM VALLEY GREEN), 40% S. (AVAILABLE FROM VALLEY GREEN, 40% S. SUMMER STREET, HOLEVOICE, MA 1-800-852-0089) OR APPROVED EQUAL. APPLY AT A RATE OF 8-10 LBS. PER ACRE.  
 27% FURY TALL FESCUE FIRM TALL FESCUE  
 27% CORNHOOD TALL FESCUE CORNHOOD TALL FESCUE  
 26% ENDORHOD TALL FESCUE ENDORHOD TALL FESCUE  
 10% IQ PERENNIAL RIVERGRASS IQ PERENNIAL RIVERGRASS  
 10% BROOKDAWN KENTUCKY BLUEGRASS BROOKDAWN KENTUCKY BLUEGRASS  
 \* RECOMMENDED SEEDING DATES ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.  
 \* RATHER THAN SEEDING AS DESCRIBED ABOVE, THE CONTRACTOR MAY HYDRASEED USING AN EQUIVALENT SEED MIX.

NO.	DATE	REVISIONS
1	08/19/2019	PERMITTING SUBMISSION



DATE: FEBRUARY 12, 2019  
 DRAWN: DRG  
 SCALE: 1" = 20'

**CORBIN TOWNHOUSES**  
 MULTI-FAMILY HOUSING  
 AM 286, PARCEL 263  
 21 CORBIN STREET  
 FRANKLIN, MASSACHUSETTS

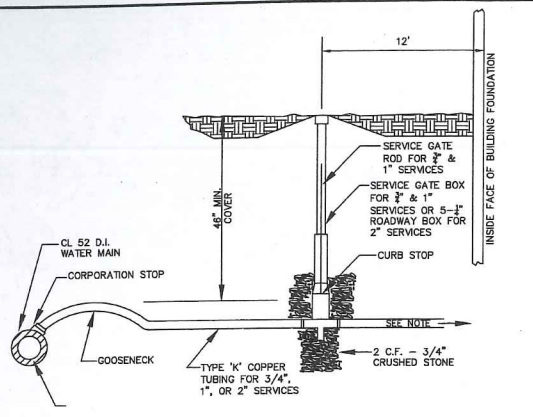
**LEVEL**  
 DESIGN GROUP  
 CIVIL ENGINEERING / LAND SURVEYING  
 249 SOUTH STREET  
 UNIT 1  
 PLAINVILLE, MA 02762  
 TEL. (508) 695-2221 FAX. (508) 695-2219

**EROSION CONTROL**

**C-4.0**  
 SHEET 5 OF 6

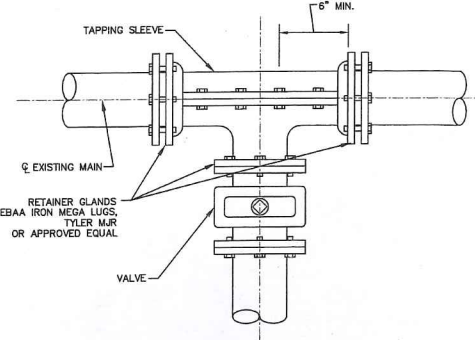
0' 5' 10' 20'  
**1627.00**

APPROVED DATE: \_\_\_\_\_  
 FRANKLIN PLANNING BOARD  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 BEING A MAJORITY



NOTE: MATERIAL FOR HOMEOWNERS' SERVICE LINE MAY EITHER BE TYPE K COPPER OR COPPER PIPE SIZE POLYETHYLENE TUBING TYPE 3408, 200 PSI MEETING ASTM SPECIFICATIONS FOR D3350.

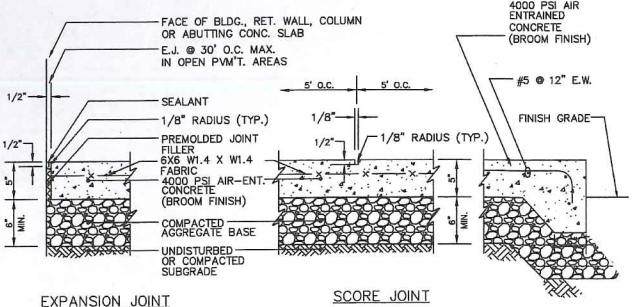
**WATER SERVICE**  
NOT TO SCALE



RESTRAINED JOINT SCHEDULE				
PIPE SIZE	90°	45°	22 1/2°	11 1/4°
12"	92'	38'	18'	9'
10"	78'	32'	16'	8'
8"	66'	27'	13'	7'
6"	51'	21'	10'	5'
4"	38'	16'	8'	4'

- NOTES:
- RESTRAINED LENGTH FOR TEES, CROSSSES, VALVES AND PLUGS SHALL EQUAL RESTRAINED LENGTH FOR 90° BENDS.
  - SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING RESTRAINED JOINTS.
  - THE SCHEDULE SHOWN IS FOR THE FOLLOWING SERVICE CONDITIONS 150 PSI INTERNAL PRESSURE; SOIL TYPE: SAND-SILT, 35 INCHES OF COVER AND TYPE 2 LAYING CONDITIONS.
  - RESTRAINED LENGTHS SHOWN IN TABLE ARE MINIMUM LENGTHS (IN FEET) AND ARE REQUIRED IN EACH DIRECTION FROM FITTINGS OR VALVES.
  - THRUST BLOCKS TO BE INSTALLED AS REQUIRED.

**TAPPING SLEEVE AND VALVE CONNECTION**  
NOT TO SCALE

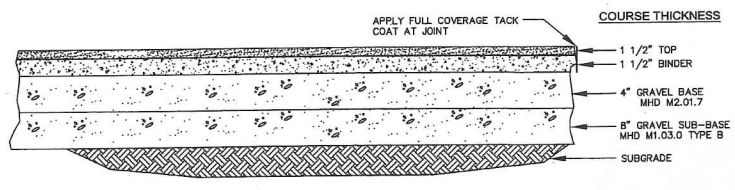


**EXPANSION JOINT**

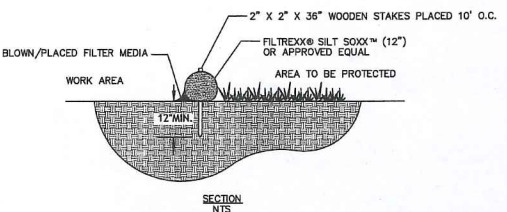
- MAXIMUM CROSS SLOPE = 2%
- MAXIMUM GRADIENT = .5%
- PROVIDE EXPANSION JOINT AT FACE OF ABUTTING SLABS AND STRUCTURES.
- PROVIDE VERTICAL GRANITE OR PRECAST CONCRETE CURBING PER SHEET C3.

**SCORE JOINT**

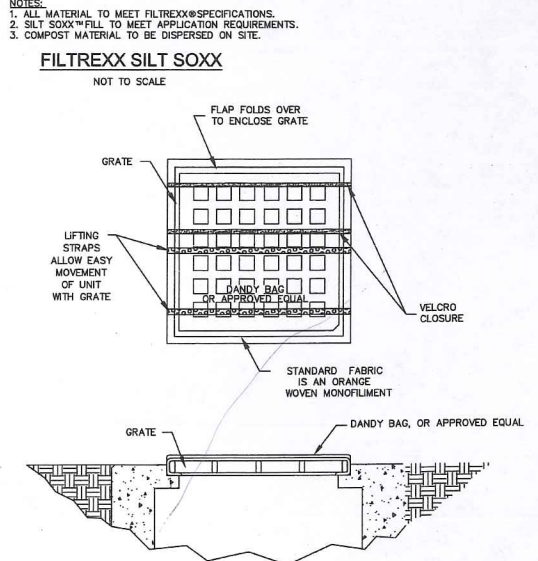
**CONCRETE SIDEWALK**  
NOT TO SCALE



**AUTOMOTIVE AREAS - BITUMINOUS CONCRETE PAVEMENT**  
NOT TO SCALE



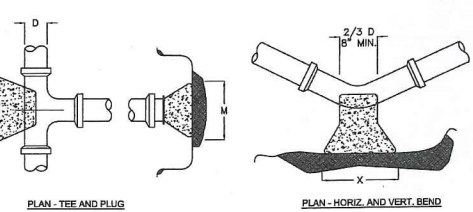
**FILTREXX SILT SOXX**  
NOT TO SCALE



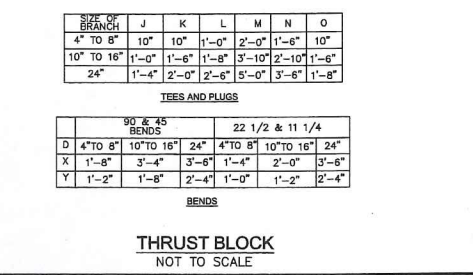
**CATCH BASIN INLET PROTECTION**  
NOT TO SCALE

- NOTES:
- INSTALLATION:** THE EMPTY DANDY BAG, OR APPROVED EQUAL, SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLOW IN POUCH, ON THE BOTTOM (BELOW-GRADE SIDE) OF THE UNIT. ATTACH ABSORBENT PILLOW TO TETHER LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. HOLDING THE LIFTING DEVICES (DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE WEIGHT OF THE GRATE), PLACE THE GRATE INTO ITS FRAME.
- MAINTENANCE:** REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS; REMOVE AND REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.

**THRUST BLOCK**  
NOT TO SCALE



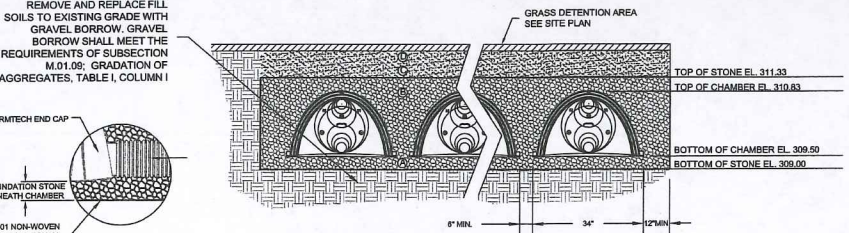
TEES AND PLUGS											
90 & 45 BENDS					22 1/2 & 11 1/4						
D	4" TO 8"	10" TO 16"	24"	4" TO 8"	10" TO 16"	24"	X	1"-8"	3"-4"	3"-6"	1"-4"
Y	1"-2"	1"-8"	2"-4"	1"-0"	1"-2"	2"-4"					



**UTILITY TRENCH**  
NOT TO SCALE

**SC-310 STORMWATER CHAMBER SPECIFICATIONS**

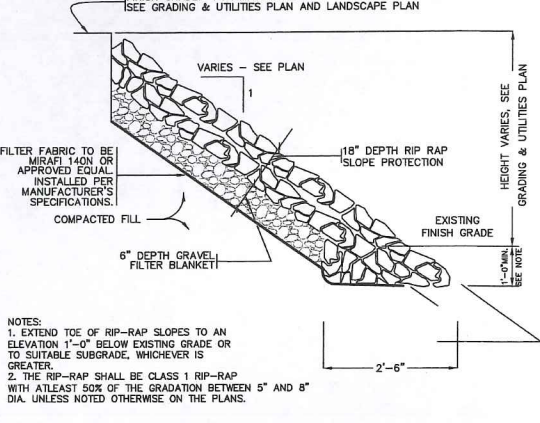
- CHAMBERS SHALL BE STORMTECH SC-310 OR APPROVED EQUAL.
- CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL CONFIRM TO THE REQUIREMENTS OF ASTM F 2418, "STANDARD SPECIFICATIONS FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS."
- CHAMBERS SHALL CONFIRM TO THE REQUIREMENTS OF ASTM F 2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS."
- ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
  - A STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET.
  - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL CROSS SECTION IS BASED.
- THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.



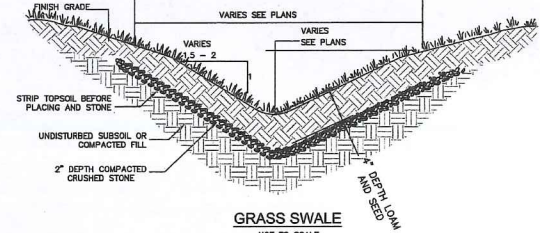
**STORMTECH SC-310 DRAINAGE POND**  
NOT TO SCALE

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION <sup>1</sup>	COMPACTION/DENSITY REQUIREMENT
① FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
② FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (910 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THIS LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, < 35% FINES. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 88, 9, 10	BEGIN COMPACTION AFTER 24" (610 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (152 mm) MAX LIFTS TO A MIN. 95% STANDARD PROCTOR DENSITY.
③ EMBEDMENT STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" - 2 INCH [19 - 51 mm]	3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
④ FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" - 2 INCH [19 - 51 mm]	3, 35, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY.

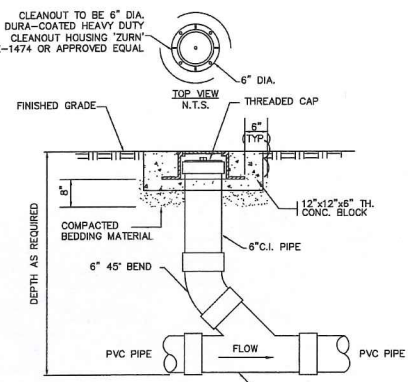
PLEASE NOTE:  
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."  
2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTIONED IN 9"(229 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH AN APPROPRIATE COMPACTOR.



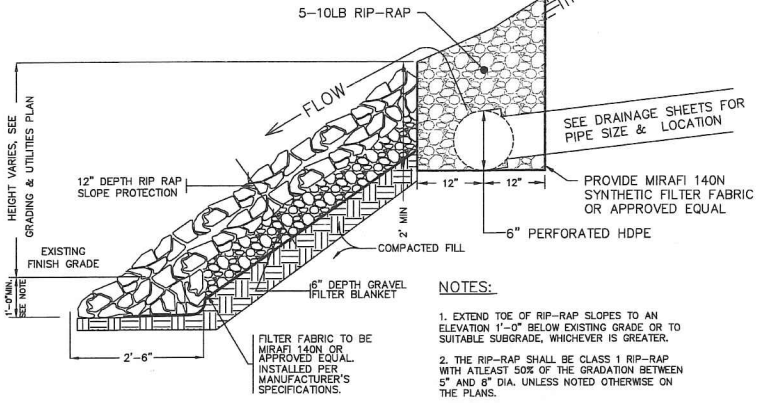
**TYPICAL SECTION FOR RIP RAP SLOPE PROTECTION**  
NOT TO SCALE



**GRASS SWALE**  
NOT TO SCALE



**CLEANOUT AT GRADE**  
NOT TO SCALE



**LEVEL SPREADER**  
NOT TO SCALE

- NOTES:
- EXTEND TOE OF RIP-RAP SLOPES TO AN ELEVATION 1'-0" BELOW EXISTING GRADE OR TO SUITABLE SUBGRADE, WHICHEVER IS GREATER.
  - THE RIP-RAP SHALL BE CLASS 1 RIP-RAP WITH ATLEAST 50% OF THE GRADATION BETWEEN 5" AND 8" DIA. UNLESS NOTED OTHERWISE ON THE PLANS.

PIPE MATERIAL	22 1/2°	PVC	RC. D.
FOUNDATION BEDDING	(6)	(6)	(6)
FOUNDATION STABILIZATION	(6)	(6)	(6)
BEDDING	(1)	(1)	(1)
HANDINGS	(1)	(1)	(1)
INITIAL BACKFILL	(4)	(4)	(4)
FINAL BACKFILL	(4)	(4)	(4)
PIPE COVER	(5)	(5)	(5)

PIPE MATERIAL	22 1/2°	PVC	RC. D.
FOUNDATION BEDDING	(6)	(6)	(6)
FOUNDATION STABILIZATION	(6)	(6)	(6)
BEDDING	(1)	(1)	(1)
HANDINGS	(1)	(1)	(1)
INITIAL BACKFILL	(4)	(4)	(4)
FINAL BACKFILL	(4)	(4)	(4)
PIPE COVER	(5)	(5)	(5)

APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD

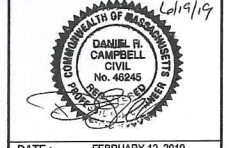
DATE: \_\_\_\_\_  
BEING A MAJORITY

**CORBIN TOWNHOUSES**  
MULTI-FAMILY HOUSING  
AM 286, PARCEL 263  
21 CORBIN STREET  
FRANKLIN, MASSACHUSETTS

**LEVEL**  
CIVIL ENGINEERING / LAND SURVEYING  
249 SOUTH STREET  
PLAINVILLE, MA 02762  
TEL. (508) 995-2221 FAX. (508) 995-2219

**TYPICAL DETAILS**  
C-5.0  
SHEET 6 OF 8  
1627.00

NO.	DATE	REVISIONS
1	06/19/2019	PERMITTING SUBMISSION



DATE: FEBRUARY 12, 2019  
DRAWN: DRC  
SCALE: 1" = 20'

# CORBIN STREET CONDOS

---

21 CORBIN STREET

FRANKLIN, MA



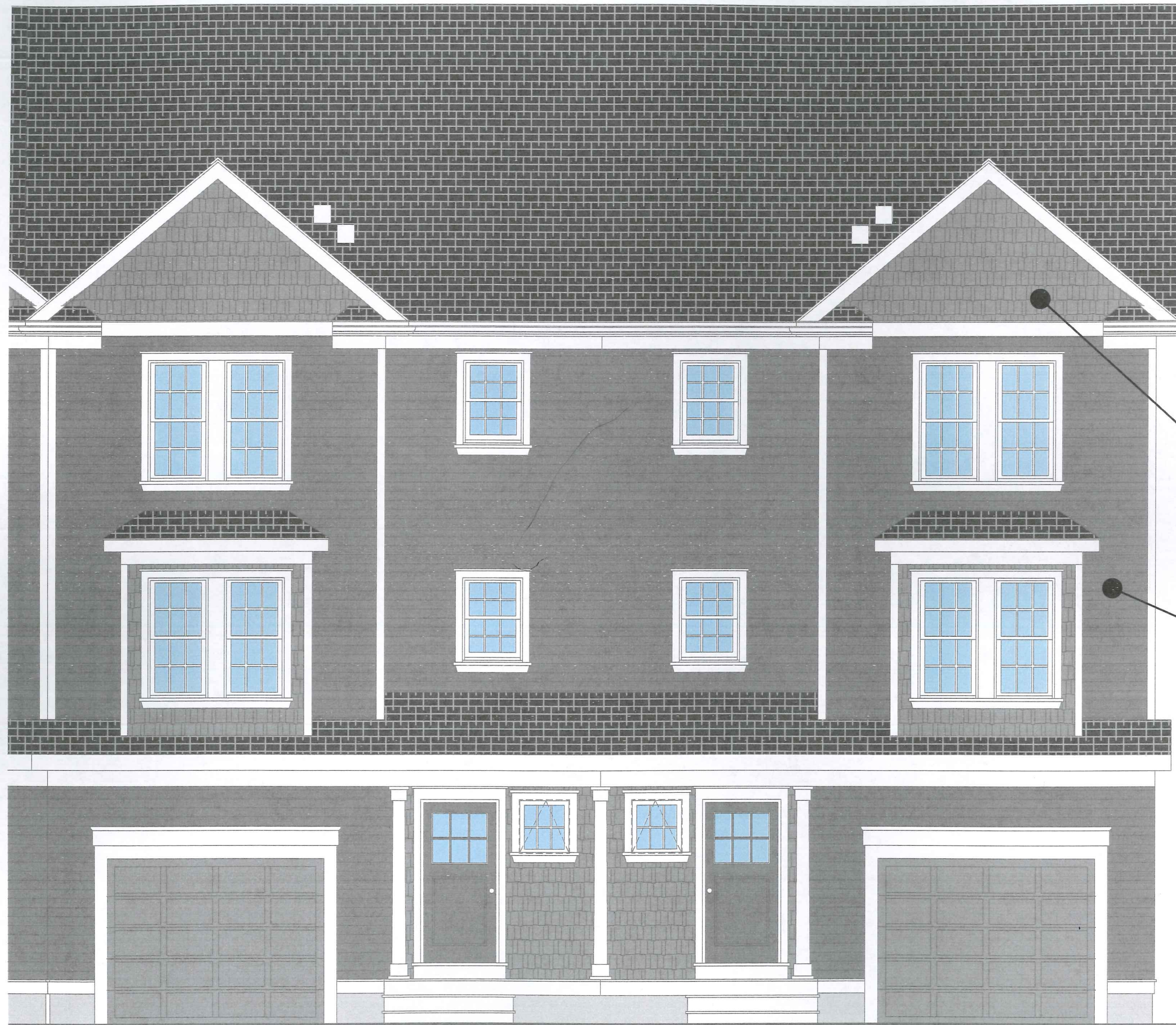
## DRAWING LIST

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### ARCHITECTURAL

- A1 EXTERIOR FINISHES
- A2 EXTERIOR FRONT ELEVATION
- A3 EXTERIOR SIDE ELEVATION
- A4 GROUND FLOOR PLAN
- A5 FIRST FLOOR PLAN
- A6 SECOND FLOOR PLAN





ACCENT SIDING - GABLES  
 CERTAINTeed  
 CEDAR IMPRESSION  
 VINYL SIDING  
 COLOR: STERLING GREY



FIELD SIDING - ALL BUT ACCENT  
 CERTAINTeed  
 CLAPBOARD VINYL SIDING  
 COLOR: FLAGSTONE

CORBIN STREET  
 CONDOS  
 21 CORBIN STREET  
 FRANKLIN, MA

DRAWN: BRIAN J. FRIGON

SCALE: 1/8" = 1'-0"

DATE MAY 19, 2019

ISSUE: FOR REVIEW

PARTIAL  
 EXTERIOR  
 FINISHES

A1



T.O. ROOF  
ELEV: 39'-9"

T.O. JOIST  
ELEV: 26'-11"  
SECOND FLOOR CLG  
ELEV: 26'-0"

SECOND FLOOR  
ELEV: 18'-8"  
FIRST FLOOR CLG  
ELEV: 17'-0"

SECOND FLOOR  
ELEV: 9'-0"  
FIRST FLOOR CLG  
ELEV: 8'-0"

FIRST FLOOR  
ELEV: 0'-0"  
GARAGE FLOOR  
ELEV: (-)2'-6"  
AVERAGE GRADE  
ELEV: (-)2'-6"

CORBIN STREET  
CONDOS  
21 CORBIN STREET  
FRANKLIN, MA

DRAWN: BRIAN J. FRIGON
SCALE: 1/8" = 1'-0"
DATE MAY 19, 2019
ISSUE: FOR REVIEW

EXTERIOR  
FRONT  
ELEVATION

A2

EXTERIOR FRONT ELEVATION



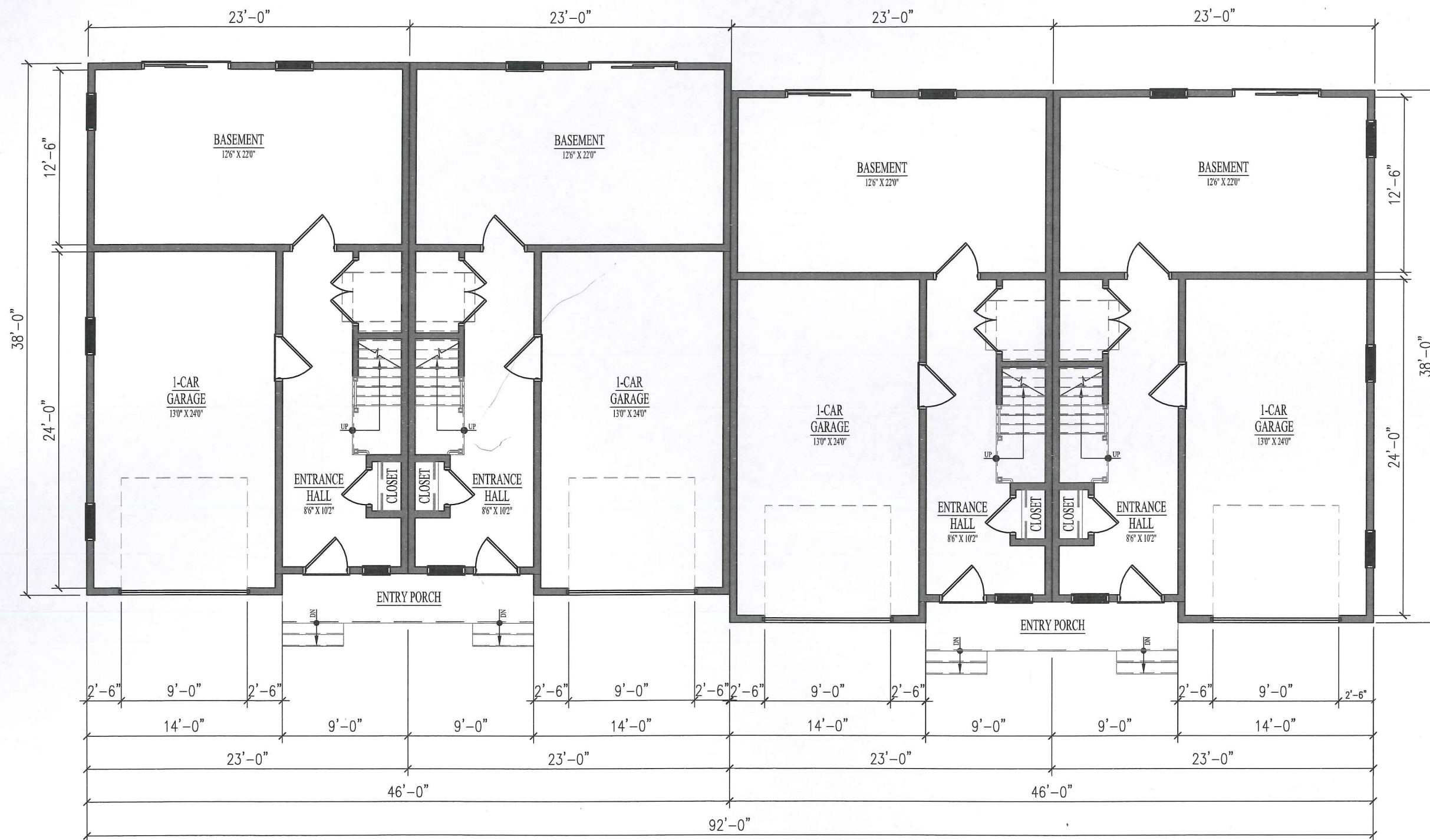
CORBIN STREET  
 CONDOS  
 21 CORBIN STREET  
 FRANKLIN, MA

DRAWN: BRIAN J. FRIGON
SCALE: 1/8" = 1'-0"
DATE MAY 19, 2019
ISSUE: FOR REVIEW

EXTERIOR  
 SIDE  
 ELEVATION

**A3**

EXTERIOR SIDE ELEVATION



GROUND FLOOR PLAN

CORBIN STREET  
CONDOS  
21 CORBIN STREET  
FRANKLIN, MA

DRAWN: BRIAN J. FRIGON

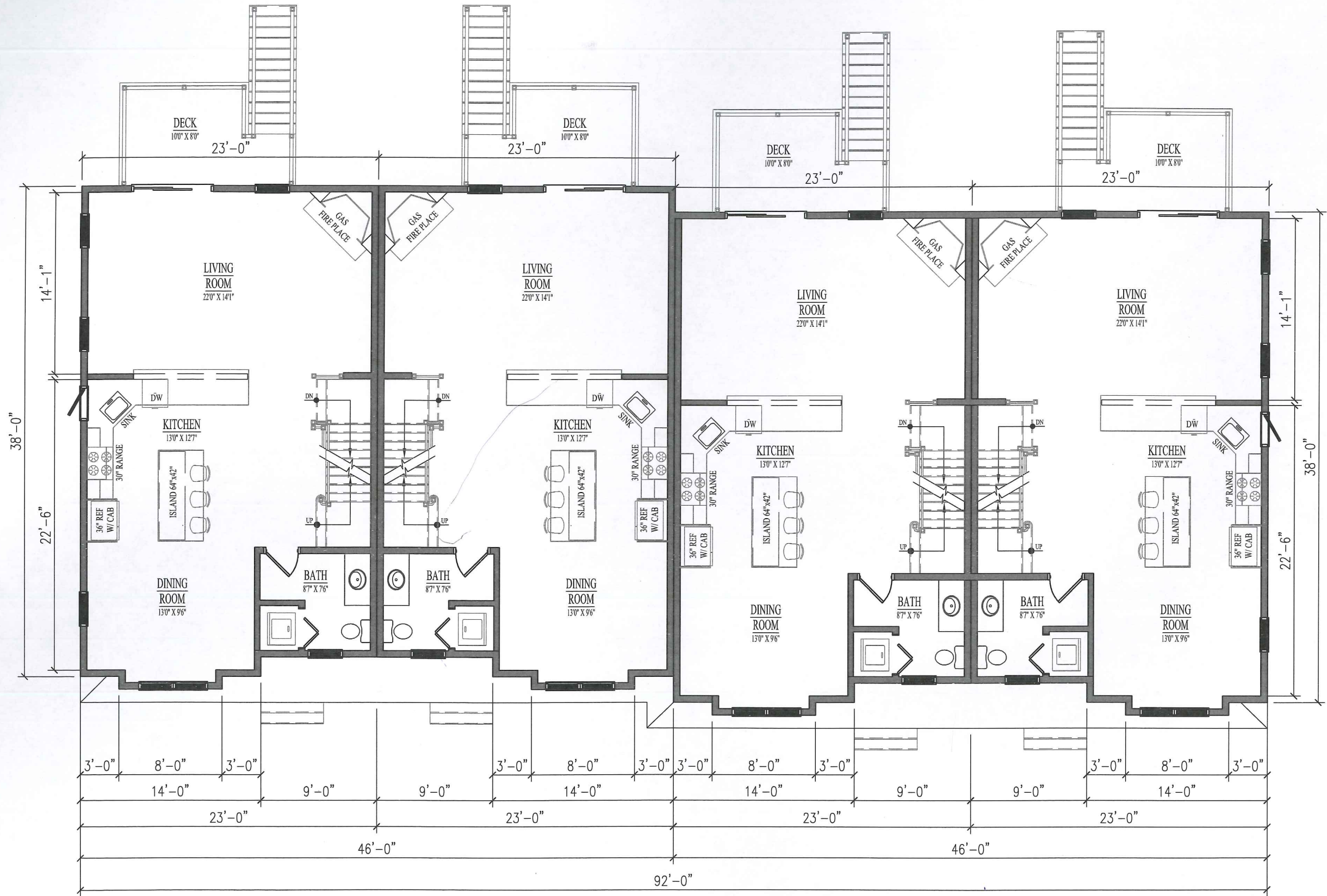
SCALE: 1/8" = 1'-0"

DATE MAY 19, 2019

ISSUE: FOR REVIEW

GROUND  
FLOOR  
PLAN

A4



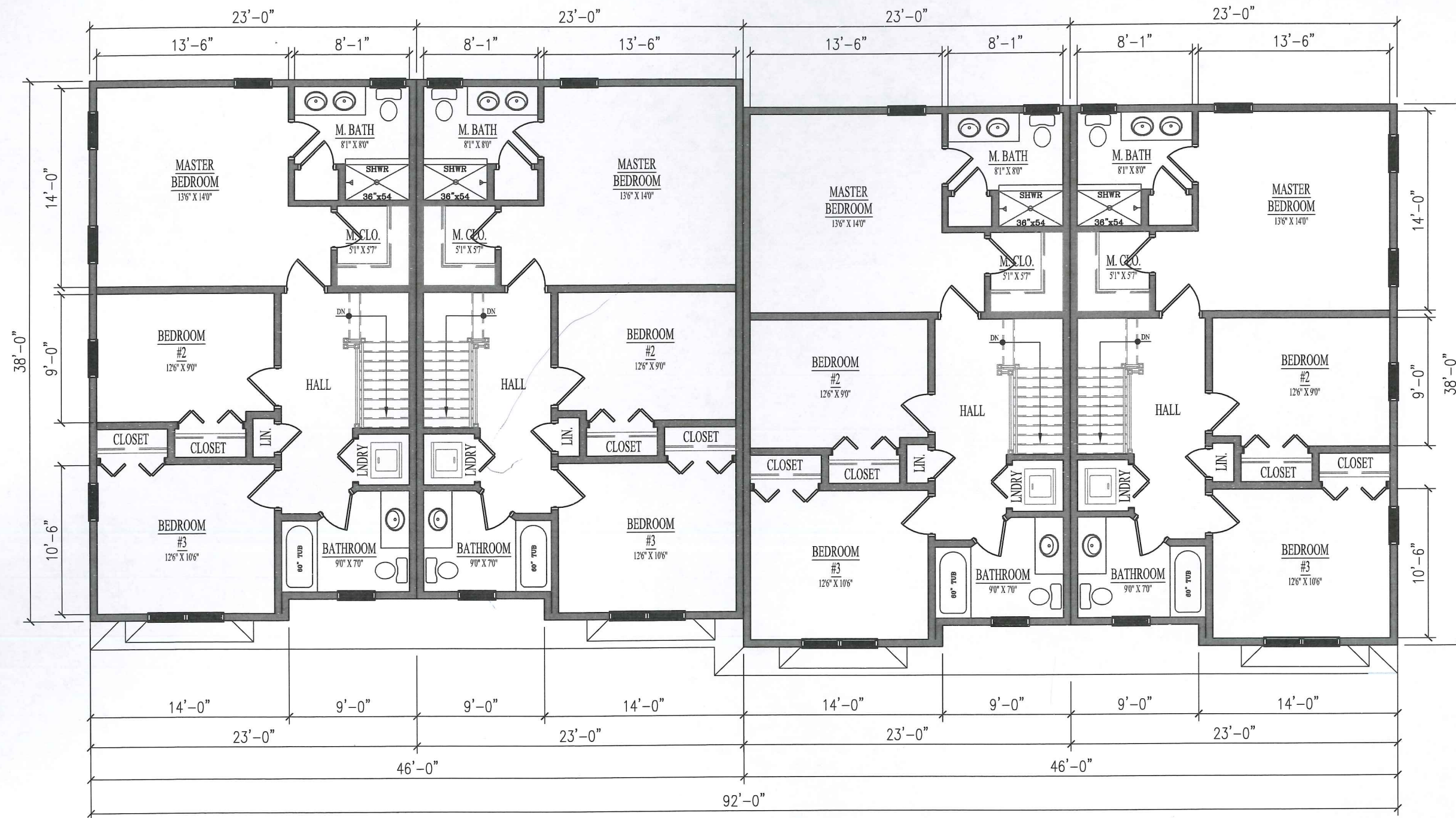
CORBIN STREET  
 CONDOS  
 21 CORBIN STREET  
 FRANKLIN, MA

DRAWN: BRIAN J. FRIGON
SCALE: 1/8" = 1'-0"
DATE MAY 19, 2019
ISSUE: FOR REVIEW

FIRST  
 FLOOR  
 PLAN

**A5**

FIRST FLOOR PLAN



SECOND FLOOR PLAN

CORBIN STREET  
CONDOS  
21 CORBIN STREET  
FRANKLIN, MA

DRAWN: BRIAN J. FRIGON
SCALE: 1/8" = 1'-0"
DATE: MAY 19, 2019
ISSUE: FOR REVIEW

SECOND  
FLOOR  
PLAN

A6

**DESIGN REVIEW COMMISSION  
MINUTES OF MEETING  
June 18, 2019**

A meeting of the Design Review Commission was held on Tuesday, June 18, 2019, at 7:00 PM, at the Franklin Municipal Building, 355 East Central Street, Room 205, Franklin, Massachusetts. Members present were Mark Fitzgerald, Chris Baryluk, Ralph Niemi, and Sam Williams.

Mark Fitzgerald, Chairman, opened the meeting at 7:00 PM.

**1. Altitude Trampoline Park** – 272 East Central Street - Install Sign Faces & Channel Letter Style Sign  
Cam Afonso of Signs by Cam reviewed the proposed signage. He stated the pylon sign is temporary as it is going to be redone. Chairman Fitzgerald stated he has talked with Building Commissioner Gus Brown about this. He noted he is not trying to cut the applicant down on signage; the Commission is about making it less ugly, less obtrusive, and spreading it across. He discussed the overall square footage across the front of the entire Horace Mann Plaza. Mr. Afonso stated the applicant is trying to stay with the existing structure which is about 40 years old. An engineer is supposed to look at the structure and the footings.

**Motion:** To **Approve** the sign package as submitted. Motioned by S. Williams. Seconded by C. Baryluk. Voted 4-0-0.

**2. Gentle Dental** – 471 West Central Street - Install Window Signs 7.5 sq. ft. per Window  
Cam Afonso of Signs by Cam stated the applicant had four big posters in the windows. Building Commissioner Gus Brown made them take down the posters; Gentle Dental complied right away. Mr. Afonso said they were under square footage for building signage. If the Commission agrees, they will do two posters: one on the corner facing the street and one facing the parking lot. They are trying to work with Mr. Brown, the Building Department, and Design Review. Chairman Fitzgerald stated they are allowed 10 percent of the window surface or 6 sq. ft. Mr. Afonso said the posters are 7.5 sq. ft. each. The signs are for an introductory offer so they will probably be up for a couple of months and then be taken down. He noted Gentle Dental is on the corner and they have a lot of glass windows. Chairman Fitzgerald stated they are considering these window applications are of a temporary nature given that this is a professional office and this is an introduction to the neighborhood and to the Town of Franklin; once they have a steady business going, they would be removed. If that is unacceptable to the applicant, he would ask that the applicant come to talk to the Commission and explain why their approach to a dental practice requires such intensive local advertising when that is uncommon for any other professional practice. Mr. Afonso stated he thinks that is fair. Chairman Fitzgerald made a recommendation to accept the negotiated window signage that has been gone through with Building Commissioner Gus Brown

**Motion:** To **Approve** the sign package as submitted with the stipulation that it is of a temporary nature for community introduction for 60 business days at which point the applicant should be well established, and if not, they can come before the Commission and say we are having trouble meeting our enrollment goals and then the Commission can work with them. Motioned by M. Fitzgerald. Seconded by R. Niemi. Voted 4-0-0.

**3. Ira C. Yellin, Law** – 13 Main Street - Install Blade Sign and 3D Letters  
Cam Afonso of Signs by Cam stated this will be replacing an existing sign. He reviewed the proposed signage and colors. He stated this is standard stuff. He said there is no lighting for this. There is an existing bracket.

**Motion:** To **Approve** the sign package as submitted. Motioned by S. Williams. Seconded by C. Baryluk. Voted 4-0-0.

**4. NHS Print** – 333 East Central Street - Refacing (3) Existing Signs – Printed Graphics Only  
Chairman Fitzgerald stated the applicant cancelled and will reschedule.

**5. Dollar Tree – 500 Franklin Village Drive - Installation of Store Front Signage**

A representative of Dollar Tree addressed the Commission. She stated they will take over everything from the corner to the beauty store on the right which is staying. Commission members discussed the existing façade and noted there will be other signs currently in this spot that will be coming out. The representative stated it is not part of their contract, but the signs will be taken down. Chairman Fitzgerald stated the owner of the building is very particular about sign mounting. The representative described the raceway and the proposed mounting. She confirmed internal LEDs will be used.

**Motion:** To **Approve** the sign package as submitted. Motioned by S. Williams. Seconded by R. Niemi. Voted 4-0-0.

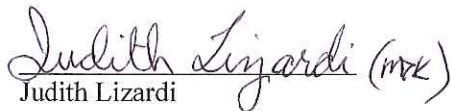
**General Matters:** Chairman Fitzgerald stated he has an action item to see if Design Review Commission member Melissa Devito is coming back as she has not been present. As well, he needs to get back in touch with a person who expressed interest in joining the Commission and get him vetted through the Town. He noted he will also speak with Design Review Commission member James Bartro. He will keep the Commission members posted.

**Meeting Minutes: May 21, 2019**

**Motion:** To **Approve** the May 21, 2019 Meeting Minutes as presented. Motioned by S. Williams. Seconded by R. Niemi. Voted 4-0-0.

**Motion to Adjourn** by R. Niemi. Seconded by S. Williams. Voted 4-0-0. Meeting adjourned at 7:28 PM.

Respectfully submitted,

  
Judith Lizardi  
Recording Secretary