

**DESIGN REVIEW COMMISSION
AGENDA**

Tuesday, December 19, 2017 7:00 PM.
Municipal Building, 355 East Central Street
2nd Floor, Room 205

- 7:00 PM** 360 Pizzeria- 384 Union Street
Window & Door Sign, Awning
- 7:05 PM** Crunch Fitness- 100 Franklin Village Drive
Pylon Sign
- 7:10 PM** Alpine Green- 116 Alpine Place
Site Plan
- 7:20 PM** McDonalds- 345 East Central Street
Site Plan and Signs

RECEIVED

2017 DEC 14 AM 9:57

TOWN OF FRANKLIN
TOWN CLERK

General Matters

Approval of Meeting Minutes from 11-28-17

COMMENTS: These listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

This agenda is subject to change. Last updated: December 14, 2017

The next meeting of the Design Review Commission is **tentatively** scheduled for January 9, 2018

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: 360 Pizzeria

Property Address 384 Union St.

Assessors' Map # _____ Parcel # 296-024-000-000

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: _____
Signs By Cam, Inc.
837 Upper Union Street
Address: _____
Suite C-18
Franklin, MA 02038

Telephone Number: 508-364-2905

Contact Person: _____

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Corey Neppa Property Owner: Same as Business
Address: 384 Union St. _____
Franklin, MA 02038 _____

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

[Signature]
Signature of Applicant

[Signature]
Signature of Owner

Corey Neppa
Print name of Applicant

Corey Neppa
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____ Signs By Cam, Inc.
837 Upper Union Street
Contact Person: _____ Suite C-18
Address _____ Franklin, MA 02038
Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: _____ reletter Awning + window
_____ graphics

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

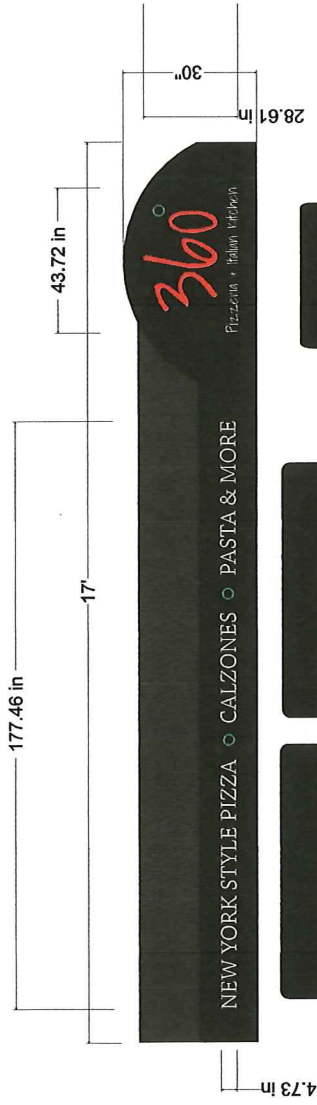
b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

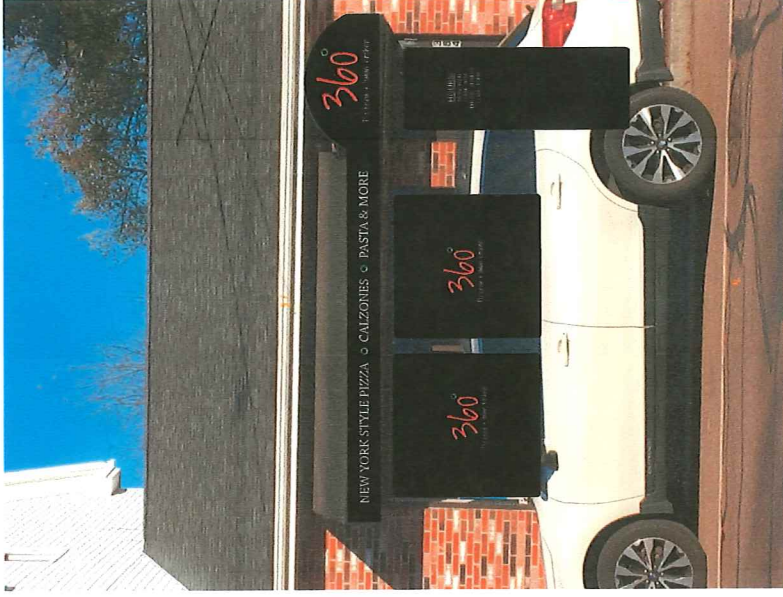
1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

***9 sq ft of awning advertising**



***under awning lighting/existing**



***4.5 sq ft of window lettering**

APPROVED FOR PRODUCTION:

X

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COLOR SPECS:
BACKGROUND:
COPY:

OUTLINE:
SHADOW:
BORDER:
LOGO:

SIGN MATERIAL SPECS

BANNER: COROPLAST: WOOD:
ACRYLIC: MAGNETIC: URETHANE:
PVC: ALUMINUM: NUEDGE:

SINGLE SIDED: DOUBLE SIDED:

OTHER: _____

JOB INFORMATION

JOB TITLE: _____
CONTACT: _____
PHONE: _____
FAX: _____
JOB DESCRIPTION: _____

SQUARE FOOTAGE: = _____

Signs By Cam^{INC}

Sign & Graphic Solutions • Uncompromising Integrity

Cam Afonso
837 Upper Union St., Suite C-18
Franklin, MA 02038
Phone: 508-364-2905
Fax/Office: 508-528-0766
E-Mail: cam@signsbycam.com
Website: www.signsbycam.com

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: CRUNCH FITNESS (FORMERLY BOOST)

Property Address 100 FRANKLIN VILLAGE DRIVE

Assessors' Map # _____ Parcel # _____

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____

Non-Conforming Use _____

B) Applicant Information:

Applicant Name: UNISIGN / JOHN FOURACRE

Address: 99 PLEASANT ST
NORTHBOROUGH, MA 01532

Telephone Number: 508.393.8359

Contact Person: JOHN FOURACRE

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: MARK FERRICO

Property Owner: CEDAR REALTY TRUST

Address: 245 WASHINGTON ST
HUDSON MA 01549

44 S. BAYES AVE
PORT WASHINGTON NY 11050

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

John Fouracre
Signature of Applicant

Signature of Owner

JOHN FOURACRE
Print name of Applicant

Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

E) Work Summary

Summary of work to be done: REMOVE EXISTING SIGNAGE (BOOST)
REPLACE w/ SAME CRUNCH FITNESS

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

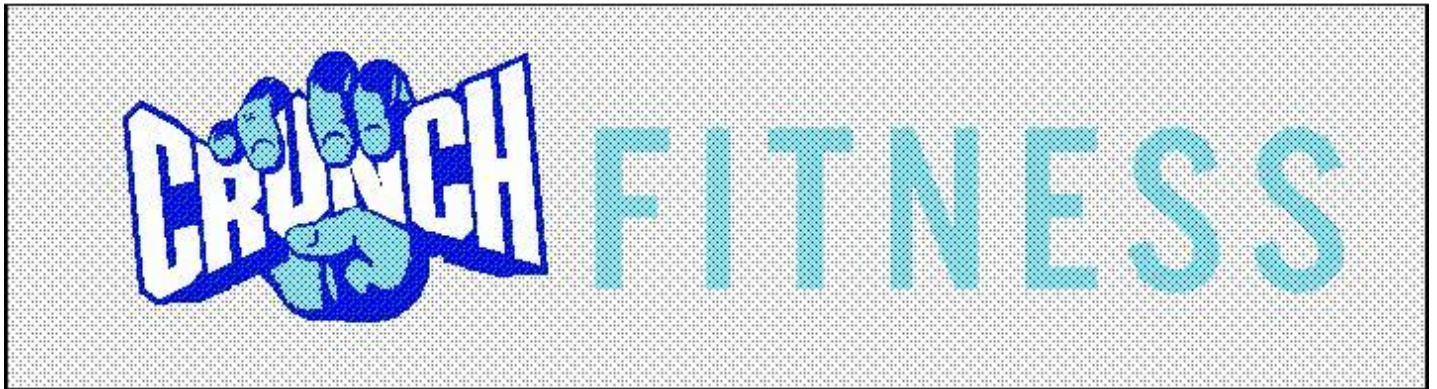
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type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
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b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

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5. If any signage on the building or site, provide information from above Signage Checklist

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FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Alpine green

Property Address 116 Alpine Place

Assessors' Map # 279 Parcel # 197

Zoning District (select applicable zone): GR5

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: NE Premier Properties, LLC

Address: 5 Sheila Lane
Franklin, MA 02038

Telephone Number: 508-212-6535

Contact Person: Kevin Tucceri

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: _____ Property Owner: Edward + Karla Sweeney
Address: _____

All of the information is submitted according to the best of my knowledge

Kevin Tucceri _____
Signature _____ Date Submitted 11/22/17
Print Name: Kevin Tucceri

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1-4

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D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: JG Architecture
Contact Person: James Gilmore
Address: 200 Winter St. Holliston MA 01746
Telephone Number: (508) 380-3105

b. Architect/Engineer (when applicable)

Business Name: Level Design Group, LLC
Contact Person: Daniel Campbell, P.E.
Address: 249 South Street, Unit 1, Plainville, MA 02762
Telephone Number: _____

E) Work Summary

Summary of work to be done: Replacement of a single family house with a conforming 6 unit Townhouse

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

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DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements.

The zoning allows a 40' Structure in this zone and the proposed is 39' in accordance with zoning

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area.

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible.

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings.

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings.

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context:

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. _____

There are no proposed signs and lighting will be building mounted residential fixtures.

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. _____

There are no historic features of the subject structure or property.

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. _____

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.

The landscaping is vastly improved with native species and additional multi-tiered plantings for year round growth

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

ARCHITECT

PROJECT TITLE

ARCHITECT



**JAMES GILMOUR
ARCHITECTURE**
200 WINTER STREET
HOLLISTON, MA 01746
(781) 320-3105
www.jga-architecture.com

MULTIFAMILY RESIDENCE

161 ALPINE PLACE FRANKLIN, MA

LOCUS PLAN



● 11-22-2017 - FOR REVIEW

ABBREVIATIONS

A	ACT ACoustical CEILING TILE	I	INCL INCLUDE
ADJ ADJUSTABLE		M	MATERIAL
AFIF ABOVE FINISH FLOOR		MIN MINIMUM	
ALT ALTERNATE		MOLD MOLDING	
		MTD MOUNTED	
C	CLS CEILING	O	ON CENTER
CLOS CLOSET		OC	ON CENTER
CLR CLEAR			
CONC CONCRETE			
CT CERAMIC TILE			
D	DET DETAIL	PLAS PLASTER	
DIA DIAMETER		PNL PANEL	
DWG DRAWING		PNT PAINTED	
		FR PAIR	
		FTD POINTED	
E	ELEC ELECTRIC	R	REF REFERENCE
ELEV ELEVATION		REQD REQUIRED	
EQ EQUAL			
EXIST EXISTING			
F	FAB FABRIC WALLCOVERING	S	SH SHEET
FIN FINISH		STC SOUND TRANSMISSION	
FLR FLOOR		CLASSIFICATION	
G	GNB GYPSUM WALLBOARD	T	TYP TYPICAL
H	H HIGH	V	VIN VINYL
HWK HARDWARE		VWG VINYL WALLCOVERING	
HGT HEIGHT			
HM HOLLOW METAL		W	W WIDE
		WD WOOD	
		W WITH	

GRAPHIC SYMBOLS

	MASONRY OR PLASTER FACES HATCHED		COLUMN REFERENCE GRIDS
	PLYWOOD		BUILDING OR WALL SECTION
	WOOD FINISH		DETAIL
	WOOD ROUGH		WALL TYPES
	INSULATION		DOOR NUMBER
	GYPSUM WALLBOARD		NORTH ARROW

GENERAL NOTES

NOTES:

- NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN OBTAINED.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE GOVERNING BUILDING CODE AND THE CODES AND REGULATIONS OF ALL LOCAL AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLED MATERIALS. SHOULD A DISCREPANCY OCCUR THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.
- THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK. NOTIFY THE ARCHITECT IF ANY DISCREPANCIES EXIST.
- GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING HIS OWN DEFECTIVE WORK AS WELL AS FOR ALL COSTS INCIDENTAL THERETO INCLUDING DAMAGE TO OTHER WORK, FURNISHINGS AND/OR EQUIPMENT.
- DRAWINGS ARE NOT TO BE SCALED. ALL WORK SHALL BE LAID OUT BY DIMENSIONS. ANY DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. ALL DEVIATIONS SHALL BE CORRECTED BY THE CONTRACTOR BEFORE HE BEGINS HIS PORTION OF THE WORK.
- DRAWINGS ARE THE PROPERTY OF THE OWNER AND SHALL NOT BE COPIED OR DUPLICATED IN ANY MANNER.
- CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO PROTECT WORKMEN AND GENERAL PUBLIC FROM INJURY & ADJACENT PROPERTY FROM DAMAGE.
- THE GENERAL CONTRACTOR SHALL RECEIVE, STORE, PROTECT AND INSTALL ALL MATERIALS PROVIDED BY THE OWNER.

ELECTRICAL

- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH ALL WIRING SHALL BE NO. 12 THW ANS COPPER MINIMUM UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL GUARANTEE ALL WORK FOR WHICH MATERIALS ARE FURNISHED, FABRICATED OR FIELD ERIGGED. ALL FACTORY ASSEMBLED EQUIPMENT FOR WHICH NO SPECIFIC MANUFACTURERS GUARANTEE IS FURNISHED AND ALL WORK IN CONNECTION WITH INSTALLING ANY MANUFACTURERS GUARANTEED EQUIPMENT. HIS PERSONAL GUARANTEE SHALL EXIST FOR A PERIOD OF ONE YEAR OF FINAL ACCEPTANCE OF THE WORK AND SHALL APPLY TO DEFECTS IN THE MATERIALS AND TO DEFECTIVE WORKMANSHIP OF ANY KIND.
- THE ELECTRICAL CONTRACTOR SHALL DO ALL CUTTING REQUIRED FOR THE ELECTRICAL INSTALLATION UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR. DO NOT ENDANGER THE STABILITY OF THE STRUCTURE OR ANY PART THEREOF BY CUTTING, BURNING, DIGGING ETC.
- THE ELECTRICAL CONTRACTOR SHALL PAY FOR AND OBTAIN ALL REQUIRED PERMITS AND LICENSES.

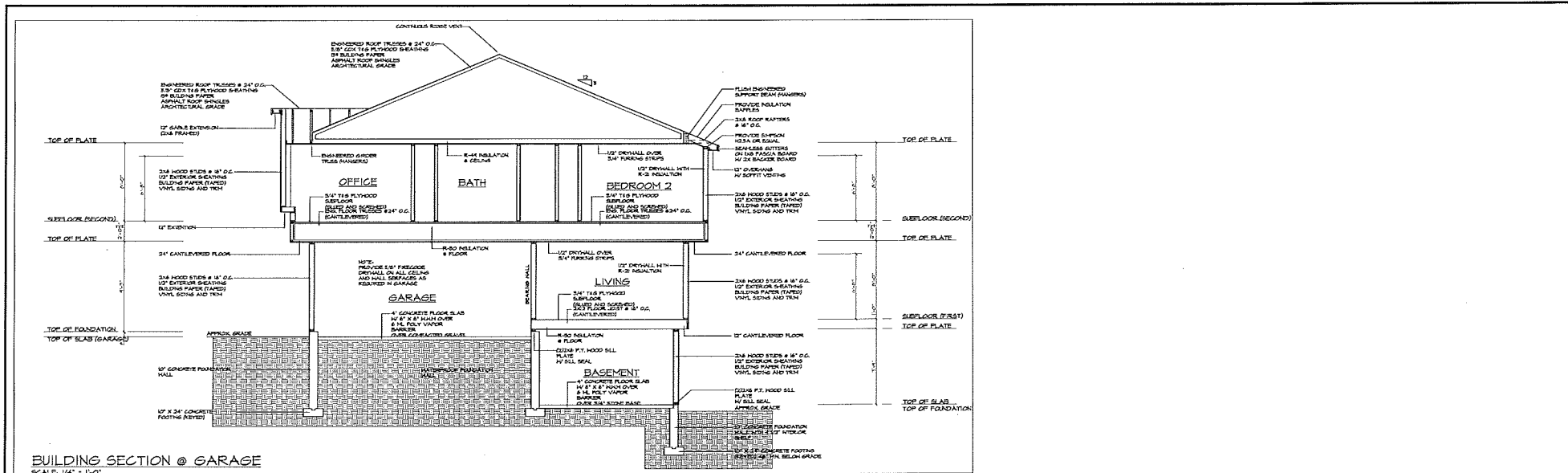
PLUMBING




- ALL PLUMBING SHALL BE PERFORMED BY A LICENSED PLUMBER AND SHALL CONFORM TO ALL LOCAL, STATE AND NATIONAL CODES.
- PLUMBING VEIT SIZES AND LOCATIONS SHALL BE DETERMINED BY THE PLUMBING CONTRACTOR.
- ALL SLEEVE SIZES SHALL BE DETERMINED BY THE PLUMBING CONTRACTOR.
- PROVIDE STOP VALVES IN ALL FIRING TO FIXTURES AHEAD OF THE OPERATING LEVERS OR FAUCETS.
- PROVIDE CLEANOUTS AT THE BASE OF ALL SOIL AND WASTESTACKS.
- WATER SHALL BE PROVIDED TO ALL FIXTURES IN 1/2" COPPER LINES MIN.
- THE PLUMBING CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF THE OTHER TRADES BEFORE INSTALLATION OF HIS WORK IN CHASES, CEILING SPACES AND IN OTHER AREAS WHERE CONFLICT MAY OCCUR.
- THE PLUMBING CONTRACTOR SHALL TO ALL THE REQUIRED CUTTING FOR THE PLUMBING INSTALLATION UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR. DO NOT ENDANGER THE STABILITY OF THE STRUCTURE BY CUTTING, DIGGING, BURNING OR OTHERWISE.

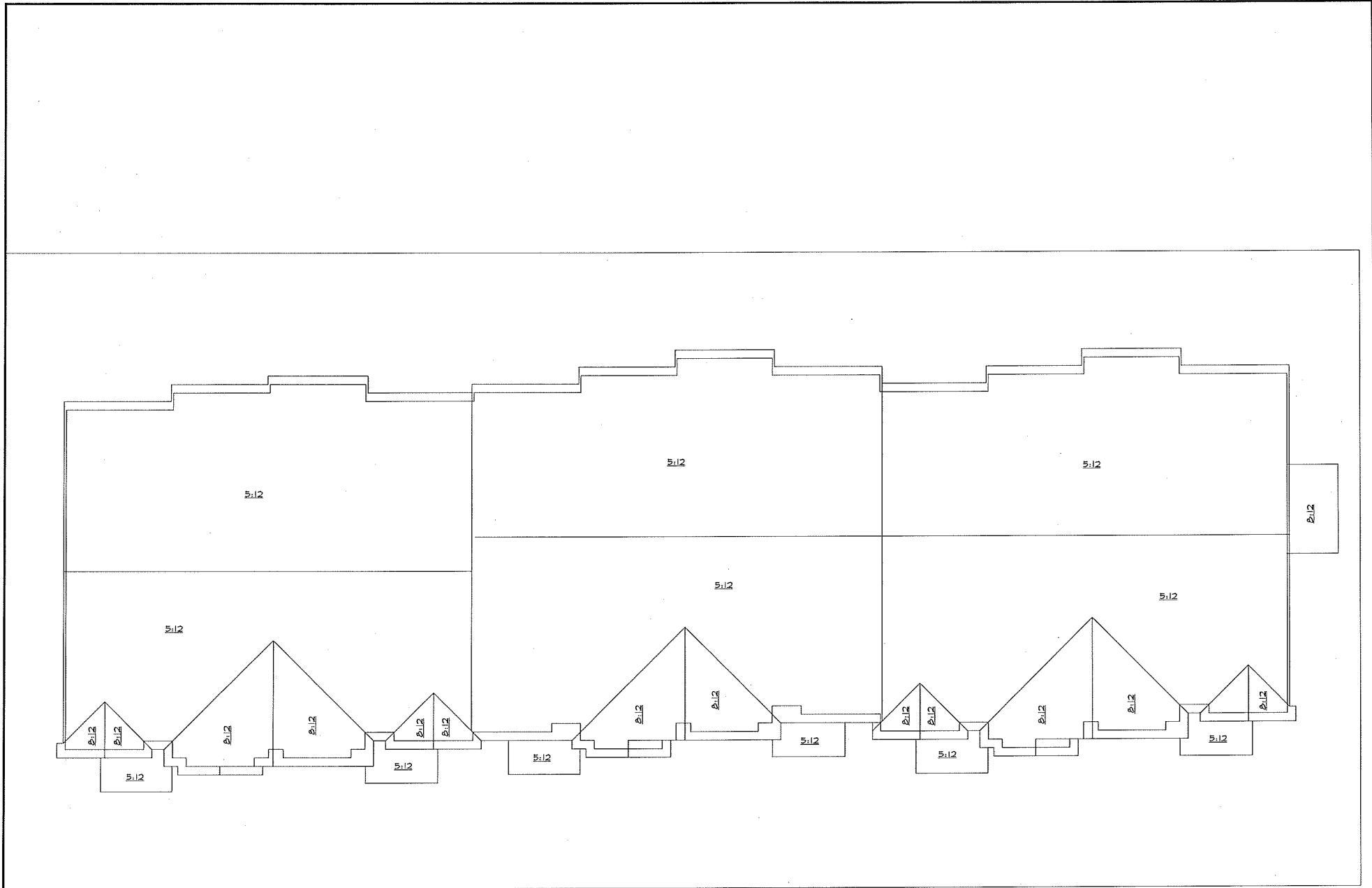
LIST OF DRAWINGS

ARCHITECTURAL

- A-100 BASEMENT / FOUNDATION PLAN
- A-101 FIRST FLOOR PLAN
- A-102 SECOND FLOOR PLAN
- A-300 EXTERIOR ELEVATIONS
- A-400 BUILDING SECTIONS
- A-401 BUILDING SECTIONS
- S-100 BUILDING SECTIONS



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ROOF PLAN
SCALE: 1/4" = 1'-0"

REVISIONS		ISSUES	
• DATE	• DATE	• DATE	• DATE

OWNER



ARCHITECT: JCA ARCHITECTURE
 CIVIL ENGINEER

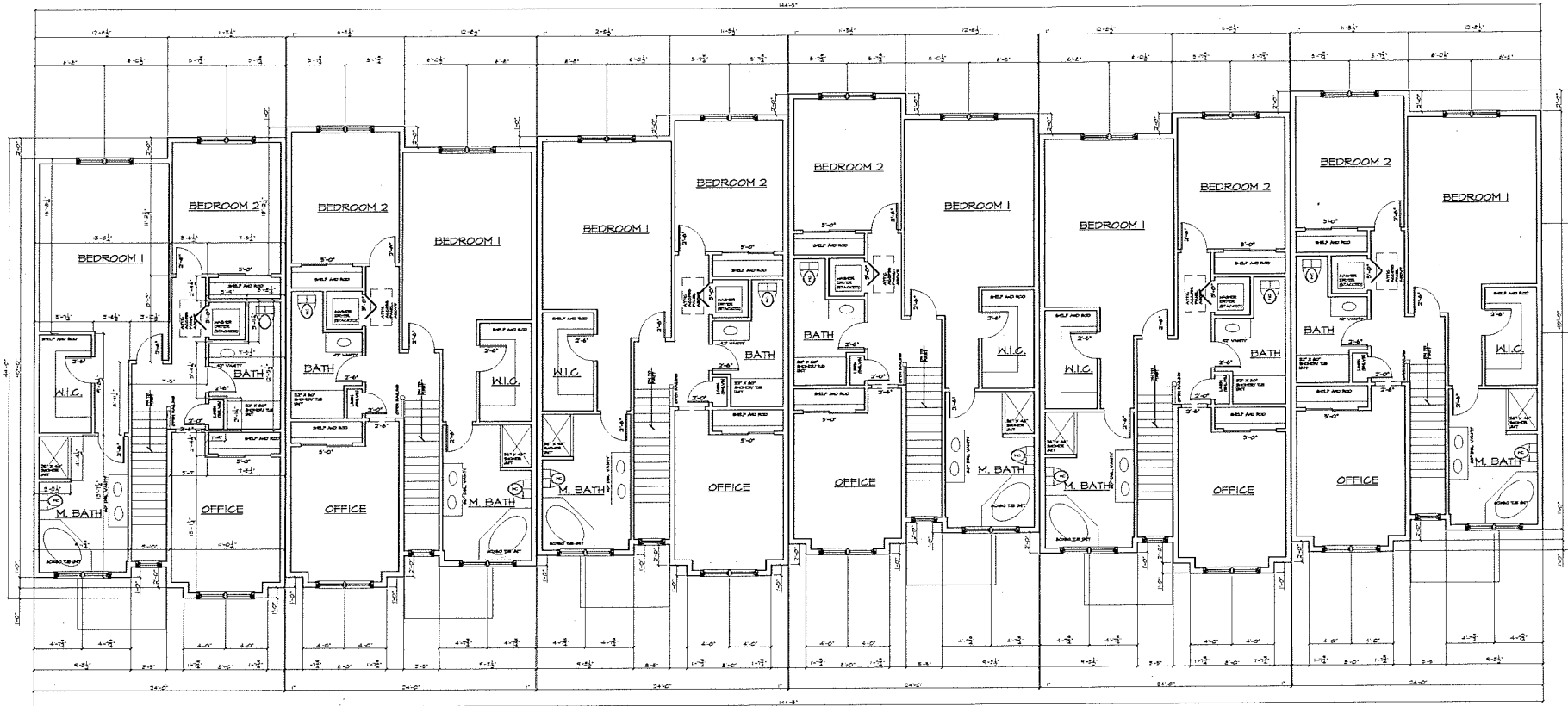
PROJECT TITLE:
MULTI FAMILY RESIDENCE
 161 ALPINE PLACE
 FRANKLIN, MA

STAMP:

REVISIONS		ISSUES	
• DATE	• DATE	• DATE	• DATE

DRAWN BY: JAKI APH
 CHECKED BY: JAKI APH
 DATE: 5-22-2017

SHEET TITLE:
ROOF PLAN
 SHEET NUMBER:
A-200



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS		ISSUES	
DATE	BY	DATE	BY

OWNER: _____

ARCHITECT: **JGA** ARCHITECTURE
300 HENRY STREET
MELDEN, MA 01746
781-326-7109
WWW.JGAARCHITECTURE.COM

CIVIL ENGINEER: _____

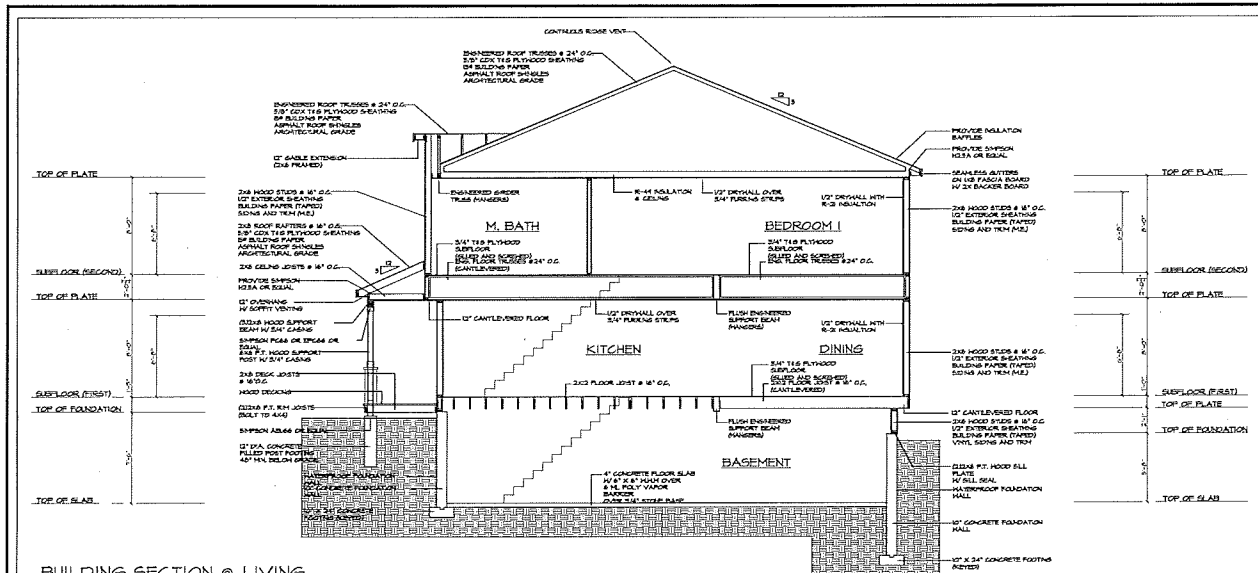
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161 ALPINE PLACE
FRANKLIN, MA

STAMP: _____

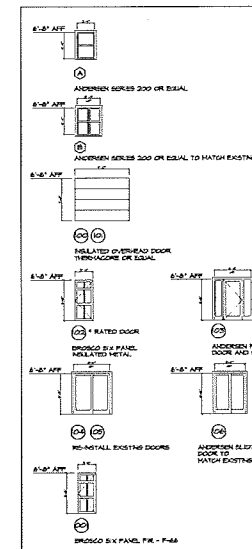
REVISIONS		ISSUES	
DATE	BY	DATE	BY

DRAWN BY: JANE APPEL
CHECKED BY: JMG
DATE: 11-22-2017

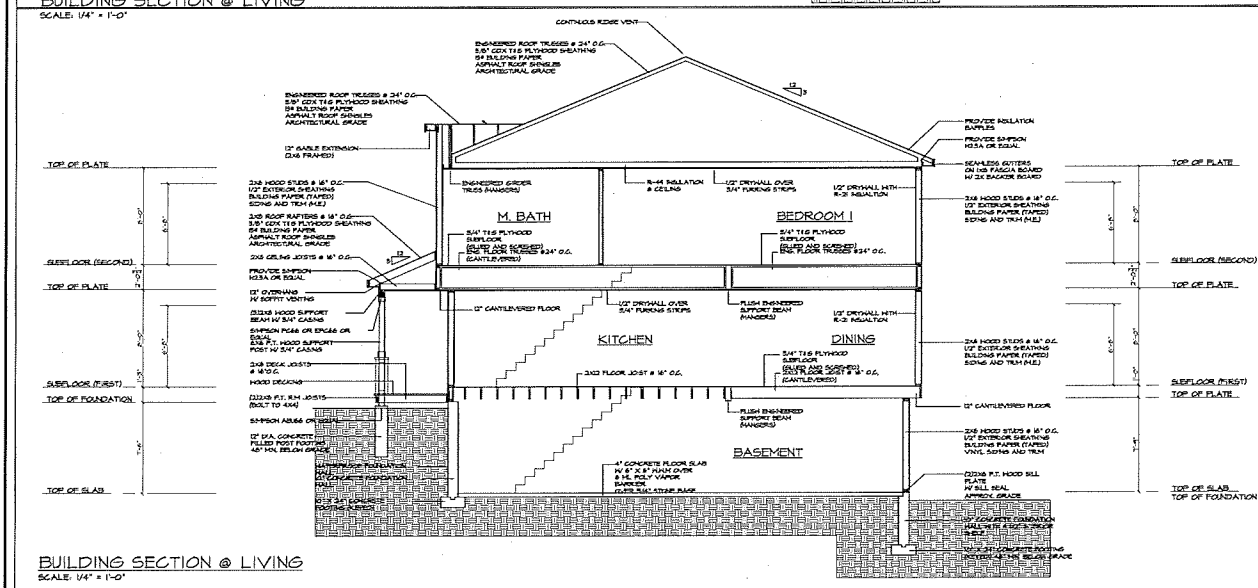
SHEET TITLE: **SECOND FLOOR PLAN**
SHEET NUMBER: **A-102**



BUILDING SECTION @ LIVING
SCALE: 1/4" = 1'-0"

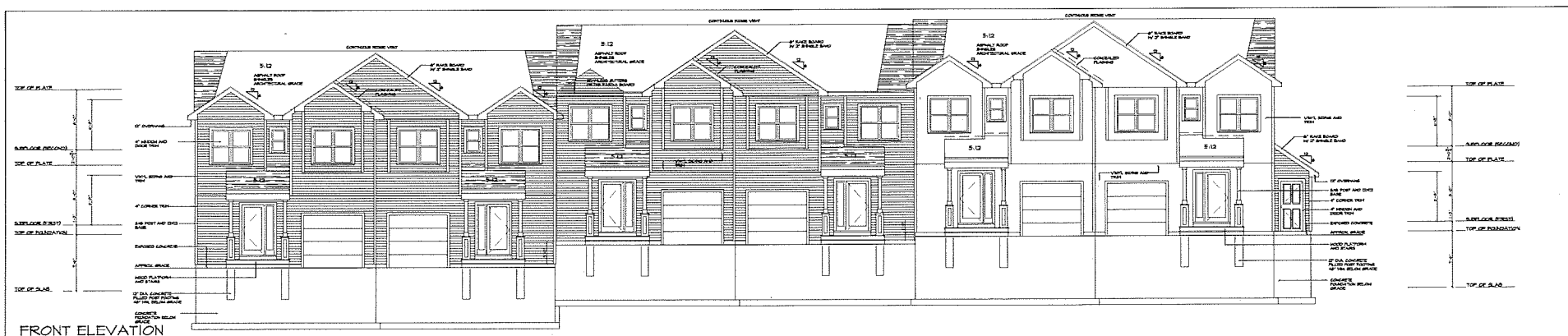


DOOR/WINDOW SCHEDULE
SCALE: 1/4" = 1'-0"



BUILDING SECTION @ LIVING
SCALE: 1/4" = 1'-0"

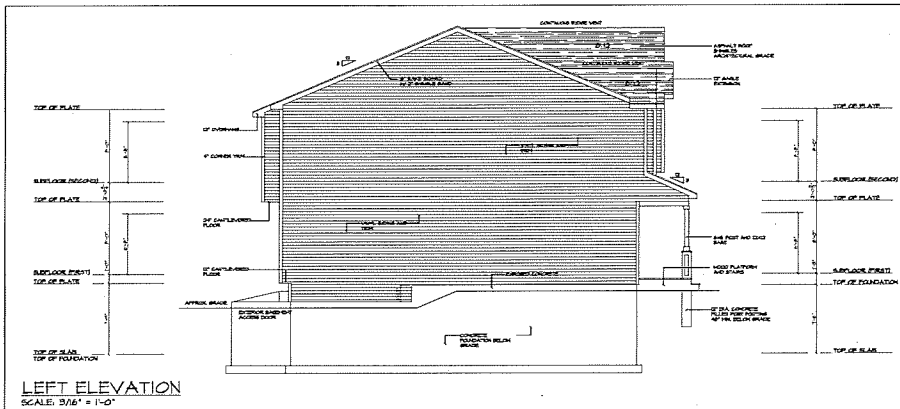
<table border="1"> <thead> <tr> <th>REVISIONS</th> <th>ISSUES</th> </tr> <tr> <th>#</th> <th>DATE</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REVISIONS	ISSUES	#	DATE	DATE				<table border="1"> <thead> <tr> <th>OWNER</th> <th>ARCHITECT</th> <th>CIVIL ENGINEER</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	OWNER	ARCHITECT	CIVIL ENGINEER				<p>PROJECT TITLE</p> <p>MULTI FAMILY RESIDENCE</p> <p>161 ALPINE PLACE FRANKLIN, MA</p>	<table border="1"> <thead> <tr> <th>REVISIONS</th> <th>ISSUES</th> </tr> <tr> <th>#</th> <th>DATE</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REVISIONS	ISSUES	#	DATE	DATE				<p>STAMP</p> <p>DRAWN BY: JMS/AM CHECKED BY: JMS DATE: 10-23-2017</p>	<p>SHEET TITLE</p> <p>BUILDING SECTION</p> <p>SHEET NUMBER</p> <p>A-400</p>
REVISIONS	ISSUES																										
#	DATE	DATE																									
OWNER	ARCHITECT	CIVIL ENGINEER																									
REVISIONS	ISSUES																										
#	DATE	DATE																									



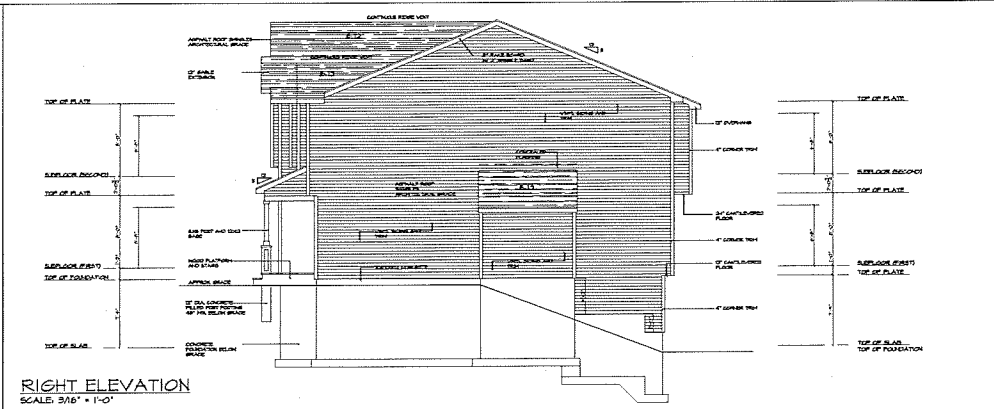
FRONT ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION
SCALE: 3/16" = 1'-0"

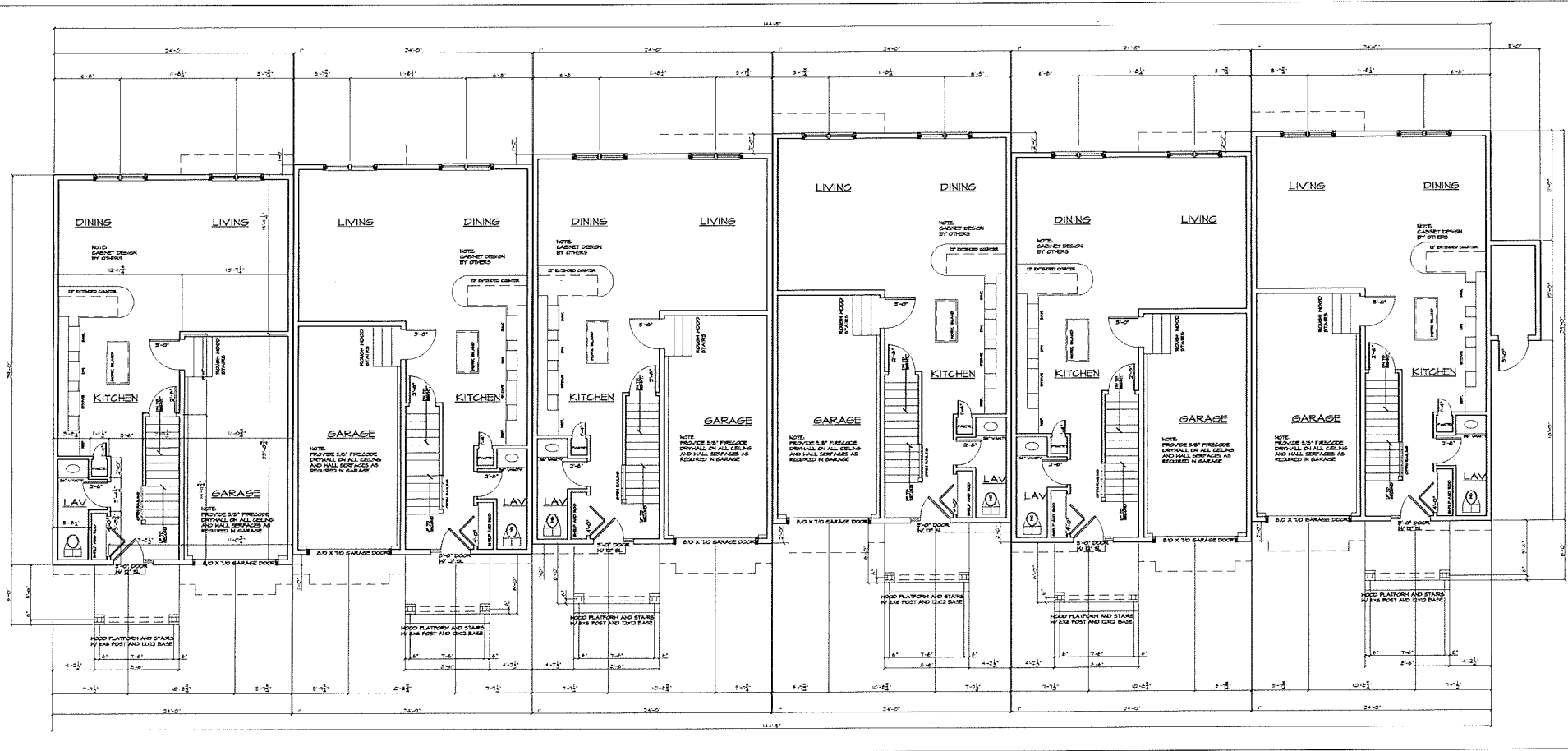


LEFT ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

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REVISIONS	ISSUES																																																							
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STAFF	DRAWN BY	CHECKED BY	DATE																																																					
	JAS	JAS	1-22-2017																																																					



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS		ISSUES	
#	DATE	#	DATE

OVER: _____

ARCHITECT: **JGA** ARCHITECTURE
300 HUNTER STREET
HOLLISTON, MA 01946
(978) 330-7108
www.jgarchitect.com

CIVIL ENGINEER: _____

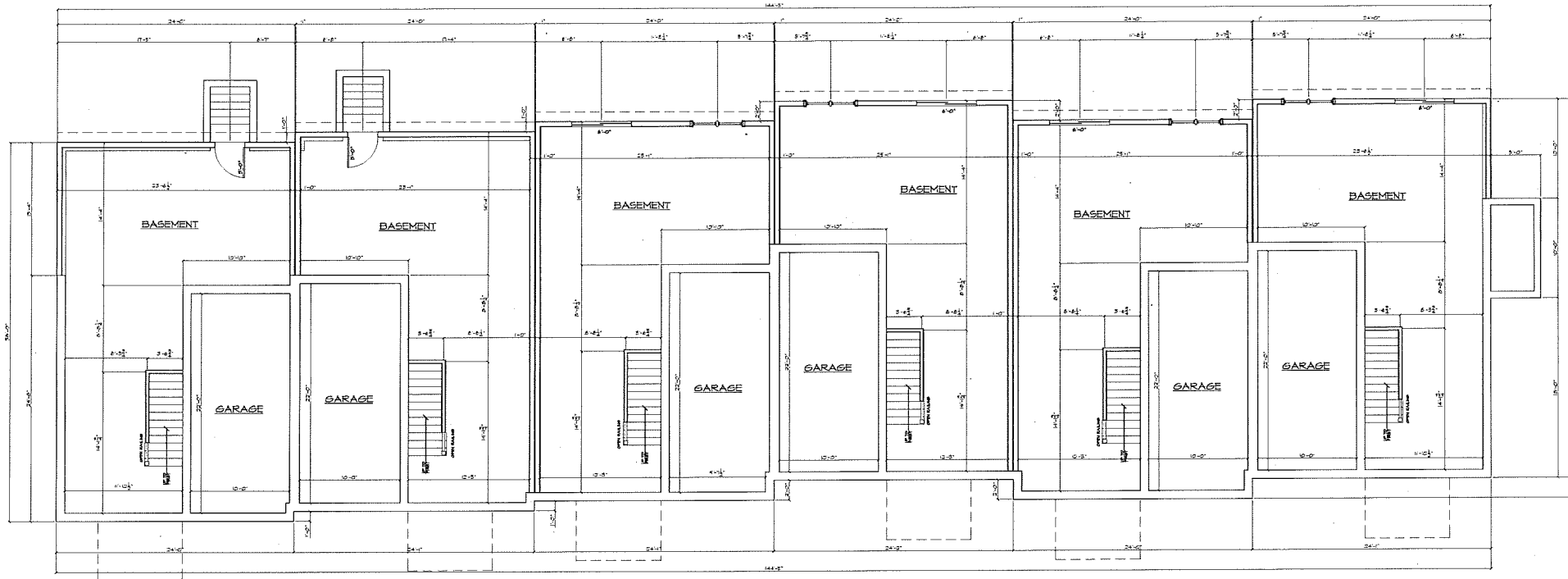
PROJECT TITLE: **MULTI FAMILY RESIDENCE**
161 ALPINE PLACE
FRANKLIN, MA

DATE: _____

REVISIONS		ISSUES	
#	DATE	#	DATE

DRAWN BY: JMG/AM
CHECKED BY: JMG
DATE: 8-22-2017

SHEET TITLE: **FIRST FLOOR PLAN**
SHEET NUMBER: **A-101**



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS		ISSUES	
DATE	BY	DATE	BY

OWNER

ARCHITECT



JGA ARCHITECTURE
200 HENTON STREET
ROLLISTON, MA 01954
(508) 363-3009
www.jga-arch.com

CIVIL ENGINEER

PROJECT TITLE

MULTI FAMILY RESIDENCE
161 ALPINE PLACE
FRANKLIN, MA

STAMP

REVISIONS		ISSUES	
DATE	BY	DATE	BY

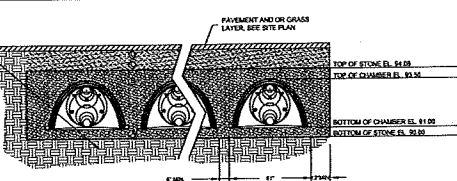
DRAWN BY	DATE
JMS	11-22-2011
CHECKED BY	DATE
JMS	11-22-2011

SHEET TITLE
BASEMENT FLOOR PLAN
SHEET NUMBER
A-100

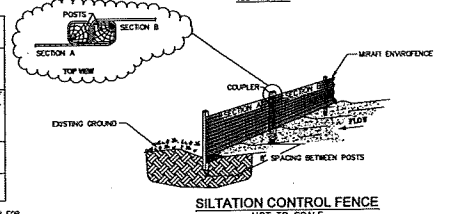
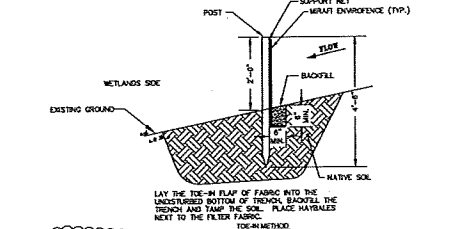
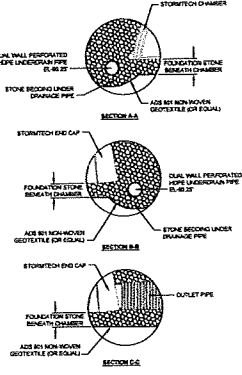
SC-740 STORMWATER CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740, MC-3500 OR APPROVED EQUAL.
- CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNRESTRICTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPIDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL INSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET. THE CHAMBERS SHALL BE DESIGNED FOR SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND 20 YEAR RETURN PERIOD WIND LOADS.
- CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F 2418, STANDARD SPECIFICATIONS FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
- CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F 2797, STANDARD PRACTICES FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT LOAD FACTORS SPECIFIED IN THE AASHTO LRD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL DESIGN SECTION IS BASED.
 - THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.

REMOVE AND REPLACE FILL SOALS TO EXISTING GRADE WITH GRAVEL BORROW GRAVEL. BOTTOM SHALL MEET THE REQUIREMENTS OF SUBSECTION M.01 OR GRADATION OF AGGREGATES, TABLE C.01.



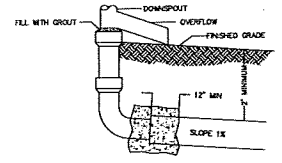
STORMTECH SC-740 DRAINAGE POND
NOT TO SCALE



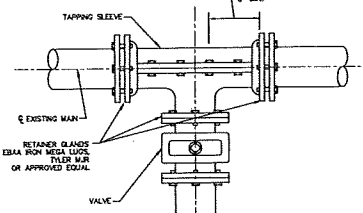
SILTING CONTROL FENCE
NOT TO SCALE

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION ¹	COMPACTION/DENSITY REQUIREMENT
① FILL MATERIAL FOR LAYER 'Y' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF THE NEXT PAVED OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'Y' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT REQUIREMENTS.	N/A	PREPARE FOR ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRONGER MATERIAL AND PREPARE HAVING REQUIREMENTS.
② FILL MATERIAL FOR LAYER 'Z' STARTS FROM THE TOP OF THE EMBANKMENT STONE (6" LAYER) TO 24" (810 mm) FROM THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'Z' LAYER.	GRAVELLY WELL-GRADED SOIL (APPROPRIATE MOISTURE), 4.35% FINES. MOST PAVEMENT SUBBASES (MATERIALS CAN BE USED IN LIEU OF THIS LAYER).	3, 307, 4, 487, 5, 26, 57, 6, 89, 10, 7, 76, 8, 89, 10	BEFORE CHAMBER AFTER 24" (810 mm) OF MATERIAL, OVER THE CHAMBER IS REACHED, COMPACT ADDITIONAL LAYERS IN 6" (152 mm) MAX LIFTS TO A MAX. 95% STANDARD PROCTOR DENSITY.
③ FOUNDATION STONE SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" - 2 INCH (19 - 51 mm).	3, 307, 4, 487, 5, 26, 57	NO COMPACTION REQUIRED.
④ FOUNDATION STONE BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT BOTTOM OF THE CHAMBER.	CLEAN, CRUSHED ANGULAR STONE. NOMINAL SIZE DISTRIBUTION BETWEEN 3/4" - 2 INCH (19 - 51 mm).	3, 35, 4, 487, 5, 26, 57	PLATE COMPACTION OR ROLL TO ACHIEVE A 95% STANDARD PROCTOR DENSITY ² .

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR M4 STONE WOULD STATE: CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE.
2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'X' MATERIALS WHEN PLACED AND COMPACTED IN 12" (228 mm) MAX LIFTS USING TWO FULL COMPACTORS WITH AN APPROPRIATE COMPACTOR.



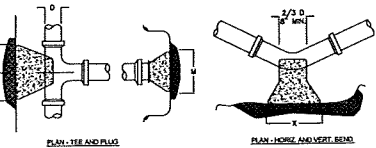
DOWNSPOUT CONNECTION TO DRAINAGE OUTLET
NOT TO SCALE



UTILITY TRENCH
NOT TO SCALE

FOUNDATION BEDDING AND BACKFILL MATERIALS			
PIPE MATERIAL	TOP PIPE	BELOW PIPE	BELOW PIPE
PIPE (A)	(A)	(A)	(A)
PIPE (B)	(B)	(B)	(B)
PIPE (C)	(C)	(C)	(C)
PIPE (D)	(D)	(D)	(D)

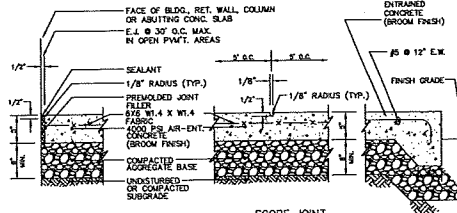
- PLACE 3/4" MINUS GRADED GRANULAR BACKFILL AT OPTIMUM MOISTURE IN HORIZONTAL 8" DEEP LAYERS, COMPACT TO 95% PER ASTM D-1557.
- MINIMUM WIDTH OF TRENCH MEASURED AT SPRAWLING OF PIPE, INCLUDING ANY NECESSARY SHEATHING.
- INSTALL PIPE IN CENTER OF TRENCH. USE ON-SITE EXCAVATED MATERIAL FOR FINAL BACKFILL. COMPACT TO 95% PER ASTM D-1557. OBTAIN ENGINEER APPROVAL OF ON-SITE EXCAVATED MATERIALS FOR USE AS FINAL BACKFILL.
- MEMBRANE COVER OVER TOP OF PIPE.
- FOR FOUNDATION STABILIZATION, USE 2" MINUS CRUSHED STONE.



RESTRAINED JOINT SCHEDULE					
PIPE SIZE	D. I.	D. L.	D. L.	D. L.	D. L.
90"	45'	22 1/2'	11 1/4'		
12"	9'	3'	1'		
10"	7'	3'	1'		
8"	6'	2'	1'		
6"	5'	2'	1'		

- NOTES:
- RESTRAINED LENGTH FOR TEES, CROSSES, VALVES AND PLUGS SHALL EQUAL RESTRAINED LENGTH FOR 90° BENDS.
 - SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING RESTRAINED JOINTS.
 - INTERNAL PRESSURE: SOIL TYPE: SAND-SILT; 30 HOURS OF COVER AND TYPE 2 LAYING CONDITIONS.
 - RESTRAINED LENGTHS SHOWN IN THESE ARE MINIMUM LENGTHS (IN FEET) AND ARE REQUIRED IN EACH DIRECTION FROM FITTINGS OR VALVES.
 - THRUST BLOCKS TO BE INSTALLED AS REQUIRED.

TAPPING SLEEVE AND VALVE CONNECTION
NOT TO SCALE



EXPANSION JOINT **SCORE JOINT**

- MAXIMUM GROSS SLOPE = 2%
- MAXIMUM GRADIENT = 5%
- PROMOTE EXPANSION JOINT AT FACE OF ADJUTING CLASS AND STRUCTURES.
- PROMOTE VERTICAL GRANITE OR PRECAST CONCRETE CURING PER SHEET C3.

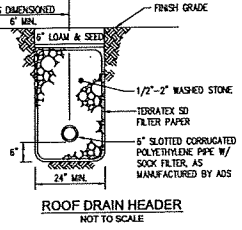
CONCRETE SIDEWALK
NOT TO SCALE



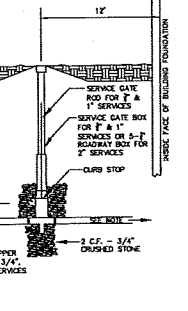
AUTOMOTIVE AREAS - BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE

THRUST BLOCK
NOT TO SCALE

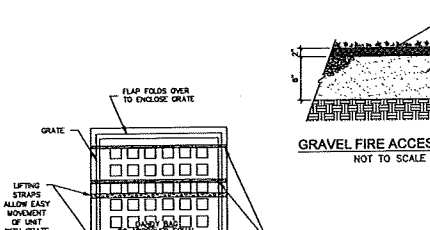
TEES AND BENDS									
90° & 45°		22 1/2° & 11 1/4°							
A	B	J	K	L	M	N	O	P	Q
4" to 8"	10"	10"	1'-0"	2'-0"	1'-8"	10"			
10" to 18"	1'-0"	1'-8"	1'-8"	3'-10"	2'-10"	1'-4"			
24"	1'-4"	2'-0"	2'-4"	3'-0"	3'-4"	1'-4"			



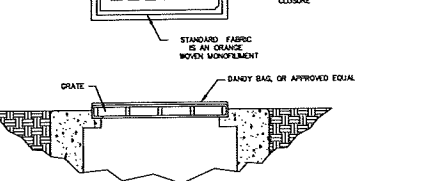
ROOF DRAIN HEADER
NOT TO SCALE



WATER SERVICE
NOT TO SCALE

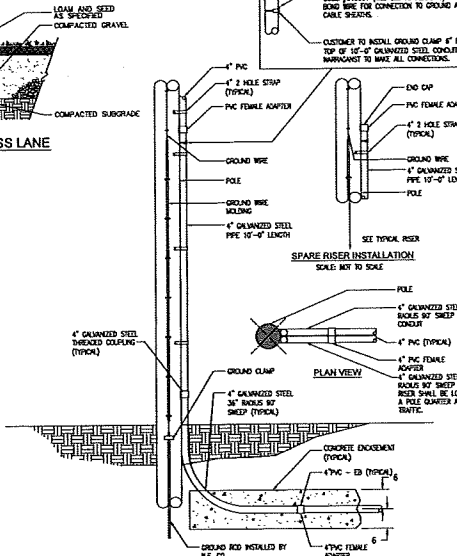


GRAVEL FIRE ACCESS LANE
NOT TO SCALE



- NOTES:
- INSTALLATION: THE EMPTY DANDY BAG, OR APPROVED EQUAL, SHOULD BE PLACED OVER THE GRATE AS THE GRATE STAYS ON END. IF USING OPTIONAL OR ABSORBENTS, PLACE ABSORBENT FELLOW IN POUCH ON THE BOTTOM (YELLOW-GRADE SIDE) OF THE BAG. ATTACH ABSORBENT FELLOW TO TETHER LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE BAG. HELDING THE LIFTING DEVICES (DO NOT REST ON LIFTING DEVICES TO SUPPORT THE ENTIRE WIDTH OF THE GRATE), PLACE THE GRATE INTO ITS FRAME.
- MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND MOUTH OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG, AS NEEDED. IF USING OPTIONAL OR ABSORBENTS, REMOVE AND REPLACE ABSORBENT FELLOW WHEN NEAR SATURATION.

CATCH BASIN INLET PROTECTION
NOT TO SCALE



RISER POLE DETAIL
NOT TO SCALE

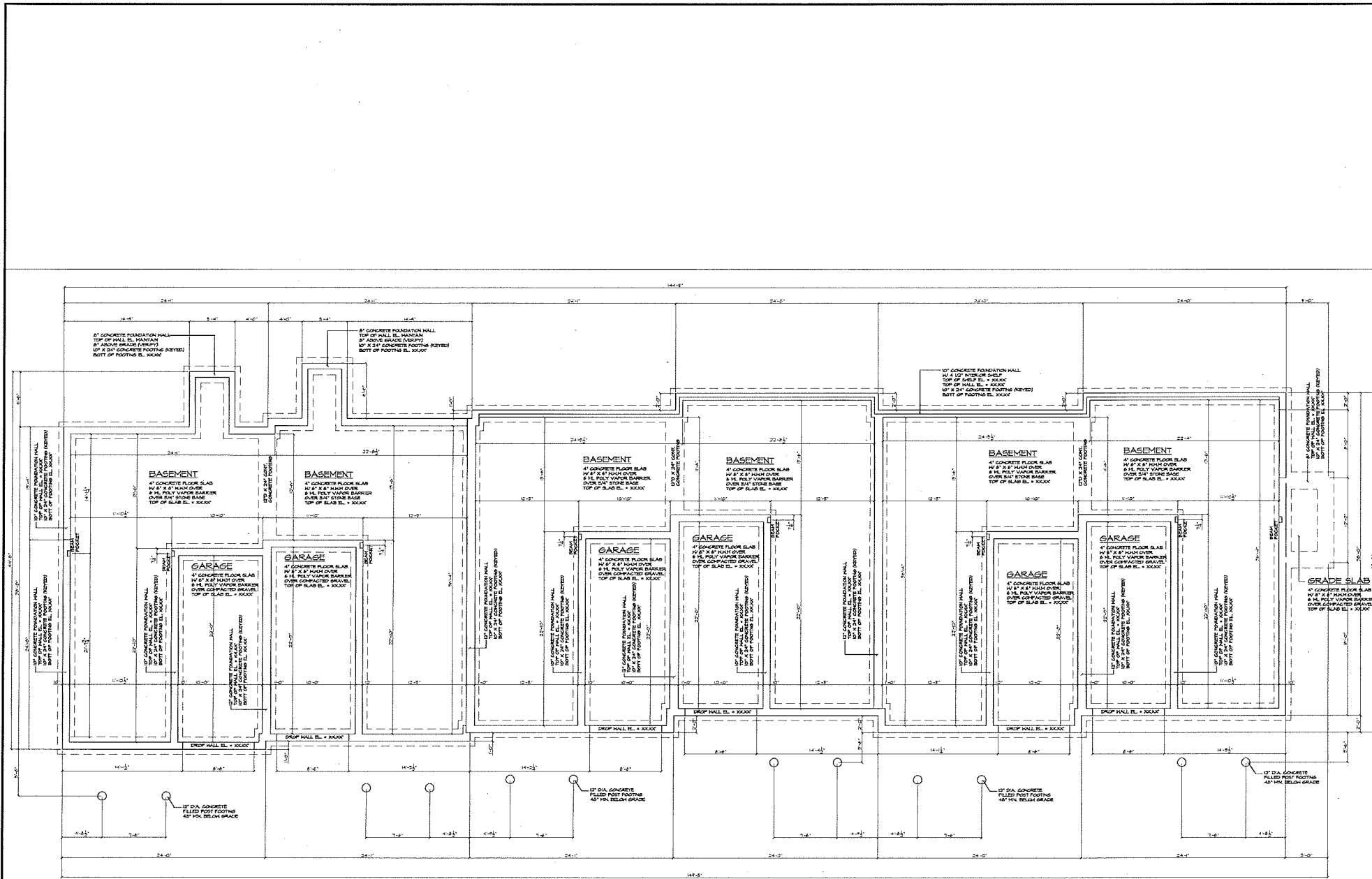
ALPINE GREEN
MULTI-FAMILY HOUSING
AM 279, PARCEL 194
116 ALPINE PLACE
FRANKLIN, MASSACHUSETTS

LEVEL
CIVIL ENGINEERING / LAND SURVEYING
245 SOUTH STREET
FRANKLIN, MA 02782
TEL: (508) 686-2221 FAX: (508) 665-2119

TYPICAL DETAILS
C-3.0
SHEET 5 OF 8
1558.00

NO.	DATE	REVISIONS
1	09/22/2017	PERMITTING SUBMISSION
2	10/06/2017	DESIGN REVIEW COMMENTS
3	11/05/2017	CONTRACT RESPONSE
4	11/07/2017	BUILDING FOOTPRINT

DATE: SEPTEMBER 22, 2017
DRAWN: DEE
SCALE: AS SHOWN



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS		ISSUES	
DATE	BY	DATE	BY

ARCHITECT

JGA

ARCHITECTURE

300 HENRY STREET
HOLISTON, MA 01746
(508) 342-3709
www.jga-arch.com

CIVIL ENGINEER

PROJECT TITLE

MULTI FAMILY RESIDENCE

161 ALPINE PLACE
FRANKLIN, MA

STAMP

REVISIONS		ISSUES	
DATE	BY	DATE	BY

DRAWN BY: JAS APY

CHECKED BY: JAS

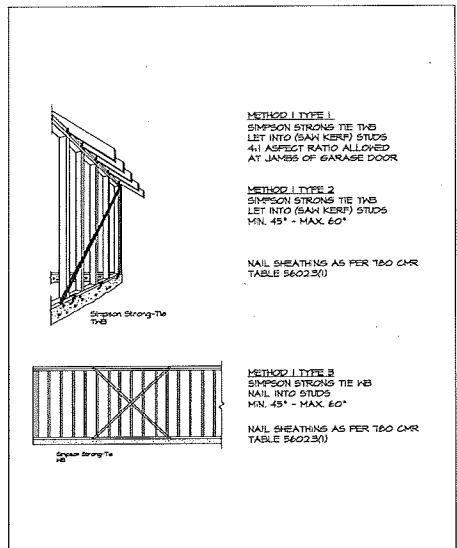
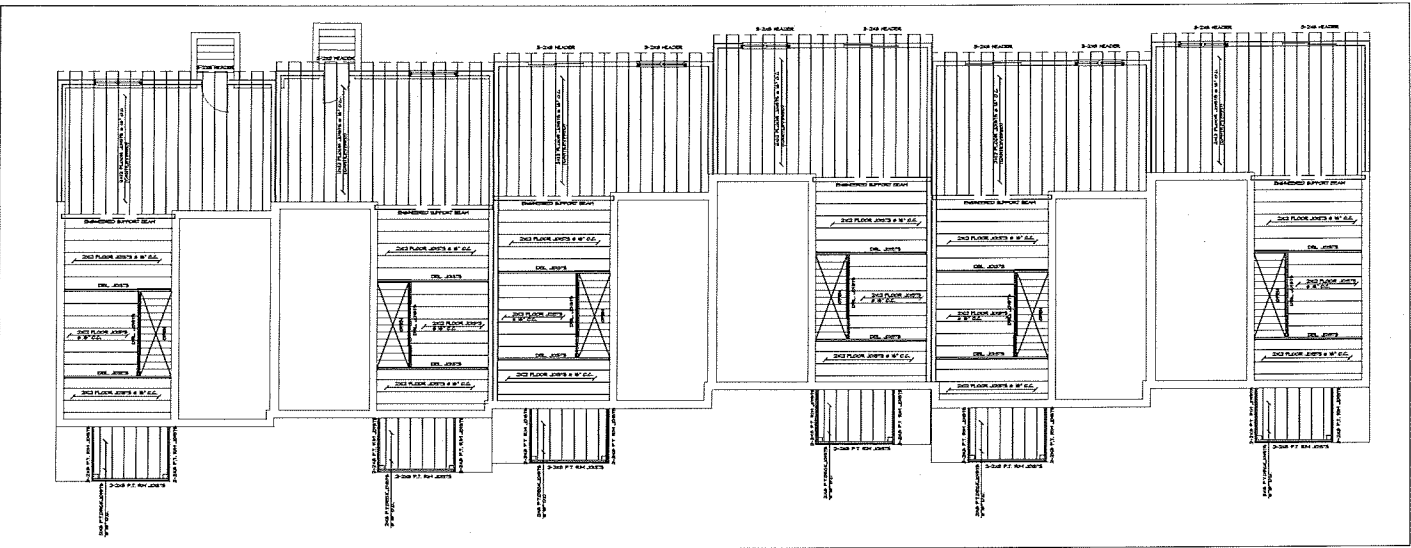
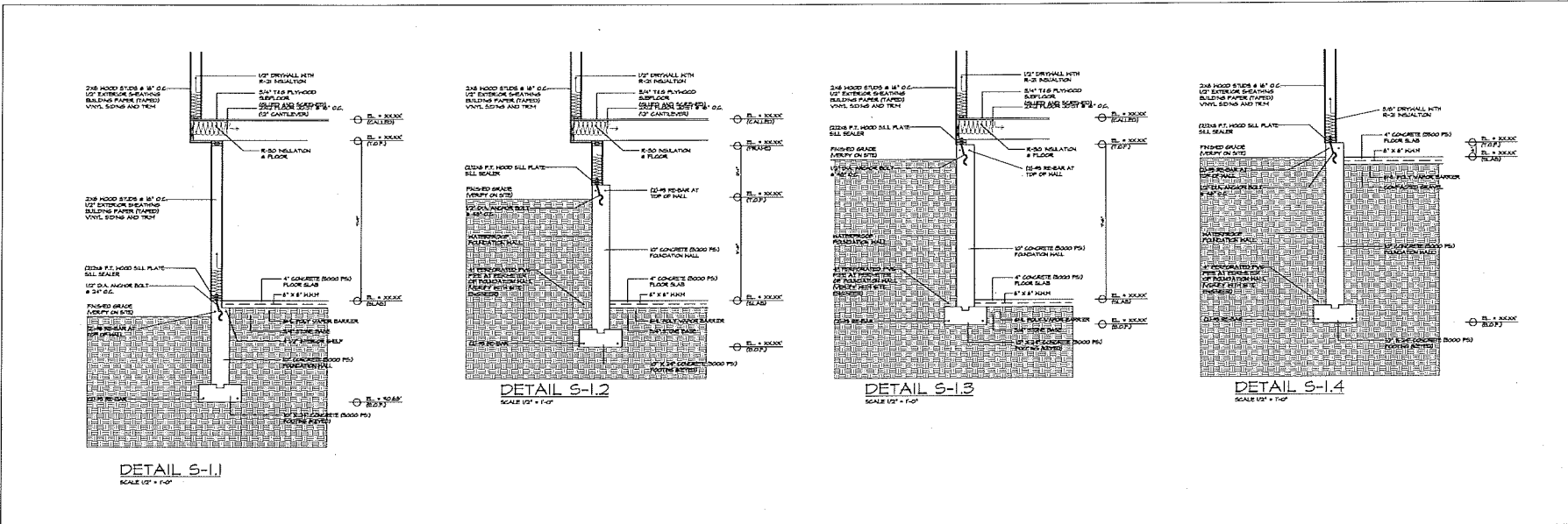
DATE: 11-22-2017

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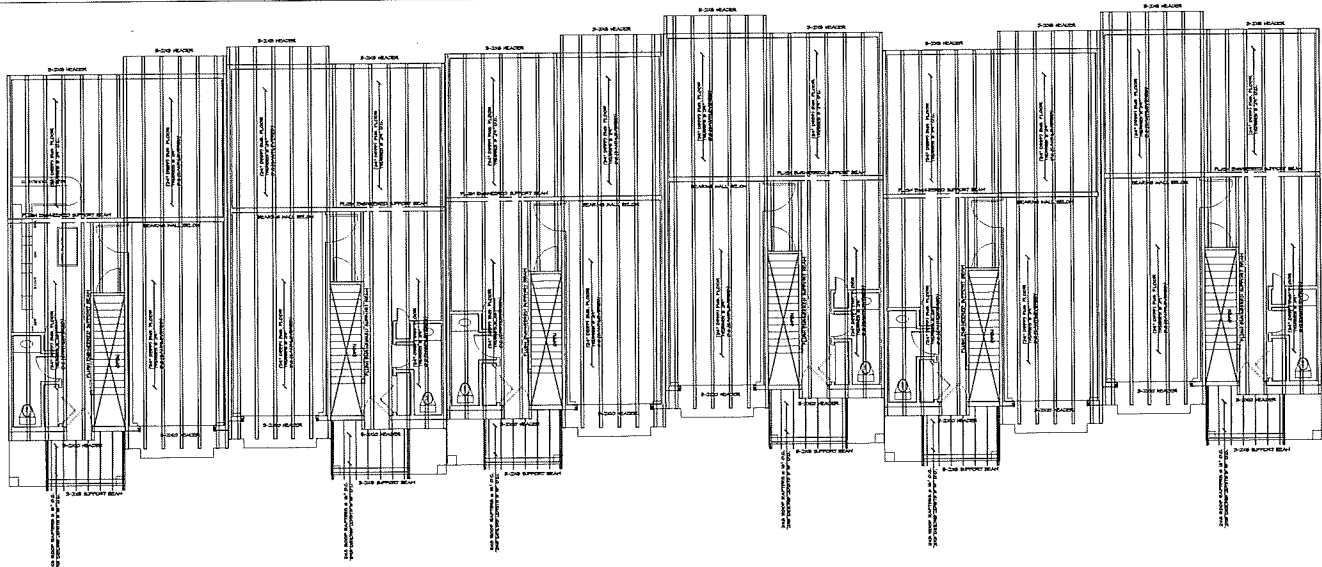
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SHEET NUMBER

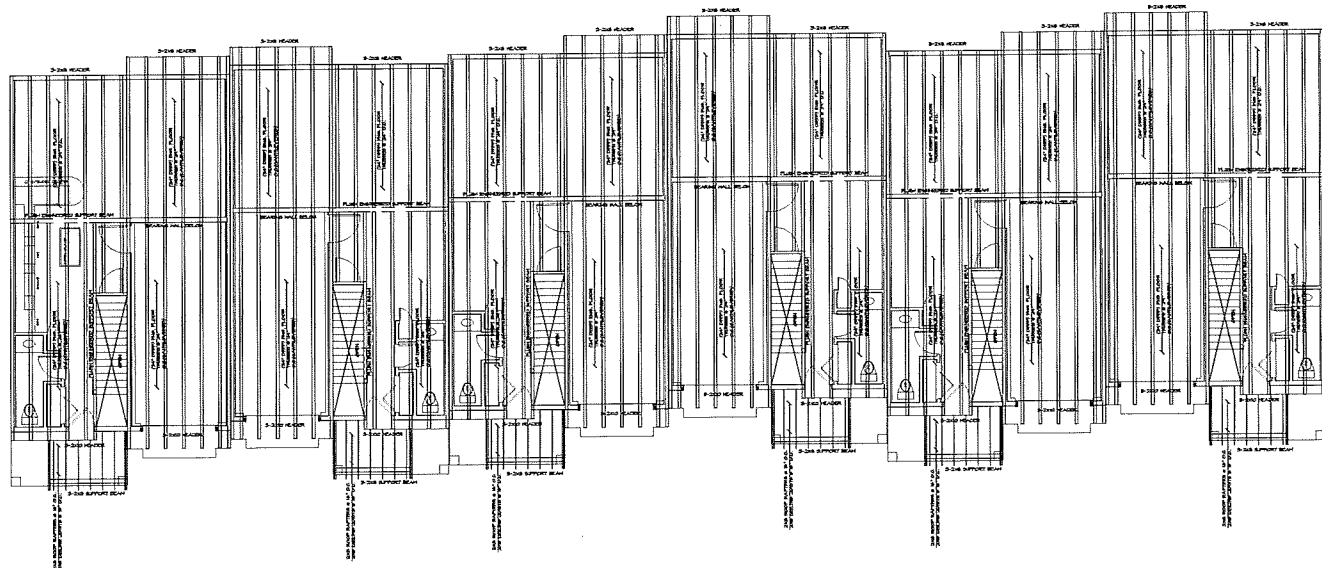
S-100



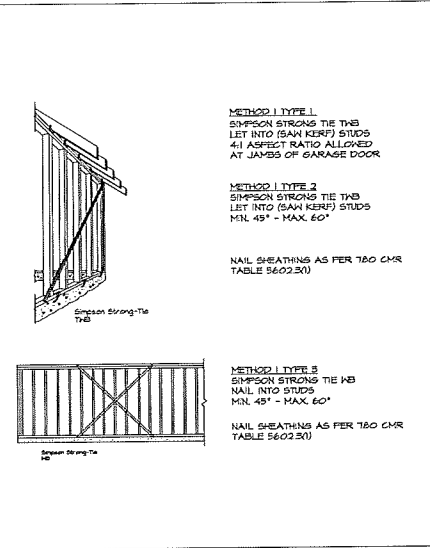
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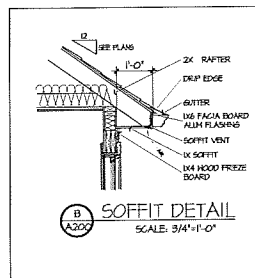
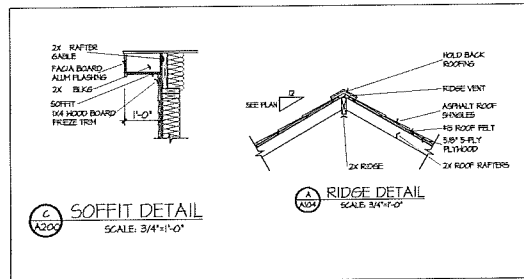
ROOF FRAMING PLAN
SCALE: 3/16" = 1'-0"



SECOND FLOOR FRAMING PLAN
SCALE: 3/16" = 1'-0"



WALL BRACING DETAIL
SCALE: NOT TO SCALE



REVISIONS	ISSUES	OWNER
#	DATE	DATE

ARCHITECT: **JGA** ARCHITECTURE
200 HUNTER STREET
HOLLISTON, MA 01946
TEL: 508-253-0200
WWW.JGARCHITECTURE.COM

CIVIL ENGINEER

PROJECT TITLE:
MULTI FAMILY RESIDENCE
161 ALPINE PLACE
FRANKLIN, MA

REVISIONS	ISSUES	
#	DATE	DATE

DRAWN BY:
JAG/AMH
CHECKED BY:
JAG
DATE: 11-23-2017

SHEET TITLE:
STRUCTURE PLAN
SHEET NUMBER:
S-102

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) **General Information**

Name of Business or Project: McDonald's Restaurant

Property Address 345 East Central Street

Assessors' Map # 285 Parcel # 112

Zoning District (select applicable zone): Commercial II District

Zoning History: Use Variance _____
Non-Conforming Use _____

B) **Applicant Information:**

Applicant Name: McDonald's USA, LLC

Address: 690 Canton Street
Westwood, MA

Telephone Number: (781) 329-1450

Contact Person: Rhona Murray (Rhona.murray@us.mcd.com)

C) **Owner Information (Business Owner & Property Owner if different)**

Business Owner: _____ Property Owner: McDonald's Real Estate Company
Address: _____ One McDonald's Plaza
_____ Oak Brook, IL 60523

All of the information is submitted according to the best of my knowledge

Brian Sheedy
Signature

Print Name: BRIAN T. SHEEDY

11.20.2017
Date Submitted

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: SkyBorne Technologies _____

Contact Person: _____

Address P.O. Box 875, Westford, MA 01886 _____

Telephone Number: _____

E) Work Summary

Summary of work to be done: Re-design of drive-thru configuration, accessibility upgrades and exterior/interior building remodel.

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. _____

The Height of the new structure will be the same as it was before construction $\pm 19'-4"$.

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area.

The existing windows and doors will be replaced with new energy efficient windows and doors of like kind and size. The only difference will be the removal of the existing bay window with a regular store front

window. Doors will be replaced with new doors of same size.

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. _____

The building is not changing from the existing footprint/size

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. The roof shape did not change in the front of the building but

the rear mansard roof is proposed to change to a parapet to match the front.

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. The scale of the building is not changing. _____

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: _____

Façade to be streamlined and will be one uniform color.

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. _____

The new signage will be of like size and kind limited to (2) Arch signs, and (1) wordmark sign and will not be any color that wasn't already approved.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties.

This is a commercial area with existing advertising signs. All new signs are of like size and color to what is currently existing.

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable.

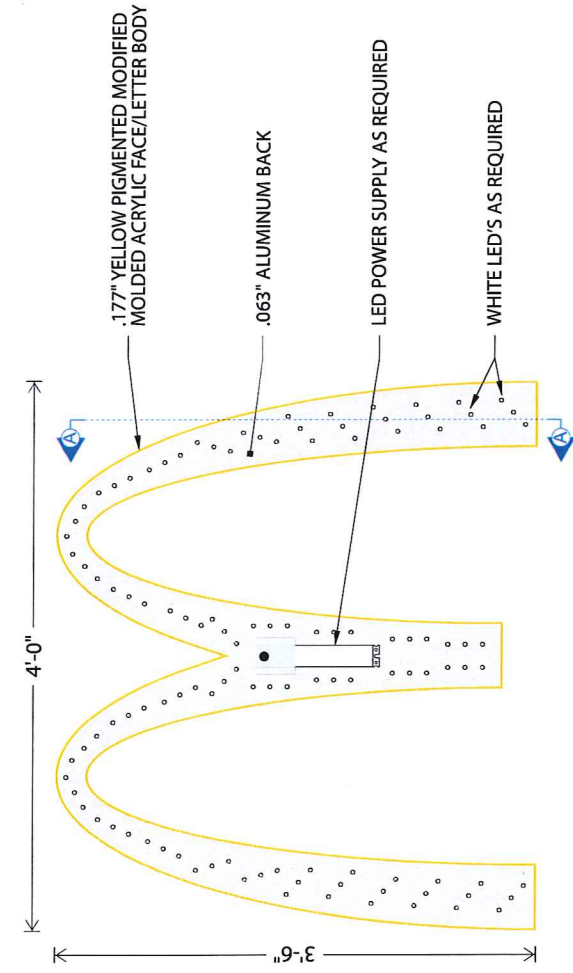
Not applicable

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. The new windows are energy efficient and materials used are made from sustainable materials.

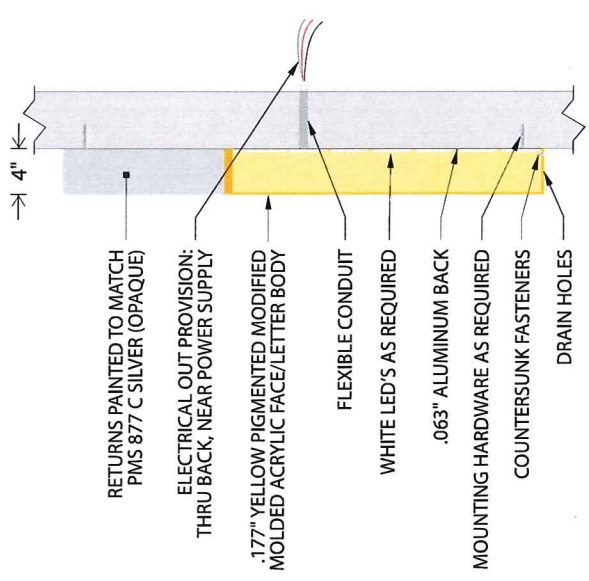
11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.

No new landscaping will be added nor any existing removed.

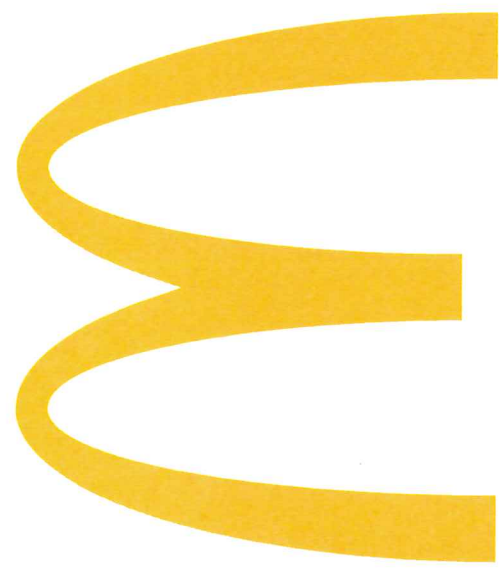
SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.



FRAME & LAMP DETAIL
SCALE: 3/4" = 1'-0"



CROSS SECTION A-A
SCALE: 3/4" = 1'-0"



GRAPHIC DETAIL
SCALE: 3/4" = 1'-0"

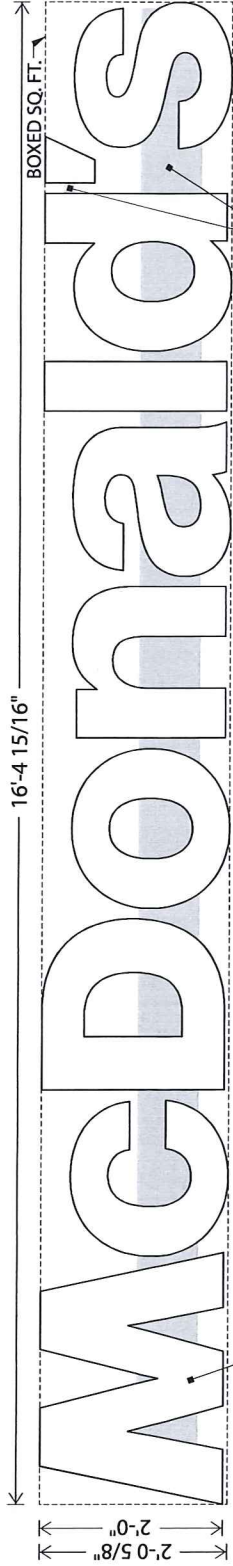
FRAME DETAIL:
 DESIGN FACTOR: TBD
 .177" FORMED YELLOW PIGMENTED (PMS 123 C)
 MODIFIED ACRYLIC FACE/LETTER BODY
 EXTERIOR FINISH: PAINTED TO MATCH PMS 877 C SILVER (OPAQUE)
 INTERIOR FINISH: PAINTED STARBRIGHT WHITE (OPAQUE)
 .063" ALUMINUM BACK - PAINTED STARBRIGHT WHITE
 LETTER BODY REMOVABLE FOR SERVICE ACCESS
 U.L. APPROVED
 ELECTRICAL: 0.85 AMPS, 120 VOLTS
 SQUARE FOOTAGE:
 BOXED = 14.00
 ACTUAL = 4.90

Customer:	McDONALD'S	Prepared By:	RA	Revision:	-
Date:	08/01/12	Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.			
Item Number:	MCD-42WALLARCHING-S	File Name:	McD 42" Wall Arch (Next Gen)		

DISTRIBUTED BY SIGN UP COMPANY
 700 21st Street Southwest
 PO Box 210
 Watertown, SD 57201-0210
 1 (800) 843-9888 • www.personasigns.com



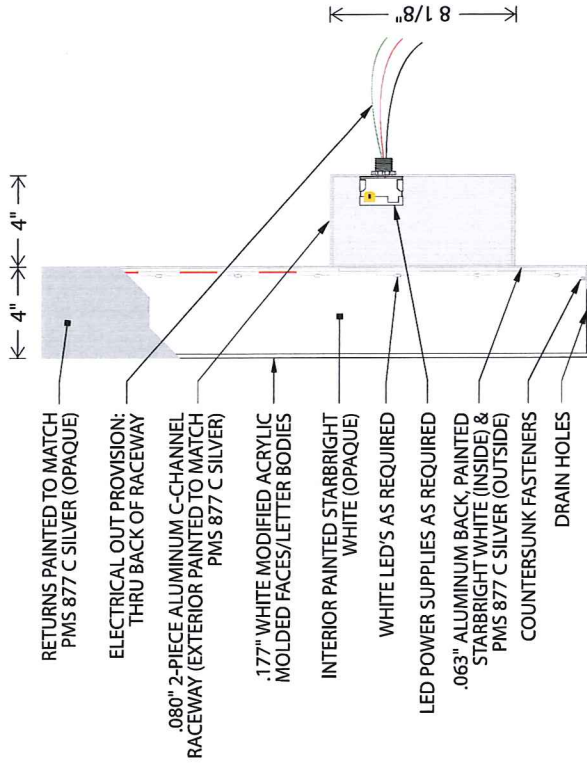
16'-4 15/16"



.177" WHITE MODIFIED ACRYLIC MOLDED FACES/LETTER BODIES

RACEWAYS AND CONNECTOR TUNNEL TO BE PAINTED TO MATCH PMS 877 C SILVER

GRAPHIC DETAIL
SCALE: 1/2" = 1'-0"



RETURNS PAINTED TO MATCH PMS 877 C SILVER (OPAQUE)

ELECTRICAL OUT PROVISION: THRU BACK OF RACEWAY

.080" 2-PIECE ALUMINUM C-CHANNEL RACEWAY (EXTERIOR PAINTED TO MATCH PMS 877 C SILVER)

.177" WHITE MODIFIED ACRYLIC MOLDED FACES/LETTER BODIES

INTERIOR PAINTED STARBRIGHT WHITE (OPAQUE)

WHITE LED'S AS REQUIRED

LED POWER SUPPLIES AS REQUIRED

.063" ALUMINUM BACK, PAINTED STARBRIGHT WHITE (INSIDE) & PMS 877 C SILVER (OUTSIDE)

COUNTERSUNK FASTENERS

DRAIN HOLES

LETTER PROFILE
SCALE: 1 1/2" = 1'-0"

- NOTES:**
- .177" MOLDED WHITE MODIFIED ACRYLIC LETTER BODIES INSTALLED ON ALUMINUM BACKS
 - EXTERIOR FINISH: MATCH PMS 877 C SILVER (OPAQUE); BACKS PAINTED PMS 877 C SILVER
 - INTERIOR FINISH: STARBRIGHT WHITE (OPAQUE)
 - LETTER BODIES REMOVABLE FOR SERVICE ACCESS
 - ACCESS PANEL BEHIND LETTER "n" FOR RACEWAY ACCESS
 - U.L. APPROVED
 - ELECTRICAL: 2.50 AMPS, 120 VOLTS
 - SQUARE FOOTAGE:
BOXED = 33.38
ACTUAL = 19.53

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

Revision: -

DISTRIBUTED BY SIGN UP COMPANY
700 21st Street Southwest
PO Box 210
Watertown, SD 57201-0210
1 (800) 843-9888 • www.personasigns.com

PERSONA
SIGN MAKERS / IMAGE BUILDERS

Customer: McDonald's	Date: 07/31/12	Prepared By: RA	Item Number: MCD-24WORDMARKS
File Name: MCD 24" WORDMARK		Revision: -	





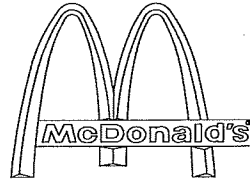






SITE DEVELOPMENT PLANS

FOR:
PROPOSED

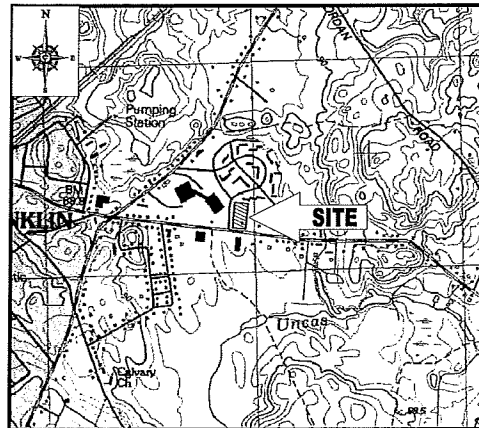


WITH DRIVE-THRU

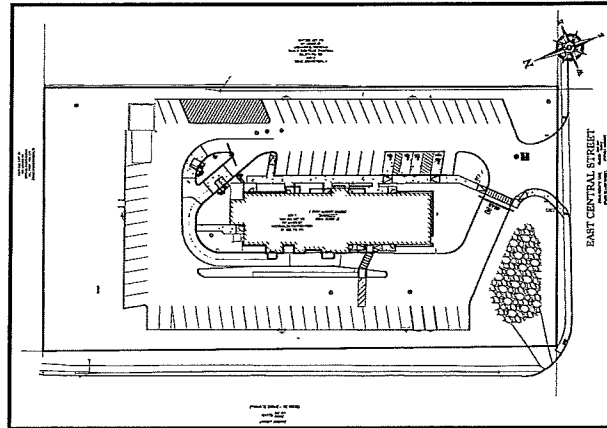
LOCATION OF SITE:

345 EAST CENTRAL STREET
TOWN OF FRANKLIN
NORFOLK COUNTY, MASSACHUSETTS

LOT 112, MAP 285



LOCATION MAP
SCALE: 1"=100'
PLAN REFERENCE: MASSGIS OVER



AREA PLAN
SCALE: 1"=50'

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-1 OF 11
GENERAL NOTES SHEET	C-2 OF 11
DEMOLITION PLAN	C-3 OF 11
SITE PLAN	C-4 OF 11
GRADING & DRAINAGE PLAN	C-5 OF 11
SOIL EROSION & SEDIMENT CONTROL PLAN	C-6 OF 11
SOIL EROSION CONTROL NOTES & DETAILS SHEET	C-7 OF 11
DETAIL SHEET	C-8 OF 11
DETAIL SHEET	C-9 OF 11
LANDSCAPE PLAN	C-10 OF 11
LANDSCAPE NOTES	C-11 OF 11
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 OF 1

SHEET INDEX

GENERAL NOTES:

- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND GRADING.
- ALL ELEVATIONS SHOWN ARE BASED UPON HANDS.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS, FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE. FOUNDATION DESIGN AND CONSTRUCTION IS BY THE GENERAL CONTRACTOR.

PAVING SPECIFICATION

(SEE PAVEMENT DETAIL)

FLEXIBLE PAVEMENT SECTION
 -1.5" M44.07- CLASS 2 TOP COURSE
 -1.5" M44.02- CLASS 1 BASE COURSE
 -12" M42.04 TYPE C PROCESSED GRAVEL SUBBASE

RIGID PAVEMENT SECTION
 -8.0" 4500 PSI AIR-ENTRAINED CONCRETE
 -8.0" 4500 PSI AIR-ENTRAINED CONCRETE AT TRASH ENCLOSURE
 -12" M42.04 TYPE C PROCESSED GRAVEL SUBBASE

NOTE: FINAL PAVEMENT SPECIFICATIONS TO BE COORDINATED WITH GEOTECHNICAL REPORT RECOMMENDATIONS. MAJOR UTILITY ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF MCDONALD'S, OTHERWISE, E.G. WILL BE CHARGED.

LOT LIGHTING SUPPLIED BY

PARKING INFORMATION

TOTAL SPACES	75
11 PROPOSED SPACES	8.0' x 18.0' @ 80'
60 EXISTING SPACES	
4 PROPOSED ACCESSIBLE SPACES	8.0' x 20.0' @ 80'

UTILITY INFORMATION

SANITARY SEWER	SIZE	TYPE	LOCATION
WATER	8"	TBO	ON-SITE
STORM SEWER	15"	RCF	EAST CENTRAL ST. R.O.W. ON-SITE
ELECTRIC	TBO	OH	ON-SITE
GAS	TBO	TBO	ON-SITE

SURVEY INFORMATION

PREPARED BY: CONTROL POINT ASSOCIATES, INC.
 352 TURNPIKE ROAD
 SOUTH BORDEN, MA 01772
 JOB # 03-10135
 DATE: JUNE 12, 2017

TYPICAL LEGEND

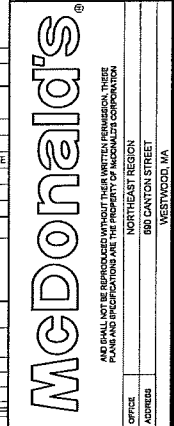
EXISTS	PROPOSED
PROPERTY LINE	PROPERTY LINE
SEWER	SEWER
EASEMENT	EASEMENT
CURB	CURB
STORM MANHOLE	STORM MANHOLE
SEWER MANHOLE	SEWER MANHOLE
CATCH BASIN	CATCH BASIN
WETLAND FLAG	WETLAND FLAG
WETLAND LINE	WETLAND LINE
SPOT ELEVATION	SPOT ELEVATION
TOP & BOTTOM OF CURB	TOP & BOTTOM OF CURB
CONTOUR	CONTOUR
FLYING ARROW	FLYING ARROW
PAINTED ARROW	PAINTED ARROW
OVERHEAD WIRE	OVERHEAD WIRE
GAS LINE	GAS LINE
TELEPHONE LINE	TELEPHONE LINE
ELECTRIC LINE	ELECTRIC LINE
WATER LINE	WATER LINE

SITE DEVELOPMENT PLANS

STREET ADDRESS
345 EAST CENTRAL STREET

CITY	STATE
FRANKLIN	MA
COUNTY	
NORFOLK	

REGIONAL DWS. NO	PLAN DESCRIPTION
20-0271	COVER SHEET



DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE

STATUS	DATE	BY
DRAWN BY:	11/21/17	DJF
PLAN CHECKED:	11/21/17	WL
AS-BUILT		
SHEET NO.	C-1	
	OF 11	

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING

LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

OFFICE: 352 TURNPIKE ROAD, SOUTH BORDEN, MA 01772
 PHONE: (508) 406-0050
 WWW.BOHLERENGINEERING.COM

COMPLIANCE CHECK DATE
 CONSTRUCTION CHECK DATE
 PROJECT NO.: M172008
 CAD I.D. #: M172008_110.dwg

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY UNDERSTAND AND COMPLY WITH THESE REQUIREMENTS.
1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS CONTRACT.
A. SURVEY, "SODANARY TOPOGRAPHIC SURVEY, MAJORS LANE, LLC, 345 EAST CENTRAL STREET, PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED JUNE 12, 2017.

GENERAL DEMOLITION NOTES

- THIS PLAN REFLECTS DEMOLITION AND RECONSTRUCTION.
1. THIS PLAN REFLECTS DEMOLITION AND RECONSTRUCTION.
A. SURVEY, "SODANARY TOPOGRAPHIC SURVEY, MAJORS LANE, LLC, 345 EAST CENTRAL STREET, PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED JUNE 12, 2017.
2. CONTRACTOR SHALL REMOVE ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, 29 USC § 6101 AND 29 CFR 1910.21.
3. BOILER ENGINEERING HAS CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION OR ANYTHING RELATED TO SAME.

GENERAL GRADING & UTILITY PLAN NOTES

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
1. CONTRACTOR SHALL VERIFY ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, AND ANY ADDITIONAL UTILITIES AND SERVICES. CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY THE LOCATION OF ALL UTILITIES AND SERVICES BEGINNING AT THE LOWEST POINT OF CONNECTION AND PROCEEDING UPWARD.
2. CONTRACTOR SHALL VERIFY ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, AND ANY ADDITIONAL UTILITIES AND SERVICES. CONTRACTOR SHALL BE RESPONSIBLE TO IDENTIFY THE LOCATION OF ALL UTILITIES AND SERVICES BEGINNING AT THE LOWEST POINT OF CONNECTION AND PROCEEDING UPWARD.

TYPICAL ABBREVIATIONS

Table with columns: KEY, DESCRIPTION, KEY, DESCRIPTION. Includes entries for BOTTOM CURB, TOP CURB, SACK OF CURB, BOTTOM OF WALL GRADE, TOP OF WALL, EXIST, EXISTING, BENCHMARK, EDGE OF PAVEMENT, CENTERLINE, FINISHED FLOOR, VERIFY IN FIELD, GENERAL CONTRACTOR, HIGH POINT, LOW POINT, TYPICAL, INTERSECTION, POINT OF CURVATURE, POINT OF TANGENCY, POINT OF INTERSECTION, POINT OF VERTICAL INTERSECTION, STATION, GRADE, INVERT, DUCTILE IRON PIPE, POLYETHYLENE GLYCOL PIPE, HIGH DENSITY POLYETHYLENE PIPE, REINFORCED CONCRETE, SLOPE, METEOROLOGICAL.

REFER TO SITE PLAN FOR ZONING ANALYSIS TABLE AND LAND USE/ZONING INFORMATION & NOTES

REFER TO SOIL EROSION CONTROL NOTES & DETAILS SHEET FOR TYPICAL EROSION NOTES AND DETAILS

ADA INSTRUCTIONS TO CONTRACTOR:

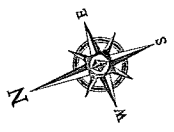
- CONTRACTOR MUST PROVIDE APPROPRIATE CURB AND PAVEMENT IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE.
1. THESE COMPONENTS AS CONTRACTED MUST COMPLY WITH APPLICABLE STATE AND LOCAL ACCESSIBILITY (LAW AND REGULATION) AND THE CURRENT ADA DESIGN TRAIL AND TRANSITATION ACCESS BOARD STANDARDS AND REGULATIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

BOHLER ENGINEERING logo and contact information including address (1000 SOUTHWOOD DR, WESTWOOD, MA 01977) and phone number (978-261-1111).

Table for COMPLIANCE CHECK, CONSTRUCTION CHECK, and CONTRACTOR CHECK with columns for DATE and STATUS.

Form for SITE DEVELOPMENT PLANS including fields for STREET ADDRESS (345 EAST CENTRAL STREET), CITY (FRANKLIN), STATE (MA), COUNTY (NORFOLK), REGIONAL DWA. NO (20-0271), and PLAN DESCRIPTION (GENERAL NOTES SHEET).

McDonald's logo and vertical text: 'AS-BUILT NOTES AND SPECIFICATIONS ARE THE PROPERTY OF MAGNOLIA CORPORATION. ALL RIGHTS RESERVED. 800 CANTON STREET, WESTWOOD, MA'. Includes a circular seal for the State of Massachusetts.



LAND USE / ZONING INFORMATION & NOTES

1. APPLICANT / OWNER
MCDONALD'S USA, LLC
800 CANTON STREET,
WESTWOOD, MA, 02090
2. PARCEL:
LOT 112 MAP 205
345 EAST CENTRAL STREET
CITY OF FRANKLIN
NORFOLK COUNTY, MASSACHUSETTS

ZONING ANALYSIS TABLE			
ZONING DISTRICT	ZONE COMMERCIAL 4 DISTRICT USE RESTAURANT (PERMITTED BY FOOD SIGN DISTRICT, COMMERCIAL & BUSINESS CORRIDOR DISTRICT)	REQUIRED	EXISTING
ZONE CRITERIA			
MINIMUM LOT AREA		40,000 SQ. FT.	78,720 SQ. FT.
MINIMUM LOT WIDTH		102.5 FT.	180 FT.
MAX. BUILDING COVERAGE		75%	2%
MIN. FRONT SETBACK		40 FT.	56.8 FT.
MIN. SIDE SETBACK		30 FT.	74.2 FT.
MIN. REAR SETBACK		30 FT.	140.3 FT.
MAX. BUILDING HEIGHT		1 STORY MAX 40 FT.	1 STORY
APPROXIMATE COVERAGE		82%	5%
COURTYARD FRONTAGE		15 FT.	150 FT.
LOT DEPTH		200 FT.	300 FT.
PARKING SPACES		40	64
ACCESSIBLE SPACES		3	4
PARKING CRITERIA		REQUIRED (P11): 1 SPACE PER EVERY 25 RESTAURANT SEATS + 40 SPACES (ASSUMED 100 SEATS) ACCESSIBLE (P11): 1 FOR 51.75 PARKING SPACES, NEED 3 ACCESSIBLE SPACES (1 + 1 + 1)	

SIGN SUMMARY TABLE			
TYPE	ALLOWED	EXISTING	PROPOSED
SITE SIGNAGE			
FREESTANDING SIGN	MAX AREA = 60 SQ. FT. MAX HEIGHT = 20 FT.	1 "MCDONALD'S" I.D. SIGN (10 SQUARE)	
BUILDING SIGNAGE			
FRONT WALL SIGN	SEE BELOW	1 "MCDONALD'S" SIGN 1 "M" LOGO	1 "MCDONALD'S" SIGN @ 33 SF 1 "M" LOGO @ 14 SF
NON DRIVE THRU WALL SIGN	SEE BELOW	1 "M" LOGO SIGN	1 "M" LOGO @ 14 SF
DRIVE THRU WALL SIGN	SEE BELOW	1 "M" LOGO SIGN	
REAR WALL SIGN	SEE BELOW		
TOTAL BUILDING SIGNAGE (FIRST FLOOR STOREFRONT FACING STREET CORNER)	MAX NUMBER = 3 SIGNS MAX AREA = 64 SF	3 SIGNS*	3 SIGNS TOTAL: 1 "MCDONALD'S" SIGN, 2 "M" LOGOS = 64 SF

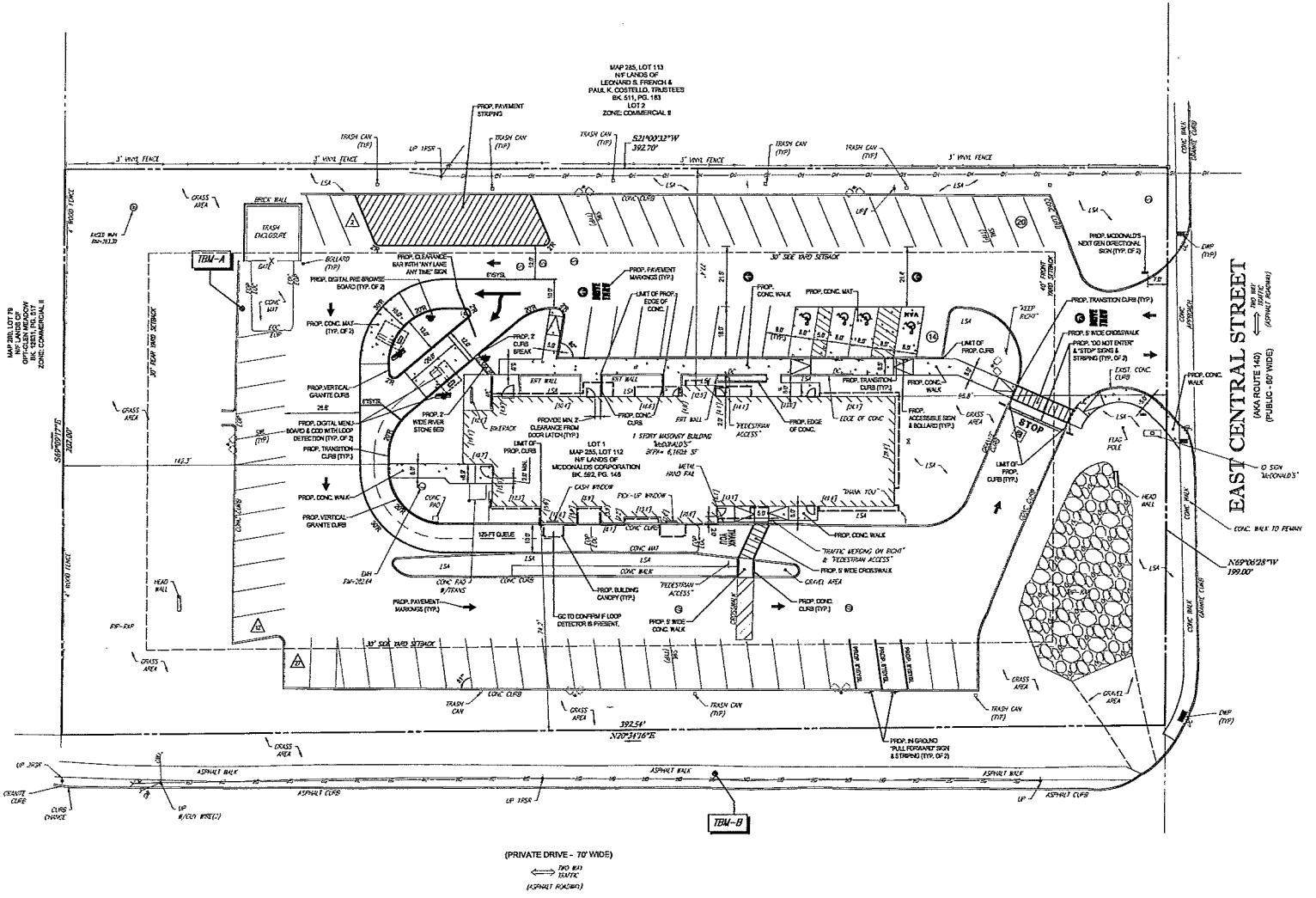
NOTE: ALL SIGNS ARE "BOXED" FOR CALCULATIONS
*NUMBER OF SIGNS; EXISTING NONCONFORMITY, MAX ALLOWABLE AREA NOT EXCEEDED.

PAVEMENT STRIPING LEGEND	
	4' SINGLE YELLOW SOLID LINE
	4' SINGLE YELLOW SOLID LINE
	4' SINGLE WHITE SOLID LINE

REFER TO GENERAL NOTES
SHEET FOR NOTES

THIS PLAN TO BE UTILIZED FOR SITE
LAYOUT PURPOSES ONLY

DOOR PULL NOTE: NEW SIDEWALK
CONSTRUCTION SHALL BE ADA
COMPLIANT WITH EDGE OF NEW
SIDEWALK AND ANY OBSTRUCTION,
INCLUDING RAILINGS, BEING
INSTALLED A MINIMUM OF 24" FROM
THE DOOR LATCH.



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SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

- UPRSTATE NEW YORK
- NEW ENGLAND
- NEW YORK METRO
- NEW YORK NY
- NEW JERSEY
- PHILADELPHIA, PA
- LEHIGH VALLEY, PA
- SOUTH/EASTERN PA
- PENNSYLVANIA, PA
- BALTIMORE, MD
- SOUTHERN MARYLAND
- NORTHERN VIRGINIA
- CENTRAL VIRGINIA
- RALEIGH, NC
- CHARLOTTE, NC
- TAMPA, FL
- SOUTH FLORIDA

300 TURNPIKE ROAD
NORTHBOROUGH, MA 01772
PHONE: 508-840-0000
www.BohlerEngineering.com

COMPLIANCE CHECK	DATE
CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	M172008
CAD I.D. #:	M172008_s15.dwg

SITE DEVELOPMENT PLANS	
STREET ADDRESS 345 EAST CENTRAL STREET	
CITY FRANKLIN	STATE MA
COUNTY NORFOLK	
REGIONAL DWG. NO 20-0271	PLAN DESCRIPTION SITE PLAN

BY: _____
REV: _____ DATE: _____ DESCRIPTION: _____

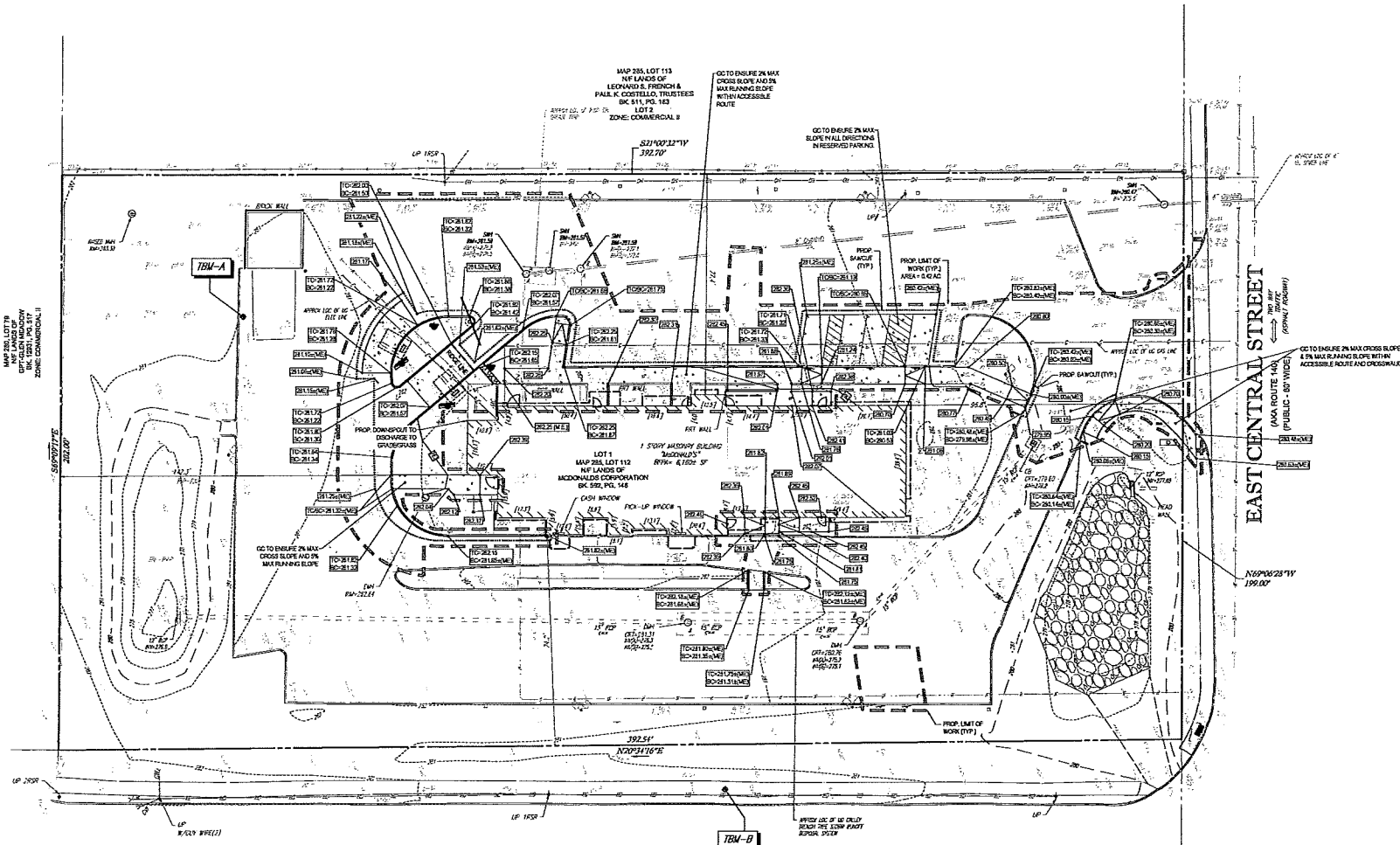
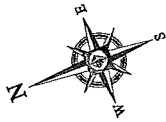
S.P. 10
SEAL OF THE STATE OF MASSACHUSETTS
PLANNING BOARD

McDonald's
NORTH/EAST REGION
800 CANTON STREET
WESTWOOD, MA

OFFICE ADDRESS: _____
DATE: _____
SIGNATURE: _____
APPROVED MCDONALD'S AGENT

PLAN APPROVALS	DATE	BY
DRAWN BY:	11/21/17	D.J.F.
PLAN CHECKED:	11/21/17	W.L.
AS-BUILT		
SHEET NO.	C-4	
	OF 11	





(PRIVATE DRIVE - 70' WIDE)
 70' WIDE DRIVE
 (ALPHABET POSITION)

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES



BOHLER ENGINEERING
 SITE DEVELOPMENT PLANS
 STREET ADDRESS: 345 EAST CENTRAL STREET
 CITY: FRANKLIN STATE: MA
 COUNTY: NORFOLK
 PROJECT No.: M172008
 CAD I.D. #: M172008_s40.dwg

COMPLIANCE CHECK DATE
 CONSTRUCTION CHECK DATE
 CONSTRUCTION CHECK DATE
 PROJECT No.: M172008
 CAD I.D. #: M172008_s40.dwg

LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

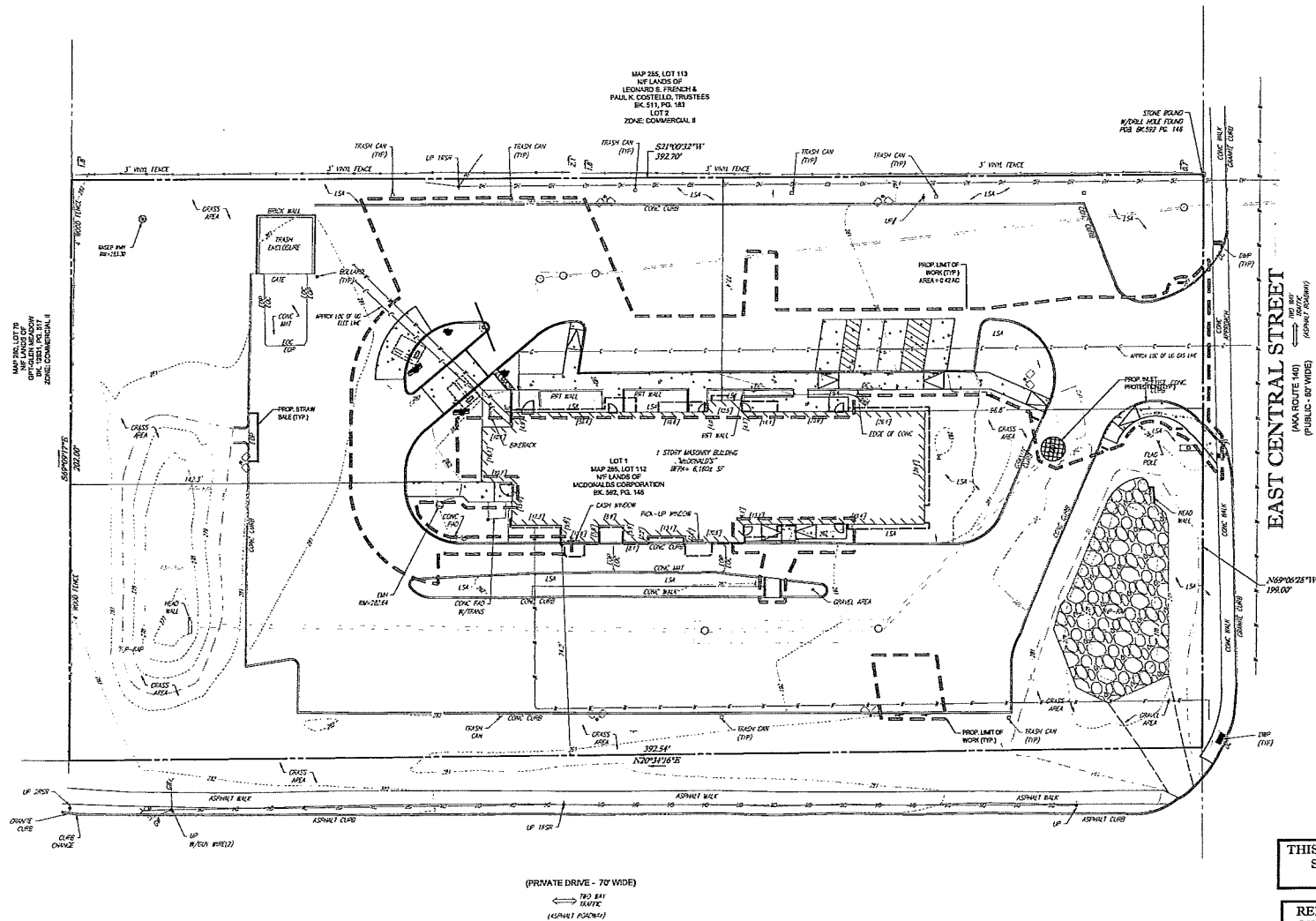
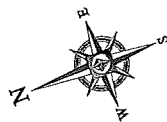
OFFICE ADDRESS: 302 TILBURN ROAD, SOUTHBOROUGH, MA 01772
 PHONE: 508-800-9800
 www.BohlerEngineering.com

REGIONAL DWG. NO.	20-0271	PLAN DESCRIPTION	GRADING & DRAINAGE PLAN
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BY		DATE		DESCRIPTION	
REV		DATE			
<h1>McDonald's</h1>					
REGIONAL DWG. NO. 20-0271 PLAN DESCRIPTION GRADING & DRAINAGE PLAN OFFICE ADDRESS: 345 EAST CENTRAL STREET, FRANKLIN, MA 01772 PROJECT NO.: M172008					
PLAN APPROVALS	DATE	SIGNATURE	APPROVED (MAGNETICALLY IDENTIFIED)		
STATUS	DATE	BY			
DRAWN BY:	11/21/17	D.J.F.			
PLAN CHECKED:	11/21/17	W.L.			
AS-BUILT					
SHEET NO.	C-5				
	OF 11				

811 Know what's below. Call before you dig.





THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS



BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

15 STATE NEW YORK PHILADELPHIA PA NORTHERN VIRGINIA
 NEW HAMPSHIRE LEHIGH VALLEY PA CENTRAL VIRGINIA
 BOSTON MA SOUTHEASTERN PA BALTIMORE MD
 NEW YORK METRO WASHINGTON BEACH DE CHARLOTTE NC
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332 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 PHONE 508.850.8800
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COMPLIANCE CHECK	DATE
CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	M172005
CAD LD. #:	M172005_02.dwg

SITE DEVELOPMENT PLANS	
STREET ADDRESS 345 EAST CENTRAL STREET	
CITY FRANKLIN	STATE MA
COUNTY NORFOLK	
REGIONAL DWG. NO. 20-0271	PLAN DESCRIPTION SOIL EROSION & SEDIMENT CONTROL PLAN

BY			
DATE			
REV			
DESCRIPTION			
<h1>McDonald's</h1>			
<small>NO PARTIAL USE OR REPRODUCTION OF THIS PARTIAL REPRODUCTION OF THIS PLAN AND REPRODUCTIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION</small>			
NORTH-EAST REGION 885 CANTON STREET WESTWOOD, MA			
DATE	SIGNATURE	APPROVED MCDONALD'S REPRESENTATIVE	
DATE			
STATUS	DATE	BY	
DRAWN BY:	11/21/17	D.J.F.	
PLAN CHECKED:	11/21/17	W.L.	
AS-BUILT			
SHEET NO.	<h2>C-6</h2>		OF 11



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EROSION & SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE REGULATION AND ERCS ON CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL BE LEFT IN AN UNDISTURBED UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 45 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF FINAL DRAINAGE OF THE SOIL. IF THE DISTURBED AREA IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 30 DAYS OF ANY STREAM EVENT (THIS WOULD INCLUDE NETWORKS).
3. SEDIMENT BARRIERS (SILT FENCE, HAY BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTROLLING DRAINAGE AREA AND MORE THAN 100 FEET FROM THE BARRIERS. BARRIERS SHALL BE SPACED AT 100 FEET INTERVALS. BARRIERS SHALL BE INSTALLED AT THE SAME SPACES FOR ALL SLOPES GREATER THAN 1%.
4. INSTALL SILT FENCE AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE PER NOTES.
5. ALL EROSION CONTROL STRUCTURES SHALL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR WIND HUNT WHEN USUALLY SERVICABLE. TO REMOVE ACCUMULATION OR TECHNOLOGICAL SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIERS. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREA UNDOUBT ARE STABILIZED BY TURF.
6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TO ONE (1) TO ONE (1).
7. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST RAINING PERIOD, USE TEMPORARY MALLOW (DOMINANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
8. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST RAINING PERIOD TO PROTECT FROM EROSION AND TREE LOSS.
9. DURING THE CONSTRUCTION PHASE, INTERRUPTED SEEDING WILL BE RETURNED TO THE SITE AND RESEEDING ON 10 OPEN AREAS.
10. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - 10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - 10.2. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TESTING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 80 LB PER ACRE OR 14 LB PER 1000 SF OF LAND OR EQUIVALENT EQUIVALENT. APPLY CRACK AND CRACK FILLER MATERIAL TO CRACKS AT A RATE OF 1.0 LB PER 1000 SF.
 - 10.3. FLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDING TO A MIXTURE OF 47% CREEPING RED FESCUE, 4% PERPETUUM AND 49% TALL FESCUE. THE MAIN AREAS WILL BE SEEDING TO A PREMIUM TURF MIXTURE OF 47% CREEPING RED FESCUE, 4% CREEPING RED FESCUE, AND 49% PERPETUUM. SEEDING RATE IS 15 LB PER 1000 SF OF LAND OR EQUIVALENT EQUIVALENT. SEEDING MAY BE SUBSTITUTED FOR SEED.
 - 10.4. HYDROMULCH AT THE RATE OF 200 LB PER 1000 SF. A HYDROMULCH MIXTURE OF 100% HYDROMULCH SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BRUSH BLOCKS OR CURBS OR 1/4" PLYWOOD WILL BE USED ON ANY MALLOW FOR WIND CONTROL.
11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

MALCH

LOCATION	MALCH	SITE (1000 SF)
PROJECT AREA	STRAW OR HAY	100 POLARIS
WINDY AREA	SPRINKLED OR CHOPPED CORN STALKS	185-275 POLARIS
	STRAW OR HAY (AND GRASS)	100 POLARIS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCESS BURN MAT	AS REQUIRED

*HYDROMULCH APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BRUSH BLOCKS OR CURBS OR 1/4" PLYWOOD WILL BE USED ON ANY MALLOW FOR WIND CONTROL.

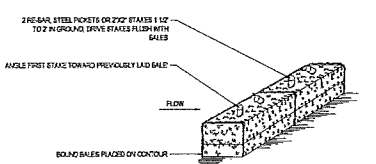
MALCH AND FERTILIZER
 AND/OR MALLOW WITH FERTILIZER (1.5% N, 0.5% P, 0.5% K) SHALL BE APPLIED AS PER MANUFACTURER'S INSTRUCTIONS. CHEMICAL INSTRUCTIONS PER MANUFACTURER'S SPECIFICATIONS. USE OF A BROADCAST STRAIGHT BLADE, NETTING FOR MAIN AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15
2. WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA IS TO BE LIMITED TO THAT WHICH CAN BE MALLOWED IN ONE DAY PRIOR TO ANY SNOW EVENT.
4. CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MALLOWED WITH STRAW OR HAY AT A RATE OF 100 LB PER 1000 SQUARE FEET (WITH OR WITHOUT SEEDING), MALLOWED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, LOW OR REDD WILL NOT BE REQUIRED. DURING PERIODS OF ADVERSE FREEZING TEMPERATURES THE SOILS SHALL BE FINE GRADED AND OTHER PROTECTED WITH MALLOW OR TEMPORARY FENCES AND MALLOWED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOWEDED, FINAL GRADED AND SMOOTHED, THEN THE AREA MAY BE TEMPORARILY SEEDING AT A RATE OF 20 LB PER 1000 SF. SEEDING SHALL BE PERFORMED BEFORE SEEDING AND THEN MALLOWED. IF CONSTRUCTION CONTINUES DURING FREEZING PERIODS, ALL EXPOSED AREAS SHALL BE CONSECUTIVELY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MALLOW. SLOPES SHALL NOT BE LEFT UNPROTECTED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION. PROTECTION IN THE ABOVE MANNER, UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF SALES OF HAY OR FINE CRACK DRAINAGE COVERAGE WITH THE STANDARD DETAILS.
7. MALLOWING REQUIREMENTS:
 - 7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MALCH SHALL BE ANCHORED BY EITHER FINE LIME, MALLOW NETTING OR WOOD CELLULOSE FIBER.
 - 7.2. MALLOW NETTING SHALL BE USED TO ANCHOR MALCH IN ALL DRAINAGE WALES WITH A SLOPE GREATER THAN 1% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 1%.
 - 7.3. MALLOW NETTING SHALL BE USED TO ANCHOR MALCH IN ALL AREAS WITH SLOPES GREATER THAN 1% AFTER OCTOBER 1ST FOR ALL SLOPES GREATER THAN 1%.
8. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DOMINANT SEEDING OR MALLOW AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
9. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MALLOW PRIOR TO PLACEMENT.
10. STOCKPILING OF MATERIALS (SOIL, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION PLACED.
11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

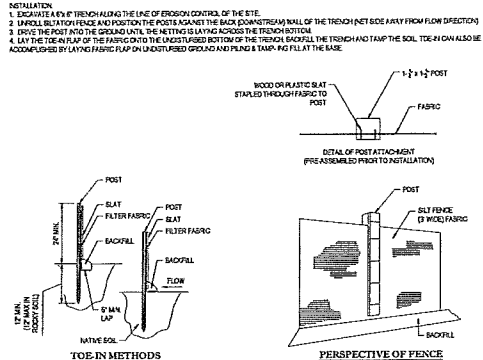
CONSTRUCTION SEQUENCE

- THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCEWAY (AS SHOWN)
 - INSTALLATION OF INLET PROTECTION (AS SHOWN)
 - DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
 - DEMOLITION OF EXISTING SITE FENCEMENT AND ADJACENT SITE DEMOLITION PLAN
 - CLEARING AND GRUBBING
 - EARTHWORK AND EXCAVATION/PILEUP AS NECESSARY
 - STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
 - CONSTRUCTION OF BUILDINGS
 - CONSTRUCTION OF ALL CURBS AND LANDSCAPE ELEMENTS AS INDICATED ON THE PLANS
 - SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MALLOW
 - FINAL GRADING OF ALL SLOPED AREAS
 - PLACE TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZER, SEED, AND MALLOW SEED MIXTURE TO BE INSTALLED REQUIRED.
 - PAVE PARKING LOT
 - LANDSCAPING PER LANDSCAPING PLAN
 - REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME ESTABLISHED TO 70% STABILIZATION OR GREATER



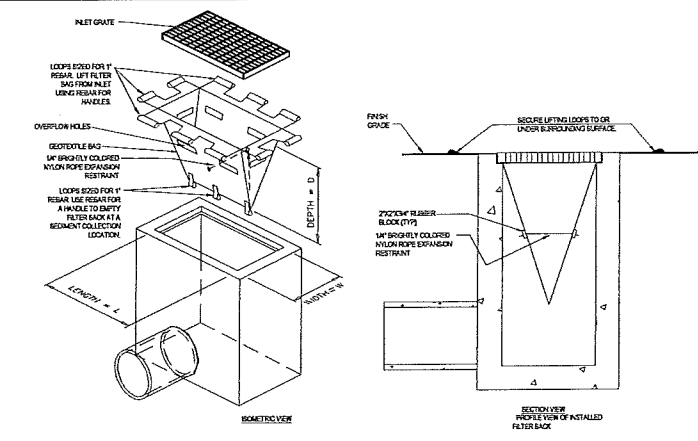
STRAW BALE DETAIL

N.T.S.



TYP. SILTATION FENCE DETAIL

N.T.S.



FILTER SACKS (GRADED INLETS)

N.T.S.

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE

PROPERTIES	TEST METHOD	UNITS
GRASS TENSILE STRENGTH	ASTM D-4832	300 LBS
GRASS TENSILE ELONGATION	ASTM D-4832	25%
PUNCTURE	ASTM D-4833	100 LBS
MULLON BURST	ASTM D-3786	800 PSF
TRAPDOOR TEAR	ASTM D-4833	100 LBS
UV RESISTANCE	ASTM D-4566	6%*
APPROXIMATE OPENING SIZE	ASTM D-4851	41 US SEIVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/PSF FT
PERMEABILITY	ASTM D-4491	0.95 SEC-1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE

PROPERTIES	TEST METHOD	UNITS
GRASS TENSILE STRENGTH	ASTM D-4832	265 LBS
GRASS TENSILE ELONGATION	ASTM D-4832	20%
PUNCTURE	ASTM D-4833	130 LBS
MULLON BURST	ASTM D-3786	400 PSF
TRAPDOOR TEAR	ASTM D-4833	45 LBS
UV RESISTANCE	ASTM D-4566	6%*
APPROXIMATE OPENING SIZE	ASTM D-4851	20 US SEIVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/PSF FT
PERMEABILITY	ASTM D-4491	1.8 SEC-1

1. REMOVE TRAPPED SEDIMENT WHEN PROBABLY EXCEEDS DESIGN RESTRAINT OR AND OTHER BE SEEN.
2. GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
3. PLACE IN PLACE, ADJUSTMENT PAD OR FILL OVER INLET GRATE WHEN SOIL SPILLS ARE A CONCERN.
4. INSPECT FOR REGULATORY REQUIREMENTS.
5. THE WIDTH "W" OF THE FILTER BAGS SHALL MATCH THE INSIDE WIDTH OF THE GRADED INLET BAG.
6. THE LENGTH "L" OF THE FILTER BAGS SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
7. THE LENGTH "L" OF THE FILTER BAGS SHALL MATCH THE INSIDE LENGTH OF THE GRADED INLET BAG.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS



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 AND SHALL NOT BE DEEMED VALID UNLESS THEY ARE SIGNED AND STAMPED BY THE ENGINEER.
 NORTH-EAST REGION
 690 CANTON STREET
 WESTWOOD, MA

DATE	DATE
SIGNATURE	SIGNATURE
PLAN APPROVALS	PLAN APPROVALS

STATUS	DATE	BY
DRAWN BY:	11/21/17	D.J.F.
PLAN CHECKED:	11/21/17	W.L.
AS-BUILT		
SHEET NO.	C-7 OF 11	

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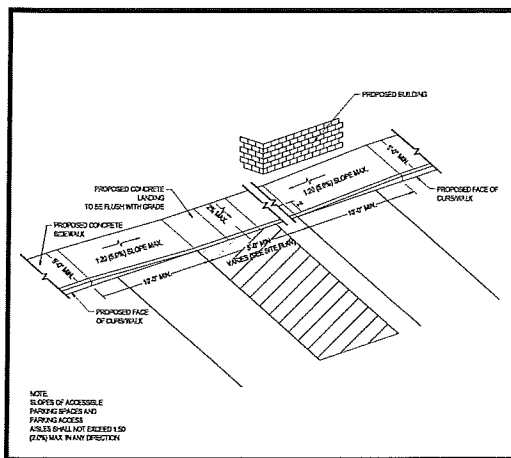
OFFICES:
 • LITTLETON, CO
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COMPLIANCE CHECK	DATE
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PROJECT No.:	M172008
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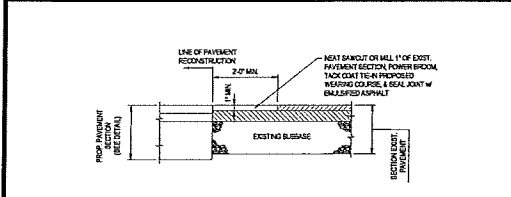
SITE DEVELOPMENT PLANS	
STREET ADDRESS 345 EAST CENTRAL STREET	
CITY FRANKLIN	STATE MA
COUNTY NORFOLK	
REGIONAL DWG. NO. 20-0271	PLAN DESCRIPTION SOIL EROSION CONTROL NOTES & DETAILS SHEET





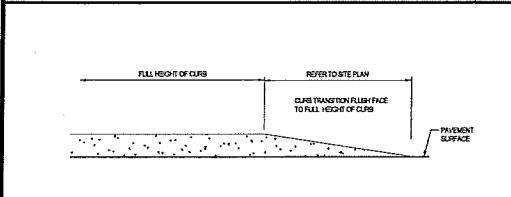
SLOPED WALK DETAIL

N.T.S.



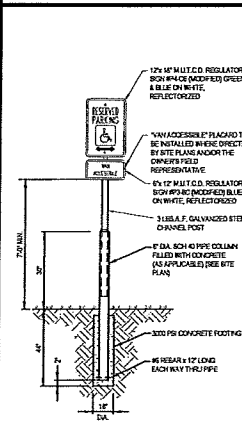
PAVEMENT TIE-IN DETAIL

N.T.S.



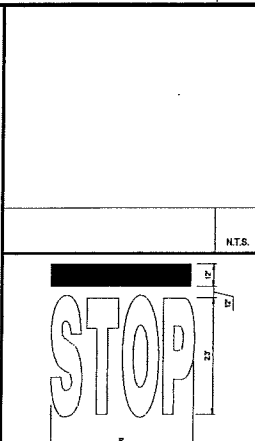
TRANSITION CURB DETAIL

N.T.S.



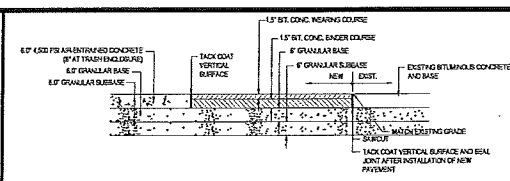
'HANDICAP PARKING ONLY SIGN

N.T.S.



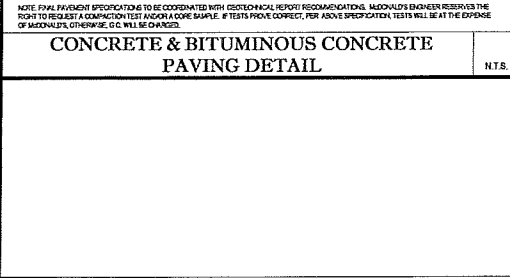
'STOP' BAR DETAIL

N.T.S.



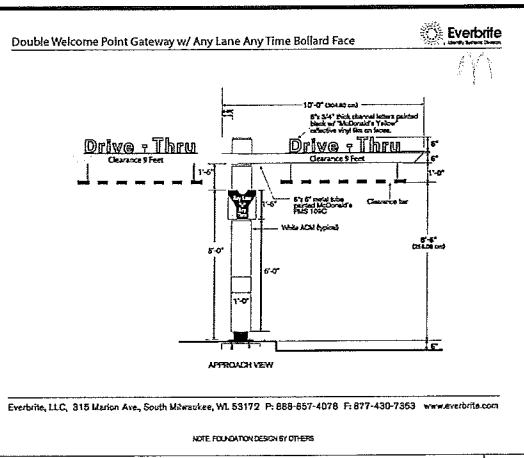
CONCRETE & BITUMINOUS CONCRETE PAVING DETAIL

N.T.S.



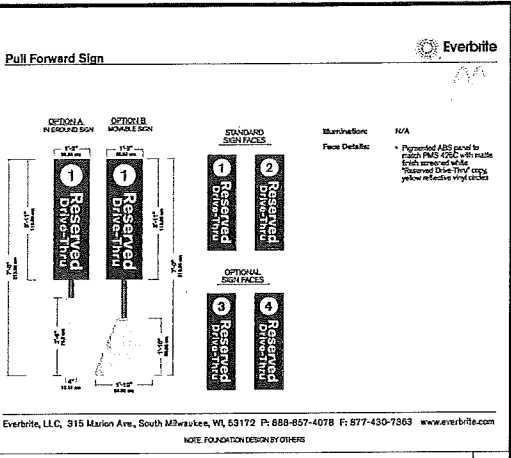
GATEWAY CLEARANCE BAR

N.T.S.



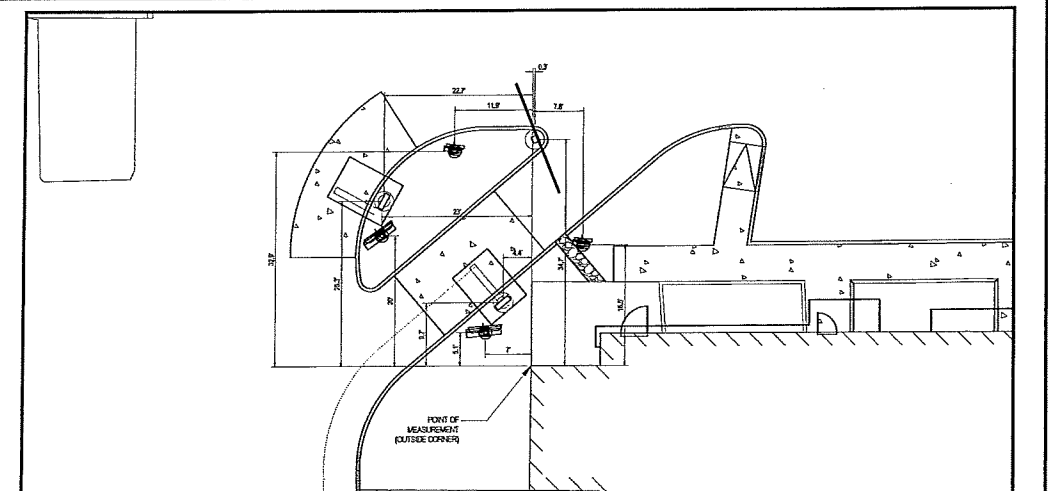
DRIVE-THRU

N.T.S.



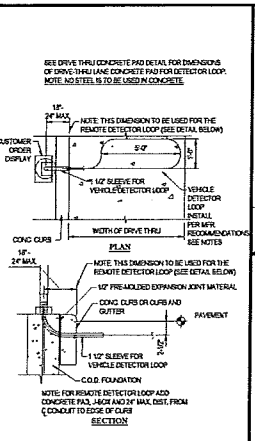
PULL FORWARD SIGN

N.T.S.



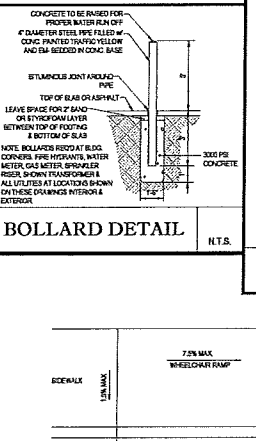
DRIVE-THRU

SCALE: 1/4"=1'-0"



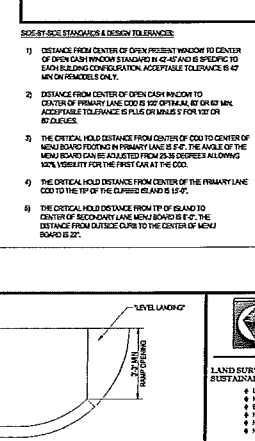
AUTO DETECTOR LOOP DETAIL

N.T.S.



BOLLARD DETAIL

N.T.S.



ACCESSIBLE RAMP DETAIL

N.T.S.

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SITE CIVIL AND CONSULTING ENGINEERING
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14 STATE AVE. SUITE 200
 SOUTH BORO, MA 01772
 TEL: 508-885-4078 FAX: 508-885-4079
 WWW.BOHLERENGINEERING.COM

COMPLIANCE CHECK	DATE
CONSTRUCTION CHECK	DATE
CONSTRUCTION CHECK	DATE
PROJECT No.:	M172008
CAD LID. #:	M172008_sds.dwg

SITE DEVELOPMENT PLANS	
STREET ADDRESS 345 EAST CENTRAL STREET	
CITY FRANKLIN	STATE MA
COUNTY NORFOLK	
REGIONAL DWG. NO. 20-0271	PLAN DESCRIPTION DETAIL SHEET

STATUS	DATE	BY
DRAWN BY:	11/21/17	DJF
PLAN CHECKED:	11/21/17	WL
AS-BUILT		
SHEET NO.	C-9	
	OF 11	



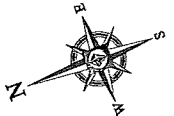
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THE FINAL USE OF THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE USER. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

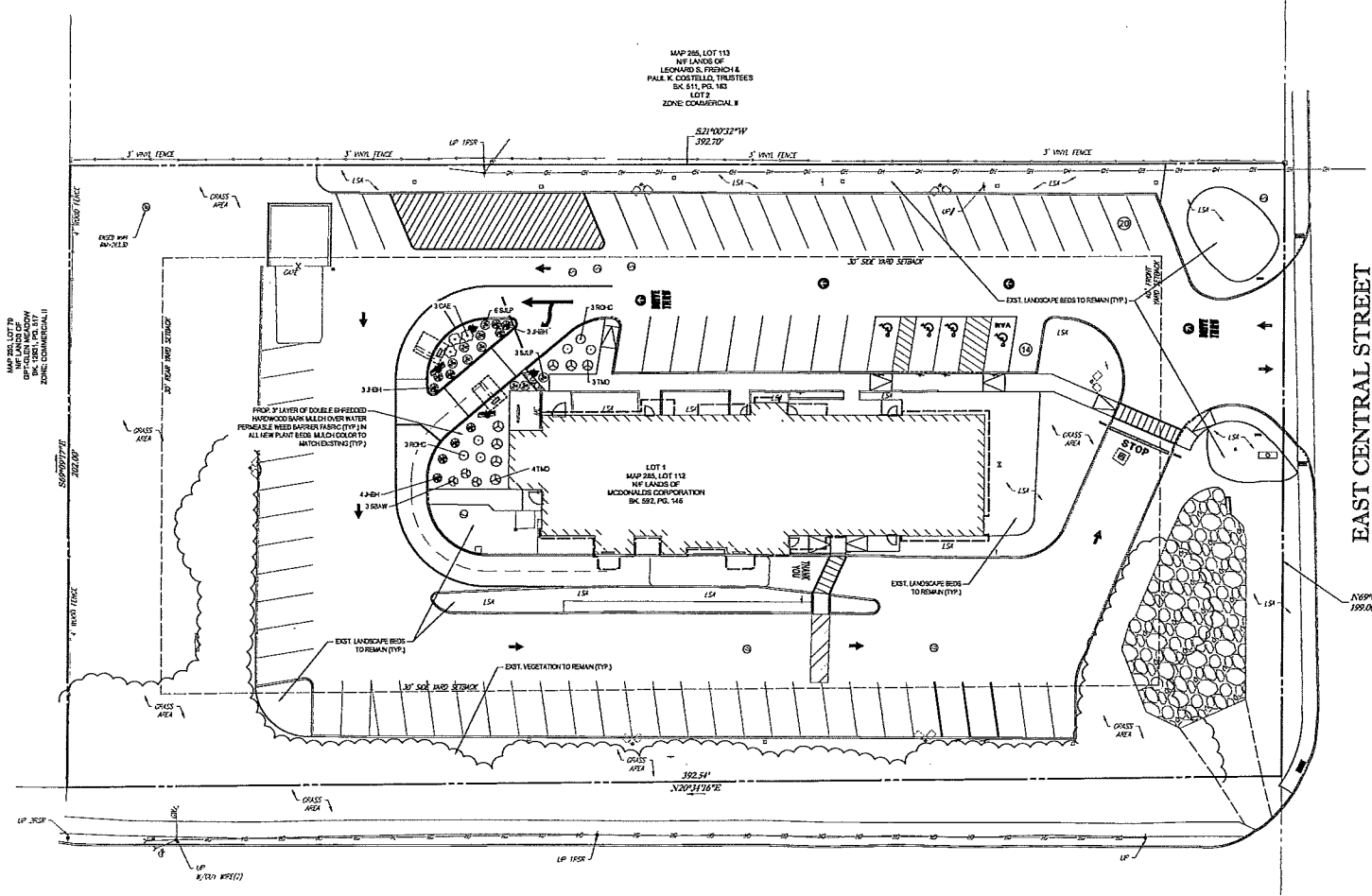
OFFICE ADDRESS
 NORTH EAST REGION
 800 CANTON STREET
 WESTWOOD, MA

DATE	SIGNATURE

11/21/17 10:00 AM C:\Users\jmccon\OneDrive\Documents\172008\172008_sds.dwg



LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS (S-FRUIT)					
CAE	3	CORNUS ALBA SUEGAVITSEMAN	VARIEGATED RED TWIG DOGWOOD	3-3"	8-B
SSAW	3	SPREEA X BILAMIDA ANTHONY WATERBURY	ANTHONY WATERER SPREA	18-24"	#3 CAN
SAP	9	SPREEA JAPONICA LITTLE PRINCESS	LITTLE PRINCESS SPREA	15-18"	#3 CAN
SUBTOTAL:	15				
EVERGREEN (S-FRUIT)					
RHC	6	RHOICODENDRON X DISTURBAI THOMAS	INDO CRIMSON AZALEA	18-24"	#3 CAN
TMO	8	TAKUS X MEDIA DENBESTORIAS	DEBESTORIAS YEW	24-30"	8-B
SUBTOTAL:	14				
ORNAMENTAL (S-FRUIT)					
ASA	13	ZANPERGUS HORIZONTALIS BAR HARBOY	BAR HARBOY CREEPING JASMINE	15-18" (FRD.)	#3 CAN
SUBTOTAL:	13				



EAST CENTRAL STREET
 (MARK ROUTE 140)
 (PUBLIC - 60' WIDE)

STOP

PRIVATE DRIVE - 70' WIDE
 (PRIVATE ROADWAY)

MAP 286, LOT 113
 NE LANDS OF
 LEONARD R. FRENCH &
 PAUL K. COSTELLO, TRUSTEES
 BK 511, PG. 145
 LOT 2
 ZONE COMMERCIAL II

MAP 286, LOT 112
 NE LANDS OF
 MCDONALD'S CORPORATION
 BK 582, PG. 146

PROF. 3" LAYER OF DOUBLE 6" FREED
 HARDWOOD BARK MULCH OVER WATER
 PERMEABLE WEED BARRIER FABRIC (TYP.) IN
 ALL NEW PLANT BEDS. MULCH COLOR TO
 MATCH EXISTING (TYP.)



McDonald's

150 N. MAIN STREET
 WESTBORO, MA 01581

NORTHEAST REGION
 890 CENTRAL STREET
 WESTBORO, MA

PLAN APPROVALS

DATE: _____

SIGNATURE: _____

APPROVED: MCDONALD'S/AMT

STATUS	DATE	BY
DRAWN BY:	11/21/17	DJF
PLAN CHECKED:	11/21/17	VL
AS-BUILT		
SHEET NO.	C-10	
	OF 11	

BOHLER ENGINEERING

SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

40 STATE STREET, SUITE 200, SOUTHBORO, MA 01772
 TEL: 508-532-8800
 WWW.BOHLERENGINEERING.COM

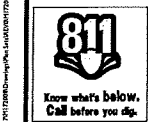
COMPLIANCE CHECK DATE _____

CONSTRUCTION CHECK DATE _____

PROJECT No.: M172008

CAD LD. #: M172008_410.dwg

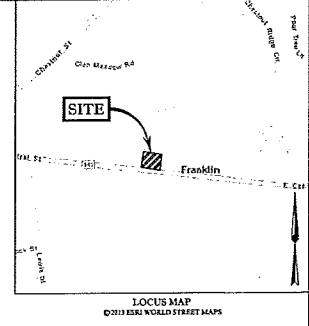
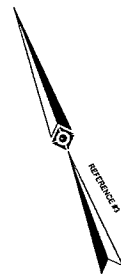
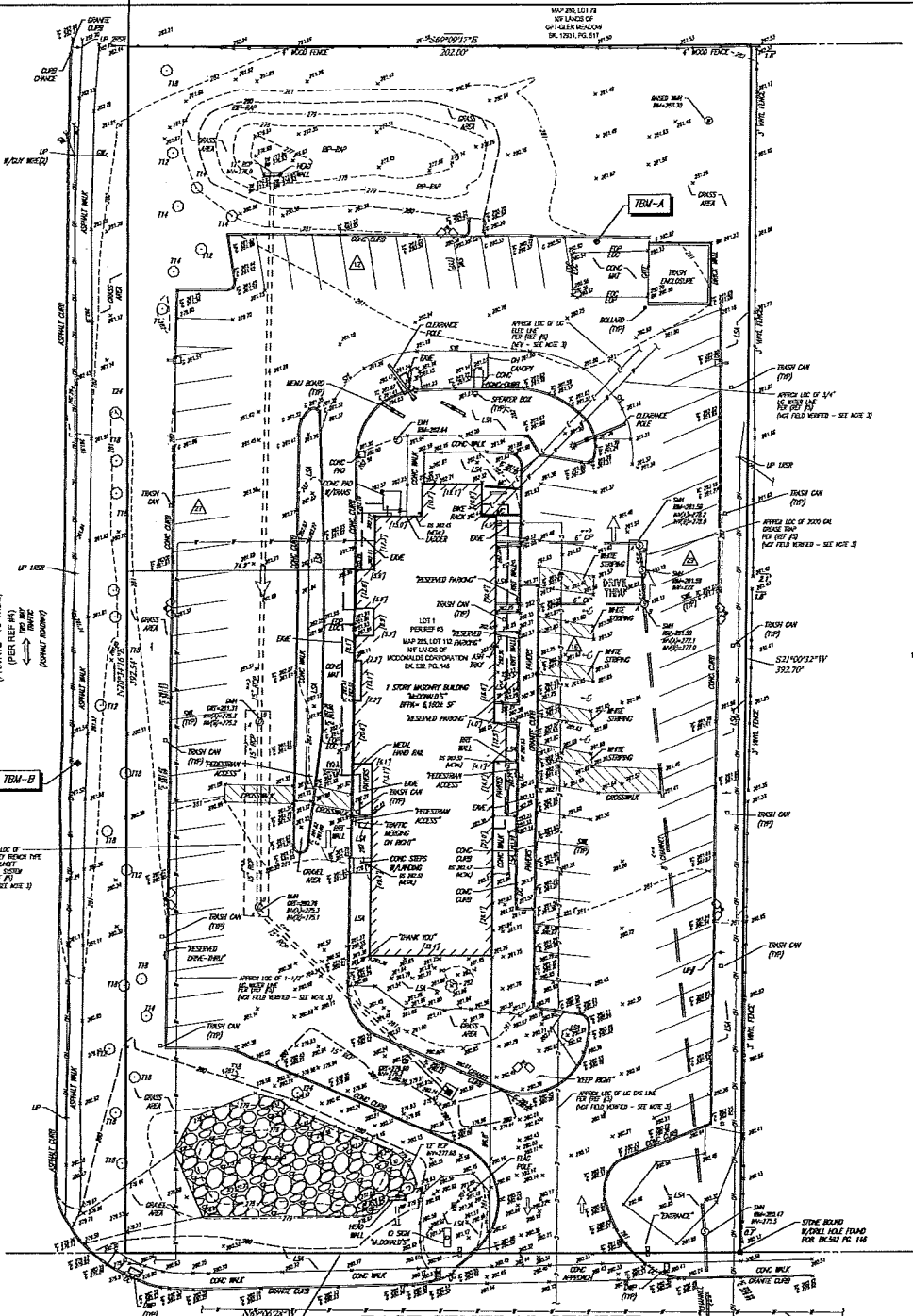
SITE DEVELOPMENT PLANS	
STREET ADDRESS 345 EAST CENTRAL STREET	
CITY FRANKLIN	STATE MA
COUNTY NORFOLK	
REGIONAL DWG. NO. 20-0271	PLAN DESCRIPTION LANDSCAPE PLAN



M:\PROJECTS\20-0271\20-0271.dwg, 11/21/17, 10:00 AM, MCDONALD'S, J. L. LAMAR, P.E.

LEGEND	
---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
X 12.15	EXISTING TOP OF CURB ELEVATION
X 6 12.25	EXISTING GUTTER ELEVATION
X W 12.15	EXISTING TOP OF WALL ELEVATION
X B W 12.15	EXISTING BOTTOM OF WALL ELEVATION
X F 12.15	EXISTING FINISHED FLOOR ELEVATION
X 05 12.15	EXISTING DOOR SILL ELEVATION
□	GAS METER
U	UTILITY POLE
U L	UTILITY FOLEIGHT POLE
□	AREA LIGHT
+	SIGN
•	BOLLARD
U	U-BOLLARD
DC	DEPRESSED CURB
DC	EDGE OF CONCRETE
DC	EDGE OF PAVEMENT
LSM	LANDSCAPED AREA
MC	METAL COVER
(TYP)	TYPICAL
⊙ DM	DRAINAGE/STORM MANHOLE
⊙ EM	ELECTRIC MANHOLE
⊙ SM	SANITARY/SEWER MANHOLE
⊙ UM	UNKNOWN MANHOLE
⊙ CB	CATCH BASIN OR INLET
FLOW →	FLOW DIRECTION
T	TREE & TRUNK SIZE
⊙	PARKING SPACE COUNT
---	DEPRESSED CURB
DWP	DETECTABLE WARNING PAD
SK	SOLID WHITE LINE
SY	SOLID YELLOW LINE
HT	HEIGHT
BLD	BUILDING
BFH	BUILDING FOOTPRINT AREA
BEV	INVERT ELEVATION
OE	GRATE ELEVATION
[16x7]	BUILDING DIMENSION
NY	NOT FIELD VERIFIED

GLEN MEADOW ROAD
(PRIVATE - 70' WIDE)
(PER REF #4)
(NOT FIELD VERIFIED - SEE NOTE #1)



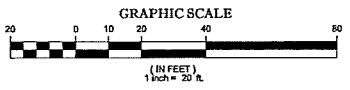
- NOTES:
- PROPERTY KNOWN AS LOT 112 AS SHOWN ON THE TOWN OF FRANKLIN, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 285.
 - AREA = 78,730 SQUARE FEET OR 1.807 ACRES.
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THIS SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREOF.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COORDINATE AND/OR BASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY COLLAPSING FLOODING DATA PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 1% CHANCE ANNUAL FLOOD PLAIN PER REF. #2).
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1985 (NAVD83), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYSTORP).
- TEMPORARY BENCHMARK SET:
TBM-840 HAS SET IN ASPHALT WALKWAY, ELEVATION = 283.66
TBM-840 HAS SET IN ASPHALT WALKWAY, ELEVATION = 281.51
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADJUTON, ETC.
 - BUILDING DIMENSIONS SHOWN HEREON ARE MEASURED AT GROUND LEVEL OF BUILDING EXTERIOR.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

- REFERENCES:
- THE TAX ASSESSOR'S MAP OF FRANKLIN, NORFOLK COUNTY, MASSACHUSETTS, SHEET #285.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 309 OF 432" MAP NUMBER 222100000E, MAP REVISION: JULY 17, 2012.
 - MAP ENTITLED "SUBDIVISION PLAN OF LAND IN FRANKLIN," PREPARED BY SWANER E. ELLSWORTH, DATED DECEMBER 18, 1965, LAND COURT CASE 11933F.
 - MAP ENTITLED "GLEN MEADOWS AT FRANKLIN SUBDIVISION PLAN OF LAND IN FRANKLIN, MASS" PREPARED BY SUDY DANIS HOMER INC., DATED MARCH 28, 1975.
 - MAP ENTITLED "SITE CONSTRUCTION PLAN MCDONALD'S RESTAURANT EAST CENTRAL STREET FRANKLIN, MASSACHUSETTS," DATED DECEMBER 5, 1981, LAST REVISED MAY 8, 1984.
 - MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF FRANKLIN NORFOLK COUNTY LAD OUT AS A STATE HIGHWAY BY THE MASSACHUSETTS HIGHWAY COMMISSION," DATED OCTOBER 18, 1911, LAYOUT NO 2436 (SHEETS 1-3).

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

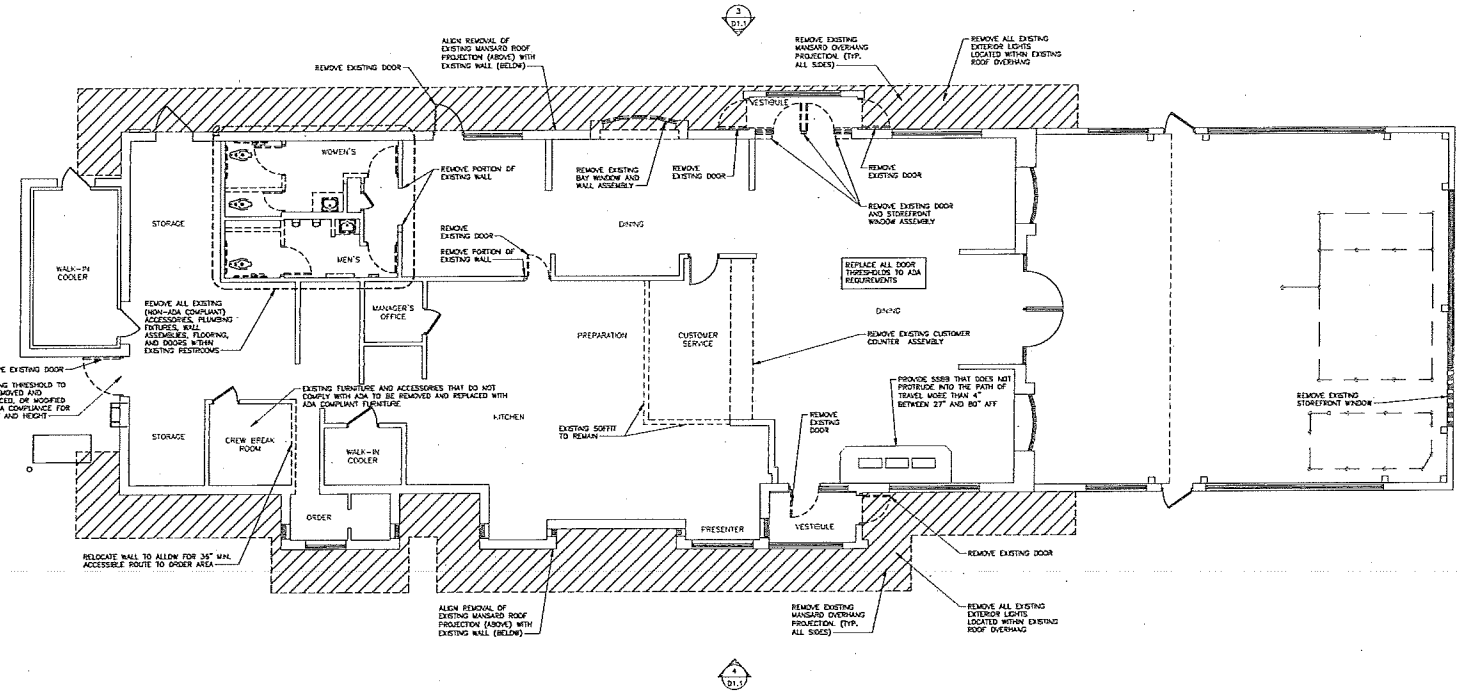
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

GERRY L. HOLDRIGHT, PLS MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #82811		DATE
FIELD DATE 6-2-17	BOUNDARY & TOPOGRAPHIC SURVEY McDONALD'S USA, LLC	
FIELD BOOK NO. 17-03	345 EAST CENTRAL STREET LOT 112, MAP 285	
FIELD BOOK PG. 8-9	TOWN OF FRANKLIN NORFOLK COUNTY COMMONWEALTH OF MASSACHUSETTS	
FIELD CROW J.A.	CONTROL POINT ASSOCIATES, INC.	
DRAWN PRIMA	325 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 (508) 432-3200 - SEE THE 3032 FAX	
REVISIONS:	DATE	SCALE
R.D.N.	G.L.H.	6-12-17
FILE NO.	DATE	SCALE
03-170135	6-12-17	1"=20'
DWG. NO.	1 OF 1	



EAST CENTRAL STREET
(AKA ROUTE 140)
(PUBLIC - 60' WIDE)
(PER REF #3)

THE COMMONWEALTH OF MASSACHUSETTS RESOLVES NOTIFICATION BY EXCAVATION, REPAIRS, OR ANY OTHER MEANS TO OBTAIN THE EXACT SURFACE APPROXIMATE TO THE COMMONWEALTH.



1 DEMOLITION FLOOR PLAN
D1.D 3/16" = 1'-0"

REMOVAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNATED REPRESENTATIVE FOR CLARIFICATION AND APPROVEMENT AS REQUIRED.
2. EXTENT OF REMOVAL SHOWN HEREON IS APPROXIMATE. COORDINATE EXACT REMOVAL REQUIREMENTS WITH EXTENT OF NEW WORK SHOWN ELSEWHERE IN THIS SET OF DRAWINGS.
3. ADEQUATELY PROTECT AND SECURE ALL PENETRATIONS AND OPENINGS IN THE EXISTING BUILDING ENVELOPE, DUE TO REMOVAL AND/OR CONSTRUCTION, FROM ALL HAZARDS OF FLOOD, WEATHER AND UNRESTRICTED PERSONNEL ENTRY.
4. WALLS OF THE BUILDING MAY SUPPORT PORTIONS OF THE EXISTING STRUCTURE. I.C. SHALL COORDINATE REMOVALS OF SELECTED PORTIONS OF SUCH WALLS FOR THE PURPOSE OF CREATING NEW MISCELLANEOUS OPENINGS WITH RELATED TRACES.
5. TEMPORARY SHORING AND BRACING SHALL BE PROVIDED WHERE NECESSARY TO ACCOMMODATE ALL LOADS WHICH THE STRUCTURE MAY BE SUBJECTED TO DURING CONSTRUCTION, INCLUDING ANY EQUIPMENT AND THE OPERATIONS OF SAME. SUCH BRACING SHALL BE LEFT IN PLACE AS LONG AS REQUIRED FOR SAFETY, AND THEN REMOVED UPON COMPLETION OF PERMANENT INSTALLATIONS.
6. UNLESS OTHERWISE NOTED, REMOVE EXISTING FLOOR FINISHES DOWN TO SUBSTRATE AS REQUIRED TO ACCOMMODATE THE WORK.
7. SHOWN UNLESS NOTED, THE REMOVAL UNLESS OTHERWISE NOTED ON REMOVAL PLAN, GO TO VERIFY COORDINATION PRIOR TO ISSUING BID. HORIZONTAL.
8. EXTENSIVE CARE SHALL BE TAKEN TO ENSURE PROPER PATCHING/EXTENSION OF EXISTING ASSEMBLIES FROM LINE OF REMOVAL TO NEW CONSTRUCTION.
9. REMOVE ALL WOOD AND METAL STUD PARTITION TRACES AT ALL REMOVED WALLS, ALL CEILING AND OTHER PREEXISTING MATERIALS TO BE SCRAPED FROM ALL SURFACES PRIOR TO FINISHING.
10. WHERE REMOVAL IS INDICATED, REMOVE PIPING, ELECTRIC OUTLETS, SWITCHES, THERMOSTATS, VOICE/DATA RECEPTACLES, SECURITY DEVICES, ETC. PULL ALL PIPING AND/OR BRING BACK TO SOURCE AND CAP AS REQUIRED. SEE ALL DRAWINGS FOR REMOVAL REQUIREMENTS. DETAIL ITEMS WILL REMAIN AND BE RE-USED.
11. PROVIDE WRITTEN NEW REQUIREMENTS OF OPERATIONS FOR REMOVAL WORK TO DESIGNATED REPRESENTATIVE FOR REVIEW PRIOR TO START OF WORK. INCLUDE COORDINATION FOR SHUT-DOWN, SAVINGS AND COMPARISON OF UTILITY SERVICES AS REQUIRED, TOGETHER WITH DETAILS FOR EJECT AND NOISE CONTROL, PROTECTION TO ENSURE UNINTERRUPTED CONTINUITY OF ON-GOING OCCUPANT ACTIVITIES.
12. PROVIDE PHOTOGRAPHS OF EXISTING CONDITIONS THAT MIGHT BE MISCONSTRUED AS HAZARDOUS BY REMOVAL OPERATIONS. FILE WITH DESIGNATED REPRESENTATIVE PRIOR TO START OF WORK.
13. CONDUCT REMOVAL WORK IN MANNER THAT WILL UNHINDER NEED FOR DISRUPTION TO THE OCCUPANTS NORMAL OPERATIONS. PROVIDE MINIMUM OF 72 HOURS WRITTEN ADVANCE NOTICE TO THE DESIGNATED REPRESENTATIVE OF REMOVAL OPERATIONS THAT WILL AFFECT OPERATIONS AND ONE WEEK WRITTEN ADVANCE NOTICE TO DESIGNATED REPRESENTATIVE FOR ANY REQUIRED SHUTDOWNS OF BASE BUILDING PLUMBING, MECHANICAL, ELECTRICAL, OR OTHER CRITICAL SYSTEMS. OWNER AND DESIGNATED REPRESENTATIVE DO NOT ASSUME RESPONSIBILITY FOR ACTUAL CONDITION OF COMPONENTS OR STRUCTURE TO BE REMOVED.
14. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES. CEASE OPERATIONS AND NOTIFY DESIGNATED REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE FOR CONTINUING OPERATIONS.
15. REMOVE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT OCCUPANTS AND GENERAL PUBLIC IN OCCUPIED PORTIONS OF BUILDING.
16. PROTECT FROM DAMAGE EXISTING FROM WORK, EQUIPMENT, AND MATERIALS THAT ARE TO REMAIN IN PLACE, BUT BECOME EXPOSED DURING REMOVAL OPERATION, PROTECT FROM DAMAGE EXISTING FLOORS, WALLS, AND CEILING WITH SUITABLE COVERINGS.
17. WHERE REMOVAL OCCURS IMMEDIATELY ADJACENT TO THE BUILDING, CONSTRUCT DUST-PROOF PARTITIONS.
18. CONDUCT REMOVAL OPERATIONS AND DEBRIS REMOVAL TO ENSURE MINIMUM INTERFERENCES WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
19. DO NOT BLOCK OR OTHERWISE OBSTRUCT TRAFFIC, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITY'S HAVING JURISDICTION.
20. DO NOT USE CUTTING TORCHES FOR REMOVAL UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS.
21. IN CONCEALED SPACES, SUCH AS INTERIOR CEILING AND FINE SPACES, VERIFY LOCATION OF HOISTED SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS. MAINTAIN EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITY'S HAVING JURISDICTION.

NOTE:
CONTRACTOR TO REMOVE ALL EQUIPMENT, EXISTING LIGHTS, SECURITY, ETC. LOCATED WITHIN EXISTING ROOF OVERHANG, COORDINATE WITH MCDONALD'S ACM AND STORE OWNER.



McDonald's USA, LLC
SkyBorne Technologies

PROJECT NO. 1001234567
DATE: 03/20/2011
BY: J. SMITH
CHECKED: M. JONES
APPROVED: K. BROWN

REV	DATE	DESCRIPTION
0	03/20/2011	FOR TENDR
1	03/20/2011	FOR TENDR
2	03/20/2011	FOR TENDR
3	03/20/2011	FOR TENDR
4	03/20/2011	FOR TENDR
5	03/20/2011	FOR TENDR
6	03/20/2011	FOR TENDR
7	03/20/2011	FOR TENDR
8	03/20/2011	FOR TENDR
9	03/20/2011	FOR TENDR
10	03/20/2011	FOR TENDR

PROJECT NO. 1001234567
DATE: 03/20/2011
BY: J. SMITH
CHECKED: M. JONES
APPROVED: K. BROWN

GENERAL NOTES:

- CONSTRUCTION SAFETY SAFETY PLAN**
1. ALL PRECAUTIONS AND MEASURES WILL BE TAKEN TO ENSURE THE SAFETY OF THE OCCUPANTS OF THE BUILDING AS WELL AS THE SAFETY OF THE PEDESTRIANS BELOW.
 2. BARRICADES WILL BE ERECTED SEPARATING WORK AREAS FROM ALL PUBLIC SPACES AS REQUIRED.
 3. ALL FIRE AND OTHER REQUIRED EXITS, WAY OF APPROACH THERETO AND WAY OF TRAVEL FROM THE ENTR TO THE STREET SHALL BE CONTINUOUSLY MAINTAINED FREE FOR UNOBSTRUCTED EGRESS.
 4. PROVIDE A PORTABLE FIRE EXTINGUISHER(S) WITH A MINIMUM RATING NOT LESS THAN 2-A OR 2-A10BC WITHIN 75' OF ALL PORTIONS OF THE WORK AREA.

SITE WORK GENERAL NOTES

1. THE CONTRACTOR SHALL CALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
2. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK SHALL BE RELOCATED AS SPECIFIED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE, BUT NOT BE LIMITED TO:
 - A. FALL PROTECTION
 - B. CONFINED SPACES
 - C. ELECTRICAL SAFETY
 - D. TRENCHING & EXCAVATION
3. ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND PRODUCT SPECIFICATIONS.
4. IF NECESSARY, PROTECT EXISTING UTILITIES, SEWER, STEEL, STAINLESS STEEL AND OTHER UTILITIES SHALL BE PROTECTED FROM THE SITE LEVEL.
5. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR COVERED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE ARCHITECT/ENGINEER, OWNER AND /OR LOCAL UTILITIES.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO EXISTING SITE DURING CONSTRUCTION.
7. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND, FROZEN MATERIALS, SNOW OR ICE. FILL SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
8. THE SOIL SHOULD BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISH SURFACE APPLICATION. SEE SOIL CONSTRUCTION NOTES.
9. THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE BUILDING OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEED, AND COVERED WITH MULCH.
10. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL ORDINANCES FOR EROSION AND SEDIMENT CONTROL.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL CLEAN SUITABLE FILL REQUIRED TO COMPLETE THE PROJECT.

DELIVERY, STORAGE, AND HANDLING:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROCEDURES AND SCHEDULING ASSOCIATED WITH HOISTING, STAGING, AND ERECTING OF MATERIALS AND EQUIPMENT TO AND/OR UPON THE SITE.
2. ALL ELEMENTS OF THE EXISTING SITE, IE. STRUCTURES, SITE FINISHES, ETC. SHALL BE PROTECTED AS NECESSARY FROM SAID ACTIONS. THIS WORK MUST BE DONE IN A SAFE, SECURE, NONDESTRUCTIVE MANNER FOR PROTECTIVE PERSONNEL AND PROPERTY.

WARRANTIES AND BONDS:


1. THE CONTRACTOR SHALL GUARANTEE ALL LABOR AND MATERIALS USED IN THIS PROJECT FOR A MINIMUM PERIOD OF ONE (1) YEAR COMMENCING FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
2. FINAL DATE OF ACCEPTANCE IS DEFINED AS THE DATE THAT ALL REQUIRED STATE AND FEDERAL APPROVALS HAVE BEEN OBTAINED AND ALL WORK IS COMPLETE.

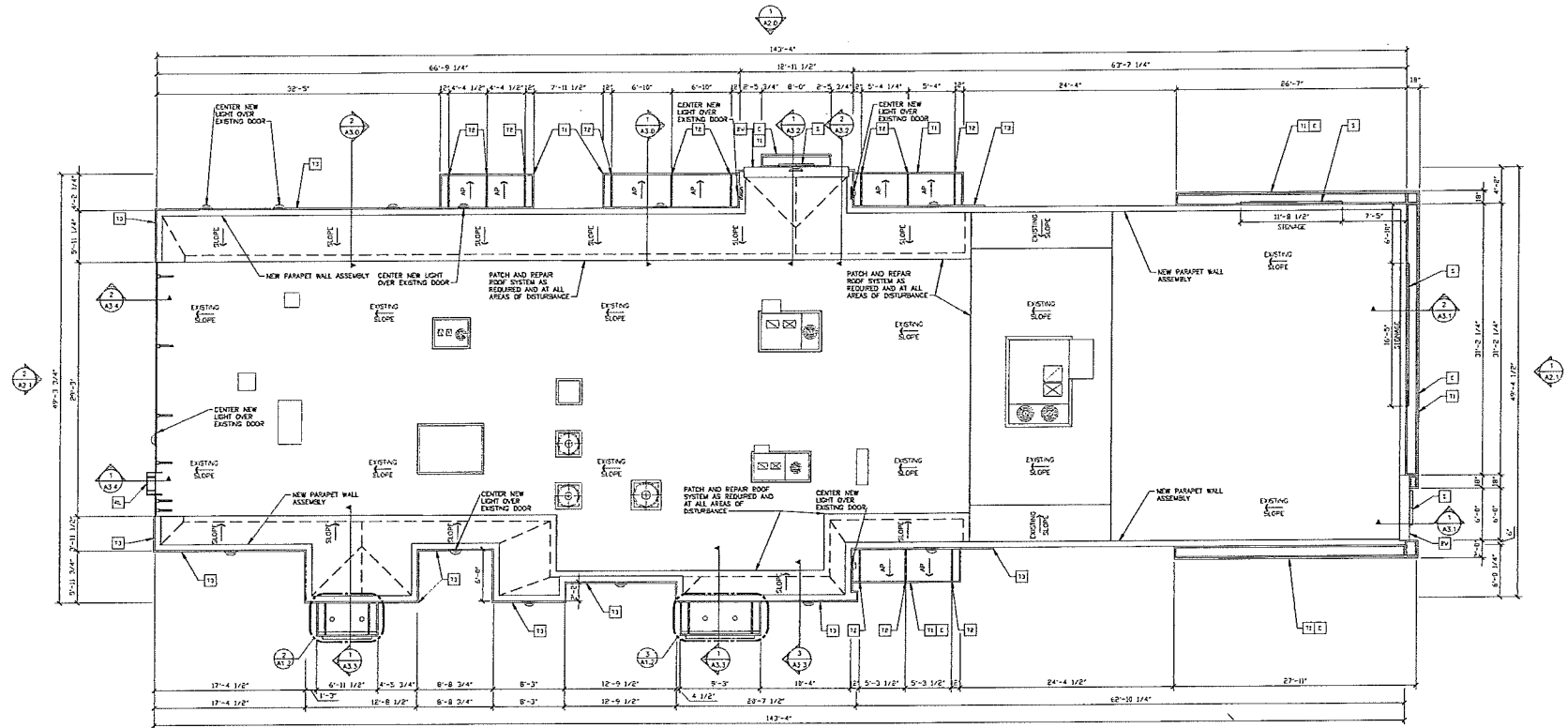
B. CERTIFICATE OF OCCUPANCY

3. ANY DEFICIENCIES THAT COME EXISTENT DURING THIS ONE (1) YEAR PERIOD SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

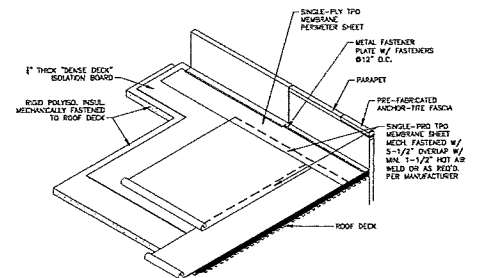
GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL OBEY ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LOCAL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES REGARDING THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BEING THE JOB IS NEVERTHELESS CAUTIONED THAT MAJOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE THE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR USE OF ALL PERSONNEL INVOLVED IN THE PROJECT.
4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY, OR LOCAL GOVERNMENT AUTHORITY.
6. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, FINISH CURBS, ETC. DURING CONSTRUCTION UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
7. THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND MAINTAIN FREE EGRESS. CONSTRUCTION AND DISPOSE ALL DIRT, DEBRIS, RUBBISH AND REMOVE ALL UNNECESSARY MATERIAL.
8. THE CONTRACTOR SHALL COMPLY WITH ALL PERMITS AND ORDINANCES OF THE STATE BUILDING CODE, LATEST EDITION, AND ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES ENCOUNTERED IN THE WORK SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS SPECIFIED BY THE ARCHITECT/ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PER DRILLING AROUND OR NEAR UTILITIES.
9. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.

SHEET NO. 1 PROJECT # 170601 GENERAL NOTES	ADDRESS: 10000 W. BROADWAY, SUITE 100, ANN ARBOR, MI 48106-1500 PHONE: 734.769.8000 FAX: 734.769.8001 WWW: www.skyborne.com	PROVIDED BY SkyBorne Technologies PO. BOX 474 ANN ARBOR, MI 48106		REVISION NO. 01 DATE 08/03/2017 DESCRIPTION: FOR PLUMB
				REVISION NO. 02 DATE DESCRIPTION



1 ROOF PLAN
A1.1 1/4" = 1'-0"



2 ROOFING SYSTEM
A1.1 NOT TO SCALE

ROOFING SYSTEM

- MANUFACTURERS AND PRODUCTS**
 - CARULSE SYNTEC, INC. SURE-WEED TPO ROOFING SYSTEM
 - JOHN MANVILLE USTANIGARD 391-EG NO SUBSTITUTIONS ALLOWED
- SPECIFIED ROOFING SYSTEMS (AS SHOWN)**
 - TPO ROOFING SYSTEM AS MANUFACTURED BY ONE OF THE TWO MANUFACTURERS LISTED ABOVE TO COMPLY WITH ASTM D-6788 AND FIG. 1-93 FOR WIND UPLIFT.
 - FASTENERS: METAL FASTENERS AND PLATES AS PER MANUFACTURER
 - ACCESSORIES: FREE-FRASHED GUTS, FLASHING, CORNERS, TERMINATION BARS, PIPE FLASHING, VENT FLASHING ETC. AS PER MANUFACTURER
- WALKWAYS**
 - 24" WIDE WALKWAY ROLL, HOT AIR WELDED TO MEMBRANE
 - PROVIDE WALKWAY FROM ROOF LASCOR EXIT TO ALL ROOF TOP EQUIPMENT AS PER ROOF PLAN ABOVE
 - INSTALL WALKWAY ACCORDING TO WALKWAY PAD MANUFACTURER'S WRITTEN INSTRUCTION
- ROOF INSULATION**

PROVIDE REQUIRED LAYERS OF POLYISOCYANURATE INSULATION W/ COVER BOARD TO MEET A MINIMUM CONTINUOUS R-25 VALUE - THICKNESS AS REQUIRED. PROVIDE POSITIVE SLOPE TO ALL ROOF DRAIN (SEE ROOF PLAN). PROVIDE TOP LAYER PROTECTION MATERIAL AS PER MANUFACTURER'S RECOMMENDATIONS. BOTTOM LAYER OF INSULATION OVER 1/2" TYPE "X" EXTERIOR GRADE GYPSUM BOARD ASSEMBLY SHALL COMPLY WITH U.L. 1256 OR FIG. 4450
- TAPERED INSULATION**

FACTOR TAPERED INSULATION AS REQUIRED FOR POSITIVE DRAINAGE TO ROOF DRAINS AS INDICATED PER ROOF PLAN ABOVE. A PER FOOT MIN. REQUIRED.
- EXHAUST FANS**

PROVIDE ADDITIONAL LAYER OF ROOF MEMBRANE AROUND EXHAUST FANS AS INDICATED PER ROOF PLAN ABOVE.

SYMBOL LEGEND

- AP TRELLIS/CANOPY SYSTEM WITH ALUMINUM INFL PANELS. SLOPE TO EDGE @ 1/4" PER FT.
- SLOPE DIRECTION OF DRAINAGE

KEY NOTES

- NEW ALUMINUM CANOPY FASCIA SEE ELEVATIONS FOR COLOR
- NEW WALL SCOURE PUTTY SEE ELEVATIONS FOR COLOR
- NEW ALUMINUM TRILIS 2x8 WALL FASCIA SEE ELEVATIONS FOR COLOR
- NEW BRAND WALL SEE ELEVATIONS FOR COLOR
- NEW ALUMINUM TRILIS SYSTEM SEE ELEVATIONS FOR COLOR
- NEW ALUMINUM TRILIS TE-BACK SEE ELEVATIONS FOR COLOR
- NEW ALUMINUM TRILIS 2x8 WALL FASCIA SEE ELEVATIONS FOR COLOR
- NEW BRAND WALL SEE ELEVATIONS FOR COLOR

ROOFING NOTES

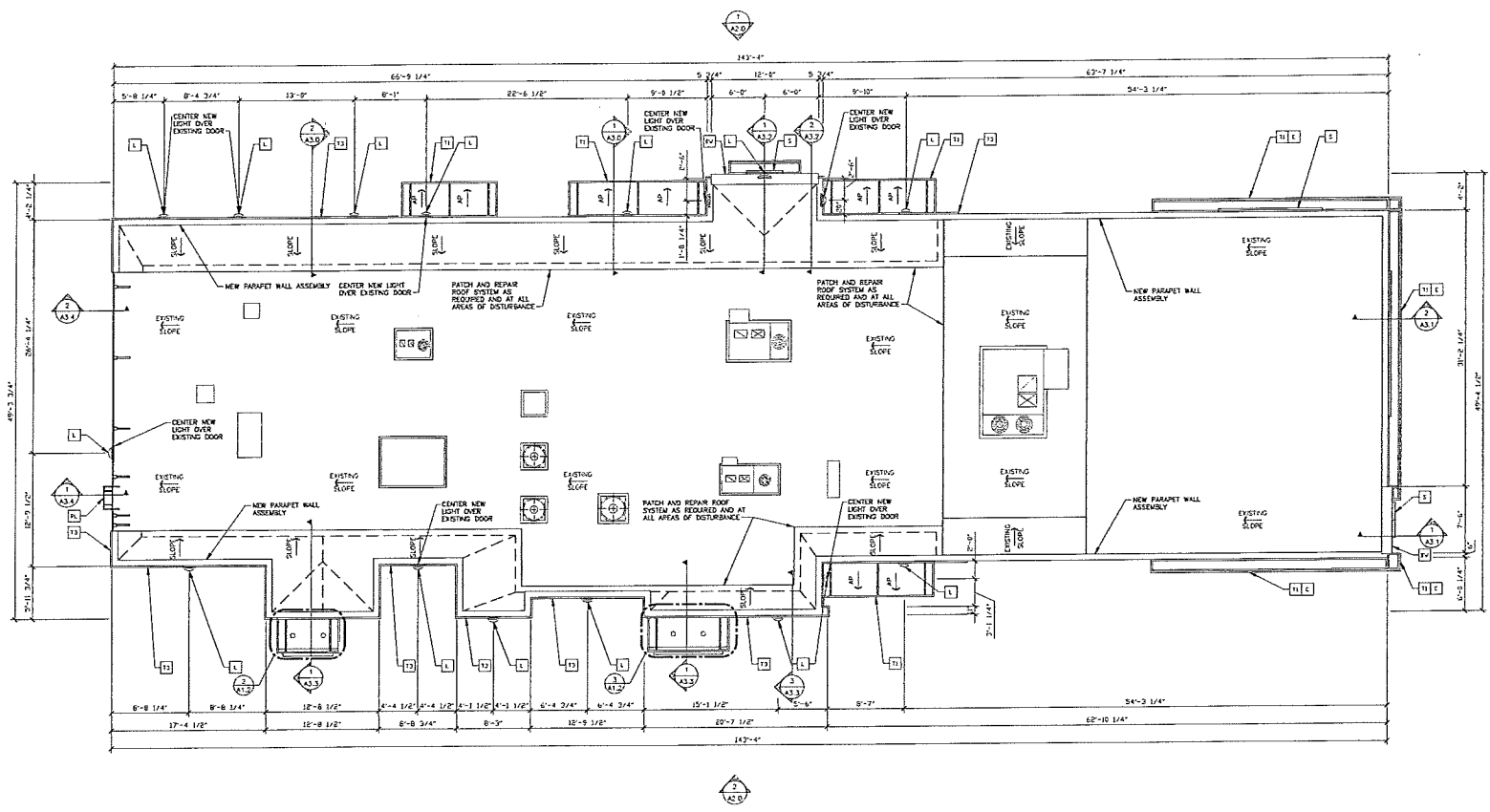
- SINGLE-PLY ROOFING SYSTEM WITH BASE FLASHING SHEET EXTENDING UP PARAPET AND TERMINATED USING COPING NOT WELDED TO SEALING STRIP SECURED TO WOOD BLOODING
- INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PER DETAIL 2/41.1
- PROVIDE PREFABRICATED METAL DWPERS EGDORINATE SIDE LOCATION AND INSTALLATION REQUIREMENTS W/ M. E. P. A. S SHEETS PROVIDE SHIMS TO LEVEL CORB IN AREAS WHERE ROOF DECK IS TYPED.
- FOR EXACT LOCATION OF EXHAUST FANS, WIND UNITS, AND ROOF HATCH REFER TO STRUCTURAL DRAWINGS
- CONCRETE MUST BE DETALLED AT ALL ROOF CURBS & EQUIPMENT PLATFORMS BY GENERAL CONTRACTOR.

PROJECT: ROOF PLAN
 SHEET NO: A1.1
 DATE: 08/07/2017
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]
 PROJECT LOCATION: [Address]
 PROJECT NO: [Number]
 CLIENT: [Company Name]

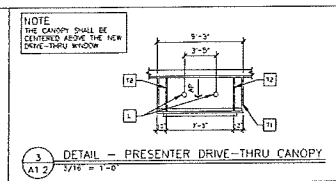
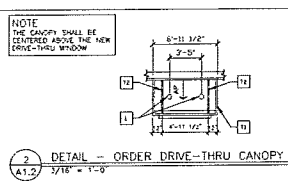
McDonald's USA, LLC
 12345 Main Street
 Chicago, IL 60601
 (773) 555-1234

SkyBorne Technologies
 6789 Tech Blvd
 Atlanta, GA 30309
 (404) 555-5678

NO.	DATE	DESCRIPTION
1	08/07/2017	ISSUED FOR PERMITS
2	08/07/2017	ISSUED FOR CONSTRUCTION



1 ROOF LIGHTING PLAN
A1.2 3/16" = 1'-0"



ROOFING SYSTEM
SEE 2/A1.2 FOR ROOFING SYSTEM NOTES

SYMBOL LEGEND

AR TRUSS/CANOPY SYSTEM WITH ALUMINUM INFL FASCIA
SLOPE TO EDGE @ 1/4" PER FT.
SLOPE DIRECTION OF DRAINAGE

KEY NOTES

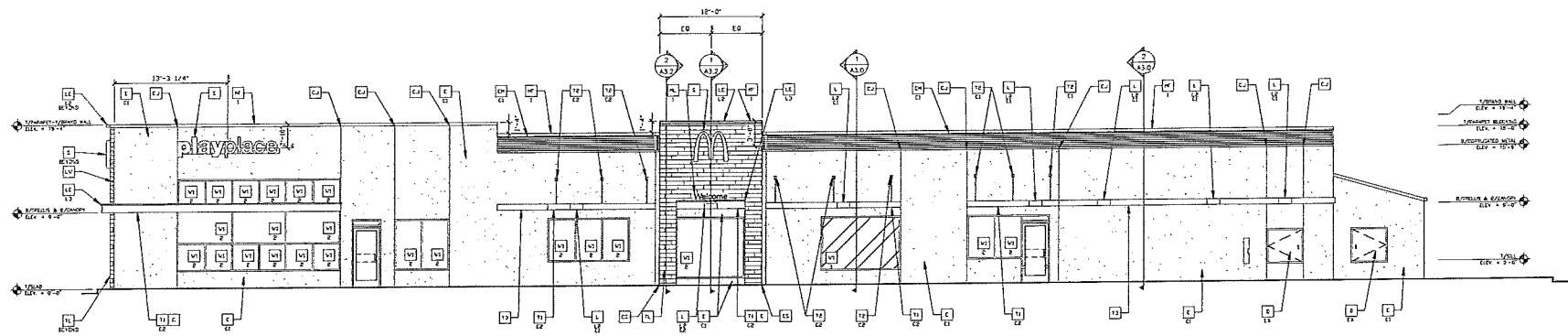
- [1] NEW ALUMINUM CANOPY FASCIA SEE ELEVATIONS FOR COLOR
- [2] NEW WALL SLOTTED EXPLUSE SEE ELEVATIONS & ELECTRICAL FOR UP/DOWN & COLOR
- [3] ROOF LACER (EXISTING)
- [4] NEW MCDONALD'S SQUARE BY OTHERS. SEE ELEVATIONS
- [11] NEW ALUMINUM TRUSS SYSTEM SEE ELEVATIONS FOR COLOR
- [12] NEW ALUMINUM TRUSS TE-BAG-SEE ELEVATIONS FOR COLOR
- [13] NEW ALUMINUM TRUSS 2x6 WALL FASCIA SEE ELEVATIONS FOR COLOR
- [14] NEW BRAND WALL SEE ELEVATIONS FOR COLOR

ROOFING NOTES

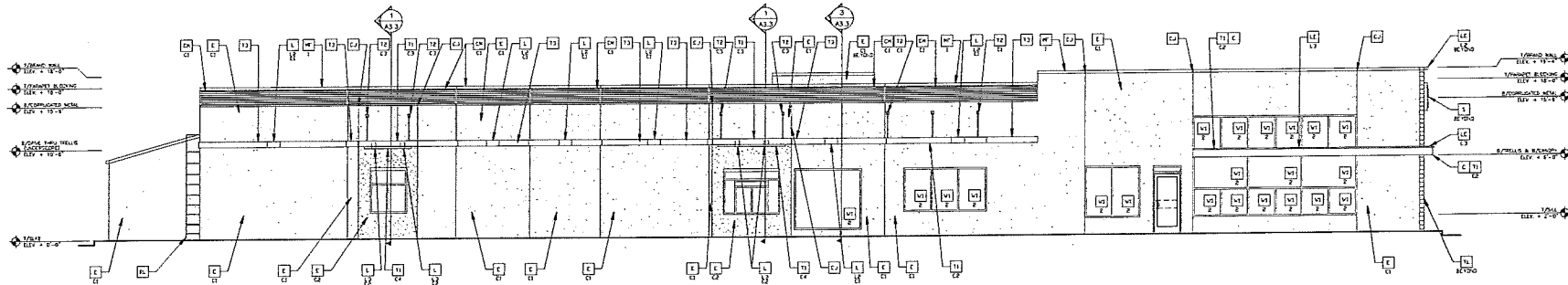
1. SINGLE-PLY ROOFING SYSTEM WITH BASE FLASHING SHEET EXTENDING UP PARAPET AND TERMINATED UNDER COPING NOT WELDED TO SEALING BEFF SECURED TO WOOD BLOCKING
2. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND PER DETAIL 2/A1.1
3. PROVIDE PREFABRICATED METAL CURBS. LOCATE/DATE SIZE, LOCATION AND INSTALLATION REQUIREMENTS W/ A, E, P & S SHEETS. PROVIDE SHAW TO LEVEL CURB IN AREAS WHERE ROOF DECK IS PITCHED.
4. FOR EXACT LOCATION OF EXHAUST FANS, HVAC UNITS, AND ROOF PATCH, REFER TO STRUCTURAL DRAWINGS.
5. CONCRETE MUST BE INSTALLED AT ALL ROOF CURBS & EQUIPMENT PLATFORMS BY GENERAL CONTRACTOR.

NORTH

<p>PROJECT FOR McDonald's USA, LLC</p> <p>DATE: 08/03/2017 BY: [Signature]</p>	<p>PERMITTED BY SkyBorne Technologies</p> <p>REG. NO. 0015 MEMBER: 000000</p>	<p>DATE: 08/03/2017 BY: [Signature]</p>	<p>PROJECT NO. A1.2</p>	<p>DESCRIPTION ROOF LIGHTING PLAN</p>	<p>REV. DATE DESCRIPTION</p>
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1 NON-DRIVE-THRU ELEVATION
A2.0 3/16" = 1'-0"



2 DRIVE-THRU ELEVATION
A2.0 3/16" = 1'-0"

COLOR SCHEME: "MODERN" SCHEME
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

KEY NOTES:

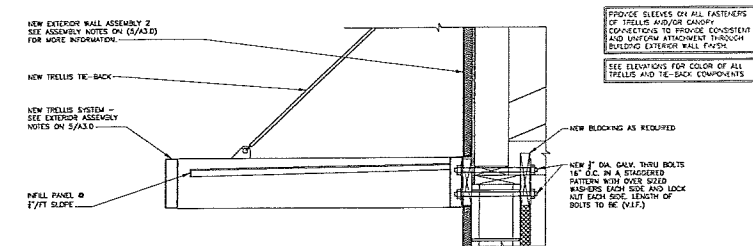
- [A] SUPPLIERS: E-WOOD COLLECTION
COLOR: RB BLACK, SIZE: 6"x36" 1/4 BURNING BOARD
WATERPROOFING, SETTING MATERIAL, AND GROUT: BY MANF.
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
CONTACT: JAM DETER, (714) 937-7500
- [B] INTERIORS: EDGEMO STAIRS
POUNCE PHOTOGRAPH BY SCHULTER SYSTEMS
MATERIAL: HEIGHT DOWN COLOR: DARK ANTHRACITE
COMMERCIALSUPPORT@SCHULTER.COM, (800) 267-0517
- [C] ALUMINUM CANOPY FASCIA SYSTEM
COLOR: WHITE
- [D] ALUMINUM TRELLIS SYSTEM
COLOR:
C1 = CHYSCAPE
C2 = WHITE
C3 = CHARCOAL
C4 = GOLD
- [E] ALUMINUM TRELLIS TE-BACK SYSTEM
COLOR:
C1 = CHYSCAPE
C2 = WHITE
C3 = CHARCOAL
C4 = GOLD
- [F] ALUMINUM TRELLIS 2" x 6" WALL FASCIA SYSTEM
COLOR: CHYSCAPE
- [G] NEW MECHANICAL SCREEN
TYPE:
C1 = CHELSEA GRAY HC-165 BY BENJAMIN MOORE
- [H] CONTROL JOINT
- [I] LIGHT FIXTURE - SEE ELECTRICAL
- [J] TYPE:
L1 = NOT USED
L2 = DOWN ONLY FIXTURE
L3 = RECESSED DOWN FIXTURE
L4 = FLOOD LIGHT
COLOR:
C1 = WHITE
C2 = SILVER
- [K] ACCESS LIGHTING - SEE ELECTRICAL
LED LIGHT:
L1 = NOT USED
L2 = DOWN ONLY FIXTURE
L3 = RECESSED CANOPY FIXTURE
L4 = FLOOD LIGHT
- [L] METAL LEVER PANEL BY TRELLIS VENDOR
COLOR: CHYSCAPE
- [M] METAL FASCIA (COLOR: CHYSCAPE) SEE 1/ASO
- [N] TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARGAGE FASCIA
- [O] METAL LETTERING - BY OTHERS
TYPE:
1 = WELCOME - COLOR: SILVER
2 = 24" x 36" TITAN METAL ARCH
COLOR: PANTONE 123C
- [P] NEW STOPPERFRONT AND GLAZING - SEE ASSEMBLY NOTES
TYPE:
1 = NEW STOPPERFRONT AND GLAZING - SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN
- [Q] GUARDRAIL
- [R] PASS-THRU COIN COLLECTOR - OPTIONAL (RWMC)
- [S] ROOF DRAIN OVERFLOW PIPE
PAINT TO MATCH SURROUNDING MATERIAL
- [T] ALCOHOLIC SOLUBLE BY OTHERS - VENDOR SEPARATE
FINISH: SEE SOURCE SUPPLIER NOTE ON THIS SHEET.
- [U] PIPE BOLLARD - PAINTED YELLOW
- [V] HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- [W] HIGH IMPACT JOINTS: "HANGER 10" ULTRA HIGH IMPACT MESH EXTERIOR
INSULATION FINISH SYSTEM (E.I.F.S.) OUTSULATION PLUS 40" BY DRYVIT OR
EQUAL ASSEMBLY FOR EYE AREAS WITHIN 8'-0" OF GRADE.
FINISH: HYDROPHOBIC TEXTURED SANICREBLE
- [X] COLOR: STATIONARY HIGH PERFORMANCE COLORANT - MATCH TO BENJAMIN
MOORE OR EQUAL
C1 = CHELSEA GRAY HC-165 BY BENJAMIN MOORE
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- [Y] CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A3.0 FOR
ADDITIONAL SPECIFICATIONS
TYPE:
C1 = CHYSCAPE
C2 = CHARCOAL (BY WOODEN SURROUND ON UNPAINTED
DRYVIT BASE BUILDING)
- [Z] ROOF LAZOR
TYPE:
C1 = CHELSEA GRAY HC-165 BY BENJAMIN MOORE

PROJECT NO. 08-03317 FOR FASCIA
 DATE ISSUED 08/25/2017
 DRAWN BY [Name]
 CHECKED BY [Name]
 APPROVED BY [Name]
 PROJECT NO. 08-03317 FOR FASCIA
 DATE ISSUED 08/25/2017
 DRAWN BY [Name]
 CHECKED BY [Name]
 APPROVED BY [Name]

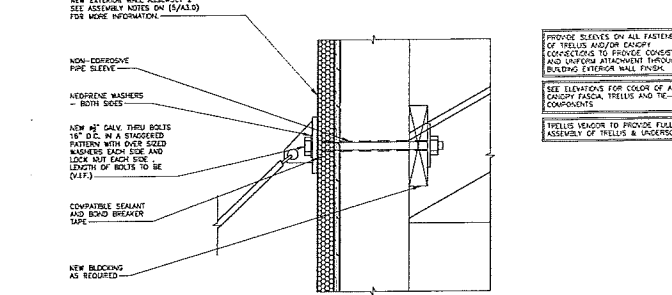
McDonald's USA, LLC
 10000 W. CENTURY BLVD., SUITE 1000
 LOS ANGELES, CA 90045
 TEL: 310.724.1000
 FAX: 310.724.1001
 WWW.MCDONALDSUSA.COM

SkyBorne Technologies
 P.O. BOX 80
 FARMINGDALE, NY 11735

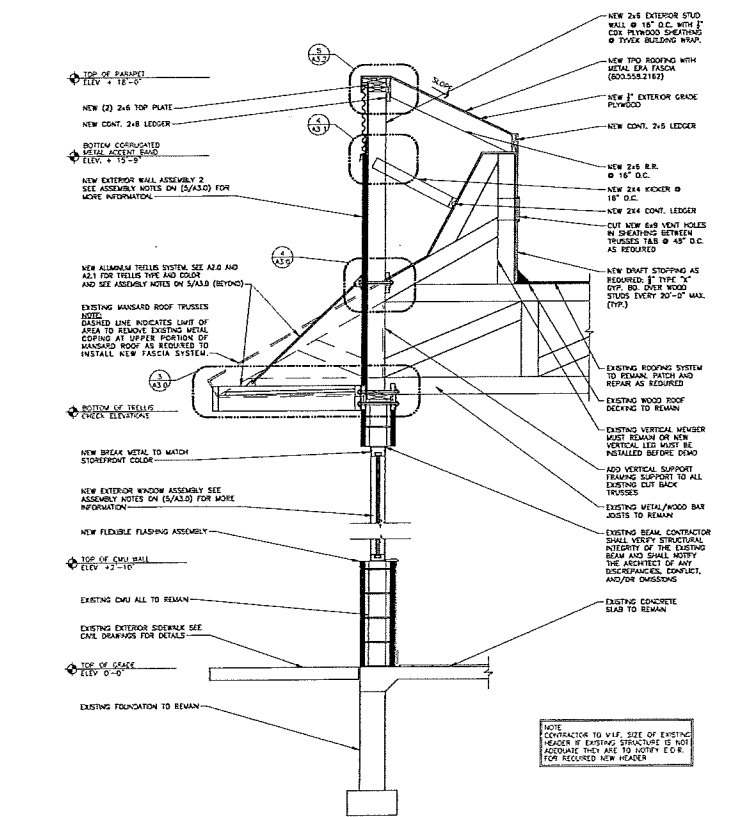
ELEVATIONS
 A2.0
 ELEVATIONS



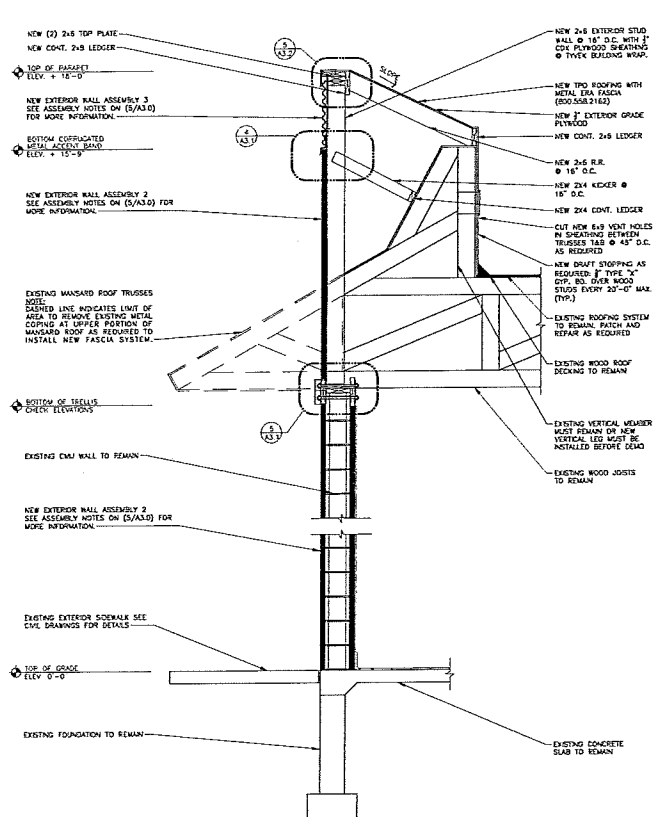
3 DETAIL - TRELLIS SYSTEM
1/2" = 1'-0"



4 TIEBACK DETAIL
3/4" = 1'-0"



1 SECTION - SIDE WINDOW
3/4" = 1'-0"



2 SECTION - SIDE WALL
3/4" = 1'-0"

EXISTING EXTERIOR WALL ASSEMBLY 1

- FROM EXTERIOR TO INTERIOR
- 1" BACK VEEBEE W/70% ACCESSIBLE METAL TIES @ 16" O.C. VERTICALLY AND 24" O.C. HORIZONTALLY. PROVIDE 10" HIGH MESH EXTERIOR CAVITY DRAINAGE SYSTEM. PROVIDE MESH WITH VENTS 24" O.C. AT ALL FLASHING LOCATIONS. MESH COLOR TO BE STANDARD.
 2. AIR SPACE - SEE VARIOUS ACCESSORIES TO OVERALL WALL WIDTH AT 16" WALL (1/2" AIR SPACE @ 2'-0" MAX. WIDE).
 3. PERMEABLE BLENDING WRAP OVER EXTERIOR GRADE PLYWOOD.
 4. 2x6 WOOD STUD FRAMING @ 16" O.C. WITH CONTIGUOUS BRISTLE/TYPED BLEEDING AT FLOOR CEILING LEVELS.
 5. HEAVY FACED BATH INSULATION (R VALUE = 19).
 6. IMPERMEABLE VAPOR BARRIER (SEE LOCAL REQUIREMENTS).
 7. WALL BASE 1/2" CEMENT BOARD 1/2" IN THICK. ADHESIVE BASE. EXTENDING TO STRUCTURE ABOVE 1/2" OVER EXTERIOR WRAP AND MOLD TIGHTEN CAPSULES OR 1/2" PLYWOOD BACKUP AS NOTED ON THE SOON FLASH SCHEDULES.
 8. NEW DOW PANEL SUBSTITUTIONS MUST SCREW TO PER ASTM D3273.
 9. SEE FLASH & PARTITION SCHEDULE.

NEW EXTERIOR WALL ASSEMBLY 2

- FROM EXTERIOR TO INTERIOR
1. DRAINAGE E.L.F.S. SYSTEM (NOT BARRIER) CONSISTING OF 1/2" INSULATION MECHANICALLY FASTENED OVER PERMEABLE MEMBRANE WITH OPEN WEAVE HIGH IMPACT FIBER REINFORCING MESH OVER EXTERIOR GRADE PLYWOOD. PROVIDE CORRUGATED PLASTIC DRAINAGE STRIP AT BOTTOM OF THE PANEL WITH PVC J CHANNELS WITH WEIR HOLES. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. 2x6 PRESSURE TREATED STUD FRAMING @ 16" O.C. ANCHORED TO EXTERIOR WALL ASSEMBLY 1 - SEE STRUCTURAL DRAWINGS FOR ANCHORAGE DETAILS.

NEW EXTERIOR WALL ASSEMBLY 3

- COORDINATED METAL PANEL SYSTEM
1. COORDINATED METAL PANELS WITH RAIN DRAINAGE WITH FLASHING, TRIM, PARAPET WALLS AND OTHER ADJOINING WORK TO PROVIDE A LEAK-PROOF BARRIER AND NON-CORROSIVE INSTALLATION. PREPARED 7/8" PANELS SHALL BE FABRICATED OF 24 GA. STEEL. PANELS ARE LAPPABLE. PANEL HS 26 3/4" COLDER SHALL BE PER ELEVATIONS. FRAM SHALL BE RAINWATER. ACCESSORIES/PARTS: ALL FASTENERS SHALL BE APPLIED IN ACCORDANCE WITH THE FASTENING SCHEDULE AS PROVIDED BY PANEL MANUFACTURER. FLASH AND GUTTER TO MATCH PANEL. MATCH SEAMANT TYPE OR GUTTER AS NECESSARY AT FLASHING AND PANEL JOINTS TO PREVENT WATER PENETRATION.
 - A. CUTS MADE TO PANELS IN THE FIELD SHALL BE DONE WITH A TONGUE CUT. FINISHES ONLY. I.E. POWER WHEELER. HEAT OR FRICTION CUT WITH AN ABRASIVE OR BLADE SHALL NOT BE USED.
 - B. WHERE HORIZONTAL CUTS ALONG THE LENGTH OF THE PANEL ARE MADE, CARE SHOULD BE TAKEN TO MAKE THE CUTS AT THE TOP OF THE PANEL. WHERE IT IS CONSIDERED BY THE FACIAL, VERTICAL CUTS ALONG THE HEIGHT OF THE PANEL SHALL BE LAPPED UNDER THE 1/2" TRIM AT CORNERS.
 2. ICE AND WATER SHIELD (A.I.W. I) ON FIELD ON
 3. 1/2" EXT. GRADE PLYWOOD ON 2x6 WOOD STUDS @ 16" O.C. COORDINATED METAL PANELS. FASTENERS AS ELEVATIONS. BY METAL ELEM. 1003-233-2142.

NEW EXTERIOR WALL ASSEMBLY 4

BRAND WALL ASSEMBLY. SEE DETAILS 1/A4.0 AND 2/A4.0 FOR MORE INFO.

NEW EXTERIOR WINDOW ASSEMBLY (STOREFRONT & ENTRANCE SYSTEM)

1. CLEAR ANODIZED ALUMINUM FRAME. THERMALLY BROKEN WITH HEAD RECEIVER CHANNELS. PROVIDE WEATHER STRIP FOR LOCATION OF SAFETY GLASS.
2. INSULATED GLAZING - SEE ELEVATIONS FOR LOCATION OF SAFETY GLASS.
3. PROVIDE METAL CAP @ EXTERIOR BRICK SILL.
4. 1/2" CONCRETE SILL AT INTERIOR.

TRELLIS & CANOPY SYSTEMS

- TRELLIS & CANOPY SYSTEMS SHALL BE CONSTRUCTION DOCUMENTS IN THE PROJECT MANUAL. REFER TO THE PROJECT MANUAL FOR THE FOLLOWING INFORMATION:
1. FASCIA (CANOPY) CONT. 1 1/2" WHITE PAINTED ALUM. W/ LED CHANNEL LIGHT FIXTURE. DOWEL 2x6 ALUM. TIE AS REQUIRED.
 2. DOWNPIPES (TRELLIS) ANODIZED 2x8" ALUMINUM TUBES. DOWNPIPES (CANOPY) PAINTED 2x8" ALUMINUM TUBES.
 3. TIEBACKS (TRELLIS) ANODIZED ALUM. THINWALL ROSS BY MTR. TIEBACKS (CANOPY) PAINTED ALUM. THINWALL ROSS BY MTR. LOCATIONS AS NOTED ON ROOF PLAN. FINAL LOCATIONS AND QUANT. SHALL BE AS NOTED ON TRELLIS INSTALLATION DRAWINGS. MATERIAL COLOR PER ELEVATIONS.
 4. WINDUPTS ADJUSTED ON ROOF PLAN. PROVIDE ANODIZED ALUM. PANEL WALL (TRELLIS) WHITE PAINTED ALUM. PANEL (CANOPY) TO PROVIDE PROPER SLOPE FOR DRAINAGE.
 5. SYSTEM SHALL ALLOW FOR MOVEMENT AT EXTERIOR JOINTS AND FOR MOVEMENT OF EXTERIOR WALL SYSTEM ON WHICH THE TRELLIS OR CANOPY IS MOUNTED.
 6. STRUCTURAL ATTACHMENTS & LOAD CALCULATIONS SHALL BE PROVIDED BY TRELLIS OR CANOPY SYSTEM DESIGNER. SEE RECORD. SUPPLIER'S DESIGNER OF RECORD SHALL DESIGN PER PREVAILING CODES.
 7. TRELLIS SYSTEM MAY BE SELECTED FROM ONE OF THE SUPPLIERS LISTED BELOW.
 8. CONTRACTOR SHALL PROVIDE RESURFER WITH INSTALLATION. INSTALLATION MANUFACTURER SHALL DESIGN TRELLIS IN ACCORDANCE WITH THE WALL SYSTEM AND ELECTRICALLY NOTED IN THE CONSTRUCTION DOCUMENTS.
 9. INSTALLER SHALL NOTIFY TRELLIS & CANOPY DESIGNER OF RECORD. WOODWARD'S ADM. O.C. AND ARCHITECT OF ANY DEFICIENCIES THAT WOULD NOT ALLOW FOR THE PROPER INSTALLATION OF THE TRELLIS. TRELLIS SHALL NOT BE INSTALLED UNTIL THE DESIGNER OF RECORD IS CONSULTED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. CONSULT THE TRELLIS MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- TRELLIS SYSTEMS, INC.
GREENHURST (714) 355-2455
HUNTSVILLE (256) 837-0778
www.trellisinc.com
- ALL-LINE (817) 500-2300
www.all-line.com
- PERFORM (770) 724-7110
www.perform.com
- ROSE COMPANY FABRIC & LED LIGHTING, INC.
FIVE POINTS (404) 827-0778
www.rosecompany.com
- PERFORMA (800) 843-5253
www.performa.com

WALL ASSEMBLY NOTES

NO SCALE

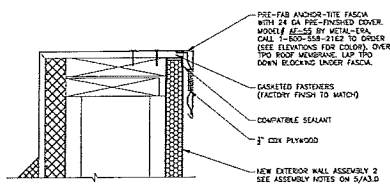
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5	08/23/2017	FOR PERMITS
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7	08/23/2017	FOR PERMITS
8	08/23/2017	FOR PERMITS
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10	08/23/2017	FOR PERMITS

PROJECT NO. 170601
A3.0
 WALL SECTIONS & DETAILS

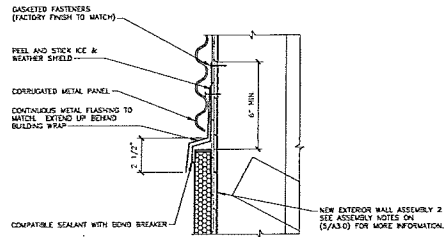
DESIGNED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 08/23/2017

PROJECT: [Project Name]
 SHEET: [Sheet Number]

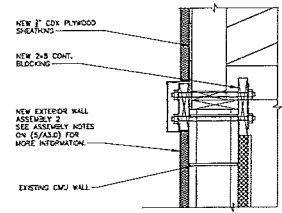
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3 DETAIL - FASCIA @ PARAPET
A3.1 3/4" = 1'-0"



4 DETAIL - CORRUGATED PANEL
A3.1 3/4" = 1'-0"

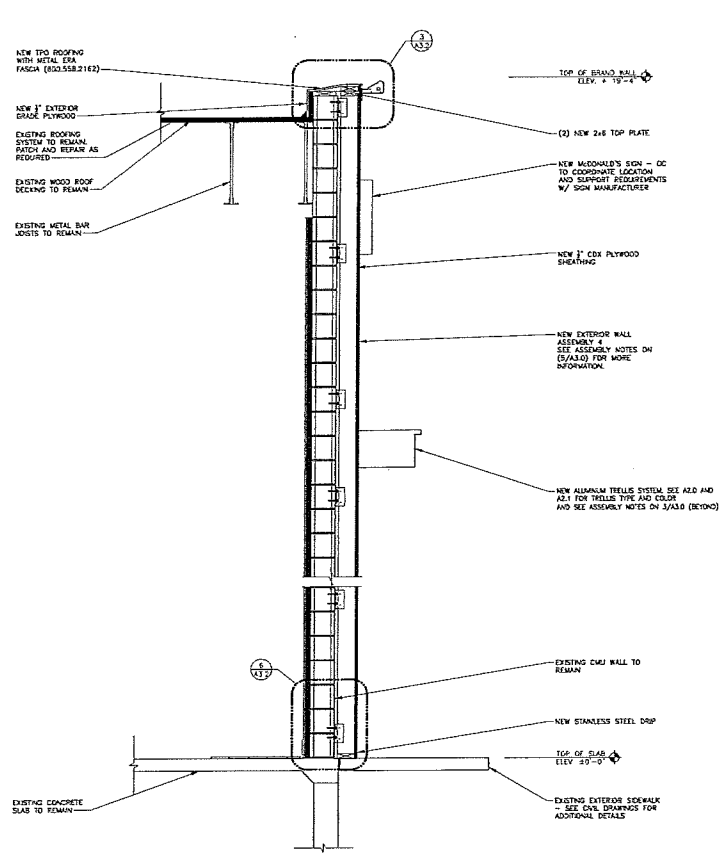


5 DETAIL @ PARAPET WALL
A3.1 3/4" = 1'-0"

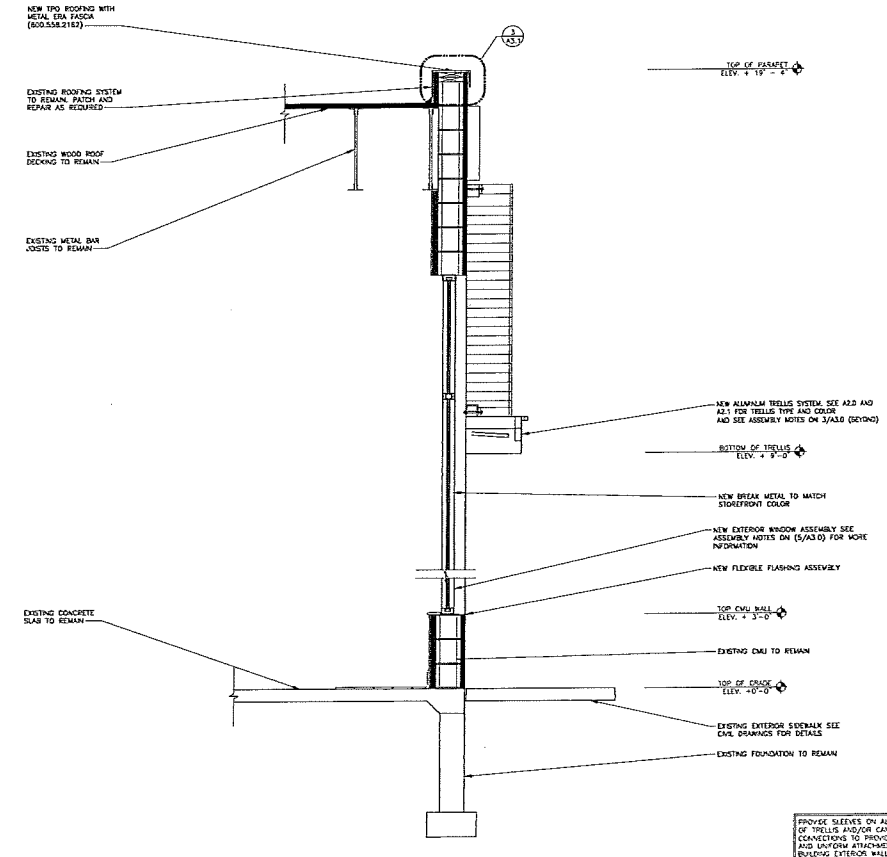
PROVIDE SLEEVES ON ALL FASTENERS OF TRELLIS AND/OR CANOPY CONNECTIONS TO PROVIDE CONSISTENT AND UNIFORM ATTACHMENT THROUGH BUILDING EXTERIOR WALL FINISH.

SEE ELEVATIONS FOR COLOR OF ALL CANOPY FACIAL TRELLIS AND TIE-BACK COMPONENTS.

TRELLIS VELOUR TO PROVIDE FULL ASSEMBLY AND ATTACHMENT OF TRELLIS & UNDERSCORE.



1 SECTION - FRONT BRAND WALL
A3.1 3/4" = 1'-0"



2 SECTION - FRONT DINING ROOM WALL
A3.1 3/4" = 1'-0"

PROVIDE SLEEVES ON ALL FASTENERS OF TRELLIS AND/OR CANOPY CONNECTIONS TO PROVIDE CONSISTENT AND UNIFORM ATTACHMENT THROUGH BUILDING EXTERIOR WALL FINISH.

SEE ELEVATIONS FOR COLOR OF ALL CANOPY FACIAL TRELLIS AND TIE-BACK COMPONENTS.

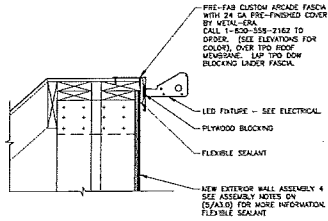
TRELLIS VELOUR TO PROVIDE FULL ASSEMBLY AND ATTACHMENT OF TRELLIS & UNDERSCORE.

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91	08/23/17	TOP FILING
92	08/23/17	TOP FILING
93	08/23/17	TOP FILING
94	08/23/17	TOP FILING
95	08/23/17	TOP FILING
96	08/23/17	TOP FILING
97	08/23/17	TOP FILING
98	08/23/17	TOP FILING
99	08/23/17	TOP FILING
100	08/23/17	TOP FILING

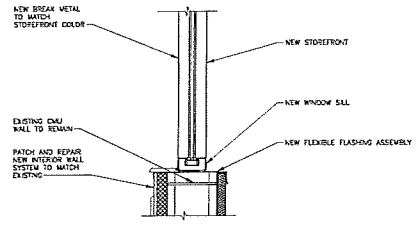


McDonald's USA, LLC
 12000 W. Alhambra Drive, Suite 100
 Houston, TX 77042
 (281) 416-1000
 08/23/2017

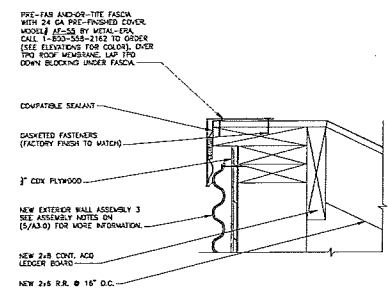
PROJECT NO: A3.1
 WALL SECTIONS & DETAILS
 11/15/2017



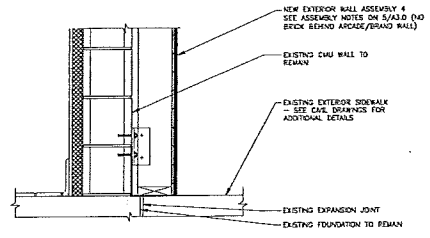
3 DETAIL - LED FIXTURE
A3.2 1/2" = 1'-0"



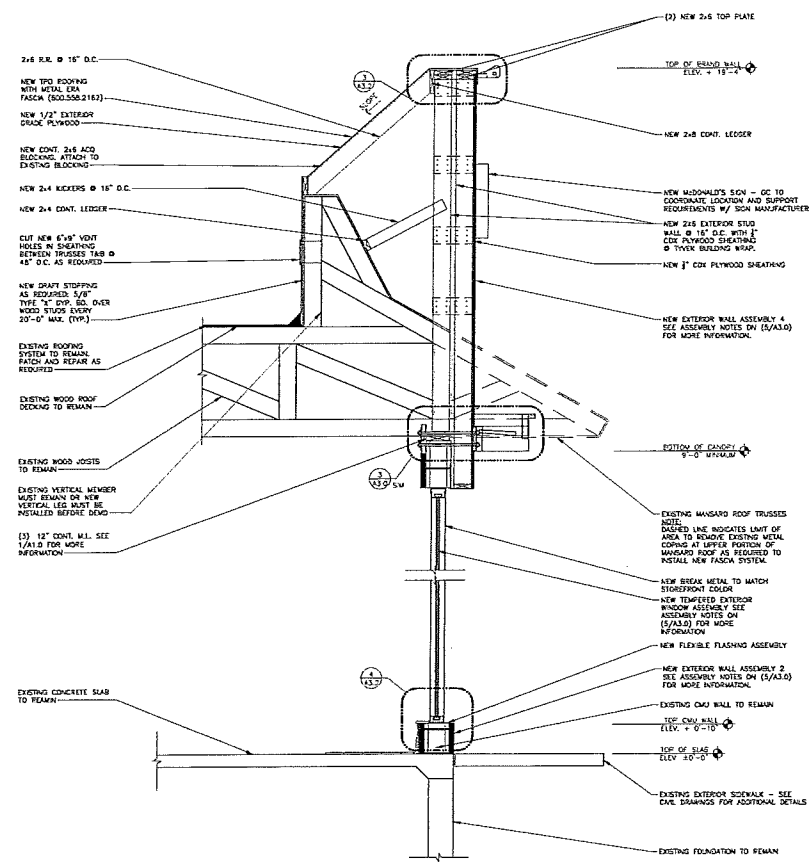
4 DETAIL @ WINDOW SILL
A3.2 1/2" = 1'-0"



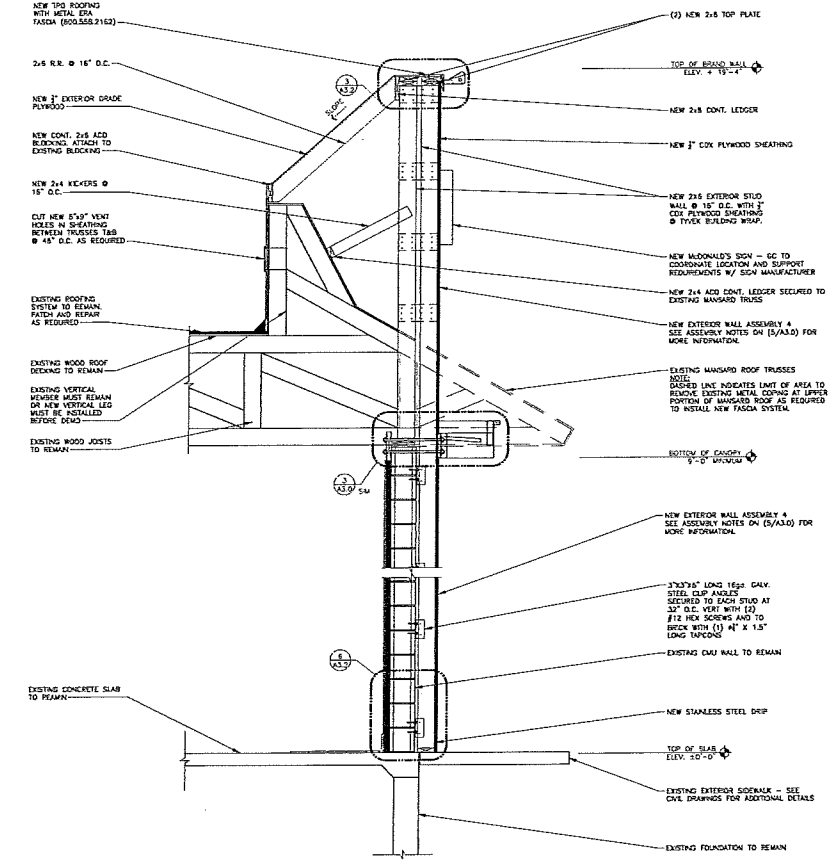
5 DETAIL - FASCIA @ PARAPET
A3.2 3" = 1'-0"



6 BRAND WALL BASE DETAIL
A3.2 1/2" = 1'-0"



1 SECTION - SIDE VESTIBULE (WINDOW)
A3.2 3/4" = 1'-0"



2 SECTION - SIDE VESTIBULE (WALL)
A3.2 3/4" = 1'-0"

REV	DATE	DESCRIPTION
0	08/31/17	TOP FLING
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

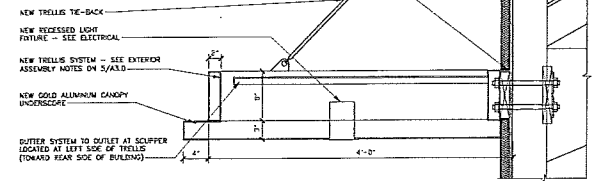
<p>McDonald's USA, LLC 10000 McDonald's Blvd, Suite 100 Dallas, TX 75243 (972) 261-1111 www.mcdonalds.com</p>	<p>SkyBorne Technologies 10000 McDonald's Blvd, Suite 100 Dallas, TX 75243 (972) 261-1111 www.skyborne.com</p>
---	--

DRAWN BY: [Name] CHECKED BY: [Name] DATE: [Date]	PROJECT: 170101 WALL SECTIONS & DETAILS A3.2
--	--

PROVIDE SLEEVES ON ALL FASTENERS OF TRELLIS AND/OR GASKET CONNECTIONS TO PROVIDE CONSISTENT AND UNIFORM ATTACHMENT THROUGH BUILDING EXTERIOR WALL FINISH.

SEE ELEVATIONS FOR COLORS OF ALL CANOPY FASCIA, TRELLIS AND TRUSS COMPONENTS.

TRELLIS VENDOR TO PROVIDE TELL ASSEMBLY OF TRELLIS & UNDERSCORE.

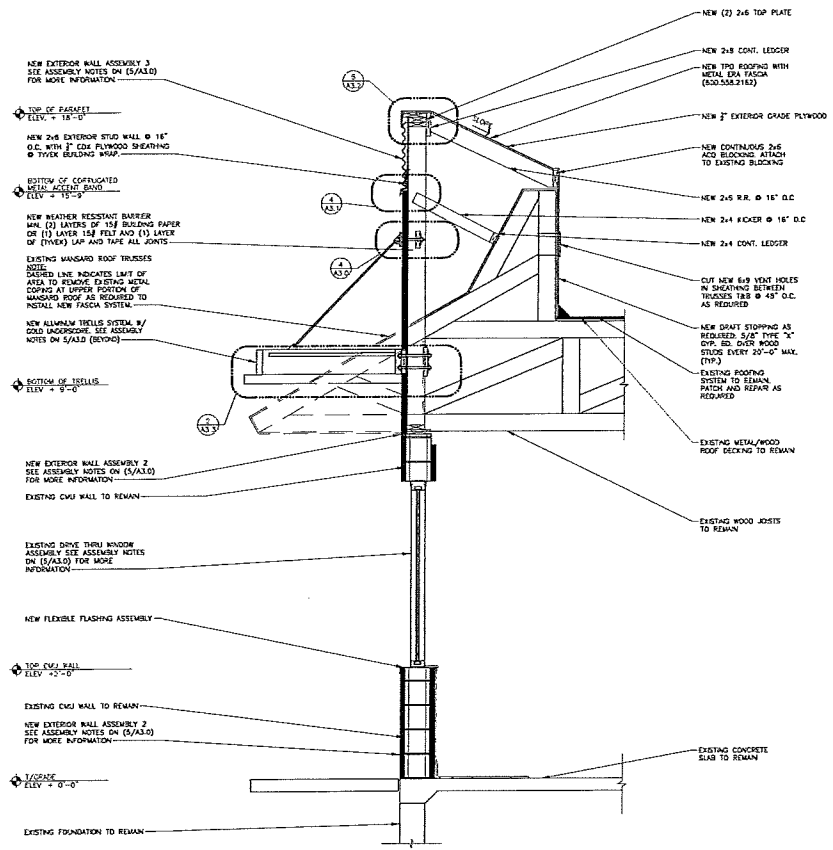


2 DETAIL - TRELLIS SYSTEM W/ GOLD UNDERSCORE
A3.3 1/2" = 1'-0"

4 NOT USED
A3.3

5 NOT USED
A3.3

6 NOT USED
A3.3

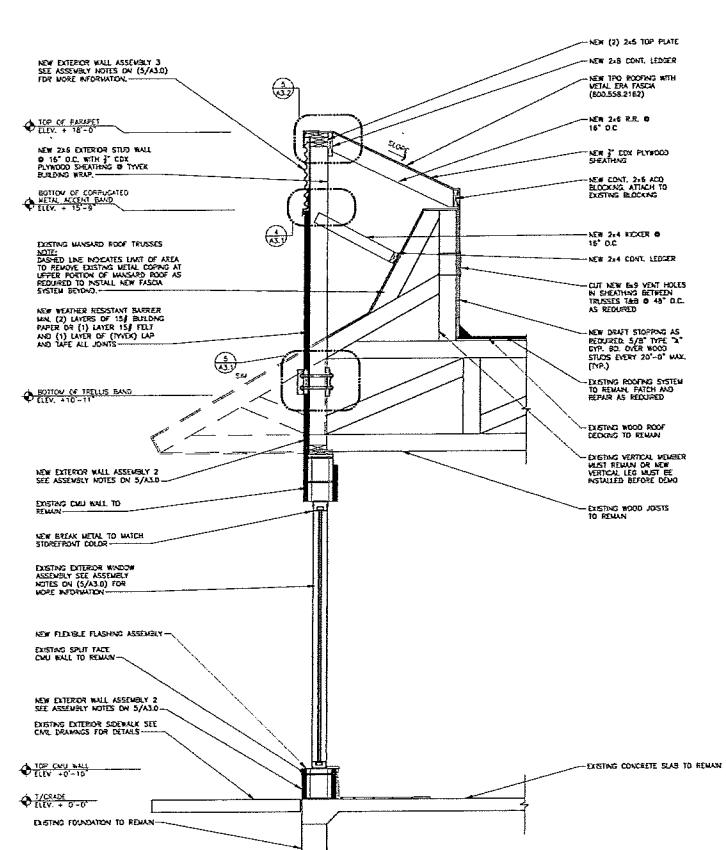


1 SECTION - DRIVE THRU WINDOW
A3.3 3/4" = 1'-0"

7 NOT USED
A3.3

8 NOT USED
A3.3

9 NOT USED
A3.3



3 SECTION - DRIVE THRU VESTIBULE
A3.3 3/4" = 1'-0"

REV	DATE	DESCRIPTION
0	08-23-17	FOR TILING



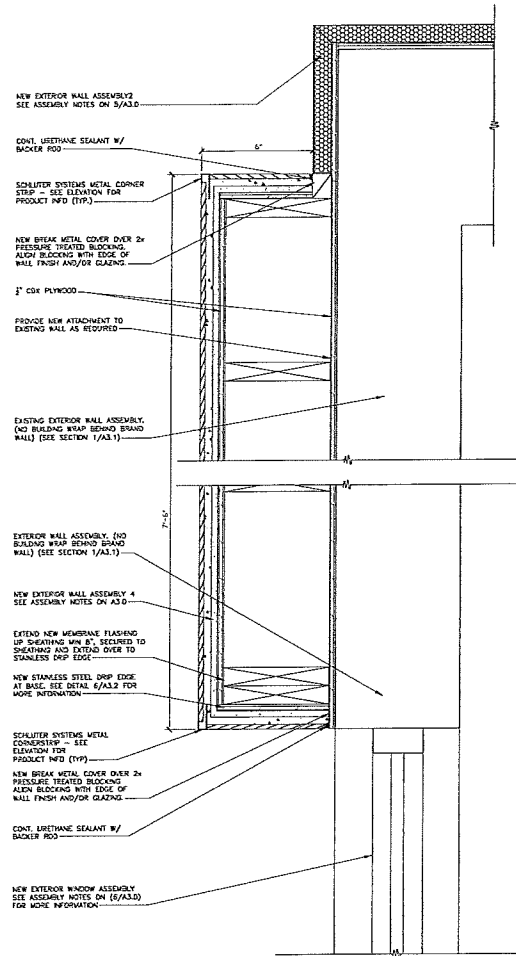
Skyborne Technologies
P.O. BOX 487
PERRIS, CA 92570

McDonald's USA, LLC
15000 W. WASHINGTON AVE., SUITE 100
PERRIS, CA 92570
PH: 951-251-1000
WWW.MCDONALDSUSA.COM

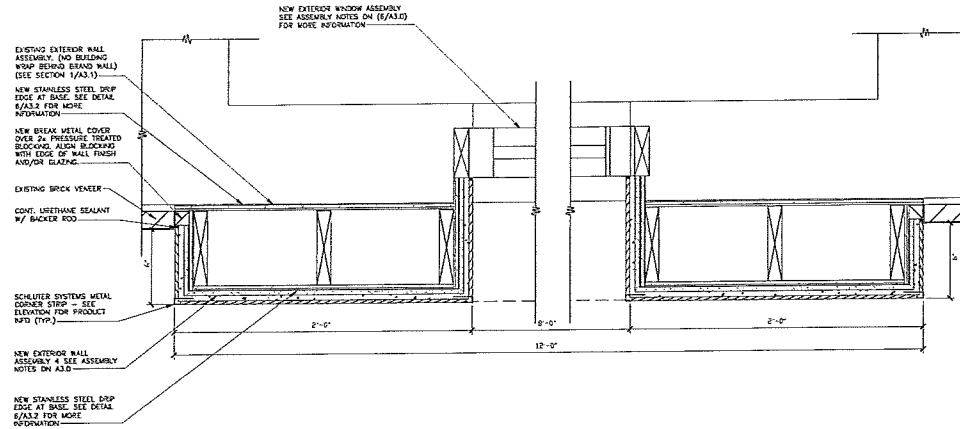
DATE: 05/27/2017
PROJECT: 175403
WALL SECTIONS & DETAILS
A3.3
WALL SECTIONS & DETAILS

NOTE:
SEE FLOOR PLANS FOR
ADDITIONAL DIMENSIONS.

NOTE:
REVISE AND/OR ADJUST PER
TELEVISION REQUIREMENTS.



1
A4.0
3' - 1'-0"



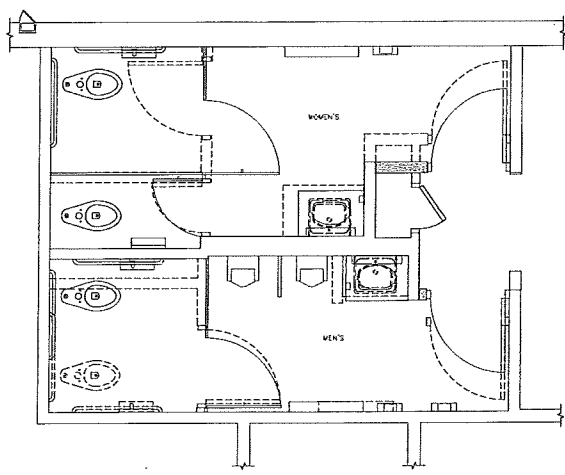
2
A4.0
3' - 1'-0"

NOTE #1
NEW WALL ASSEMBLY:
1. 2x8 WOOD STUD FRAMING @ 16" O.C. (WITH CONTINUOUS DRAFTSTOP/PRESTOP BLOODING AT FINISH CEILING LEVEL)
2. 4MM FACED BATT INSULATION (R-VALUE = 19)
3. IMPERMEABLE VAPOR BARRIER (DETERM PER REGIONAL REQUIREMENTS) U.O.M.
4. WALL BASE, 1/2" CEMENT BOARD, 12" H HEIGHT ABOVE BASE EXTENDING TO STRUCTURE ABOVE. 1/2" ISO SHEATHING BRAND WOOD TOUCH CHIPWEN PANELS OR 1/2" PLYWOOD BACKUP AS INDICATED ON THE ROOM FINISH SCHEDULE.
5. ANY GIP PANEL SUBSTITUTIONS MUST REFER TO REP 551H-03223.
6. SEE FINISH & PARTITION SCHEDULE.

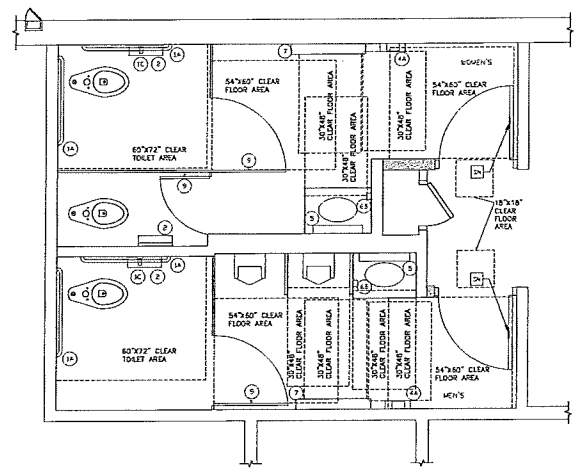
BRAND WALL FINISH NOTES
SEE
EUPHONIC E-WOOD COLLECTION
COLOR: 22 BROWN, SIZE: 4"X8"
WATERPROOFING SETTING MATERIAL AND CRUIT BY MADE
CERUIT COLOR: ULTRA COLOR FIELDS - 47 CHARCOAL
CERUIT W/SH: 1/8" TO 3/16"
CONTACT: JAN (ETER) (714) 837-2500
MOVEMENT JOINT - ONLY EMPLOYED BY SCHLUTER SYSTEMS
COLOR: BLACK
CORNER CORNER STRIPS
PONDIC PHOTOGR BY SCHLUTER SYSTEMS
ALUMINUM MOCHTLOW COLOR: DARK ANTHRACITE
COMMERCIALSUPPORT@SCHLUTER.COM, (800) 287-0817

NO. 1	DATE	DESCRIPTION
0	08/13/17	FOR FINISH
REV	DATE	DESCRIPTION
BY		

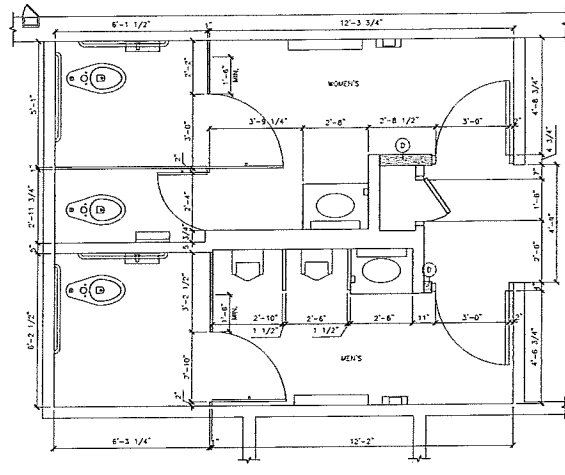
PROJECT NO.	BRAND WALL DETAILS
DATE	08/13/2017
DESIGNER	SKYBORNE TECHNOLOGIES
CLIENT	McDonald's USA, LLC
LOCATION	FRANCONIA, NH
SCALE	AS SHOWN
PROJECT NO.	170201
DATE	08/13/2017
DESIGNER	SKYBORNE TECHNOLOGIES
CLIENT	McDonald's USA, LLC
LOCATION	FRANCONIA, NH
SCALE	AS SHOWN



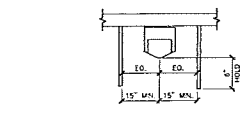
1 ENLARGED RESTROOM DEMO PLAN
1/2" = 1'-0"



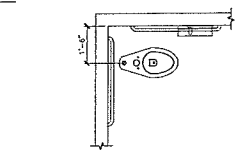
2 ENLARGED RESTROOM PLAN ADA COMPLIANCE
1/2" = 1'-0"



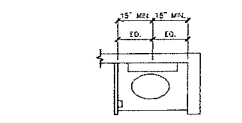
3 ENLARGED RESTROOM PLAN
1/2" = 1'-0"



4 DETAIL - TYPICAL RESTROOM CONDITIONS - URINAL
1/2" = 1'-0"



5 DETAIL - TYPICAL RESTROOM CONDITIONS - WATER CLOSET
1/2" = 1'-0"



6 DETAIL - TYPICAL RESTROOM CONDITIONS - MIRROR/VANITY
1/2" = 1'-0"

ADA NOTES:

- NEW RESTROOM LAYOUT TO BE UPDATED TO COMPLY WITH 2010 ADA STANDARDS, ADA MA CUR 521 AND ANY REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND FIELD CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICTS AND/OR OMISSIONS WHICH WOULD INTERFERE WITH THE 2010 ADA STANDARDS, ADA MA CUR 521 AND ANY REQUIREMENTS. SHOULD THE FIELD FOLLOW THIS PROCEDURE AND COLLIDE WITH THE WORK, HE SHALL RESUME ALL RESPONSIBILITY AND LIABILITY TO THE ARCHITECT.
- ALL NEW PLUMBING FIXTURES AND RESTROOM ACCESSORIES TO COMPLY WITH 2010 ADA STANDARDS, ADA MA CUR 521 AND ANY REQUIREMENTS.
- CLEAR MIN. DIMENSIONS ARE TO BE CLEAR OF ANY WALLS, STRUCTURE OF FINISHES (CORNER GUARDS, CHAIR RAIL, CORNER GUARDS, BASE TILES ELECTRICAL PANEL, DOORS, EQUIPMENT AND ETC).
- AFTER AIR BALANCE IS COMPLETED AND PRIOR TO OPENING STORE, ADJUST ALL DOORS SPRING FORCE PRIOR TO OPENING OF STORE. ALL INTERIOR DOORS OPENING FORCE SHALL BE 5# MAX. AND ALL EXTERIOR DOORS OPENING FORCE IS ADVISED TO BE 8.5# MAX.
- CLOSING SPEED OF DOORS WITH CLOSER SHALL BE WITH 5 SECONDS (FROM OPEN POSITION 90° TO POSITION OF 17°).
- SPACE PACKAGE AND INSTALL SHOWS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SPACE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8145 9192 1ST ST., BOX 588 www.forrestperma-sign.com NEW ROCHELLE, NY 10602
- ANY JOB REQUIRING MANEUVERING CLEARANCE AT MANUAL SPRING DOORS, NOTE: ENSURE NO EQUIPMENT OR FURNITURE IMPEDES OR REDUCED FLOOR SPACE IN FRONT OF THE DOOR.

PLUMBING FIXTURE CALCULATION:

FIXTURE TYPE	REQUIRED	PROVIDED	EXISTING	CHANGE
WATER CLOSETS (1 PER 75 OCCUPANTS)	1	1	1	0
WATER CLOSETS (1 PER 75 OCCUPANTS)	1	1	1	0
WATER CLOSETS (1 PER 75 OCCUPANTS)	1	1	1	0
WATER CLOSETS (1 PER 75 OCCUPANTS)	1	1	1	0

GENERAL NOTES:

- NEW RESTROOM LAYOUT TO BE UPDATED TO COMPLY WITH 2010 ADA STANDARDS, ADA MA CUR 521 AND ANY REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND FIELD CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICTS AND/OR OMISSIONS WHICH WOULD INTERFERE WITH THE 2010 ADA STANDARDS, ADA MA CUR 521 AND ANY REQUIREMENTS. SHOULD THE FIELD FOLLOW THIS PROCEDURE AND COLLIDE WITH THE WORK, HE SHALL RESUME ALL RESPONSIBILITY AND LIABILITY ARISING THEREFROM.
- ALL NEW PLUMBING FIXTURES AND ACCESSORIES MUST TO COMPLY WITH 2010 ADA STANDARDS, ADA MA CUR 521 AND ANY REQUIREMENTS.
- GC TO PROVIDE ADA SPACE PACKAGE AND INSTALL SHOWS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SPACE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8145 9192 1ST ST., BOX 588 www.forrestperma-sign.com NEW ROCHELLE, NY 10602
- FOR RESTROOM FINISH SCHEDULE REFER TO JOB DRAWINGS INCLUDED IN THIS PACKAGE.
- FOR INTERIOR SEATING LAYOUT, FRONT COUNTER, CREAM FINISHES, HEIGHTS AND FLOOR FINISHES SEE JOB DRAWINGS.
- SPRING DOOR AND GATE SURFACES WITHIN 1' OF THE FLOOR OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE FINISH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/16" OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED W/CN PLATES SHALL BE CARVED.

KEY NOTES:

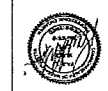
- NEW ADA CHANGE - SEE 4/A1.3 FOR MORE INFO.
- NEW URINAL SCREEN - TOILET PARTITION STYLE: SEPARATOR PRODUCTS HONEY MODELS, COLOR: T80
- TOILET PARTITION - TOILET PARTITION STYLE: SEPARATOR PRODUCTS HONEY MODELS, COLOR: T80
- NEW FOCAL WALL - SEE JOB INTERIORS DRAWINGS
- DOOR - SEE DOOR SCHEDULE A4.3 FOR MORE INFO.
- NEW WALL PARTITION, FOR EXTERIOR WALL ASSEMBLY TYPE, SEE NOTES A4.3

NOTE:

ALL CLEARANCES, ACCESSIBLE PATHS, REACH RANGES AND ALL OTHER ADA REGULATED ITEMS TO BE COMPLIANT WITH THE 2010 ADA STANDARDS AND MANUFACTURER'S SET OWN. CONTRACTOR TO NOTIFY THE E.O.A. OF ANY DISCREPANCIES BETWEEN THE PLANS SHOWN AND COPIES REFERENCED ABOVE PRIOR TO THE START OF CONSTRUCTION.

ITEM	QTY	UNIT	MARK #	SUPPLIER	BACKUP SUPPLY
40	GRAB BAR 42"	BRADLEY	812-031-47	HUGHES SUPPLY (888) 310-3578 MCDONALD@HUGHES.COM	FIRE TREATED WOOD BLOCKING OR 14GA STEEL PLATE STEEL BACKING
41	NOT USED				
42	VERTICAL GRAB BAR 24"	BRADLEY	812-031-24	HUGHES SUPPLY (888) 310-3578 MCDONALD@HUGHES.COM	
43	TOILET TISSUE DISPENSER, FANDED, SURFACE MOUNTED	BRADLEY	8424	HUGHES SUPPLY (888) 310-3578 MCDONALD@HUGHES.COM	
44	NOT USED				
45	HAND DRYER, ENERGY EFFICIENT MODEL ADA, ALUMINUM BRUSHED	WORLD CENTER	5174	HUGHES SUPPLY (888) 310-3578 MCDONALD@HUGHES.COM	
46	MIRROR, CHANNEL FRAME	BRADLEY	7161	HUGHES SUPPLY (888) 310-3578 MCDONALD@HUGHES.COM	
47	SOAP DISPENSER, WALL-MOUNTED	BRADLEY	6842	HUGHES SUPPLY (888) 310-3578 MCDONALD@HUGHES.COM	
48	BABY CHANGING STATION	KOMA	K2200-00	FIRE TREATED WOOD BLOCKING OR 14GA STEEL PLATE STEEL BACKING	
49	NOT USED				
50	FOOT HOOK	BRADLEY	933	FOOT HOOK: P350 FACE OF DOOR Ø 48" AFF. MAX	

NOTES:
1) SEE THIS SHEET FOR ACCESSORY MOUNTING HEIGHTS.
2) SELECT ONE ITEM FROM ITEM GROUPS 4 & 6. VERIFY WITH AREA CONSTRUCTION MANAGER.
3) GC TO COORDINATE ALL PANEL SELECTIONS WITH MCDONALD'S CONSTRUCTION MANAGER PRIOR TO PURCHASING.
4) GC TO PROVIDE ADA SPACE PACKAGE AND INSTALL SHOWS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES.

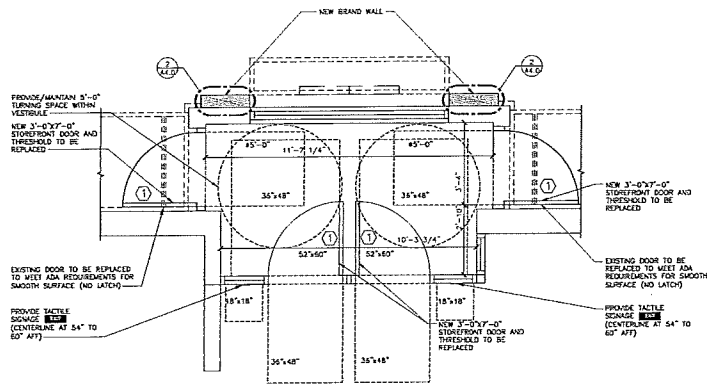


McDonald's USA, LLC
SkyBorne Technologies
14100 141st Ave NE
Redmond, WA 98073

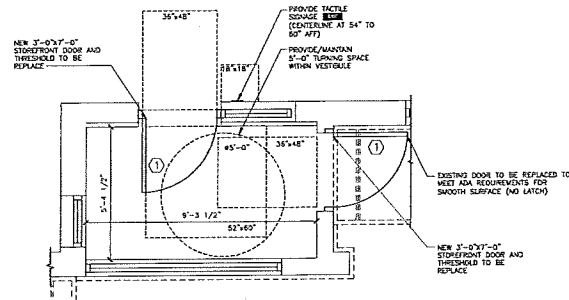
PROJECT NO: 170601
DATE: 08/23/2017
DRAWN BY: J. [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

ENLARGED RESTROOM PLAN & NOTES
A4.1
1/2" = 1'-0"

NO.	DATE	BY	DESCRIPTION
0	08/23/17	J. [Name]	FOR FINALS
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			



1 ENLARGED VESTIBULE PLAN (ENTRY)
A4.2 1/2" = 1'-0"



2 ENLARGED VESTIBULE PLAN (DRIVE-THRU)
A4.2 1/2" = 1'-0"

CONTRACTOR TO VERIFY ALL FINISHES WITH MANUFACTURER'S ACP FINISH TO COMPLY. ALL AREAS OF NEW WORK ARE TO BE FINISHED IN FINISHES AREA TO BE VETTERED AS PER MANUFACTURER'S RECOMMENDATIONS.

SYMBOL	LEGEND
①	DOOR TAG SEE SCHEDULE A4.3
②	WALL TYPE
③	WALL TYPES
④	FOR EXTERIOR WALL ASSEMBLY TYPE SEE NOTES 5/2/3.0
⑤	FOR INTERIOR WALL ASSEMBLY TYPE SEE NOTES A4.3

GENERAL NOTES
1. EXTERIOR WALLS FROM INTERIOR FACE OF CURB TO EXTERIOR FACE OF CURB TO THE FACE OF FINISH WALL TO THE FACE OF FINISH WALL. U-10
2. SEE 6/2/3.0 FOR EXTERIOR WALL ASSEMBLY TYPES
3. SEE EXTERIOR FINISHES FOR WINDOW TYPES
4. SEE SITE PLAN FOR SCHEDULES, HANDS, ETC.
5. SEE 6/2/3.0 FOR EXTERIOR WALL ASSEMBLY TYPES
6. SEE 6/2/3.0 FOR EXTERIOR WALL ASSEMBLY TYPES
7. SEE SHEET A4.3 FOR FLOORING SCHEDULE AND NOTES
8. SEE SHEET A4.3 FOR DOOR SCHEDULE AND NOTES

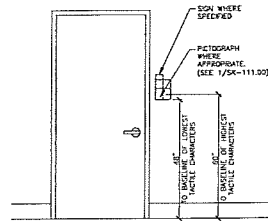
ADA NOTES
1. NEW RESTROOM LAYOUT TO BE UPDATED TO COMPLY WITH 2010 ADA STANDARDS, ADA MA CUR 501 AND ACP REQUIREMENTS. CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND FIELD CONDITIONS, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, CONFLICTS, AND/OR OMISSIONS WHICH WOULD INTERFERE WITH THE 2010 ADA STANDARDS, ADA MA CUR 501 AND ACP REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL FIELD DIMENSIONS, AND SHALL ASSURE ALL THE DIMENSIONS AND LOCATIONS ARE CORRECT.
2. ALL NEW FINISHES, FINISHES AND RESTROOM ACCESSORIES TO COMPLY WITH 2010 ADA STANDARDS, ADA MA CUR 501 AND ACP REQUIREMENTS.
3. "CLEAR WAYS" DIMENSIONS ARE TO BE CLEAR OF ANY WALLS, STRUCTURE OR FINISHES (INCLUDING CURB, CHAIR RAIL, CORNER GUARDS, BASE TRIMS, ELECTRICAL WALL DOORS, EQUIPMENT, ETC.)
4. AFTER AIR BALANCING IS COMPLETED AND BEFORE OPENING STORE, IDENTIFY ALL DOORS' OPENING FORCE FROM TO OPENING OF STORE. ALL EXTERIOR DOORS' OPENING FORCE SHALL BE 5# MAX. AND ALL EXTERIOR DOORS' OPENING FORCE IS ADVISED TO BE 5# MAX.

5. CLOSING SPEED OF DOORS WITH CLOSER SHALL BE MIN. 5 SECONDS FROM OPEN POSITION TO POSITION OF 12"
6. SIGNAGE PACKAGE AND INSTALL SIGNAGE AT LOCATIONS AND POSITIONS INDICATED BY PACKAGE OR AS PROVIDED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FOREST RESTAURANT 1-800-214-8765 9292 1ST ST., BOY 588 WWW.FORESTRESTAURANTS.COM NEW ROCHELLE, NY 10650
7. EXTERIOR DOOR BELLS AND BUZZERS AT DELIVERY DOORS IF INSTALLED OR MODIFIED DUE TO FACED WORK MUST COMPLY WITH REACH-RANGE MAX. HEIGHTS FOR ACCESSIBILITY. TOP OF BUZZER/BELL/CHIME IS NOT TO EXCEED 48" AFF
8. ADA REQUIRED MANEUVERING CLEARANCE AT MANUAL SWINGING DOOR 1. NOTE: EXISTING NO EQUIPMENT OR FURNITURE MARKERS OR HINDERED CLEAR FLOOR SPACE IN FRONT OF THE DOOR

FIRE ALARM NOTES:
1. ALL PULL-STATIONS MUST MEET ADA REQUIREMENTS OR LOCAL/STATE AND IF MORE STRINGENT, ADA ALLOWS A MAX. REACH HEIGHT OF 48" AS LONG AS THE REACH IS NOT OVER AN OBSTRUCTION GREATER THAN 10" DEEP. THE MAX. REACH HEIGHT TO THE OPERABLE MECHANISM ALLOWED FOR COMPLIANCE WITH 2010 ADA STANDARDS WHEN REACH IS OVER AN OBSTRUCTION (TRASH RECEPTACLE, DISPLAY, ETC.) IS 48" AFF. CONSIDER LOCATION OF DEWAS ITEMS, TRANSDUCER RECEPTILES TO LOCATE THE PULL STATIONS WHERE THEY WILL NOT BE BLOCKED BY THESE ITEMS. ENCLOSE FIRE ALARM CONTRACTOR HAS A COPY OF THE FINAL DECOR PLAN FOR COORDINATION.
2. A/V DEVICES MUST BE INSTALLED PER ADA REQUIREMENTS OR LOCAL/STATE AND IF MORE STRINGENT, ADA/IFPC222 REQUIRES STRINGS TO BE MOUNTED AT 80" AFF. TO A PORTION OF THE CLEAR LEGS OF THE STRINGS UNLESS A LOW-CLEARANCE CONDITION EXISTS, WHERE A MIN. OF 6" BELOW THE CEILING PLANE IS REQUIRED FOR VISIBILITY THROUGH STRINGS.
IMPORTANT NOTE: MANUFACTURER'S REQUIRED A CLARIFICATION IN WHICH HANGERS WALL-MOUNTED A/V DEVICES. IF LOCAL/STATE AND IFPC222 REQUIRES CEILING-MOUNTED A/V DEVICES IN PUBLIC AREAS (DINING ROOMS, RESTROOMS, REARSPACE, ETC.) THEY WALL-MOUNTED A/V'S MUST BE INSTALLED IN ADDITION TO THE CEILING UNITS. PER #2 ABOVE.

PROJECT: ENLARGED VESTIBULE PLAN
 SHEET: A4.2
 DATE: 12/15/2021
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]
 PROJECT NO: 170001
 SCALE: AS SHOWN
 PROJECT LOCATION: [Address]
 CLIENT: [Company Name]
 CONTRACT NO: [Number]
 DATE OF CONTRACT: [Date]
 DATE OF ISSUE: [Date]
 DATE OF REVISION: [Date]

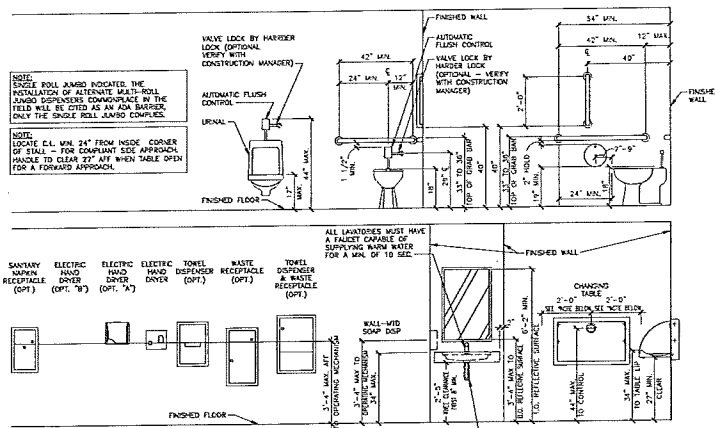
McDonald's USA, LLC
 SkyBorne Technologies
 P.O. BOX 818
 NEW ROCHELLE, NY 10650



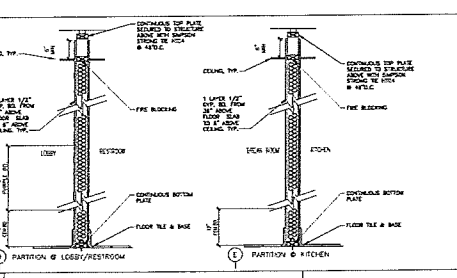
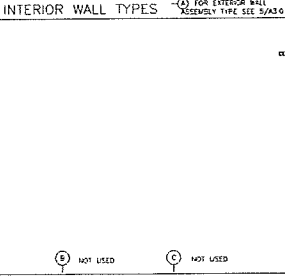
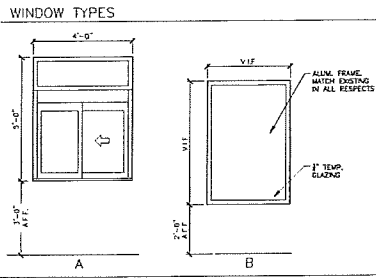
- NOTES:
1. MOUNT SIGNAGE WITH DOUBLE FACE TOWM TAPE AT BACK OF IT AS REQUIRED.
 2. SIGNAGE SHALL BE MOUNTED ON THE LATCH SIDE OF DOOR, WITH AN 18" X 18" CLEAR FLOOR SPACE.
 3. SIGNAGE TO BE INSTALLED PER ADA STANDARDS.

1 ADA SIGNAGE DETAIL
A4.3 1/2" = 1'-0"

2 NOT USED
A4.3 NO SCALE



3 TYPICAL RESTROOM FIXTURE AND ACCESSORY ELEVATIONS
A4.3 1/2" = 1'-0"

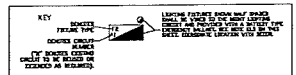


ROOM NAME	FLOOR	BASE	MORTAR SETTING BED	GROUT
CUSTOMER SERVICE	POPULAR FLOOR TILE (NO. 1)	NO. 1 - 1/2" x 1/2" x 1/2"	LATEX-PORTLAND CEMENT THIN SET (MEDIUM BED)	HIGH PERFORMANCE CEMENT GROUT
COINOPS	POPULAR FLOOR TILE (NO. 1)	NO. 1 - 1/2" x 1/2" x 1/2"	LATEX-PORTLAND CEMENT THIN SET (MEDIUM BED)	HIGH PERFORMANCE CEMENT GROUT
WOMEN'S TOILET	POPULAR FLOOR TILE (NO. 1)	NO. 1 - 1/2" x 1/2" x 1/2"	LATEX-PORTLAND CEMENT THIN SET (MEDIUM BED)	HIGH PERFORMANCE CEMENT GROUT
MEN'S TOILET	POPULAR FLOOR TILE (NO. 1)	NO. 1 - 1/2" x 1/2" x 1/2"	LATEX-PORTLAND CEMENT THIN SET (MEDIUM BED)	HIGH PERFORMANCE CEMENT GROUT
VESTIBULE	POPULAR FLOOR TILE (NO. 1)	NO. 1 - 1/2" x 1/2" x 1/2"	LATEX-PORTLAND CEMENT THIN SET (MEDIUM BED)	HIGH PERFORMANCE CEMENT GROUT

MARK	DOOR	FRAME	GLASS	NOTES
1	ALUM.	2" WOOD FRAME	1/2" x 1/2" x 1/2"	SEE DOOR SCHEDULE
2	ALUM.	2" WOOD FRAME	1/2" x 1/2" x 1/2"	SEE DOOR SCHEDULE
3	ALUM.	2" WOOD FRAME	1/2" x 1/2" x 1/2"	SEE DOOR SCHEDULE
4	ALUM.	2" WOOD FRAME	1/2" x 1/2" x 1/2"	SEE DOOR SCHEDULE

DOOR TYPE	FRAME	GLASS	NOTES
1	2" WOOD FRAME	1/2" x 1/2" x 1/2"	SEE DOOR SCHEDULE
2	2" WOOD FRAME	1/2" x 1/2" x 1/2"	SEE DOOR SCHEDULE
3	2" WOOD FRAME	1/2" x 1/2" x 1/2"	SEE DOOR SCHEDULE
4	2" WOOD FRAME	1/2" x 1/2" x 1/2"	SEE DOOR SCHEDULE

McDonald's USA, LLC
 SkyBorne Technologies
 A4.3
 DETAILS, NOTES, & SCHEDULES



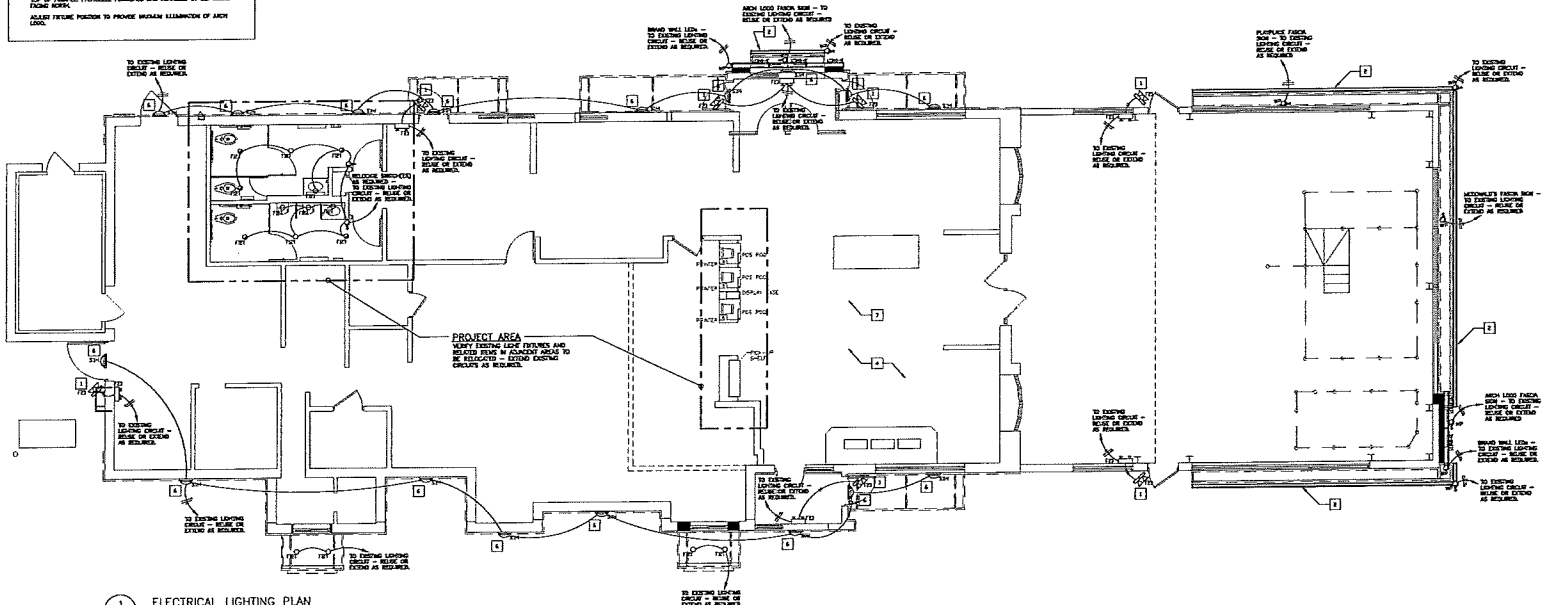
ADDITIONAL LIGHTING NOTES:

VERIFY THE OPERATIONAL FEATURES FOR ALL NEW AND EXISTING LIGHTING FIXTURES, INCLUDING THE LIGHT SOURCE, BALLAST, AND ALL ELECTRICAL CONNECTIONS. VERIFY THE OPERATIONAL FEATURES FOR ALL EXISTING LIGHTING FIXTURES AND BALLASTS.

E.C. SHALL VERIFY THE OPERATION OF ALL EXISTING LIGHTING FIXTURES AND BALLASTS. VERIFY THE OPERATION OF ALL EXISTING LIGHTING FIXTURES AND BALLASTS.

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1 ELECTRICAL LIGHTING PLAN
3/16" = 1'-0"

GENERAL NOTES FOR DRAWING E2.0:

1. ALL NOTES CONTAINED IN THIS DOCUMENT APPLY TO THE PROJECT AREA AS SPECIFIED.

2. ELECTRICAL CONTRACTOR SHALL PROVIDE POWER AS NECESSARY FOR THE COMPLETE JOB. ADD, REMOVE OR EXTEND CIRCUITS AS DIRECTED BY THE PROJECT MANAGER. VERIFY THAT THERE IS SUFFICIENT CAPACITY FOR ADDITIONAL ELECTRICAL LOADS.

3. ALL WORK SHALL CONFORM TO ALL PROVISIONS OF CURRENT APPLICABLE NEC, CODES OF LOCAL, STATE AND FEDERAL JURISDICTION.

4. VERIFY POWER REQUIREMENTS WITH THE OWNER, ARCHITECT SHALL CONFIRM AND COORDINATE RECEPTACLE LOCATIONS AND MOUNTING HEIGHTS WITH THE OWNER/PROJECT MANAGER.

5. FINAL FIXTURE SELECTION AND MOUNTING LOCATIONS SHALL BE SPECIFIED BY THE OWNER AND ARCHITECT.

6. VERIFY TYPICAL REQUIREMENTS WITH OWNER - PROVIDE RECEPTACLES AS NECESSARY.

7. VERIFY ANY OTHER SPECIAL WIRING REQUIREMENTS (E.G. INTERCOM, SECURITY, SPEAKERS, CONTROLS, FIRE ALARMS, ETC.) WITH OWNER AND PROVIDE AS NECESSARY FOR A COMPLETE JOB.

8. REFER TO ARCHITECTURAL DRAWINGS FOR DEMOLITION NOTES.

9. VERIFY ELECTRICAL REQUIREMENTS AND MEANS OF DISCONNECT FOR ELECTRICALLY POWERED ITEMS WITH EQUIPMENT VENDOR(S).

GENERAL NOTES FOR DRAWING E2.0:

1. ALL LIGHT FIXTURES SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

2. LIGHTING FIXTURES AND BALLASTS SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

3. LIGHTING FIXTURES AND BALLASTS SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

4. LIGHTING FIXTURES AND BALLASTS SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

5. LIGHTING FIXTURES AND BALLASTS SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

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7. LIGHTING FIXTURES AND BALLASTS SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

8. LIGHTING FIXTURES AND BALLASTS SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

9. LIGHTING FIXTURES AND BALLASTS SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

INSTALLATION METHODS:

1. ALL LIGHT FIXTURES SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

2. LIGHTING FIXTURES AND BALLASTS SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

3. LIGHTING FIXTURES AND BALLASTS SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

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8. LIGHTING FIXTURES AND BALLASTS SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

9. LIGHTING FIXTURES AND BALLASTS SHALL BE USED WITH THE SAME VOLTAGE AND WATTAGE.

PROJECT DEMOLITION NOTES:

1. THE FOLLOWING PROVIDES A GENERAL SCHEDULE OF WORK FOR THE ELECTRICAL CONTRACTOR TO DEMOLISH EXISTING LIGHTING FIXTURES AND BALLASTS AS SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL VERIFY THE LOCATION AND CONDITION OF ALL EXISTING LIGHTING FIXTURES AND BALLASTS BEFORE DEMOLITION. THE CONTRACTOR SHALL REMOVE ALL EXISTING LIGHTING FIXTURES AND BALLASTS TO THE POINT OF DISCONNECT. THE CONTRACTOR SHALL REMOVE ALL EXISTING LIGHTING FIXTURES AND BALLASTS TO THE POINT OF DISCONNECT.

2. THE CONTRACTOR SHALL REMOVE ALL EXISTING LIGHTING FIXTURES AND BALLASTS TO THE POINT OF DISCONNECT. THE CONTRACTOR SHALL REMOVE ALL EXISTING LIGHTING FIXTURES AND BALLASTS TO THE POINT OF DISCONNECT.

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5. THE CONTRACTOR SHALL REMOVE ALL EXISTING LIGHTING FIXTURES AND BALLASTS TO THE POINT OF DISCONNECT. THE CONTRACTOR SHALL REMOVE ALL EXISTING LIGHTING FIXTURES AND BALLASTS TO THE POINT OF DISCONNECT.

SEE DRAWING E1.0 FOR LIGHTING FIXTURE SCHEDULE

PROJECT SPECIFIC NOTES:

1. ALL NOTES CONTAINED IN THIS DOCUMENT APPLY TO THE PROJECT AREA AS SPECIFIED.

2. ELECTRICAL CONTRACTOR SHALL PROVIDE POWER AS NECESSARY FOR THE COMPLETE JOB. ADD, REMOVE OR EXTEND CIRCUITS AS DIRECTED BY THE PROJECT MANAGER. VERIFY THAT THERE IS SUFFICIENT CAPACITY FOR ADDITIONAL ELECTRICAL LOADS.

3. ALL WORK SHALL CONFORM TO ALL PROVISIONS OF CURRENT APPLICABLE NEC, CODES OF LOCAL, STATE AND FEDERAL JURISDICTION.

4. VERIFY POWER REQUIREMENTS WITH THE OWNER, ARCHITECT SHALL CONFIRM AND COORDINATE RECEPTACLE LOCATIONS AND MOUNTING HEIGHTS WITH THE OWNER/PROJECT MANAGER.

5. FINAL FIXTURE SELECTION AND MOUNTING LOCATIONS SHALL BE SPECIFIED BY THE OWNER AND ARCHITECT.

6. VERIFY TYPICAL REQUIREMENTS WITH OWNER - PROVIDE RECEPTACLES AS NECESSARY.

7. VERIFY ANY OTHER SPECIAL WIRING REQUIREMENTS (E.G. INTERCOM, SECURITY, SPEAKERS, CONTROLS, FIRE ALARMS, ETC.) WITH OWNER AND PROVIDE AS NECESSARY FOR A COMPLETE JOB.

8. REFER TO ARCHITECTURAL DRAWINGS FOR DEMOLITION NOTES.

9. VERIFY ELECTRICAL REQUIREMENTS AND MEANS OF DISCONNECT FOR ELECTRICALLY POWERED ITEMS WITH EQUIPMENT VENDOR(S).

EMERGENCY LIGHTING NOTES:

E11. E.C. SHALL INSTALL A LOCK ON EMERGENCY BREAKER HANDLE. FOR ALL EMERGENCY LIGHTING CIRCUITS, E.C. SHALL VERIFY ALL REQUIREMENTS AND FINAL EMERGENCY LIGHTING LOCATIONS WITH LOCAL AUTHORITIES. INCLUDE ALL COSTS IN BASE BID.

E12. IF NOT INSTALLED BY MANUFACTURER, E.C. SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF THE EMERGENCY INVERTER BALLAST IN RIGHT LIGHTING FIXTURES SHOWN ON THIS SHEET.

E13. ALL FIXTURES DENOTED AS NIGHT LIGHTING FIXTURES SHALL BE PROVIDED WITH A BATTERY INVERTER EMERGENCY TYPE BALLAST. EMERGENCY BALLAST SHALL BE A TWO LAMP TYPE OF 600-750 WATT LAMP RATED (MINIMUM) TO ILLUMINATE FIXTURE IN THE EVENT OF A POWER FAILURE. BALLAST BATTERY SHALL MAINTAIN 50% OF THE NOMINAL BATTERY VOLTAGE AFTER 1.5 HOURS TO COMPLY WITH NEC SECTION 700 AND IBC. BALLAST SHALL BE AS MANUFACTURED BY ROOM, MODEL, RATED FOR THE APPLICATIONS SECURITY LIGHTING (CHECK LISTED FOR CONTACT FLUORESCENT APPLICATIONS) OR AN APPROVED EQUAL TO MEET THE OPERATIONAL LISTED ABOVE. LED FIXTURES IDENTIFIED AS NIGHT LIGHTING SHALL BE APPROVED WITH QUALITY LIGHTING INVERTER MODEL # LISTED. INVERTER SHALL BE CAPABLE OF ILLUMINATING FIXTURE FOR 1.5 HOURS TO COMPLY WITH NEC SECTION 700 AND IBC. E.C. SHALL NOT INSTALL MORE THAN EIGHT FIXTURES TO EACH INVERTER. PROVIDE ADDITIONAL INVERTERS AS NECESSARY.

E14. EMERGENCY LIGHTING HAS BEEN DESIGNED PER NFPA 101 TO MAINTAIN 1 FT IN PATH OF EGRESS. IF FIELD CONDITIONS REQUIRE ANY CHANGES TO LIGHTING LOCATIONS, EGRESS ROUTES, HOURS, SHALL BE INSTALLED TO MEET THE ABOVE REQUIREMENTS.



SkyBorne Technologies
10000 W. 10th Ave.
Suite 1000
Denver, CO 80202

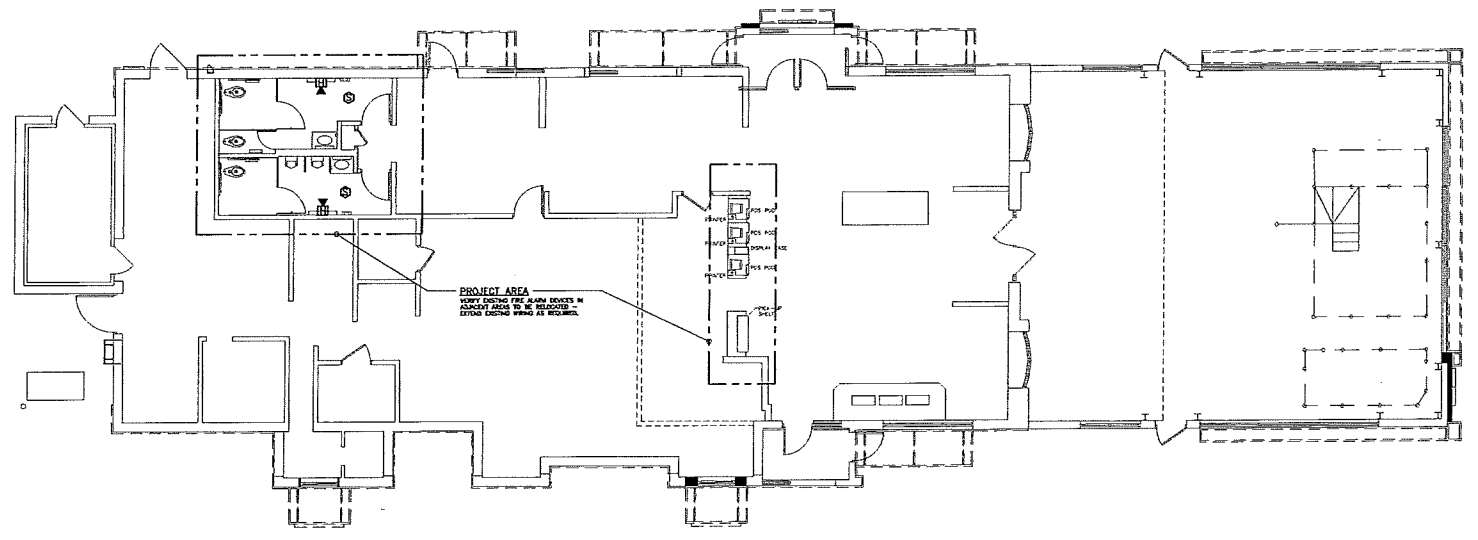
McDonald's USA, LLC
7/27/2017

ELECTRICAL LIGHTING PLAN AND NOTES

PROJECT: 20-0371
DATE: 7/27/2017

E2.0
LIGHTING PLAN NOTES

7/27/2017
1:40 PM
10000 W. 10th Ave.
Suite 1000
Denver, CO 80202



1 FIRE ALARM PLAN
E3.0 3/16" = 1'-0"

FIRE ALARM NOTES:

1. FIRE ALARM VENDOR MUST PROVIDE A SEPARATE BID PRICE TO PERFORM THE SCOPE OF WORK CONTAINED ON THESE DRAWINGS IN CONNECTION WITH THE FIRE ALARM SYSTEM. THESE DRAWINGS ARE PROVIDED FOR BID PURPOSES ONLY AND TO ILLUSTRATE THE SCOPE OF WORK INTENT OF THIS PROJECT. PRIOR TO SUBMISSION OF THE FIRE ALARM SYSTEM BID, THE FIRE ALARM VENDOR IS RESPONSIBLE TO REVIEW ALL DRAWINGS (I.E. MECHANICAL/ELECTRICAL, PLUMBING, FIRE SPRINKLER, AND ARCHITECTURAL). UPON SUBMISSION OF THE FIRE ALARM BID, THE FIRE ALARM VENDOR CERTIFIES THAT ALL DRAWINGS HAVE BEEN REVIEWED, THE SITE HAS BEEN VISITED/SURVEYED (IF APPLICABLE), AND THAT ALL LOCAL FIRE MARSHALS' REQUIRED ITEMS ARE FULLY UNDERSTOOD AND INCLUDED IN THE BID PRICE AND CHANGE ORDERS ALLOWED.
2. FIRE ALARM VENDOR MUST ADHERE TO ALL LEGAL CODES AND AUTHORITIES HAVING JURISDICTION (I.E. BUILDING DEPARTMENT, FIRE MARSHAL, ETC.). THE ENTIRE SYSTEM MUST BE DESIGNED IN ACCORDANCE WITH THESE AUTHORITIES.
3. FIRE ALARM VENDOR MUST SUBMIT TO THE DESIGNER & OWNER FINAL (AS APPROVED BY THE LOCAL BLDG. DEPT. & FIRE MARSHAL) SIGNED AND SEALED (BY ANY LICENSED PE) DESIGN/AS-BUILT DRAWINGS INCLUDING THE FIRE ALARM BIDDING LAYOUT, SCHEDULE OF OPERATION, EQUIPMENT LIST & SPECIFICATIONS PRIOR TO START OF INSTALLATION. THE COST OF THE ENGINEERING FEE, PROGRAMMING CHARGE, NEW EQUIPMENT, CONNECTION & TESTING, TROUBLE SHOOTING OF SYSTEM, ATTENDANCE AT THE FIRE ALARM INSPECTION, ETC. ARE TO BE PART OF THE TOTAL PRICE. INSTALLATION OF THE NEW FIRE ALARM SYSTEM CAN BEGIN UPON WRITTEN APPROVAL FROM THE DESIGNER.
4. LOCATION OF ALL FIRE ALARM DEVICES (SMOKE, STROBE, ETC.) INDICATED ON THESE DOCUMENTS ARE TO BE USED AS A GUIDE ONLY. DESIGN OF THE ENTIRE SYSTEM MUST BE IN ACCORDANCE WITH THE ASES BUILDING & FIRE CODES IN ADDITION TO THE LOCAL FIRE MARSHAL'S ORDINANCE. ADDITIONAL DEVICES REQUIRED ABOVE AND BEYOND THESE DOCUMENTS OR DEVICES ADDED AT THE REQUEST OF THE FIRE MARSHAL OR BUILDING DEPARTMENT WILL BE REIMBURSED UNDER CONTRACT UNIT PRICING.

GENERAL FIRE ALARM NOTES:

1. ALL CIRCUITS MUST BE CHECKED FOR OPEN, GROUND FAULTS AND SHORTS BEFORE CONNECTING TO CONTROL PANEL.
2. ALL DETECTION, ALARMS/VISUAL, AND INITIATION DEVICE CIRCUIT WIRES MUST BE SEPARATED, THEREFORE, NO PARALLEL BRANCHING OF NON-ADDRESSABLE CIRCUITS IS PERMISSIBLE.
3. DETECTORS SHALL NOT BE LOCATED (WITHIN 3 FEET) IN DIRECT AIR STREAM FROM SUPPLY AIR OUTLETS.
4. ALL BELLERS TO BE CONTINUOUS AND ISOLATED FROM GROUND.
5. ALL FIRE ALARM WIRING SHALL BE IN MINIMUM 3/4" EMT.
6. ALL DETECTION WIRING SHALL BE CLASS "T".
7. CONTRACTOR IS RESPONSIBLE FOR PERMITTING AND APPROVAL DOCUMENTATION.
8. CONTRACTOR AND VENDOR ARE JOINTLY RESPONSIBLE FOR FINAL TESTING AND SYSTEM ACCEPTANCE.
9. REFER TO SPECIFICATIONS FOR ADDITIONAL RECOMMENDATIONS.
10. VERIFY WITH EQUIPMENT VENDOR THE NUMBER OF DEVICES EACH ZONE IS CAPABLE OF ADDRESSING AND RECONFIGURE AS NECESSARY PRIOR TO PRICING.

PROJECT SPECIFIC NOTES:

1. ALL NOTES CONTAINED IN THIS DOCUMENT APPLY TO THE PROJECT AREAS AS SPECIFIED.
2. FIRE ALARM CONTRACTOR SHALL PROVIDE FIRE ALARM DEVICES AS NECESSARY FOR A COMPLETE JOB PER CURRENT NFPA, LOCAL, FIRE MARSHAL AND THE JURISDICTION HAVING AUTHORITY.
3. ALL WIRING SHALL CONFORM TO ALL PROVISIONS OF CURRENT APPLICABLE NEC, EDITIONS OF LOCAL FIRE MARSHAL AND CODES/ORDINANCES OF JURISDICTION HAVING AUTHORITY.
4. PROVIDE FIRE ALARM CONTROL PANEL, REPROGRAMMING AS REQUIRED FOR A FULLY FUNCTIONAL SYSTEM.

FIRE ALARM LEGEND	
SYMBOL	DESCRIPTION
FACP	FIRE ALARM CONTROL PANEL
RMN	FIRE ALARM REMOTE ANNUNCIATOR PANEL
EOL	END OF LINE RESISTOR
FCD	FUSED CUT OUT
SM	SMOKE DETECTOR - "M" INDICATES ZONE
SD	SUPPLY DUCT-MOUNTED SMOKE DETECTOR
ASD	SMOKE DETECTOR - ABOVE DROP CEILING, REMOTE LAMP
TD	THERMAL DETECTOR, FIXED (TWS)
TS	TAMPER SWITCH
FS	FLOW SWITCH
FM	FIRE ALARM MANUAL PULL STATION
HM	FIRE ALARM HORN/STROBE
SL	FIRE ALARM STROBE
WP	WEATHER PROOF
AL	RELOCATE ALARM LAMP - (LOCATED ON CEILING)
CD	CARBON MONOXIDE DETECTOR



SkyBorne Technologies
P.O. BOX 875
Westland, MI 48090

DESIGNED BY: **M. McDonald's USA, LLC**
DATE: 1/17/2017

APPROVED BY: [Signature]
DATE: 1/17/2017

PROJECT: FIRE ALARM PLAN
SHEET: E3.0
DATE: 1/17/2017

PROJECT: 10-037
SHEET: E3.0
FIRE ALARM PLAN

NO.	REVISION	DATE	DESCRIPTION
1	ISSUED FOR TILING		
2	REVISED		

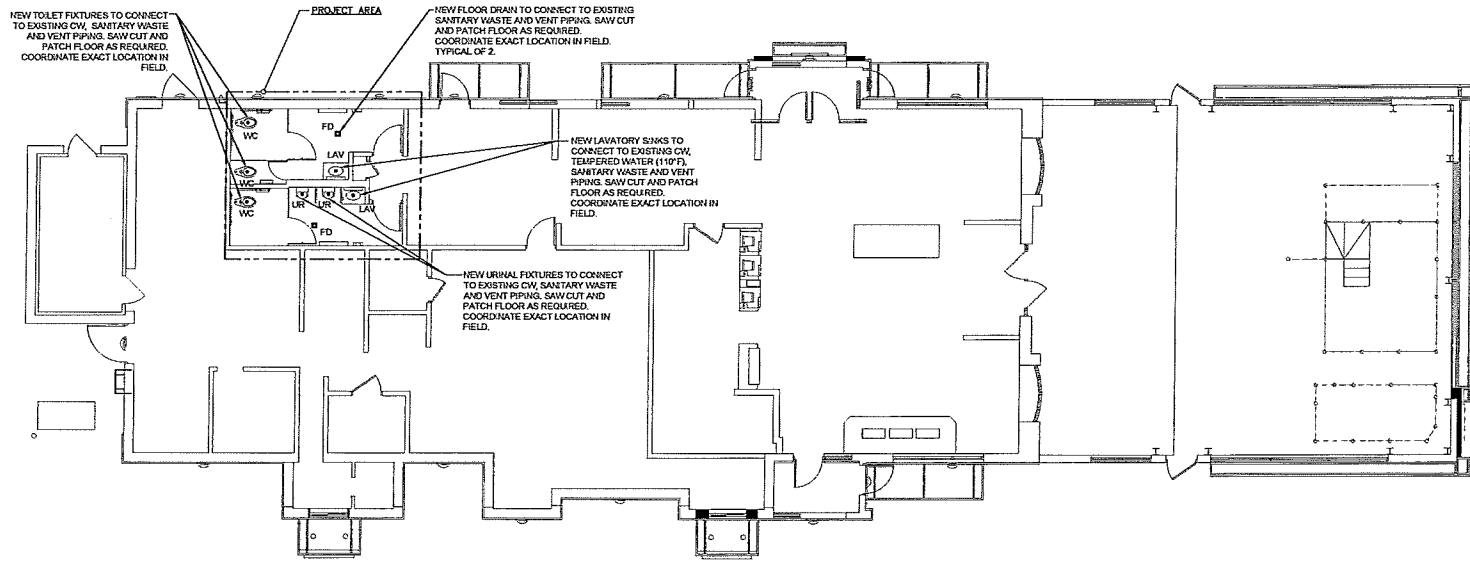
NEW TOILET FIXTURES TO CONNECT TO EXISTING CW, SANITARY WASTE AND VENT PIPING. SAW CUT AND PATCH FLOOR AS REQUIRED. COORDINATE EXACT LOCATION IN FIELD.

PROJECT AREA

NEW FLOOR DRAIN TO CONNECT TO EXISTING SANITARY WASTE AND VENT PIPING. SAW CUT AND PATCH FLOOR AS REQUIRED. COORDINATE EXACT LOCATION IN FIELD. TYPICAL OF 2.

NEW LAVATORY SINKS TO CONNECT TO EXISTING CW, TEMPERED WATER (110°F), SANITARY WASTE AND VENT PIPING. SAW CUT AND PATCH FLOOR AS REQUIRED. COORDINATE EXACT LOCATION IN FIELD.

NEW URINAL FIXTURES TO CONNECT TO EXISTING CW, SANITARY WASTE AND VENT PIPING. SAW CUT AND PATCH FLOOR AS REQUIRED. COORDINATE EXACT LOCATION IN FIELD.



1 WASTE, VENT & DOMESTIC PIPING
P2.0 SCALE: 3/16" = 1'-0"

DRAWING NOTES

1. ALL SANITARY AND VENT PIPE SHALL BE CAST-IRON WHERE REQUIRED BY CODE.
2. DOMESTIC WATERS SYSTEM SHALL BE TYPE K COPPER TUBING OR COPPER PIPE. PIPING ROUTES ARE GENERAL AND MAY VARY DUE TO FIELD CONDITIONS. COORDINATE ALL PIPE ROUTES WITH OTHER TRADES.
3. PROVIDE PROSET TRAP GUARD OR TRAP FRAMES FOR FLOOR DRAINS.

WASTE PIPE SIZING - IPC

FIXTURE TYPE	TRAP SIZE	DFU	QUANTITY	TOTAL
URINAL	2 IN.	4	2	8
WATER CLOSET	4 IN.	5	3	15
LAVATORY	3 IN.	1	2	2
FLOOR DRAIN OR SINK	3 IN.	5	2	10
TOTAL				35

VALVE SCHEDULE

MANUFACTURER	MODEL	TEMP. SETTING	LISTING	SERVICE
WATTS	L311	324°F	ASSE 18493370	LAVS & HAND SINKS, ROEING
KIBCO	1P-8008	-	-	RE-ENTRY, SHUT-OFF



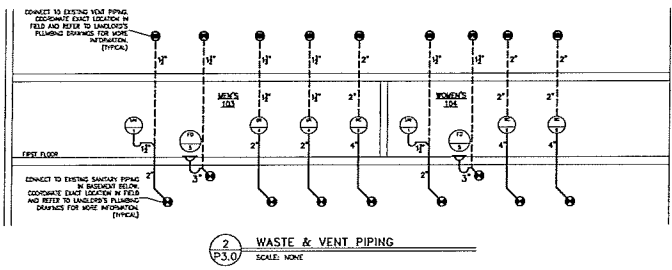
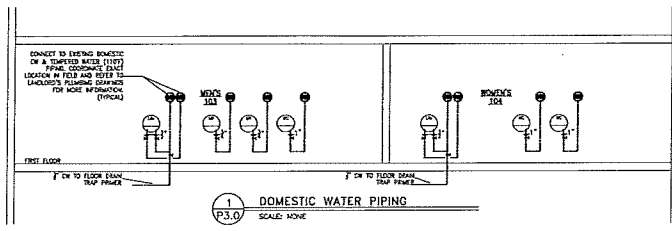
SkyBorne Technologies
100 10th St. NW
Atlanta, GA 30309

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McDonald's USA, LLC
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DATE: 7/2/2017
TIME: 10:00 AM
PROJECT: WASTE, VENT AND DOMESTIC PIPING PLAN
DRAWING: WASTE, VENT AND DOMESTIC PIPING PLAN
SCALE: 3/16" = 1'-0"
SHEET: 30-00271
REV: 01

30-00271
P2.0
FLOOR PLAN & NOTES

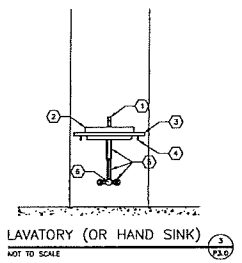
REV	DATE	DESCRIPTION
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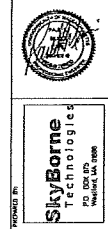
PLUMBING FIXTURE SCHEDULE					
TAG	DESCRIPTION	MANUFACTURER	MODEL	WATER USE	ACCESSORIES/COMMENTS
F-1	FAUCET FOR LAV	TOTO	TKL83519EP	1.0 GPM 0.57 GAL/SEC (SEE CYCLE)	FAUCET OPERATION SENSOR
LAV	LAVATORY	TOTO	L11919		FAUCET: F-1 TRUSSER LAVAGUARD MODEL #12-E-2 SEE DETAIL 3 IN P33 CLEAN LEANER BY GC.
FD	6-4 FLOOR DRAIN	ZURN	2415-BZ		PIPE SIZE: 2" FLANSEL: NONE SEE NOTE 6
UR	ADA WALL-HANG URINAL	JAY R. SMITH	2029		FLUSH VALVE: TOTO TELKUSHP FLUSH VALVE OPERATION SENSOR SEE NOTE 2
UR	ADA WALL-HANG URINAL	ZURN	25750	0.5 GPM	FLUSH VALVE: TOTO TELKUSHP FLUSH VALVE OPERATION SENSOR SEE NOTE 2
VE	ADA WATER CLOSET	TOTO	C1726L		FLUSH VALVE: TOTO TELKUSHP FLUSH VALVE OPERATION SENSOR SEAT: AEGIS MODEL #150CT
VE	ADA WATER CLOSET	ZURN	25665	1.28 GPM	FLUSH VALVE: TOTO TELKUSHP FLUSH VALVE OPERATION SENSOR SEAT: AEGIS MODEL #150CT

NOTES:
 1. SEE McDONALD'S PROJECT MANUAL FOR ADDITIONAL MANUFACTURERS
 2. PLUMBING CONTRACTOR SHALL COORDINATE WITH GC TO PROVIDE BLOCKING FOR PROPER URINAL SUPPORT
 3. PLUMBING CONTRACTOR SHALL COORDINATE WITH GC TO PROVIDE INTERIOR BLOCKING ON 6/4\"/>

- KEYED NOTES:
1. FAUCET (SEE PLUMBING FIXTURE SCHEDULE)
 2. LAVATORY OR HAND SINK (SEE PLUMBING FIXTURE SCHEDULE)
 3. CLEAN EXHAUSTION - TOILET ROOMS ONLY (FINISHED BY G.C.)
 4. LAVATORY EXHAUST - TOILET ROOMS ONLY (SEE ARCHITECTURAL DRAWINGS)
 5. OUTLINE OF ADA COMPLIANT TRAP (SEE PLUMBING FIXTURE SCHEDULE)
 6. TERMINATING WING VALVE (SEE VALVE SCHEDULE)



PROJECT FOR
McDonald's USA, LLC
 6255 WILLOW CREEK BLVD., SUITE 100
 DALLAS, TEXAS 75230
 PROJECT NO. 20-0371
 DATE ISSUED: 7/27/2017



REV	DATE	DESCRIPTION
0	08/23/17	ISSUE FOR BIDDING

DRAWING NO. **P3.0**
 RISER DIAGRAMS
 DATE: 7/27/2017
 PROJECT: 20-0371
 3400 WEST DRUMM, ST. FRANCIS, MO 64508

**DESIGN REVIEW COMMISSION
MINUTES OF MEETING
November 28, 2017**

A meeting of the Design Review Commission was held on Tuesday, November 29, 2017, at the Franklin Municipal Building, Franklin, Massachusetts. Members present were Mark Fitzgerald, Chairman, Nancy Pendleton, Samuel Williams, and Associate Member James Bartro. Also in attendance was Chrissy Whelton.

Mark Fitzgerald, Chairman opened the meeting at 7:00 PM.

1. Agway– 157 Cottage Street– Pylon Sign, Wall Sign

Cam Afonso from Signs By Cam represented Agway with a proposal to remove old signs and replace with new signs, 1 Wall sign and 1 Pylon sign. No lighting. Brown Barn look aluminum siding. No wood. No concerns.

Motion: To accept the sign package as submitted. Motioned by Pendleton. Second by Williams: Voted (4-0-0).

2. Cataldo Law Offices– 1000 Franklin Village Drive– Monument Sign

Cam Afonso from Signs By Cam represented Cataldo Law Offices with a proposal to replace existing 1987 vertical monument sign with new horizontal sign. Monument will be raised off ground. Using the same square footage just changing the orientation. Using the existing power box for lighting. No concerns.

Motion: To accept the sign package as submitted. Motioned by Pendleton. Second by Williams: Voted (4-0-0).

3. Alpine Green– 116 Alpine Place- Site Plan

Kevin Tucceri from NE Premier Properties, LLC. represented Alpine Green with a site plan proposal to remove a Single Family and build a multi-family. Pendleton stated that the landscaping/planting is adequate. Members had some concerns about the utilities and condensers and where they will be located. Suggested a fence or something to deflect the noise of the condensers from the abutters. No equipment will be on the roof tops. Architectural shingles. 2 units will not have walk out basements due to the ledge. Each unit about 1800 square feet. Mechanical /sprinkler room on side of building. No signage was submitted with application however if the applicant want to put up signage we recommend a plan be included for in the next meeting. Vinyl siding. Application was missing elevations finishes, colors, and a photometric. Applicant was asked to obtain these and come back to Design Review.

Motion: To table the site plan proposal to a later meeting. Motioned by Fitzgerald. Second by Williams: voted (4-0-0).

Other Business:

- Meeting minutes from November 14, 2017 meeting were approved (4-0-0)

Motion to adjourn. All in favor 4-0-0.

Adjourned at 7:56 P.M.

Respectfully submitted,

Chrissy Whelton