

**DESIGN REVIEW COMMISSION
AGENDA**

Tuesday, April 9, 2019 7:00 PM.
Municipal Building, 355 East Central Street
2nd Floor, Room 205

TOWN OF FRANKLIN
TOWN CLERK

2019 APR 4 P 2:49

RECEIVED

- 7:00 PM** Dress Code – 58 East Central Street
Lettering and logo on windows
- 7:05 PM** Encore Music – 3 Bent Street
Replace existing signs
- 7:10 PM** Car Quest – 550 East Central Street
Install new faces and channel letter set
- 7:15 PM** Bourque Bros – 511 East Central Street
Install new pylon panels
- 7:20 PM** Stemsential – 150 Emmons Street
New carved sign, (4) Directory panels on 2 Directories
- 7:25 PM** Glenn Meadow Apartments Leasing/Amenity Center – Glenn Meadow Road
Construction of Leasing/Amenity Center and related recreational
Amenities and landscaping
- 7:40 PM** Horace Mann Plaza – 265-303 East Central Street
Interior redemise and exterior modifications from 1 larger tenant to 5 smaller
tenants. Scope of work includes new entries storefront and expanded arcade
on the side of building

General Matters

Meeting Minutes: February 19, 2019
March 5, 2019

COMMENTS: These listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

This agenda is subject to change. Last updated: April 4, 2019
The next meeting of the Design Review Commission is scheduled for April 23, 2019

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Dress Code

Property Address 58 East Central St.

Assessors' Map # 286 Parcel # 035

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: CAVALLARO SIGNS, Rocco Cavallaro

Address: 305 Union St.
50

Telephone Number: 508-528-6545

Contact Person: Rocco Cavallaro

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Stacey Tracy Property Owner: of Ranieri TRUST
D. G. Ranieri, R.E.
Address: 58 Union Street Franklin MA Margaret Ranieri Contact
East Central 02038 438 West Central Franklin
PO BOX Q MA 02038

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

Rocco Cavallaro
Signature of Applicant

Margaret Cav Ranieri Trustee
Signature of Owner

Rocco Cavallaro
Print name of Applicant

Margaret Cave Ranieri
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: Carallaro Signs inc.
Contact Person: Rocco Carallaro
Address _____
Telephone Number: 508-446-5190

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: Lettering and logo on windows

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.



From the Desk of; Rocco Cavallaro



FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Encore Music

Property Address 3 Bent St.

Assessors' Map # _____ Parcel # 215-025-000-000

Zoning District (select applicable zone): Commercial

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Signs By Cam, Inc.

Address: 837 Upper Union Street
Suite C-18
Franklin, MA 02038

Telephone Number: 508-364-2905

Contact Person: Cam Alonso

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Patrick Dineen Property Owner: Ronald Bourne

Address: 3 Bent St.
Franklin, MA 3 Bent St.
Franklin, MA

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

Cam Alonso
Signature of Applicant

Ronald Bourne
Signature of Owner

Cam Alonso
Print name of Applicant

RONALD BOURNE
Print name of Owner

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a. Sign Company

Business Name: _____ Signs By Cam, Inc.
Contact Person: _____ 837 Upper Union Street
Address _____ Suite C-18
Franklin, MA 02038
Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: _____ replace existing sign

F) Information & Materials to be Submitted with Application

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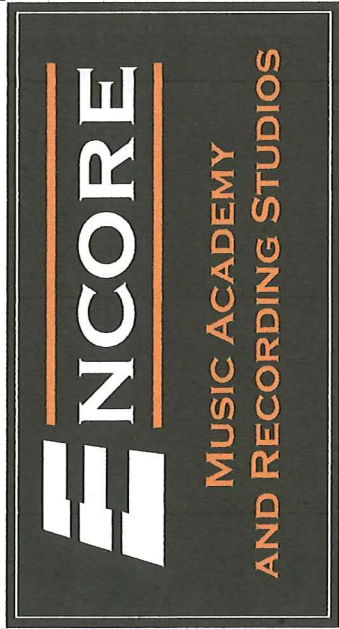
Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

11.5'

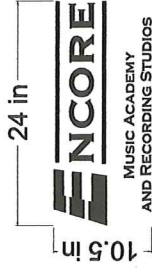
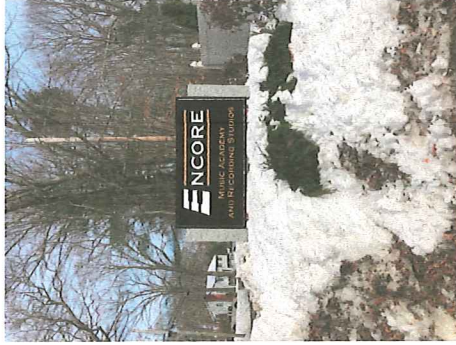


24 in

67.25 in



36 in



24 in

10.5 in



APPROVED FOR PRODUCTION:

X

JOB INFORMATION

JOB TITLE: _____
 CONTACT: _____
 PHONE: _____
 FAX: _____
 JOB DESCRIPTION: _____

SIGN MATERIAL SPECS

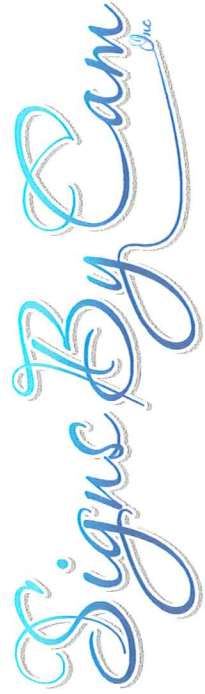
BANNER: COROPLAST: WOOD:
 ACRYLIC: MAGNETIC: URETHANE:
 PVC: ALUMINUM: NUEDGE:
 SINGLE SIDED: DOUBLE SIDED:

COLOR SPECS:
 BACKGROUND:
 COPY:

OUTLINE:
 SHADOW:
 BORDER:

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Sign & Graphic Solutions • Uncompromising Integrity

Phone: 508-364-2905
 Fax/Office: 508-528-0766
 E-Mail: cam@signsbycam.com
 Website: www.signsbycam.com

Cam Afonso

837 Upper Union St., Suite C-18
 Franklin, MA 02038

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: CarQuest

Property Address 550 East Central St.

Assessors' Map # _____ Parcel # 284-007-000-000

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: _____ Signs By Cam, Inc.
837 Upper Union Street
Suite C-18
Address: _____ Franklin, MA 02038

Telephone Number: 508-364-2905

Contact Person: Cam Afonso

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Doug Urton Property Owner: Joe Holligan
Address: 41 Loring Dr. 511 E. Central St.
Framingham, MA 01702 Franklin, MA 02038

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

Cam Afonso
Signature of Applicant

Joe Holligan
Signature of Owner

Cam Afonso
Print name of Applicant

Joseph Holligan
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: _____ Signs By Cam, Inc.
Contact Person: _____ 837 Upper Union Street
Address _____ Suite C-18
Franklin, MA 02038
Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: _____ *Install New Faces + Channel*
_____ *Letter Set*

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

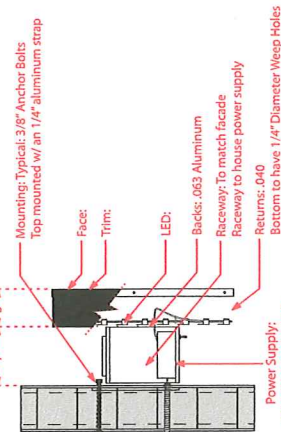
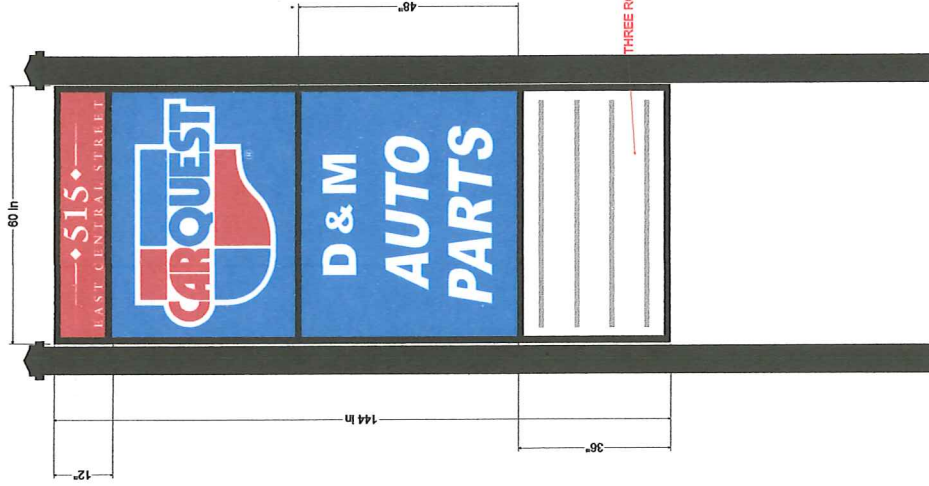
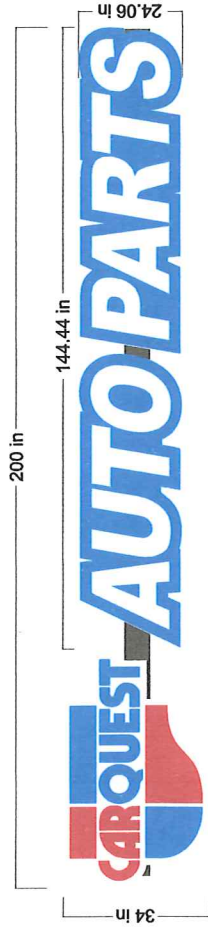
1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

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Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.



Power Supply:
120v System: Typical

*Note: All fasteners to be non-ferrous and all penetrations shall be sealed water tight

Front-Lit L.E.D Channel Letter - Raceway Mount

TYPICAL - Section Detail

THREE ROWS OF 6" CHANGEABLE LETTERS

APPROVED FOR PRODUCTION:

X

JOB INFORMATION

JOB TITLE: _____
 CONTACT: _____
 PHONE: _____
 FAX: _____
 JOB DESCRIPTION: _____

SIGN MATERIAL SPECS

BANNER: COROPLAST: WOOD:
 ACRYLIC: MAGNETIC: URETHANE:
 PVC: ALUMINUM: NUEDGE:
 SINGLE SIDED: DOUBLE SIDED:

COLOR SPECS:
 BACKGROUND:
 COPY:

OUTLINE:
 SHADOW:
 BORDER:

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Sign & Graphic Solutions • Uncompromising Integrity

Phone: 508-364-2905
 Fax/Office: 508-528-0766
 E-Mail: cam@signsbycam.com
 Website: www.signsbycam.com

Cam Afonso
 837 Upper Union St., Suite C-18
 Franklin, MA 02038

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Bourque Bros.

Property Address 511 East Central

Assessors' Map # _____ Parcel # 284-607-000-000

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Signs By Cam, Inc.
837 Upper Union Street
Suite C-18
Address: Franklin, MA 02038

Telephone Number: 508-364-2905

Contact Person: Cam

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Mark Bourque Property Owner: Joseph Holligan
Address: _____ 511 East Central St

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

Cam Abois
Signature of Applicant

Joseph Holligan
Signature of Owner

Cam Abois
Print name of Applicant

Joseph Holligan
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

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D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company
Business Name: _____ Signs By Cam, Inc.
837 Upper Union Street
Contact Person: _____ Suite C-18
Franklin, MA 02038
Address _____
Telephone Number: _____

b. Architect/Engineer (when applicable)
Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: _____ *Install new pylon panels*

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

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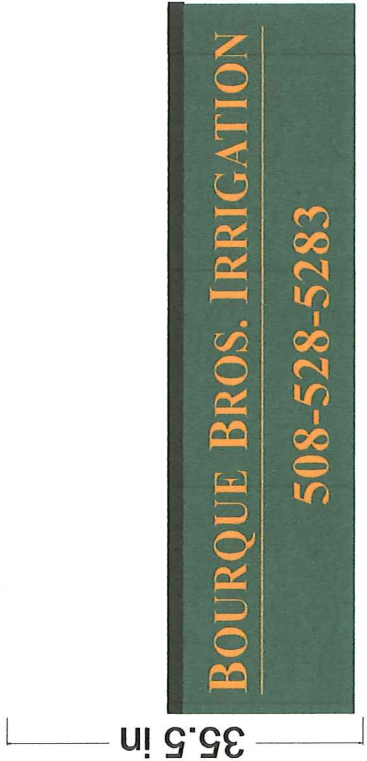
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5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

70.5 in



35.5 in

22 in



8.4 in



APPROVED FOR PRODUCTION:

X

JOB INFORMATION

JOB TITLE: _____
 CONTACT: _____
 PHONE: _____
 FAX: _____
 JOB DESCRIPTION: _____

SIGN MATERIAL SPECS

BANNER: COROPLAST: WOOD:
 ACRYLIC: MAGNETIC: URETHANE:
 PVC: ALUMINUM: NUEDGE:
 SINGLE SIDED: DOUBLE SIDED:

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COLOR SPECS: _____
 BACKGROUND: _____
 COPY: _____
 OUTLINE: _____
 SHADOW: _____
 BORDER: _____

Sign & Graphic Solutions • Uncompromising Integrity

Cam Afonso
 837 Upper Union St., Suite C-18
 Franklin, MA 02038

Phone: 508-364-2905
 Fax/Office: 508-528-0766
 E-Mail: cam@signsbycam.com
 Website: www.signsbycam.com

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Stem central

Property Address 150 Emmons street

Assessors' Map # 279 Parcel # 034

Zoning District (select applicable zone): _____

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Rocco Cavallaro ~~Rocco Cavallaro Signs~~

Address: 305 Union St.

Telephone Number: 508 528-6545

Contact Person: Rocco Cavallaro

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Yujin Nah Property Owner: Nav. Arora
Address: 150 Emmons St. Suite 16 29 Whitehall WAY
Franklin MA Bellingham MA 02019

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this _____ day of _____ 20____

Rocco Cavallaro
Signature of Applicant

Nav. Arora
Signature of Owner

Rocco Cavallaro
Print name of Applicant

Nav Arora
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: Cavallaro Signs
Contact Person: Rocco Cavallaro
Address: 305 Union Street
Telephone Number: 508-528-6545

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address: _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: (1) New Carved sign to match others
(4) Directory panels on 2 Directories
Exist PVC Panels are already there

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
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Cavallaro Signs

I N C O R P O R A T E D

305 Union St., Franklin, Ma phone/fax 508-528-6545

Date..... 4/3/19

120" x 24" High Density Urethane, 1.5" thick V-Carved sign with logo
PMS Color matches
Shape to match other panels on building



FORM Q

TOWN OF FRANKLIN DESIGN
REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Glen Meadow Apartments Leasing/Amenity Center

Property Address Glen Meadow Road, Franklin, MA

Assessors' Map # 280 Parcel # 79

Zoning District (select applicable zone): Commercial II

Zoning History: Use Variance N/A - Conforming Use
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Schochet Companies as agent for owner

Address: 536 Granite Street, Suite 301
Braintree, MA 02184

Telephone Number: 617-398-5106

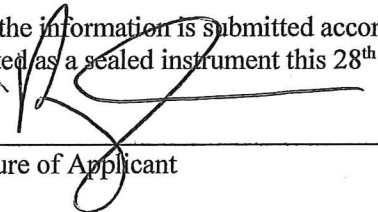
Contact Person: Albert Rodiger

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Glen Meadow Owner LLC Property Owner: Glen Meadow Owner LLC

Address: c/o Schochet Companies 536 Granite Street, Suite 301, Braintree, MA 02184
536 Granite Street, Suite 301, Braintree, MA 02184

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this 28th day of March, 2019



Signature of Applicant

RICHARD J. HENKEN

Print Name of Applicant

AGENT FOR
GLEN MEADOW
HOLDINGS LLC

GLEN MEADOW OWNER, LLC
Applicant/Owner

By Glen Meadow Holdings, LLC
Sole Member

By Schochet Manager, LLC
Managing Member

By: _____
Richard J. Henken, Manager

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1-4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: Not applicable
Contact _____ Person: _____
Address _____
Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: The Architectural Team Grady Consulting LLC
Contact Person: Jeffrey Sargis, Assoc. AIA Darren Grady, P.E.
Address 50 Commandants Way, Chelsea MA 02150 71 Evergreen St., Kingston, MA 02364
Telephone Number: 617-889-4402 781-585-2300

E) Work Summary

Summary of work to be done: Construction of Leasing/Amenity Center and related recreational amenities and landscaping.

F) Information & Materials to be Submitted with Application

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DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. One story, wood framed, pitched roof, colonial style structure.

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. Window and door proportions are consistent with surrounding 1970's colonial apartment design.

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. See above.

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. Yes, see above.

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. Yes, see above.

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: Yes, see above

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. The architectural details of the structure will be compatible or enhance the 1970's colonial style of this site.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. Existing signs to remain or be moved to the new building as appropriate.

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. No impact to heritage noted.

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. This is anticipated.

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible. Landscaping will be consistent with or enhance the surrounding areas.

SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.

ADDENDA

INSTRUCTIONS FOR COMPLETION OF FORM O-DESIGN REVIEW APPLICATION

A. General Information

- Please list name of Business as it will appear on sign or name of project or development, as the case may be, as well as the property address
- Assessors' Map & Parcel numbers may be obtained from tax bill, Town website @ www.franklin.ma.us/Town/Assessors/PropertyTax or from the computer located outside the Assessor's Office, first floor, Municipal Building, 355 East Central Street.
- Zoning District and Zoning History information may be obtained at the Building Department, 1st floor, Municipal Building

B. Applicant Information – complete and include name of contact person w/ phone number

C. Owner Information – if business owner and property owner are not the same, please include information for both. If signage is within a shopping plaza—obtain letter of approval of sign changes from plaza owner.

Page 2 –

D. Architect/Engineer or Sign Company Information:

- Signs only – Name of Sign Company and Contact Person
- Developments & Projects – Engineer and Architect Information as well

E. Work Summary: Include brief summation of work to be done

Pages 3 & 4

F. Information & Materials to be Submitted w/Application

a) SIGNS ONLY –

- Nine (9) Copies of sign drawings and photos, which include information listed on Page 2 of the application

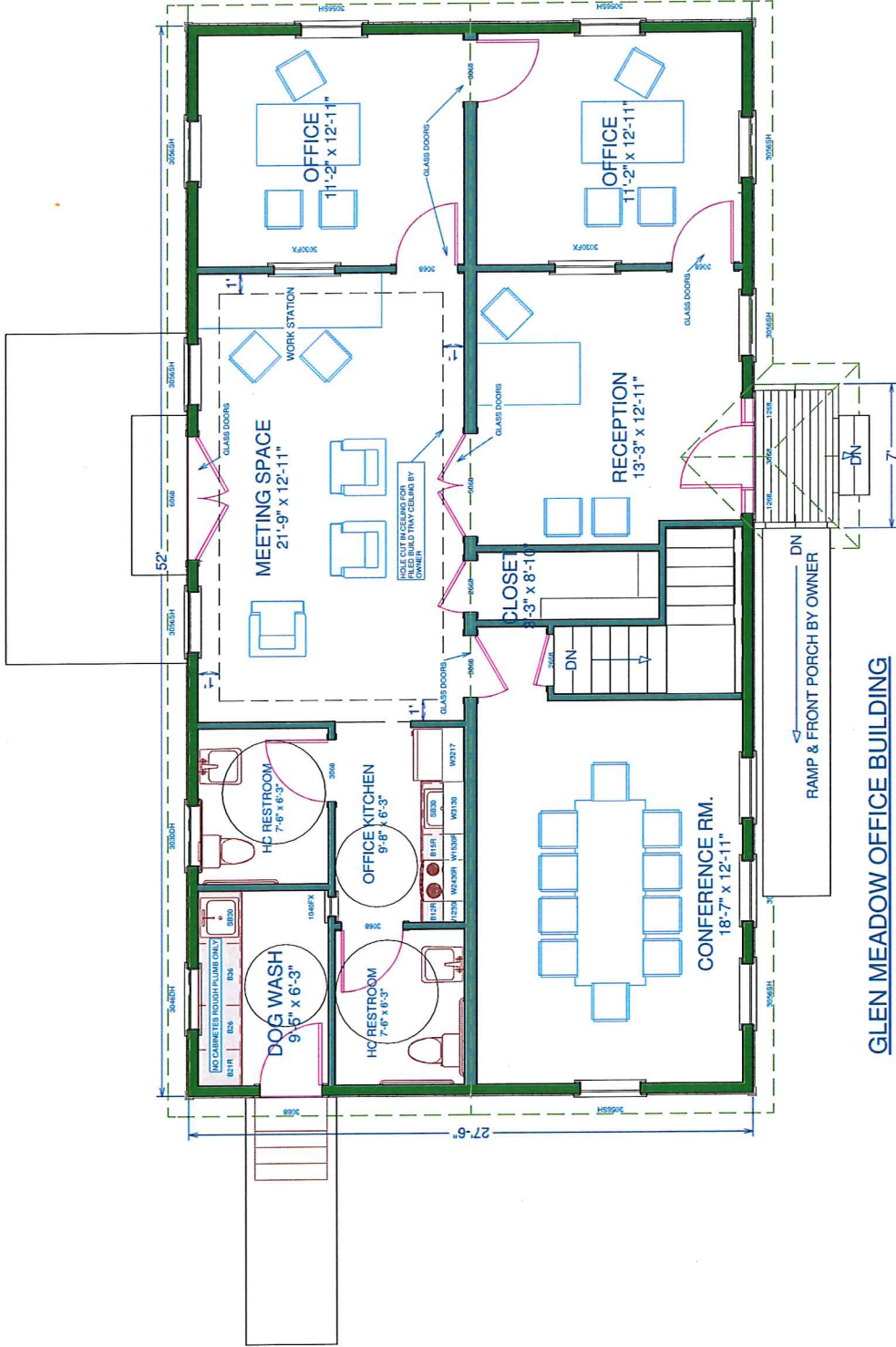
b) SITE PLAN APPLICATIONS FOR BUILDINGS/DEVELOPMENTS/PROJECTS.

- Nine (9) Copies of all plans including information listed on Page 2 of application.
- Please bring samples of siding and roofing materials and paint color samples to the meeting when scheduled.

DESIGN STANDARDS – For Buildings/Projects and Developments, please complete Pages 3 and 4 as they apply to your project.

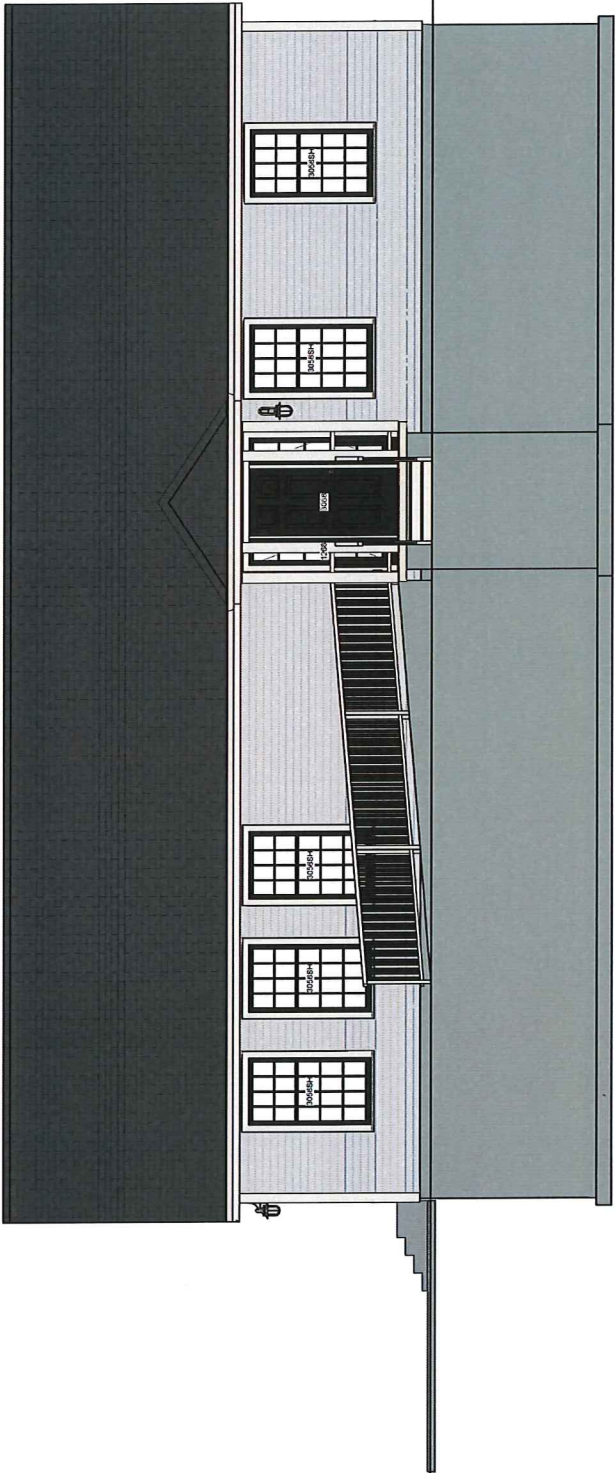
ALL APPLICATIONS WITH NINE (9) COPIES OF SUPPLEMENTARY INFORMATION MUST BE FILED BY CLOSE OF BUSINESS ON WEDNESDAY PRIOR TO THE FOLLOWING TUESDAY MEETING. MEETINGS ARE GENERALLY TWICE A MONTH THE 2ND & 4TH TUESDAY OF THE MONTH.

FOR SIGN APPLICATIONS ONLY, YOU NEED ONLY COMPLETE PAGES 1 & 2 OF APPLICATION.

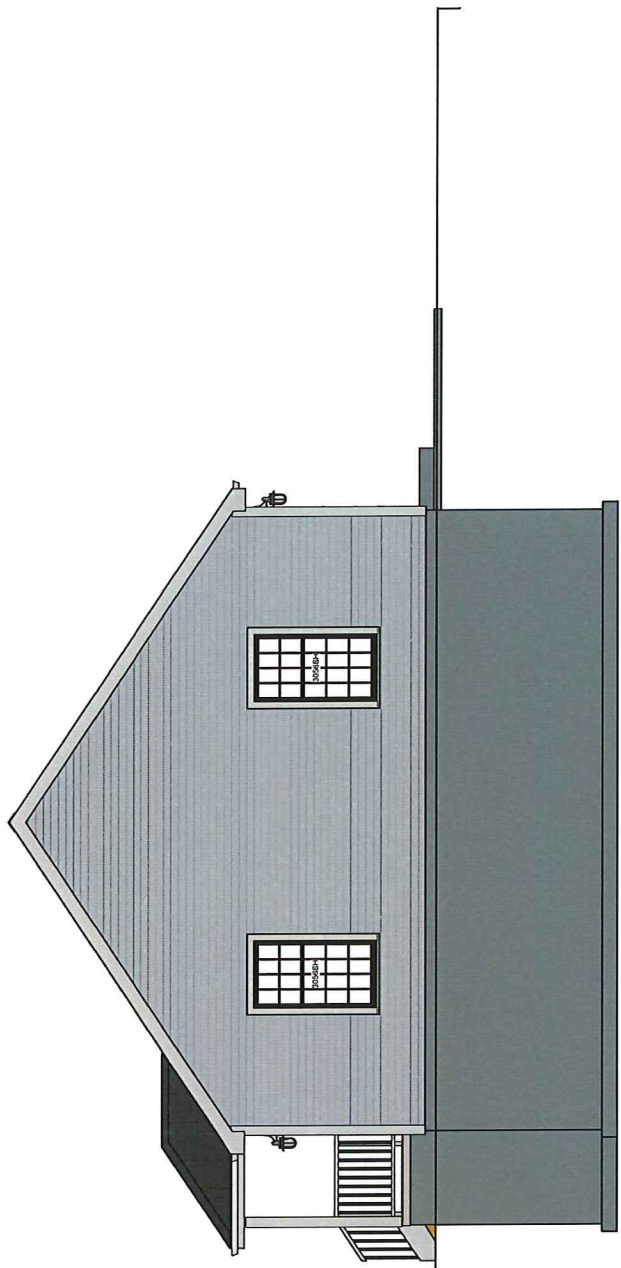


GLEN MEADOW OFFICE BUILDING
HUNTINGTON HOMES, INC.

- REVISED 8-1-2018
- REVISED 8-8-2018
- REVISED 9-7-2018
- REVISED 3-8-2019
- REVISED 3-21-2019



FRONT ELEVATION



RIGHT SIDE ELEVATION





FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

RECEIVED
FEB 20 2019
PLANNING DEPT.

A) **General Information**

Name of Business or Project: Horace Mann Plaza

Property Address 265-303 East Central Street

Assessors' Map # 285-107 Parcel # 285-107-000-000

Zoning District (select applicable zone): Commercial II

Zoning History: Use Variance _____
Non-Conforming Use _____

B) **Applicant Information:**

Applicant Name: Franklin Shoppers Fair, Inc.

Address: 273 East Central Street
Franklin, MA 02038

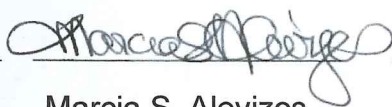
Telephone Number: (617) 877-5895

Contact Person: Marcia Alevizos

C) **Owner Information (Business Owner & Property Owner if different)**

Business Owner: N/A Property Owner: Franklin Shoppers Fair, Inc.
Address: N/A 396 Washington St, #325
Wellesley, MA 02481

All of the information is submitted according to the best of my knowledge


Signature
Print Name: Marcia S. Alevizos

02.19.2019
Date Submitted

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.
FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: N/A. Signage for each tenant to be submitted separately

Contact Person: _____

Address _____

Telephone Number: _____

b. Architect/Engineer (when applicable)

Business Name: Phase Zero Design

Contact Person: 35 Pond Park Road, Bay 16

Address Hingham, MA 02043

Telephone Number: (781) 452-7121

E) Work Summary

Summary of work to be done: _____

Interior redemise and exterior modifications from 1 larger tenant to 5 smaller tenants.

Scope of work includes new entries storefront and expanded arcade on the side of building.

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. _____

Existing height to be maintained, maximum height of 24'-0" at existing and new parapets.

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area.

4 new entries added and the existing entry modified to be proportional to one another and existing entries for existing smaller tenants in retail plaza. Entry double door and sidelite vary between 14'-10" and 17'-4".

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. _____

The building footprint will not be modified. A 9'-0" deep arcade will be added to the side, matching the arcade on the front of the building. The existing sidewalk under the arcade will be expanded to wrap around the side of the building, under the new arcade.

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. _____

The building footprint will not be modified. A 9'-0" deep arcade will be added to the side, matching the arcade on the front of the building. The new parapet heights and depth match the existing.

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. _____

The building footprint will not be modified. A 9'-0" deep arcade will be added to the side, matching the arcade on the front of the building. The new parapet heights and depth match the existing.

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: _____

4 new entries added and the existing entry modified to be proportional to one another and existing entries for existing smaller tenants in retail plaza.

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. _____

The proposed details will match the existing; white trim boards, white cornice, stone piers, siding and shakes finish and color.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. _____

The existing signage lights on the side of the building to be reused. A new smaller building sign for the side of the building will be replaced at the same location.

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. _____

N/A. No historic or significant elements to be removed.

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements.

The building footprint will not be modified. A 9'-0" deep arcade will be added to the side, matching the arcade on the front of the building. New exterior soffit lighting in the expanded arcade to be LED.

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.

No site modifications proposed. Proposing to be movie 11 striped parking spaces along side of the building for new / expanded and sidewalk.

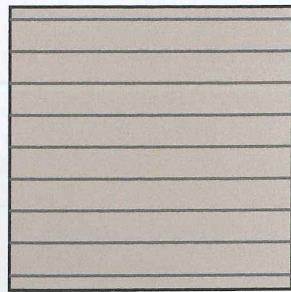
SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.



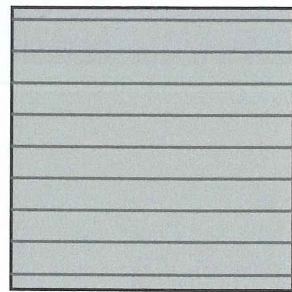
CONTENTS:

1. EXISTING ELEVATIONS (PHOTOGRAPHS)
2. EXISTING ELEVATIONS
3. PROPOSED ELEVATIONS
4. EXTERIOR RENDERINGS
5. PYLON - EXISTING & PROPOSED
6. DUMPSTER ENCLOSURE
7. DRAWINGS
 - a. SITE PLAN
 - b. SITE DETAILS
 - c. DEMOLITION PLAN
 - d. DEMOLITION EXTERIOR ELEVATIONS
 - e. FLOOR PLAN
 - f. REFLECTED CEILING PLAN
 - g. ROOF PLAN
 - h. EXTERIOR ELEVATIONS
 - i. ENLARGED FLOOR PLAN

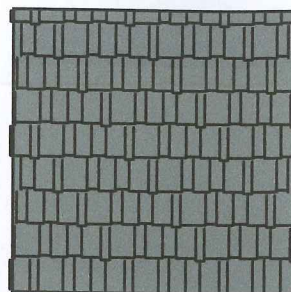
MATERIALS



HARDIE PLANK LAP SIDING
BM "OLD SOUL"



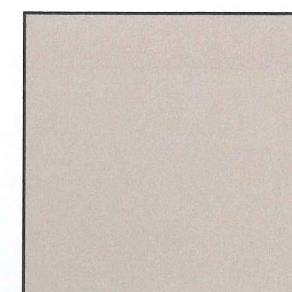
HARDIE PLANK LAP SIDING
BM "COVENTRY GRAY"



HARDIE SHINGLE SIDING
BM "DUXBURY GRAY"



STACKED STONE
STONE YARD "LEDGESTONE"



PAINTED BRICK / CMU
BM "OLD SOUL"

EXISTING ELEVATIONS



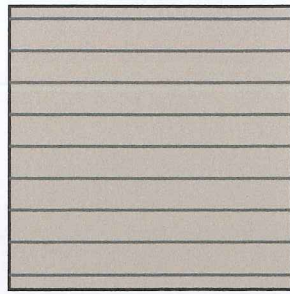
SIDE ELEVATION



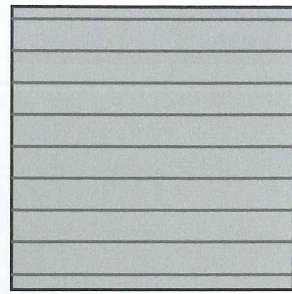
FRONT ELEVATION



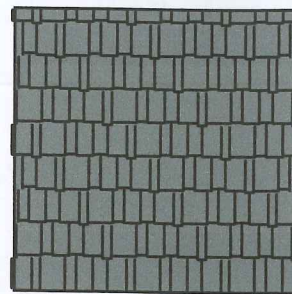
MATERIALS



HARDIE PLANK LAP SIDING
BM "OLD SOUL"



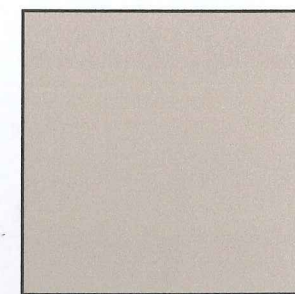
HARDIE PLANK LAP SIDING
BM "COVENTRY GRAY"



HARDIE SHINGLE SIDING
BM "DUXBURY GRAY"

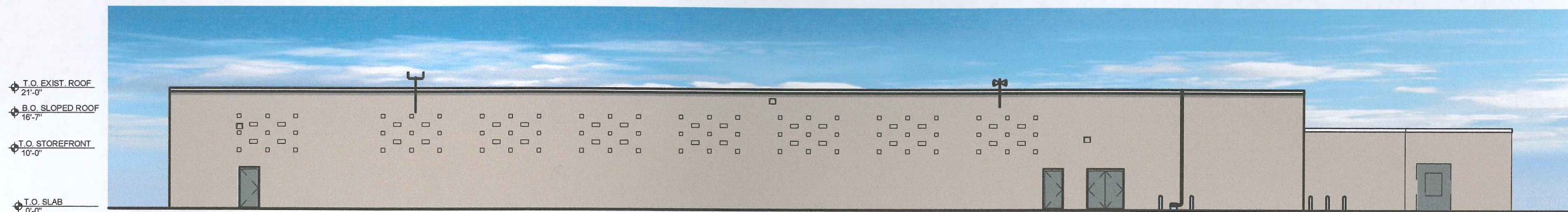


STACKED STONE
STONE YARD "LEDGESTONE"



PAINTED BRICK / CMU
BM "OLD SOUL"

EXISTING ELEVATIONS

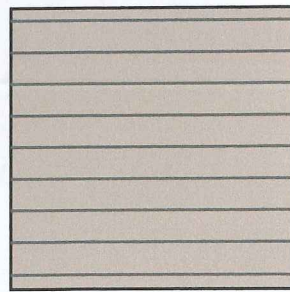


EXISTING SIDE ELEVATION

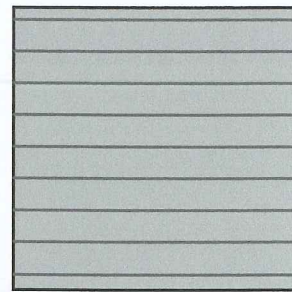


EXISTING FRONT ELEVATION

MATERIALS



HARDIE PLANK LAP SIDING
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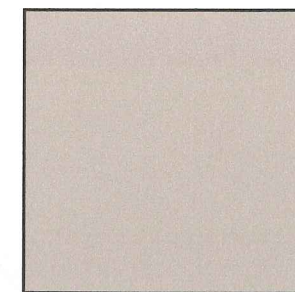
HARDIE PLANK LAP SIDING
BM "COVENTRY GRAY"



HARDIE SHINGLE SIDING
BM "DUXBURY GRAY"



STACKED STONE
STONE YARD "LEDGESTONE"



PAINTED BRICK / CMU
BM "OLD SOUL"

PROPOSED ELEVATIONS



PROPOSED SIDE ELEVATION



PROPOSED FRONT ELEVATION

EXTERIOR RENDERING



HORACE MANN PLAZA

FRANKLIN, MA
04.03.2019

EXTERIOR RENDERING



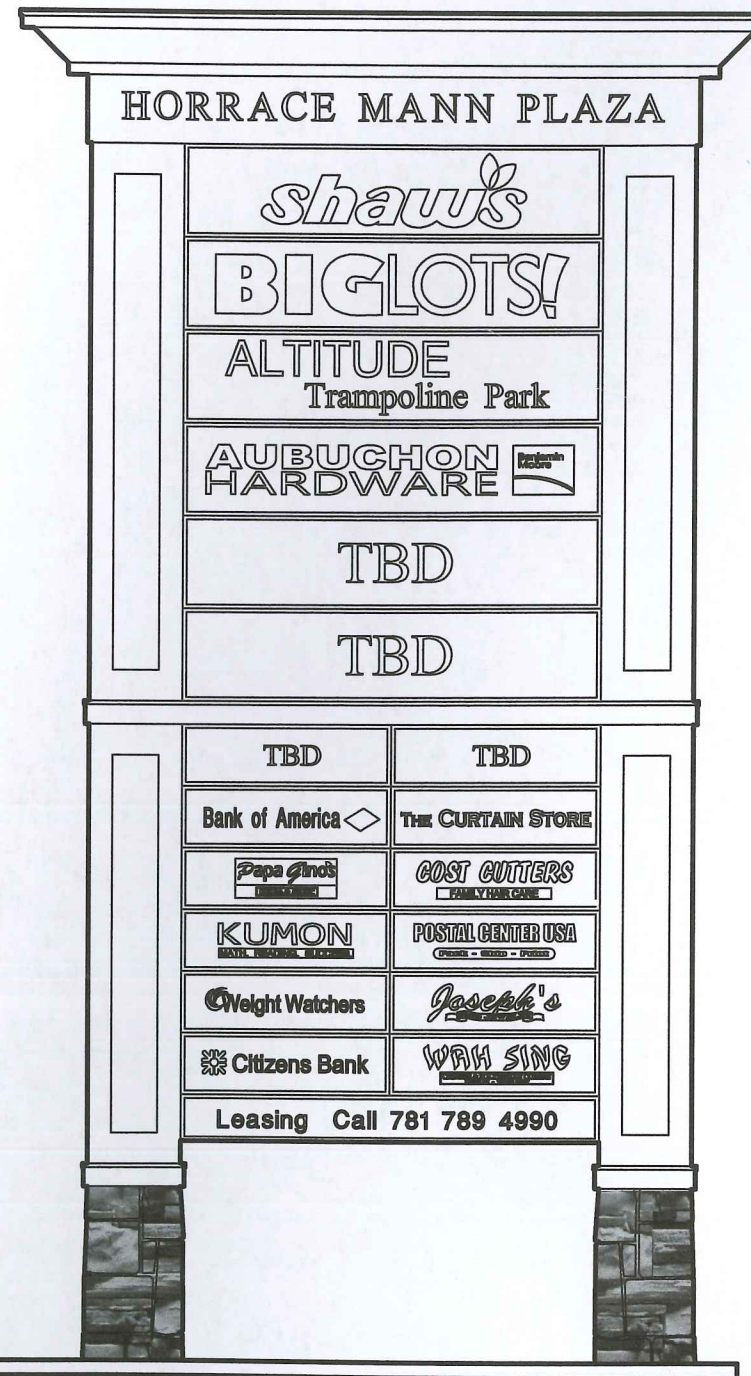
HORACE MANN PLAZA

FRANKLIN, MA
04.03.2019

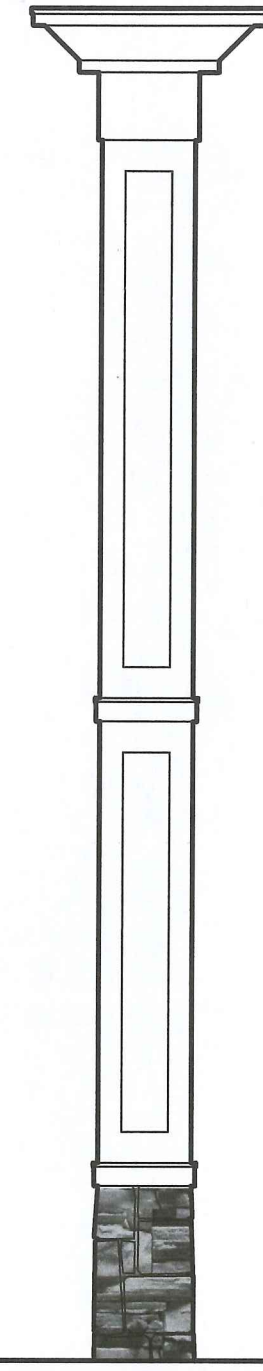
PYLON - EXISTING & PROPOSED



EXISTING PYLON



PROPOSED PYLON (FRONT)



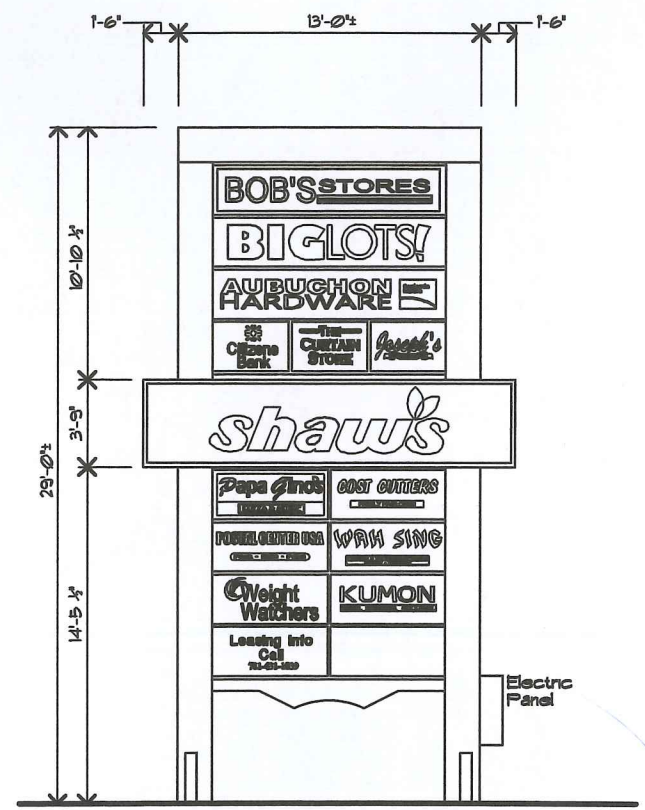
PROPOSED PYLON (SIDE)

HORACE MANN PLAZA

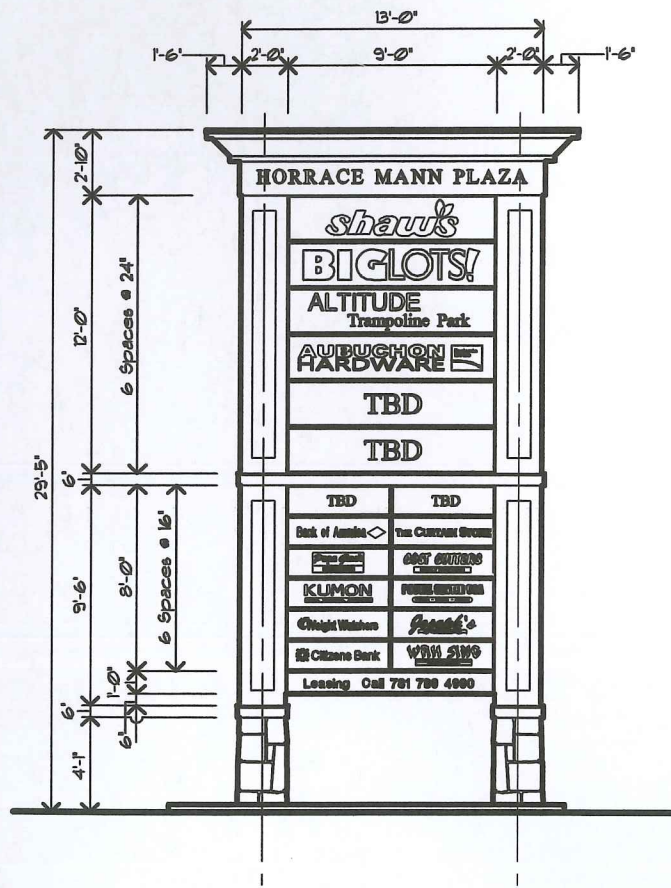
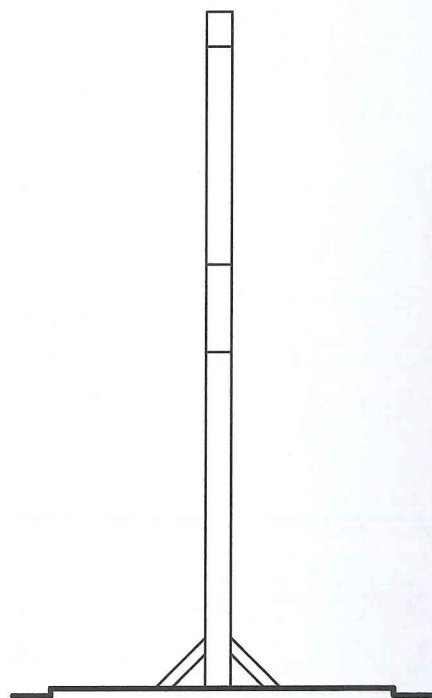
FRANKLIN, MA

04.03.2019

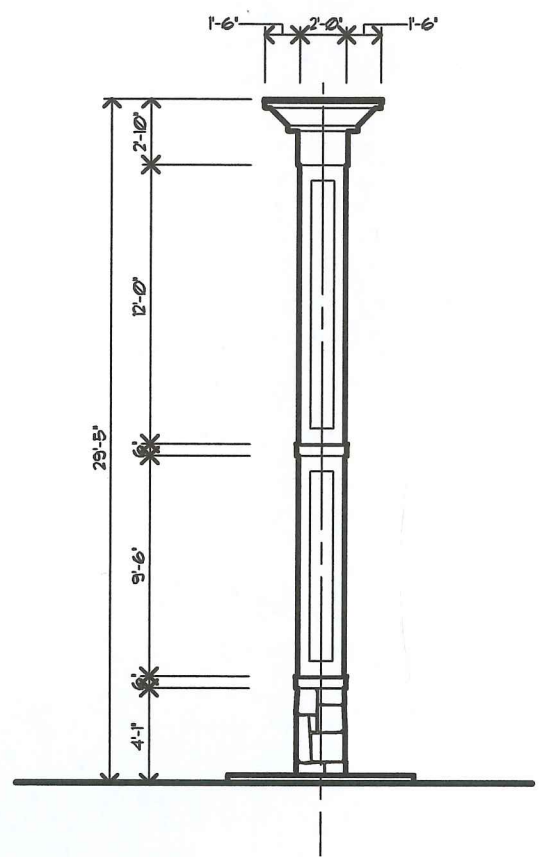
PYLON - EXISTING & PROPOSED



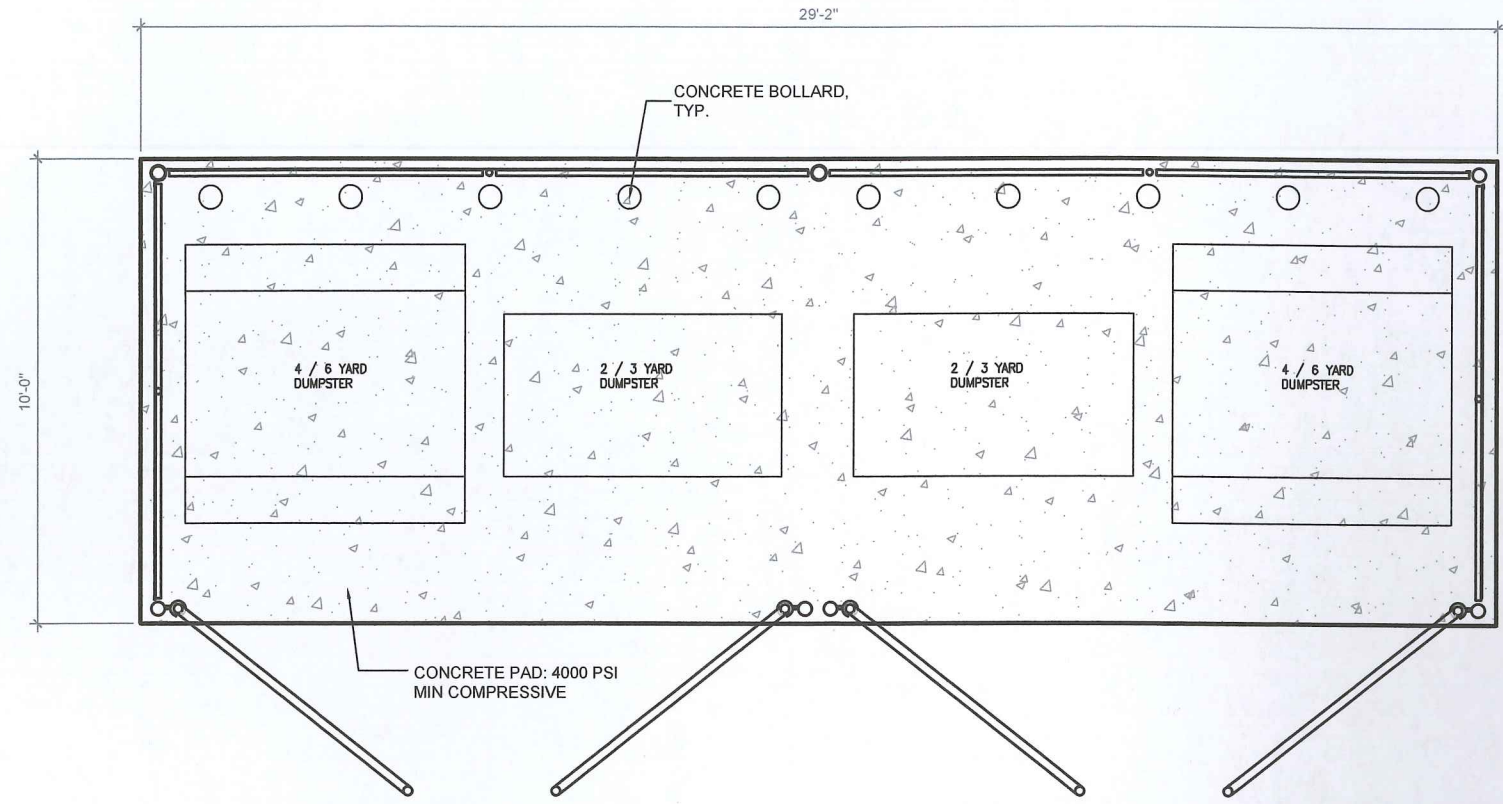
EXISTING PYLON
SCALE 1/8" = 1'-0"



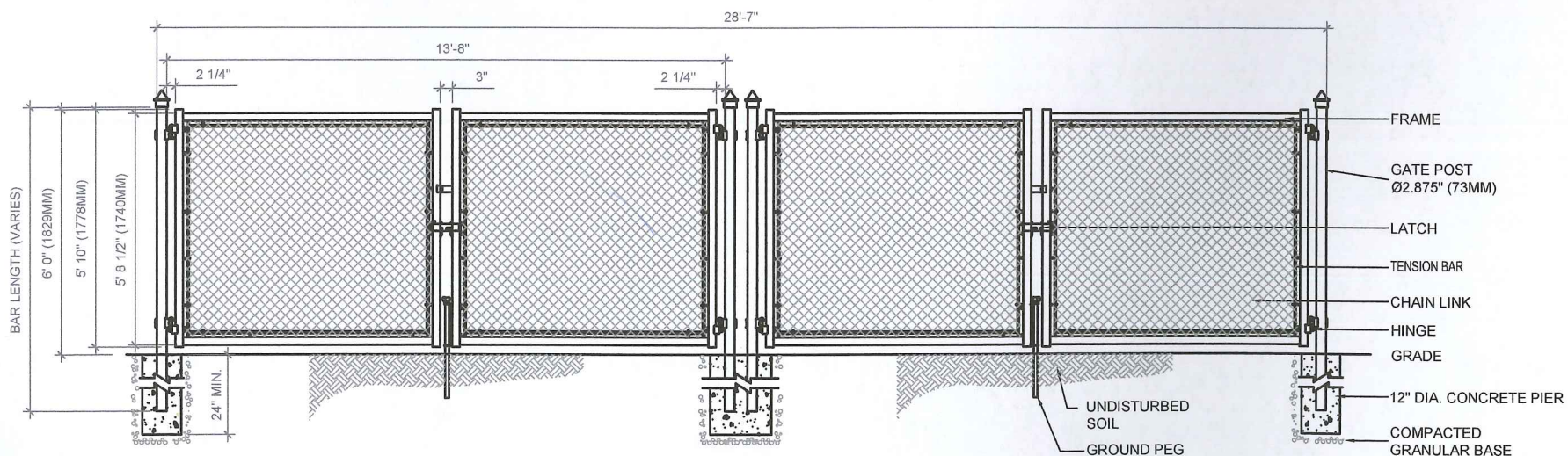
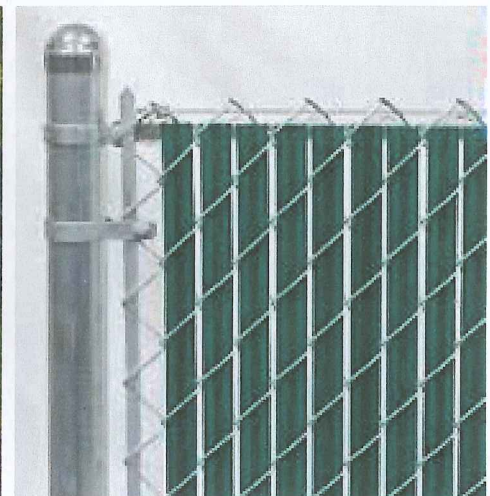
PROPOSED PYLON
SCALE 1/8" = 1'-0"



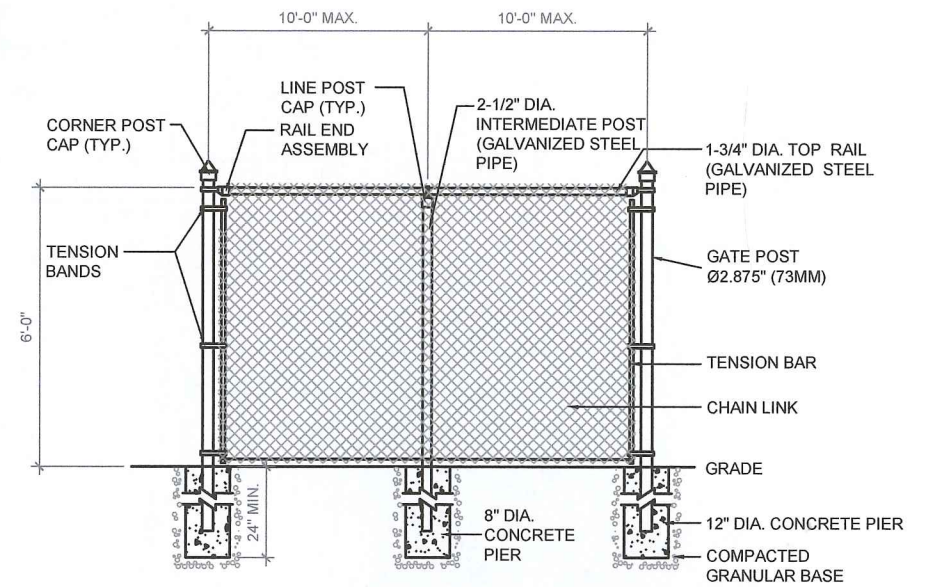
DUMPSTER ENCLOSURE



PLAN
SCALE = 1/4" = 1'-0"



ELEVATION #1



ELEVATION #2

HORACE MANN PLAZA

- KEYED NOTES:**
- 1 NEW DUMPSTER ENCLOSURE FOR (4) DUMPSTERS; 29'-2" x 10'-0".
 - 2 NEW DUMPSTER ENCLOSURE FOR (3) DUMPSTERS; 14'-8" x 10'-0".

- GENERAL NOTES:**
1. REFER TO SHEET 0000 FOR GENERAL NOTES.
 2. REFER TO SHEET A101 FOR FLOOR PLAN.
 3. REFER TO SHEET A111 FOR ROOF PLAN.
 4. REFER TO SHEET A201 EXTERIOR ELEVATIONS.
 5. REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION REGARDING WIRING.
 6. GAS METER: REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION.
 7. WATER SERVICE ENTRANCE: REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION.

PROJECT
 phase zero design
 35 POND PARK ROAD, SUITE 10
 FRANKLIN, MA 02043
 PHONE: (781) 452-7121
 FAX: (781) 875-3033
 www.phasezerodesign.com

CLIENT
 FRANKLIN SHOPPERS FAIR, INC.
 388 WASHINGTON STREET, #205
 WELLESLEY, MA 02152

MEP ENGINEER
 CARLOS ANTONIO MANDUJANO, PE
 1451 GREENWAY DRIVE
 IRVING, TX 75038
 PHONE: (972) 870-1288
 CARLOM@iessd.com

STRUCTURAL ENGINEER
 GOLDSTEIN HILAND LLC
 135 MAIN STREET
 READING, MA 01867
 PHONE: (781) 870-0900
 www.gh-se.com

REDEMISE & EXTERIOR RENOVATIONS
 308 EAST CENTRAL STREET
 FRANKLIN, MA 02038

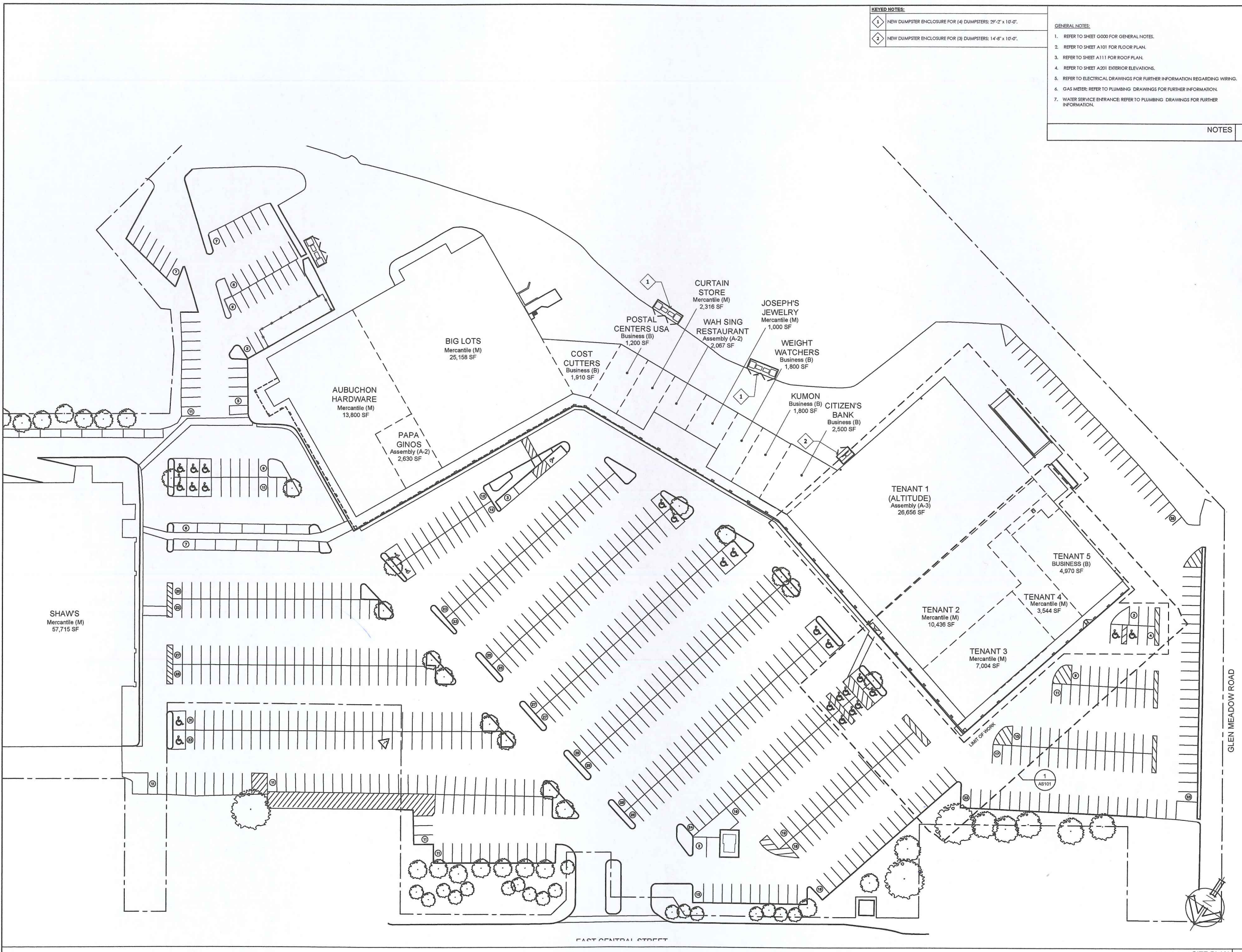
REVISIONS

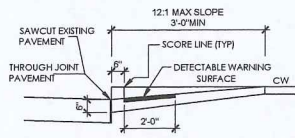
NO.	DATE	DESCRIPTION/COMMENTS

ISSUED FOR: DESIGN REVIEW
 ISSUED DATE: 03.03.2019
 DRAWN BY: EL
 CHECKED BY: RK
 PROJECT NUMBER: 2119003

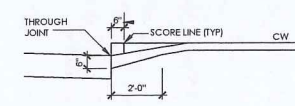
**ARCHITECTURAL
 SITE PLAN**

AS100

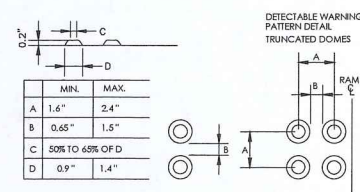




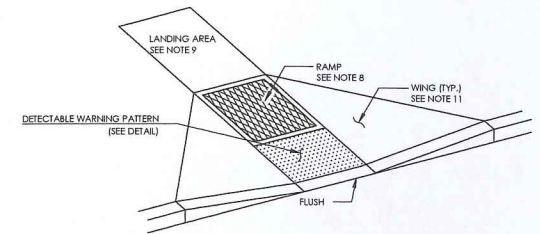
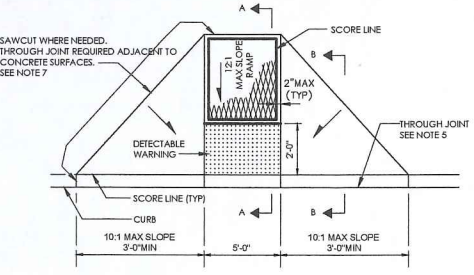
SECTION A-A
CURB MONOLITHIC WITH RAMP.
NEW PAVEMENT BLOCKED OUT FULL DEPTH.
EXISTING PAVEMENT REMOVED AT FACE OF CURB



SECTION B-B

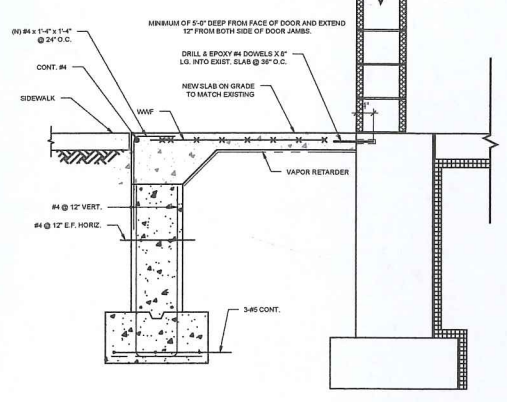


	MIN.	MAX.
A	1.6"	2.4"
B	0.65"	1.5"
C	50% TO 65% OF D	
D	0.9"	1.4"



- CURB NOTES:**
1. MINIMUM DISTANCE BETWEEN ADJACENT CURB RAMPS SHALL BE 3'-0".
 2. CURB RAMPS SHALL BE ISOLATED FROM ALL OTHER CONCRETE BY THROUGH JOINTS.
 3. RAMPS SHALL HAVE A COARSE TEXTURED SURFACE OBTAINED WITH A 3/4" x 1 1/4" FLATTENED EXPANDED METAL MESH BEING PRESSED INTO THE STILL FRESH CONCRETE. THE LONG AXIS OF THE DIAMOND PATTERN SHALL BE ALIGNED WITH THE SLOPE OF THE RAMP.
 4. ADDITIONAL SIDEWALK PAVING MAY BE NECESSARY IN THE PLANTING STRIP OR AT THE BACK OF SIDEWALK TO ACCOMMODATE ACCESS TO THE RAMP. A MINIMUM 4'-0" x 5'-0" 2% MAX. GRADE LANDING SHALL BE PROVIDED AT THE TOP OF RAMP.
 5. THE SIDEWALK THICKENED EDGE SHALL BE CONTINUED THROUGH BOTH WINGS.
 6. MINIMUM LATERAL CLEARANCE FROM INLETS, POLES, HYDRANTS AND OTHER ABOVE GROUND OBSTACLES SHALL BE 1'-0" FROM THE SCORED OR DETECTABLE WARNING PORTION OF THE CURB RAMP.
 7. INLETS SHALL BE SO LOCATED THAT GUTTER FLOW DOES NOT FLOW PAST THE CURB RAMP.
 8. DETECTABLE WARNING SURFACE SHALL BE YELLOW, IN COMPLIANCE WITH SECTION 8-1.4.3 OF THE SPECIAL PROVISIONS OF COS STDs. & SHALL BE LOCATED WITHIN 6 TO 8 INCHES OF THE CURB FACE.

CURB RAMP WITH DETECTABLE WARNING
N.T.S. **9**



SECTION AT SIDEWALK - FROST WALL
3/4"=1'-0" **8**

- GENERAL NOTES:**
1. REFER TO SHEET G000 FOR GENERAL NOTES.
 2. REFER TO SHEET A101 FOR FLOOR PLAN.
 3. REFER TO SHEET A111 FOR ROOF PLAN.
 4. REFER TO SHEET A201 EXTERIOR ELEVATIONS.
 5. REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION REGARDING WIRING.
 6. GAS METER: REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION.
 7. WATER SERVICE ENTRANCE: REFER TO PLUMBING DRAWINGS FOR FURTHER INFORMATION.

KEYED NOTES:

1	NEW CONCRETE SIDEWALK WITH 4" X 4" CONTROL JOINTS, TYP., REFER TO 4/AS101 FOR ADDITIONAL INFORMATION.
2	CONCRETE SIDEWALK CONSTRUCTION JOINTS, REFER TO 4/AS101 FOR ADDITIONAL INFORMATION.
3	INTEGRAL CURBS, SEE DETAIL 3/AS101 FOR ADDITIONAL INFORMATION.
4	NEW CURB RAMP, SEE DETAIL 9/AS101 FOR ADDITIONAL INFORMATION.
5	EXISTING CURB RAMP TO REMAIN.
6	SIDEWALK AT STOREFRONT ENTRANCE-SEE DETAIL 3/AS101
7	BOLLARD, SEE DETAIL 8/AS101 FOR ADDITIONAL INFORMATION.
8	NEW HANDICAP PARKING STALL, REVISE EXISTING STRIPING.
9	EXISTING HANDICAP PARKING STALL.

NOTES

REDEMISE & EXTERIOR RENOVATIONS
303 EAST CENTRAL STREET
FRANKLIN, MA 02038

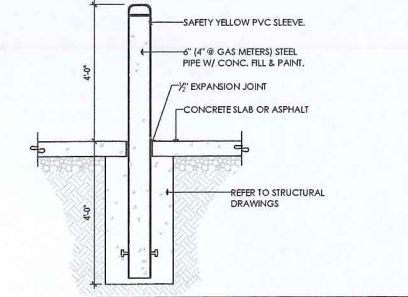
design
25 POND PARK ROAD, BAY 16
KINGHAM, MA 02343
PHONE: (781) 802-7121
FAX: (781) 875-2039
www.phasedesign.com

CLIENT
FRANKLIN SHOPPERS FAIR, INC.
396 WASHINGTON STREET, #205
WELLERLEY, MA 02462

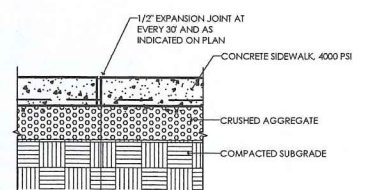
MEP ENGINEER
CARLOS ANTONIO MANUJANO, PE
141 GREENWAY DRIVE
IRVING, TX 75038
PHONE: (972) 959-1288
CARLOSM@csdusa.com

STRUCTURAL ENGINEER
GOLDSTEIN-MILANO LLC
125 MAIN STREET
READING, MA 01867
PHONE: (781) 951-9890
www.gm-se.com

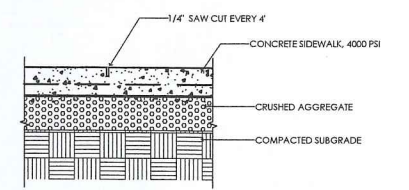
NOT USED **7**



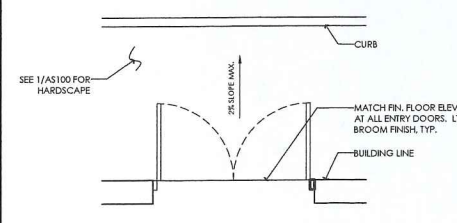
BOLLARD DETAIL
1/2"=1'-0" **5**



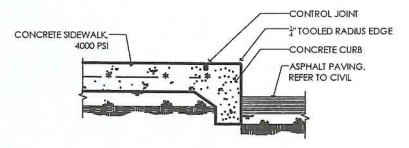
TYPICAL SIDEWALK EXPANSION JOINT
1 1/2"=1'-0" **6**



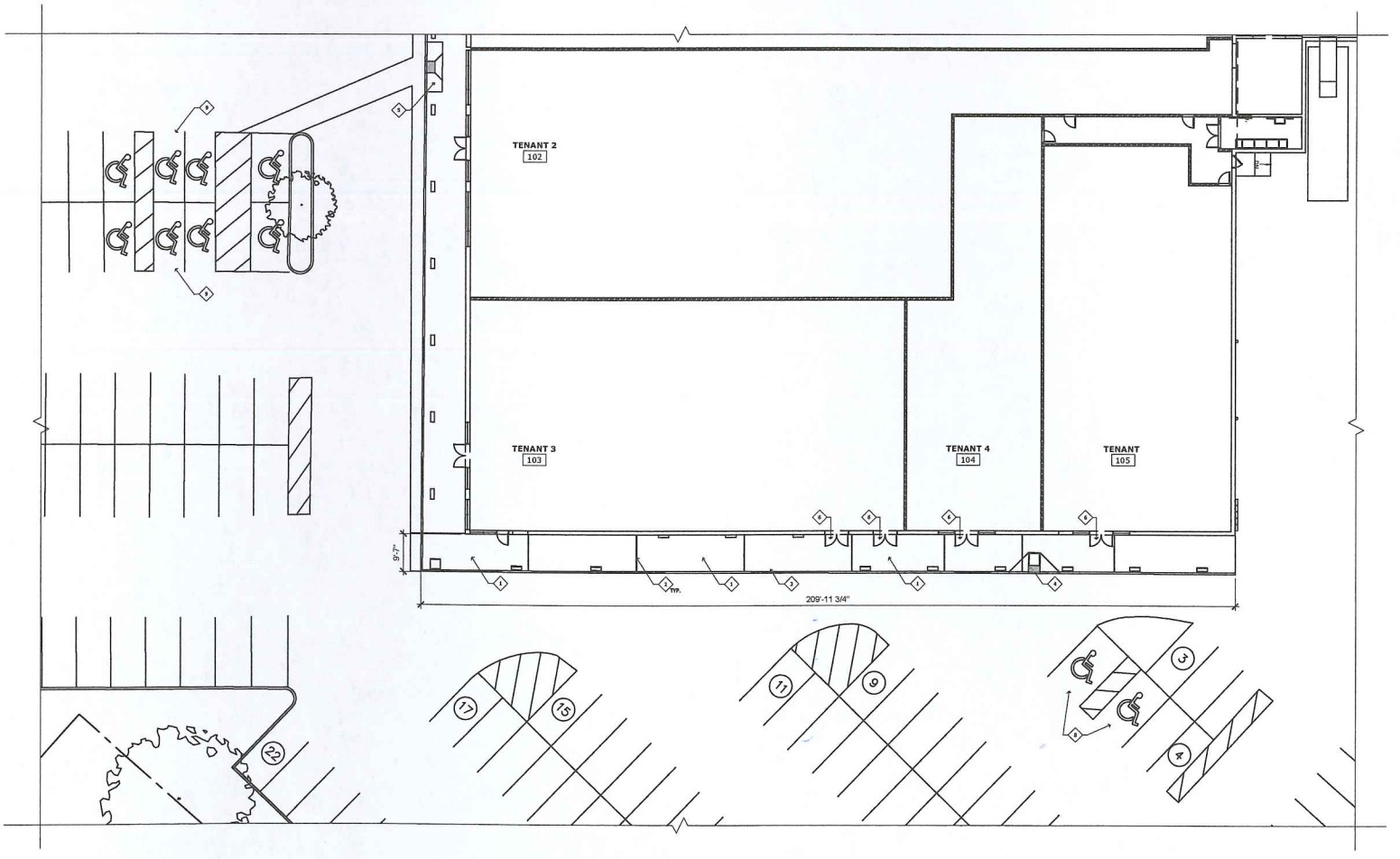
TYPICAL SIDEWALK CONTROL JOINT
1 1/2"=1'-0" **4**



SIDEWALK AT ENTRANCE DETAIL
1 1/2"=1'-0" **3**



CONTROL JOINT DETAIL AT SIDEWALK - INTEGRAL CURB
1 1/2"=1'-0" **2**



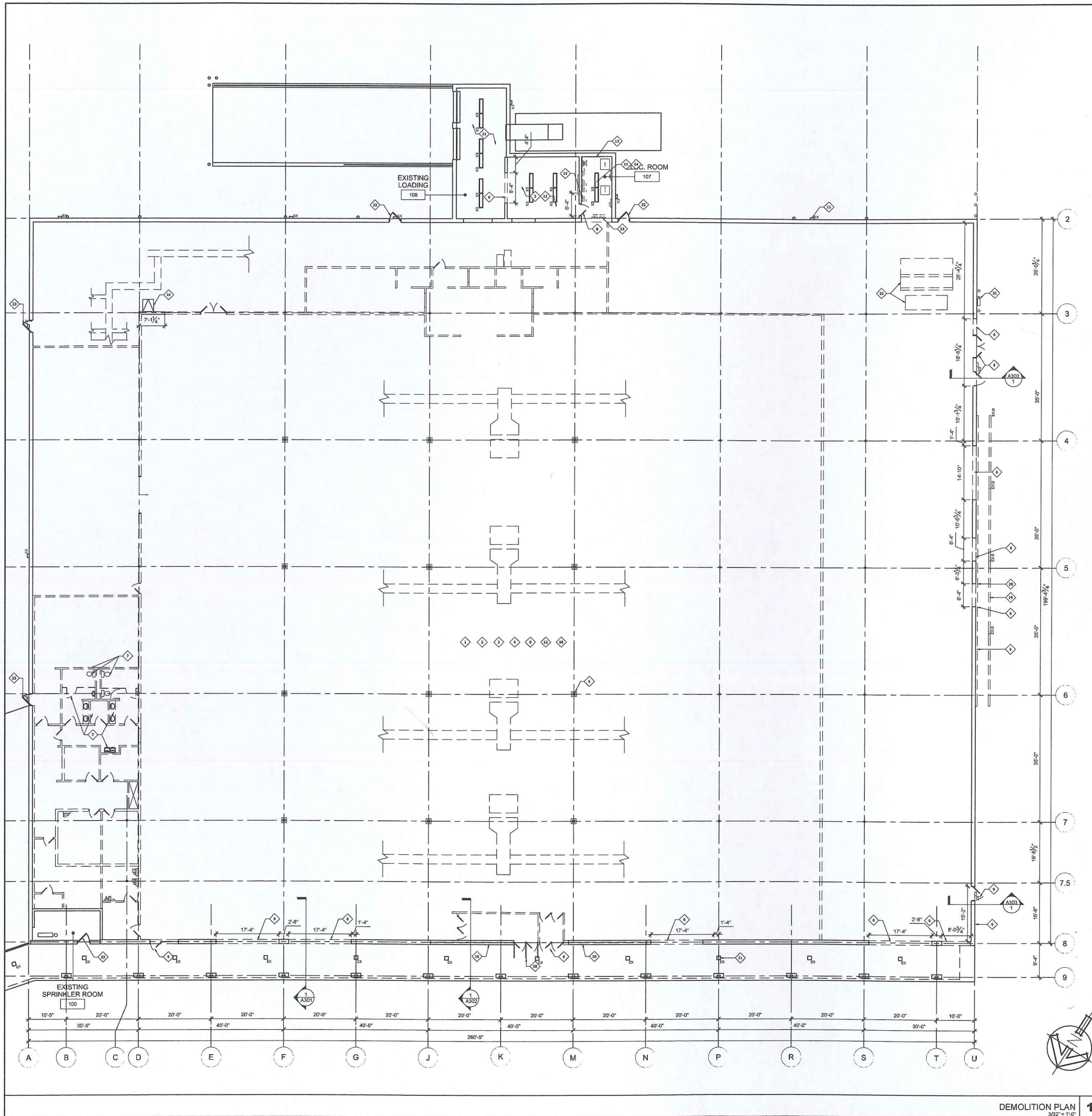
PARTIAL SITE PLAN
1/8"=1'-0" **1**

REVISIONS

REV.	DATE	DESCRIPTION / COMMENTS

ISSUED FOR: DESIGN REVIEW
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DRAWN BY: EL
CHECKED BY: RK
PROJECT NUMBER: 2118003
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SITE DETAILS
AS101



GENERAL NOTES:

1. REFER TO SHEET 0001 FOR GENERAL NOTES.
2. REFER TO A0201 FOR DEMOLITION EXTERIOR ELEVATIONS.
3. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL DEMO INFORMATION.

DEMOLITION FLOOR PLAN LEGEND

	DEMO WALL
--	-----------

DEMOLITION PLAN KEY NOTES:

1. REMOVE EXISTING SUSPENDED CEILING ELEMENTS AND ACOUSTICAL CEILINGS THROUGHOUT.
2. REMOVE EXISTING SOFFITS THROUGHOUT.
3. REMOVE EXISTING FLOOR FINISHES AND WALL BASE THROUGHOUT. PREPARE EXISTING CONCRETE SLAB FOR NEW FLOORING.
4. REMOVE INTERIOR EXISTING FULL HEIGHT WALLS.
5. EXISTING STRUCTURAL COLUMNS TO REMAIN, COLUMN ENCLOSURES TO BE REMOVED.
6. NEW EXPANDED MASONRY WALL OPENING IN PREPARATION FOR NEW DOOR AND/OR STOREFRONT.
7. REMOVE ALL EXISTING PLUMBING FIXTURES & ACCESSORIES.
8. REMOVE EXISTING INTERIOR DOOR AND ALL ASSOCIATED HARDWARE.
9. REMOVE EXISTING EXTERIOR DOOR AND ALL ASSOCIATED HARDWARE.
10. REMOVE EXISTING STOREFRONT.
11. EXISTING LIGHTING FIXTURES & ASSOCIATED ELECTRICAL TO REMAIN.
12. EXISTING LIGHTING FIXTURES & ASSOCIATED ELECTRICAL TO BE REMOVED.
13. EXISTING TELEPHONE BOARD TO REMAIN.
14. EXISTING ELECTRICAL PANELS TO REMAIN.
15. REMOVE EXISTING ELECTRICAL PANELS.
16. REMOVE EXISTING DUCTWORK THROUGHOUT.
17. REMOVE DOOR, DOOR FRAME AND SIDE LITE TO REMAIN.
18. REMOVE EXISTING CART BUMPER.
19. EXISTING LIGHTING TO BE REMOVED & STORED FOR REUSE.
20. EXISTING SIGNAGE TO BE REMOVED & STORED FOR REUSE.
21. RELOCATE GAS METERS. REFER TO A101 AND P101 FOR NEW LOCATION.
22. REMOVE CONCRETE BED PLATFORM.
23. EXISTING DOOR TO REMAIN.
24. PORTION OF INTERIOR WALL WITH ROOF HATCH AND LADDER TO REMAIN.

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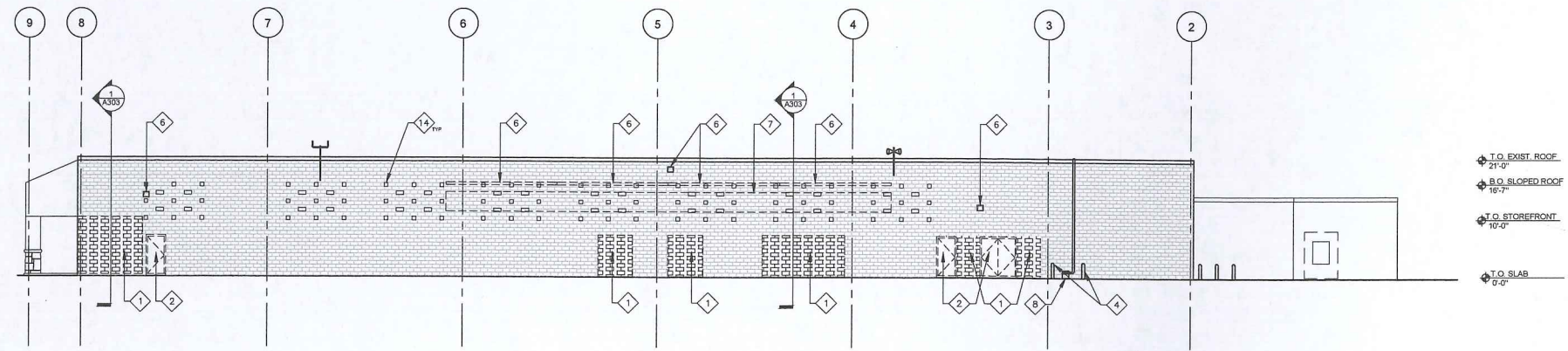
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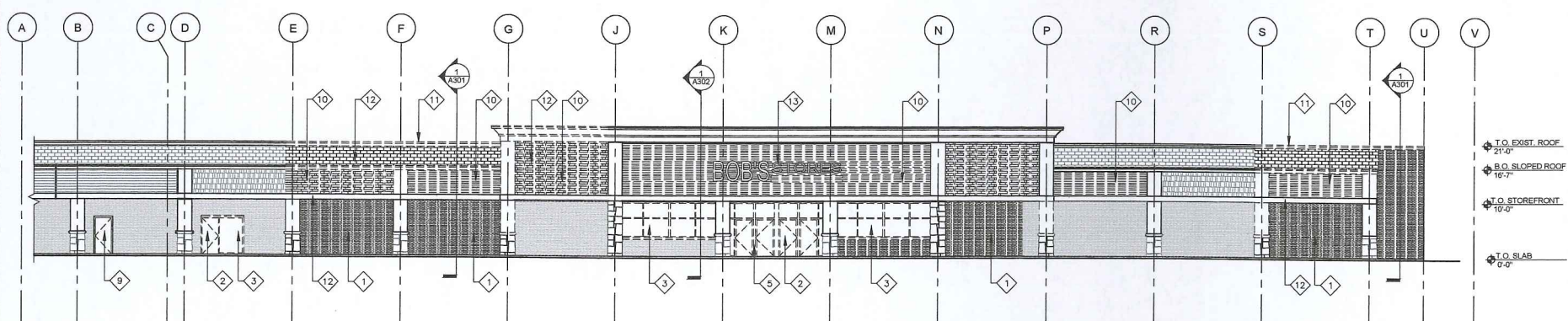
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 DRAWN BY: AJ
 CHECKED BY: BG
 PROJECT NUMBER: 2119003

DEMOLITION PLAN

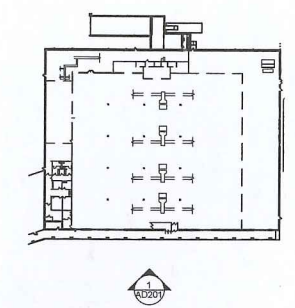
AD101



DEMOLITION SIDE ELEVATION 2
3/32" = 1'-0"



DEMOLITION FRONT ELEVATION 1
3/32" = 1'-0"



KEY PLAN -

- GENERAL NOTES:**
- REFER TO SHEET G001 FOR GENERAL NOTES.
 - REFER TO AD201 FOR DEMOLITION EXTERIOR ELEVATIONS.
 - REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL DEMO INFORMATION.

DEMOLITION PLAN KEY NOTES:

1	NEW EXPANDED MASONRY WALL OPENING IN PREPARATION FOR NEW DOOR AND/OR STOREFRONT.
2	REMOVE EXISTING EXTERIOR DOOR AND ALL ASSOCIATED HARDWARE
3	REMOVE EXISTING STOREFRONT
4	REMOVE EXISTING BOLLARD
5	REMOVE EXISTING CART BUMPERS
6	EXISTING LIGHTING TO BE REMOVED & STORED FOR REUSE.
7	EXISTING SIGNAGE TO BE REMOVED & STORED FOR REUSE
8	RELOCATE GAS METERS. REFER TO A101 AND P101 FOR NEW LOCATION.
9	EXISTING DOOR TO REMAIN.
10	REMOVE PORTION OF SIDING.
11	REMOVE PORTION OF SLOPED ROOF, SHINGLES AND COPING.
12	REMOVE PORTION OF PARAPET/ARCADE FRAMING. REFER TO A201 EXTERIOR ELEVATIONS AND SECTIONS FOR MODIFICATIONS.
13	REMOVE SIGNAGE.
14	REMOVE DECORATIVE BRICK EXTRUSIONS. CREATE SMOOTH SURFACE IN PREPARATION FOR NEW EXTERIOR FINISH.

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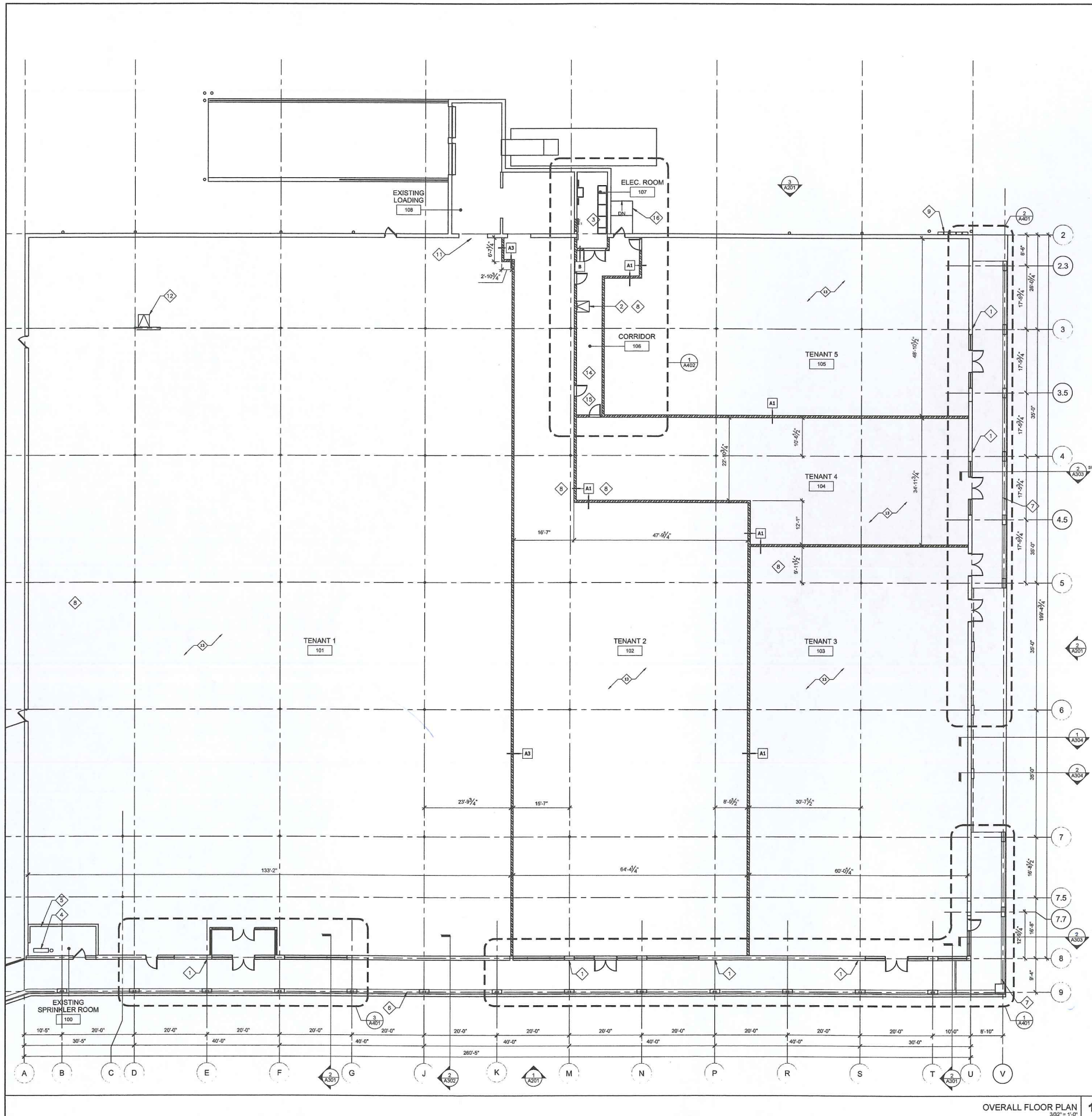
REV.	DATE	DESCRIPTION/CONTRACT

ISSUED FOR: DESIGN REVIEW
ISSUED DATE: 03.03.2019
DRAWN BY: KA
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PROJECT NUMBER: 2119003

DEMOLITION EXTERIOR ELEVATIONS

AD201

GENERAL NOTES



OVERALL FLOOR PLAN 1
3/32" = 1'-0"

- GENERAL NOTES:**
- REFER TO SHEET G000 FOR GENERAL NOTES
 - REFER TO SHEET A110 FOR ROOF PLAN
 - REFER TO SHEET A201 FOR EXTERIOR ELEVATIONS
 - REFER TO A300 SERIES FOR WALL SECTIONS
 - REFER TO A400 SERIES FOR ENLARGED PLANS
 - REFER TO A500 SERIES FOR ENLARGED DETAILS
 - REFER TO SHEET A601 & A602 FOR DOOR & WINDOW SCHEDULES.
 - REFER TO SHEET A603 FOR PARTITION TYPES
 - REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - REFER TO CIVIL PLANS FOR SIDEWALK LOCATIONS
 - DOOR FRAMES TO BE LOCATED 3" FROM ADJACENT WALL U.N.O.

FLOOR PLAN LEGEND:

(1)	WINDOW NUMBER TAG
(10)	DOOR NUMBER TAG
(//)	STUD WALL
(---	LINE ABOVE

FLOOR PLAN KEY NOTES:

(1)	KNOX BOX, COORDINATE LOCATION WITH FIRE MARSHALL
(2)	NEW ROOF HATCH WITH STEEL LADDER, REFER TO X10X0X FOR ADDITIONAL INFORMATION
(3)	HOUSE ELECTRICAL PANEL, COORDINATE WITH ELECTRICAL DRAWINGS
(4)	EXISTING SPRINKLER RISER, COORDINATE WITH MEP DRAWINGS.
(5)	EXISTING WATER METER, COORDINATE WITH MEP DRAWINGS.
(6)	LINE OF EXISTING CANOPY ABOVE, REFER TO A300 SHEETS ADDITIONAL INFORMATION
(7)	LINE OF NEW CANOPY ABOVE, REFER TO A300 SHEETS ADDITIONAL INFORMATION
(8)	POSSIBLE LOCATION FOR FUTURE TOILET ROOM(S)
(9)	RELOCATED GAS METER, COORDINATE WITH MEP DRAWINGS.
(10)	MASTER BOX AND ANNUNCIATOR PANEL, FIRE MARSHALL TO DETERMINE EXACT LOCATION
(11)	CMU WALL INFILL BY TENANT
(12)	EXISTING ROOF HATCH AND LADDER
(13)	NEW AND EXISTING INTERIOR WALLS TO BE PRIMED, READY FOR PAINT
(14)	COMMON AREAS TO BE PRIMED AND PAINTED BENJAMIN MOORE AURA CC-57 WHITE HERON, SATIN FINISH
(15)	WALL BASE: JOHNSONITE TRADITIONAL VINYL 4", COLOR: 38 PEWTER
(16)	NEW CONCRETE RAMP FOR ADA EGRESS.

- FLOOR PLAN GENERAL NOTES:**
- A. PARTITIONS ARE INDICATED ON FLOOR PLANS BY SYMBOL.
- B. "LINE OF STRUCTURE" INDICATED FOR EACH PARTITION IS DIAGRAMMATIC ONLY AND DOES NOT INDICATE EXACT CONSTRUCTION CONDITIONS OR GEOMETRY. TOP PLATE AND VOID FILLERS ARE NOT REQUIRED ON CONCRETE STRUCTURES.
- C. DO NOT ATTACH STUDS TO TOP SLIP TRACK.
- D. GYPSUM BOARD:
- FIRE RESISTANT RATED PARTITIONS SHALL USE TYPE "X" FIRE RATED GYPSUM BOARD.
 - PARTITIONS IN HIGH MOISTURE AREAS SHALL USE MOISTURE RESISTANT GYPSUM BOARD. TO INCLUDE TOILET ROOMS, MECHANICAL ROOMS, JANITOR CLOSETS AND WITHIN 4'-0" OF A WATER FOUNTAIN.
 - PARTITIONS BEHIND TOILETS, FIXTURES, AND WITHIN SHOWER AREAS SHALL USE CEMENT BOARD WITH A MOISTURE BARRIER. DO NOT ATTACH GYPSUM BOARD TO THE TOP SLIP TRACK.
- E. SEALANT:
- FIRE RESISTANT RATED PARTITIONS SHALL USE FIRE STOP SEALANT SYSTEMS.
 - NON-RATED PARTITIONS AND SMOKE RESISTANT PARTITIONS SHALL USE ACOUSTICAL SEALANT. FIRE RESISTANT RATED PARTITIONS SHALL NOT USE ACOUSTICAL SEALANT.
- F. INSULATION-HEAD CONDITION AT METAL DECK:
- FIRE RESISTANT RATED PARTITIONS SHALL USE FIRE SAFING INSULATION.
 - NON-RATED PARTITIONS SHALL USE SOUND ATTENUATION BLANKETS.
- G. FIRE AND/OR SMOKE RESISTANT RATINGS ARE TO SURROUND ALL OPENINGS IN RATED PARTITIONS.
- H. FIRE AND/OR SMOKE RESISTANT PARTITIONS SHALL EXTEND TO INSIDE FACE OF EXTERIOR SHEATHING, INCLUDING EXTENSIONS THROUGH SOFFITS.
- I. EACH PARTITION INDICATED TO BE FIRE AND/OR SMOKE RESISTANT PARTITIONS SHALL BE IDENTIFIED AS SUCH WITH A LABEL ABOVE THE CEILING, ON EACH SEGMENT OF WALL, AT 8'-0" ON CENTER.

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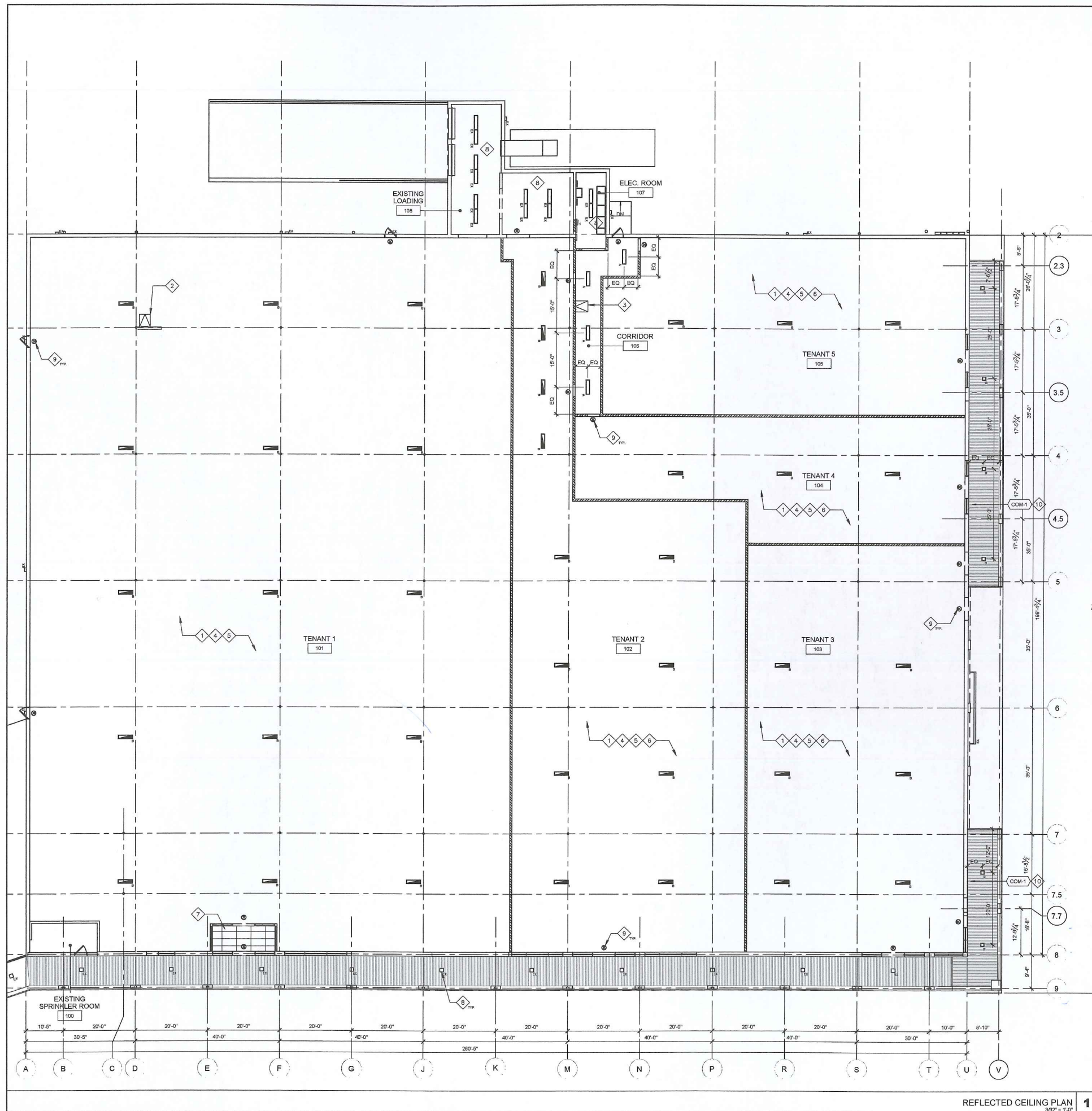
REVISIONS

REV	DATE	DESCRIPTION/COMMENTS

ISSUED FOR: DESIGN REVIEW
ISSUED DATE: 03.03.2019
DRAWN BY: EL
CHECKED BY: RK
PROJECT NUMBER: 2119003

OVERALL FLOOR PLAN
DRAWING NO. **A101**





REFLECTED CEILING PLAN 1
3/2" = 1'-0"

- GENERAL NOTES:**
- REFER TO A101 FOR ARCHITECTURAL FLOOR PLAN.
 - ALL EQUIPMENT SHALL BEAR UL LABELS.
 - CONTRACTOR TO USE LASER FOR LEVELING OF ALL SOFFITS AND CEILING.
 - EMERGENCY & EXIT LIGHTS TO BE INSTALLED ON SEPARATE CIRCUIT.
 - ALL LIGHT FIXTURES SHALL BE SUPPORTED FROM THE TOP CHORD OF STRUCTURAL JOIST ABOVE.
 - DIFFUSERS TO HAVE HANG WIRES ON ALL FOUR CORNERS.
 - REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL PROJECT INFORMATION.
 - LIGHTING FIXTURES SHALL BE INSTALLED COMPLETE WITH LAMPS, BALLASTS AND ALL NECESSARY MOUNTING ACCESSORIES INCLUDING STRAIGHTENING CLIPS.
 - REFER TO HVAC DRAWINGS FOR UNIT HEATER INFORMATION.
 - REFER TO ELECTRICAL DRAWINGS FOR LIGHTING

REFLECTED CEILING PLAN KEY NOTES:

1	EXPOSED STEEL STRUCTURE NO CEILING FINISH
2	EXISTING ROOF ACCESS HATCH
3	NEW ROOF ACCESS HATCH
4	G.C. TO INSTALL EMERGENCY FLUORESCENT LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS.
5	G.C. TO INSTALL EMERGENCY EXIT SIGNS. REFER TO ELECTRICAL DRAWINGS.
6	REFER TO MECHANICAL DRAWING FOR RTU SIZE AND FINAL LOCATIONS
7	2'x4' ACOUSTICAL CEILING TILE @ 10'-0" AFF. TILES TO BE CENTERED U.N.O.
8	EXISTING LIGHT FIXTURES TO REMAIN FOR REUSE.
9	NEW EXIT SIGN
10	NEW EXTERIOR SOFFIT TO MATCH EXISTING. REFER TO A201 EXTERIOR ELEVATIONS FOR FINISH COM-001

- CEILING NOTES:**
- ALL CEILING TYPES & FIXTURE TYPES LISTED BELOW REPRESENT SEVERAL TYPES OF CONSTRUCTION, ALL OF WHICH MAY NOT BE SPECIFIED AND/OR INDICATED ON PLANS.
 - REFER TO GENERAL INFORMATION T001 FOR ALL NOTES, ABBREVIATIONS & LEGENDS.
 - FIXTURE TYPES & LAYOUTS REPRESENTED ON PLANS ARE FOR COORDINATION PURPOSES ONLY. REFER TO MEP DWGS FOR ALL FIXTURE TYPES AND LOCATIONS.

- ACT-1: 2'x4' LAY-IN CEILING TILE W/ CEILING GRID TO BE EQUAL TO ARMSTRONG PRELUDE 15/16 OR US GYPSUM ENVIRONMENTAL ZXA GRID SYSTEM W/ FACE ALUMINUM CAPRED, DOUBLE-WIRE, HOT DIP GALVANIZED STEEL, INTERMEDIATE-DUTY, WHITE FINISH. TILE TO BE ARMSTRONG OPTIMA SQUARE TEGULAR 15/16. COLOR: WHITE.
- GWB-1: GYPSUM BOARD CEILING
- COM-1: COMPOSITE VINYL SOFFIT PANELS
- 2'x4' LIGHT FIXTURE, RECESSED, SURFACE MTD. OR PENDANT. SEE ELEC. DWG.
- 2'x4' EMERGENCY LIGHT FIXTURE
- 4' OR 8' HIGH BAY LIGHT FIXTURE, RECESSED, SURFACE MTD. OR PENDANT. SEE ELECTRICAL DWGS.
- 4' EMERGENCY LIGHT FIXTURE
- SURFACE MOUNT CEILING FIXTURE EXTERIOR
- COMBO SURFACE MTD. EXIT/ EMERGENCY LIGHTING
- EXIT SIGN W/ DIRECTIONAL ARROW
- HVAC DIFFUSER- SUPPLY
- HVAC DIFFUSER- RETURN
- SPRINKLER HEAD, UPWARD OR DOWNWARD ACTING

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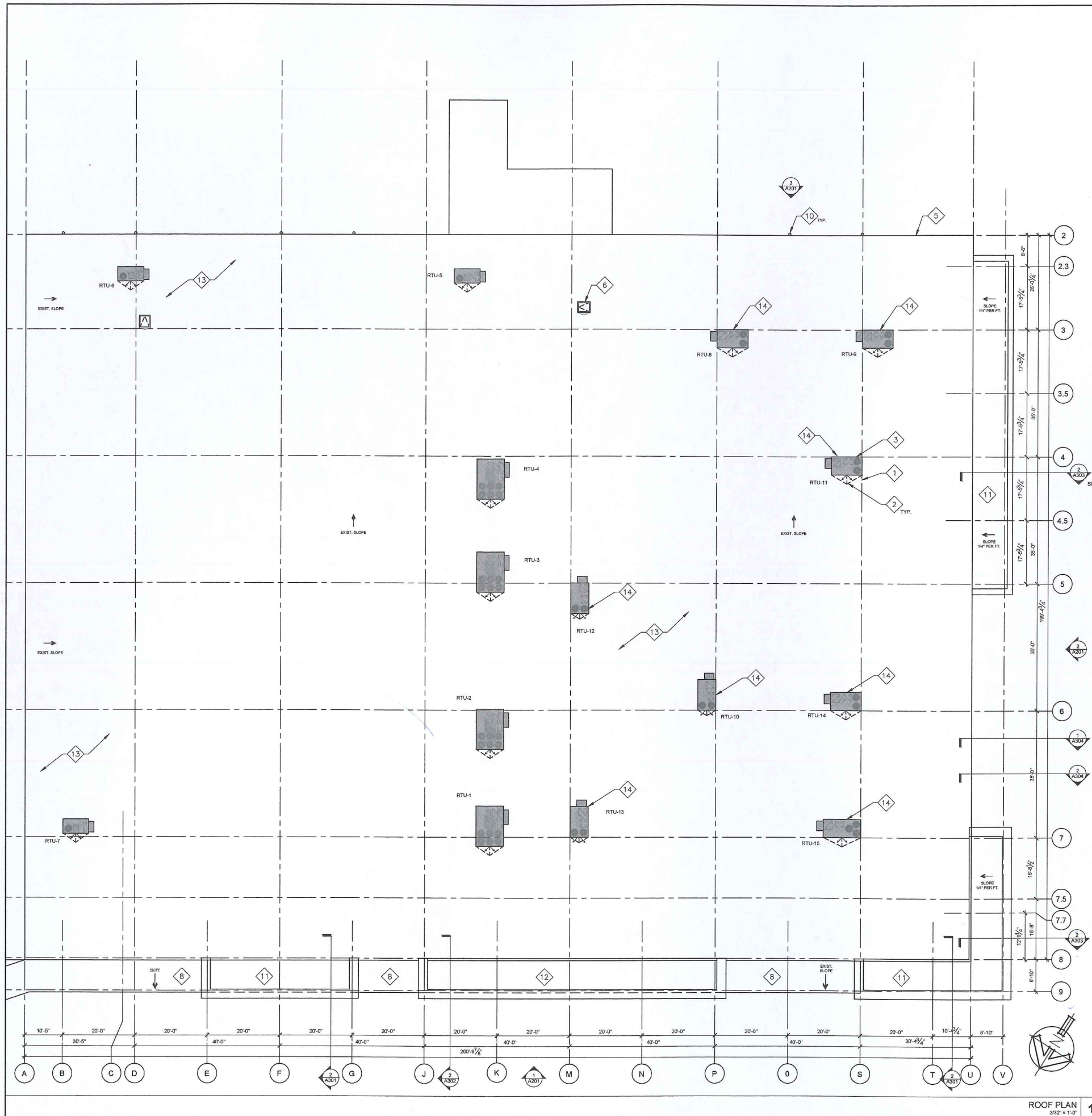
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REVISIONS

REV	DATE	DESCRIPTION / COMMENTS

ISSUED FOR: DESIGN REVIEW
 ISSUED DATE: 03.03.2019
 DRAWN BY: KA
 CHECKED BY: RK
 PROJECT NUMBER: 2119003

REFLECTED CEILING PLAN
 DRAWING NO. **A111**



- GENERAL NOTES:**
1. REFER TO SHEET G000 FOR GENERAL NOTES.
 2. REFER TO SHEET A201 FOR EXTERIOR ELEVATIONS.
 3. REFER TO A300 SERIES FOR WALL SECTIONS.
 4. REFER TO A400 SERIES FOR ENLARGED PLANS.
 5. REFER TO A500 SERIES FOR ENLARGED DETAILS.
 6. REFER TO SHEET A601 & A602 FOR DOOR & WINDOW SCHEDULES.
 7. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 8. ALL RTUS TO BE NEW.

ROOF PLAN KEY NOTES:

1	HVAC ROOF-TOP UNIT, GC TO COORDINATE PLACEMENT OF EQUIPMENT WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL DRAWINGS FOR MANUFACTURER AND MODEL INFORMATION.
2	PROVIDE CRICKET AT FRONT SIDE OF HVAC UNITS.
3	MECHANICALLY FASTENED SINGLE PLY EPDM CARLISLE SURE SEAL .45 REINFORCED SURE TOUGH MEMBRANE, COLOR TO MATCH EXISTING.
4	AIR VENT ROOF VENT ASSEMBLY, 3.6"x15"x16" ALUMINUM, COLOR TO MATCH ROOF MEMBRANE. NO SET MANUFACTURE.
5	GAS METER BELOW, RUN PIPE UP WALL, HOLD TIGHT TO CORNER. PAINT PIPE TO MATCH ADJACENT FINISH. COLOR. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
6	ROOF HATCH. REFER TO DETAIL 11/A503
7	BRAKE-FORMED METAL LAPPED AND SEALED COPING.
8	EXISTING SLOPE ROOF AT ARCADE BELOW.
9	VENT
10	EXISTING DOWNSPOUTS
11	NEW PARAPET AND SLOPED ROOF
12	EXISTING PARAPET AND SLOPED ROOF
13	PATCH AND REPAIR AS REQUIRED FOR NEW RTU PENETRATIONS
14	NEW ROOF PENETRATION FOR NEW RTU LOCATION

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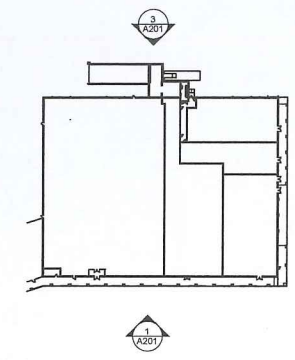
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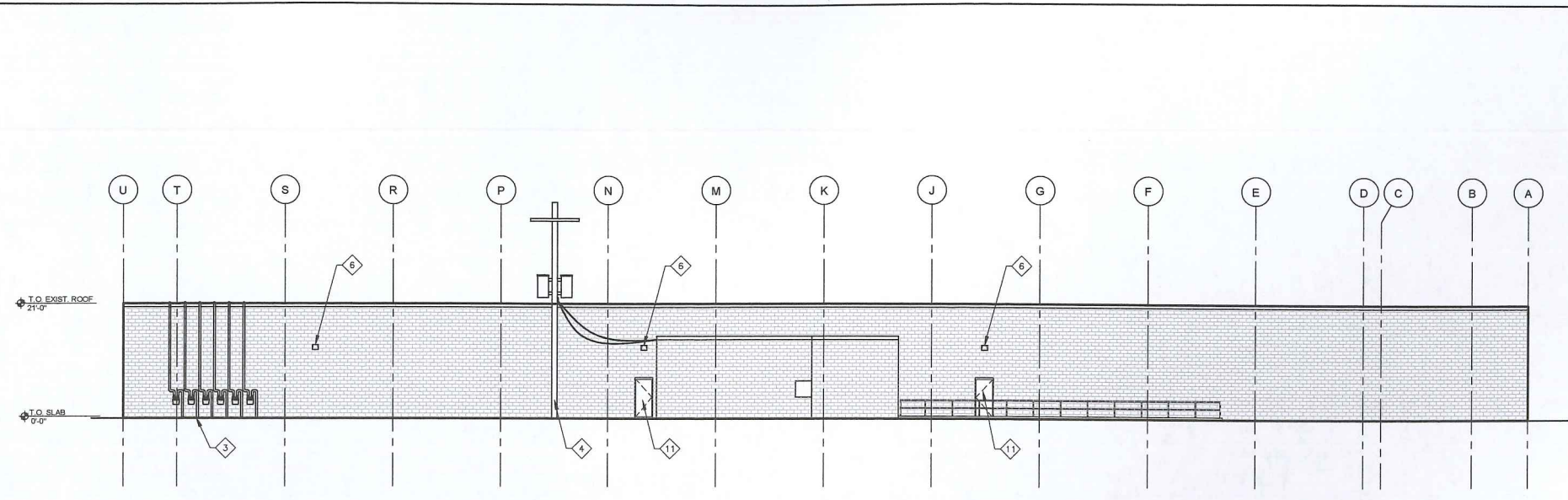
ROOF PLAN

A121

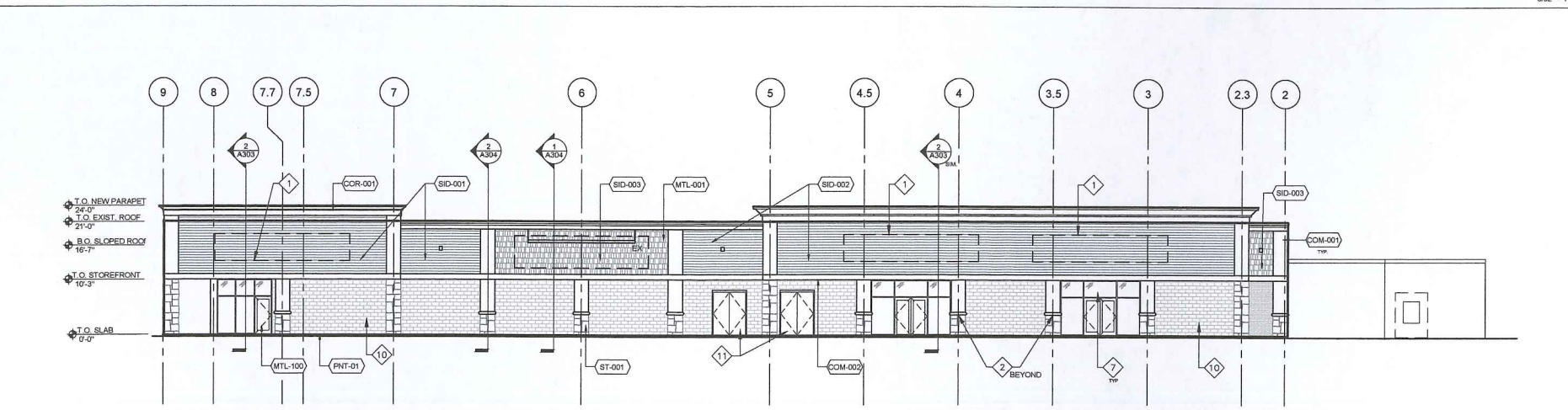


KEY PLAN

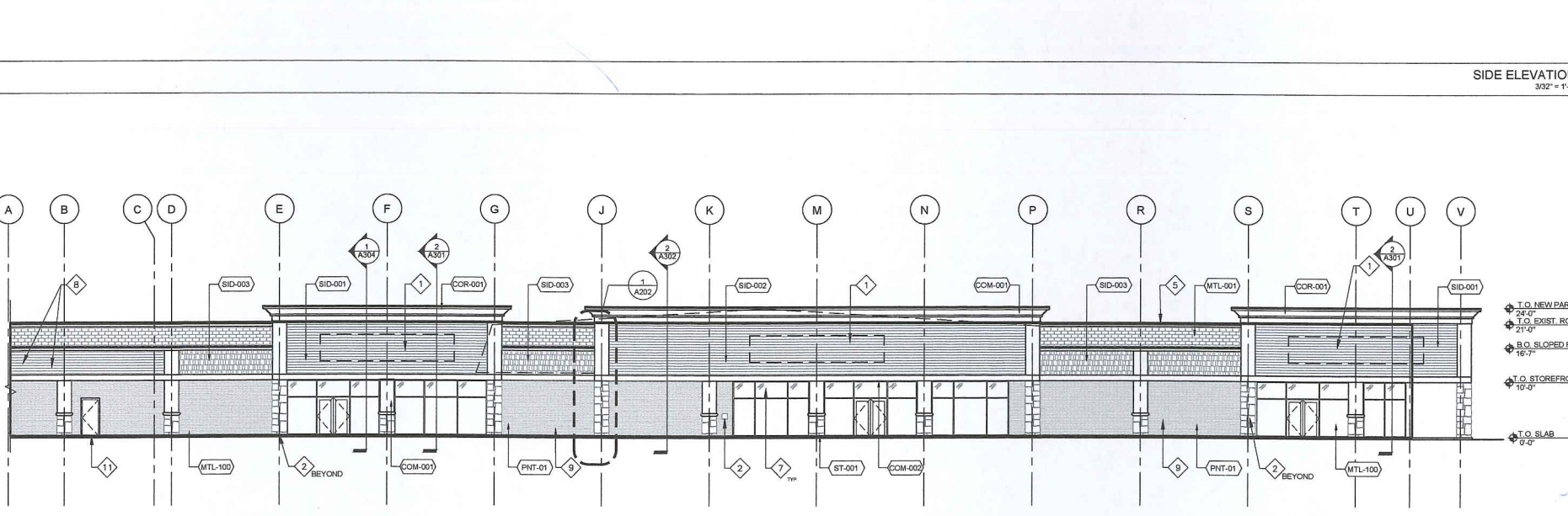
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REAR ELEVATION
 3/32" = 1'-0" 3



SIDE ELEVATION
 3/32" = 1'-0" 2



FRONT ELEVATION
 3/32" = 1'-0" 1

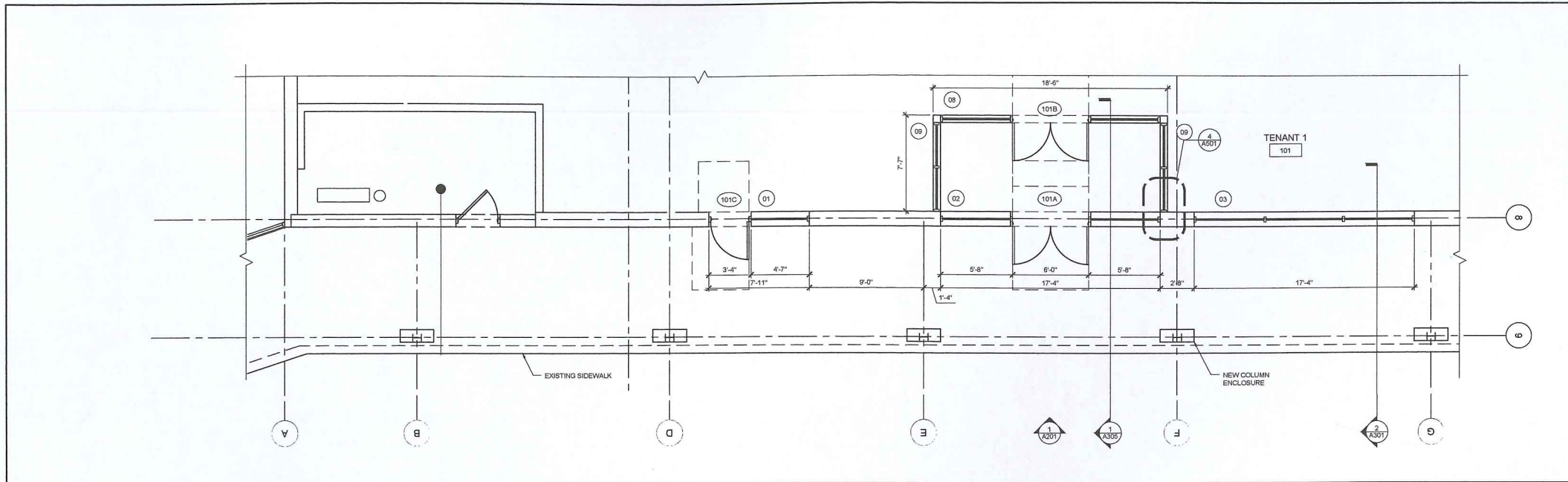
- GENERAL NOTES:**
- REFER TO SHEET G000 FOR GENERAL NOTES.
 - REFER TO SHEET A101 FOR FLOOR PLAN.
 - REFER TO A300 SERIES FOR WALL SECTIONS.
 - REFER TO SHEET A400 SERIES FOR ENLARGED PLANS.
 - REFER TO SHEET A500 SERIES FOR DETAILS.
 - REFER TO SHEET A601 FOR DOOR & WINDOW SCHEDULES.
 - REFER TO SIGN VENDOR SHOP DRAWINGS FOR FURTHER SIGNAGE INFORMATION.
 - REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION REGARDING SIGNAGE WIRING AND EXTERIOR BUILDING LIGHTINGS.
 - PAINT UTILITY PANELS / METER BOXES ON / AROUND BUILDING TO MATCH WALL FINISH. CONFIRM REQUIREMENTS W/ UTILITY.

EXTERIOR MATERIAL & FINISHES:

(MTL-001)	PRE-FINISHED METAL COPING MANUFACTURER: PAC-CLAD, PRODUCT: CONTINUOUS CLEAT COPING COLOR: WHITE
(MTL-100)	ALUMINUM STOREFRONT MANUFACTURER: KAWNEER COLOR: CLEAR ANODIZED
(SID-001)	SIDING MANUFACTURER: HARDIE PLANK LAP SIDING COLOR: BENJAMIN MOORE CSP-65 OLD SOUL EXPOSURE: 5"
(SID-002)	MANUFACTURER: HARDIE PLANK LAP SIDING COLOR: BENJAMIN MOORE HC189 COVENTRY GRAY EXPOSURE: 5"
(SID-003)	MANUFACTURER: HARDIE SHINGLE SIDING STRAIGHT EDGE PANEL COLOR: BENJAMIN MOORE HC163 DUXBURY GRAY
(SID-004)	MANUFACTURER: HARDIE SHINGLE SIDING STRAIGHT EDGE PANEL COLOR: BENJAMIN MOORE ARCTIC WHITE (MATCH EXISTING)
(PNT-001)	PAINT MANUFACTURER: BENJAMIN MOORE COLOR: BENJAMIN MOORE HC163 DUXBURY GRAY
(ST-001)	STACKED STONE VENEER - NEW ENGLAND MANUFACTURER: STONEYARD.COM COLOR: COLONIAL TAN LEDGESTONE
(COM-001)	COMPOSITE PANEL MANUFACTURER: AZEK COLOR: TRADITIONAL 3/4" X 4'-0" SHEETS
(COM-002)	COMPOSITE TRIM MANUFACTURER: AZEK COLOR: TRADITIONAL TRIM BOARD 4 1/4" X 1" X 12"
(COR-001)	CORNICE
(RO-001)	ROOFING - MATCH EXISTING ASPHALT SHINGLES

- KEYED NOTES:**
- TENANT SIGNAGE BY OTHERS. COORDINATE WITH TENANT FOR FINAL LOCATION.
 - SURFACE MOUNTED KNOX-BOX 3200 SERIES. MOUNTED TO EXIST BRICK. VERIFY LOCATION WITH FIRE DEPARTMENT.
 - RELOCATED GAS METERS, REFER TO PLUMBING DRAWINGS FOR DETAILS
 - EXISTING TRANSFORMER @ POLE
 - LINE OF MAIN ROOF
 - EXISTING WALL-PACK LIGHT TO REMAIN
 - BUILDING ADDRESS OR TENANT NUMBER/NAME
 - EXISTING SIDING TO REMAIN
 - PAINT EXISTING BRICK, PNT-001
 - PAINT EXISTING CMU, PNT-001
 - NEW / EXISTING HOLLOW METAL DOORS TO BE PAINTED, PNT-001

GENERAL NOTES

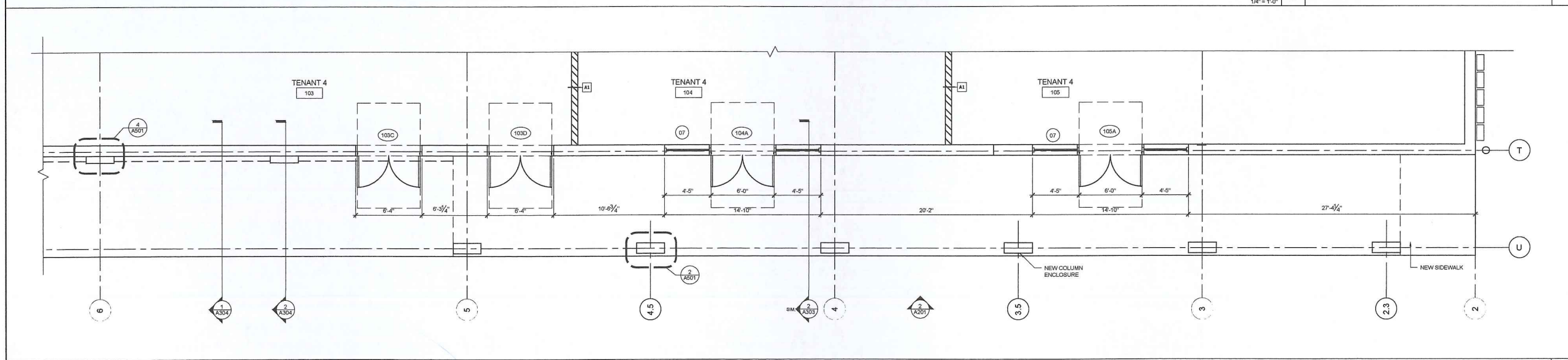


ENLARGED PARTIAL FLOOR PLAN 3
1/4" = 1'-0" 3 GENERAL NOTES

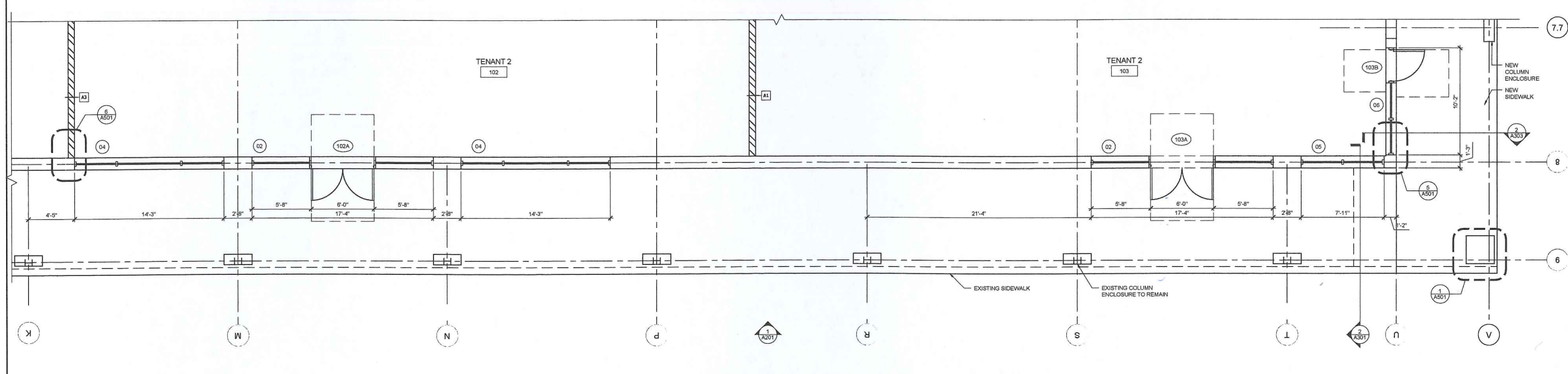
- GENERAL NOTES:**
- REFER TO SHEET 0401 FOR GENERAL NOTES
 - REFER TO SHEET A110 FOR ROOF PLAN
 - REFER TO SHEET A201 FOR EXTERIOR ELEVATIONS
 - REFER TO A300 SERIES FOR WALL SECTIONS
 - REFER TO A300 SERIES FOR ENLARGED DETAILS
 - REFER TO SHEET A601 & A602 FOR DOOR & WINDOW SCHEDULES
 - REFER TO SHEET A603 FOR PARTITION TYPES
 - REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION
 - REFER TO CIVIL PLANS FOR SIDEWALK LOCATIONS

FLOOR PLAN LEGEND

(101)	WINDOW NUMBER TAG
(102)	DOOR NUMBER TAG
---	STUD WALL
---	LINE ABOVE



ENLARGED PARTIAL FLOOR PLAN 2
1/4" = 1'-0" 2



ENLARGED PARTIAL FLOOR PLAN 1
1/4" = 1'-0" 1

REVISIONS

NO.	DATE	DESCRIPTION / COMMENTS

ISSUED FOR DESIGN REVIEW
ISSUED DATE: 03.03.2019
DRAWN BY: KA
CHECKED BY: RK
PROJECT NUMBER: 2119003

ENLARGED FLOOR PLAN

**DESIGN REVIEW COMMISSION
MINUTES OF MEETING
February 19, 2019**

A meeting of the Design Review Commission was held on Tuesday, February 19, 2019, at 7:00 PM, at the Franklin Municipal Building, 355 East Central Street, Room 205, Franklin, Massachusetts. Members present were Mark Fitzgerald, Chairman, Claudine Fitzgerald, and James Bartro.

Mark Fitzgerald, Chairman, opened the meeting at 7:00 PM.

Mark Fitzgerald authorized Associate Member James Bartro to vote.

1. Envoy Mortgage – 6 Main Street – Envoy Wall Sign

Chairman Fitzgerald stated that as of 7:02 PM no representative was in attendance; he would allow three more minutes. As of 7:07 PM, no representative was present.

Motion: To **Table** the submission until a future date. Motioned by M. Fitzgerald. Seconded by J. Bartro. Voted (3-0-0).

2. Estes Express Lines – Sign on Building

Cam Afonso of Signs by Cam represented Estes Express Lines with a sign package. He stated that this is a large building in the industrial park and the sign will not be able to be seen from the road; it will face the woods. It provides directions for the truck drivers to see at night.

Motion: To **Approve** the sign package as submitted. Motioned by C. Fitzgerald. Seconded by J. Bartro. Voted (3-0-0).

3. Envoy Mortgage – 6 Main Street – Envoy Wall Sign

Chairman Fitzgerald stated Stephen Boucher, a representative from Envoy Mortgage, was now in attendance. He noted that this submission has been before Design Review several times and there have been many non-appearances. Mr. Boucher confirmed the sign has already been erected on the building; he stated he could not confirm if it was approved by the building inspector. He said it was a year ago and he could not remember if he pulled a permit or not. He said he did not know anything about this until he submitted for a business license and Building Commission Gus Brown said he would not approve it until the sign issue was cleared. Chairman Fitzgerald stated that whenever a modification to a building is going to be made, including signage, it is a permissible event. He stated that this is in the Downtown Business District. He reviewed the sign bylaw 185-20 which states sign allowance is 10 percent of the facade. Mr. Boucher said this sign was made to the same size as the sign that was previously up and it would not have lighting. Chairman Fitzgerald stated that if in the future it were to have lighting, it would require going through the permit process. Commission members agreed that as the sign is already installed, prior to permit issuance they would want to know the attachment method the sign company used; a sketch provided to the Building Commissioner would be acceptable.

Motion: To **Approve** the sign package with the stipulation that a drawing and description of the sign's fastening method to the building is provided to the Building Commissioner prior to the permit being issued. Motioned by J. Bartro. Seconded by C. Fitzgerald. Voted (3-0-0).

4. Amego – 122 Grove Street – New Wall Sign – Reface Existing Freestanding Sign/Install New Post & Panel Directional Signs

Bob Gill, Amego; William Masiello, Architect; Jeff Kwass, ViewPoint Sign & Awning, addressed the Commission and provided a description of the signs, sign locations, and sign lighting. Commission members discussed the sign wording and locations. Chairman Fitzgerald noted that the sign did not look very large in relation to the building. He confirmed this is in the Industrial zone and is a residential school with people being

dropped off and picked up. He recommended the applicant be prepared for people arriving for pick up at the same time, and make sure the lines of cars do not spill into the road and block other businesses.

Motion: To **Approve** the sign package as submitted. Motioned by J. Bartro. Seconded by C. Fitzgerald. Voted (3-0-0).

5. Amego School Residences – Washington Street between #714 and #724 – 6 New (6-7) Bedroom Boarding School Residences Including Maintenance Building and Common Building
William Masiello contacted the team earlier in the day asking that their sign application be tabled to the March 5, 2019, Design Review Commission meeting.

General Matters: Commission members discussed that the recent cold weather caused many signs in town to become unlit. It was noted that in the Edwin's Plaza/Shiva Market the signs have been out for a few months. Chairman Fitzgerald stated he would send an email to Building Commissioner Gus Brown requesting that he inquire with the owner what the problem is with their signs and ask that they have it repaired. In addition, he stated he received a call from Mr. Brown this afternoon and they discussed some of the things that have been contentious between the Commission, the Town Attorney, and the Building Commissioner. He stated he expressed the Commission's displeasure with certain rulings that have come out of the Town Attorney's office concerning pylons, counts and quantities, and with the Town Attorney stating that LCD displays are not intended to attract and therefore they are permitted. He stated that he took issue with this because exactly in the bylaw, and he will quote for the record, Town Bylaw 185-20 section E2, disallows LCD and LED signs outright except to display one price of gasoline at a gas station. That is the only allowance in town for LCD and LED displays. For the Town Attorney to say that they are permitted is erroneous and we will stand by that position. Concerning section HD31, where the Town Attorney has interpreted the only instance of the word pylon in the bylaw to mean that the town permits unlimited pylons, we disagree with because it is clearly stated several points in the bylaw that 60 sq. ft. is the maximum. If someone wishes to put that 60 sq. ft. divided up among 100 poles, they can do that math and put the 60 sq. ft. among the 100 poles. We consider that a loophole, and if someone wishes to do that, it is not disallowed. To allow 60 sq. ft. on unlimited amounts of pylons, is in error. It is inaccurate and we will not approve any sign packages except by exception through this Design Review Commission. He stated that he believes the rest of the Design Review Commission supports that. Commission members J. Bartro and C. Fitzgerald stated that they support Chairman Fitzgerald. Chairman Fitzgerald stated that lastly, the Town Attorney regarding the use of the word "intent" on the Speedway displays has stated that it is not the intent to attract passersby. Chairman Fitzgerald stated that the sign bylaw, and he believes the town bylaws, forbid us from determining intent of signage. So, we reject that outright and we treat that these LCDs not only are they specifically prohibited in the bylaw, but even if there was some sort of way around it, they are billboards. They are doing third-party advertising on those screens. They are not advertising exclusively Speedway and Speedway products. They are advertising for candy bars, automobiles, housing developments, and anything else that may be on network TV; that is a billboard and that is also disallowed explicitly by the town bylaws. Mr. Bartro stated it should be looked at under the noise bylaw as they are tremendously loud. Chairman Fitzgerald stated they have been asked several times by the Building Commissioner to turn them down; he thinks they have rejected that request. Chairman Fitzgerald stated that with that in mind, he also plans to not entertain any further submissions from Speedway Corporation concerning signage until they are brought into compliance. Commission members J. Bartro and C. Fitzgerald stated they agreed.

Motion to **Adjourn** by J. Bartro. Seconded by C. Fitzgerald. Voted (3-0-0). Adjourned at 7:39 PM.

Respectfully submitted,

Judith Lizardi
Recording Secretary

**DESIGN REVIEW COMMISSION
MINUTES OF MEETING
March 5, 2019**

A meeting of the Design Review Commission was held on Tuesday, March 5, 2019, at 7:00 PM, at the Franklin Municipal Building, 355 East Central Street, Room 205, Franklin, Massachusetts. Members present were Mark Fitzgerald, Chairman, Ralph Niemi, Melissa DeVito, Claudine Fitzgerald, and Samuel Williams.

Mark Fitzgerald, Chairman, opened the meeting at 7:00 PM.

Mark Fitzgerald authorized Associate Members Ralph Niemi and Melissa DeVito to vote.

1. Gentle Dental – 471 West Central Street – Install LED Channel Letters & Pylon Faces
Cam Afonso of Signs by Cam representing Gentle Dental stated they have done the entire associated mall area. This is standard channel letters. There will be a pylon sign which is already there and some lettering on the door.

Motion: To **Approve** the sign package as submitted. Motioned by S. Williams. Seconded by C. Fitzgerald.
Voted (5-0-0).

2. Amego School Residences – Washington Street between #714 and #724 – 6 New (6-7) Bedroom Boarding School Residences Including Maintenance Building and Common Building

Ralph Niemi recused himself from voting; Chairman Fitzgerald stated that Mr. Niemi may participate in the discussion.

William Masiello, Architect; Ted Cannon, Attorney, and Alice Webb, Landscape Architect, addressed the Commission and provided a description of the signs and sign locations. Site Plans, landscape drawings, and some illustrative and conceptual design views were part of the submittal. It was noted that this is a 51-acre parcel; approximately four acres will be developed. Mr. Masiello reviewed the Site Plans and layout. He noted there may be up to 39 residential students ranging from 5 to 23 years old; the goal is that while living there, they can develop independent skills. He estimated about 36 to 39 cars. It is typically a one-to-one ratio; however, at night, the numbers go down to probably 10 cars. Chairman Fitzgerald confirmed that the residential students go via shuttle van to the school on Grove Street during the day. Mr. Masiello pointed out the staff parking lot on the plans. He stated that their concept was to make this seem like a typical neighborhood. He reviewed the three phases of development. Chairman Fitzgerald confirmed that tonight the focus is the residential buildings, not the agricultural building. He noted the Commission focuses on items such as where deliveries are made, dumpsters, snow storage, queuing lines and other items that could possibly affect abutters; the location of the dumpster was discussed. Ms. Webb reviewed the landscaping plan including screening. Chairman Fitzgerald confirmed that there would not be large food trucks making deliveries early in the morning, but there will be multiple smaller deliveries to address the residents' food plans. Commission members and Mr. Masiello reviewed the plans for the non-developed area of which a great deal is wetland; at this time, it will remain green area. Chairman Fitzgerald asked about fencing and air conditioning units. Mr. Masiello stated the air conditioners would be on the side of the residences. He confirmed there would be video surveillance. Chairman Fitzgerald stated that the surveillance sight lines must be down or fixed and that it cannot be used to view the adjacent neighborhoods or over the property lines into a neighbor's house. He confirmed with Ms. Webb that she followed the Town's Best Practices Guidelines for plantings. Ms. Webb stated that everything she proposed was on the list with one exception where she proposed a related native shrub. She discussed the calipers, heights, and growth rates of the proposed trees. Chairman Fitzgerald confirmed there was existing sidewalk on that side of Washington Street. He asked Ms. Webb to confirm that the plantings will not drop nuts, fruits, etc., over the sidewalk. Commission members agreed that as there is already so much vegetation, they will not ask for larger size caliper trees.

Mr. Masiello reviewed some of the proposed signs. He stated that the photometric plan was reviewed; it was noted there is a tiny bit of spill at the entrances. Chairman Fitzgerald stated that might not be bad as it

illuminates the sidewalk. Commission members and Mr. Masiello discussed the trees on the property that would be cut in the construction phase in regard to the abutters. Chairman Fitzgerald stated concern that during the construction phase there is a lot of dirt to move and they may not be concerned with saving specific trees that may be in the way. Mr. Masiello stated they are not planning for a lot of heavy clearing. He stated there would be cutting, but they are planning to put it back; he thinks what is planned to be put back is an improvement from what is currently there. They plan to put up construction fencing. He stated the start date, if possible, would be middle of summer. Chairman Fitzgerald mentioned concern about headlights flashing into abutters' properties prior to the growth of the proposed plants. Mr. Masiello stated he thinks they need something more solid for fencing than chain link, like vinyl. Chairman Fitzgerald stated the Commission asks that it not be the industrial grade chain link; even a decorative black metal would be better. Mr. Masiello did not confirm the fencing type to be used; he stated they are making this look like a neighborhood with front porches, etc., including the roof type. He stated they have not made their final selections yet, so he does not have exact exterior materials and proposed façade; he reviewed some of the exterior proposals on the submitted plans. Chairman Fitzgerald confirmed they are looking at the Site Plan at this time; he gave advice for the future regarding exterior colors. Mr. Masiello stated the palettes would be earth-tone based. Chairman Fitzgerald stated he liked the variations in elevations and paints. He stated they must come back for the exterior, but at this time it looks like they have some great ideas for blending in well with a residential area. He reiterated his request for fencing that was not the industrial chain link type. Regarding the parking lot, he asked that they make sure overnight people know this is not a zip-in/zip-out lot, it is for daytime use only so people will not be flashing headlights at the neighbors. Mr. Masiello confirmed it will be a private septic system; the town sewerage system was too far away to make a connection. Chairman Fitzgerald confirmed the applicant should make sure there is no light spillage over the lines. He stated that it seems like there is a good plan for the flow around; it does not look disruptive with one way in and one way out. The tree calipers and plantings look robust; they will fill out the place nicely.

Motion: To **Recommend** the Site Plan as submitted and the Photometric Plan as submitted, provided the one small spot that the lighting fixture chosen channels the light back into the property. Motioned by S. Williams. Seconded by M. DeVito. Voted (4-0-0).

Mr. Niemi re-entered the meeting.

3. Milford Regional at Franklin – 1280 West Central Street – Install Signs on Building & Freestanding Directional Sign

Chairman Fitzgerald stated the Commission has already looked at the Site Plan and the building itself; this is for the signs. Karen Mullen of Signs Plus representing Milford Regional at Franklin stated this is for signage on the building and one freestanding sign. She confirmed a variance was needed for these signs as none of the signs were allowed; the variance was granted. She reviewed the sign package. Commission members discussed the sign package. Chairman Fitzgerald noted the signs should be turned off at night so they would not attract people that may be having an emergency who may think they could go in there to get help, and they cannot. He said the colors looked like they matched the corporate colors and were nothing crazy. Commission members requested applicant submit the mounting hardware and the fastening method that will be used. Ms. Mullen stated the builder knew where the signage would go, so he reinforced those areas of the building.

Motion: To **Approve** the sign package as submitted. Motioned by C. Fitzgerald. Seconded by R. Niemi. Voted (5-0-0).

General Matters: Commission members requested that all Site Plans be put last on the agenda; sign packages should be at the beginning. Also, please schedule Site Plans or possibly contentious submissions for longer than five minutes.

Commission member asked if the banners hanging on the light posts at Franklin Village Plaza are required to come before the Commission. Chairman Fitzgerald asked if they were decoration or advertisement; a photo was provided and it was stated that they looked decorative. Chairman Fitzgerald stated he would take an action to

ask Gus Brown, Building Commissioner, if they are decoration as they do not promote a specific entity or product.

Motion to **Adjourn** by M. Fitzgerald. Seconded by S. Williams. Voted (5-0-0). Adjourned at 8:05 PM.

Respectfully submitted,

Judith Lizardi
Recording Secretary