

DEFINITIVE SUBDIVISION PLAN OF LAND EASTERN WOOD ESTATES FRANKLIN MASSACHUSETTS

I, NANCY DANIELLO, ACTING CLERK OF THE TOWN OF FRANKLIN, RECEIVED AND RECORDED FROM THE PLANNING BOARD COVENANT APPROVAL OF THIS PLAN ON AND NO APPEAL WAS TAKEN FOR TWENTY DAYS NEXT AFTER RECEIPT AND RECORDING OF SAME.

TOWN CLERK _____ DATE _____

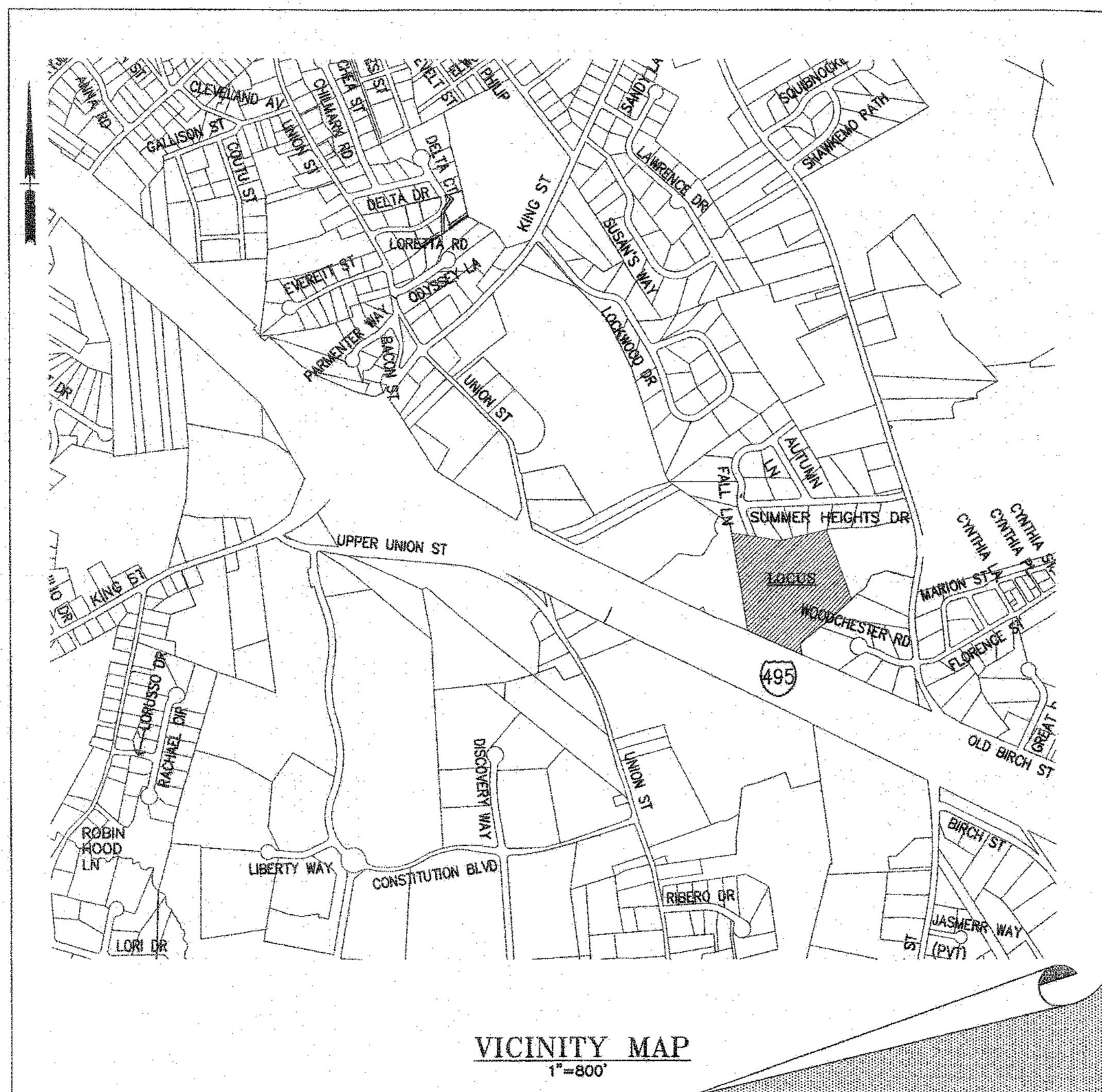
REGISTRY USE ONLY
F4410

APPROVED DATE: _____
FRANKLIN PLANNING BOARD

BEING A MAJORITY

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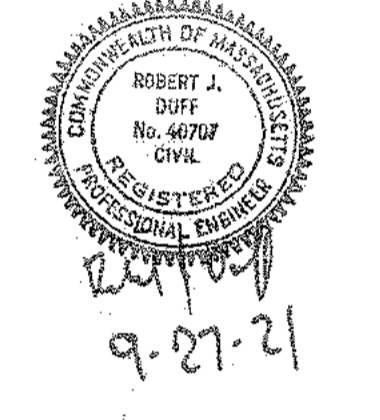
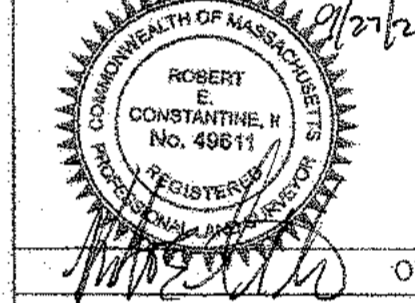


WAIVER OF REQUEST

1. REQUEST A WAIVER FROM SECTION 300-10.D(5) REQUIRING PROPOSED GRADES WITHIN THE RIGHT-OF-WAY TO BE NO MORE THAN FIVE FEET ABOVE OR BELOW EXISTING GRADES.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

THIS IS NOT A CERTIFICATION AS TO THE TITLE OR OWNERSHIP OF THE LAND SHOWN HEREON.



OWNER

KYLE McNAMARA
418 OLD RIVER ROAD
LINCOLN, RI 02838

DEED BOOK 38468 PAGE 40
ASSESSOR MAP 315, LOT 37

APPLICANT
NORTHEAST DEVELOPMENT GROUP
418 OLD RIVER ROAD
LINCOLN, RI 02838

**DEFINITIVE SUBDIVISION
PLAN OF LAND
EASTERN WOOD ESTATES
FRANKLIN
MASSACHUSETTS**

COVER

AUGUST 17, 2021

DATE	REVISION DESCRIPTION
09/24/21	TOWN COMMENTS - REV1

Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

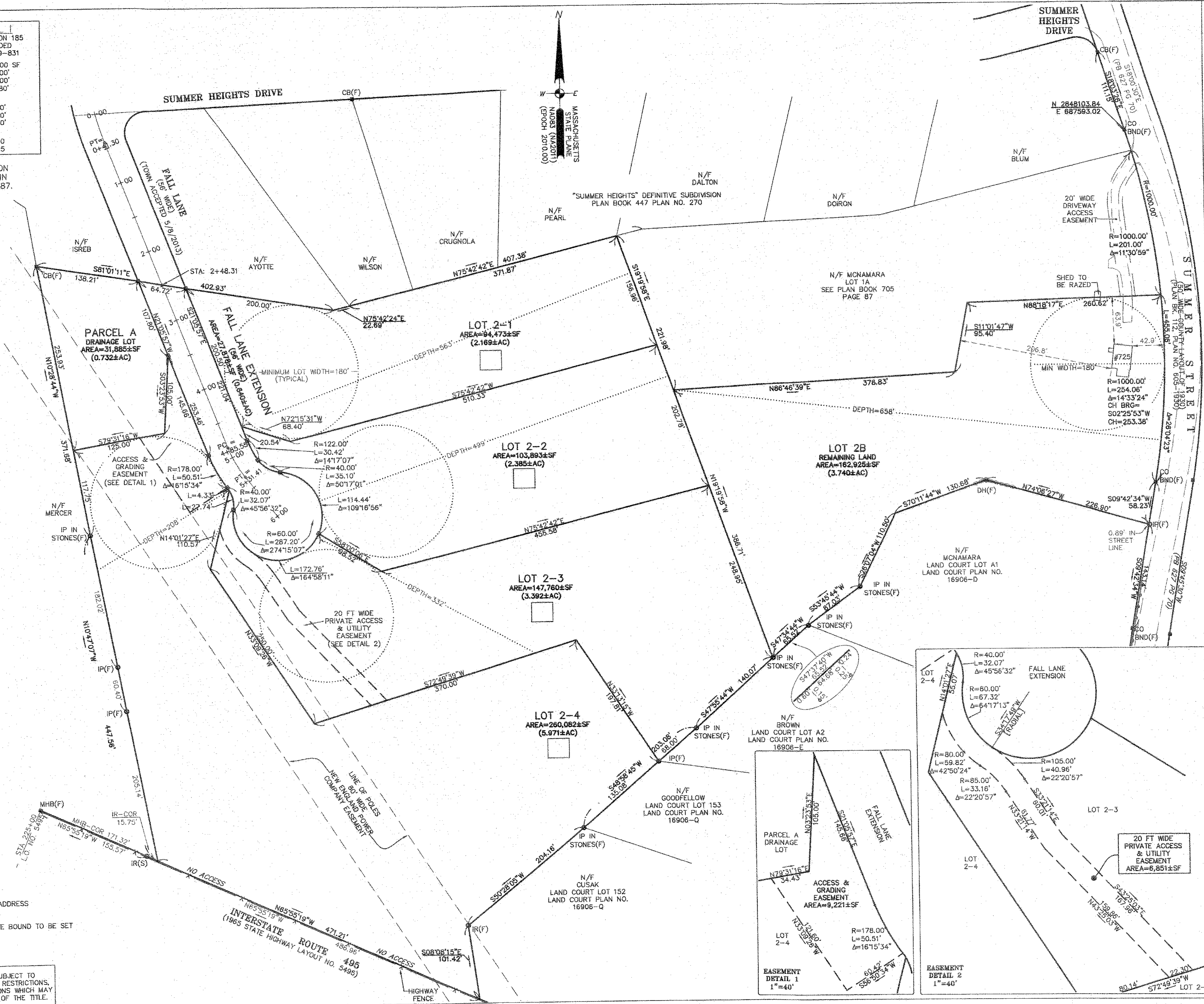
SHEET 1 OF 11 JOB NO. F4410

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

RURAL RESIDENTIAL I
 FRANKLIN ZONING BYLAW SECTION 185
 ATTACHMENT 9; LAST AMENDED
 3-13-2019 BY AMENDMENT 19-831

MINIMUM LOT AREA	40,000 SF
MINIMUM LOT FRONTAGE	200'
MINIMUM LOT DEPTH	200'
MINIMUM LOT WIDTH	180'
MINIMUM YARDS	
FRONT	40'
SIDE	40'
REAR	40'
% OF LOT UPLAND COVERED BY:	
STRUCTURES	20
STRUCTURES+PAVING	25

THIS PLAN IS A DIVISION
 OF LOT 2A DEPICTED IN
 PLAN BOOK 705 PAGE 87.



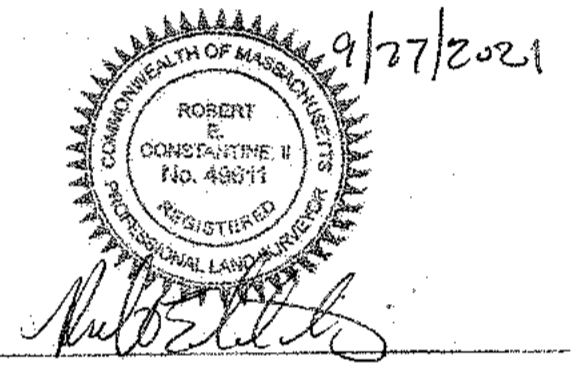
□ DENOTES STREET ADDRESS
 ■ DENOTES CONCRETE BOUND TO BE SET

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CERTIFICATION
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**DEFINITIVE SUBDIVISION
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 EASTERN WOOD ESTATES
 FRANKLIN
 MASSACHUSETTS**

LOTTING PLAN

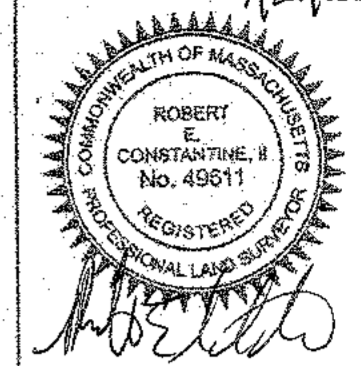
AUGUST 17, 2021

DATE	REVISION DESCRIPTION
08/24/21	TOWN COMMENTS -REV1

GRAPHIC SCALE: 1"=60'

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F4410

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 FRANKLIN PLANNING BOARD

 BEING A MAJORITY

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. PRIOR TO EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE 100% DETERMINED COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

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 LINCOLN, RI 02838
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 ASSESSOR MAP 315, LOT 37

APPLICANT

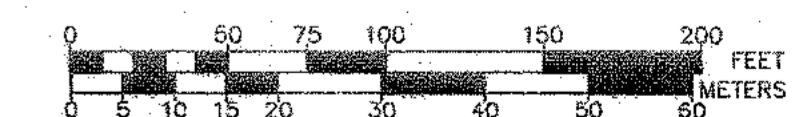
NORTHEAST DEVELOPMENT GROUP
 418 OLD RIVER ROAD
 LINCOLN, RI 02838

**DEFINITIVE SUBDIVISION
 PLAN OF LAND
 EASTERN WOOD ESTATES
 FRANKLIN
 MASSACHUSETTS
 EXISTING CONDITIONS
 PLAN**

AUGUST 17, 2021

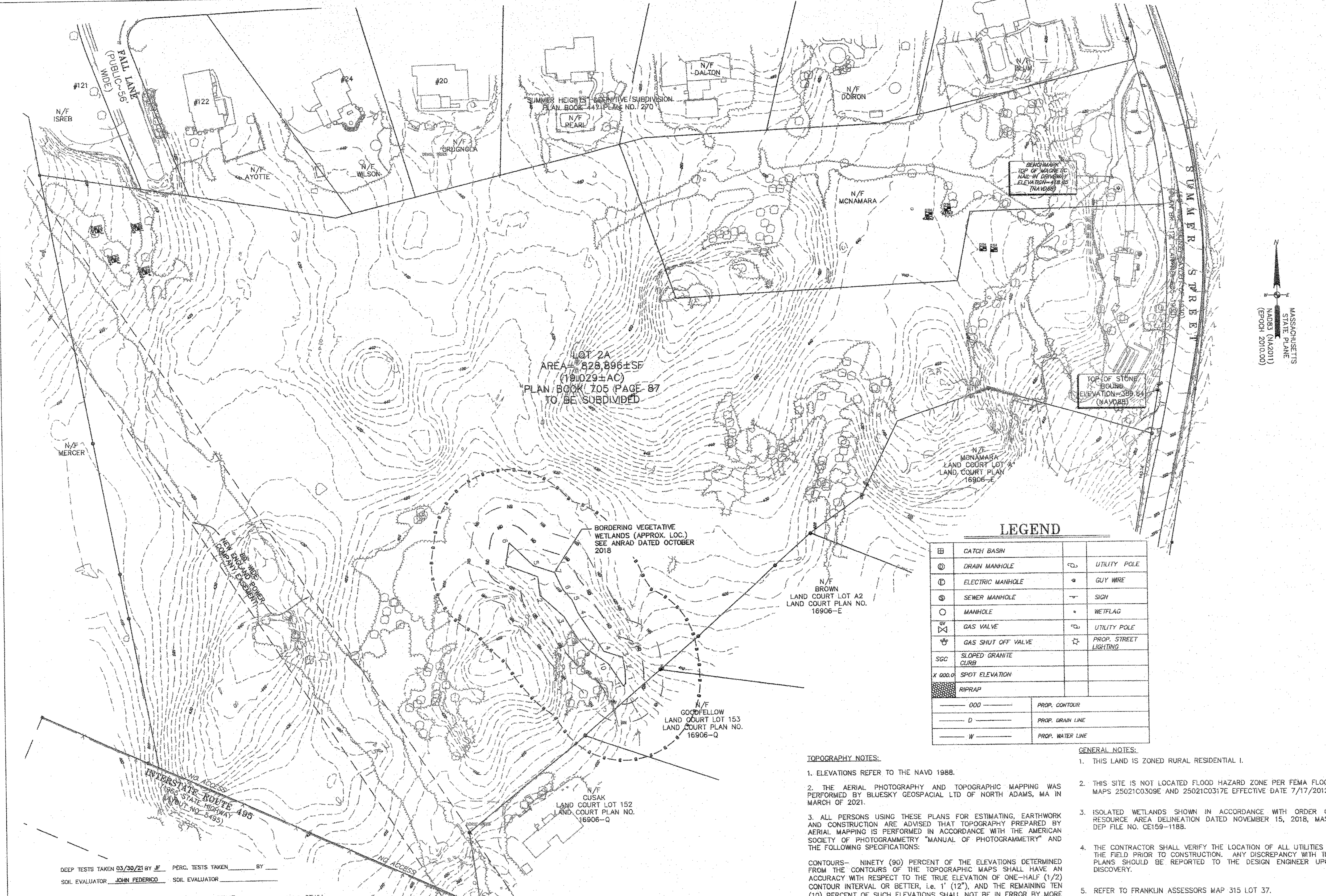
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SHEET 3 OF 11 JOB NO. F4410



LEGEND

	CATCH BASIN		UTILITY POLE
	DRAIN MANHOLE		GUY WIRE
	ELECTRIC MANHOLE		SIGN
	SEWER MANHOLE		WETFLAG
	MANHOLE		UTILITY POLE
	GAS VALVE		PROP. STREET LIGHTING
	GAS SHUT OFF VALVE		
	SLOPED GRANITE CURB		
	SPOT ELEVATION		
	RIPRAP		
	PROP. CONTOUR		
	PROP. DRAIN LINE		
	PROP. WATER LINE		

TOPOGRAPHY NOTES:

- ELEVATIONS REFER TO THE NAVD 1988.
- THE AERIAL PHOTOGRAPHY AND TOPOGRAPHIC MAPPING WAS PERFORMED BY BLUESKY GEOSPACIAL LTD OF NORTH ADAMS, MA IN MARCH OF 2021.
- ALL PERSONS USING THESE PLANS FOR ESTIMATING, EARTHWORK AND CONSTRUCTION ARE ADVISED THAT TOPOGRAPHY PREPARED BY AERIAL MAPPING IS PERFORMED IN ACCORDANCE WITH THE AMERICAN SOCIETY OF PHOTOGRAMMETRY "MANUAL OF PHOTOGRAMMETRY" AND THE FOLLOWING SPECIFICATIONS:

CONTOURS- NINETY (90) PERCENT OF THE ELEVATIONS DETERMINED FROM THE CONTOURS OF THE TOPOGRAPHIC MAPS SHALL HAVE AN ACCURACY WITH RESPECT TO THE TRUE ELEVATION OF ONE-HALF (1/2) CONTOUR INTERVAL OR BETTER, I.E. 1' (12"), AND THE REMAINING TEN (10) PERCENT OF SUCH ELEVATIONS SHALL NOT BE IN ERROR BY MORE THAN THE CONTOUR INTERVAL, I.E. 2'.

PLANIMETRIC FEATURES- NINETY (90) PERCENT OF ALL PLANIMETRIC FEATURES WHICH ARE WELL DEFINED ON THE PHOTOGRAPHS SHALL BE PLOTTED SO THAT THEIR POSITION ON A FINISHED 40-SCALE MAP SHALL BE ACCURATE TO WITHIN AT LEAST ONE-FORTIETH (1/40) OF AN INCH OF THEIR TRUE COORDINATE POSITION, I.E. 1' AND NONE OF THE FEATURES SHALL BE MISPLACED ON A FINISHED 40-SCALE MAP BY MORE THAN ONE-TWENTIETH (1/20) OF AN INCH FROM THEIR TRUE COORDINATE POSITION, I.E. 2'.

GENERAL NOTES:

- THIS LAND IS ZONED RURAL RESIDENTIAL I.
- THIS SITE IS NOT LOCATED FLOOD HAZARD ZONE PER FEMA FLOOD MAPS 25021C0309E AND 25021C0317E EFFECTIVE DATE 7/17/2012.
- ISOLATED WETLANDS SHOWN IN ACCORDANCE WITH ORDER OF RESOURCE AREA DELINEATION DATED NOVEMBER 15, 2018, MASS DEP FILE NO. CE159-1188.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
- REFER TO FRANKLIN ASSESSORS MAP 315 LOT 37.
- THIS SITE IS NOT LOCATED IN A WATER RESOURCE DISTRICT.
- ALL REFERENCED DEEDS ARE ON RECORD AT THE NORFOLK COUNTY REGISTRY OF DEEDS.
- THIS SITE IS NOT LOCATED WITHIN A NATURAL HERITAGE AND ENDANGERED SPECIES PROGRAM AREA.

DEEP TESTS TAKEN 03/30/21 BY JF PERC. TESTS TAKEN _____ BY _____
 SOIL EVALUATOR JOHN FEDERICO SOIL EVALUATOR _____

406.5 DTH#1	405.4 DTH#2	402.7 DTH#3	409.0 DTH#4
Ap S.L. 10YR 2/2	Ap S.L. 10YR2/2	Ap S.L. 7.5YR 2.5/3	Ap S.L. 10YR2/2
0"-4"	0"-6"	0"-4"	0"-4"
Bw S.L. 10YR 3/4	Bw S.L. 10YR4/4	Bw S.L. 7.5YR 4/6	Bw S.L. 10YR5/3
4"-36"	6"-34"	4"-36"	4"-30"
C1 L.S. 10Y6/2	C1 L.S. 10YR6/4	C1 L.S. 10Y6/2	C1 S. 10YR6/1
36"-136"	34"-158"	36"-162"	30"-114"
392.4	392.4	399.7	399.5
NO REFUSAL NO GROUNDWATER	NO REFUSAL NO GROUNDWATER	NO REFUSAL NO GROUNDWATER	REFUSAL @ 114" NO GROUNDWATER

LEGEND

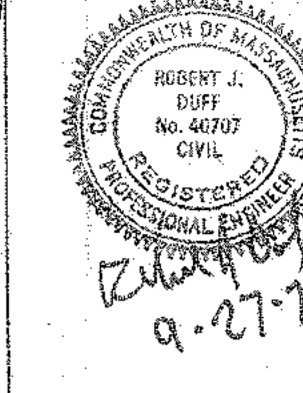
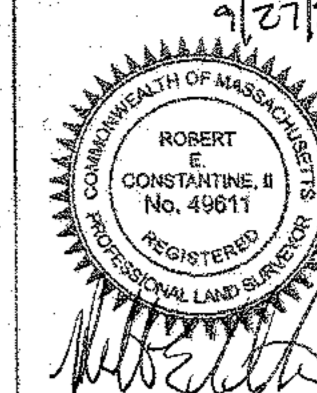
BB	CATCH BASIN		
DM	DRAIN MANHOLE	UD	UTILITY POLE
EM	ELECTRIC MANHOLE	UW	GUY WIRE
SM	SEWER MANHOLE	VS	SIGN
OS	MANHOLE	WF	WETFLAG
GV	GAS VALVE	UP	UTILITY POLE
GS	GAS SHUT OFF VALVE	UL	PROP. STREET LIGHTING
SGC	SLOPED GRANITE CURB		
X 000.0	SPOT ELEVATION		
RIPRAP			
000	PROP. CONTOUR		
D	PROP. DRAIN LINE		
W	PROP. WATER LINE		

EROSION CONTROL AND DRAINAGE CONSTRUCTION PHASING

1. INSTALL EROSION CONTROL DEVICES ALONG PERIMETER OF SITE WHERE SHOWN.
2. INSTALL CONSTRUCTION ENTRANCE.
3. SITE TO BE CLEARED AND GRUBBED.
4. INSTALL RETAINING WALLS.
5. INSTALLED SLOPE MATTING TO STABILIZE SLOPES (IF APPLICABLE)
6. INSTALL TEMPORARY SEDIMENT BASIN.
7. INSTALL DRAINAGE MANHOLES AND CATCH BASINS AND ENSURE TEMPORARY COVER IS IN PLACE.
8. INSTALL ALL DRAINAGE RISERS, GRATES AND COVERS
9. REMOVE CONSTRUCTION ENTRANCES.
10. UPON ALL CATCHMENT STRUCTURES AND MITIGATION FEATURES BECOMING OPERATIONAL, INSTALL ROAD UP TO BINDER FINISH GRADE. TEMPORARY BERM SHALL BE PLACED ALONG THE ENTIRE EDGE OF ROADWAY WITH THE BINDER COURSE AND SHALL REMAIN IN PLACE UNTIL FINISH COURSE AND/OR PERMANENT CURBING/EDGING IS PLACED.
11. REMOVE TEMPORARY SEDIMENTATION BASIN AFTER SITE HAS BEEN STABILIZED AND PREPARED FOR BUILDING FOUNDATION INSTALLATION.

GENERAL NOTES:

1. SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM.
2. INSTALL SILT SACKS.
3. INSTALL BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL.
4. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
5. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
6. STOCK PILE AREA TO BE CONTAINED USING EROSION CONTROL DEVICES
7. DIRT BAG SHALL BE USED TO PERIODICALLY CLEAN THE TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.
8. A CONSTRUCTION FENCE SHALL BE PLACED AROUND THE PERIMETER OF THE SITE.
9. LIMIT OF DISTURBANCE WILL BE REVIEWED BY PLANNING BOARD REPRESENTATIVE BEFORE ANY CUTTING OF TREES.



F4410

APPROVED DATE:
FRANKLIN PLANNING BOARD

BEING A MAJORITY

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LINCOLN, RI 02838

DEED BOOK 38469 PAGE 40
ASSESSOR MAP 315, LOT 37

APPLICANT

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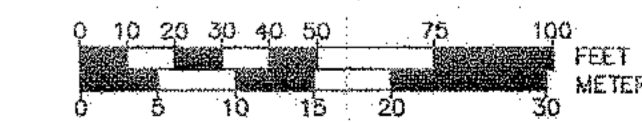
DEFINITIVE SUBDIVISION PLAN OF LAND EASTERN WOOD ESTATES FRANKLIN MASSACHUSETTS

EROSION CONTROL PLAN

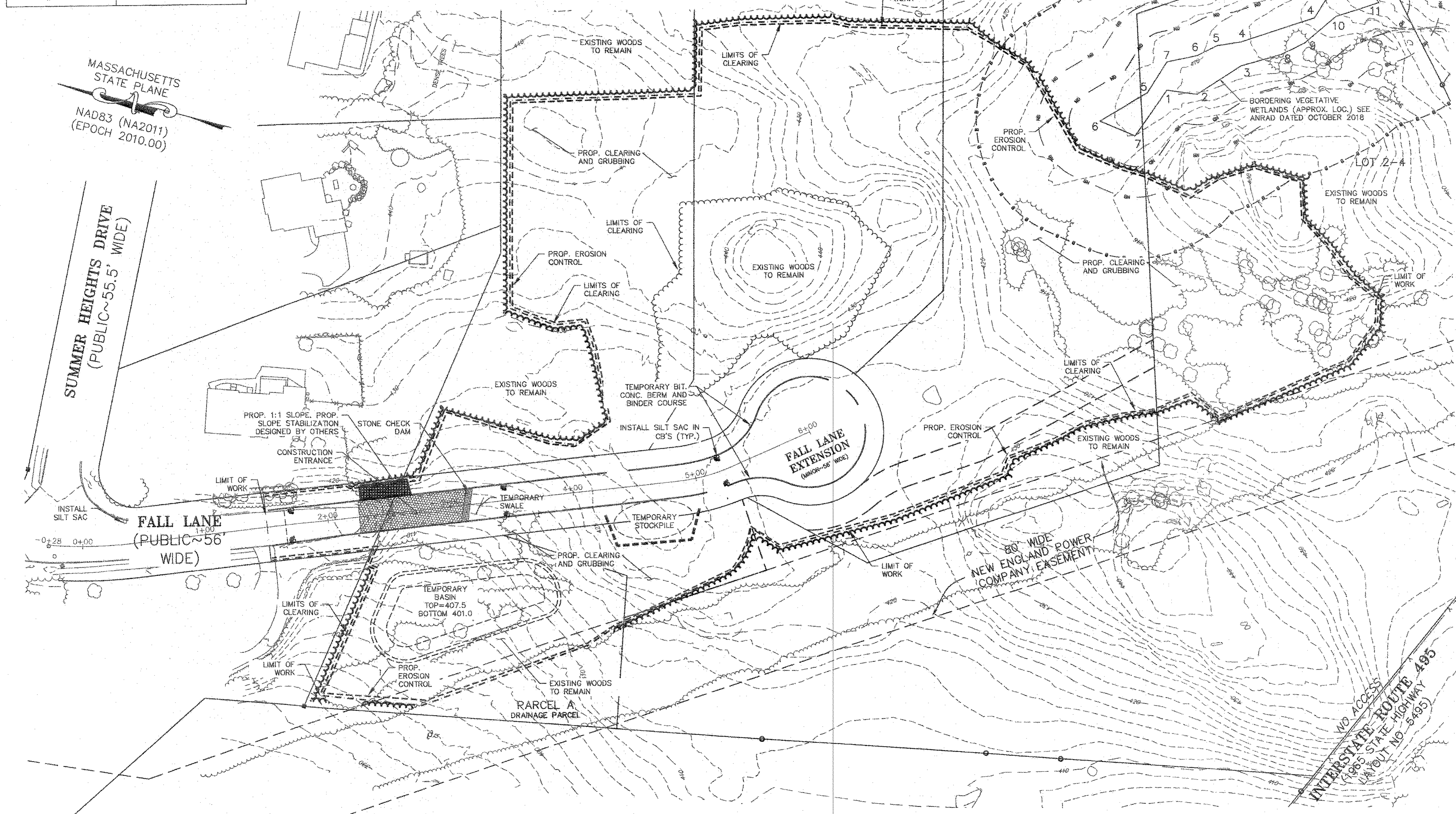
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09/24/21	TOWN COMMENTS - REV1

GRAPHIC SCALE: 1"=40'



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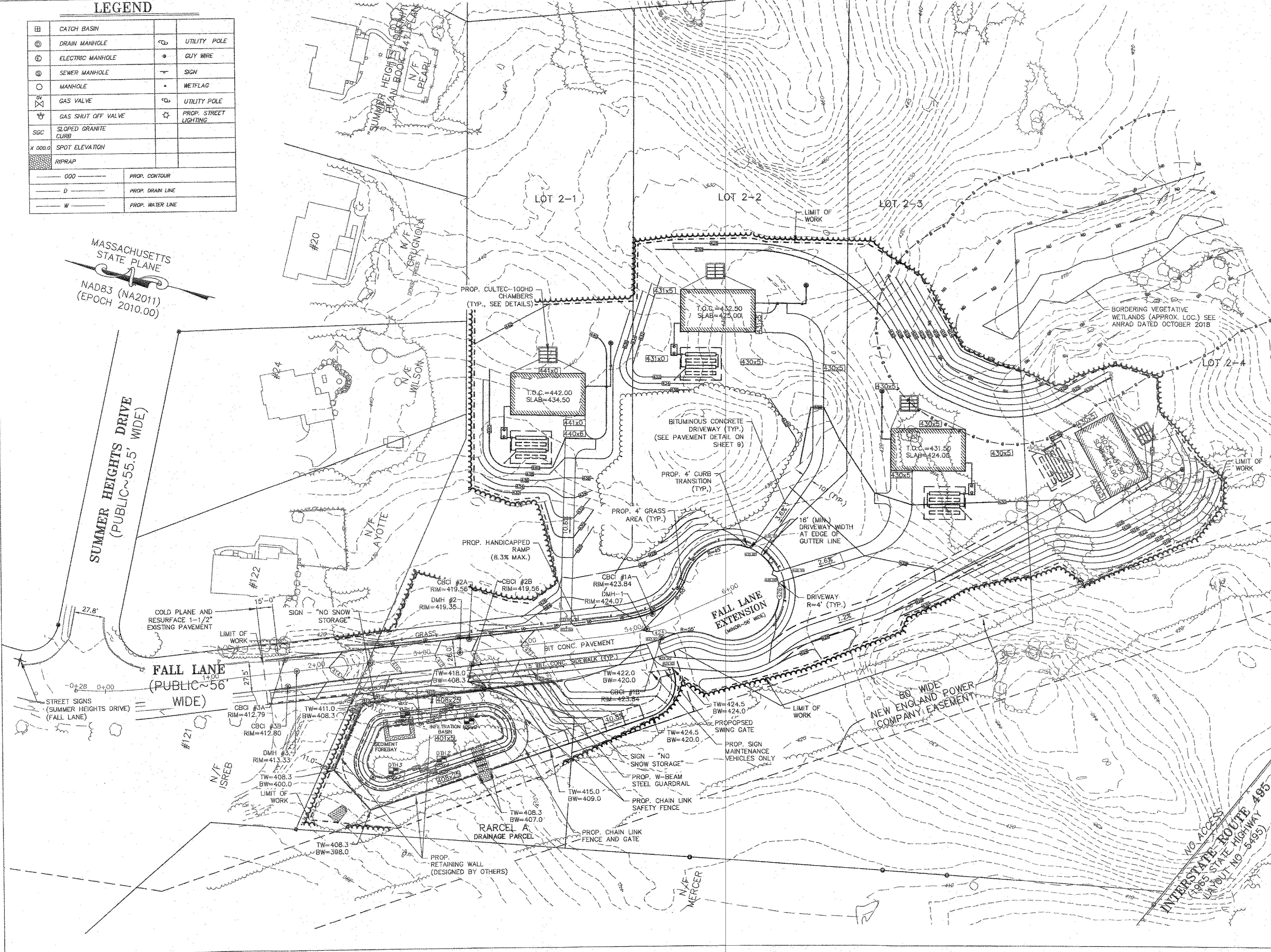


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LEGEND

	CATCH BASIN		UTILITY POLE
	DRAIN MANHOLE		GUY WIRE
	ELECTRIC MANHOLE		SIGN
	SEWER MANHOLE		WEIFLAG
	MANHOLE		UTILITY POLE
	GAS VALVE		PROP. STREET LIGHTING
	GAS SHUT OFF VALVE		
	SLOPED GRANITE CURB		
	SPOT ELEVATION		
	RIPRAP		
	PROP. CONTOUR		
	PROP. DRAIN LINE		
	PROP. WATER LINE		

MASSACHUSETTS STATE PLANE
NAD83 (NA2011)
(EPOCH 2010.00)



F4410

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BEING A MAJORITY

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ASSESSOR MAP 315, LOT 37

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PLAN OF LAND
EASTERN WOOD ESTATES
FRANKLIN
MASSACHUSETTS**

**SITE DEVELOPMENT AND
GRADING PLAN**

AUGUST 17, 2021

DATE	REVISION DESCRIPTION
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GRAPHIC SCALE: 1"=40'
0 10 20 30 40 50 75 100 FEET
0 5 10 15 20 30 METERS

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SHEET 5 OF 11 JOB NO. F4410

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LEGEND

▣	CATCH BASIN		
⊙	DRAIN MANHOLE	⊙	UTILITY POLE
⊕	ELECTRIC MANHOLE	⊕	GUY WIRE
⊖	SEWER MANHOLE	⊖	SIGN
○	MANHOLE	•	WETFLAG
⊗	GAS VALVE	⊗	UTILITY POLE
⊗	GAS SHUT OFF VALVE	☆	PROP. STREET LIGHTING
SGC	SLOPED GRANITE CURB		
X 000.0	SPOT ELEVATION		
▨	RIPRAP		
---	PROP. CONTOUR		
---	PROP. DRAIN LINE		
---	PROP. WATER LINE		

STORM DRAINAGE NOTES

SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM:

1. INSTALL SILT SACKS.
2. BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL.
3. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
4. ALL DRAIN PIPE TO BE RCP.
5. IF COVER IS LESS THAN 42", CLASS V RCP TO BE USED FOR ENTIRE PIPE SECTION, UNLESS OTHERWISE NOTED.
6. ALL PIPE GASKETS SHALL BE PRE-MOLDED NEOPRENE O-RING.

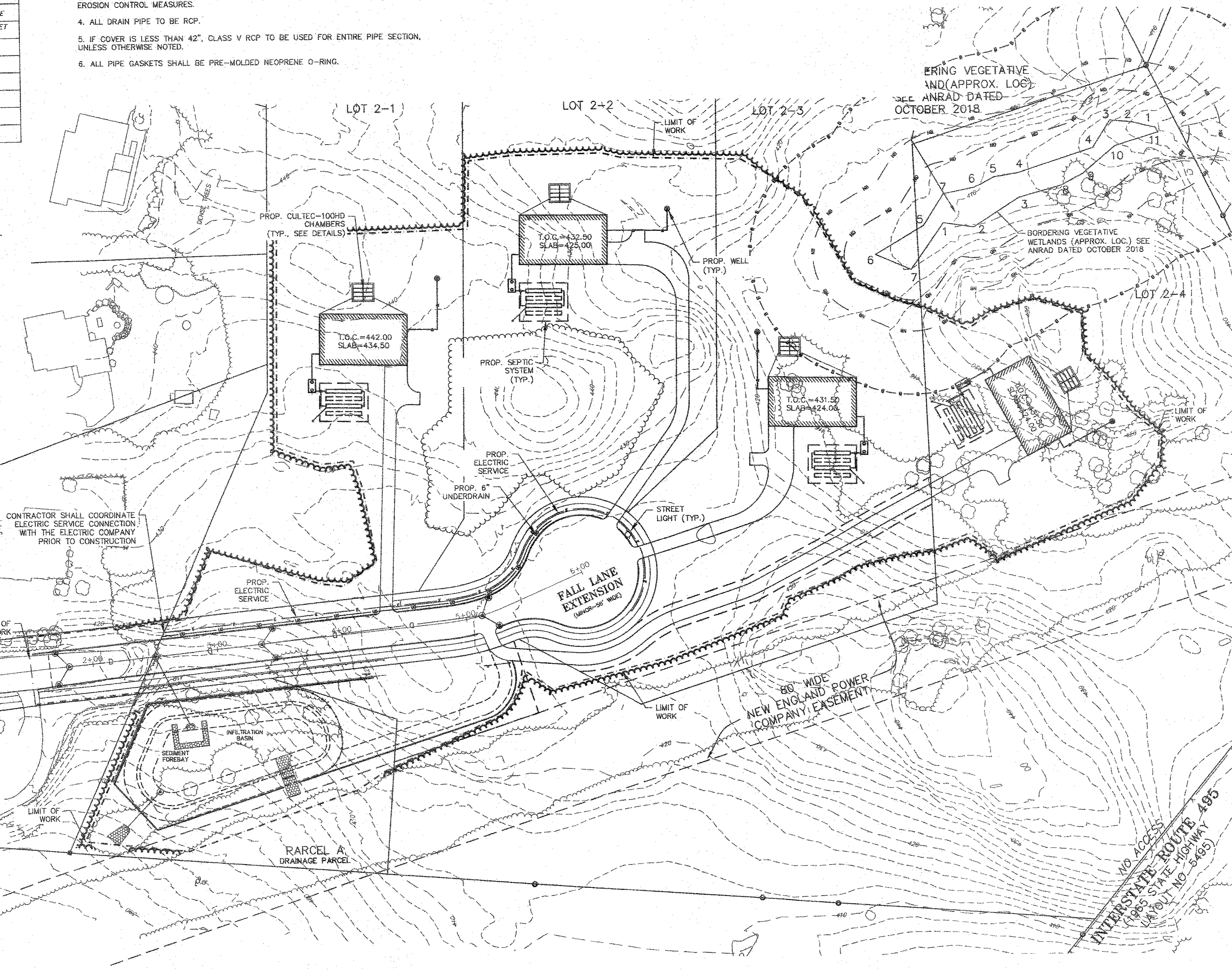
UTILITY NOTE

1. ALL UTILITIES SHALL BE CONSTRUCTED ACCORDING TO STATE AND LOCAL REGULATIONS.

MASSACHUSETTS STATE PLANE
NAD83 (NA2011)
(EPOCH 2010.00)

SUMMER HEIGHTS DRIVE
(PUBLIC~55.5' WIDE)

FALL LANE
(PUBLIC~56' WIDE)



ERING VEGETATIVE AND (APPROX. LOC.)
SEE ANRAD DATED OCTOBER 2018

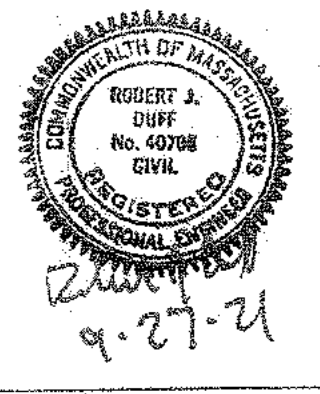
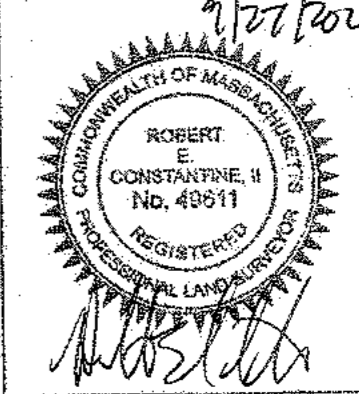
BORDERING VEGETATIVE WETLANDS (APPROX. LOC.)
SEE ANRAD DATED OCTOBER 2018

CONTRACTOR SHALL COORDINATE ELECTRIC SERVICE CONNECTION WITH THE ELECTRIC COMPANY PRIOR TO CONSTRUCTION

80' WIDE NEW ENGLAND POWER COMPANY EASEMENT

PARCEL A DRAINAGE PARCEL

NO ACCESS
INTERSTATE ROUTE 495
1985 STATE HIGHWAY
LA 701 NO. 5485



F4410

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FRANKLIN
MASSACHUSETTS**

UTILITY PLAN

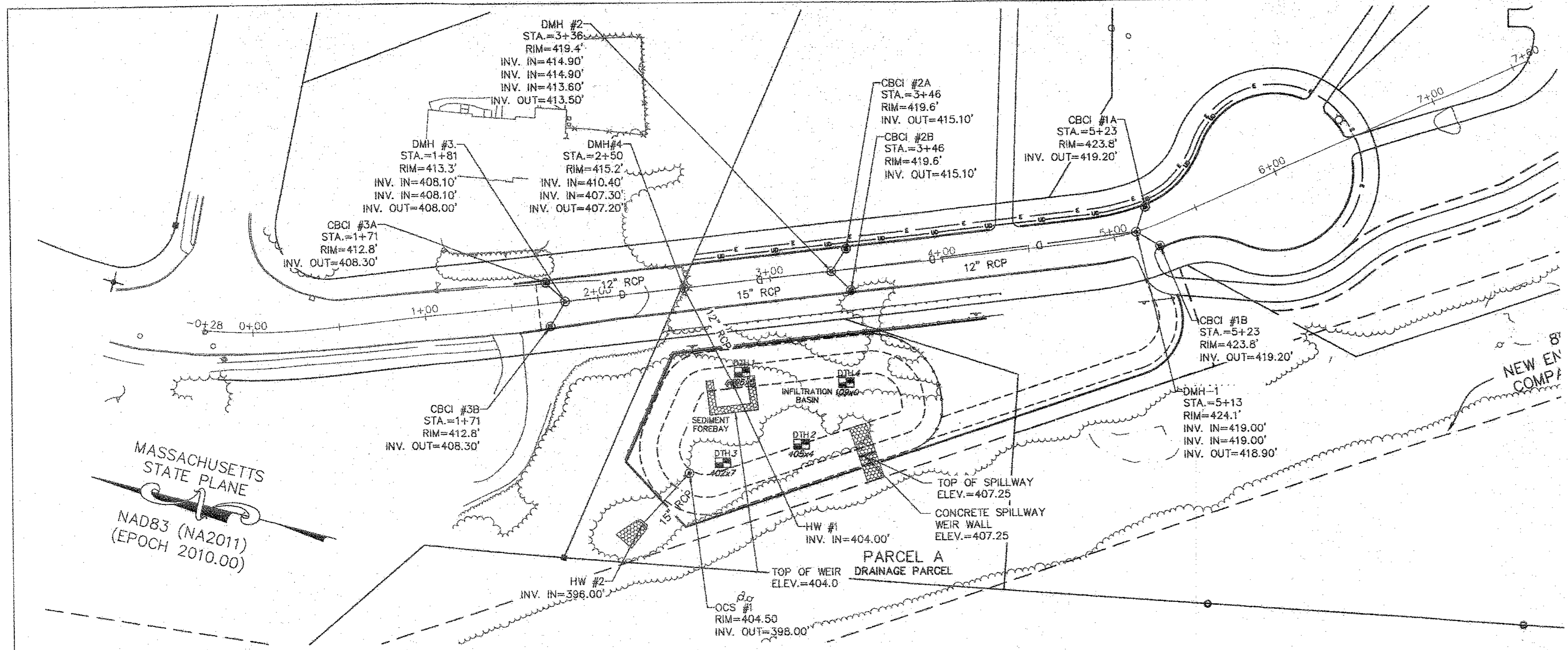
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GRAPHIC SCALE: 1"=40'



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LEGEND

	CATCH BASIN		UTILITY POLE
	DRAIN MANHOLE		GUY WIRE
	ELECTRIC MANHOLE		SIGN
	SEWER MANHOLE		WETFLAG
	MANHOLE		UTILITY POLE
	GAS VALVE		PROP. STREET LIGHTING
	GAS SHUT OFF VALVE		
	SLOPED GRANITE CURB		
	SPOT ELEVATION		
	RIPRAP		
	PROPOSED CONTOUR		
	PROPOSED DRAIN LINE		
	PROPOSED WATER LINE		

NOTE:

- WHERE ANY UTILITY INSTALLATION DETAIL CONFLICTS WITH THE TOWN OF FRANKLIN DEPARTMENT OF PUBLIC WORKS STANDARDS FOR SEWER AND WATER MATERIALS AND INSTALLATION (TOWN STANDARDS), THE TOWN STANDARDS SHALL GOVERN.
- THE TELEPHONE, ELECTRIC, AND CABLE UTILITIES SHALL NOT BE LOCATED BENEATH SIDEWALKS IN ACCORDANCE WITH SECTION 300-12(C)(1).

ROBERT J. HUFF
No. 40707
CIVIL
STATE OF MASSACHUSETTS

9-27-21

APPROVED DATE:
FRANKLIN PLANNING BOARD

BEING A MAJORITY

LEGAL NOTES

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OWNER

KYLE McNAMARA
418 OLD RIVER ROAD
LINCOLN, RI 02838
DEED BOOK 38469 PAGE 40
ASSESSOR MAP 315, LOT 37

APPLICANT

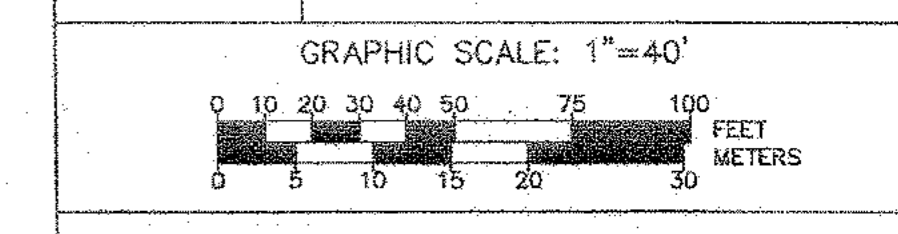
NORTHEAST DEVELOPMENT GROUP
418 OLD RIVER ROAD
LINCOLN, RI 02838

DEFINITIVE SUBDIVISION PLAN OF LAND EASTERN WOOD ESTATES FRANKLIN MASSACHUSETTS

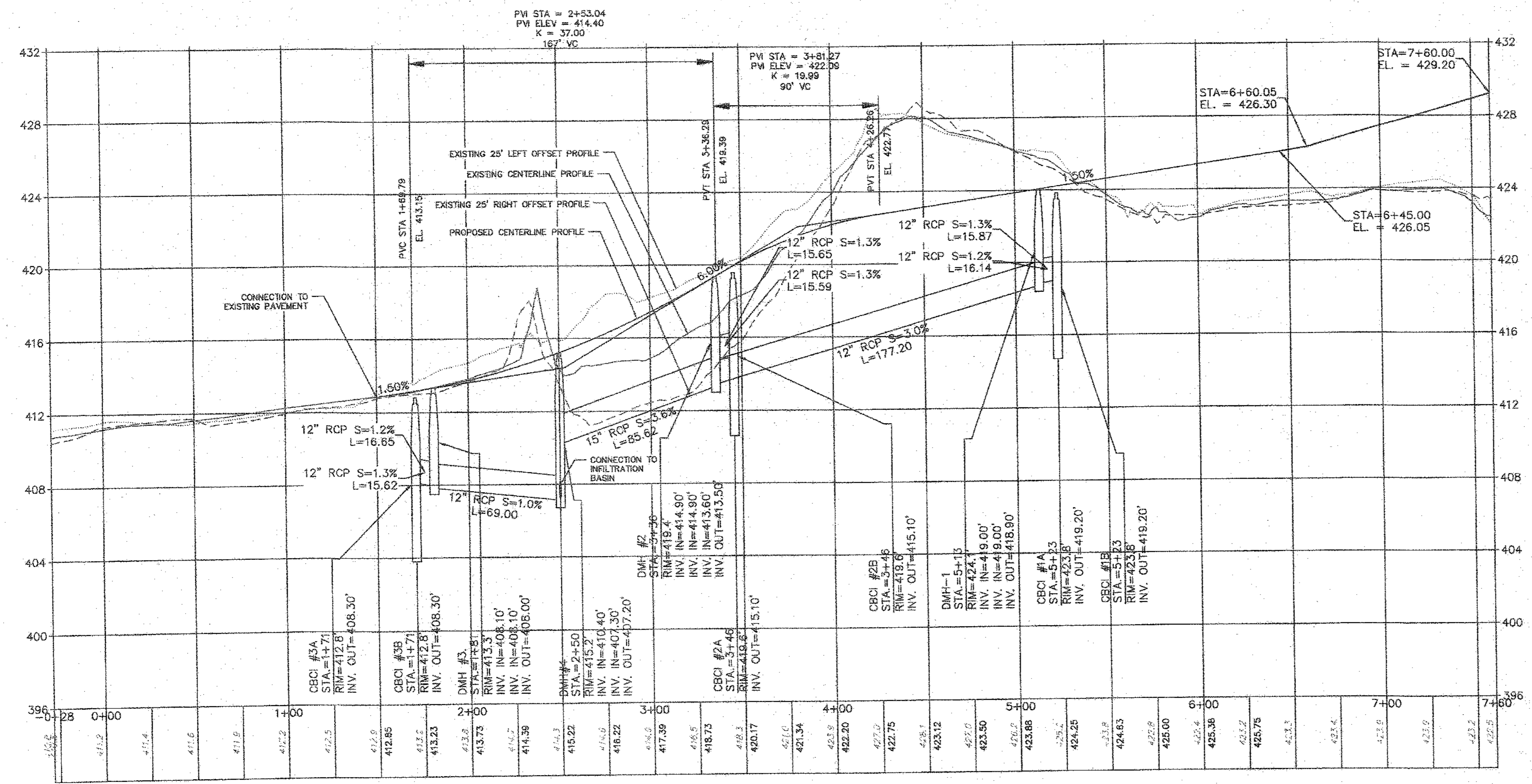
PLAN & PROFILE

AUGUST 17, 2021

DATE	REVISION DESCRIPTION
09/24/21	TOWN COMMENTS - REV1



Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com



FALL LANE EXTENSION
-0+28 TO 7+60.00
SCALE: 1"=40' HORIZONTAL
1"=4' VERTICAL

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LEGEND

☐	CATCH BASIN		
⊖	DRAIN MANHOLE	⊖	UTILITY POLE
⊕	ELECTRIC MANHOLE	⊕	GUY WIRE
⊙	SEWER MANHOLE	⊙	SIGN
○	MANHOLE	⊙	WEIPLAG
⊕	GAS VALVE	⊕	UTILITY POLE
⊕	GAS SHUT OFF VALVE	⊕	PROP. STREET LIGHTING
SGC	SLOPED GRANITE CURB		
X 000.0	SPOT ELEVATION		
▨	RIPRAP		
---	PROP. CONTOUR		
---	PROP. DRAIN LINE		
---	PROP. WATER LINE		

NOTE:

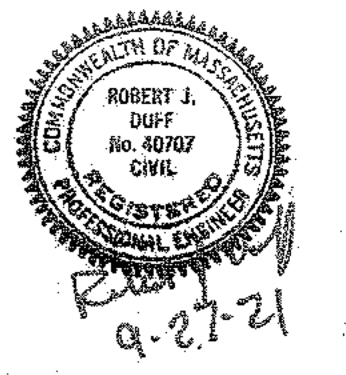
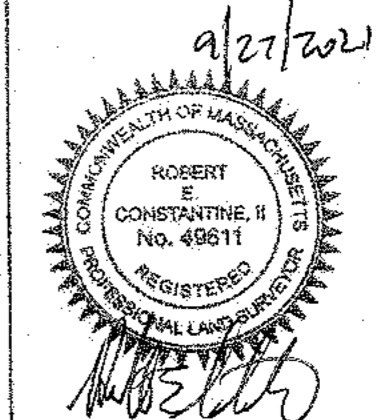
1 PROP. SHADE TREES SHALL BE STAGGERED SUCH THAT NO ONE SPECIES IS LOCATED ADJACENT TO A LIKE SPECIES IN ACCORDANCE WITH §300-13(E)(2)(c) OF THE FRANKLIN TOWN CODE.

PLANTING LEGEND			
SYMBOL	NAME	SIZE	QUANTITY
☐	SHADE TREES—TO INCLUDE BUT NOT LIMITED TO: PIN OAK—QUERCUS PALUSTRIS) LITTLE LEAF LINDEN—TILIA CORDATA 'GREENSPIRE' SUGAR MAPLE—ACER SACCHARUM WHITE OAK—QUERCUS ALBA	4' MIN. 2.5" CAL.	14
☐	GREEN GIANT ARBORVITAE THUJA	4' MIN.	4

NOTE: ANY TREES PLANTED BEYOND THE TREES LISTED MUST BE IN ACCORDANCE WITH THE APPROVED TREES IN THE SUBDIVISION REGULATIONS (300-13.E.(2)(c)).

LIGHTING NOTE:

LIGHTING INSTALLATION SHALL BE IN ACCORDANCE WITH TOWN CODE 300-12 UTILITIES: C(2)(2)(a) AND C(2)(b)(c).



F4410

APPROVED DATE:

FRANKLIN PLANNING BOARD

BEING A MAJORITY

LEGAL NOTES

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OWNER

KYLE McNAMARA
418 OLD RIVER ROAD
LINCOLN, RI 02838
DEED BOOK 38469 PAGE 40
ASSESSOR MAP 315, LOT 37

APPLICANT

NORTHEAST DEVELOPMENT GROUP
418 OLD RIVER ROAD
LINCOLN, RI 02838

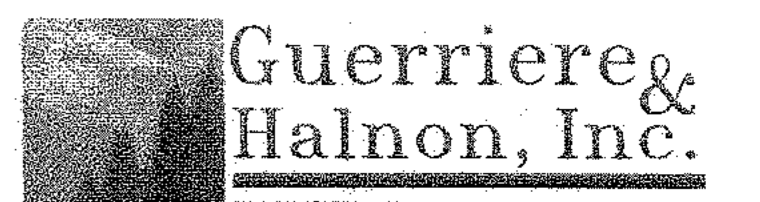
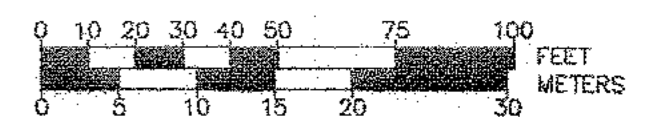
**DEFINITIVE SUBDIVISION
PLAN OF LAND
EASTERN WOOD ESTATES
FRANKLIN
MASSACHUSETTS**

LANDSCAPING PLAN

AUGUST 17, 2021

DATE	REVISION DESCRIPTION
09/24/21	TOWN COMMENTS - REV1

GRAPHIC SCALE: 1"=40'



55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gondniengineering.com

SHEET 8 OF 11 JOB NO. F4410

MASSACHUSETTS
STATE PLANE
NAD83 (NA2011)
(EPOCH 2010.00)

SUMMER HEIGHTS DRIVE
(PUBLIC~55.5' WIDE)

FALL LANE
(PUBLIC~56' WIDE)

FALL LANE
EXTENSION
(MINOR~26' WIDE)

80' WIDE
NEW ENGLAND POWER
COMPANY EASEMENT

PROPOSED SEDIMENT
FOREBAY AND
INFILTRATION BASIN

DRAINAGE
LOT

PARCEL A
DRAINAGE PARCEL

LOT 2-3

LOT 2-4

PROP.
70'X40'
HOUSE LOCATION

PROP.
70'X40'
HOUSE LOCATION

PROP.
70'X40'
HOUSE LOCATION

PROP.
70'X40'
HOUSE LOCATION

PROP. SHADE
TREE (TYP.)

PROP. 4' GRASS
AREA (TYP.)

PROP. SHRUB
(TYP.)

GRASS

PROP. TREE LINE
(TYP.)

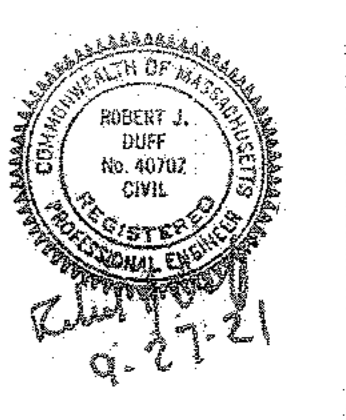
PROP. TREE LINE
(TYP.)

LIMIT OF
WORK

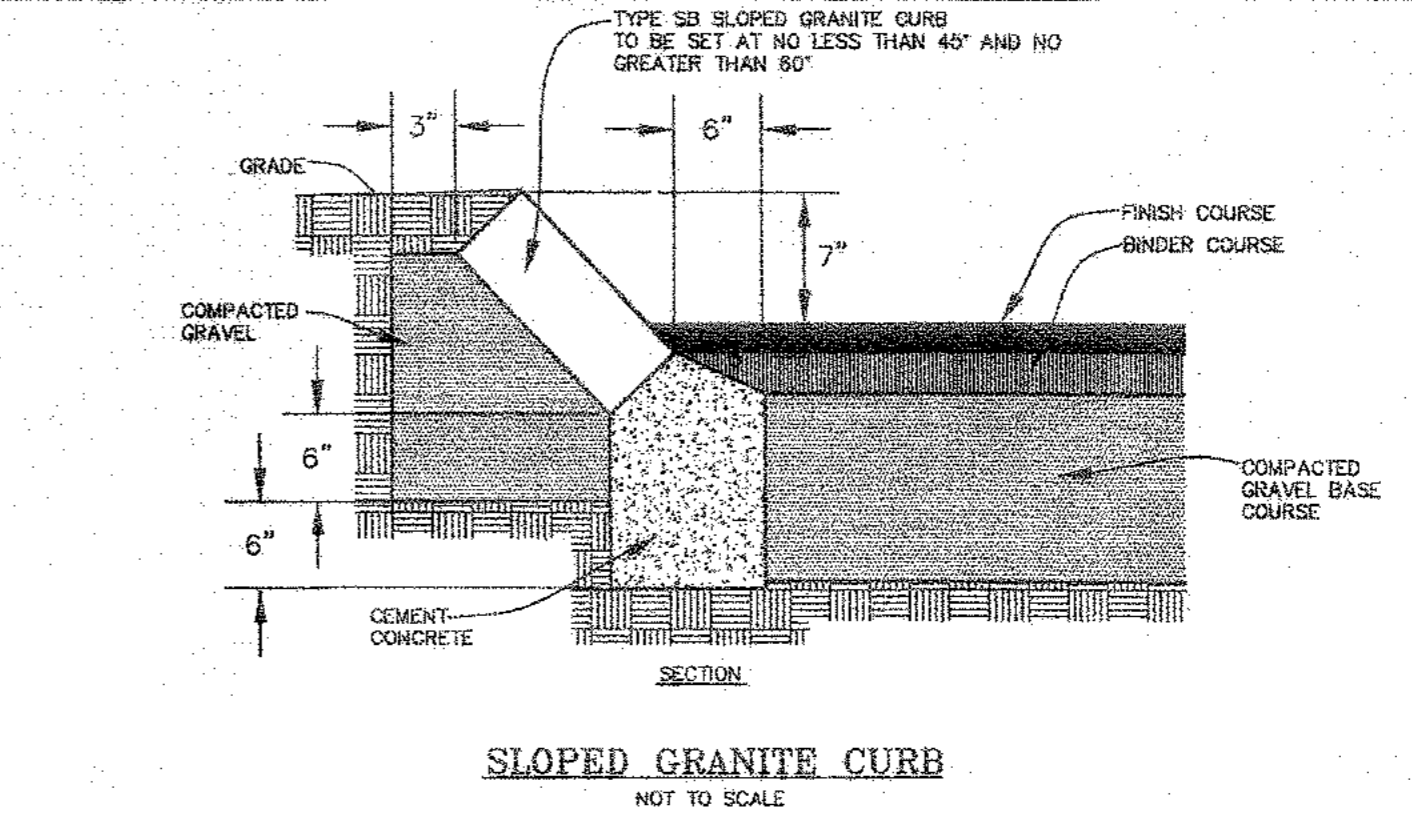
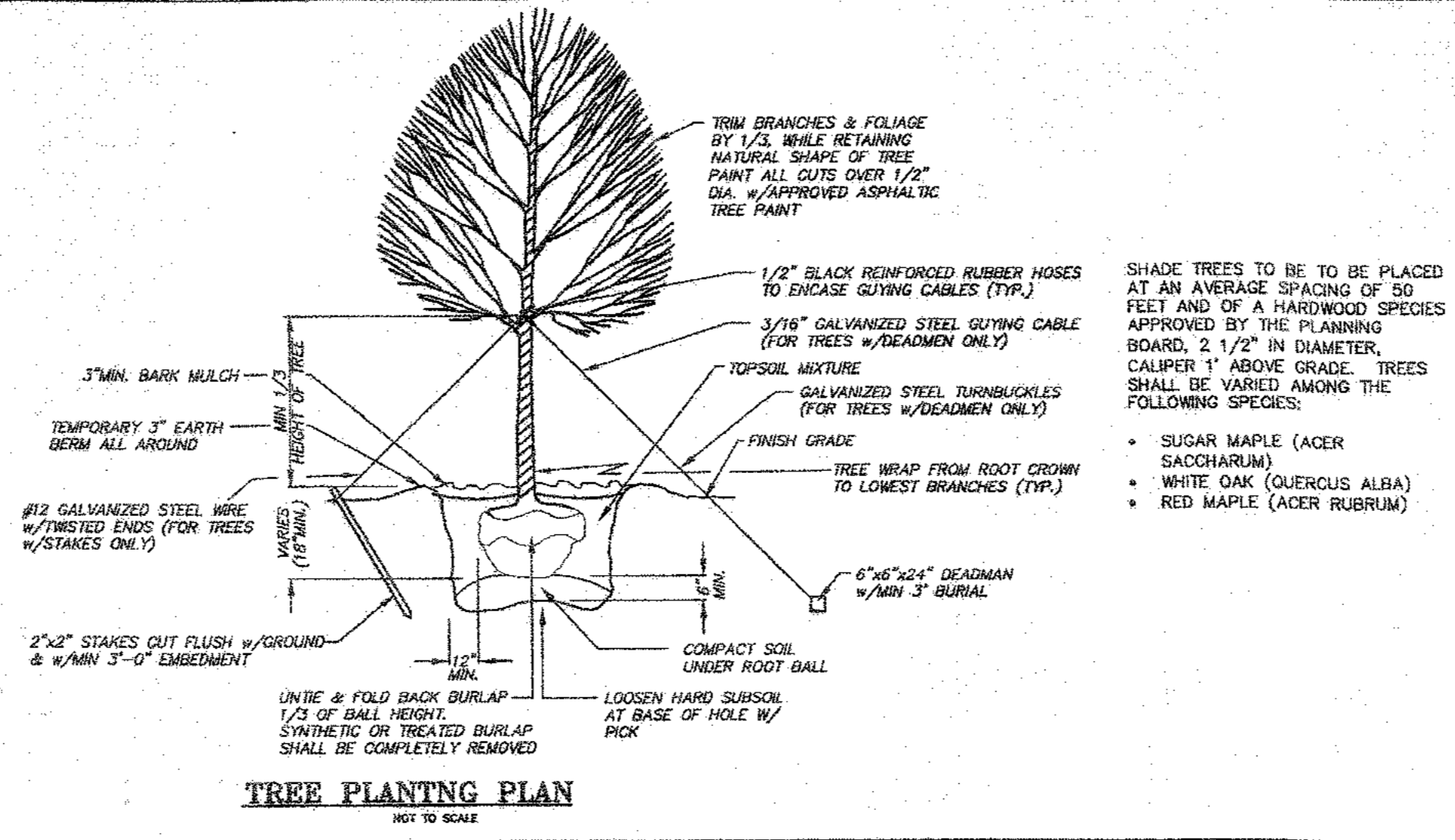
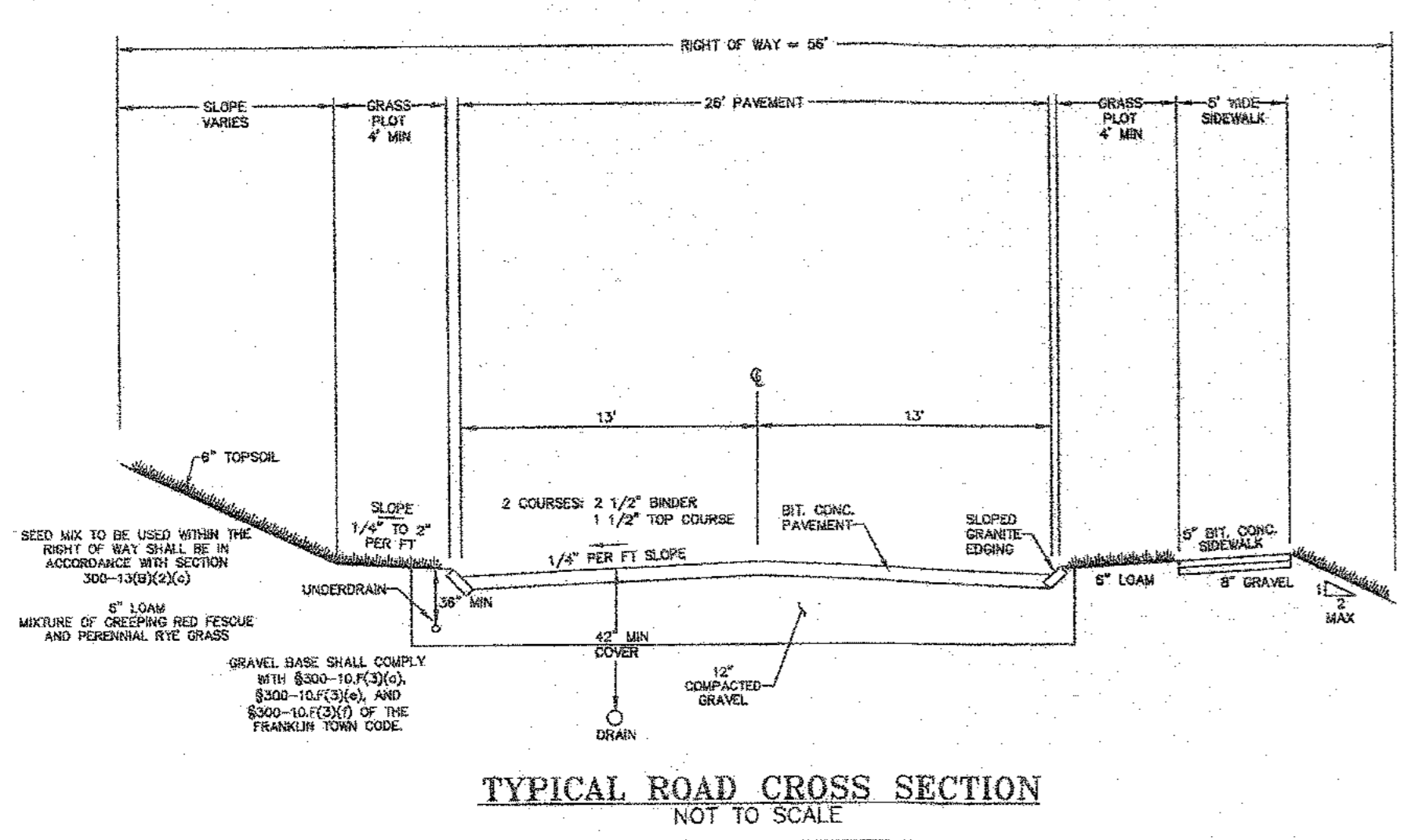
LIMIT OF
WORK

LIMIT OF
WORK

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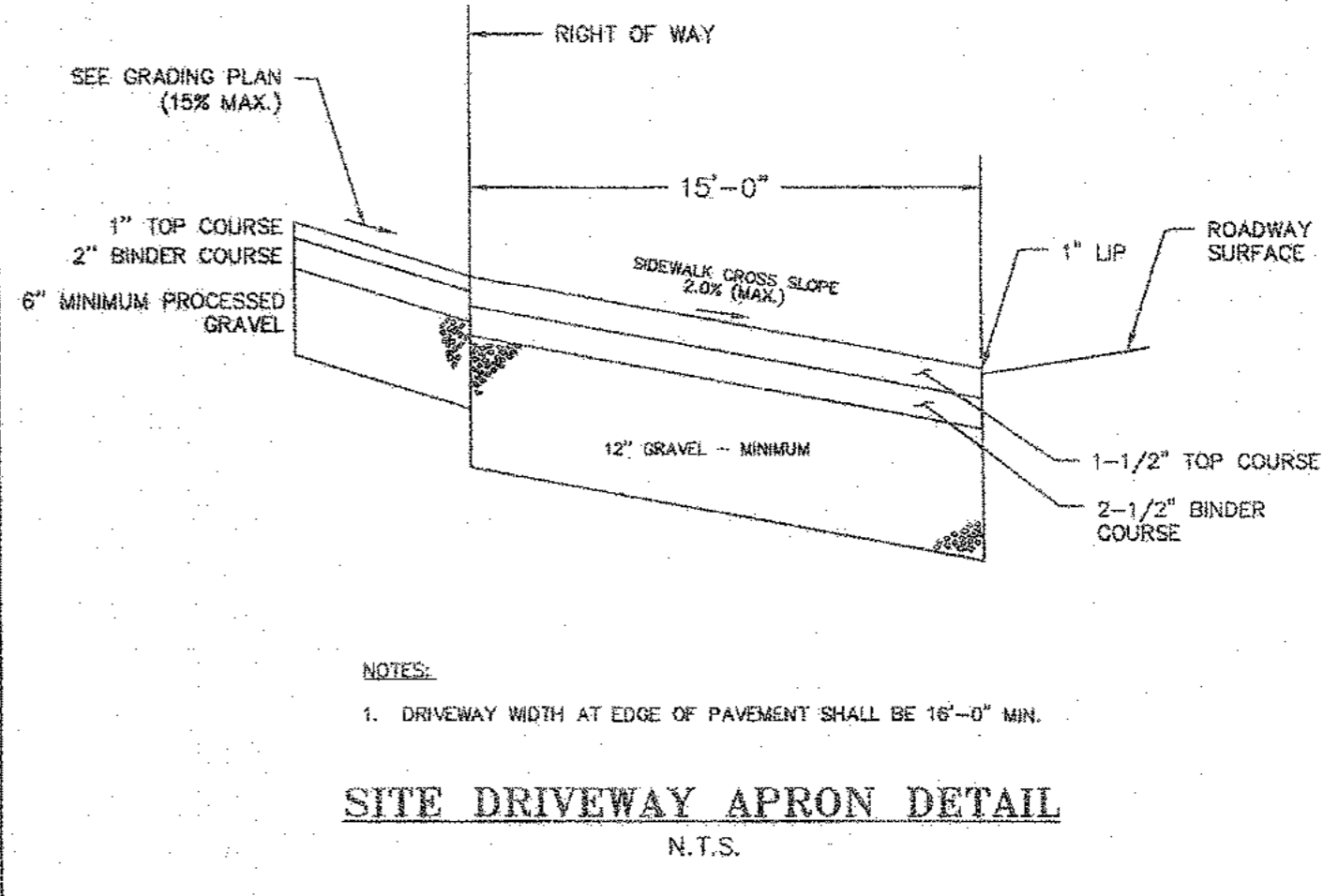
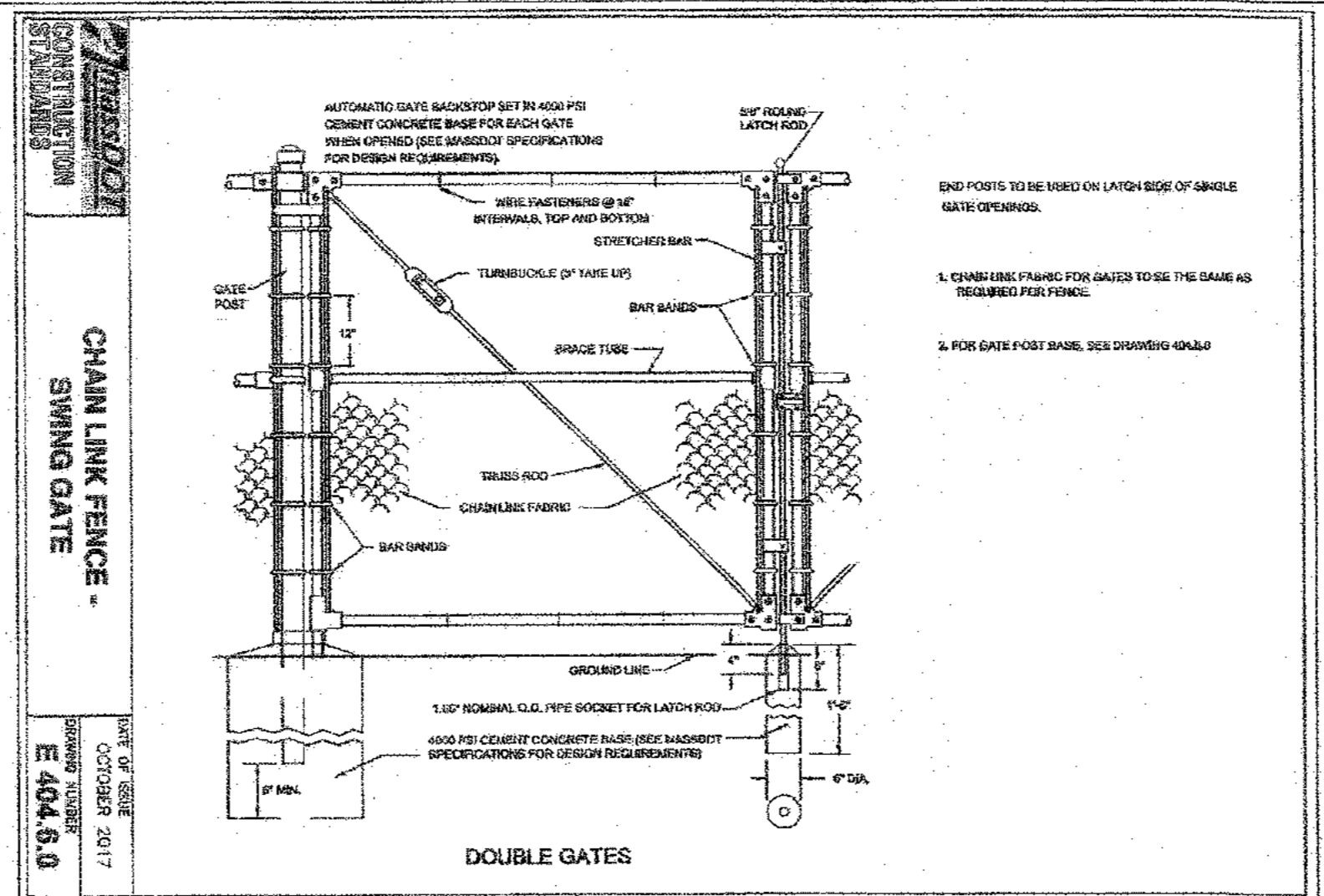
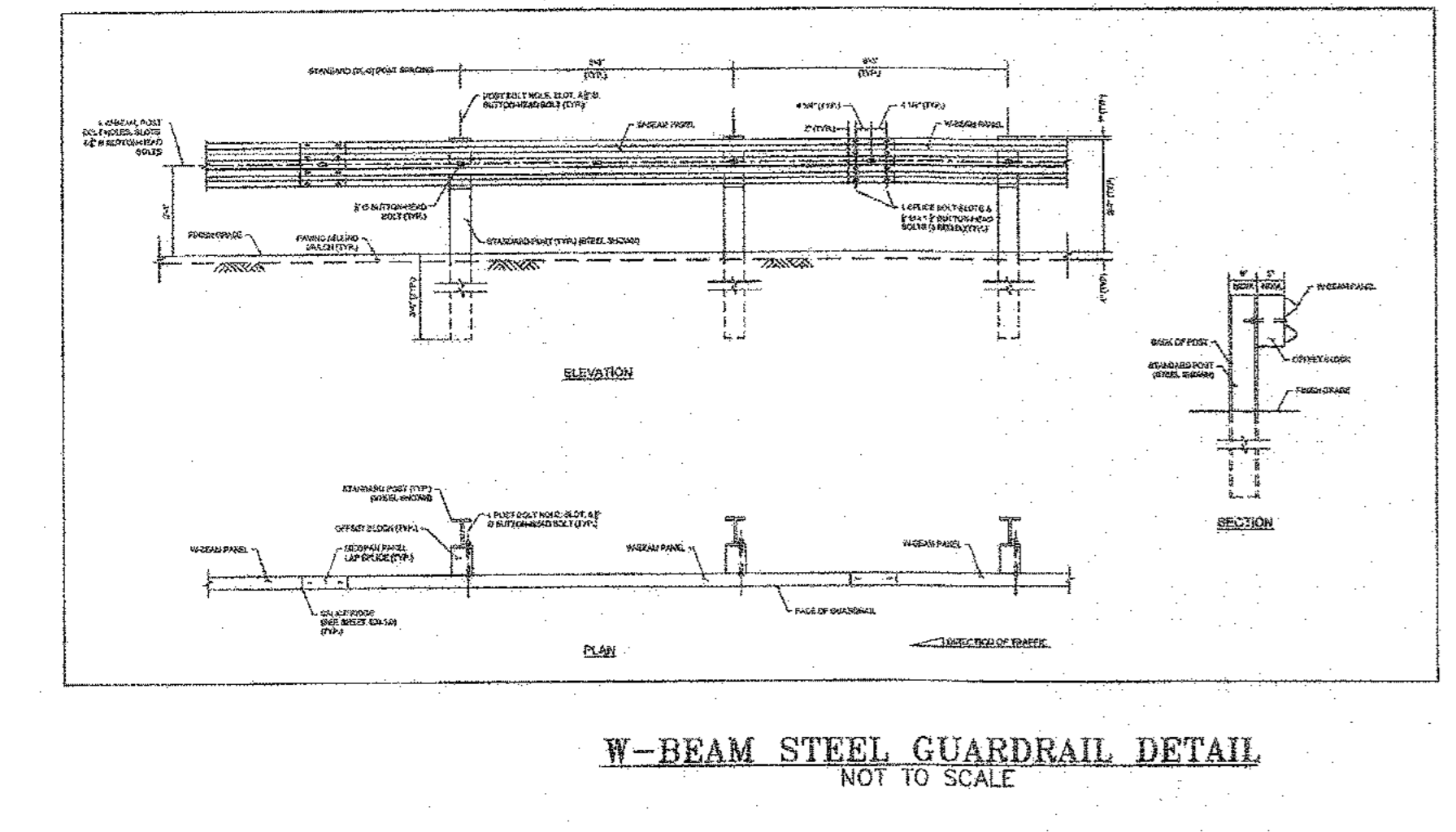


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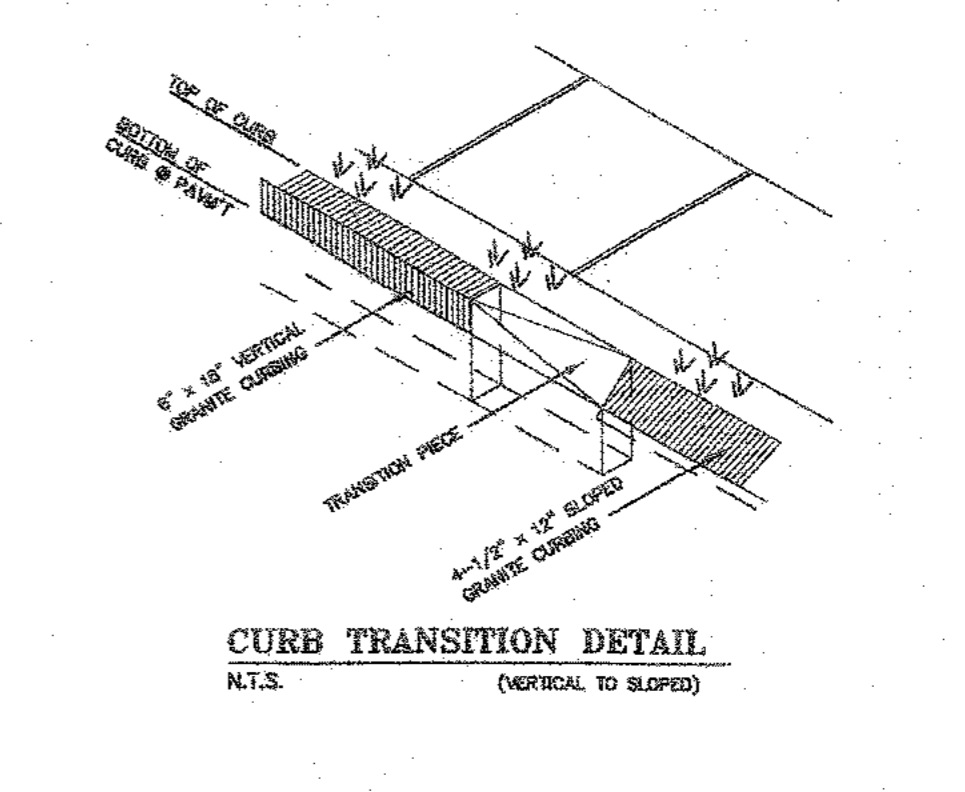
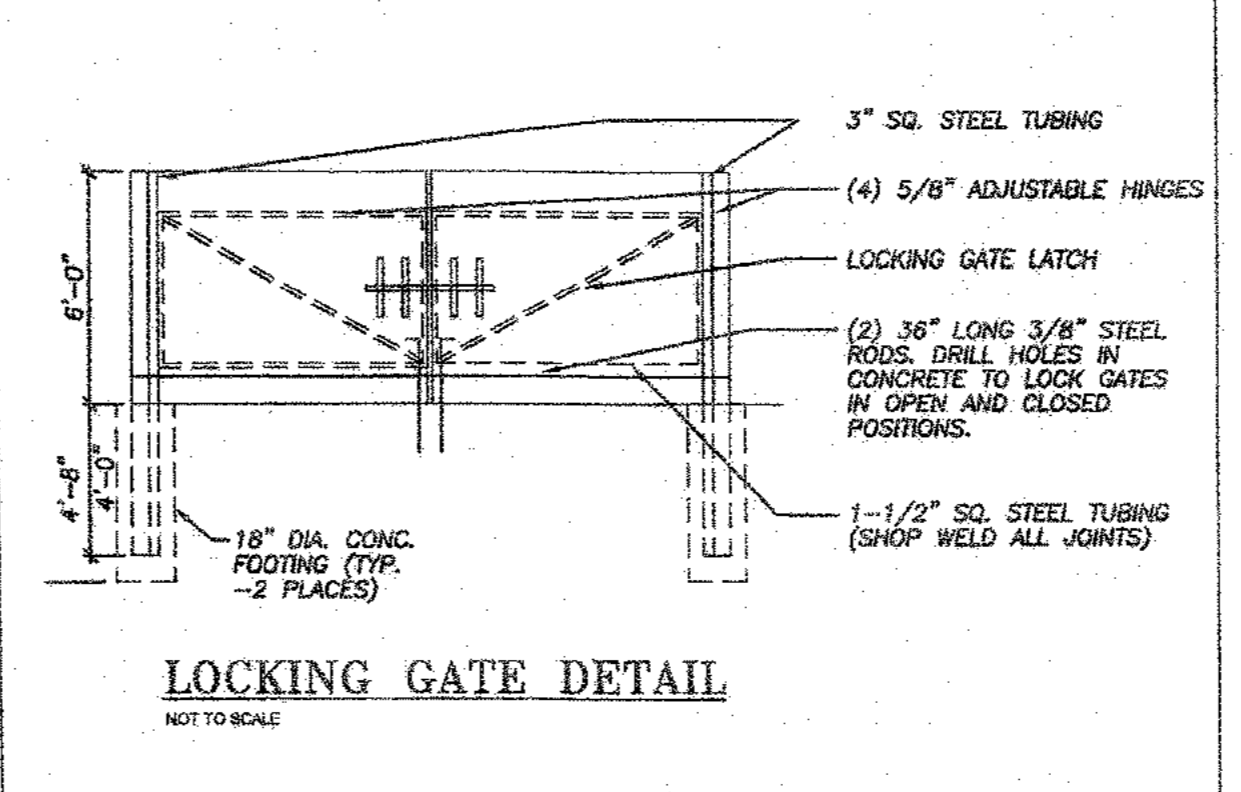
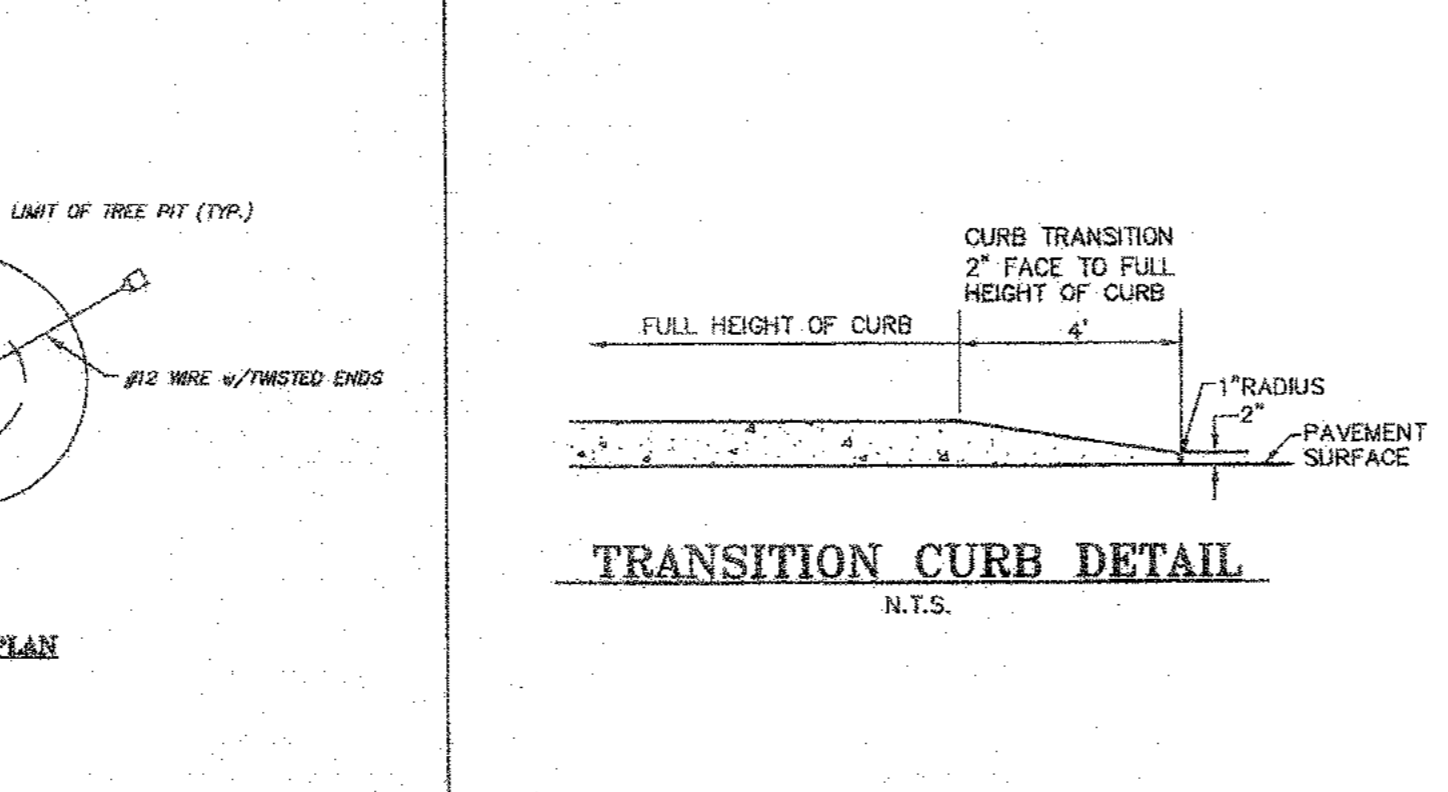
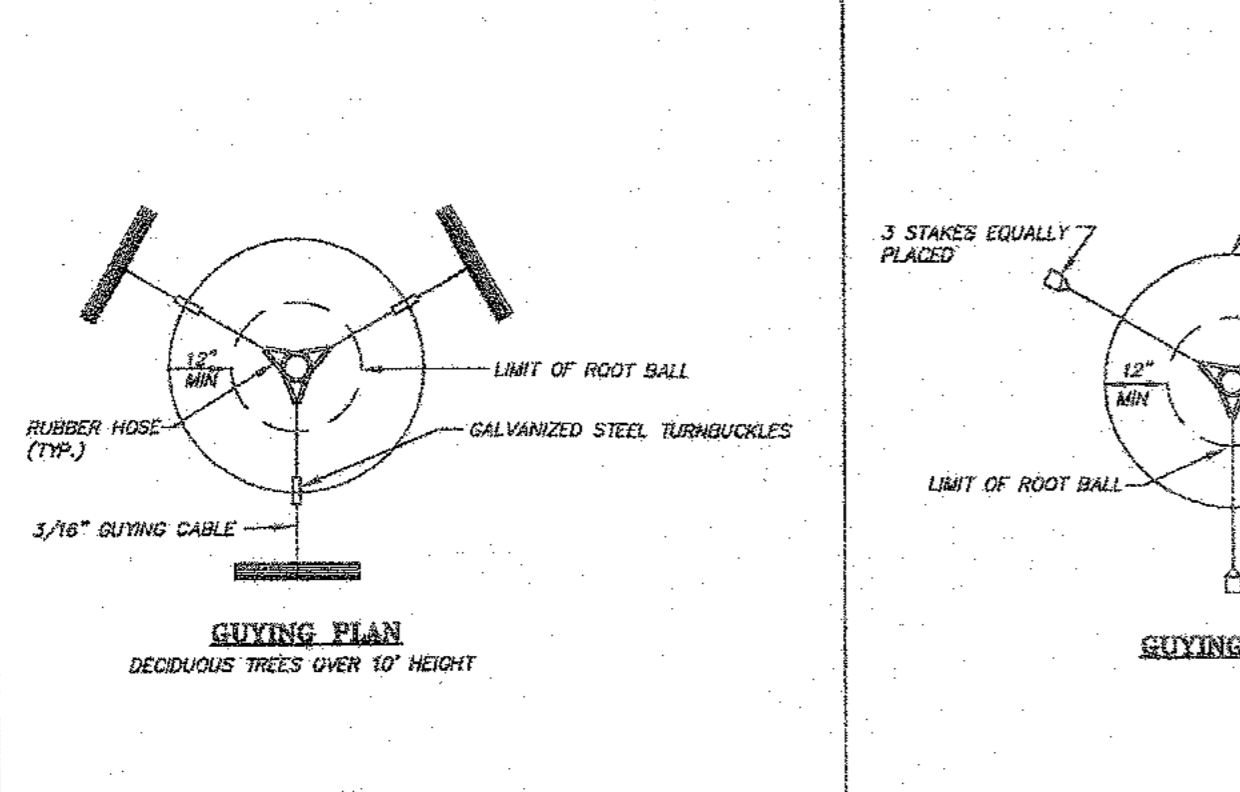
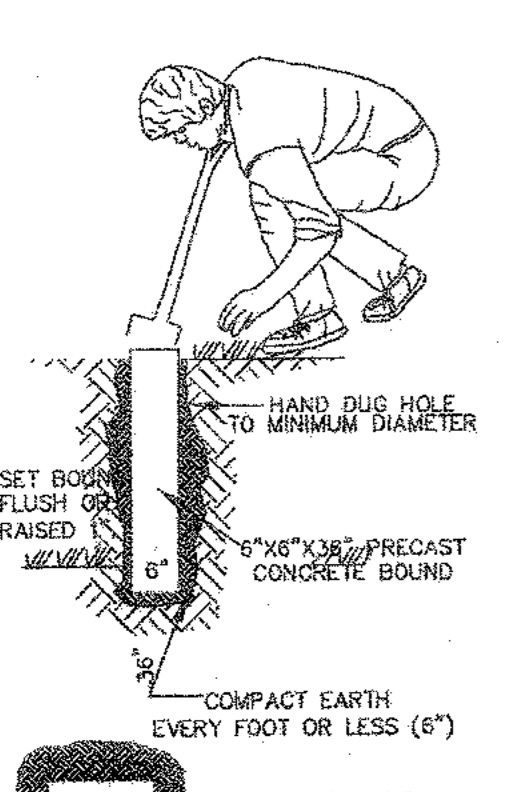


APPROVED DATE: _____
 FRANKLIN PLANNING BOARD

 BEING A MAJORITY



LEGAL NOTES
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 OWNER
 KYLE McNAMARA
 418 OLD RIVER ROAD
 LINCOLN, RI 02838
 DEED BOOK 38469 PAGE 40
 ASSESSOR MAP 315, LOT 37



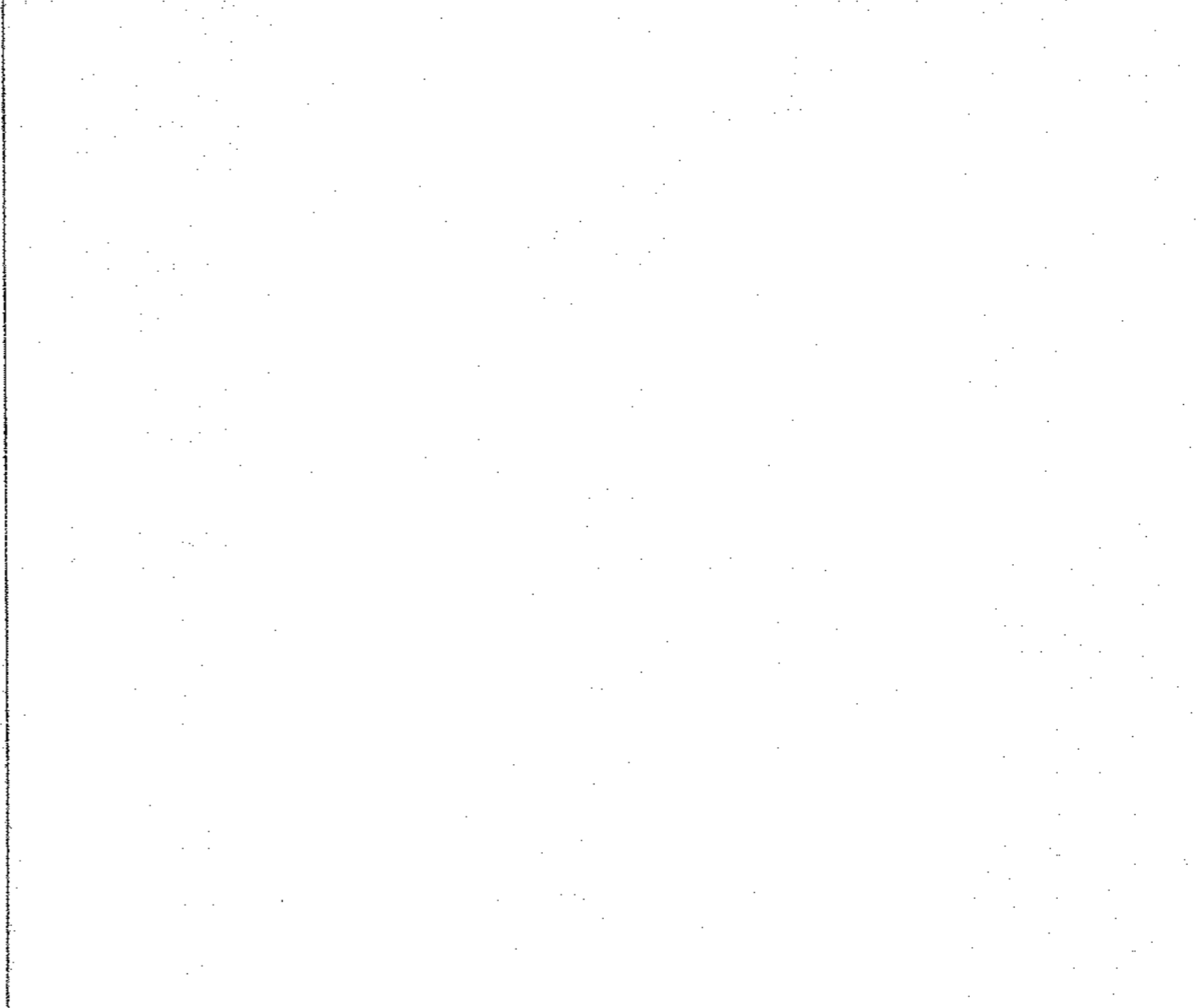
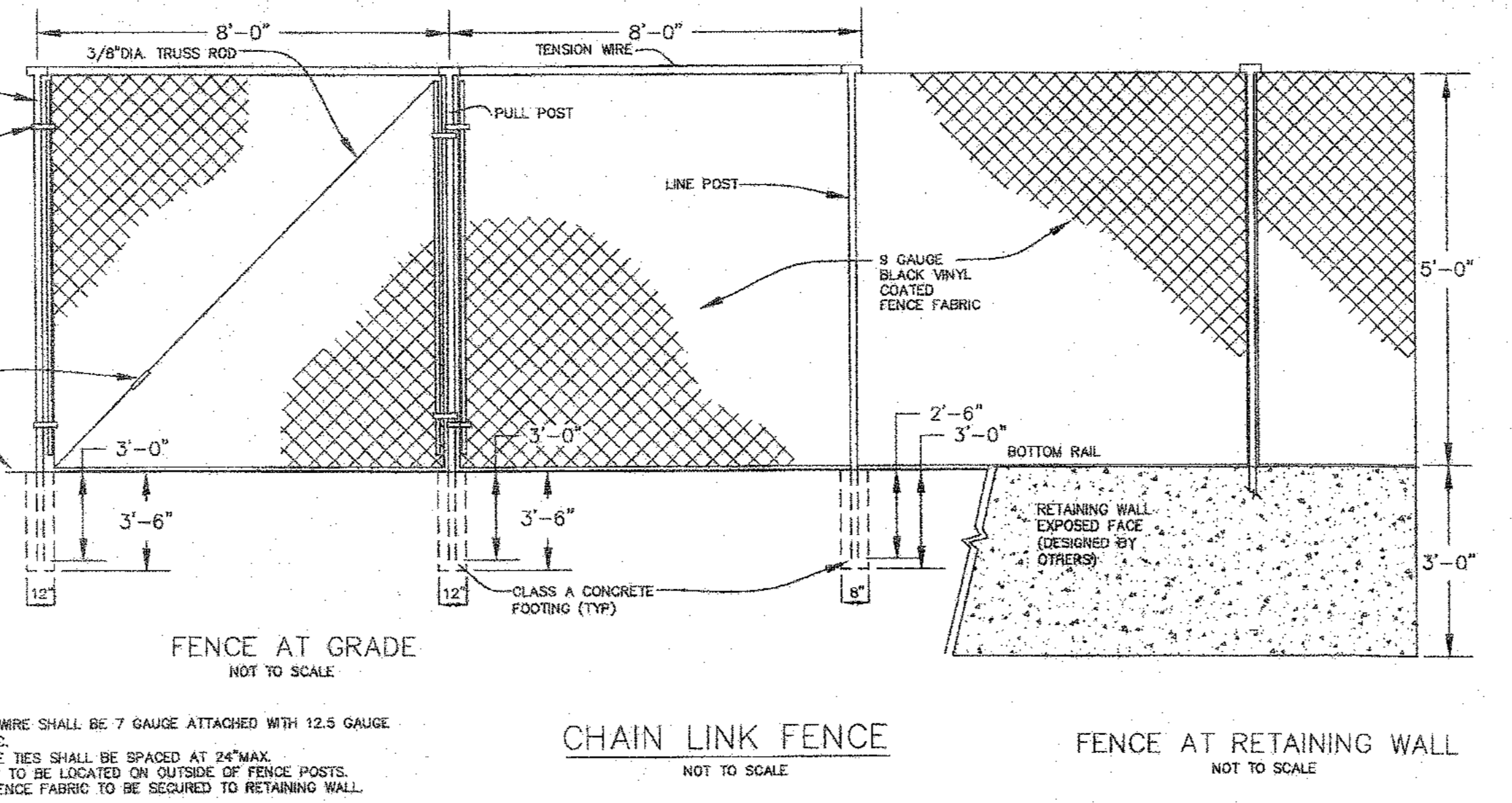
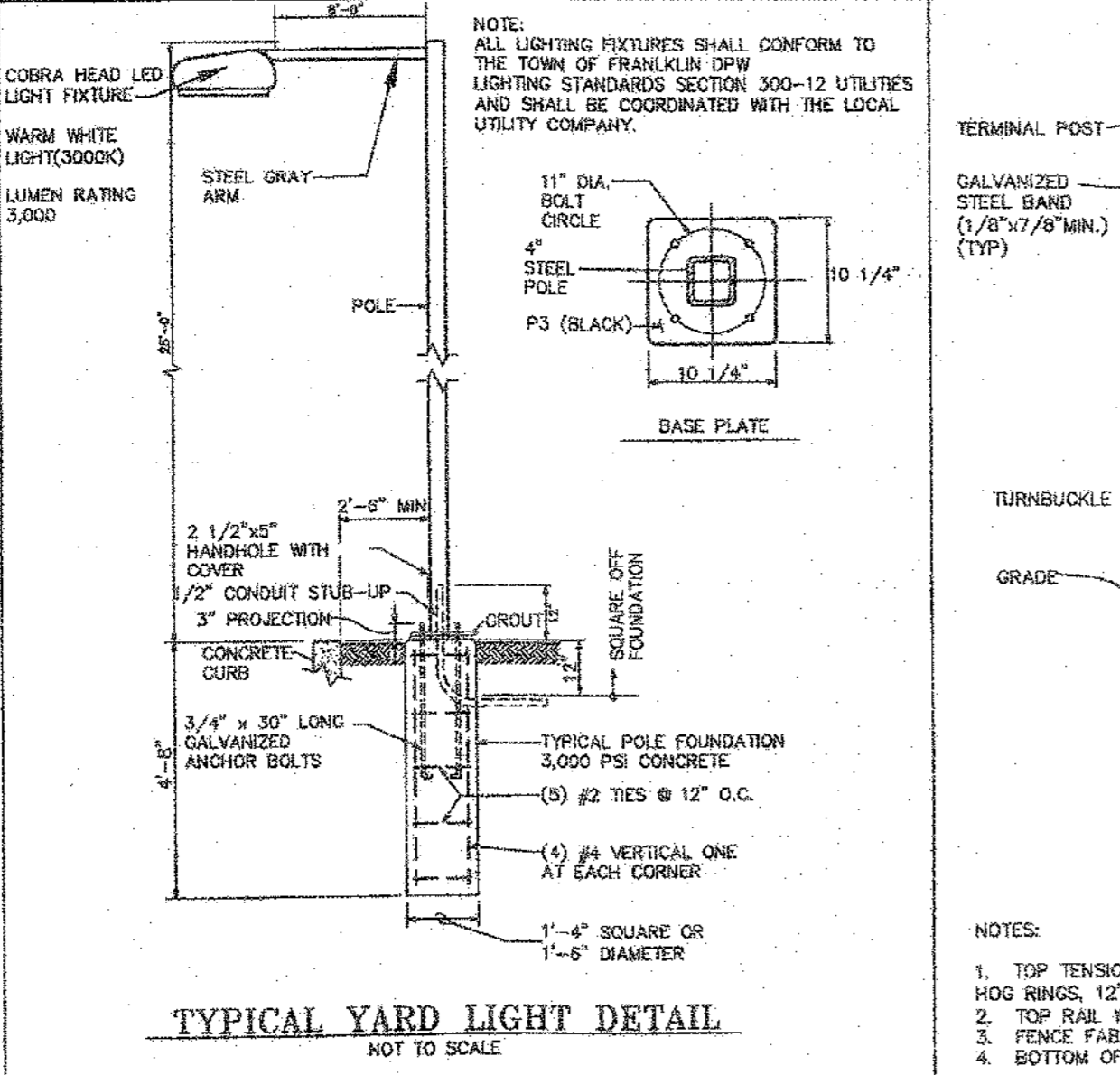
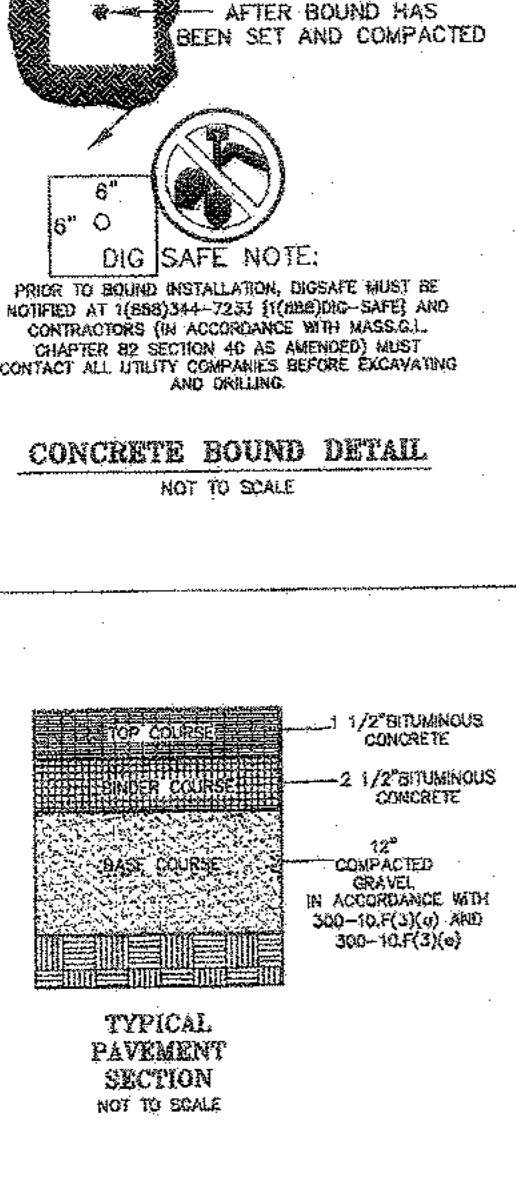
APPLICANT
 NORTHEAST DEVELOPMENT GROUP
 418 OLD RIVER ROAD
 LINCOLN, RI 02838

DEFINITIVE SUBDIVISION PLAN OF LAND EASTERN WOOD ESTATES FRANKLIN MASSACHUSETTS

CONSTRUCTION DETAILS

AUGUST 17, 2021

DATE	REVISION DESCRIPTION
09/24/21	TOWN COMMENTS - REV1



Guerriere & Halon, Inc.
 ENGINEERING & LAND SURVEYING
 55 WEST CENTRAL ST. PH. (508) 528-3221
 FRANKLIN, MA 02038 FX. (508) 528-7921
 www.gandhengineering.com

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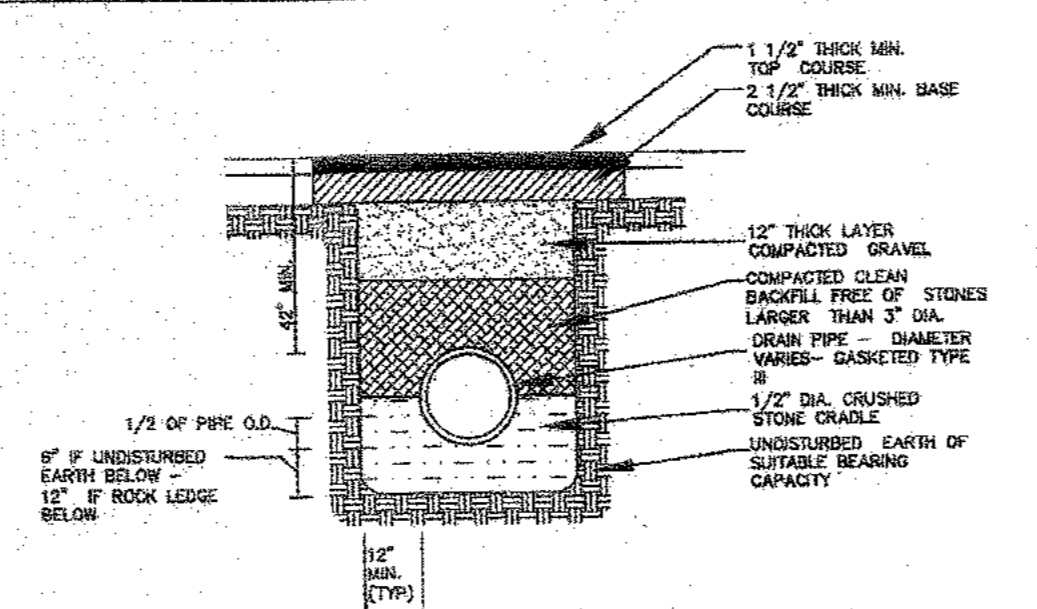
1. ALL CONSTRUCTION TO BE PERFORMED UNDER STRICT SUPERVISION OF THE DESIGN ENGINEER.
2. THE DETENTION/RETENTION POND SHALL BE CONSTRUCTED OF CLEAN DENSE MATERIAL (TILL) FREE OF STUMPS, LUMBER, LARGE BOULDERS OR CONSTRUCTION WASTE OF ANY KIND.
3. THE RIPRAP SHALL BE PLACED ON 3-5" CRUSHED STONE.
4. THE SURFACE OF THE RIPRAP SHALL BE AS SMOOTH AS POSSIBLE ALL SLOPES TO BE LOAMED AND SEED EXCEPT WHERE SPECIFIED OTHERWISE.
5. RIPRAP & STONE FOR PIPE ENDS TO MEET MASS. D.P.W. SPECIFICATIONS M2.02.3.
6. THE BASIN SIDE SLOPE & BOTTOM SHALL BE PROVIDED WITH SIX INCHES OF LOAM/SEED AND SAND MIXTURE AT THE RATE OF TWO POUNDS RED TOP, FIFTEEN POUNDS CREEPING RED FESCUE AND TWENTY POUNDS TALL FESCUE PER ACRE AT NO TIME SHALL A SEED MIX CONSIST OF MORE THAN TEN PERCENT ANNUAL RYES.
7. THE SEDIMENT FOREBAY IS TO BE UTILIZED AS A TEMPORARY SEDIMENTATION BASIN DURING CONSTRUCTION. ONCE THE SITE IS STABILIZED, REMOVE ALL ACCUMULATED SEDIMENT IN THE BOTTOM OF THE FOREBAY ALONG WITH AN ADDITIONAL 18" OF SOIL BELOW THE DESIGN BASE ELEVATION. REPLACE WITH 12" OF CLEAN COARSE SAND AND GRAVEL FREE OF ORGANICS AND FINES ALONG WITH 6" OF LOAM AND SAND MIXTURE (SEE DETAIL).

GENERAL NOTES:

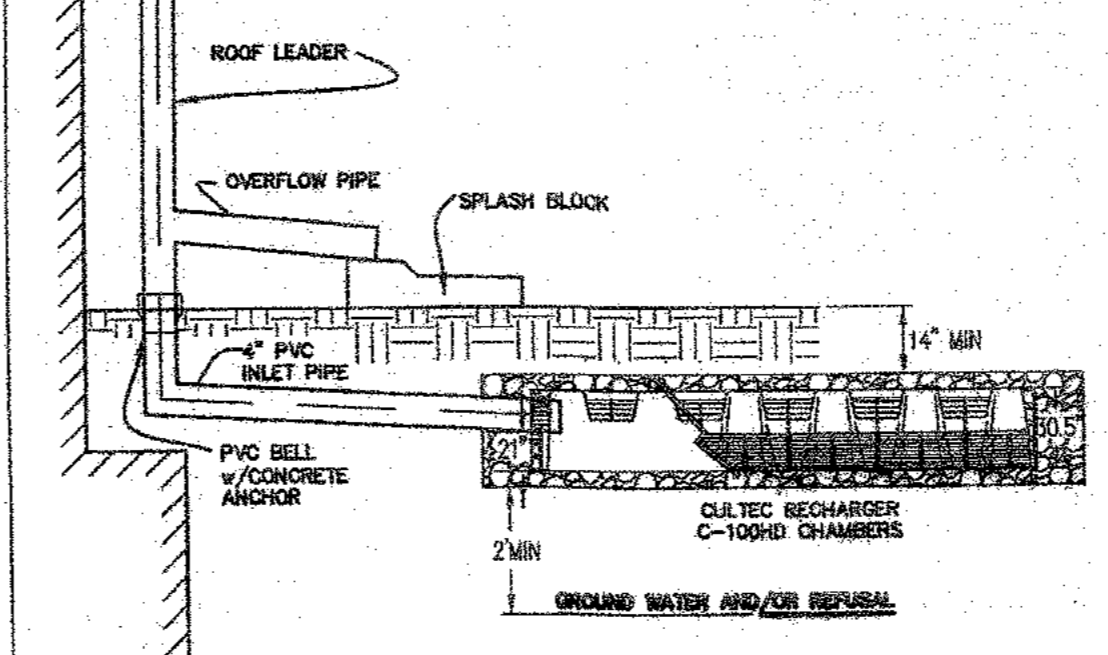
1. THERE ARE NO ESTIMATED OR PRIORITY HABITAT AREAS, AS DEFINED BY THE 2008 N.H.E.S.P. MAPS, WITHIN THE PROJECT AREA.
2. ALL STRUCTURES AND UTILITIES SHOWN ARE PROPOSED UNLESS OTHERWISE NOTED.
3. IT IS THE CONTRACTOR'S/DEVELOPER'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES DURING CONSTRUCTION AND UNTIL ROADWAY ACCEPTANCE.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF FRANKLIN SUBDIVISION RULES AND REGULATIONS AND MASSACHUSETTS HIGHWAY STANDARD SPECIFICATIONS.
5. A MINIMUM OF 4" OF TOPSOIL IS TO BE REDISTRIBUTED ON SITE EXCEPT WITHIN ROADWAYS.

DRAINAGE NOTES:

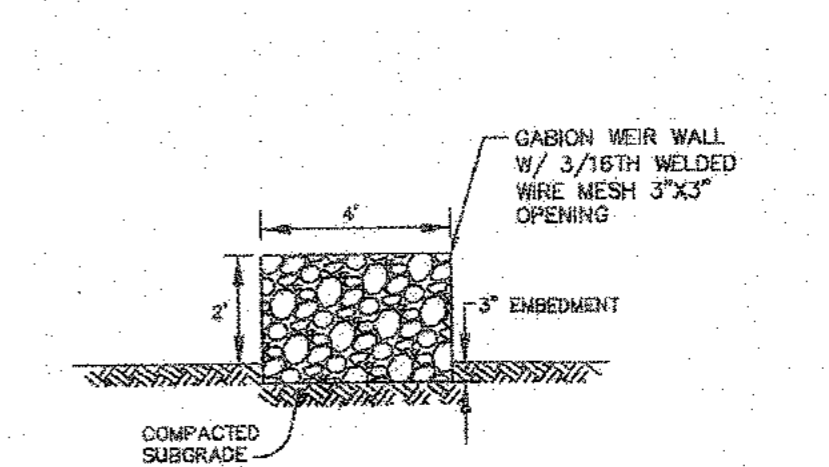
1. DRAINAGE PIPING TO BE CLASS III REINFORCED CONCRETE PIPE AT ALL LOCATIONS HAVING AT LEAST 3.5 FEET OF COVER. CLASS V TO BE USED WHERE COVER IS LESS THAN 3 FEET. WHERE CLASS V PIPE IS NOTED TO BE USED, CLASS V PIPE SHALL BE INSTALLED FOR THE ENTIRE PIPE REACH (MANHOLE TO MANHOLE), NOT JUST THAT PORTION OF THE REACH WHERE THE COVER IS LESS THAN 3 FEET.
2. MINIMUM PIPE SLOPE SHALL BE 0.005 FT/FT (0.50%).
3. MINIMUM PIPE DIAMETER SHALL BE 12 INCHES. UNLESS OTHERWISE SHOWN, ALL CATCH BASIN LATERALS SHALL BE 12 INCHES IN DIAMETER.



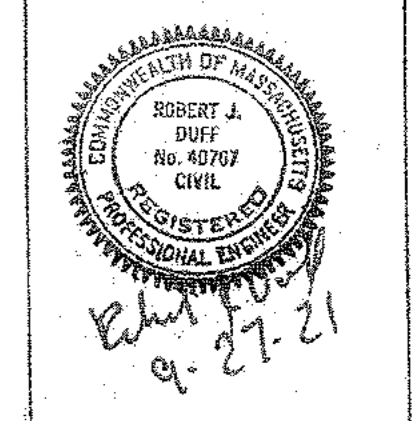
TYPICAL RCP TRENCH SECTION
NOT TO SCALE



ROOF LEADER/INFILTRATOR CONNECTION
NOT TO SCALE



GABION WEIR WALL DETAIL
NOT TO SCALE



F4410

APPROVED DATE:

FRANKLIN PLANNING BOARD

BEING A MAJORITY

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OWNER

KYLE McNAMARA
418 OLD RIVER ROAD
LINCOLN, RI 02838
DEED BOOK 38469 PAGE 40
ASSESSOR MAP 315, LOT 37

APPLICANT

NORTHEAST DEVELOPMENT GROUP
418 OLD RIVER ROAD
LINCOLN, RI 02838

DEFINITIVE SUBDIVISION PLAN OF LAND EASTERN WOOD ESTATES FRANKLIN MASSACHUSETTS

CONSTRUCTION DETAILS

AUGUST 17, 2021

DATE	REVISION DESCRIPTION
09/24/21	TOWN COMMENTS - REV1

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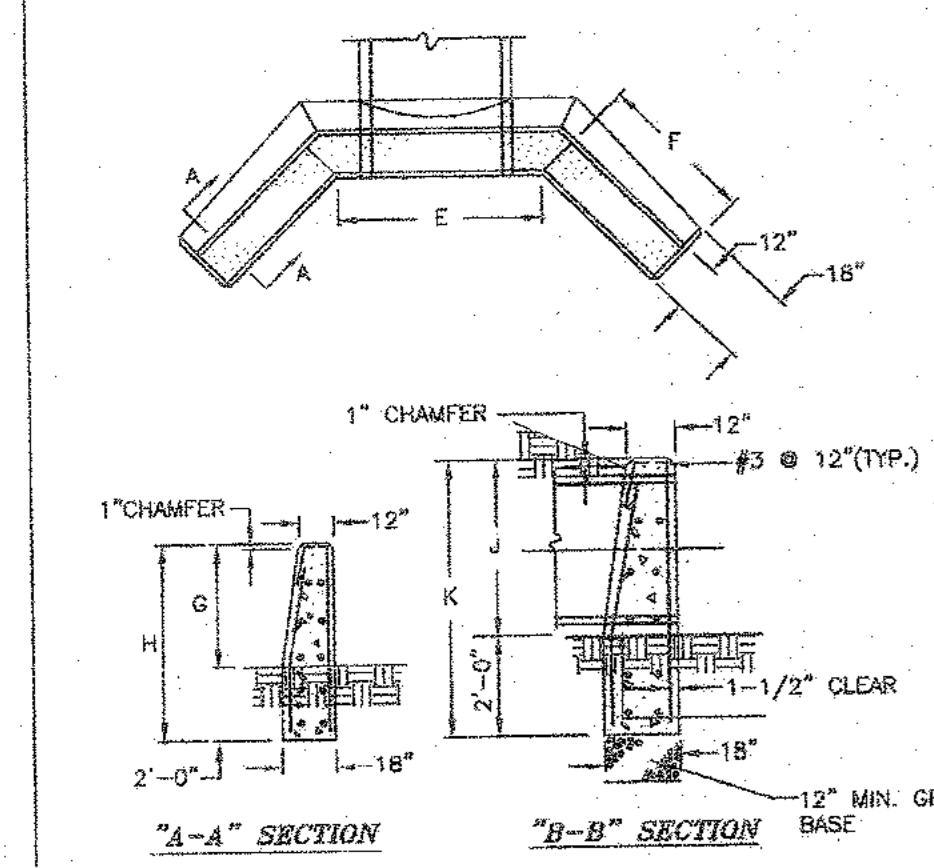
DATE	REVISION DESCRIPTION
09/24/21	TOWN COMMENTS - REV1

DATE	REVISION DESCRIPTION
09/24/21	TOWN COMMENTS - REV1

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09/24/21	TOWN COMMENTS - REV1

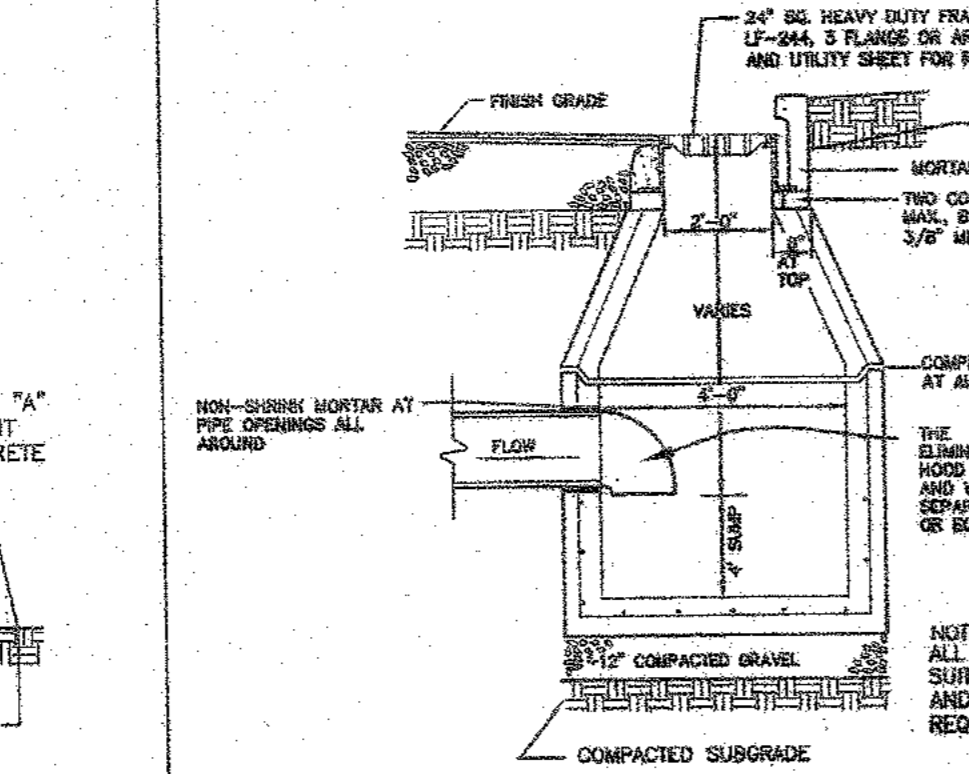
Guerriere & Halnon, Inc.
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
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SHEET 10 OF 11 JOB NO. F4410

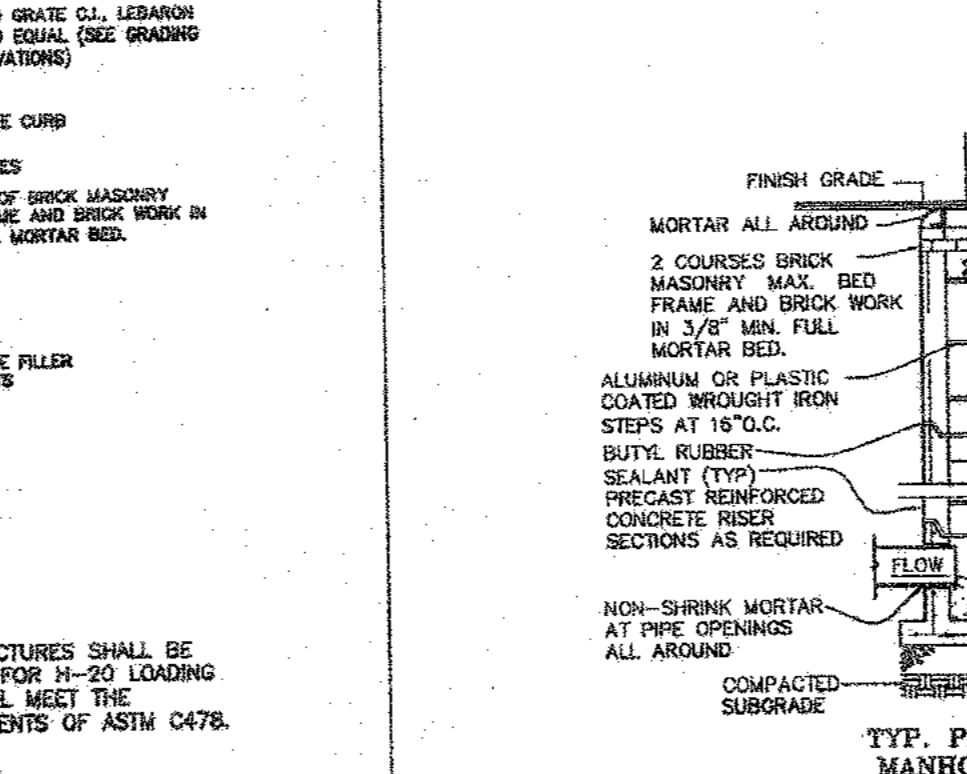


HEADWALL DIMENSIONS										
D	B	F	G	H	J	K	L	M	N	O
12"	20"	36"	12"	36"	24"	48"				
18"	30"	48"	12"	36"	30"	54"				
24"	36"	54"	12"	36"	36"	60"				
30"	42"	60"	12"	36"	42"	66"				
36"	48"	72"	12"	48"	54"	78"				

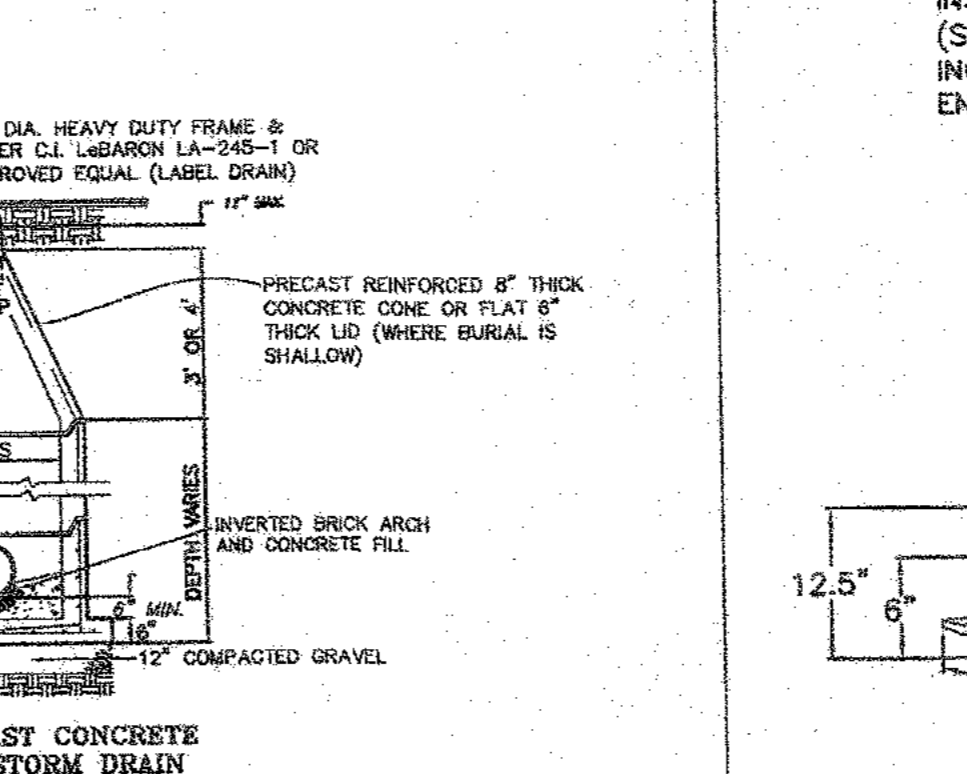
TYPICAL CONCRETE HEADWALL
NOT TO SCALE



TYP. PRECAST CONCRETE CATCH BASIN DETAIL
NOT TO SCALE



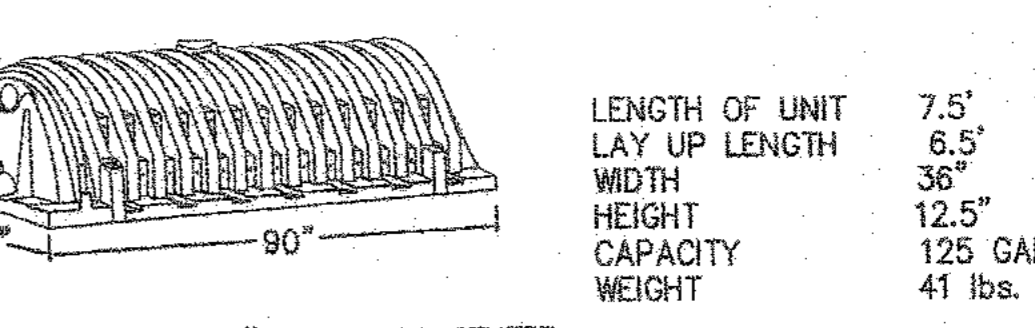
TYP. PRECAST CONCRETE MANHOLE STORM DRAIN
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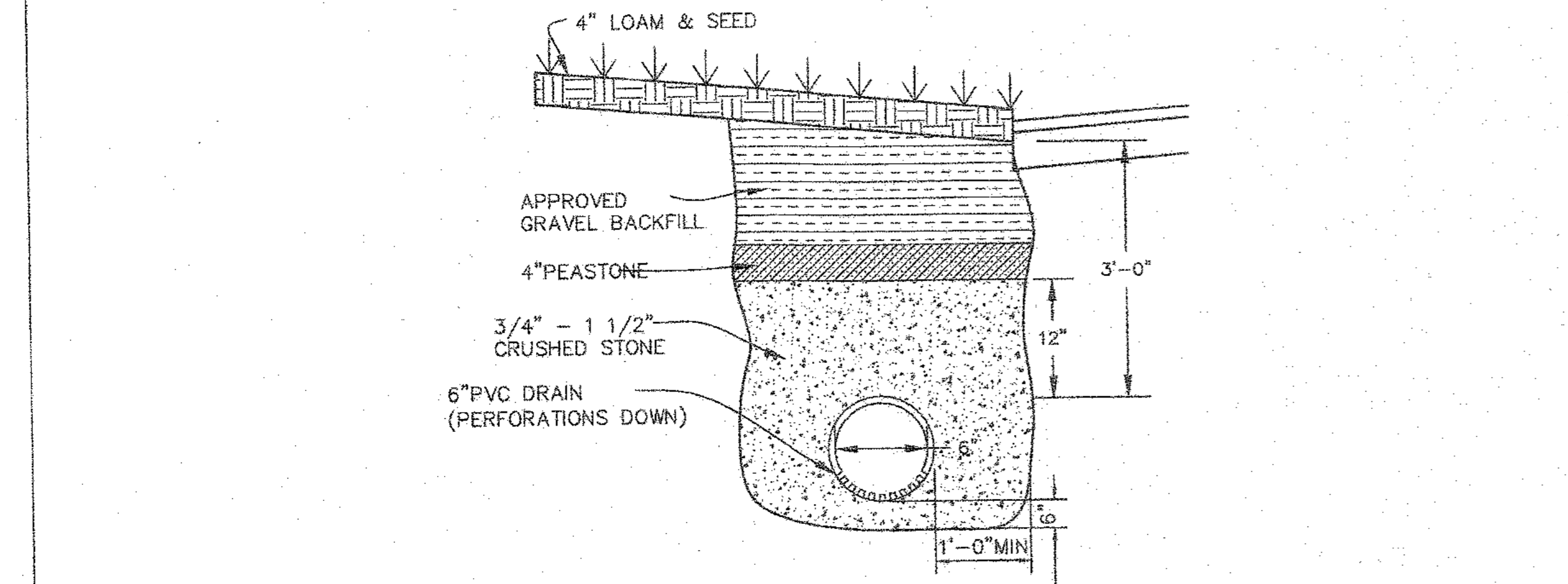
TYP. PRECAST CONCRETE MANHOLE STORM DRAIN
NOT TO SCALE

THE OWNER/CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF THE "CULTEC RECHARGER" (UNDERGROUND) DETENTION SYSTEM. THE INSTALLATION IS TO BE IN ACCORDANCE WITH CULTEC, INC. INSTRUCTIONS (SPECIFICATIONS). THE OWNER/CONTRACTOR IS TO MEET WITH CULTEC, INC. TO ORDER THE APPROPRIATE TYPE AND QUANTITY OF CHAMBERS (I.E. END UNITS, MIDDLE UNITS, ETC.)

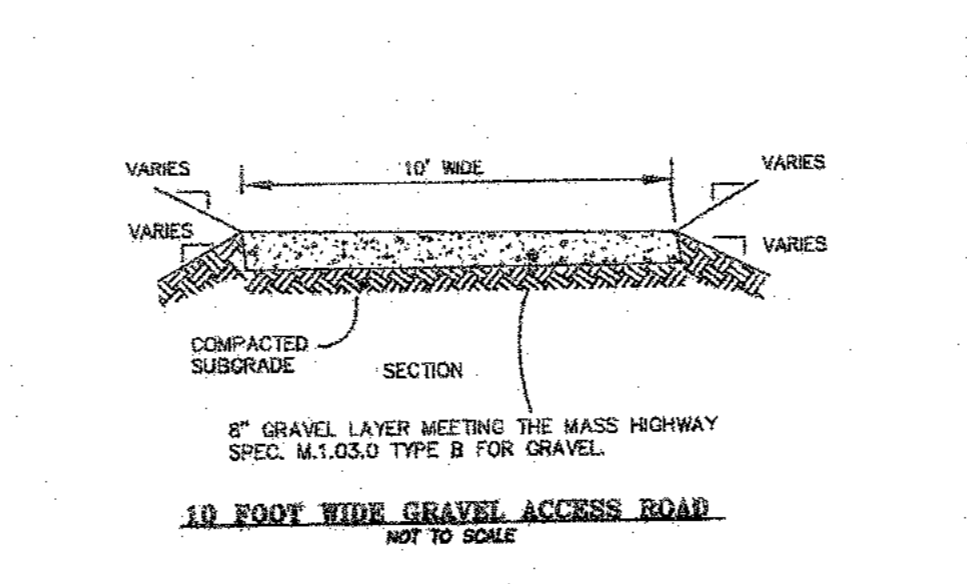
*** DISTRIBUTORS ***
CULTEC, INC. 878 FEDERAL ROAD BROOKFIELD, CT 06804 (203) 775-4416
KURT S. MASTERS RR1, BOX 692 MILAN, NH 03588 (603) 449-6797



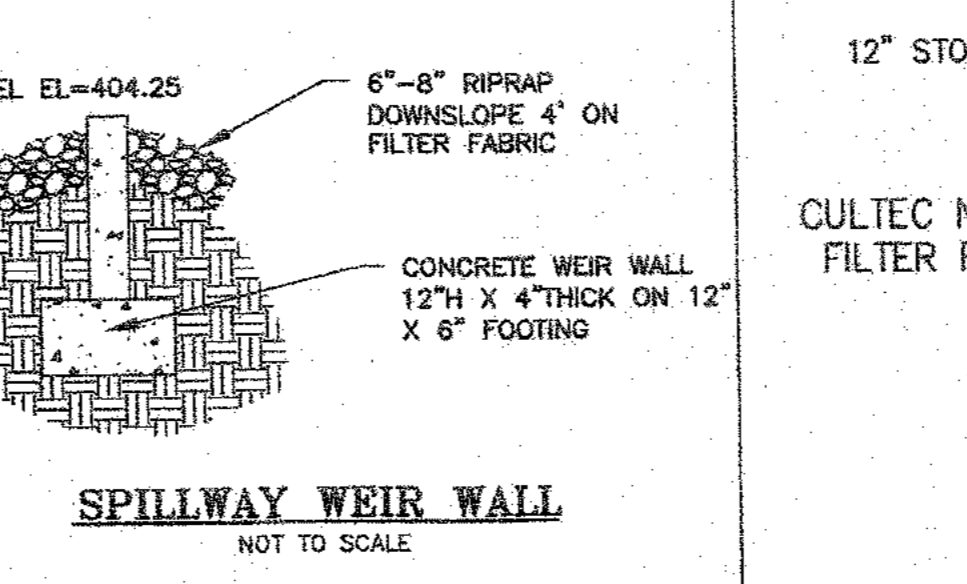
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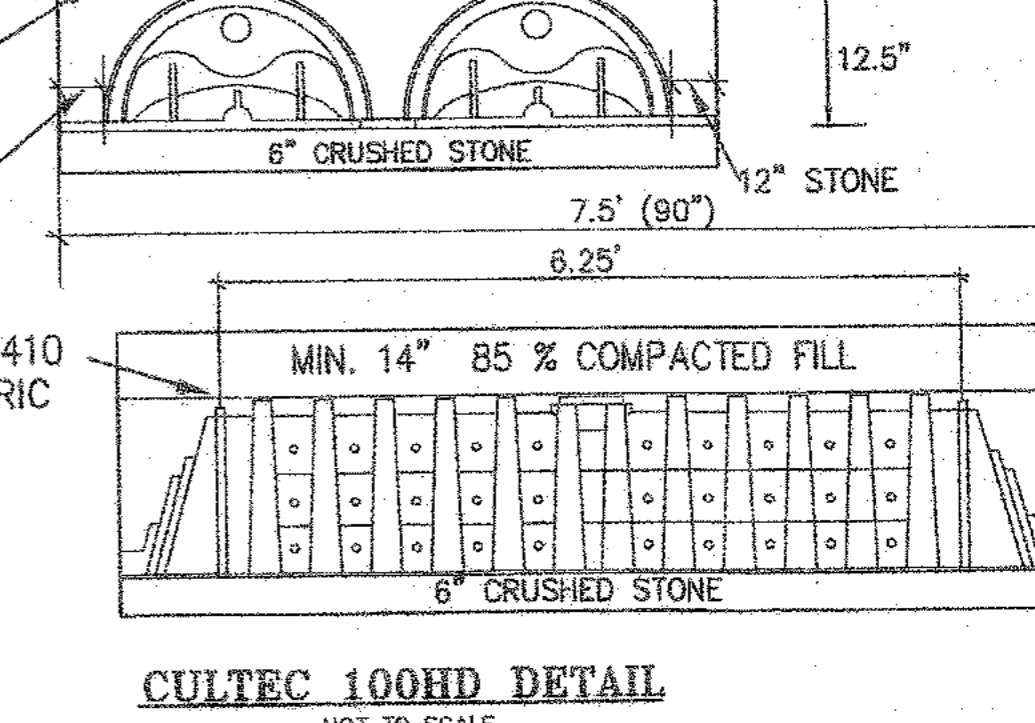
UNDERDRAIN DETAIL
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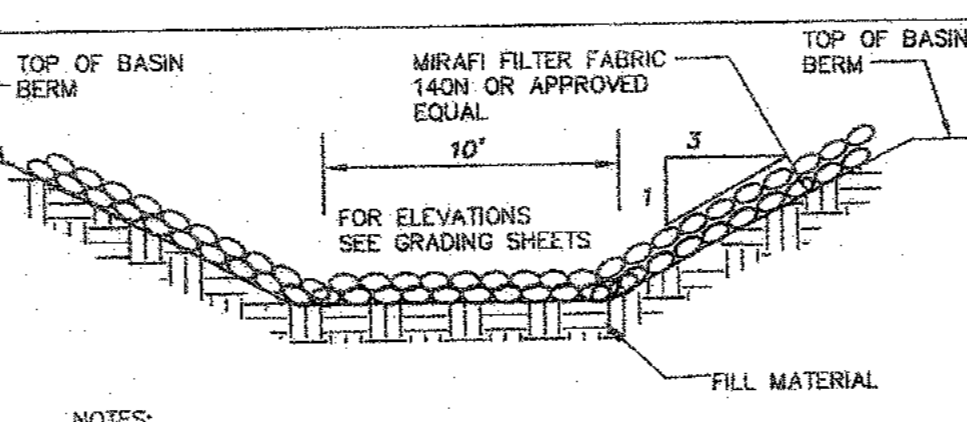
10 FOOT WIDE GRAVEL ACCESS ROAD
NOT TO SCALE



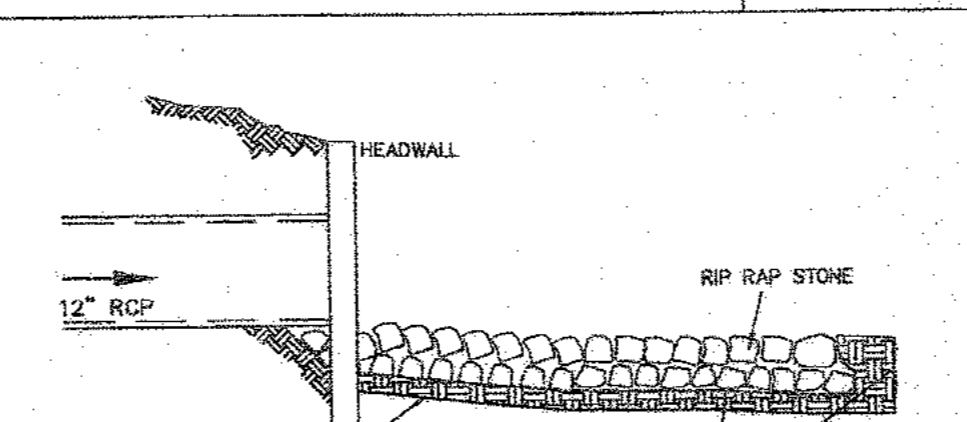
SPILLWAY WEIR WALL
NOT TO SCALE



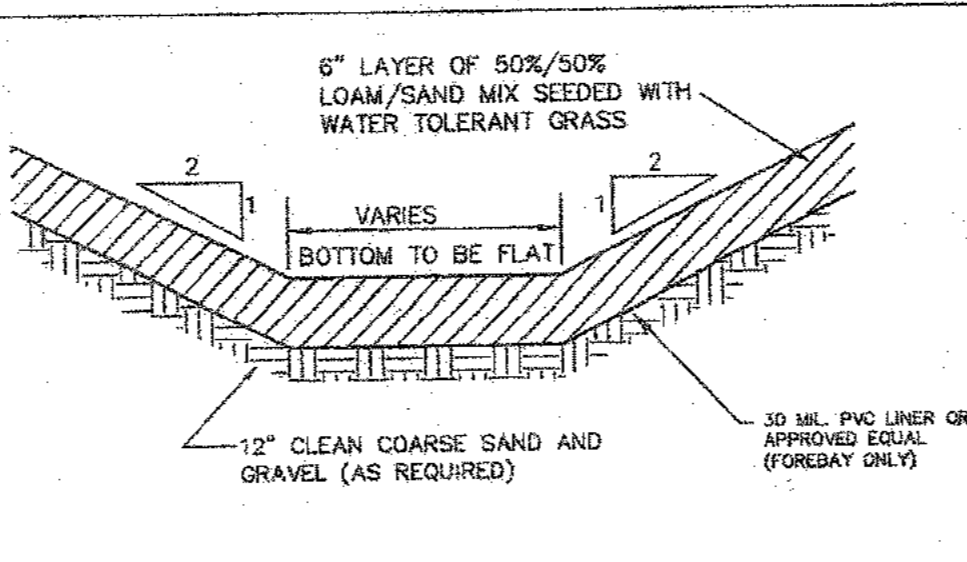
CULTEC 410 FILTER FABRIC
NOT TO SCALE



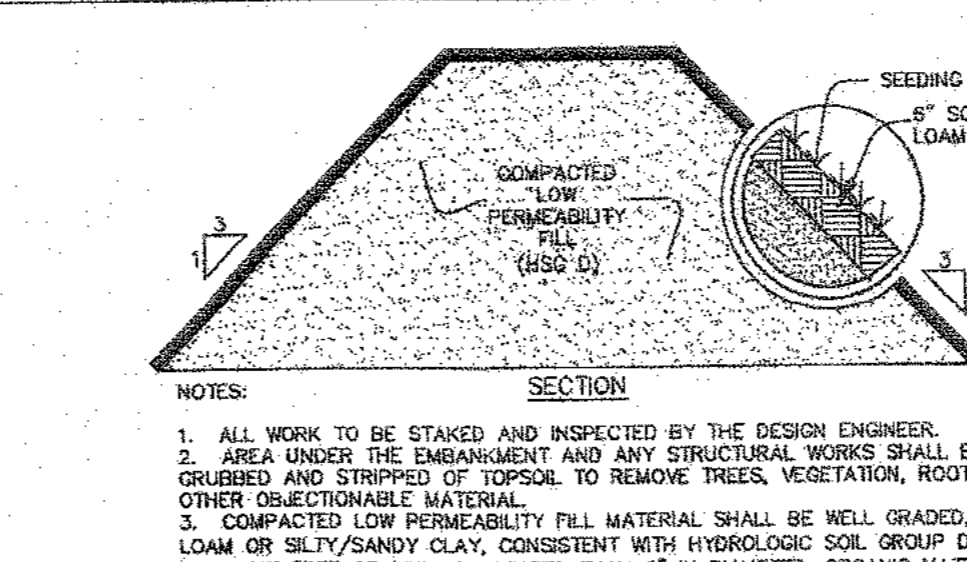
RIP-RAP SPILLWAY DETAIL
NOT TO SCALE



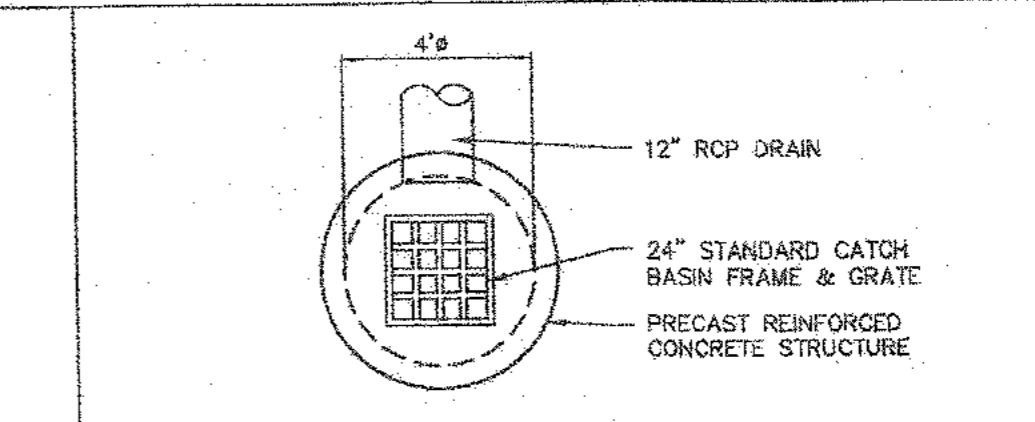
OUTFALL W/ RIPRAP APRON
NOT TO SCALE



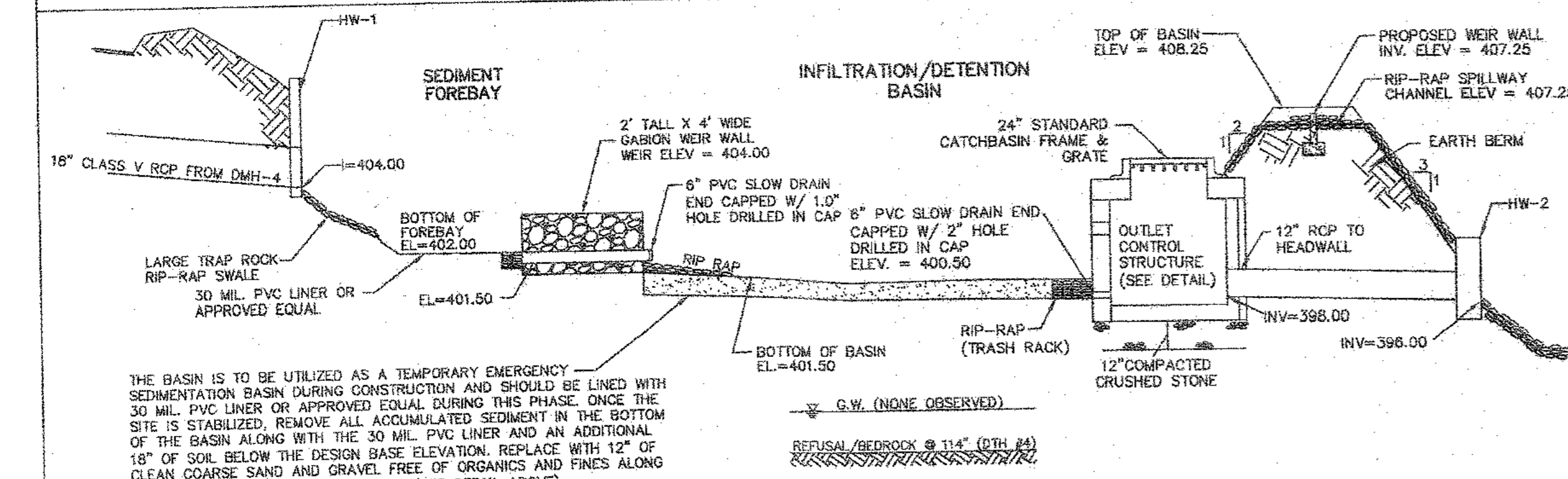
CROSS SECTION SEDIMENT FOREBAY & INFILTRATION POND BOTTOM
NOT TO SCALE



EARTH BERM
NOT TO SCALE



OUTLET CONTROL STRUCTURE
NOT TO SCALE

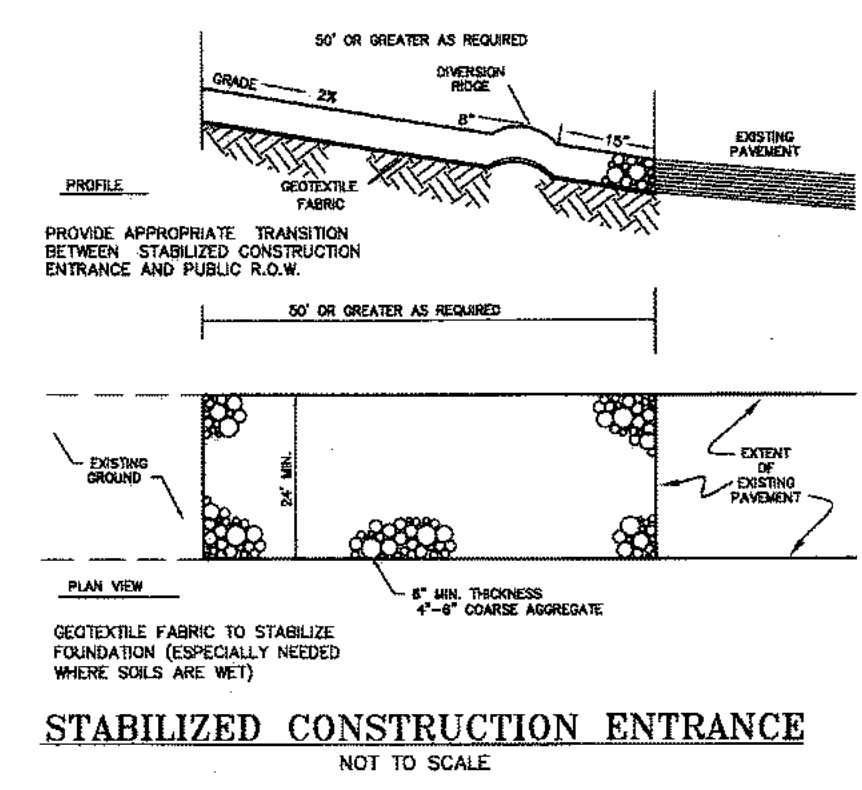


INFILTRATION/DETENTION BASIN
NOT TO SCALE

NOTE:
1. AREA BENEATH THE BASIN TO BE STRIPPED OF TOPSOIL AND SUBSOIL. IF DETERMINED THAT THE UNDERLYING SOIL BENEATH THE BASIN WITHIN THE EXFILTRATION AREA IS NOT WITHIN THE C HORIZON LAYER (LOAMY SAND), THE CONTRACTOR SHALL REMOVE THE SOIL AS NECESSARY AND REPLACE WITH SAND OR STONE TO ACHIEVE THE REQUIRED EXFILTRATION RATE. REFER TO TEST PIT NOTED FOR ADDITIONAL INFORMATION.
2. BASIN TO BE REVIEWED BY ENGINEER TO ENSURE CONSTRUCTION IN COMPLIANCE WITH THE DESIGN PLANS.

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- EROSION CONTROL NOTES:**
1. TAKE EVERY PRECAUTION TO MINIMIZE AND CONTROL EROSION WITHIN THE PROJECT AREA.
 2. STOCKPILES OF EXCAVATED MATERIALS AND EXPOSED CUT AND FILL SLOPES SHALL BE KEPT TO MINIMUM GRADIENTS WHENEVER POSSIBLE. THESE AREAS SHALL BE PROTECTED WITH HAY, MULCH, GRASS SEED OR COMBINATION OF THE ABOVE TO SLOW DOWN THE RATE OF SURFACE RUN-OFF AND TO REDUCE THE VOLUME OF SUSPENDED SOLIDS IN THE RUN OFF WATER.
 3. SILTATION BARRIERS SHALL BE STAKED IN PLACE DOWN GRADIENT FROM ALL EXPOSED AREAS OR MATERIAL STORAGE AREAS IN ORDER TO REDUCE THE AMOUNT OF SUSPENDED SOLIDS IN RUNOFF WATER. THE EXACT LOCATION OF THE SILTATION BARRIERS MAY VARY FROM THAT SHOWN ON THE PLANS AND MAY BE ADJUSTMENT IN THE FIELD AS WORK PROGRESSES. SEDIMENTATION BUILDUP OVER SIX INCHES IN DEPTH THAT ACCUMULATES BEHIND THE SILTATION BARRIERS SHALL BE REMOVED. BARRIERS SHALL BE CHECKED AFTER EVERY STORM AND AT REGULAR WEEKLY INTERVALS.
 4. SILTATION BARRIER SHALL BE INSTALLED WITH WOODEN STAKES IN ACCORDANCE WITH MANUFACTURER DIRECTIONS. BOTTOM 6 INCHES OF FABRIC SHALL BE TOED IN OR BACKFILLED SO THAT TOP OF FABRIC SHALL BE 2 FEET 6 INCHES ABOVE FINISH GRADE.
 5. ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE LOAMED (4" MIN.) AND SEEDED IN ORDER TO MINIMIZE DUST AND EROSION.
 6. FILTER FABRIC IS TO BE PLACED UNDER ALL RIP-RAP AREAS SHOWN ON DESIGN PLANS.
 7. EROSION CONTROL BARRIERS ARE TO BE PLACED PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES.
 8. THE PROPOSED STORMWATER BASIN IS TO BE UTILIZED AS A SEDIMENTATION POND DURING CONSTRUCTION. IT IS TO BE CONSTRUCTED FIRST IN ORDER TO CONTROL/ PREVENT SILTATION FROM DISCHARGING FROM THE SITE AND/OR DISTURBING WETLAND AREAS.
 9. ALL TEMPORARY SEDIMENT POND(S) AND SUMPS ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INSPECTED PRIOR TO AND AFTER STORM EVENTS AND CLEANED AS NEEDED.
 10. TEMPORARY BERM (I.E. DRIBBLE BERM) SHALL BE PLACED ALONG THE ENTIRE EDGE OF ROADWAY WITH THE BINDER COURSE AND SHALL REMAIN IN PLACE UNTIL FINISH COURSE AND/OR PERMANENT CURBING OR EDGING IS PLACED.



OUTFALL RIP RAP SIZING
(REF. HEC-14)

HW-1

HEADWALL (with 18" pipe)	
***25 yr-Q (cfs)	10.17
Dia (ft)	1.5
**TW (ft)	0.6
g (fps)	32.2
*TW = 0.40"	

HW-2

HEADWALL (with 12" pipe)	
***25 yr-Q (cfs)	6.84
Dia (ft)	1
**TW (ft)	0.4
g (fps)	32.2
*TW = 0.40"	

18" Pipe APRON SIZING

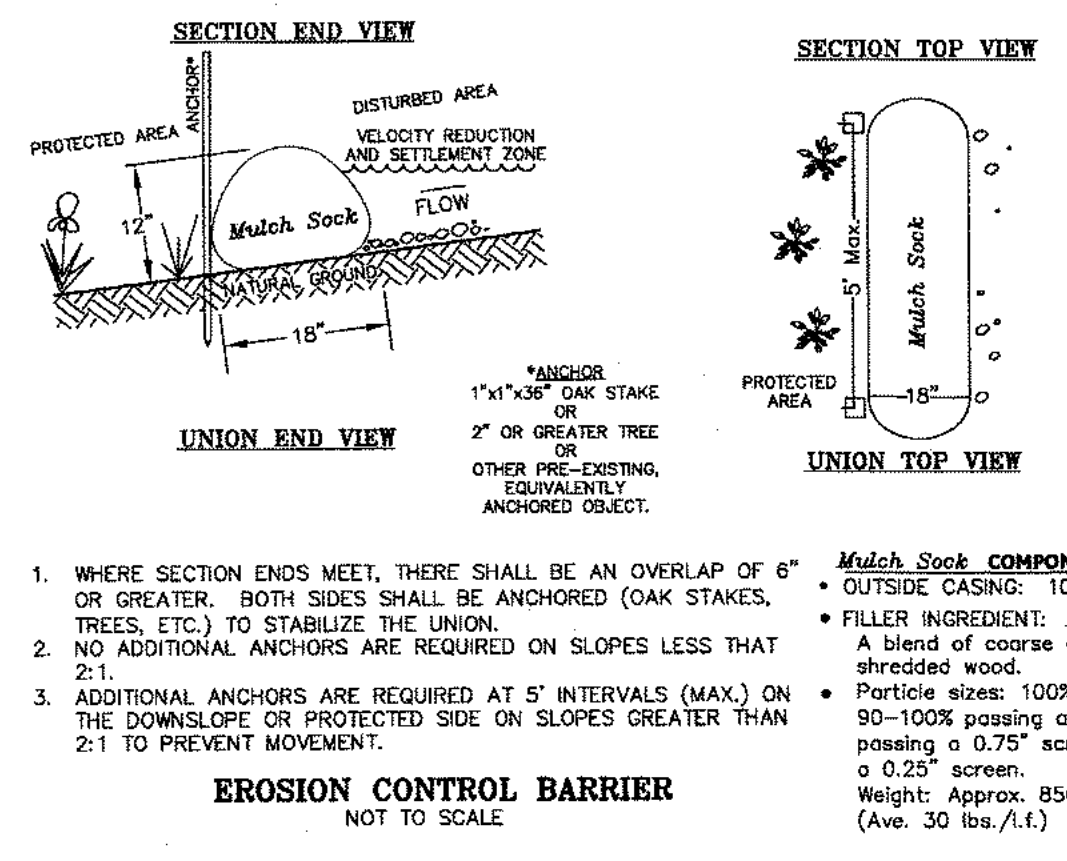
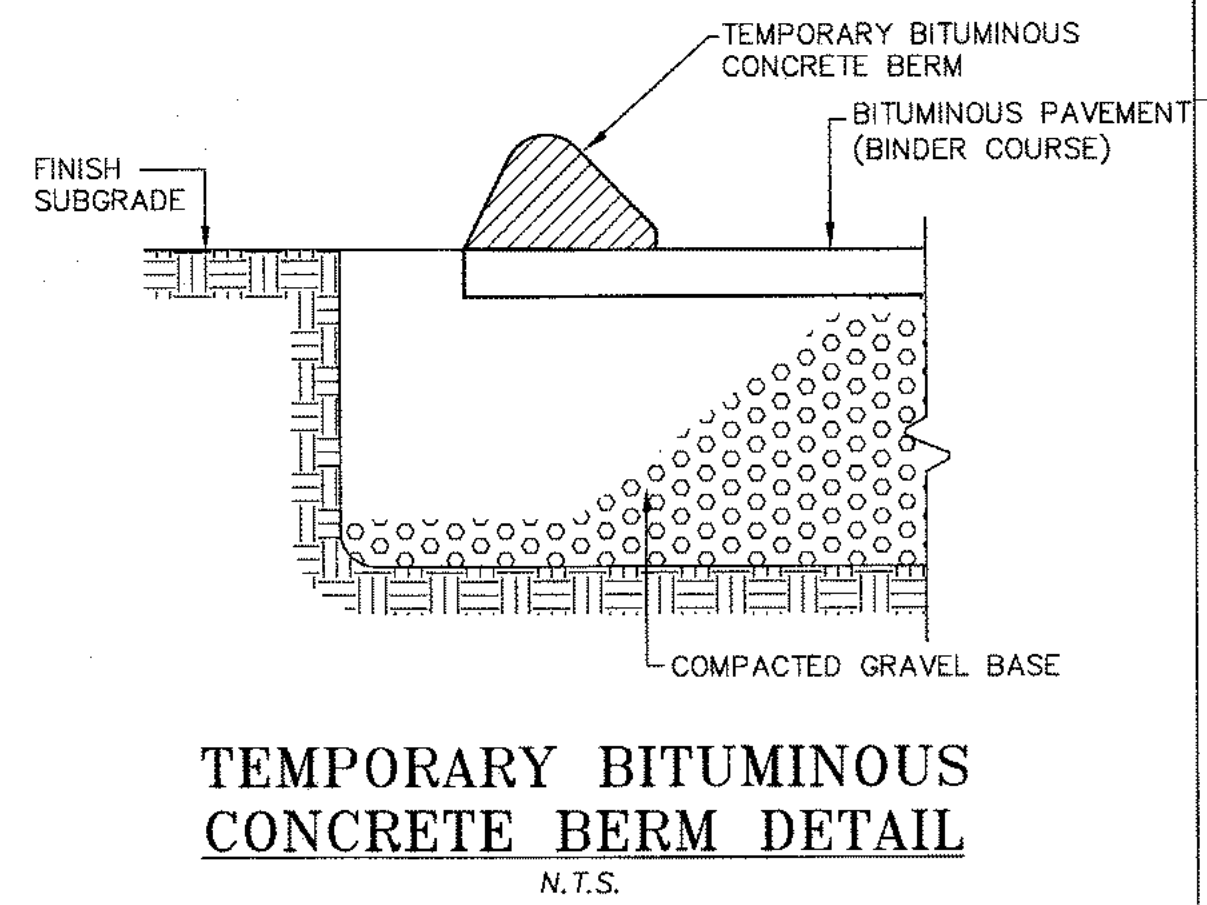
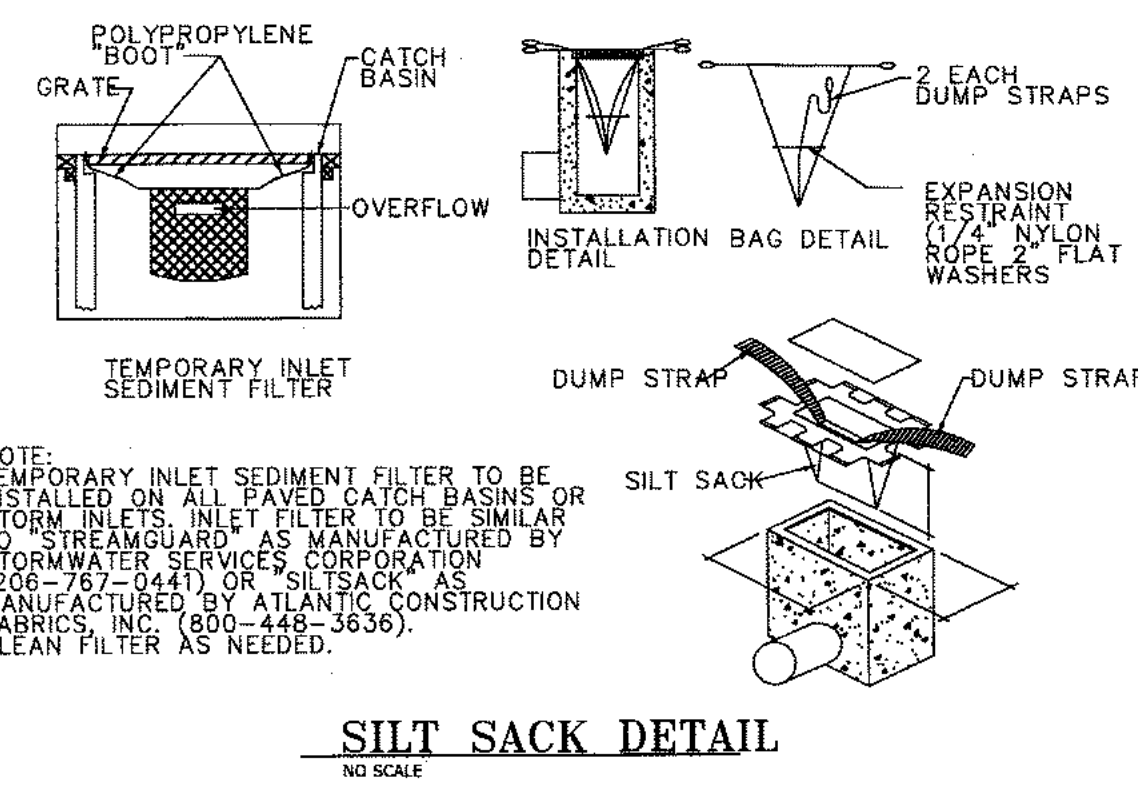
Length (ft)	**Depth (ft)	Width (ft)	Class
6	1.5	8.4	1

12" Pipe APRON SIZING (MIN.)

Length (ft)	**Depth (ft)	Width (ft)	Class
4	1.5	5.7	1

RIP RAP APRON DIMENSION CHART

Class	D ₅₀ (ft)	D ₅₀ (IN)	Apron Length	Apron Depth
1	125	5	4D	3.5D ₅₀
2	150	6	4D	3.3D ₅₀
3	250	10	5D	2.4D ₅₀
4	350	14	6D	2.2D ₅₀
5	200	20	7D	2.0D ₅₀
6	550	22	8D	2.0D ₅₀



ROBERT J. DUFF
No. 44707
CIVIL
PROFESSIONAL ENGINEER
9-27-21

APPROVED DATE: _____

FRANKLIN PLANNING BOARD

BEING A MAJORITY

LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. DURING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DETERMINED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

OWNER

KYLE McNAMARA
418 OLD RIVER ROAD
LINCOLN, RI 02838

DEED BOOK 38469 PAGE 40
ASSESSOR MAP 315, LOT 37

APPLICANT

NORTHEAST DEVELOPMENT GROUP
418 OLD RIVER ROAD
LINCOLN, RI 02838

DEFINITIVE SUBDIVISION PLAN OF LAND
EASTERN WOOD ESTATES
FRANKLIN MASSACHUSETTS

CONSTRUCTION DETAILS

AUGUST 17, 2021

DATE	REVISION DESCRIPTION
09/24/21	TOWN COMMENTS - REV1

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