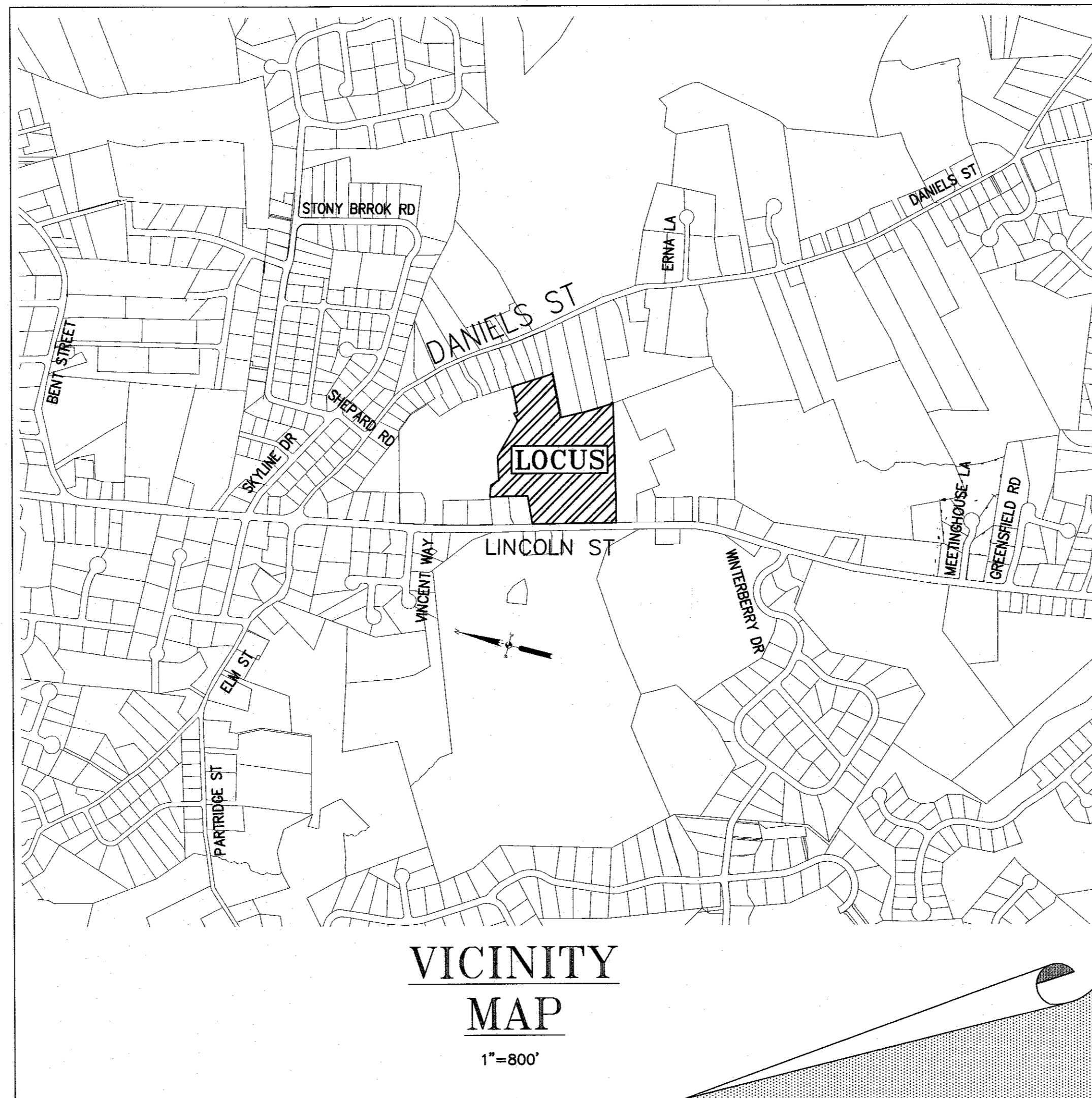


FRANKLIN HEIGHTS PARCEL B 40B DEVELOPMENT PLAN FRANKLIN MASSACHUSETTS



PLAN REFERENCES

1. SEE PLAN BY GUERRIERE & HALNON, INC. DATED FEBRUARY 23, 2006 ENTITLED 'PLAN OF LAND IN FRANKLIN, MASSACHUSETTS.' SIGNED BY THE FRANKLIN PLANNING BOARD ON MARCH 20, 2006.
2. SEE PLAN ENTITLED 'FRANKLIN HEIGHTS ESTATES CONDOMINIUM SITE PLAN IN FRANKLIN, MASSACHUSETTS' DATED JUNE 29, 2005 AND REVISED THRU MAY 1, 2006. APPROVED BY THE FRANKLIN PLANNING BOARD ON DECEMBER 1, 2005.

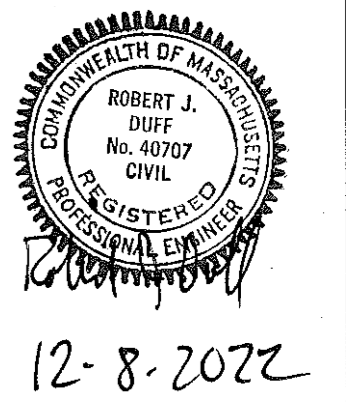
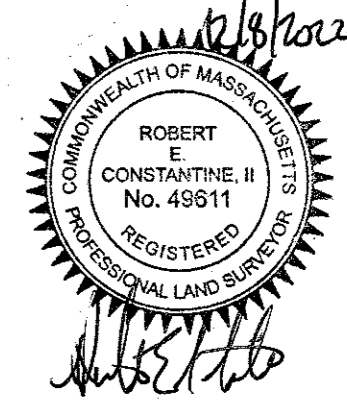
WAIVERS REQUESTED

REQUEST FROM THE TOWN OF FRANKLIN
2005 ZONING BY-LAW (CHAPTER 185)

1. SECTION 185-2
2. SECTION 185-3
3. SECTION 185-7
4. SECTION 185-9
5. SECTION 185-16
6. SECTION 185.21.B.1.A
7. SECTION 185-23
8. SECTION 185-31 (1)
9. SECTION 185-31 (2)
10. SECTION 185-36
11. SECTION 185-45 F.
12. SECTION 185-46
14. USE REGULATION SCHEDULE-PARK VI SEC. 6.1
15. SCHEDULE OF LOT, AREA, FRONTAGE, YARD, AND HEIGHT REQUIREMENTS

INDEX

1. COVER SHEET
 2. EXISTING CONDITIONS
 3. SITE LAYOUT
 4. EROSION CONTROL PLAN
 5. GRADING PLAN
 6. TURNING RADIUS PLAN
 7. PLAN AND PROFILE
 8. PLAN AND PROFILE
 9. LANDSCAPE PLAN
 10. CONSTRUCTION DETAILS
 11. CONSTRUCTION DETAILS
 12. CONSTRUCTION DETAILS
- STREAM CROSSING AND WETLAND
REPLICATION PLAN (BY OTHERS)



F4471

12-8-2022

APPROVED DATE:

FRANKLIN ZONING BOARD

BEING A MAJORITY

LEGAL NOTES

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OWNER(S)

JOSEPHINE A. FARINA AND CATHERINE L. MEDAGLIA,
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HORNING & SCIMONE PC
5 COMMONWEALTH ROAD, 4TH FLOOR
NATICK, MA 01760

APPLICANT

OLIVER CROSSING REALTY TRUST
148 PARK STREET
NORTH READING MA, 01864

LOCUS REFERENCES

PLAN BK. 553 PLAN PG. 1 OF 2006
A.M. 219 LOT 178.2

**FRANKLIN HEIGHTS
PARCEL B
40B DEVELOPMENT PLAN
FRANKLIN MASSACHUSETTS**

COVER

SEPTEMBER 14, 2022

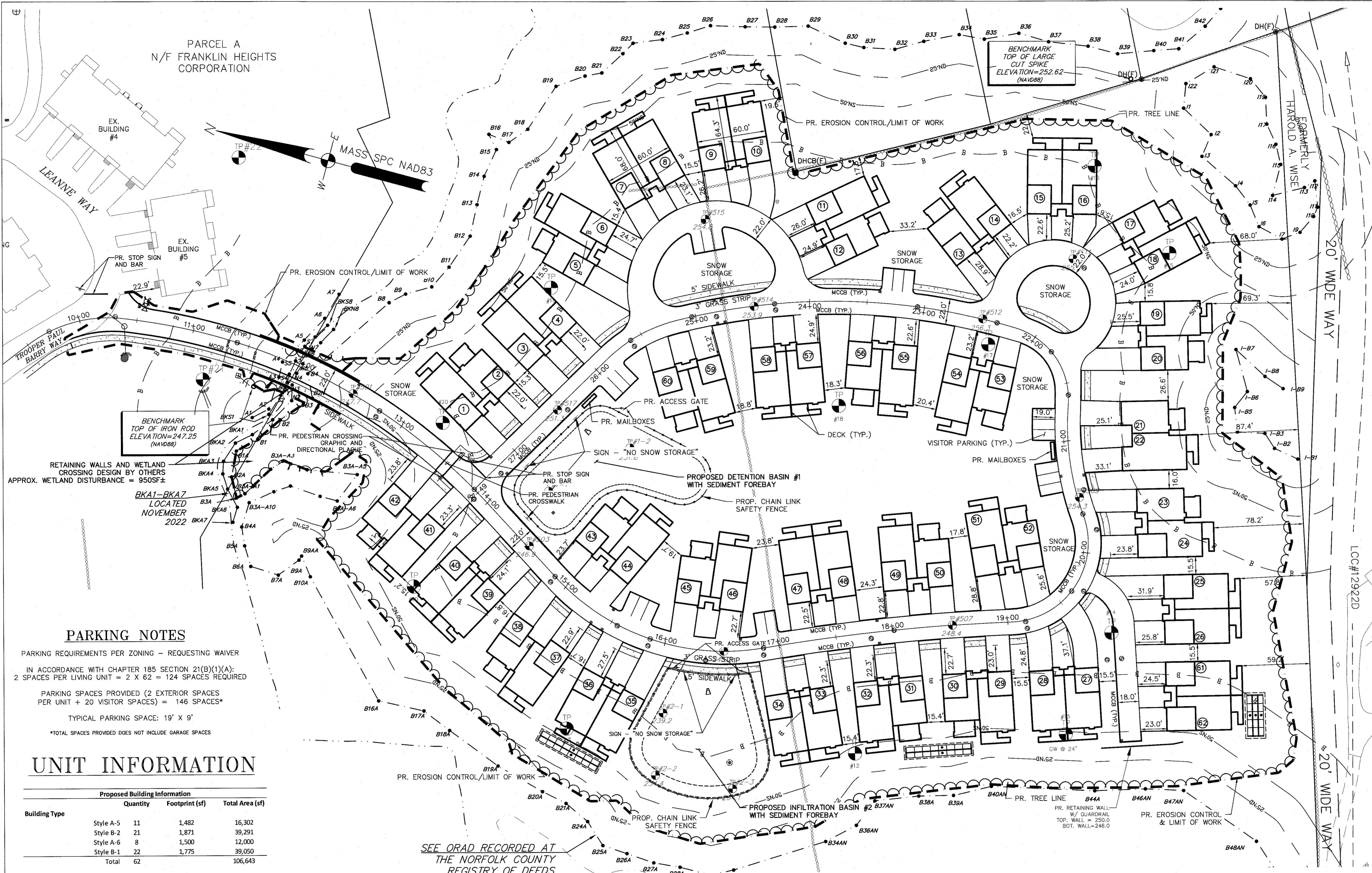
DATE	REVISION DESCRIPTION
12/7/2022	REVISED PER TOWN COMMENTS

**Guerriere &
Halnon, Inc.**
ENGINEERING & LAND SURVEYING
55 WEST CENTRAL ST. PH. (508) 528-3221
FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com

SHEET
1 OF 12

JOB NO. F4471

PARCEL A
N/F FRANKLIN HEIGHTS
CORPORATION



BENCHMARK
TOP OF LARGE
CUT SPIKE
ELEVATION=252.62
(NAVD83)

BENCHMARK
TOP OF IRON ROD
ELEVATION=247.25
(NAVD83)

RETAINING WALLS AND WETLAND
CROSSING DESIGN BY OTHERS
APPROX. WETLAND DISTURBANCE = 9505SF±

SEE ORAD RECORDED AT
THE NORFOLK COUNTY
REGISTRY OF DEEDS.

PARKING NOTES

PARKING REQUIREMENTS PER ZONING - REQUESTING WAIVER
IN ACCORDANCE WITH CHAPTER 185 SECTION 21(B)(1)(A):
2 SPACES PER LIVING UNIT = 2 X 62 = 124 SPACES REQUIRED
PARKING SPACES PROVIDED (2 EXTERIOR SPACES
PER UNIT + 20 VISITOR SPACES) = 146 SPACES*
TYPICAL PARKING SPACE: 19' X 9'
*TOTAL SPACES PROVIDED DOES NOT INCLUDE GARAGE SPACES

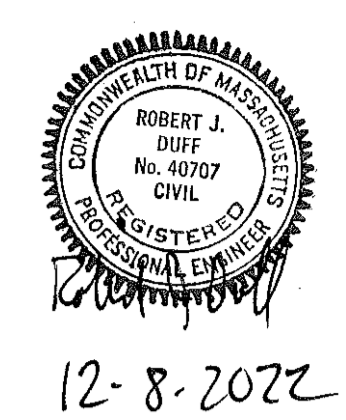
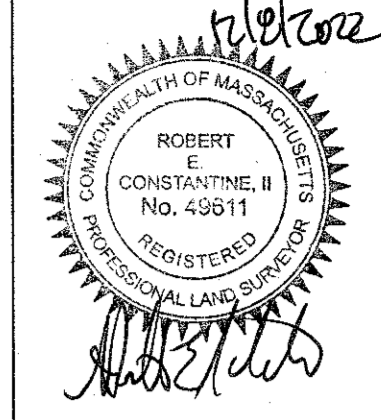
UNIT INFORMATION

Proposed Building Information			
Building Type	Quantity	Footprint (sf)	Total Area (sf)
Style A-5	11	1,482	16,302
Style B-2	21	1,871	39,291
Style A-6	8	1,500	12,000
Style B-1	22	1,775	39,050
Total	62	1,775	106,643

Proposed Impervious Coverage		
Type	Area (sf)	% Impervious
Proposed Pavement	56,800	6%
Proposed Sidewalk	6,000	1%
Proposed Driveway	38,365	4%
Proposed building footprint	106,643	12%
Total Proposed Impervious	207,808	23%

Total Existing Parcel Area (sf) 884,349
62 TOTAL UNITS PROPOSED - 3 BEDROOMS EACH = 186 BEDROOMS

APPLICANT IS PROPOSING A TOTAL OF 186 BEDROOMS WITHIN THE DEVELOPMENT. USING TITLE V'S ESTIMATED DESIGN FLOWS OF 110 GALLONS PER DAY PER BEDROOM, THE TOTAL DAILY WATER DEMAND AND SEWER FLOWS IS APPROXIMATELY 20,460 GALLONS PER DAY.



F4471

12-8-2022

APPROVED DATE:
FRANKLIN ZONING BOARD

BEING A MAJORITY
LEGAL NOTES

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OLIVER CROSSING REALTY TRUST
148 PARK STREET
NORTH READING MA, 01864

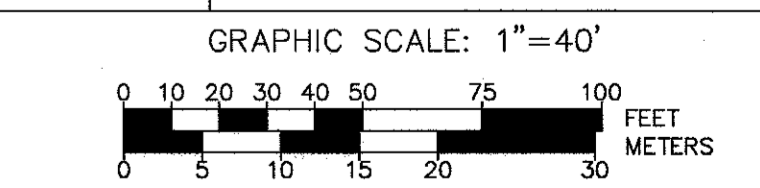
LOCUS REFERENCES
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A.M. 219 LOT 178.2

**FRANKLIN HEIGHTS
PARCEL B
40B DEVELOPMENT PLAN
FRANKLIN MASSACHUSETTS**

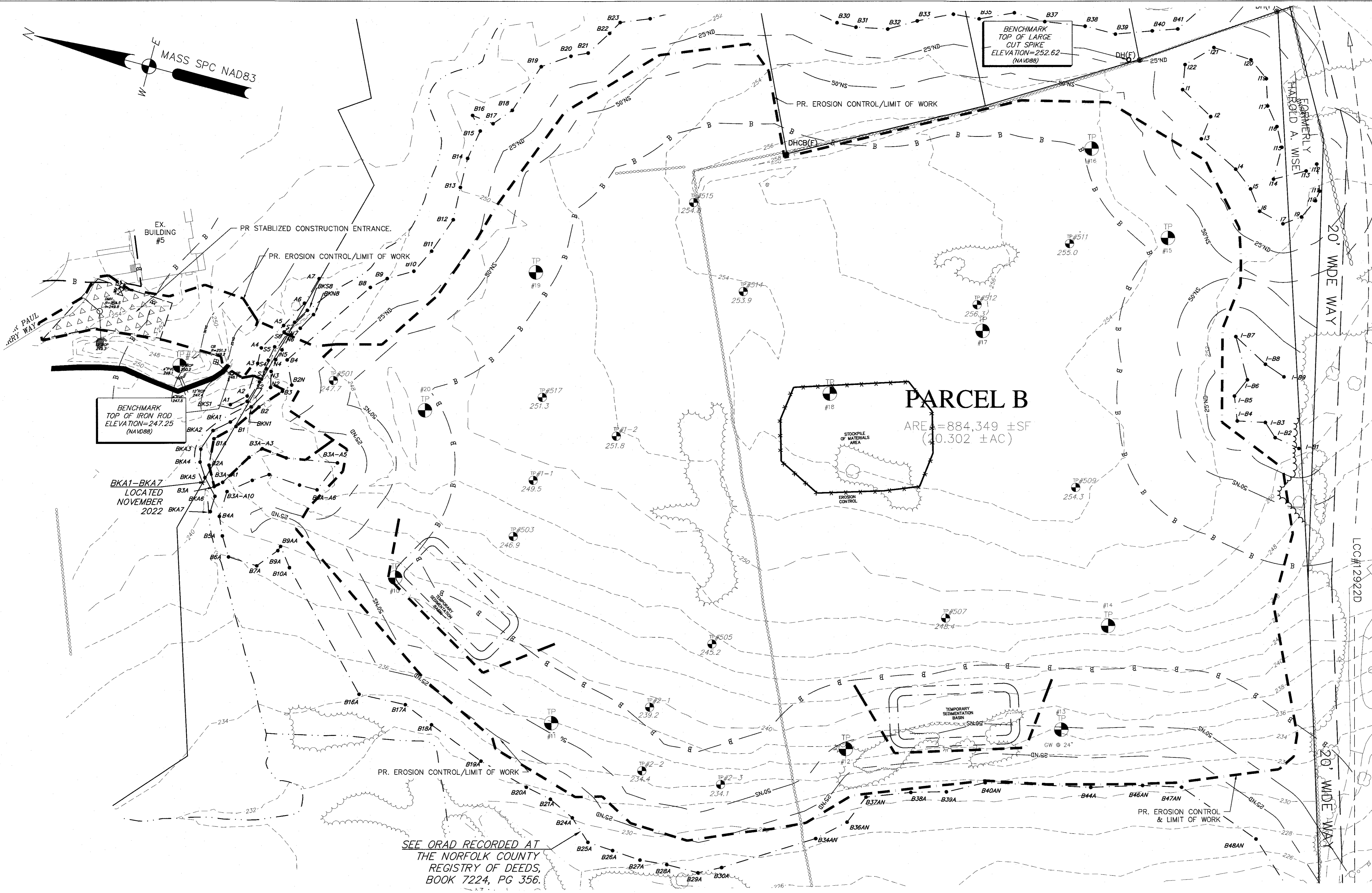
**SITE LAYOUT
SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION
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FRANKLIN, MA 02038 FX. (508) 528-7921
www.gandhengineering.com



12/8/2022

COMMONWEALTH OF MASSACHUSETTS
 ROBERT E. CONSTANTINE II
 No. 43811
 REGISTERED PROFESSIONAL LAND SURVEYOR

COMMONWEALTH OF MASSACHUSETTS
 ROBERT J. DUFF
 No. 40727
 CIVIL ENGINEER

12-8-2022

APPROVED DATE:

FRANKLIN ZONING BOARD

BEING A MAJORITY

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APPLICANT

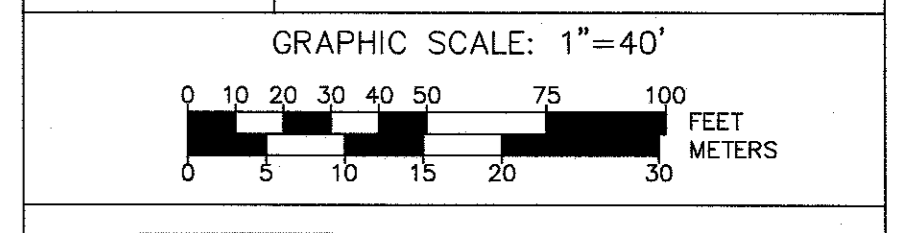
OLIVER CROSSING REALTY TRUST
 148 PARK STREET
 NORTH READING MA, 01864

LOCUS REFERENCES

PLAN BK. 553 PLAN PG. 1 OF 2006
 A.M. 219 LOT 178.2

**FRANKLIN HEIGHTS
 PARCEL B
 40B DEVELOPMENT PLAN
 FRANKLIN MASSACHUSETTS
 EROSION CONTROL PLAN
 SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION
12/7/2022	REVISED PER TOWN COMMENTS



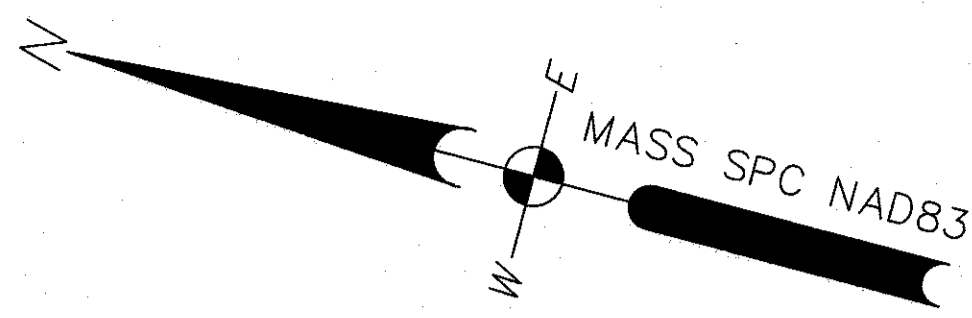
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 55 WEST CENTRAL ST. PH. (508) 528-3221
 FRANKLIN, MA 02038 FX. (508) 528-7921
 www.gandhengineering.com

- GENERAL NOTES:**
- SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM.
 - INSTALL SILT SACKS.
 - INSTALL BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL.
 - INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
 - INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
 - STOCK PILE AREA TO BE CONTAINED USING EROSION CONTROL DEVICES
 - DIRT BAG SHALL BE USED TO PERIODICALLY CLEAN THE TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.

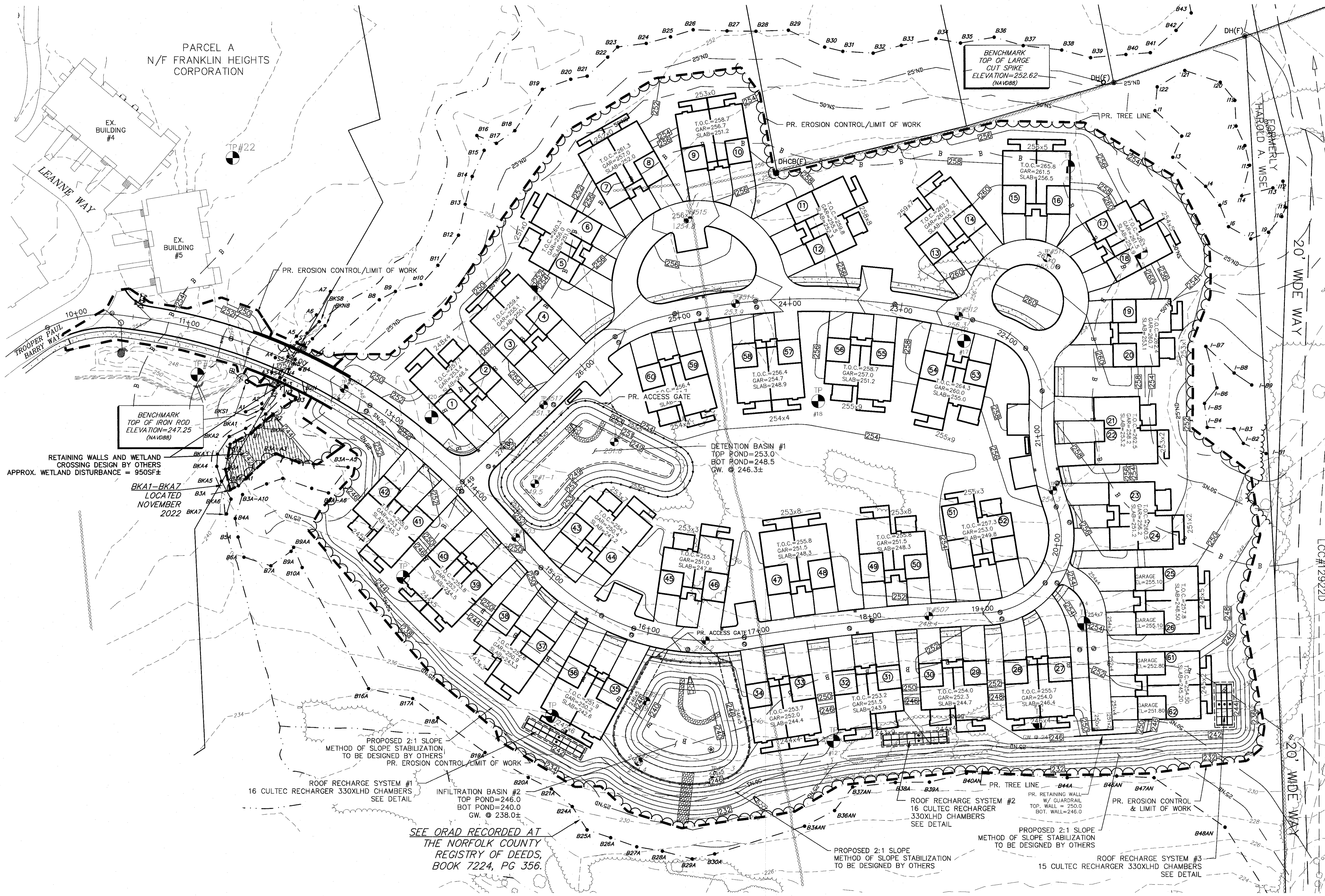
- CROSSING NOTES:**
- CONSTRUCTION AND PHASING OF THE WETLAND CROSSING AND REPLICATION AREA SHALL BE PERFORMED IN ACCORDANCE WITH THE PLAN PREPARED BY CLAWE, LLC. DATED 7/20/22 AND REVISED THROUGH 12/05/22. A COPY HAS BEEN PROVIDED ON SHEET 12.

SEE ORAD RECORDED AT
 THE NORFOLK COUNTY
 REGISTRY OF DEEDS,
 BOOK 7224, PG 356.

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PARCEL A
N/F FRANKLIN HEIGHTS
CORPORATION



BENCHMARK
TOP OF IRON ROD
ELEVATION=247.25
(NAVD88)

RETAINING WALLS AND WETLAND
CROSSING DESIGN BY OTHERS
APPROX. WETLAND DISTURBANCE = 950SF±

BKA1-BKA7
LOCATED
NOVEMBER
2022

DETENTION BASIN #1
TOP POND=253.0
BOT POND=248.5
GW. @ 246.3±

ROOF RECHARGE SYSTEM #1
16 CULTEC RECHARGER 330XLHD CHAMBERS
SEE DETAIL

INFILTRATION BASIN #2
TOP POND=246.0
BOT POND=240.0
GW. @ 238.0±

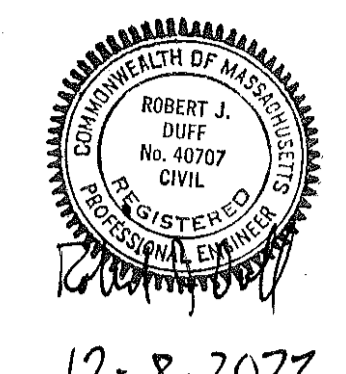
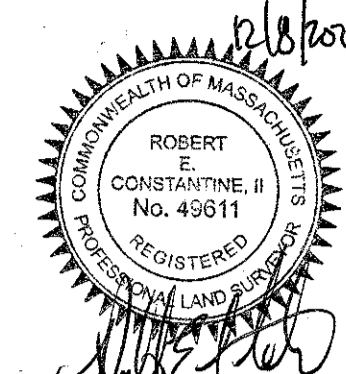
SEE ORAD RECORDED AT
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REGISTRY OF DEEDS,
BOOK 7224, PG 356.

ROOF RECHARGE SYSTEM #2
16 CULTEC RECHARGER
330XLHD CHAMBERS
SEE DETAIL

PROPOSED 2:1 SLOPE
METHOD OF SLOPE STABILIZATION
TO BE DESIGNED BY OTHERS

PROPOSED 2:1 SLOPE
METHOD OF SLOPE STABILIZATION
TO BE DESIGNED BY OTHERS

ROOF RECHARGE SYSTEM #3
15 CULTEC RECHARGER 330XLHD CHAMBERS
SEE DETAIL



12-8-2022

APPROVED DATE:
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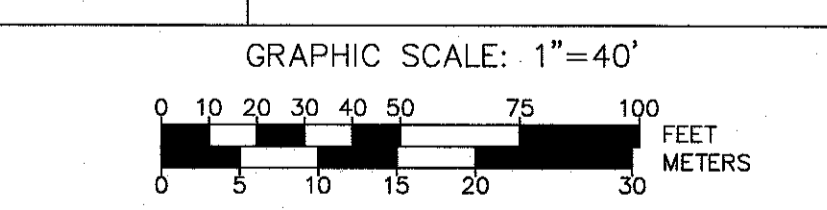
OLIVER CROSSING REALTY TRUST
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LOCUS REFERENCES
PLAN BK. 553 PLAN PG. 1 OF 2006
A.M. 219 LOT 178.2

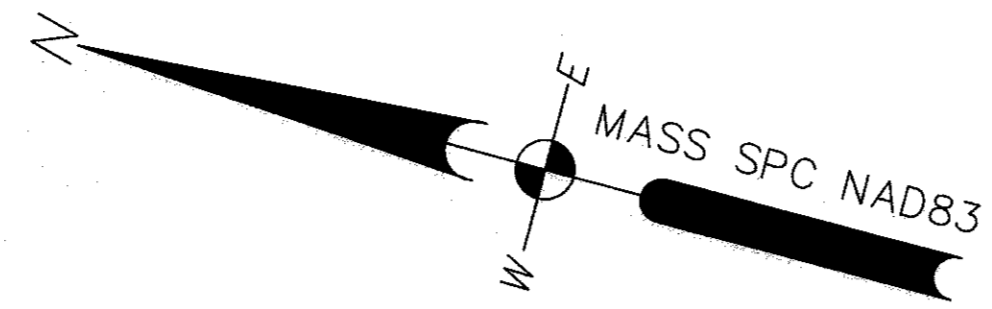
FRANKLIN HEIGHTS
PARCEL B
40B DEVELOPMENT PLAN
FRANKLIN MASSACHUSETTS

GRADING PLAN
SEPTEMBER 14, 2022

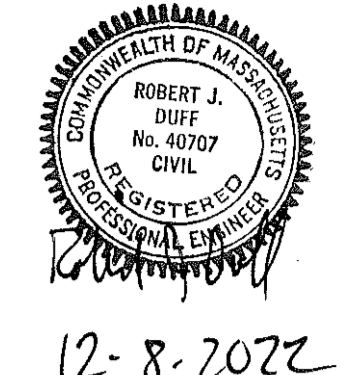
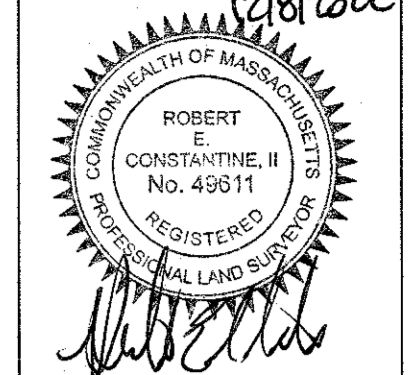
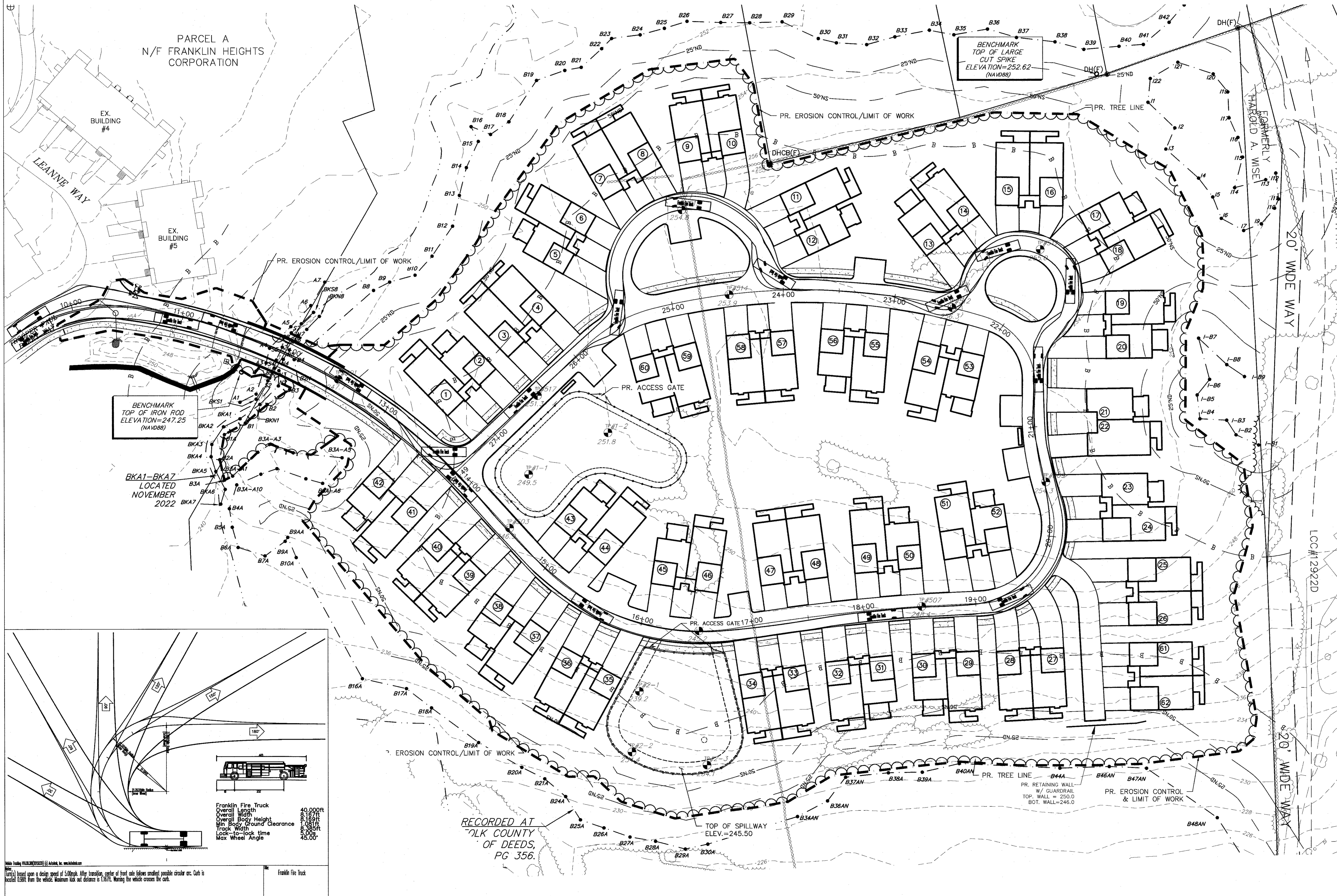
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PARCEL A
N/F FRANKLIN HEIGHTS
CORPORATION



F4471

12-8-2022

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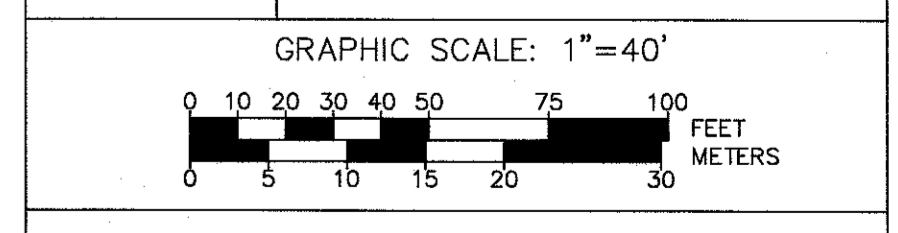
LOCUS REFERENCES
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A.M. 219 LOT 178.2

**FRANKLIN HEIGHTS
PARCEL B
40B DEVELOPMENT PLAN
FRANKLIN MASSACHUSETTS**

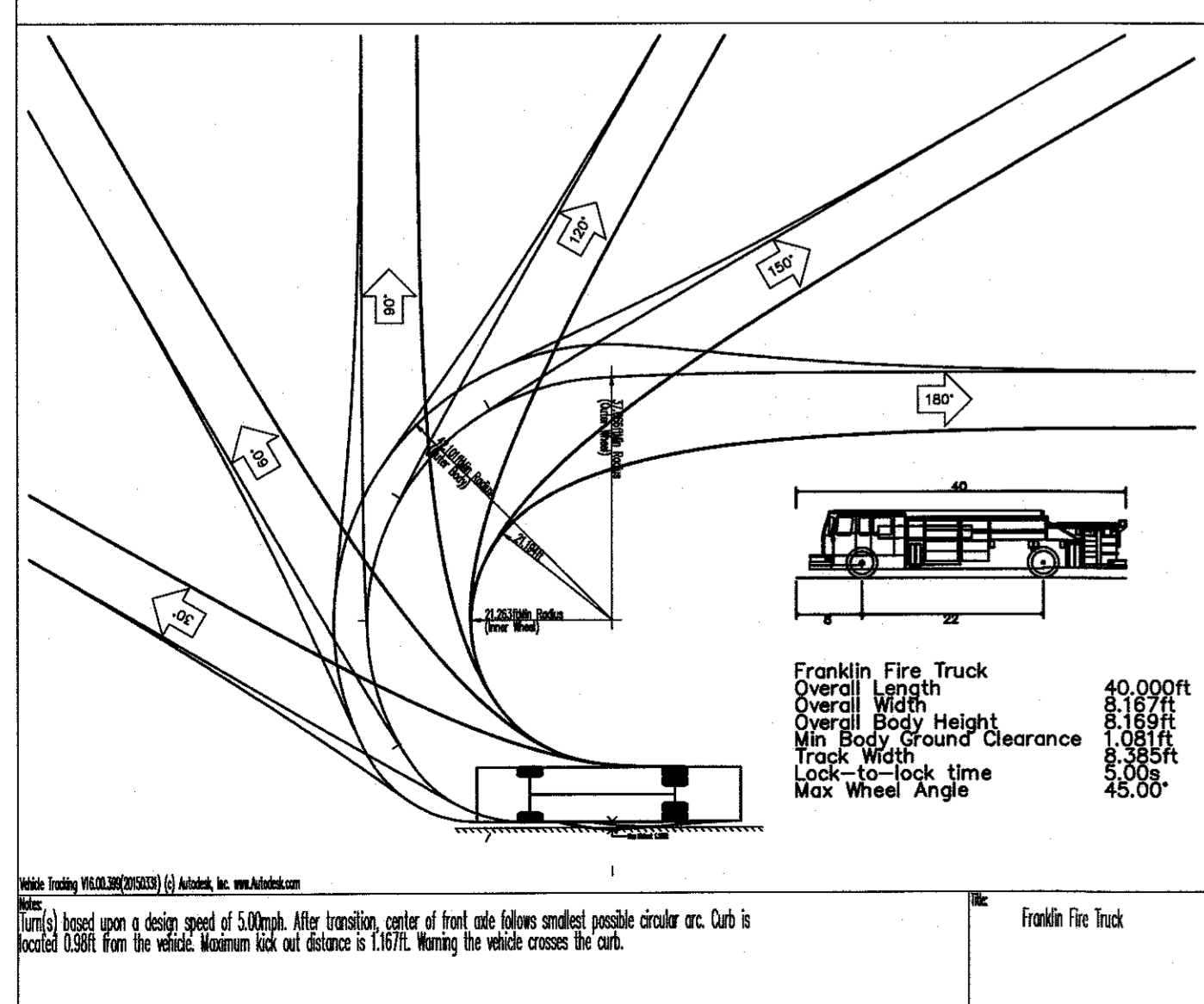
**TURNING RADIUS PLAN
SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION
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Notes:
1. (Turn) is based upon a design speed of 5.00mph. After transition, center of front axle follows smallest possible circular arc. Curve is located 0.50ft from the vehicle. Maximum kick out distance is 1.167ft. Warning the vehicle crosses the curb.

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RECORDED AT
SOLK COUNTY
OF DEEDS,
PG 356.



APPROVED DATE: _____

FRANKLIN ZONING BOARD

BEING A MAJORITY

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LOCUS REFERENCES

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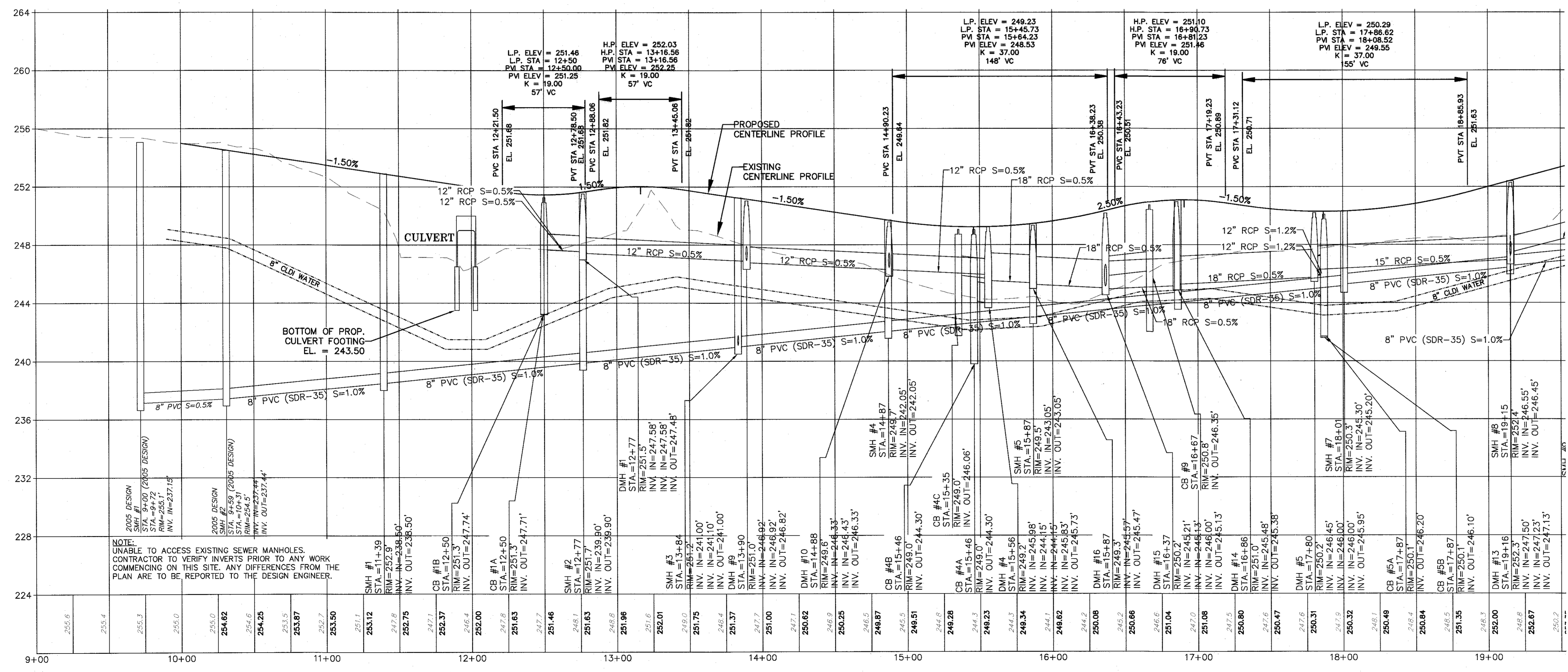
**FRANKLIN HEIGHTS
 PARCEL B
 40B DEVELOPMENT PLAN
 FRANKLIN MASSACHUSETTS
 PLAN & PROFILE
 STA. 9+00-19+50
 SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION
12/7/2022	REVISED PER TOWN COMMENTS

GRAPHIC SCALE: 1"=40'

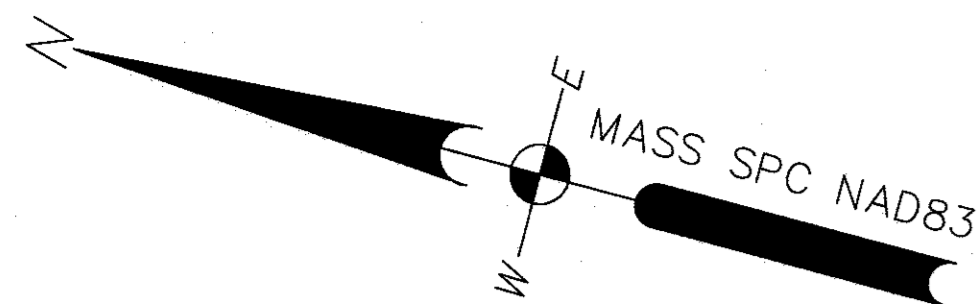
Guerriere & Halon, Inc.
 ENGINEERING & LAND SURVEYING
 55 WEST CENTRAL ST. PH. (508) 528-3221
 FRANKLIN, MA 02038 FX. (508) 528-7921
 www.gandhengineering.com

SHEET **7 OF 12** JOB NO. **F4471**



**TROOPER PAUL BARRY WAY
 STA. 9+00-19+50**

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F4471

12-8-2022

APPROVED DATE: _____

FRANKLIN ZONING BOARD

BEING A MAJORITY

LEGAL NOTES

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OWNER(S)

JOSEPHINE A. FARINA AND CATHERINE L. MEDAGLIA,
TRUSTEES OF THE HARMONY NOMINEE REALTY TRUST
PO BOX 600269
120 ADAMS STREET
NEWTON, MA 02460

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HORNING & SCHWONE PC
5 COMMONWEALTH ROAD, 4TH FLOOR
NATICK, MA 01760

APPLICANT

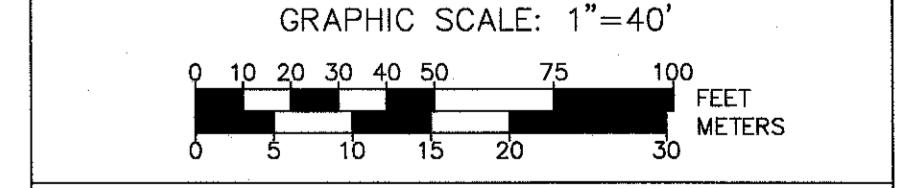
OLIVER CROSSING REALTY TRUST
148 PARK STREET
NORTH READING MA, 01864

LOCUS REFERENCES

PLAN BK. 553 PLAN PG. 1 OF 2006
A.M. 219 LOT 178.2

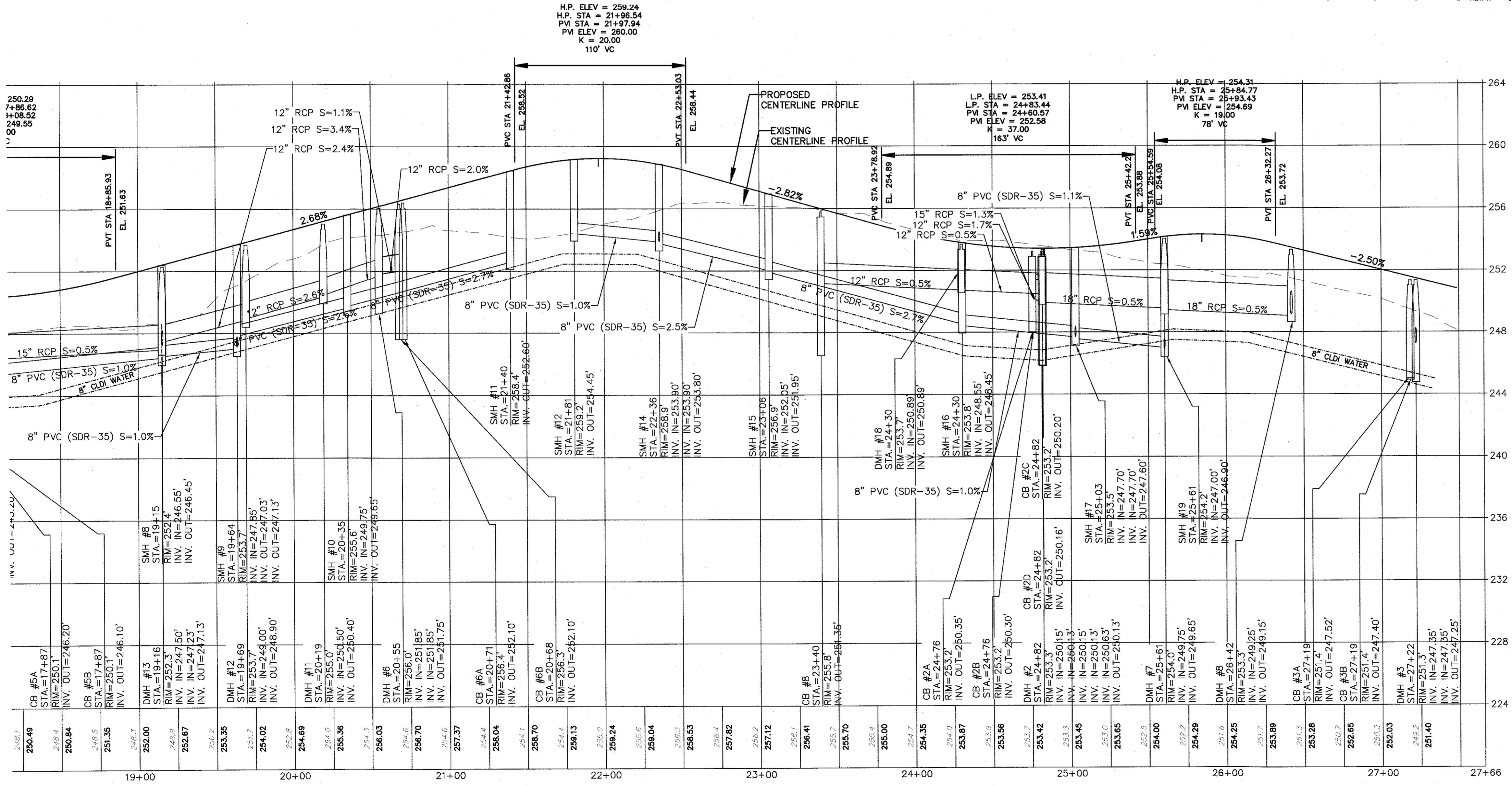
**FRANKLIN HEIGHTS
PARCEL B
40B DEVELOPMENT PLAN
FRANKLIN MASSACHUSETTS
PLAN AND PROFILE
STA. 18+50 - 27+66
SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION
12/7/2022	REVISED PER TOWN COMMENTS



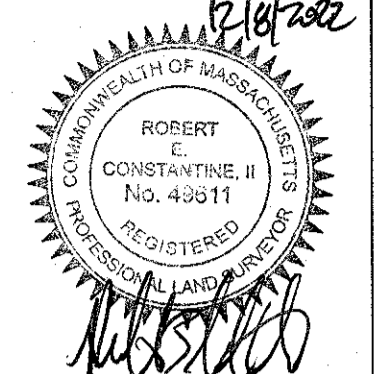
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**TROOPER PAUL BARRY WAY
STA. 19+50-27+66**

G:\CD\Franklin\F4471\DWG\F4471-SITE REV2_1.dwg, 12/8/2022 2:55:09 PM



APPROVED DATE: _____

FRANKLIN ZONING BOARD

BEING A MAJORITY

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 HORNUNG & SCIMONE PC
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 NATICK, MA 01760

APPLICANT

OLIVER CROSSING REALTY TRUST
 148 PARK STREET
 NORTH READING MA, 01864

LOCUS REFERENCES

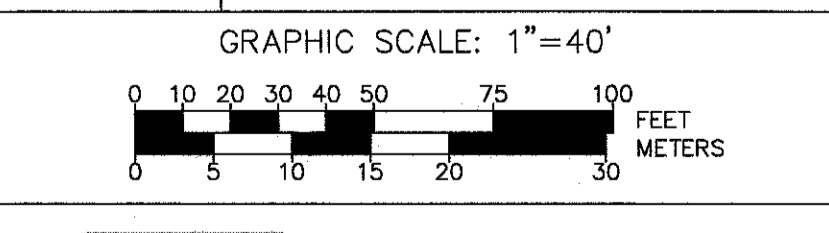
PLAN BK. 553 PLAN PG. 1 OF 2006
 A.M. 219 LOT 178.2

**FRANKLIN HEIGHTS
 PARCEL B
 40B DEVELOPMENT PLAN
 FRANKLIN MASSACHUSETTS**

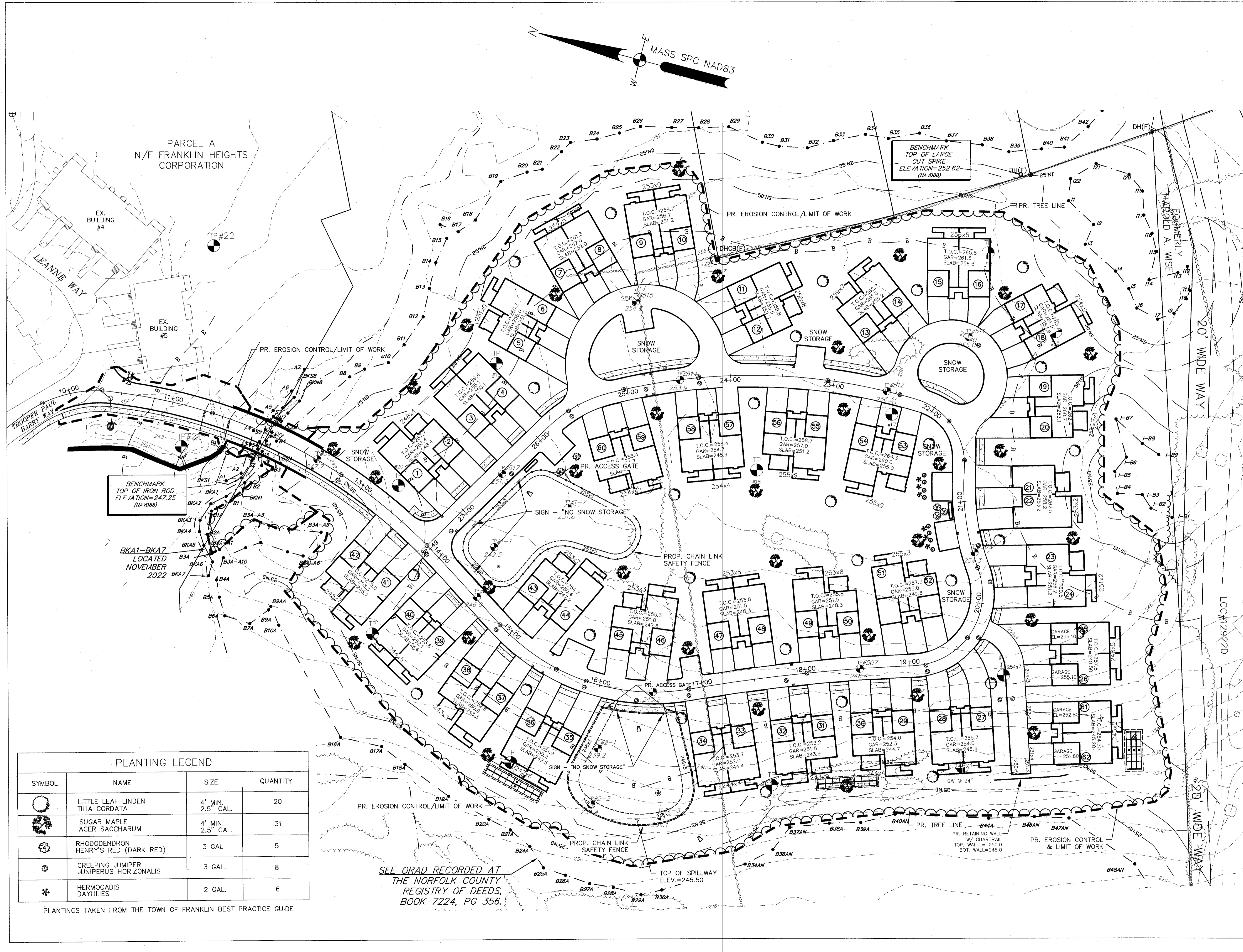
**LANDSCAPE PLAN
 SEPTEMBER 14, 2022**

DATE	REVISION DESCRIPTION
12/7/2022	REVISED PER TOWN COMMENTS

DATE	REVISION DESCRIPTION



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BENCHMARK
 TOP OF IRON ROD
 ELEVATION=247.25
 (NAVD88)

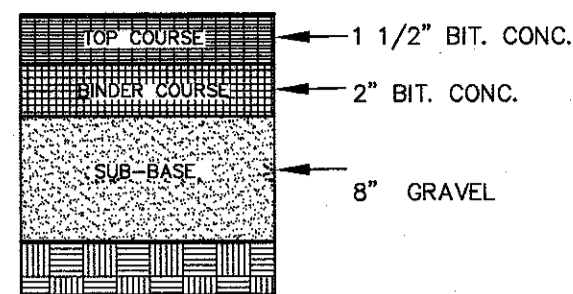
BENCHMARK
 TOP OF LARGE
 CUT SPIKE
 ELEVATION=252.62
 (NAVD88)

PLANTING LEGEND

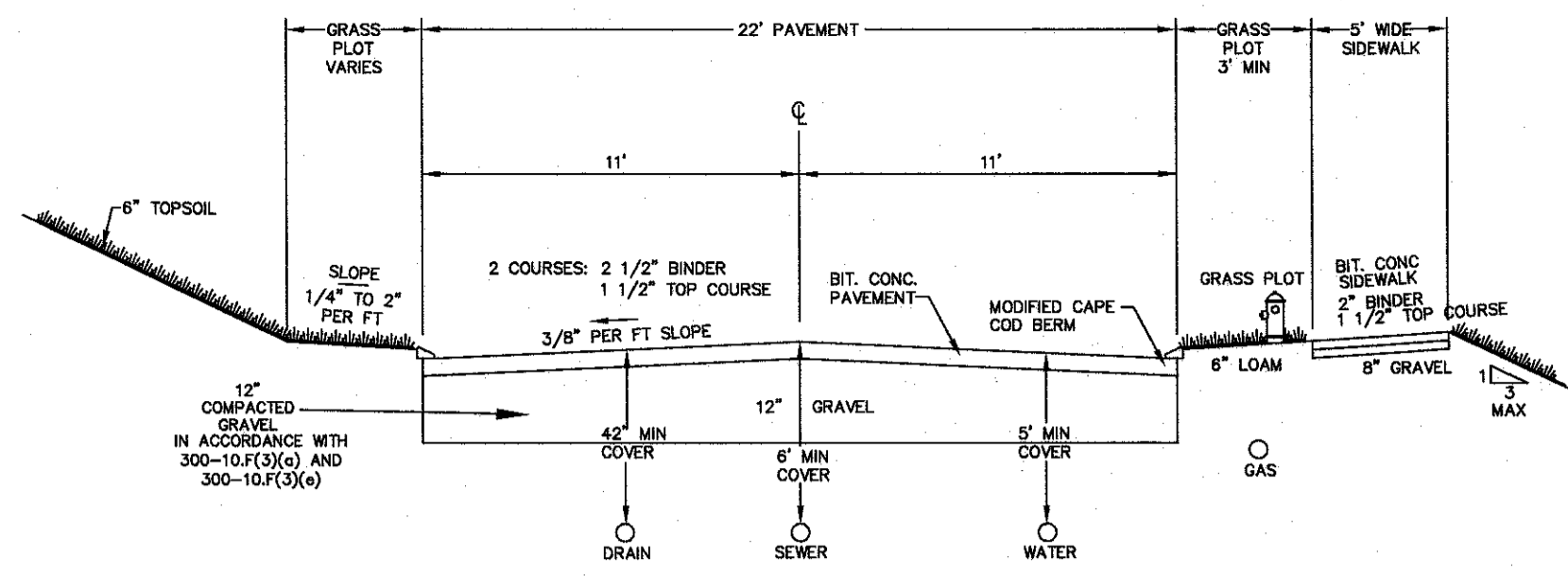
SYMBOL	NAME	SIZE	QUANTITY
	LITTLE LEAF LINDEN TILIA CORDATA	4" MIN. 2.5" CAL.	20
	SUGAR MAPLE ACER SACCHARUM	4" MIN. 2.5" CAL.	31
	RHODODENDRON HENRY'S RED (DARK RED)	3 GAL.	5
	CREeping JUNIPER JUNIPERUS HORIZONTALIS	3 GAL.	8
	HERMODADIS DAYLILIES	2 GAL.	6

PLANTINGS TAKEN FROM THE TOWN OF FRANKLIN BEST PRACTICE GUIDE

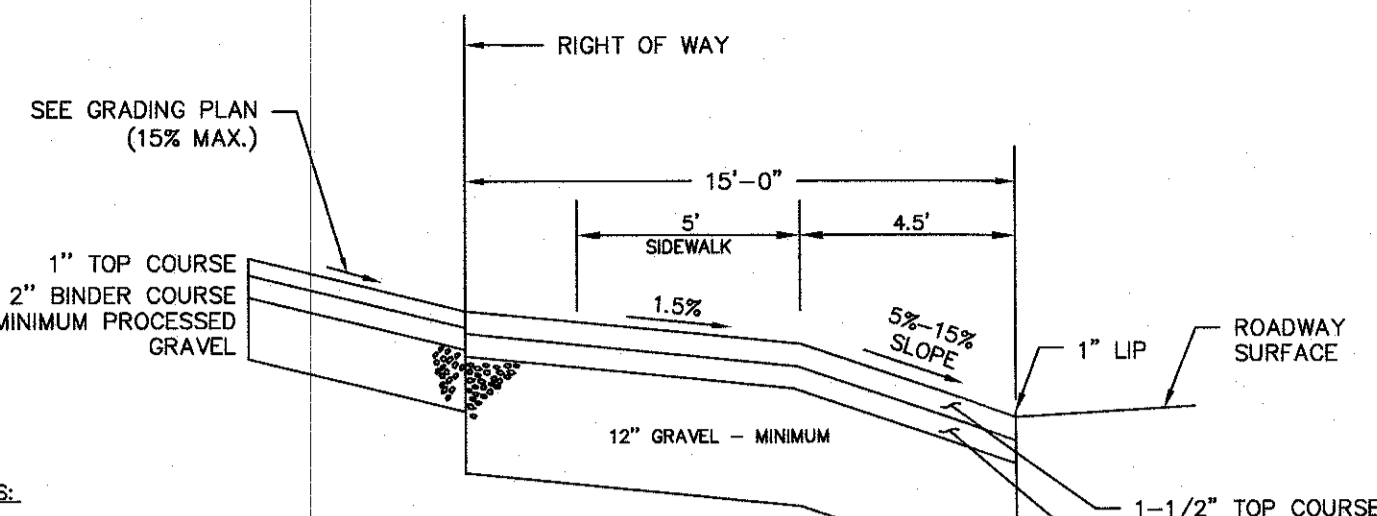
SEE ORAD RECORDED AT
 THE NORFOLK COUNTY
 REGISTRY OF DEEDS,
 BOOK 7224, PG 356.



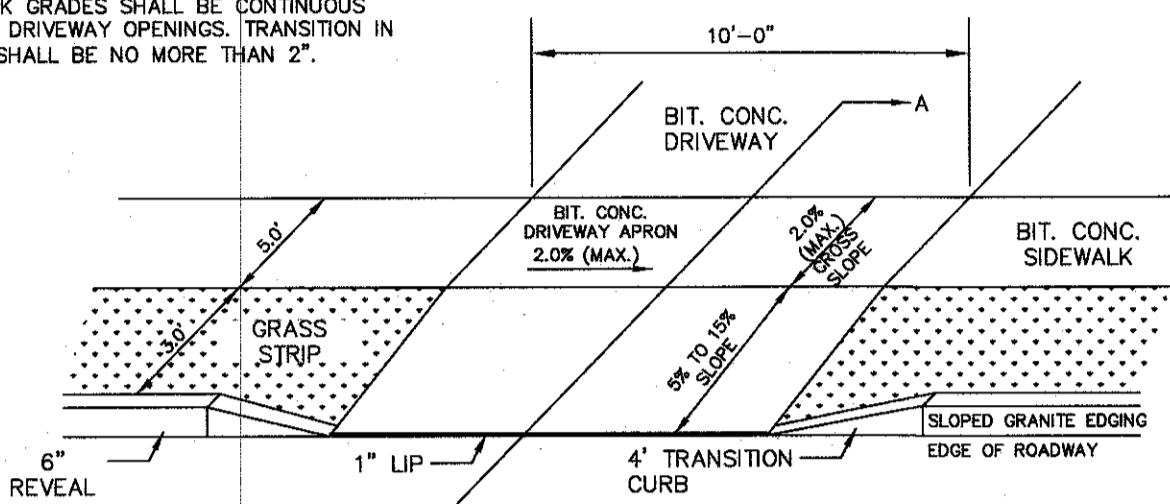
BIT. CONC. SIDEWALK SECTION
N.T.S.



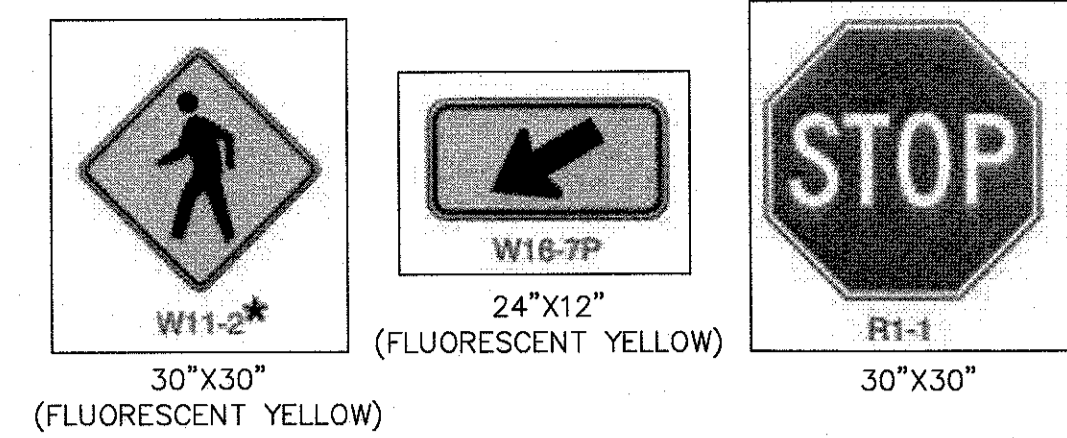
TYPICAL ROAD CROSS SECTION
N.T.S.



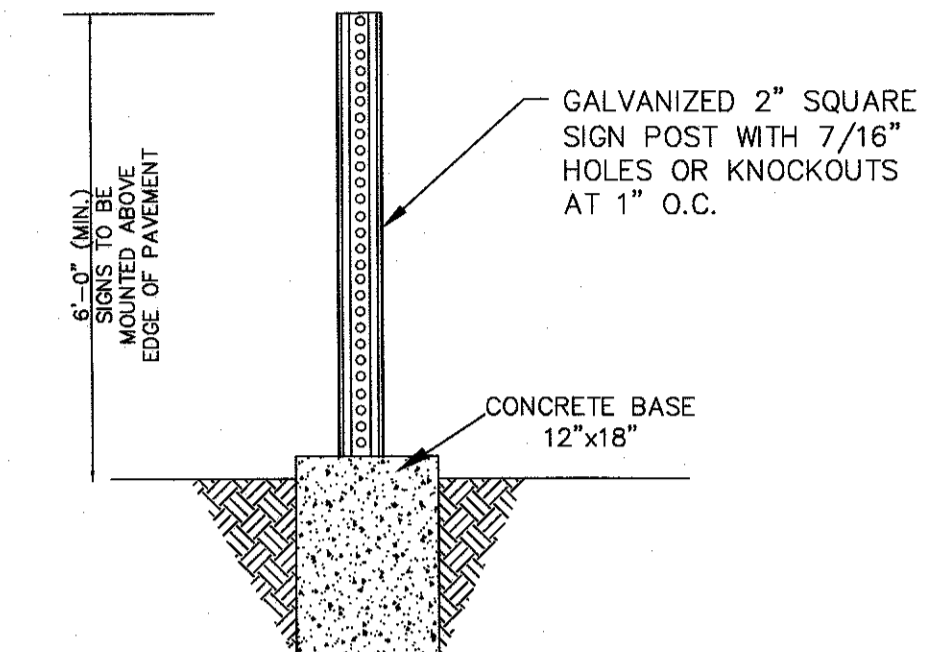
- NOTES:
- DRIVEWAY WIDTH AT EDGE OF PAVEMENT SHALL BE 16'-0" (MIN.)
 - SIDEWALK GRADE AT BACK OF SIDEWALK SHALL BE NO LESS THAN 6" ABOVE GRADE AT GUTTER LINE.
 - SIDEWALK GRADES SHALL BE CONTINUOUS ACROSS DRIVEWAY OPENINGS. TRANSITION IN GRADE SHALL BE NO MORE THAN 2".



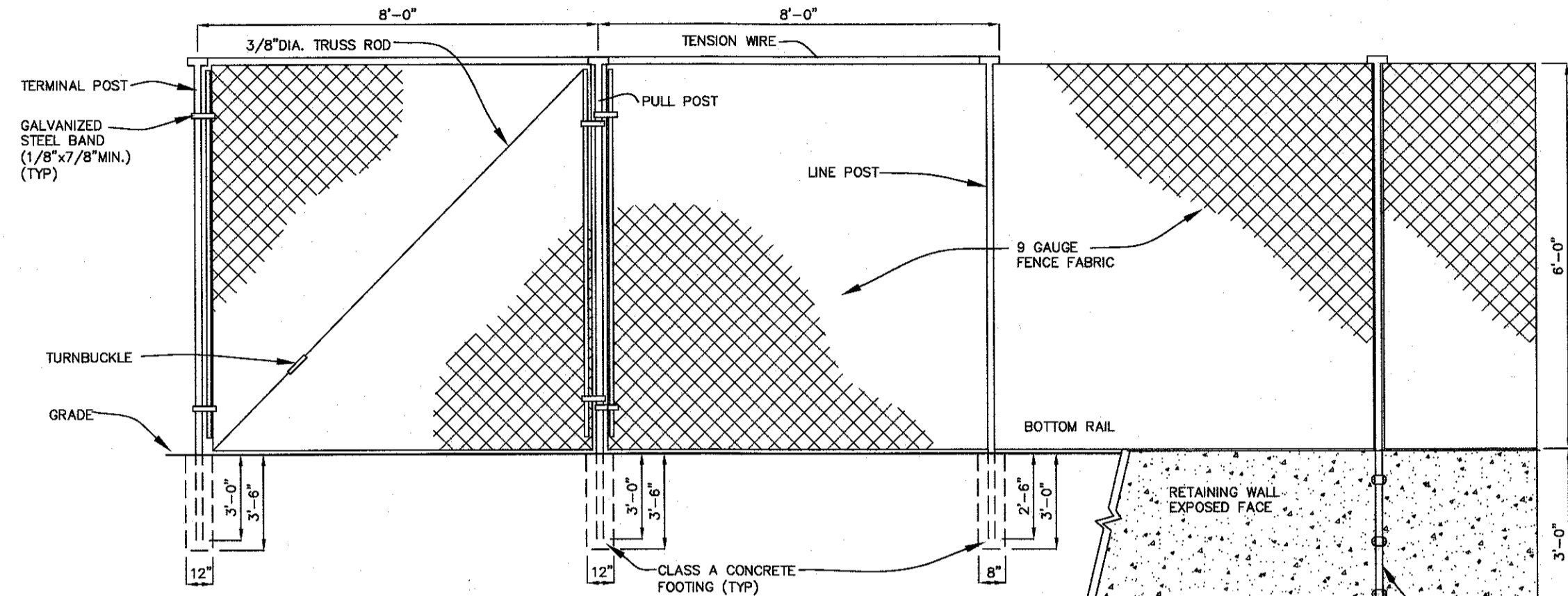
SITE DRIVEWAY APRON DETAIL
NOT TO SCALE



SIGN DETAILS
N.T.S.



SIGN POST DETAIL
NOT TO SCALE

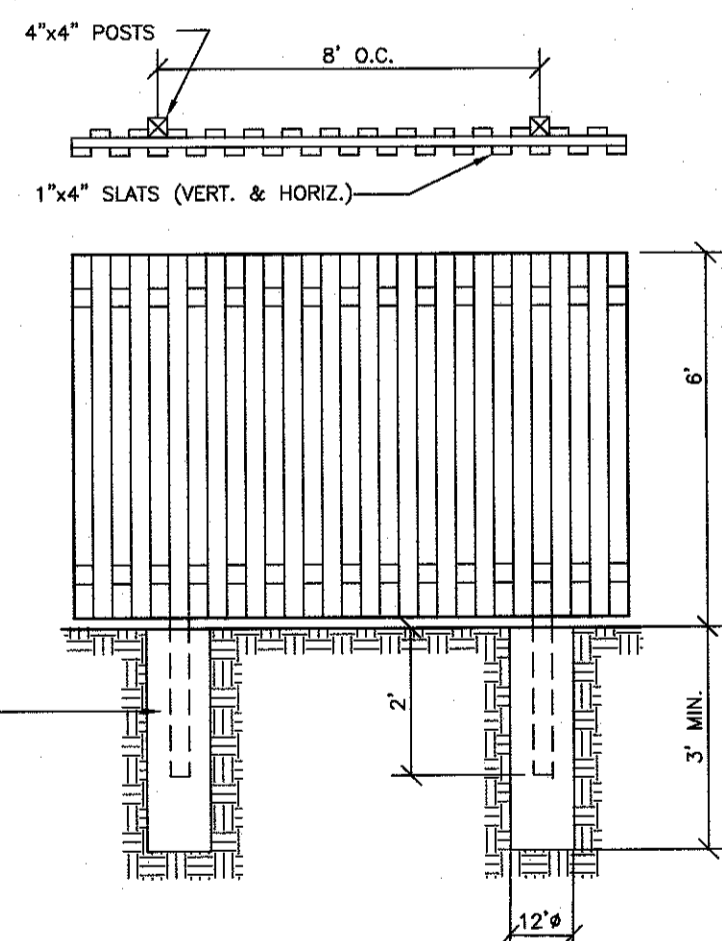


FENCE AT GRADE
NOT TO SCALE

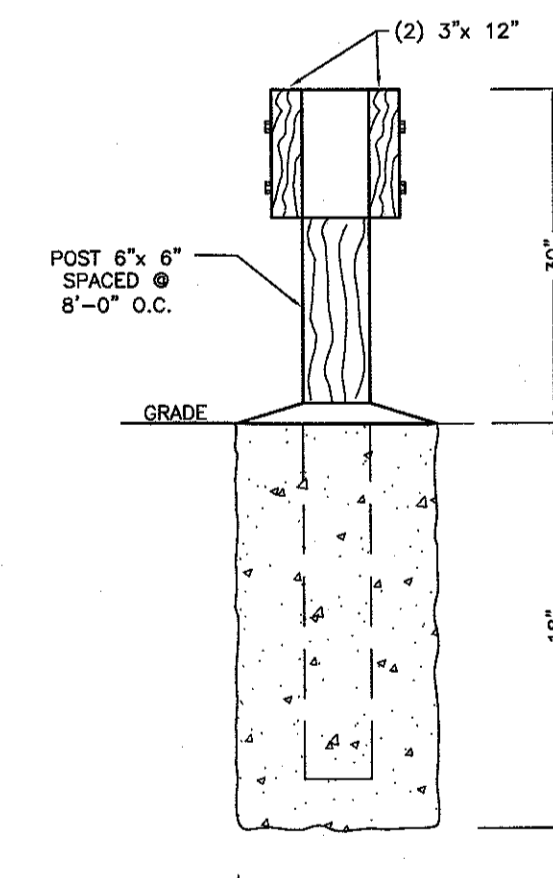
FENCE AT RETAINING WALL
NOT TO SCALE

CHAIN LINK FENCE

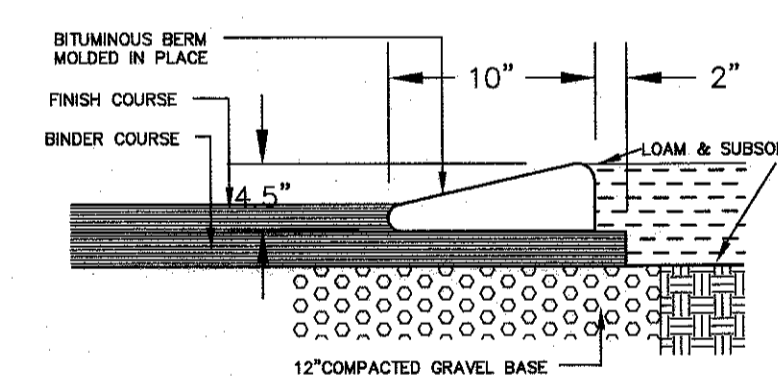
- NOTES:
- TOP TENSION WIRE SHALL BE 7 GAUGE ATTACHED WITH 12.5 GAUGE HOC RINGS, 12" O.C.
 - TOP RAIL WIRE TIES SHALL BE SPACED AT 24" MAX.
 - FENCE FABRIC TO BE LOCATED ON OUTSIDE OF FENCE POSTS.
 - BOTTOM OF FENCE FABRIC TO BE SECURED TO RETAINING WALL.



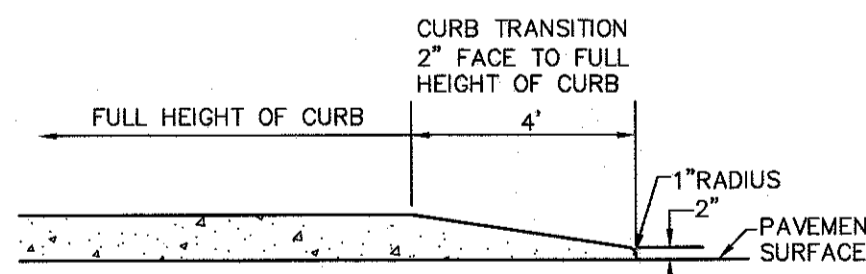
FENCE DETAIL
N.T.S.



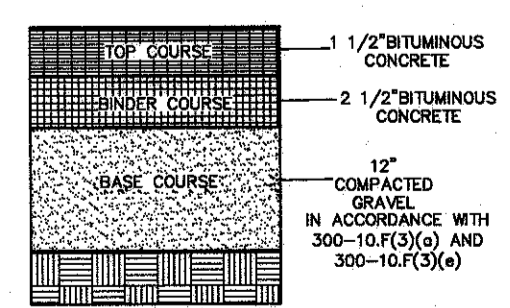
WOODEN GUARD RAIL
N.T.S.



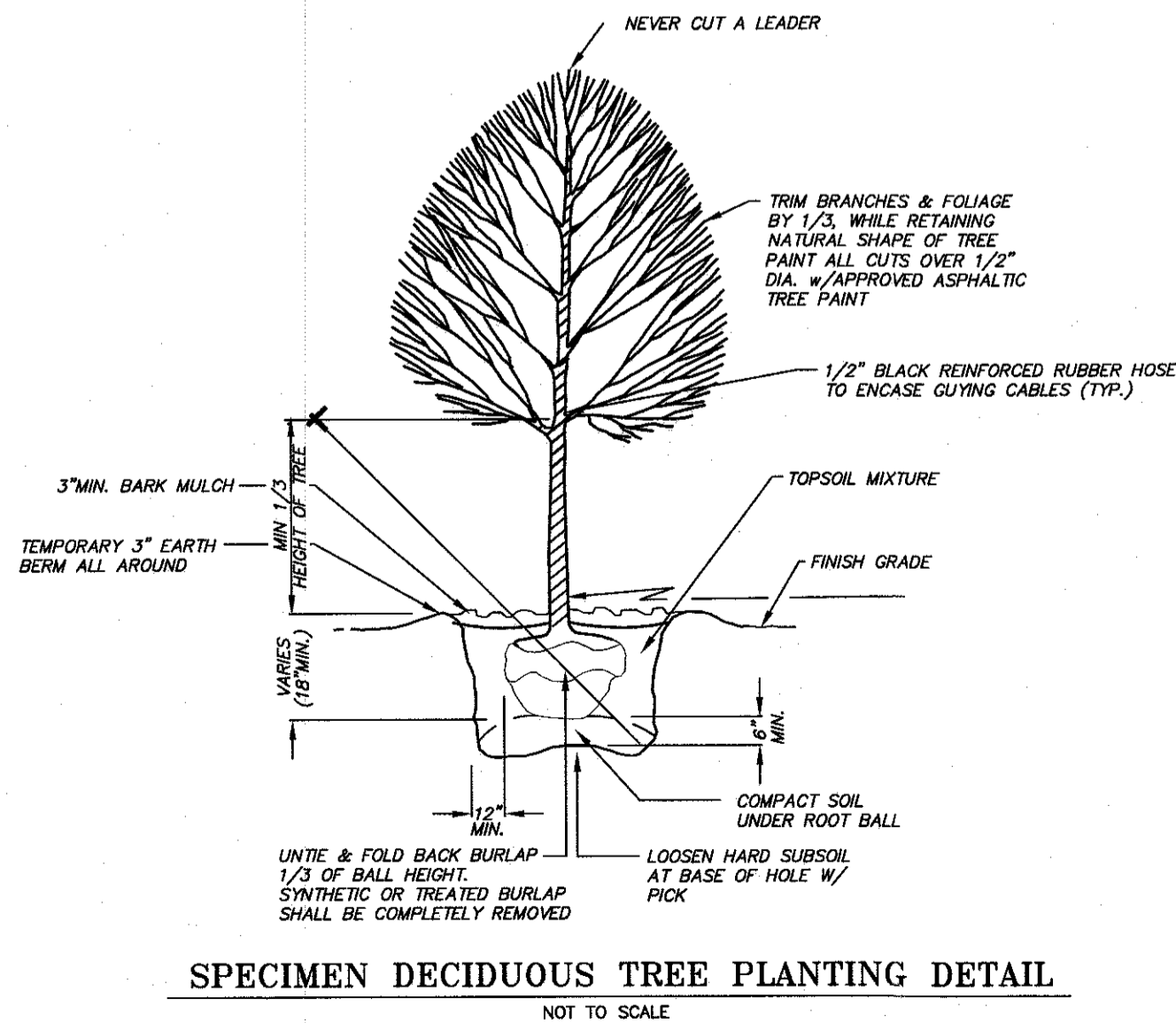
MODIFIED BITUMINOUS CAPE COD BERM DETAIL
N.T.S.



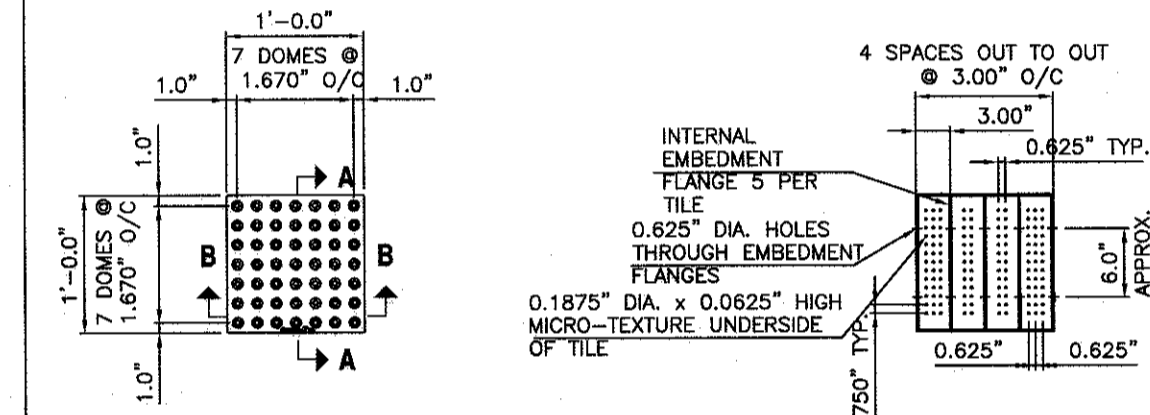
TRANSITION CURB DETAIL
N.T.S.



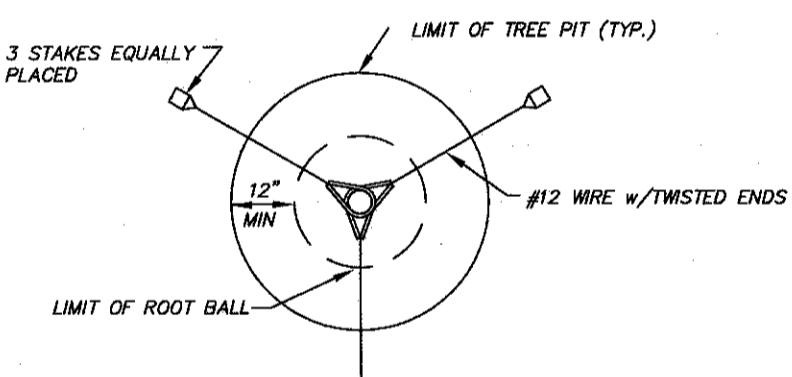
PAVEMENT SECTION
N.T.S.



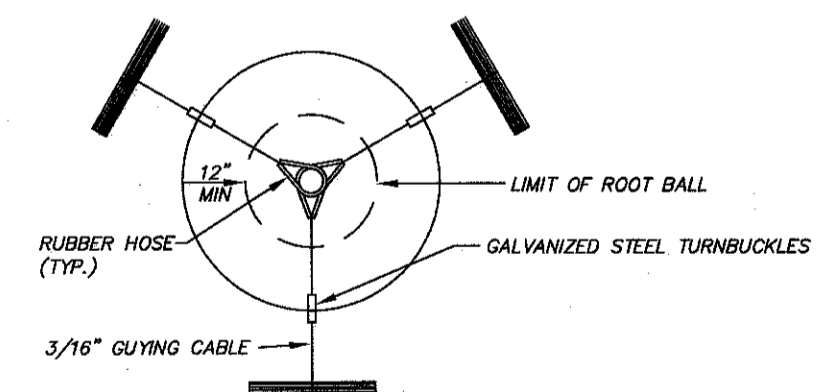
SPECIMEN DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



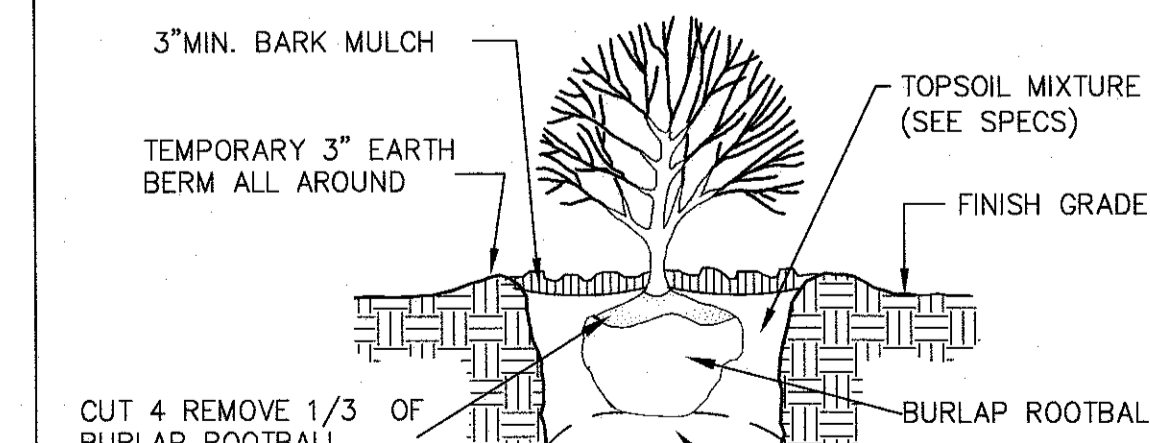
DETECTABLE WARNING SURFACE



GUYING PLAN



GUYING PLAN



SHRUB DETAIL
N.T.S.

APPROVED DATE: _____
FRANKLIN ZONING BOARD

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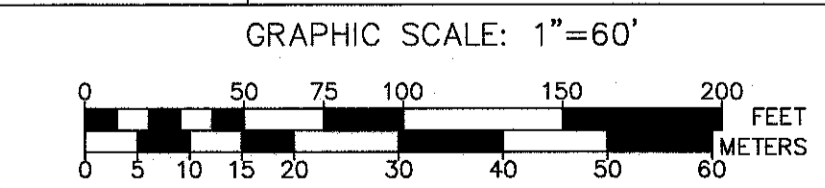
APPLICANT
OLIVER CROSSING REALTY TRUST
148 PARK STREET
NORTH READING MA, 01864

LOCUS REFERENCES
PLAN BK. 553 PLAN PG. 1 OF 2006
A.M. 219 LOT 178.2

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PARCEL B
40B DEVELOPMENT PLAN
FRANKLIN MASSACHUSETTS**

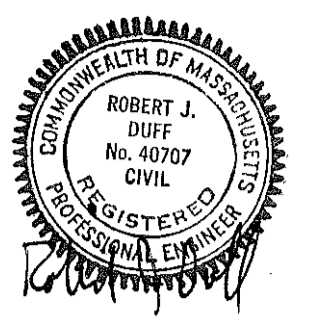
CONSTRUCTION DETAILS
SEPTEMBER 14, 2022

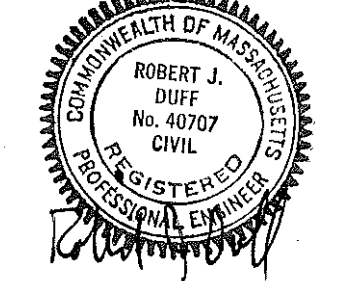
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FRANKLIN ZONING BOARD

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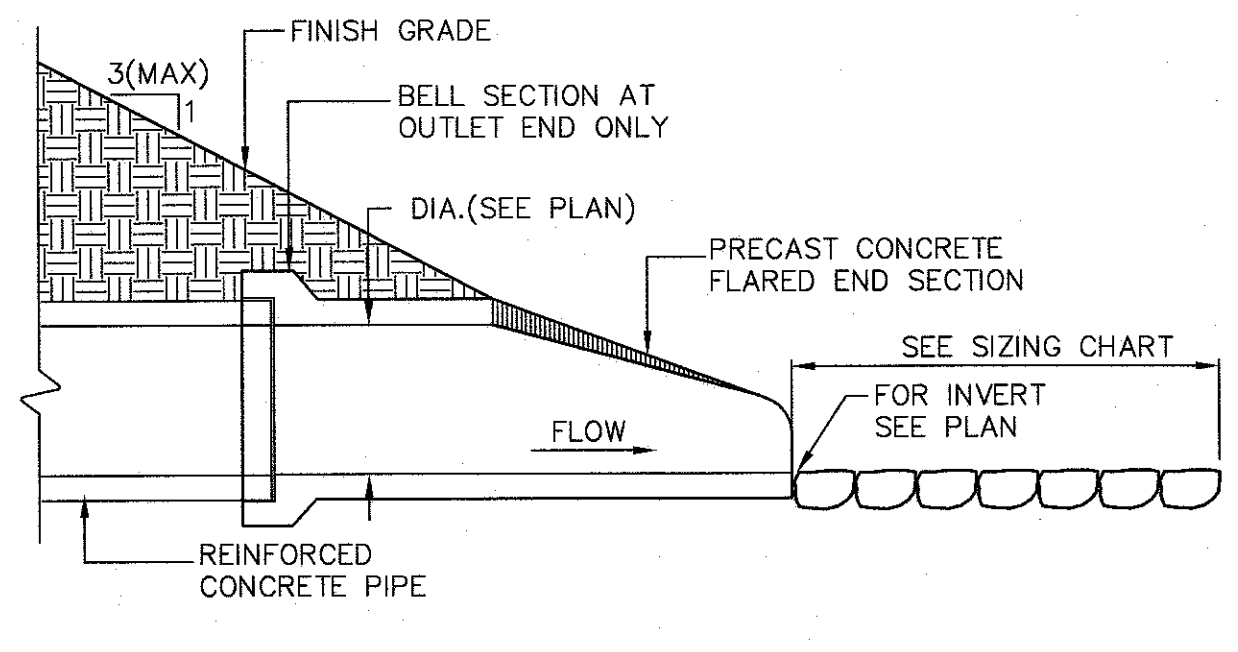
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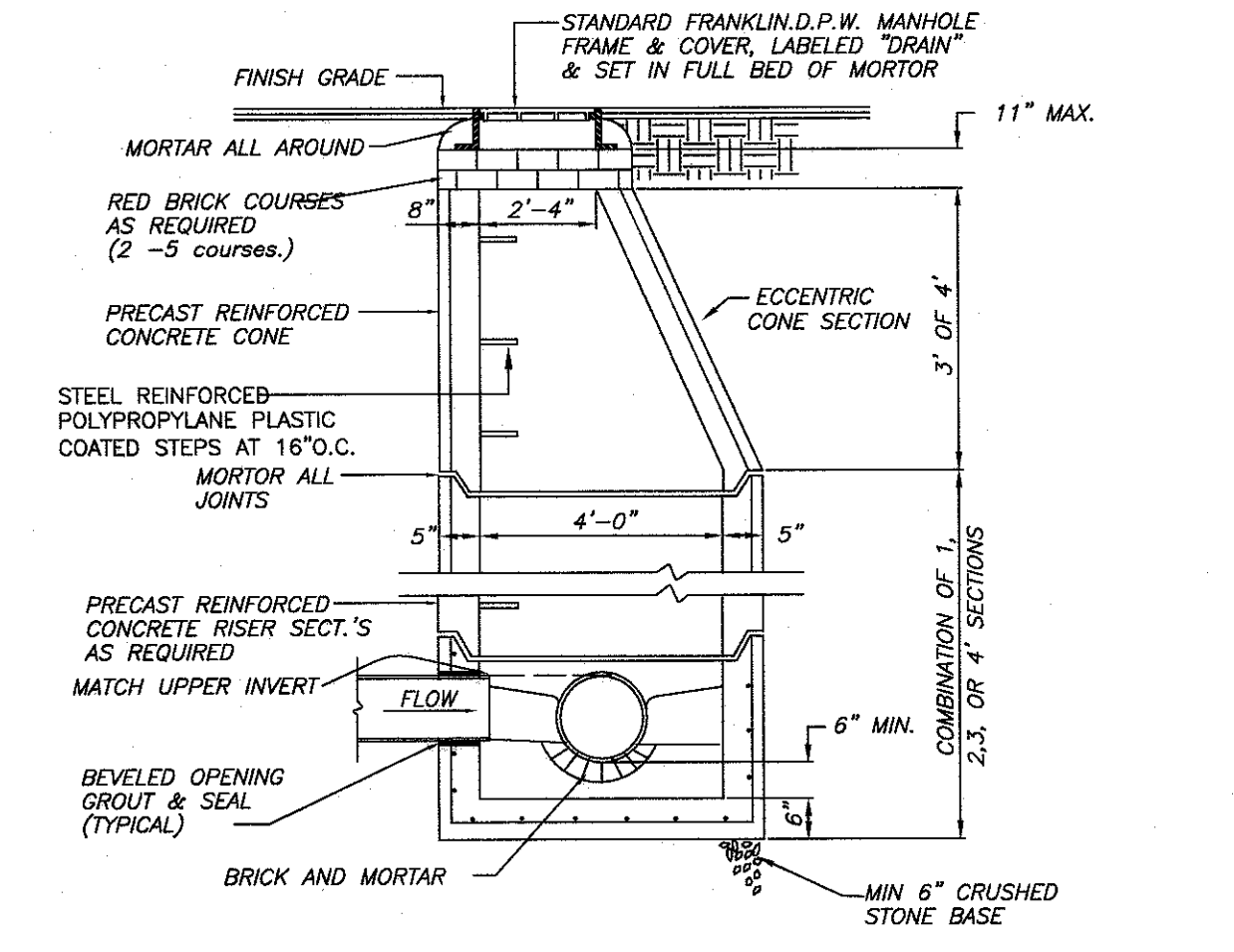
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0 50 75 100 150 200 FEET
0 5 10 15 20 30 40 50 60 METERS

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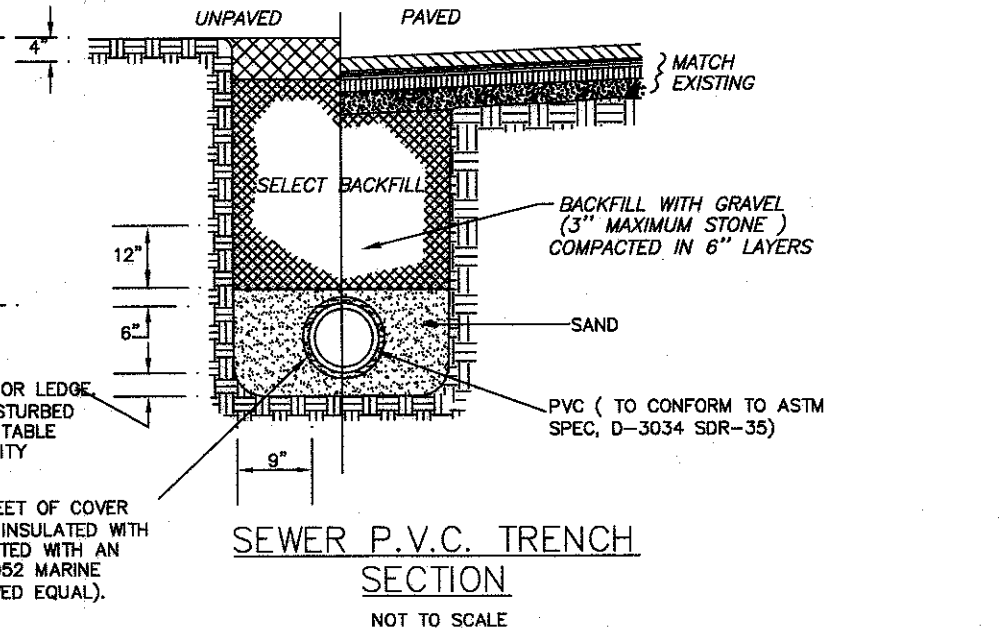
SHEET 11 OF 12 JOB NO. F4471



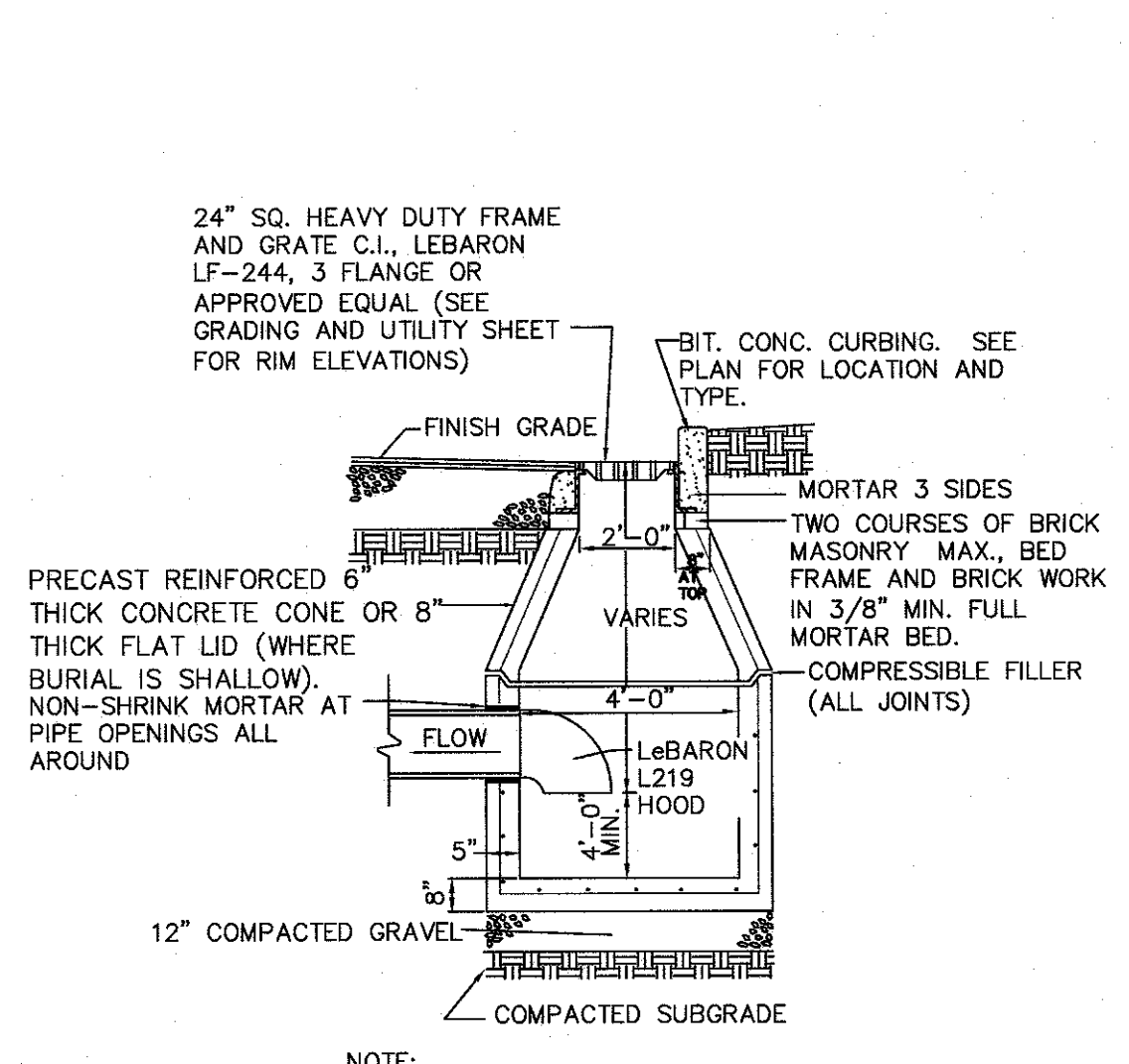
TYPICAL PRECAST CONCRETE FLARED END SECTION DETAIL
N.T.S.



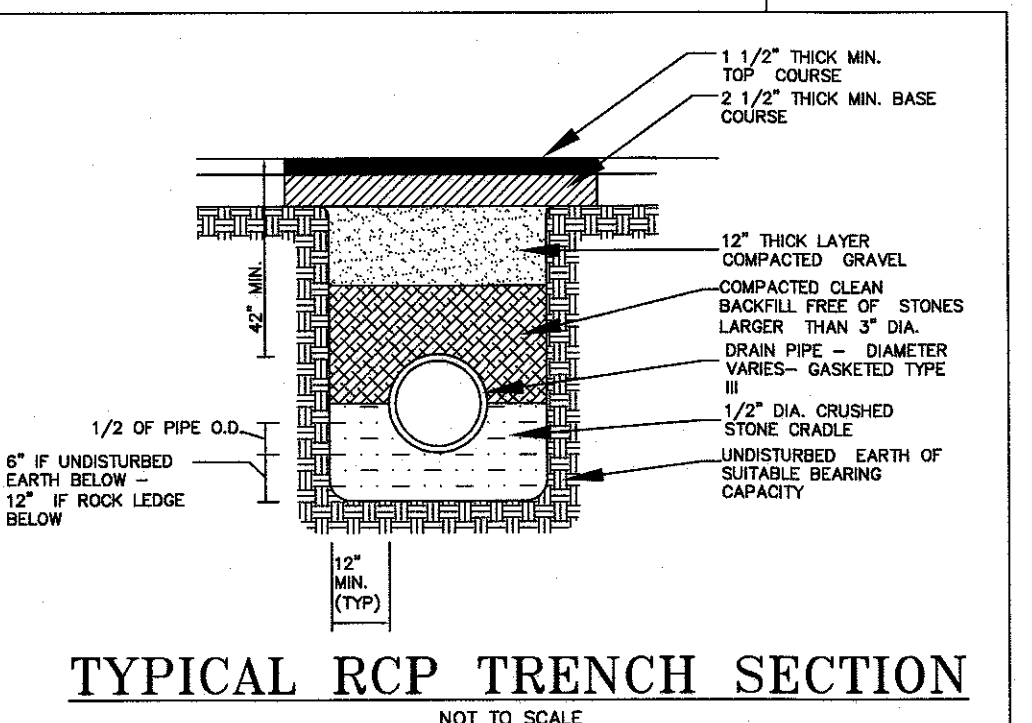
PRECAST CONCRETE DRAIN MANHOLE
N.T.S.



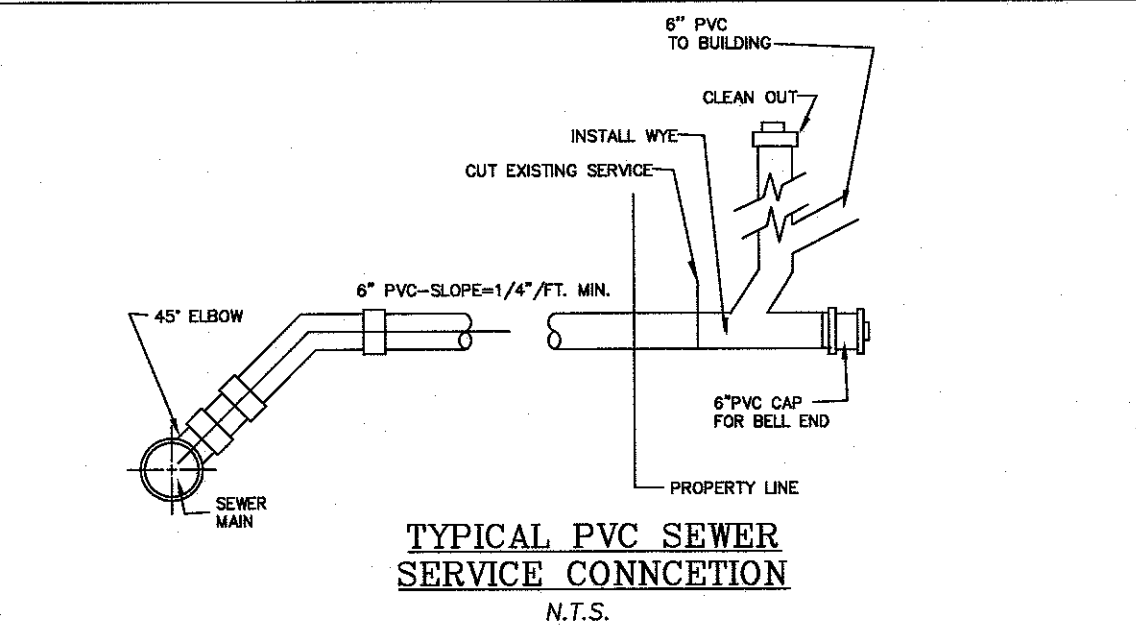
SEWER P.V.C. TRENCH SECTION
N.T.S.



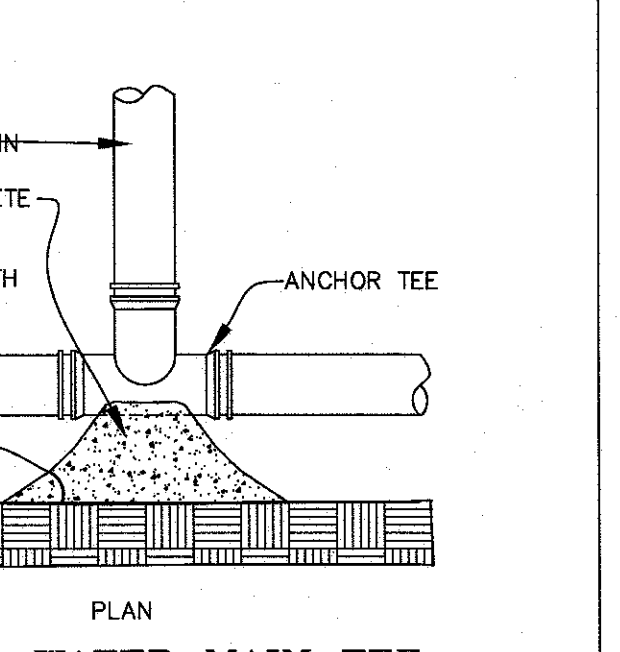
PRECAST CONCRETE CATCH BASIN
N.T.S.



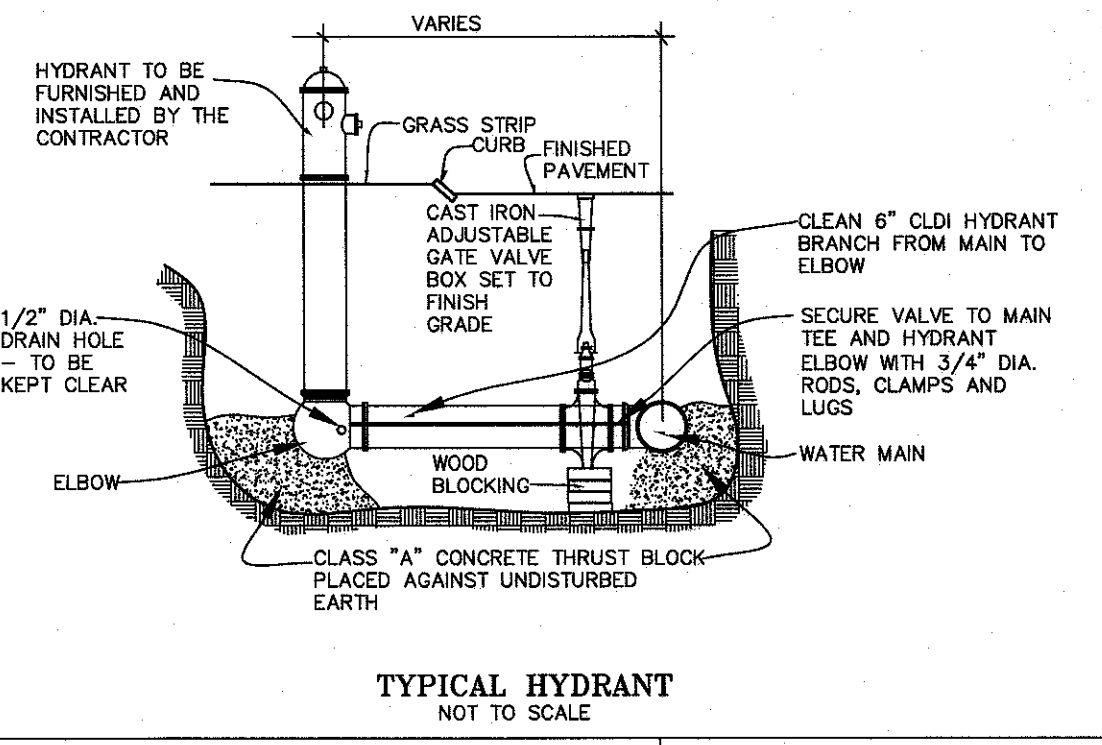
TYPICAL RCP TRENCH SECTION
N.T.S.



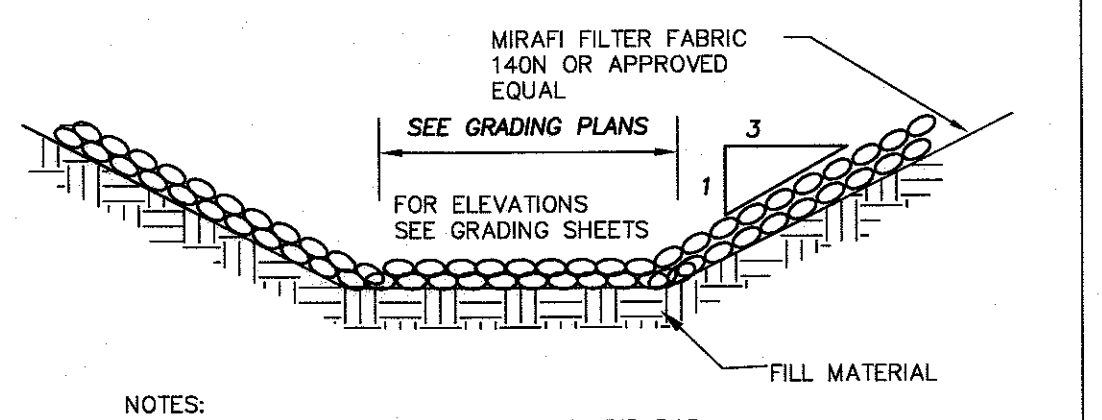
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N.T.S.



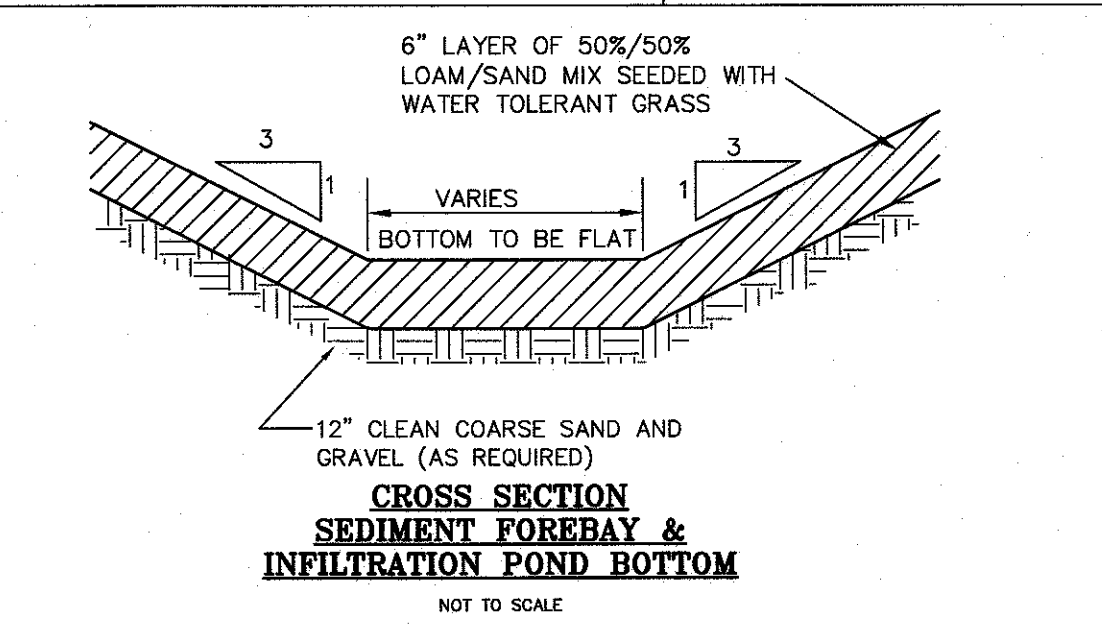
TYPICAL WATER MAIN TEE
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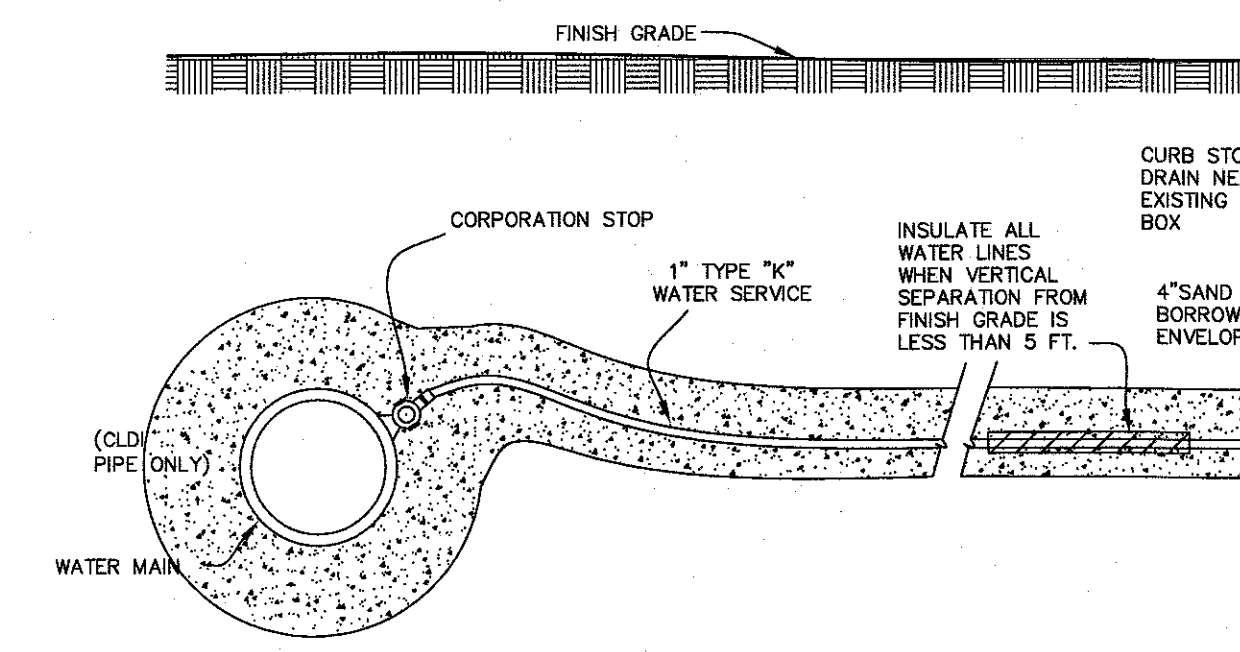
TYPICAL HYDRANT
N.T.S.



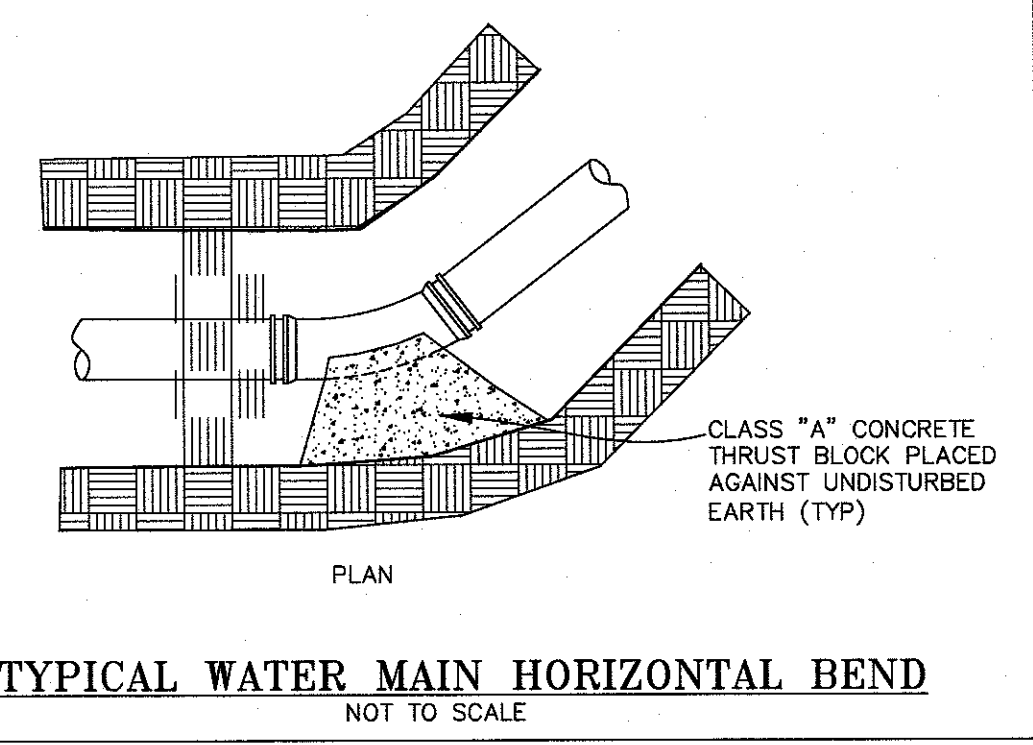
RIP-RAP SPILLWAY DETAIL
N.T.S.



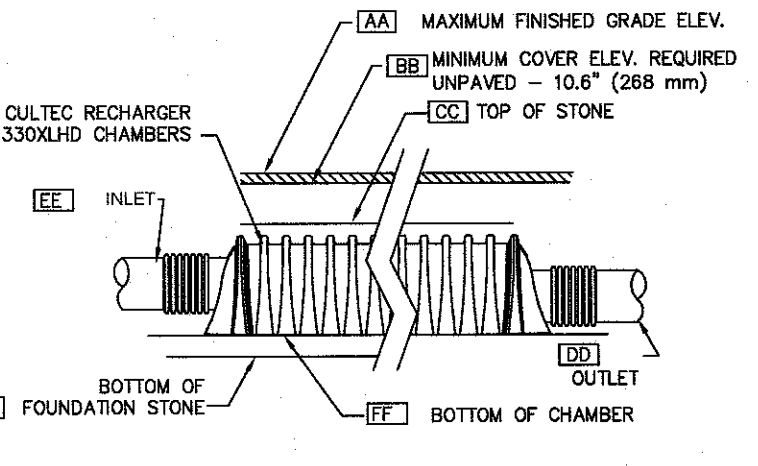
CROSS SECTION SEDIMENT FOREBAY & INFILTRATION POND BOTTOM
N.T.S.



HOUSE SERVICE CONNECTION
NOT TO SCALE



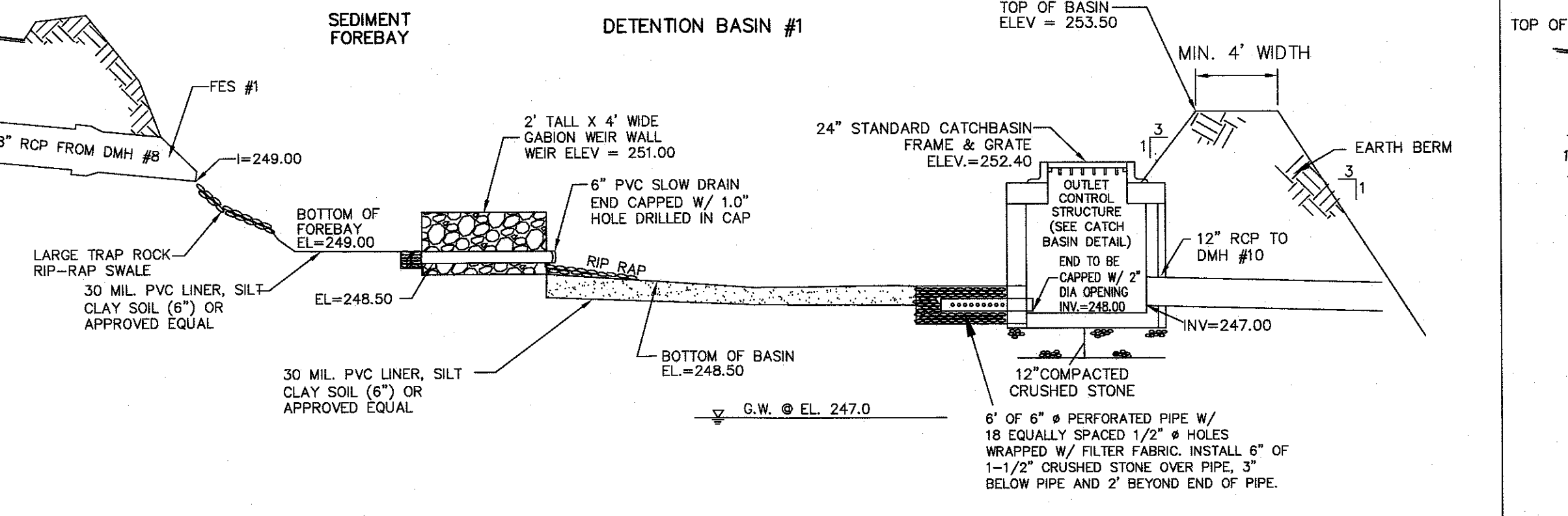
TYPICAL WATER MAIN HORIZONTAL BEND
NOT TO SCALE



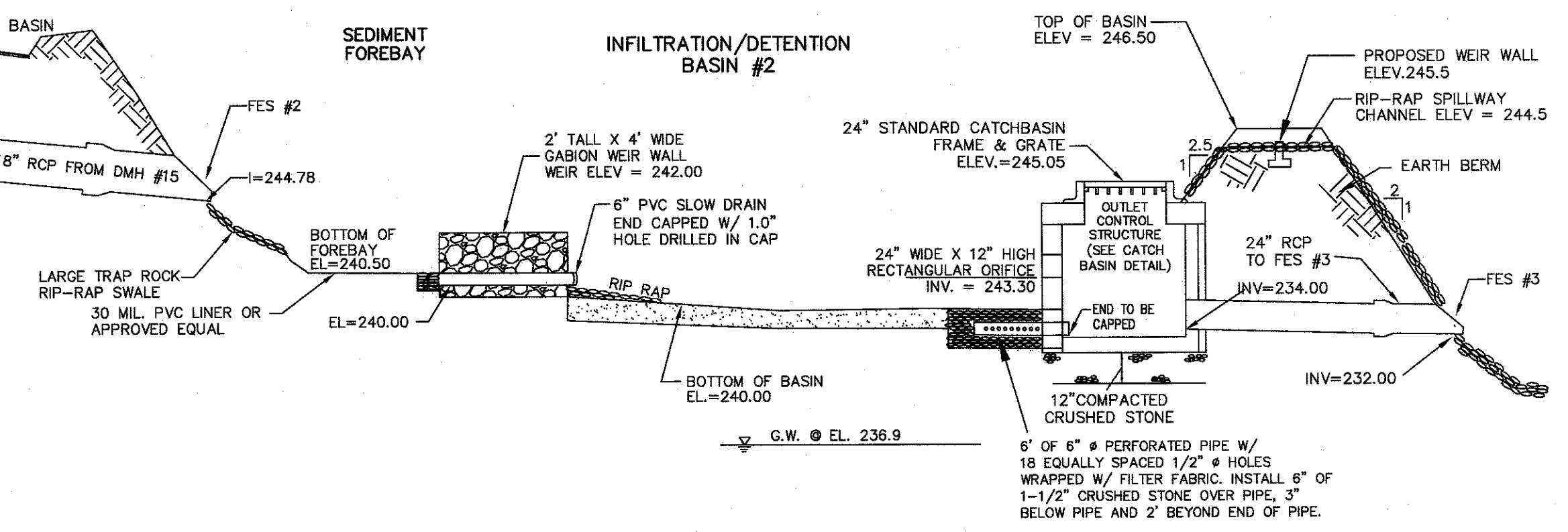
EARTH BERM
NOT TO SCALE

	SYSTEM #1	SYSTEM #2	SYSTEM #3
AA MAXIMUM FINISHED GRADE ELEV.	213.80	213.20	214.50
BB MINIMUM COVER ELEV.	242.00	243.50	244.00
CC TOP OF STONE	241.00	242.50	243.00
DD 12\"/>			

NOTES:
1. CHAMBERS ARE TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS. SEE STORMWATER REPORT FOR INSTALLATION INSTRUCTIONS AND DETAILS.
2. END AND SIDE STONE SURROUNDING CHAMBERS SHALL BE A MINIMUM OF 21\"/>

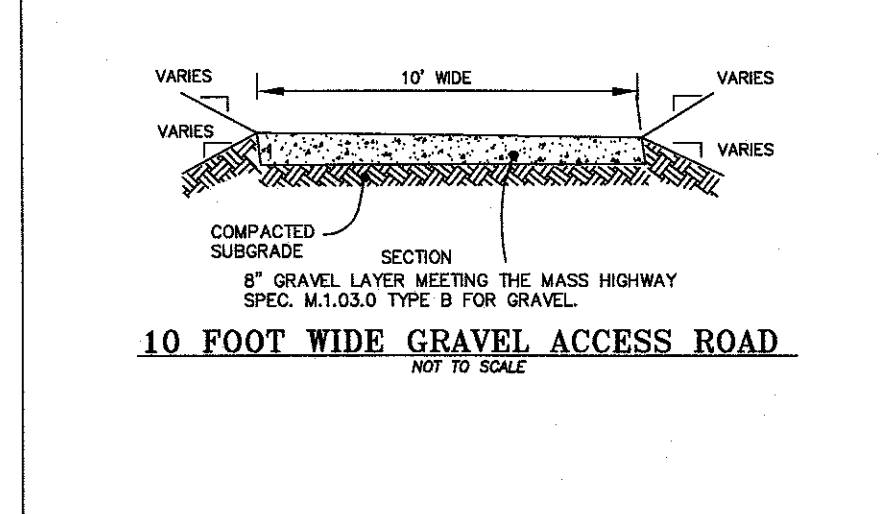


SEDIMENT FOREBAY DETENTION BASIN #1
N.T.S.



INFILTRATION/DETENTION BASIN #2
N.T.S.

DETENTION BASIN NOTES:
1. ALL CONSTRUCTION TO BE PERFORMED UNDER STRICT SUPERVISION OF THE DESIGN ENGINEER.
2. THE INFILTRATION POND SHALL BE CONSTRUCTED OF CLEAN DENSE MATERIAL (TLL) FREE OF STUMPS, LUMBER, LARGE BOULDERS OR CONSTRUCTION WASTE OF ANY KIND.
3. THE RIPRAP SHALL BE PLACED ON 3-5\"/>



WEIR WALL
NOT TO SCALE

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General erosion control and Construction notes

- The limits of all clearing, grading and disturbance shall be kept to a minimum within the proposed area of construction. All areas outside the limits of disturbance shall remain totally undisturbed.
- Inspect all sediment and erosion control measures at least once per week and within 24 hours after every rainfall event.
- Maintain all erosion and sediment control measures or replace as required to assure proper function.
- Contractor shall immediately repair any and all erosion and sediment controls found to be faulty.
- Any and all debris and litter which accumulates in the basins shall be removed weekly.
- The contractor shall implement all reasonable erosion and sediment controls prior to the actual commencement of construction activities including the clearing and/or grubbing of any portion of the property. These measures shall be maintained in effect throughout the entire construction phase, or until the site has become stabilized with an adequate vegetative cover.
- Sediment build up behind filtermitt shall be monitored and be removed whenever it has accumulated to four inches in depth.
- Sediment build up in the basin shall be promptly removed if accumulation exceeds twelve (12) inches in depth at the outlets.
- Catch basins shall be protected with silt filters (silt sacks). Inspect sediment filters at least once per week and within 24 hours after rainfall that produces runoff.
- Clean or replace filters within 24 hours of inspection when sediment reaches one half of the filter sack depth. Catch basins shall be protected by sediment filters throughout the construction period and until all disturbed areas are thoroughly stabilized. Sumps shall be cleaned whenever sediment has accumulated to a depth of 24 inches and immediately following installation of permanent pavement.
- The contractor shall maintain an adequate stockpile of erosion control materials on-site at all times for emergency or routine replacement and shall include materials to repair or replace silt fence, haybales, stone filter dikes or any other devices planned for use during construction.
- The contractor is to inspect all controls no less than weekly, and in anticipation of rainfall events expected to exceed 1/2 inch in depth. All deficiencies noted during said inspection shall be repaired immediately and in no case shall a deficiency be allowed to go uncorrected during a rainfall event. The erosion control devices shall be maintained, reinforced, or replaced if necessary. All accumulated sediments and other materials collected by the sedimentation control systems shall be removed as necessary to insure proper function of systems and disposed of in a manner that is consistent with the intent of this plan, in an upland area.
- Storm drain inlet protection shall be used for all existing and proposed catch basins in the project area. Prior to completion of the project, all catch basins within the project area shall be cleaned.
- All disturbed earth slopes area to be stabilized with permanent vegetative cover, to be established as soon as possible. Disturbed areas that are not subject to construction traffic shall receive a permanent or temporary vegetative cover as soon as final contours are established. Temporary vegetative cover is to be established on all disturbed areas where construction activities will not require additional disturbance for period of 30 days or more. If the season prevents the establishment of vegetative cover, disturbed areas shall be mulched and then seeded as soon as weather conditions allow.
- All plantings shall be accomplished by the contractor as early as the possible upon completion of grading and construction.
- All plantings shall be watered and maintained by the contractor to ensure survival.
- Erosion Control shall remain in place until the Certificate of Compliance is issued

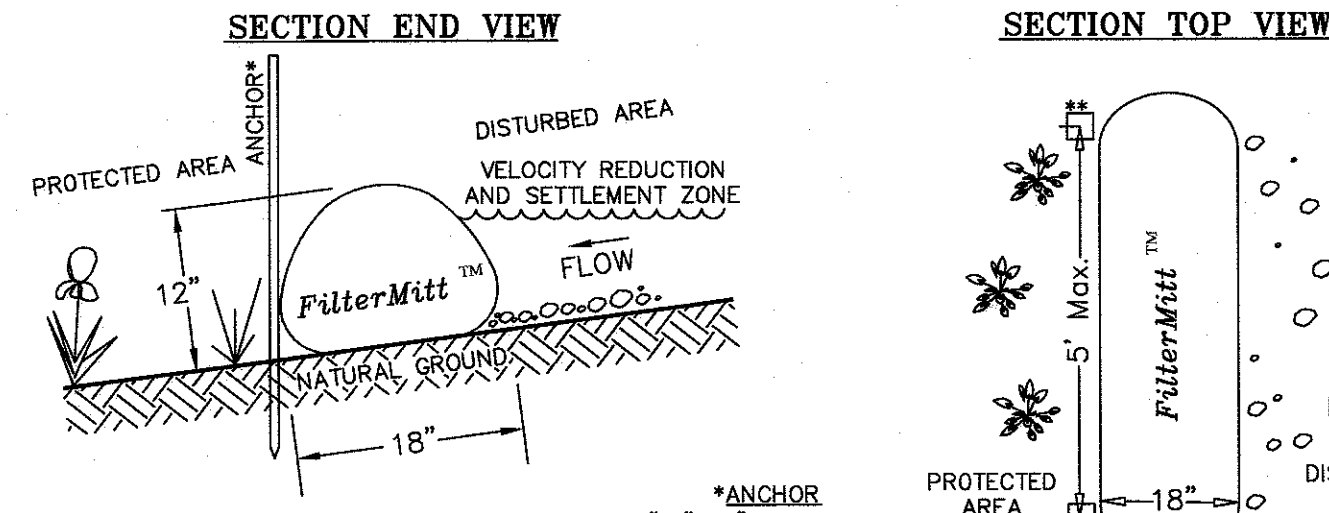
Erosion Control and Construction Sequence/Phase Plan:

The project is divided into five (5) phases to minimize erosion.

- Phase I**
- Install/maintain the erosion control along the wetland crossing from station 10+00 to 14+50
 - Using Conservation Commission approved or equal device to create suitable temporary access through wetland using wood or rubber mats, steel plates and temporary culvert as needed
 - Install perimeter erosion control for the entire site
 - Clear for road, wetland replication area, stormwater basin #1, units 41/42 (location of site trailer and storage containers)
 - Prepare replication area as designed and approved by Franklin Conservation Commission
 - Strip top soil from 10+00 to 14+50 and transport soil to wetland replication area with wetland plants to be saved
 - Construct wetland replication with planting as specified and protect it from erosion damage
 - Construct access road from 10+00 to 14+50 including the installation of culvert per designed plan; complete the road to binder
 - All castings set at binder grade so that drainage can function as designed. This applies to all Phases.
- Phase II**
- Clear for road 21+00 to 27+00, units 1-20 and units 53 to 60; infiltration basin #2 and any dry wells associated with units
 - Strip and stockpile loam for road construction in area units 53, 54, 55, and 56
 - Construct road and utilities to binder start 27+00 to 23+00 including units 5 to 12 loop road
 - During road and utilities installation, begin foundation and building work starting with units 1/2 in order
 - Stormwater basin #1 to be complete to functional prior to installation of binder for this phase
 - Infiltration Basin #2 to be functional prior to foundations for units 9/10
 - Unit construction to continue around loop, loam to remain in area of units until construction commences on those units
 - All stumps to be ground on site, chips to be used for erosion control
- Phase III**
- Clear for balance of road and units 43 to 52 and units 21 to 24
 - Create new loam stockpile in area 51/52
 - Surplus site fill to be stockpiled units 47 to 50
 - Unit construction to continue around loop, loam to remain in area of units until construction commences on those units
 - Unit construction to continue in sequence around site
- Phase IV**
- Clear balance of trees
 - Construct structural fill to bottom of footing elevation +/-c. Stabilize slope as per fill operation details
 - Unit construction balance of site
- Phase V**
- Adjust castings to final grade and install top coat for all roads
 - Clean all basins and catch basins
 - Punch list

Erosion control devices to be used during construction include but not limited to:

- Compost socks
- State silt fence
- Woodchips or stump grinding check dams
- Runoff interception swales
- Sediment basins
- Floculant for turbidity control as needed
- Mud traps at intersection of pavement and dirt road
- Hydroseeding

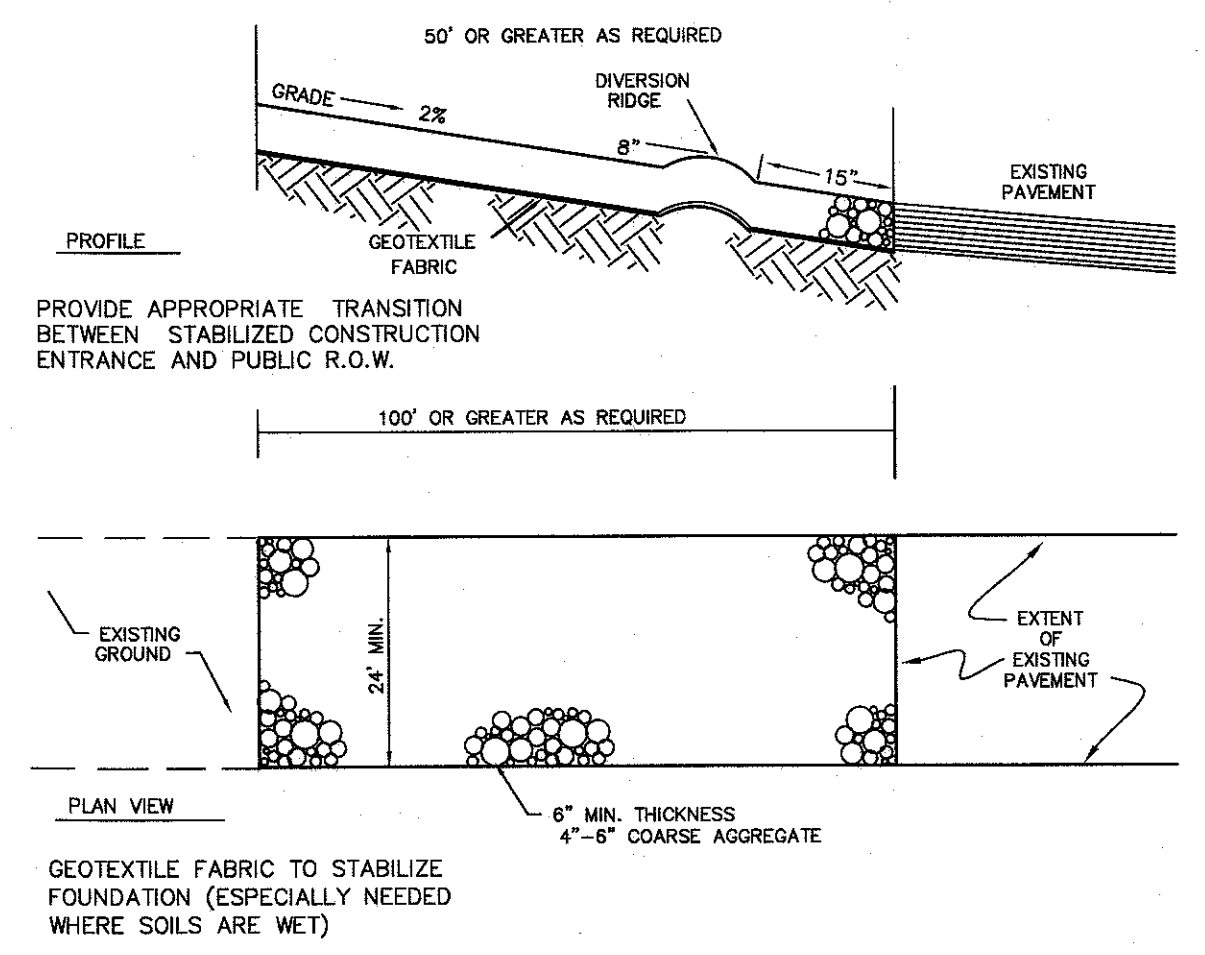


Mulch Sock COMPONENTS:
 OUTSIDE CASING: 100% organic hessian.
 FILLER INGREDIENT: **FiberRoot Mulch**
 • A blend of coarse and fine compost and shredded wood.
 • Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.
 • Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)

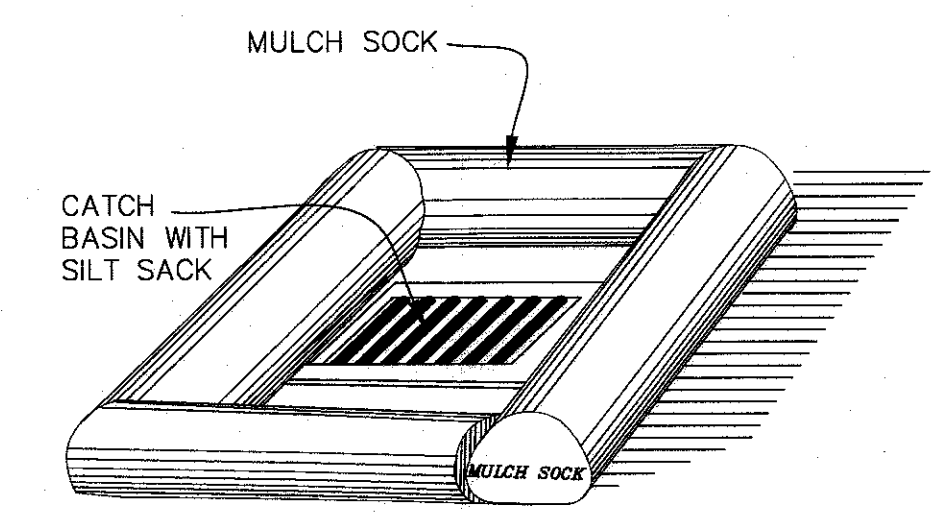
Mulch Sock INSTALLATION:
 With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.
 Sections can also be delivered to the site in lengths from 1' to 8'.
 The flexibility of **Mulch Sock** allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.

Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union. No additional anchors are required on slopes less than 2:1. **Additional anchors are required at 5' intervals (max.) on the downslope or protected side on slopes greater than 2:1 to prevent movement.

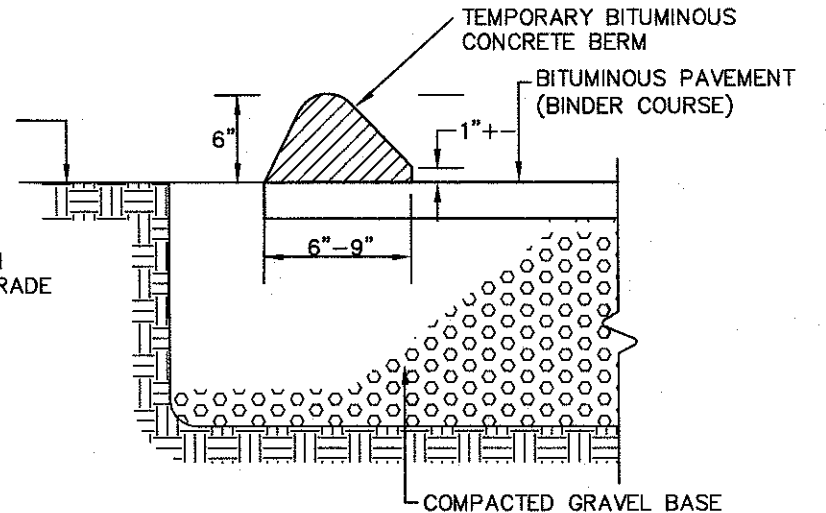
Mulch Sock Detail
NOT TO SCALE



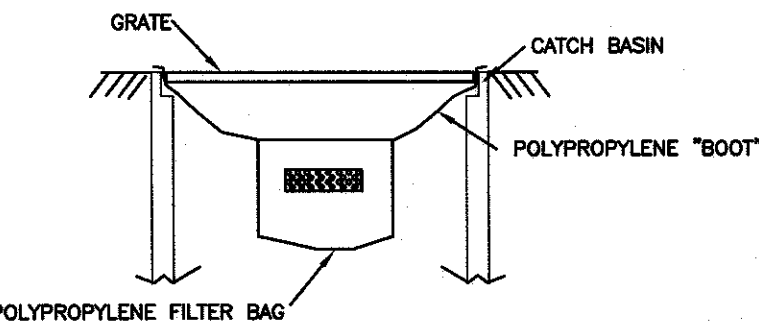
STABILIZED CONSTRUCTION ENTRANCE



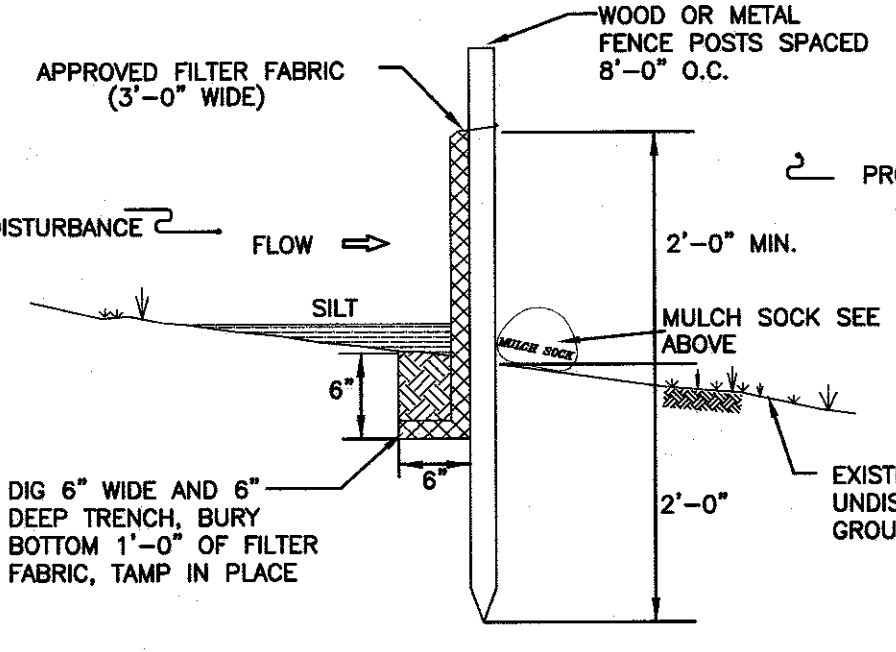
CATCH BASIN FILTER TRAP EROSION CONTROL



TEMPORARY BITUMINOUS CONCRETE BERM DETAIL
N.T.S.

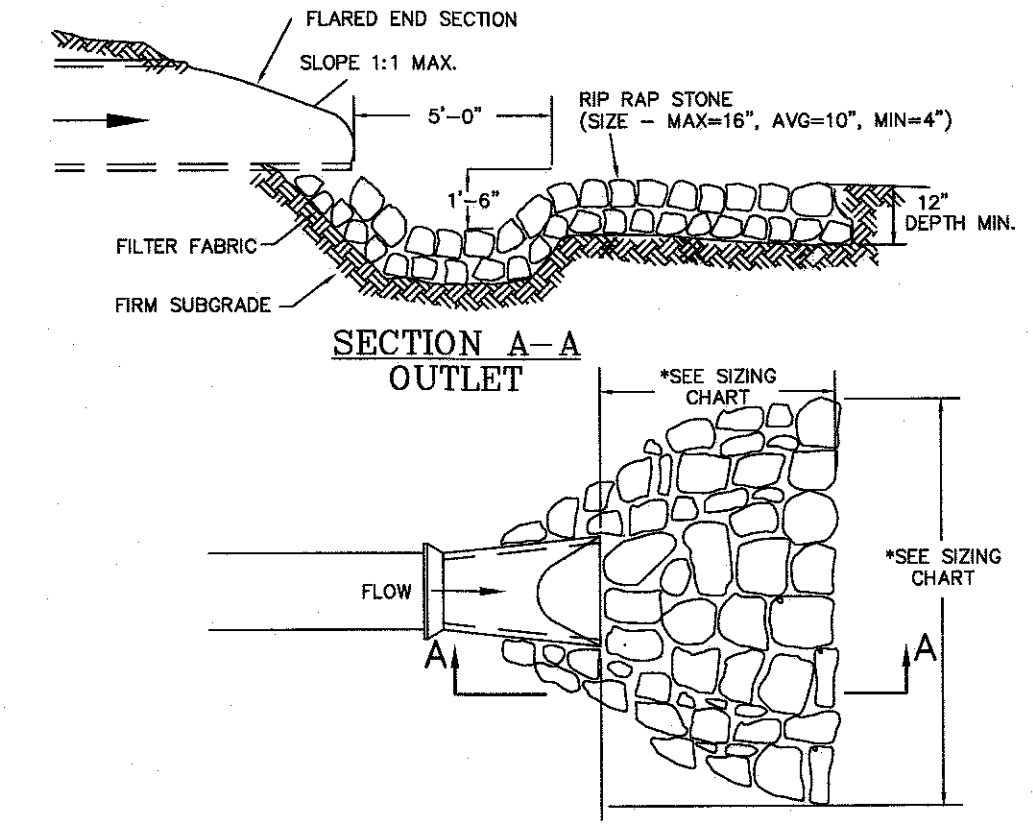


SILTATION BASKET TYPE II-S (SEDIMENT)
N.T.S.



- PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
- SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE CONSERVATION COMMISSION.

SILT FENCE EROSION CONTROL
N.T.S.



PLAN VIEW FLARED END SECTION OUTLET
NOT TO SCALE

TABLE 1: RIP RAP APRON DIMENSION CHART (with 18" pipe)

Class	Du (mm)	Du (IN)	Apron Length	Apron Depth
1	125	5	40	3.50u
2	250	10	40	3.50u
3	250	10	50	2.40u
4	300	14	60	2.20u
5	300	20	70	2.00u
6	350	22	80	2.00u

TABLE 2: RIP RAP APRON DIMENSION CHART (with 18" pipe)

Class	Du (mm)	Du (IN)	Apron Length	Apron Depth
1	125	5	40	3.50u
2	250	10	40	3.50u
3	250	10	50	2.40u
4	300	14	60	2.20u
5	300	20	70	2.00u
6	350	22	80	2.00u

TABLE 3: RIP RAP APRON DIMENSION CHART (with 24" pipe)

Class	Du (mm)	Du (IN)	Apron Length	Apron Depth
1	125	5	40	3.50u
2	250	10	40	3.50u
3	250	10	50	2.40u
4	300	14	60	2.20u
5	300	20	70	2.00u
6	350	22	80	2.00u

TESTING INFORMATION

TESTING DATE: NOVEMBER 4, 2022 SOIL EVALUATOR: MICHAEL HASSETT

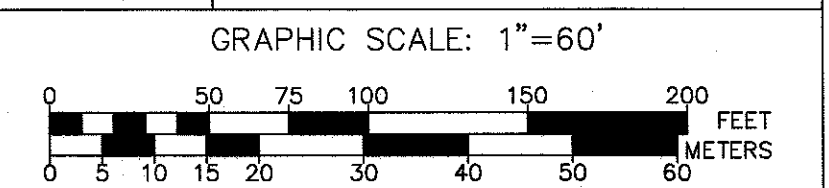
TEST ID	TP	SOIL TYPE	TEST ID	TP	SOIL TYPE	TEST ID	TP	SOIL TYPE	
254.8	TP 515	SANDY LOAM A 0"-4" 10YR3/3	253.9	TP 514	SANDY LOAM A 0"-6" 10YR3/3	256.3	TP 512	SANDY LOAM A 0"-6" 10YR3/3	
254.5	SANDY LOAM A 4"-30" 10YR5/6	253.4	SANDY LOAM B 6"-24" 10YR5/6	255.8	SANDY LOAM B 6"-24" 10YR5/6	254.3	SANDY LOAM B 24"-36" 2.5YR4/4	228.7	MOTTLES @ 28" WEEPING @ 96"
252.3	SANDY LOAM C 30"-84" 2.5YR4/4	251.9	SANDY LOAM C 24"-84" 2.5YR4/4(TIGHT)	253.3	NO MOTTLES REFUSAL @ 36"	224.1	MOTTLES @ 32" WEEPING @ 70"	246.9	TP 503 SANDY LOAM A 0"-6" 10YR3/3
247.8	WEEPING @ 60" REFUSAL @ 84" ISOLATED MOTTLES @ 30"	246.9	WEEPING @ 84" REFUSAL @ 84" MOTTLES @ 28"	248.4	TP 507 SANDY LOAM A 0"-6" 10YR3/3	245.2	TP 505 SANDY LOAM A 0"-6" 10YR3/3	246.4	SANDY LOAM B 6"-24" 10YR5/6
255.0	TP 511 SANDY LOAM A 0"-4" 10YR3/3	254.3	TP 509 SANDY LOAM A 0"-4" 10YR3/3	247.9	SANDY LOAM B 6"-30" 10YR5/6	244.7	SANDY LOAM B 6"-39" 10YR5/6	244.9	LOAMY SAND C1 24"-90" 7.5YR5/3
254.7	SANDY LOAM B 4"-30" 10YR5/6	252.3	SANDY LOAM C 24"-48" 2.5YR4/4(TIGHT)	245.9	SANDY LOAM C 30"-96" 2.5YR4/4	242.0	VERY FINE SANDY LOAM C 39"-120" 2.5YR4/4	239.4	VERY FINE SANDY LOAM C2 2.5YR4/4
252.5	SANDY LOAM C 30"-72" 2.5YR4/4(TIGHT)	250.3	MOTTLES @ 32" REFUSAL @ 48"	243.9	MOTTLES @ 30" REFUSAL @ 96" WEEPING @ 54"	239.7	MOTTLES @ 30" REFUSAL @ 96" WEEPING @ 54"	236.9	MOTTLES @ 24" NO REFUSAL WEEPING @ 84"

TEST ID	TP	SOIL TYPE	TEST ID	TP	SOIL TYPE	TEST ID	TP	SOIL TYPE	
239.2	TP 2-1	SANDY LOAM A 0"-6" 10YR3/3	234.1	TP 2-3	SANDY LOAM A 0"-4" 10YR3/3	234.4	TP 2-2	SANDY LOAM A 0"-6" 10YR3/3	
238.7	SANDY LOAM B 6"-36" 10YR5/6	232.1	SANDY LOAM B 4"-24" 10YR5/6	231.9	SANDY LOAM B 6"-30" 10YR5/6	249.5	TP 1-1	SANDY LOAM A 0"-6" 10YR3/3	
236.2	SANDY LOAM C1 36"-60" 2.5YR4/4	231.1	SANDY LOAM C1 24"-36" 2.5YR4/4	228.9	SANDY LOAM C1 30"-66" 2.5YR5/3	249.0	SANDY LOAM B 6"-18" 10YR5/6	251.8	TP 1-2 SANDY LOAM A 0"-6" 10YR3/3
234.2	VERY FINE SANDY LOAM GRAVELLY C2 2.5YR4/4	224.1	MOTTLES @ 28" WEEPING @ 96"	225.4	MOTTLES @ 30" WEEPING @ 66"	248.0	VERY FINE SANDY LOAM C 18"-114" 2.5YR4/4	249.3	SANDY LOAM B 6"-30" 10YR5/6
228.7	MOTTLES @ 28" WEEPING @ 96"	224.1	MOTTLES @ 32" WEEPING @ 70"	225.4	MOTTLES @ 30" WEEPING @ 66"	246.3	VERY FINE SANDY LOAM C1 30"-66" 2.5YR4/4	248.3	SANDY LOAM B 6"-36" 10YR5/6
246.9	TP 503 SANDY LOAM A 0"-6" 10YR3/3	245.2	TP 505 SANDY LOAM A 0"-6" 10YR3/3	246.4	SANDY LOAM B 6"-24" 10YR5/6	240.0	MOTTLES @ 30"	246.3	VERY FINE SANDY LOAM C2 2.5YR4/4
246.4	SANDY LOAM A 0"-6" 10YR3/3	244.7	SANDY LOAM A 0"-6" 10YR3/3	244.9	LOAMY SAND C1 24"-90" 7.5YR5/3	241.8	ISOLATED MOTTLES @ 36" STRONG MOTTLE BAND @ 66" WEEPING @ 66" REFUSAL @ 120"	241.3	MOTTLES @ 30" WEEPING @ 48" POCKET OF WHITER MATERIAL BETWEEN 6"-8" BELOW GRADE
244.9	LOAMY SAND C1 24"-90" 7.5YR5/3	242.0	VERY FINE SANDY LOAM C 39"-120" 2.5YR4/4	239.4	VERY FINE SANDY LOAM C2 2.5YR4/4				
239.4	VERY FINE SANDY LOAM C2 2.5YR4/4	235.2	MOTTLES @ 33" NO REFUSAL WEEPING @ 84"	236.9	MOTTLES @ 24" NO REFUSAL WEEPING @ 84"				

CONSTRUCTION DETAILS

SEPTEMBER 14, 2022

DATE	REVISION DESCRIPTION
12/7/2022	REVISED PER TOWN COMMENTS



Guerriere & Halon, Inc.
 ENGINEERING & LAND SURVEYING
 55 WEST CENTRAL ST. PH. (508) 528-3221
 FRANKLIN, MA 02038 FX. (508) 528-7921
 www.gandhengineering.com

APPROVED DATE: 12-8-2022
 FRANKLIN ZONING BOARD
 BEING A MAJORITY
 LEGAL NOTES
 UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. ANY EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE COMPLETELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE{7233}.

OWNER(S)
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 120 ADAMS STREET
 NEWTON, MA 02460

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 BRYON R. COLLINS
 DAVID C. COLLINS
 SEAN C. COLLINS
 C/O KATHRYN G. COLLINS, ESQ.
 HORNING & SCIMONE PC
 5 COMMONWEALTH ROAD, 4TH FLOOR
 NATICK, MA 01760

OLIVER CROSSING REALTY TRUST
 148 PARK STREET
 NORTH READING MA, 01864

LOCUS REFERENCES
 PLAN BK. 553 PLAN PG. 1 OF 2006
 A.M. 219 LOT 17B.2

**FRANKLIN HEIGHTS
 PARCEL B
 40B DEVELOPMENT PLAN
 FRANKLIN MASSACHUSETTS**

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