



FRANKLIN PLANNING & COMMUNITY DEVELOPMENT

355 EAST CENTRAL STREET
FRANKLIN, MA 02038-1352
TELEPHONE: 508-520-4907
FAX: 508-520-4906

MEMORANDUM

DATE: October 26, 2021
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 176-210 Grove St
Site Plan Modification

- Applicant has submitted Site Plans for Endorsement for 176-210 Grove St Site Plan Modification, that included adding additional parking spaces.
- Applicant has added the hours of operation to front page of the plans.
- Applicant has added the Certificate of Vote to front page of the plans.

Town of Franklin



Planning Board

TOWN OF FRANKLIN
TOWN CLERK
2021 SEP 17 A 9 07
RECEIVED

September 15, 2021

Nancy Danello, Town Clerk
Town of Franklin
355 East Central Street
Franklin, MA 02038

CERTIFICATE OF VOTE
Site Plan Modification
176-210 Grove Street

Site Plan: "Site Development Plan for 176-210 Grove Street"
Owner: MCP III 176 Grove LLC & MCP III 210 Grove LLC
260 Franklin Street, Ste260
Boston, MA 02110
Applicant: Same as Owner
Prepared By: Same as Owner
Surveyor/Engineer: Kelley Engineering Group, 0 Campanelli Dr, Bellingham, MA
Date: February 14, 2020 and Revised August 10, 2021
Property Location: 176-210 Grove Street
Map 311, Lots 001 & 002

Dear Mrs. Danello:

Please be advised that at its meeting on Monday, September 13, 2021 the Planning Board voted (5-0-0), upon motion duly made and seconded to APPROVE, with conditions, the above referenced Site Plan. The Conditions of Approval are listed on page 2-3, attached hereto. Both the Certificate of Vote as well as the conditions of approval shall be referenced on the site plan.

Sincerely,

Anthony Padula, Chairman
Franklin Planning Board

cc: Owner/Applicant/ Applicant's Engineer
Building Commissioner/DPW- Engineering
BETA
Tel: (508)520-4907 Fax: (508) 520 4906

CERTIFICATE OF VOTE
Site Plan Modification
176-210 Grove Street

- The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
- Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form II). Said inspection is further outlined in condition #1.
- No alteration of these plans shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.
- All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
- Prior to the endorsement of the site plan, the following shall be done:
 - The owner/applicant shall provide the entire list of conditions and this Certificate of Vote on the front page of the plans.
 - A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
 - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.
- All required improvements specified in this Certificate of Vote shall be constructed within a one-year period unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the approved plan have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #1.
- Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.
- The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.
- Maintenance and repair of the parking area, water supply system, sewer pipes, electric distribution system, and stormwater system shall be the responsibility of the owner/applicant and shall never be the responsibility of the Town and the Town shall never be required to perform any service, repair or maintenance with respect to said areas, or any of the aforementioned systems within the subject property. The Town will never be required to provide snow plowing or trash pickup, with respect to the subject property.
- Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant, and his contractor(s), the Department of Public Works and the Planning Board's Inspector.
- All conditions in the July 13, 2020 Certificate of Vote applies to this Certificate of Vote.
- Prior to endorsement, Applicant shall add the hours of operation to the Site Plans.

SITE DEVELOPMENT PLANS

FOR

176- 210 GROVE STREET FRANKLIN, MA

FEBRUARY 14, 2020

SHEET INDEX			
SHEET No.	DESCRIPTION	LATEST REVISED DATE	CONSTRUCTION REVISIONS
1	COVER SHEET	09/22/21	
2	OVERALL LAYOUT PLAN	08/06/21	
3	EXISTING CONDITIONS PLAN	08/06/21	
4	LAYOUT PLAN	09/22/21	
5	GRADING PLAN	08/06/21	
6	SEWER, DRAIN PLAN	09/22/21	
7	UTILITY PLAN	09/22/21	
8	DETAIL SHEET	08/06/21	
9	DETAIL SHEET	08/06/21	
10	DETAIL SHEET	08/06/21	
11	DETAIL SHEET	08/06/21	
12	DETAIL SHEET	08/06/21	
13	DETAIL SHEET	08/06/21	



LOCATION MAP

OWNER/APPLICANT:

MCP III 176 GROVE LLC & MCP III 210 GROVE LLC
260 FRANKLIN STREET, STE 620
BOSTON, MA 02110

CIVIL ENGINEERS:

KELLY ENGINEERING GROUP, INC.
0 CAMPANELLI DRIVE
BRAINTREE, MA 02184

LANDSCAPE ARCHITECT:

HAWK DESIGN INC.
P.O. BOX 1309
SANDWICH, MA 02563

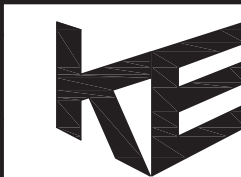
APPROVED BY THE FRANKLIN PLANNING BOARD

APPROVED DATE _____

Digitally signed by David Noel Kelly P.E.
DN: cn=David Noel Kelly P.E., o=Kelly Engineering Group, Inc., ou=, email=dkelly@kellyeng.com, c=US
Date: 2021.10.06 14:57:05 -0400



SCALE	JOB #
DATE	F:\P\2019-127
SHEET	DRAWN BY
FILE #	CHKD BY
	APPD BY



176- 210 GROVE STREET
FRANKLIN, MA

KELLY ENGINEERING GROUP
civil engineering consultants
0 Campanelli Drive, Braintree, MA 02184
Phone: 781-843-4333 www.kellyengineeringgroup.com

SHEET NO.

1

KELLY ENGINEERING GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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The applicant has proposed no change to the hours of operation as part of the original Site Plan Approval. The new tenant, UPS, anticipates interior sorting shifts from approx. (1) 4:00 - 9:30 a.m. Mon - Sat., and (2) 5:30 - 11:00 p.m. Mon-Fri. Smaller package cars will depart the facility usually between 9:00 - 9:30 a.m. It is anticipated that hours may increase during the holiday season. User will abide by the Town noise standards.

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ZONE: INDUSTRIAL, WATER RESOURCE DISTRICT

(NOTE 5)

	REQUIRED	PROVIDED (176) LOT 1	PROVIDED (206) LOT 2	PROVIDED (210) LOT 3	COMPLIANCE
MIN LOT AREA	40,000 S.F.	653,400 S.F.	444,931 S.F.	456,067 S.F.	YES
MIN. FRONTAGE	175'	175'	>175'	>175'	YES
MIN. DEPTH	200'	>200'	>200'	>200'	YES
MIN. WIDTH	157.5' DIA. CIRCLE	>157.5'	>157.5'	>157.5'	YES
MIN YARD					
FRONT	40'	448.4' +/-	249.7' +/-	125.5' +/-	YES
SIDE	30'	31.8' +/- (NOTE 2)	61.0' +/- (NOTE 2)	30.1' +/- (NOTE 2)	YES
REAR	30'	92.2' +/-	125.4'	44.7' +/-	YES
MAX STORIES	3	1	1	1	YES
MAX HEIGHT	NA	<45'	<45'	<45'	N/A
LOT COVERAGE	80%	58.0%	70.3%	72.9%	YES
BUILDING COVERAGE	70%	25.7%	33.7%	36.6%	YES
PARKING					
TOTAL	487	(NOTE 3)	(NOTE 3)	(NOTE 3)	(NOTE 3)
SIZE	9'X19'	9'X19'	9'X19'	9'X19'	YES
HAZARD	24'	24'	24'	24'	YES
HANDICAP	PARKING LEGEND	PARKING LEGEND	PARKING LEGEND	PARKING LEGEND	YES
PARKING SETBACKS					
FRONT	10'	>10'	>10'	70' +/-	YES
SIDE	N/A	N/A	N/A	N/A	N/A
REAR	N/A	N/A	N/A	N/A	N/A
BUILDING	N/A	N/A	N/A	N/A	N/A

NOTES:

1. PARKING: REQUIRED PARKING FOR WAREHOUSE = 1 SPACE PER 1000 SF
2. BUILDINGS 176 AND 210 ARE LESS THAN 30' HIGH. SIDE YARD SETBACKS ARE GREATER THAN 30'. PROPOSED BUILDING 206 WILL BE APPROX. 45' HIGH. SIDE YARD SETBACK IS 102' AND THEREFORE SIDE YARD COMPLIES WITH BY LAW SECTION ATTACHEMENT 9 FOOT NOTE 8 FOR SETBACKS TO A RESIDENTIAL USE.
3. PER PLANNING BOARD DETERMINATION.
4. 18 SPACES ON OR PARTIALLY ON LOT 2 ARE FOR USE BY LOT 1
5. 55 SPACES LOCATED ON LOT 1 ARE FOR USE BY LOT 2
6. SEE APPROVAL NOT REQUIRED PLAN DATED 11/16/20 FOR ACTUAL METES AND BOUNDS, CIRCLE DIAMETER ETC.

PARKING LEGEND

BUILDING	BUILDING AREA (SF)	PARKING REQUIRED (NOTE 1)	PARKING PROVIDED	HANDICAP PARKING REQUIRED	HANDICAP PARKING PROVIDED	LOADING PROVIDED
176 GROVE	169,968	170	195 (NOTE 4)	6	6	65 +/-
206 GROVE	150,000	150	199 (NOTE 4)	6	6	34 +/-
210 GROVE	166,257	167	113	5	5	15 +/-
TOTAL	486,225	487	507	17	17	114 +/-

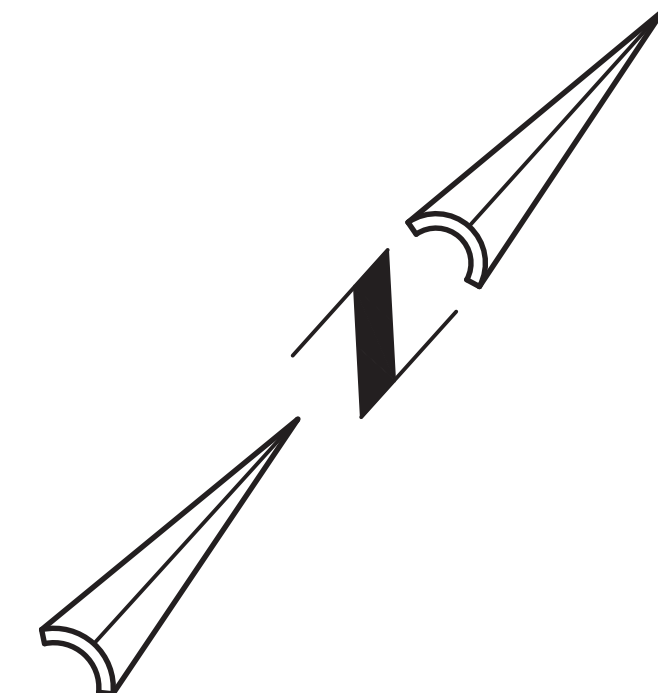
*ALLOWED BY 9/15/2015 PLANNING BOARD DECISION

EXISTING LEGEND

	HANDICAP SPACE
	UTILITY POLE
	PROPERTY LINE
	INTERIOR LOT LINE TO BE ELIMINATED

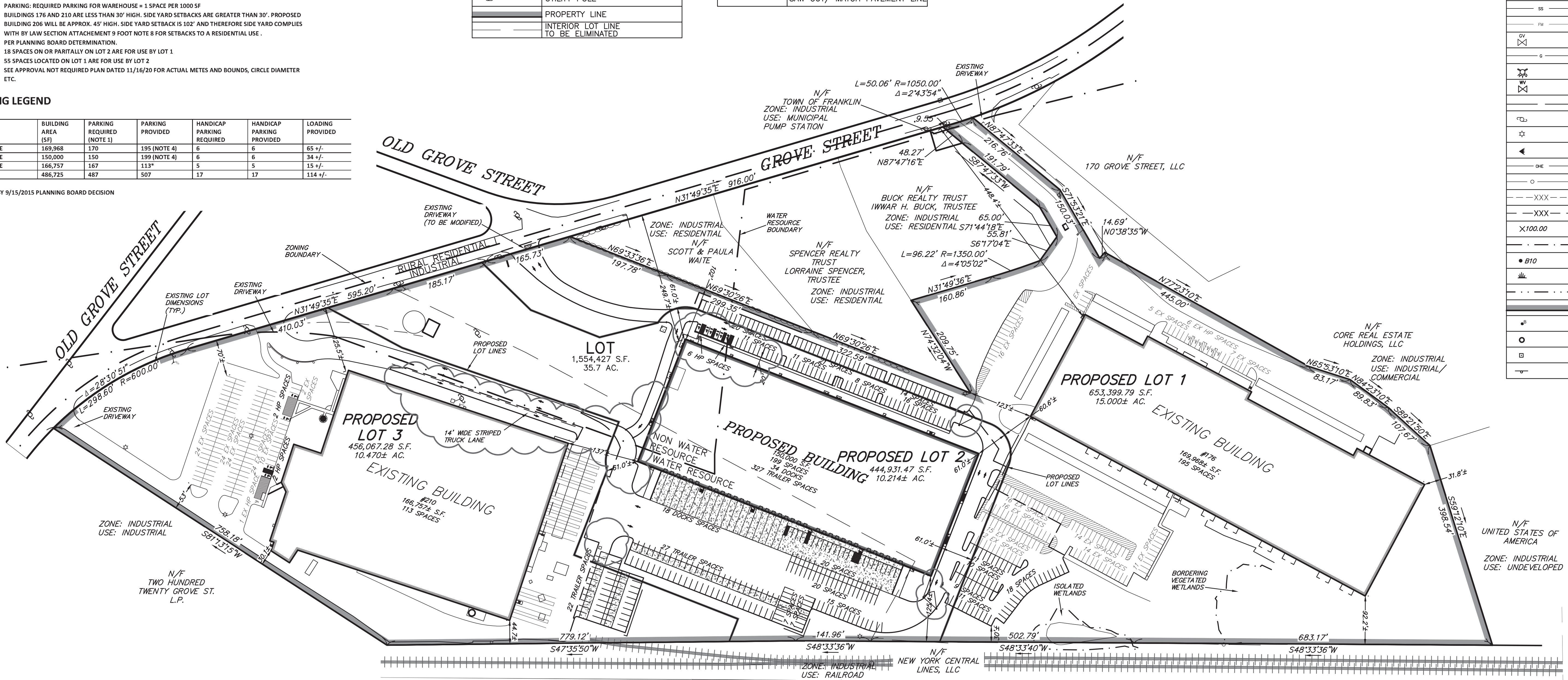
PROPOSED LEGEND

	HANDICAP SPACE
	SAW CUT/ MATCH PAVEMENT LINE



SHEET 2 LEGEND

CCB	CAPE COD BERM
VGC	VERTICAL GRANITE CURB
CONC.	CONCRETE
BCC	BITUMINOUS CONCRETE CURB
	HANDICAP SPACE
L.S	LANDSCAPED AREA
	CATCH BASIN
	DOUBLE CATCH BASIN
	AREA DRAIN
	TRENCH DRAIN
	DRAIN MANHOLE
	STORM CEPTOR
	DRAIN LINE
	ROOF DRAIN LINE
	AREA DRAIN LINE
	SEWER MANHOLE
	SEWER LINE
	SEWER FORCE MAIN
	GAS VALVE
	GAS LINE
	HYDRANT
	WATER VALVE
	WATER LINE
	UTILITY POLE
	LIGHT POLE
	FLOOD LIGHT
	OVERHEAD ELECTRIC LINE
	CHAIN LINK FENCE
	CONTOUR LINE (MNR)
	CONTOUR LINE (MUR)
	SPOT GRADE
	EDGE OF WETLANDS
	WETLANDS FLAG
	WETLANDS
	FLOOD PLAIN
	PROPERTY LINE
	BOLLARD
	IRON PIPE
	BOUND
	SIGN



APPROVED BY THE FRANKLIN PLANNING BOARD

APPROVED DATE _____

GRAPHIC SCALE

1 inch = 100 ft.

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APPROVED BY THE FRANKLIN PLANNING BOARD

APPROVED DATE _____

- NOTES: (FOR SHEET 3)**
- 1.) UNDERGROUND FEATURES HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND KELLY ENGINEERING GROUP, INC. DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO KELLY ENGINEERING GROUP, INC. THE SIZE, LOCATION, AND EXISTENCE OF ALL SUCH FEATURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
 - 2.) THE LOCATION OF ALL UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED USING ASCE 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA) QUALITY LEVEL C.
 - 3.) THE SITE DETAIL AND SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN ON THE GROUND SURVEY PERFORMED BY KELLY ENGINEERING GROUP IN NOVEMBER AND DECEMBER OF 2019.
 - 4.) ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED BY RTX GPS CONNECTED TO MCGRAW HILLS. CONTOURS SHOWN WERE OBTAINED FROM ON THE GROUND SURVEY AND LIDAR DATA OBTAINED FROM NOAA AND CONFIRMED BY KELLY ENGINEERING GROUP, INC.
 - 5.) WETLAND FLAGS SHOWN WERE FLAGGED BY ECOTEC, INC AND WERE LOCATED BY KELLY ENGINEERING GROUP, INC.

CURRENT OWNER

210 GROVE ST
CURRENT OWNER: MCP III 210 GROVE LLC
C/O MARCUS PARTNERS INC.
PARCEL ID: 311-002

176 GROVE ST
CURRENT OWNER: MCP III 176 GROVE LLC
C/O MARCUS PARTNERS INC.
PARCEL ID: 311-001

8.	09/22/21	PER PB DECISION
7.	08/06/21	TENANT REVISIONS
6.	07/01/21	EXPANDED TENANT PARKING
5.	11/16/20	PLANNING BOARD COMMENTS & LOT LINES

SCALE	4.	10/01/20	PER TENANT COORDINATION
1"= 100'	3.	07/28/20	PLANNING BOARD COMMENTS
DATE	2.	06/02/20	PER PEER REVIEW
02/14/20	1.	04/10/20	PER PEER REVIEW
SHEET	REV	DATE	REVISION
2 of 13			
FILE #			
2019-127-LA07			
JOB #			
F:\P\2019-127			
DRAWN BY			
C.J.L.			
CHKD BY			
GSH			
APPD BY			
DNK			

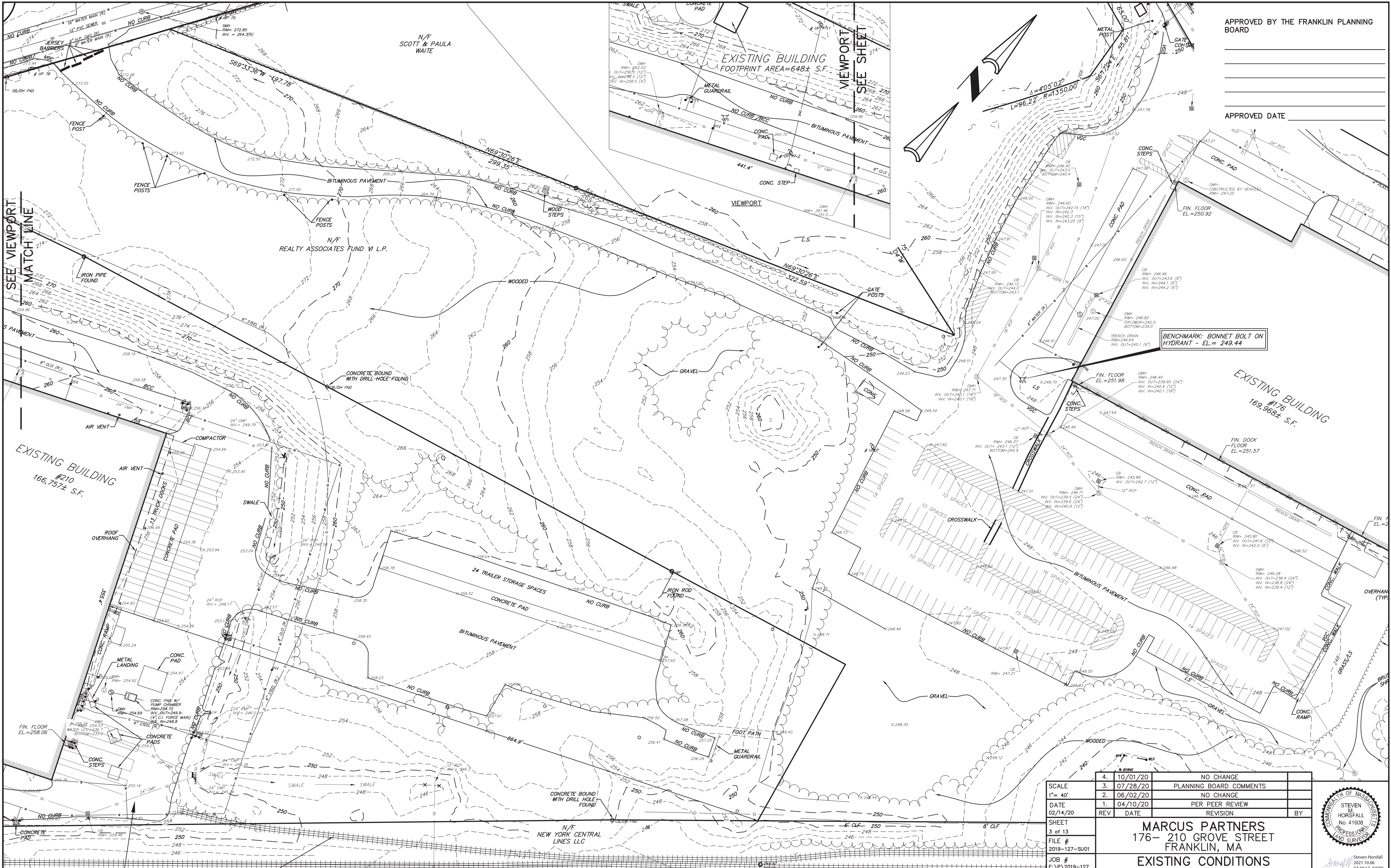
MARCUS PARTNERS
176- 210 GROVE STREET
FRANKLIN, MA

OVERALL LAYOUT PLAN

KELLY ENGINEERING GROUP
civil engineering consultants
0 Campanelli Drive, Braintree, MA 02184
Phone: 781-843-4333 www.kellyengineeringgroup.com

DAVID NOEL KELLY CIVIL ENGINEER NO. 37942 REGISTERED PROFESSIONAL ENGINEER

SHEET NO. **2**



APPROVED BY THE FRANKLIN PLANNING BOARD

APPROVED DATE _____

BENCHMARK: BONNET BOLT ON HYDRANT - EL = 249.44

SCALE	4. 10/01/20	NO CHANGE	
DATE	3. 07/28/20	PLANNING BOARD COMMENTS	
REV	2. 06/02/20	NO CHANGE	
REV	1. 04/10/20	PER PEER REVIEW	
REV		REVISION	BY

SHEET 3 of 13
 FILE # 2019-127-SU01
 JOB # F:\P\2019-127
 DRAWN BY JPM
 CHKD BY SMH
 APPD BY SMH

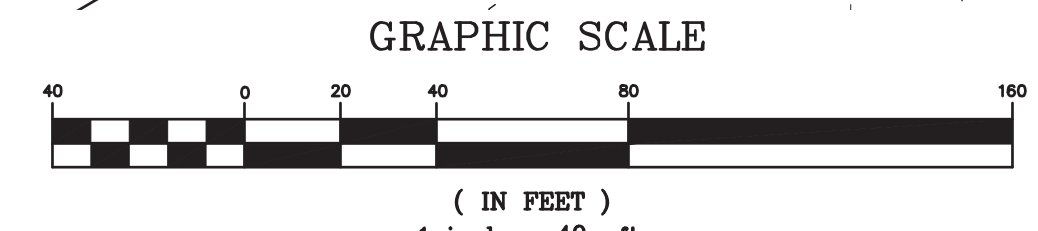
MARCUS PARTNERS
 176- 210 GROVE STREET
 FRANKLIN, MA
EXISTING CONDITIONS PLAN



Steven Horsfall
 2021.10.06
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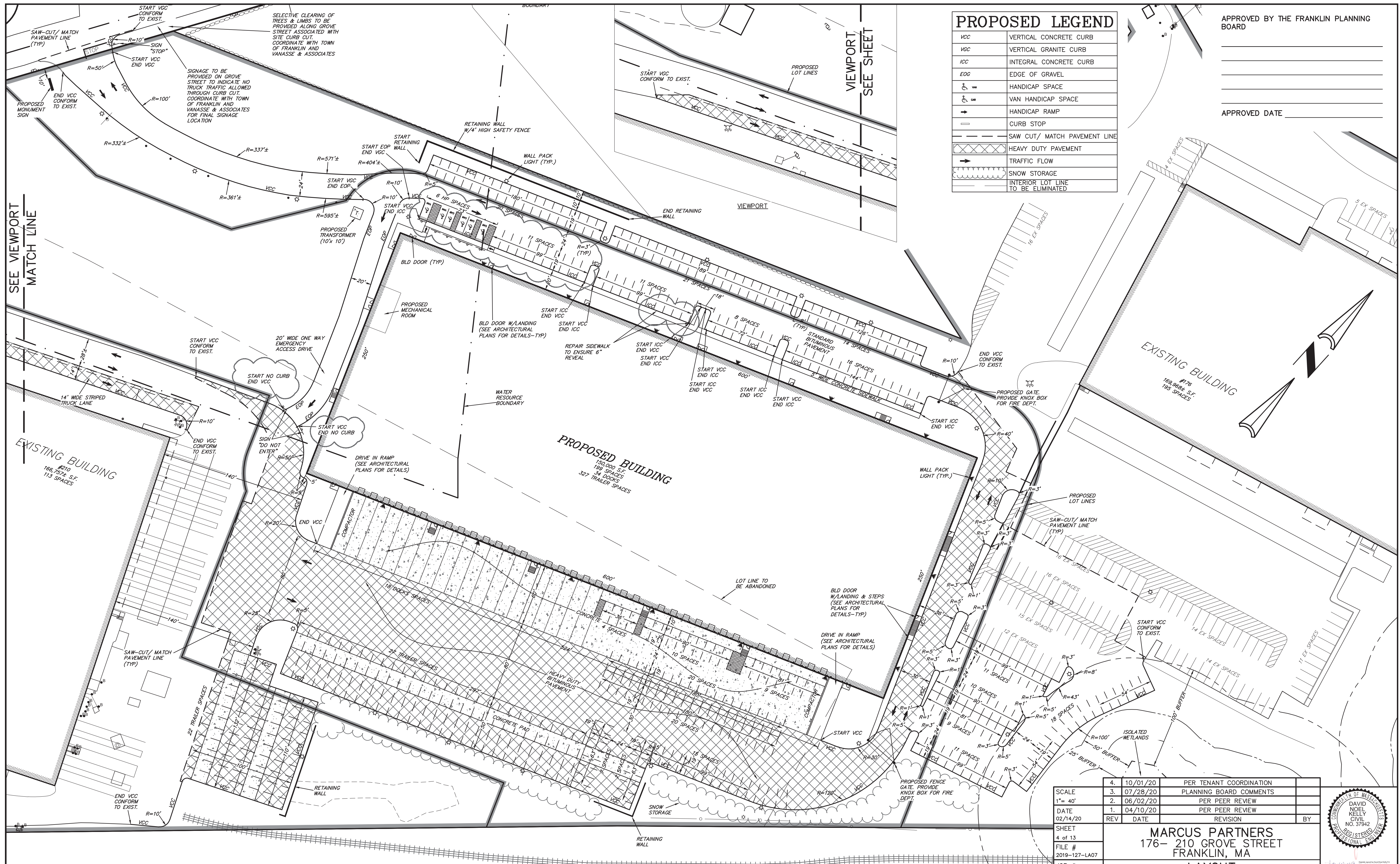
SHEET NO. **3**

KELLY ENGINEERING GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE EXTENT OF KELLY ENGINEERING GROUP'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.
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SEE SHEET 2 FOR NOTES & SYMBOL LEGEND

8. 09/22/21	PER PB DECISION
7. 08/06/21	ADD VIEWPORT
6. 07/01/21	NO CHANGE
5. 11/16/20	NO CHANGE



PROPOSED LEGEND

VCC	VERTICAL CONCRETE CURB
VGC	VERTICAL GRANITE CURB
ICC	INTEGRAL CONCRETE CURB
EOG	EDGE OF GRAVEL
♿	HANDICAP SPACE
♿	VAN HANDICAP SPACE
→	HANDICAP RAMP
—	CURB STOP
- - -	SAW CUT/ MATCH PAVEMENT LINE
▨	HEAVY DUTY PAVEMENT
→	TRAFFIC FLOW
☄	SNOW STORAGE
- - -	INTERIOR LOT LINE TO BE ELIMINATED

APPROVED BY THE FRANKLIN PLANNING BOARD

APPROVED DATE _____

SEE VIEWPORT MATCH LINE

VIEWPORT SEE SHEET

EXISTING BUILDING #210 166,754 S.F. 113 SPACES

EXISTING BUILDING #176 169,988 S.F. 195 SPACES

PROPOSED BUILDING 130,000 S.F. 193 SPACES 34 DOCKS 307 TRAILER SPACES

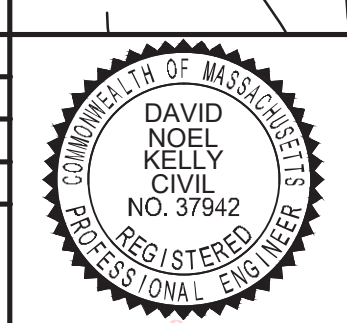
SCALE	4. 10/01/20	PER TENANT COORDINATION	
1" = 40'	3. 07/28/20	PLANNING BOARD COMMENTS	
DATE	2. 06/02/20	PER PEER REVIEW	
02/14/20	1. 04/10/20	PER PEER REVIEW	
REV	DATE	REVISION	BY

MARCUS PARTNERS
176-210 GROVE STREET
FRANKLIN, MA

LAYOUT PLAN

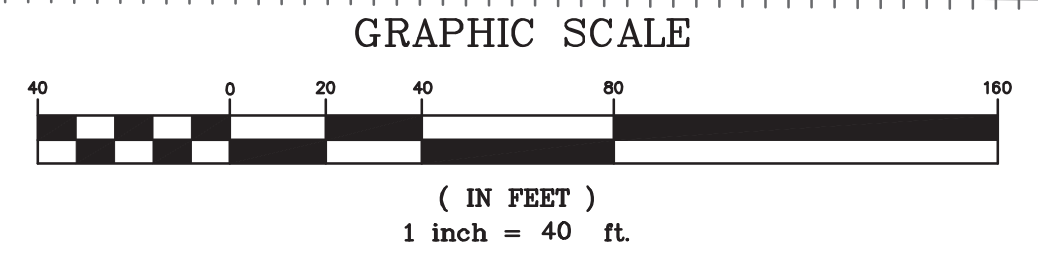
SHEET 4 of 13
FILE # 2019-127-LA07
JOB # F:\P\2019-127
DRAWN BY C.J.L.
CHKD BY GSH
APPD BY DNK

KE KELLY ENGINEERING GROUP
civil engineering consultants
0 Campanelli Drive, Braintree, MA 02184
Phone: 781-843-4333 www.kellyengineeringgroup.com



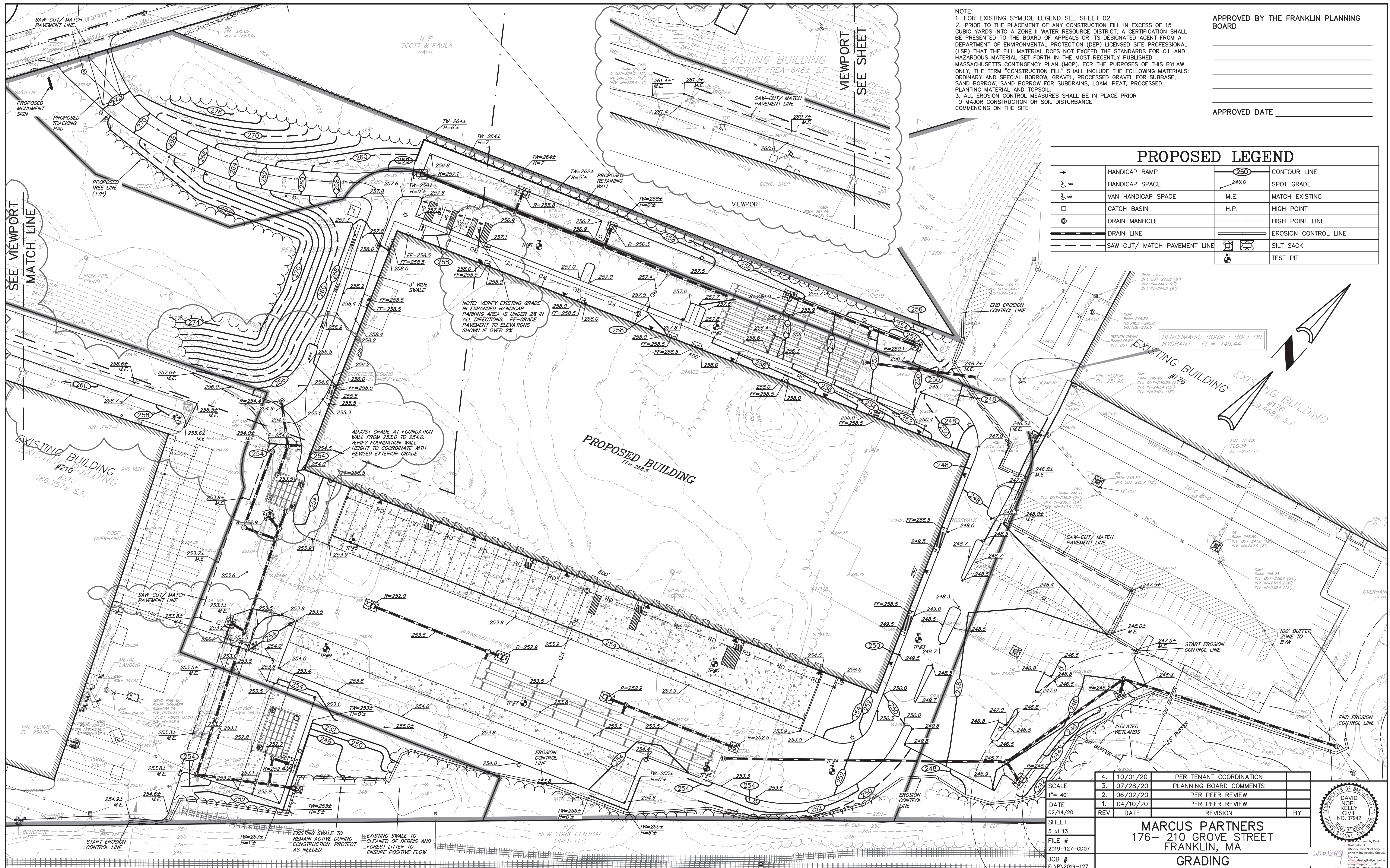
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8. 09/22/21	PER PB DECISION	
7. 08/06/21	TENANT REVISIONS	
6. 07/01/21	EXPANDED TENANT PARKING	
5. 11/16/20	PLANNING BOARD COMMENTS & LOT LINES	

SHEET NO. **4**



NOTE:
 1. FOR EXISTING SYMBOL LEGEND SEE SHEET 02
 2. PRIOR TO THE PLACEMENT OF ANY CONSTRUCTION FILL IN EXCESS OF 15 CUBIC YARDS INTO A ZONE II WATER RESOURCE DISTRICT, A CERTIFICATION SHALL BE PRESENTED TO THE BOARD OF APPEALS OR ITS DESIGNATED AGENT FROM A DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) LICENSED SITE PROFESSIONAL (LSP) THAT THE FILL MATERIAL DOES NOT EXCEED THE STANDARDS FOR OIL AND HAZARDOUS MATERIAL SET FORTH IN THE MOST RECENTLY PUBLISHED MASSACHUSETTS CONTINGENCY PLAN (MCP), FOR THE PURPOSES OF THIS BYLAW ONLY, THE TERM "CONSTRUCTION FILL" SHALL INCLUDE THE FOLLOWING MATERIALS: ORDINARY AND SPECIAL BORROW, GRAVEL, PROCESSED GRAVEL FOR SUBBASE, SAND BORROW, SAND BORROW FOR SUBDRAINS, LOAM, PEAT, PROCESSED PLANTING MATERIAL, AND TOPSOIL.
 3. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE

APPROVED BY THE FRANKLIN PLANNING BOARD

 APPROVED DATE _____

PROPOSED LEGEND			
	HANDICAP RAMP		CONTOUR LINE
	HANDICAP SPACE		SPOT GRADE
	VAN HANDICAP SPACE		MATCH EXISTING
	CATCH BASIN		HIGH POINT
	DRAIN MANHOLE		HIGH POINT LINE
	DRAIN LINE		EROSION CONTROL LINE
	SAW CUT/ MATCH PAVEMENT LINE		SILT SACK
			TEST PIT

NOTE: VERIFY EXISTING GRADE IN EXPANDED HANDICAP PARKING AREA IS UNDER 2% IN ALL DIRECTIONS. RE-GRADE PAVEMENT TO ELEVATIONS SHOWN IF OVER 2%

ADJUST GRADE AT FOUNDATION WALL FROM 253.0 TO 254.0. VERIFY FOUNDATION WALL HEIGHT TO COORDINATE WITH REVISED EXTERIOR GRADE

SCALE	1" = 40'
DATE	02/14/20
SHEET	5 of 13
FILE #	2019-127-G07
JOB #	F:\P\2019-127
DRAWN BY	C.J.
CHKD BY	GSH
APPD BY	DNK

4.	10/01/20	PER TENANT COORDINATION	
3.	07/28/20	PLANNING BOARD COMMENTS	
2.	06/02/20	PER PEER REVIEW	
1.	04/10/20	PER PEER REVIEW	
REV	DATE	REVISION	BY

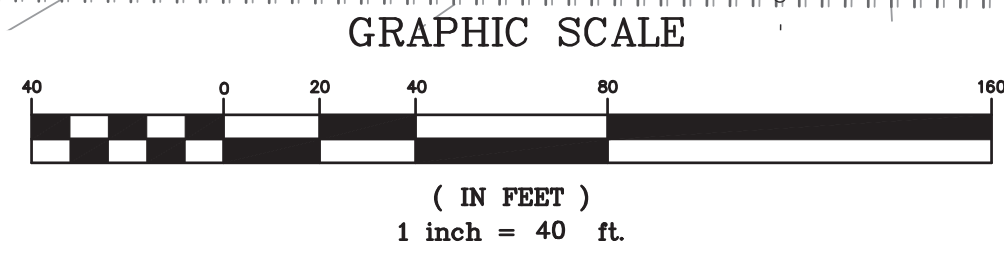
MARCUS PARTNERS
 176- 210 GROVE STREET
 FRANKLIN, MA

GRADING PLAN

KELLY ENGINEERING GROUP
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 0 Campanelli Drive, Braintree, MA 02184
 Phone: 781-843-4333 www.kellyengineeringgroup.com

DAVID NOEL KELLY CIVIL NO. 37942 REGISTERED PROFESSIONAL ENGINEER

SHEET NO. **5**



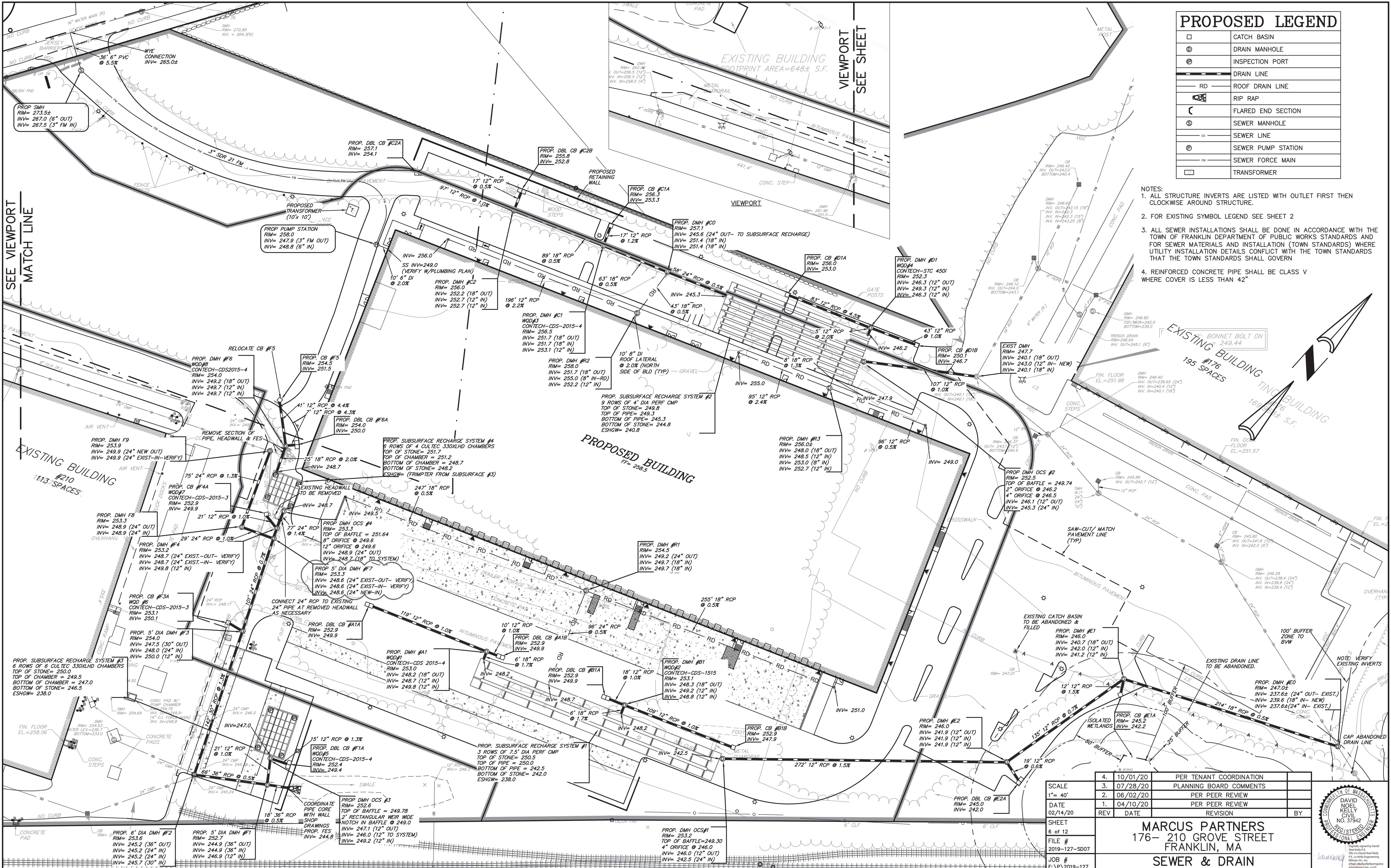
8.	09/22/21	PER PB DECISION
7.	08/06/21	TENANT REVISIONS
6.	07/01/21	EXPANDED TENANT PARKING
5.	11/16/20	PLANNING BOARD COMMENTS & LOT LINES

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PROPOSED LEGEND

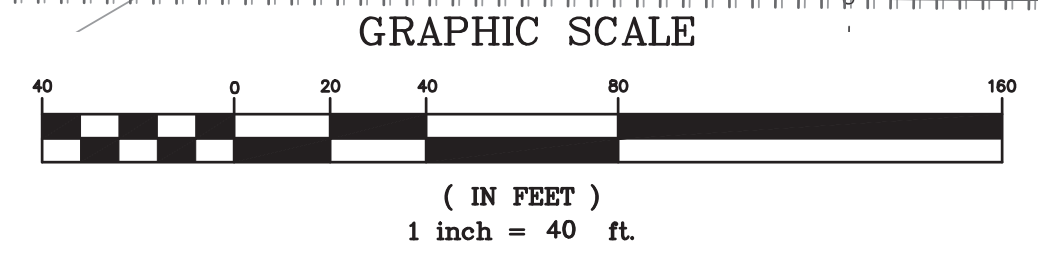
□	CATCH BASIN
⊙	DRAIN MANHOLE
⊕	INSPECTION PORT
—	DRAIN LINE
— RD	ROOF DRAIN LINE
—	RIP RAP
—	FLARED END SECTION
⊙	SEWER MANHOLE
—	SEWER LINE
⊕	SEWER PUMP STATION
— FM	SEWER FORCE MAIN
⊞	TRANSFORMER

- NOTES:
1. ALL STRUCTURE INVERTS ARE LISTED WITH OUTLET FIRST THEN CLOCKWISE AROUND STRUCTURE.
 2. FOR EXISTING SYMBOL LEGEND SEE SHEET 2
 3. ALL SEWER INSTALLATIONS SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF FRANKLIN DEPARTMENT OF PUBLIC WORKS STANDARDS AND FOR SEWER MATERIALS AND INSTALLATION (TOWN STANDARDS) WHERE UTILITY INSTALLATION DETAILS CONFLICT WITH THE TOWN STANDARDS THAT THE TOWN STANDARDS SHALL GOVERN
 4. REINFORCED CONCRETE PIPE SHALL BE CLASS V WHERE COVER IS LESS THAN 42"



SEE VIEWPORT
MATCH LINE

VIEWPORT
SEE SHEET



SCALE	1" = 40'
DATE	02/14/20
SHEET	6 of 12
FILE #	2019-127-S07
JOB #	F:\P\2019-127
DRAWN BY	C.L.
CHKD BY	GSH
APPD BY	DNK

8.	09/22/21	PER PB DECISION
7.	08/06/21	TENANT REVISIONS
6.	07/01/21	EXPANDED TENANT PARKING
5.	11/16/20	PLANNING BOARD COMMENTS & LOT LINES

4.	10/01/20	PER TENANT COORDINATION	
3.	07/28/20	PLANNING BOARD COMMENTS	
2.	06/02/20	PER PEER REVIEW	
1.	04/10/20	PER PEER REVIEW	
REV	DATE	REVISION	BY

MARCUS PARTNERS
176- 210 GROVE STREET
FRANKLIN, MA
SEWER & DRAIN
PLAN

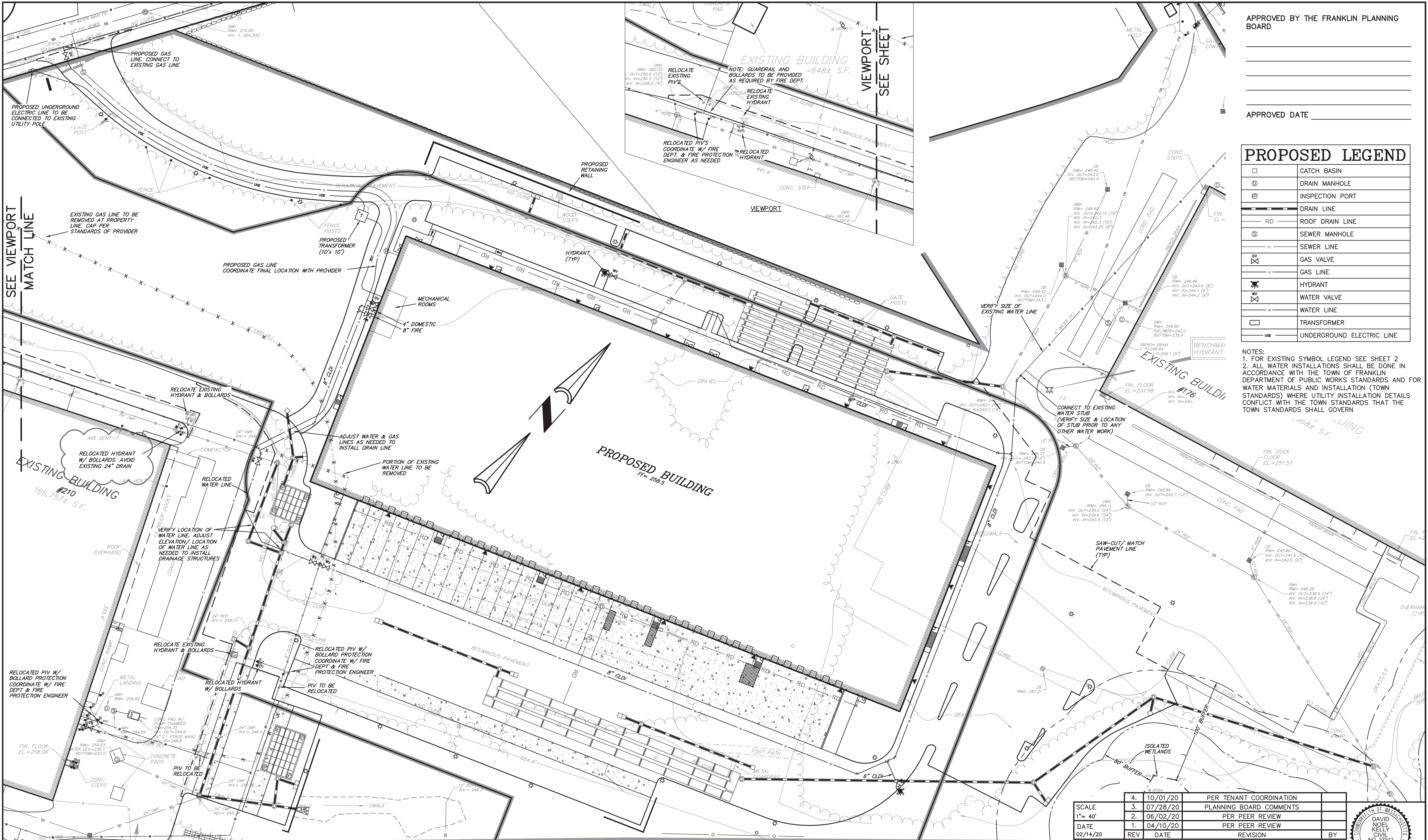
KELLY ENGINEERING GROUP
civil engineering consultants
0 Campanelli Drive, Braintree, MA 02184
Phone: 781-843-4333 www.kellyengineeringgroup.com

DAVID NOEL KELLY
REGISTERED PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS
LICENSE NO. 37942

KELLY ENGINEERING GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THE EXTENT OF KELLY ENGINEERING GROUP'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST

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APPROVED BY THE FRANKLIN PLANNING BOARD

APPROVED DATE _____

PROPOSED LEGEND

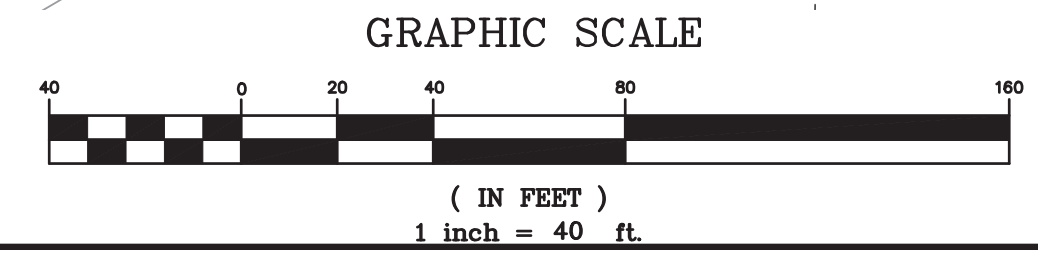
□	CATCH BASIN
⊙	DRAIN MANHOLE
⊕	INSPECTION PORT
—	DRAIN LINE
—	ROOF DRAIN LINE
⊙	SEWER MANHOLE
—	SEWER LINE
⊕	GAS VALVE
—	GAS LINE
⊕	HYDRANT
⊕	WATER VALVE
—	WATER LINE
⊕	TRANSFORMER
—	UNDERGROUND ELECTRIC LINE

NOTES:
 1. FOR EXISTING SYMBOL LEGEND SEE SHEET 2
 2. ALL WATER INSTALLATIONS SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF FRANKLIN DEPARTMENT OF PUBLIC WORKS STANDARDS AND FOR WATER MATERIALS AND INSTALLATION (TOWN STANDARDS) WHERE UTILITY INSTALLATION DETAILS CONFLICT WITH THE TOWN STANDARDS THAT THE TOWN STANDARDS SHALL GOVERN

SEE VIEWPORT MATCH LINE

VIEWPORT SEE SHEET

KELLY ENGINEERING GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 THE EXTENT OF KELLY ENGINEERING GROUP'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST
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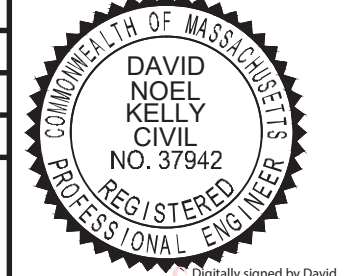
8.	09/22/21	PER PB DECISION
7.	08/06/21	TENANT REVISIONS
6.	07/01/21	EXPANDED TENANT PARKING
5.	11/16/20	PLANNING BOARD COMMENTS & LOT LINES

SCALE	4.	10/01/20	PER TENANT COORDINATION
1" = 40'	3.	07/28/20	PLANNING BOARD COMMENTS
DATE	2.	06/02/20	PER PEER REVIEW
02/14/20	1.	04/10/20	PER PEER REVIEW
SHEET	REV	DATE	REVISION
7 of 13			
FILE #			
2019-127-UT07			
JOB #			
F:\P\2019-127			
DRAWN BY			
CJL			
CHKD BY			
GSB			
APPD BY			
DNK			

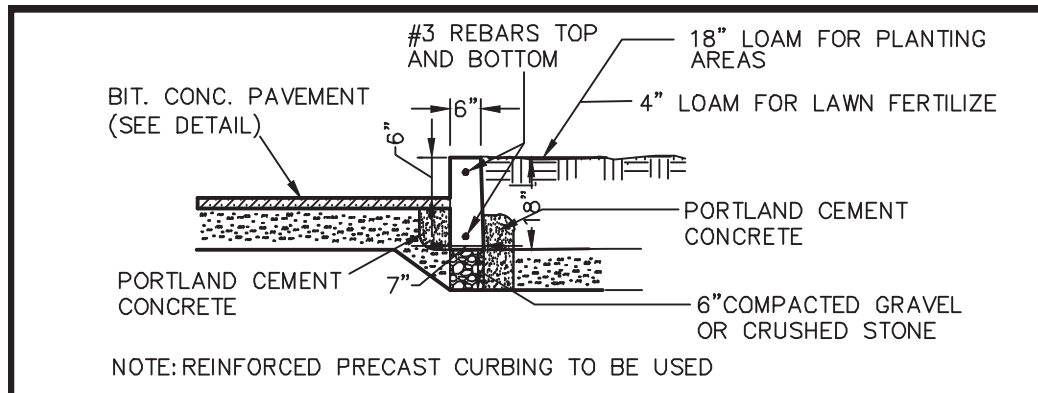
MARCUS PARTNERS
 176- 210 GROVE STREET
 FRANKLIN, MA

UTILITY PLAN

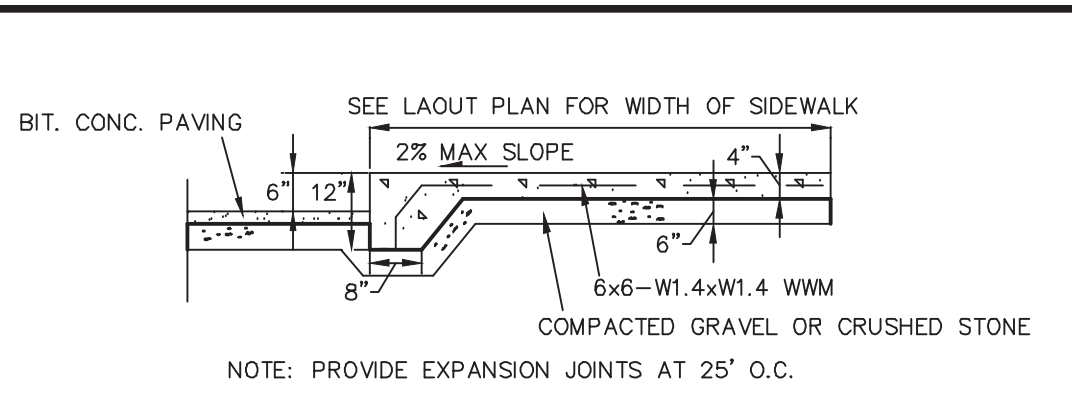
KELLY ENGINEERING GROUP
 civil engineering consultants
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 Phone: 781-843-4333 www.kellyengineeringgroup.com



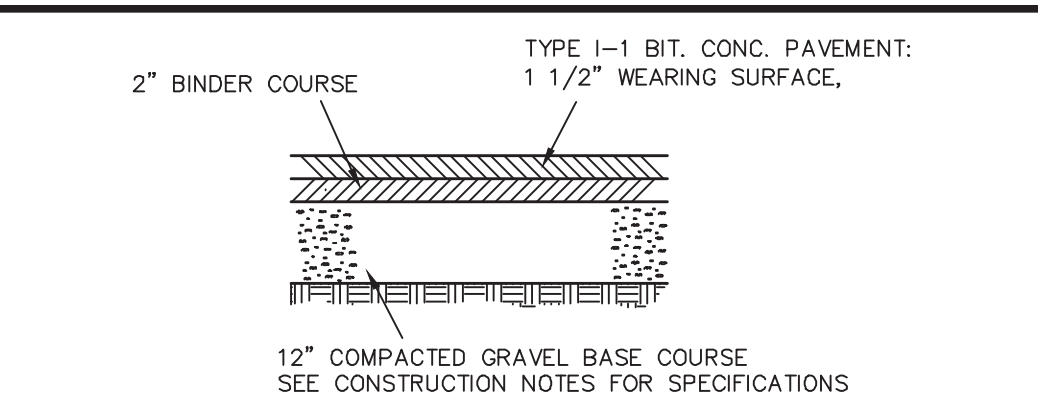
SHEET NO. **7**



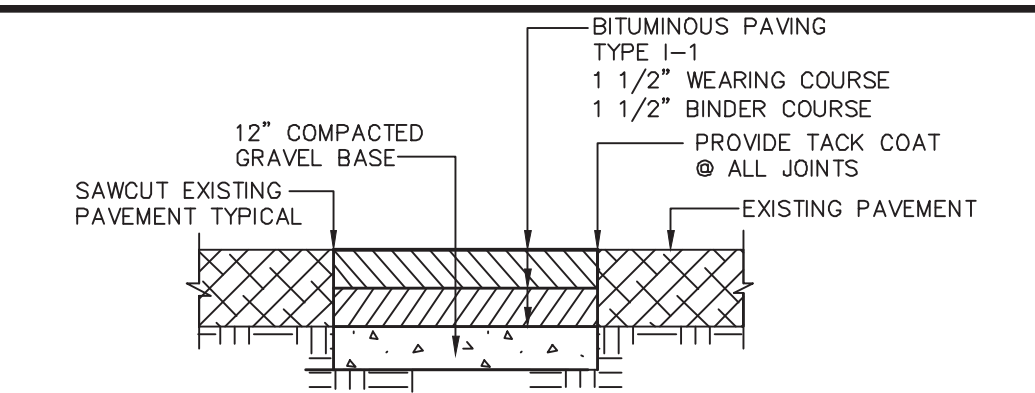
VERTICAL CONCRETE CURB DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



INTEGRAL SIDEWALK/CURB DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



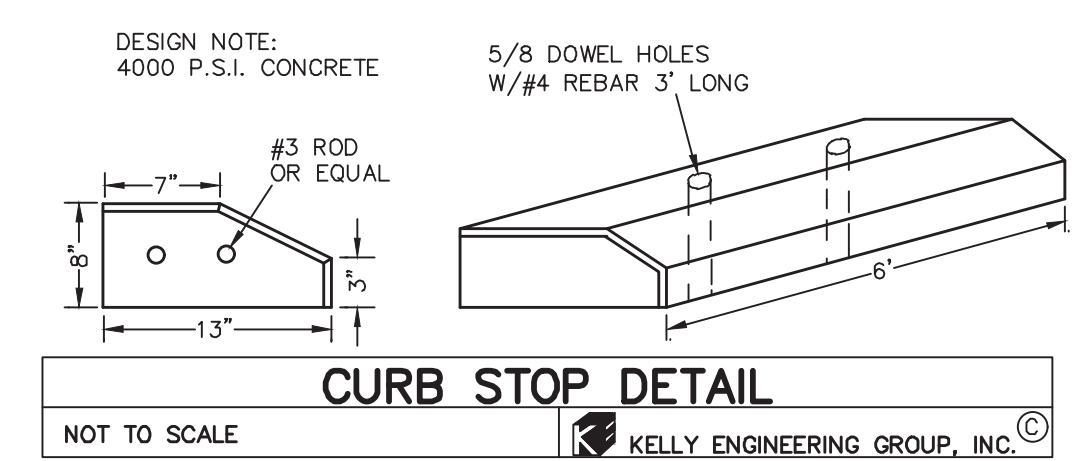
BITUMINOUS CONCRETE PAVEMENT (HEAVY DUTY)
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



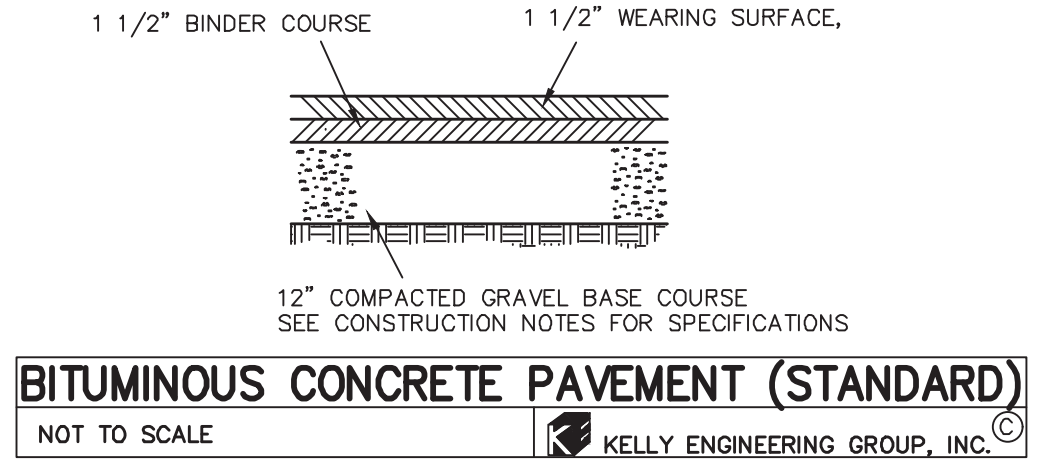
PAVEMENT MATCH/SAW-CUT DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



CURB STOP DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



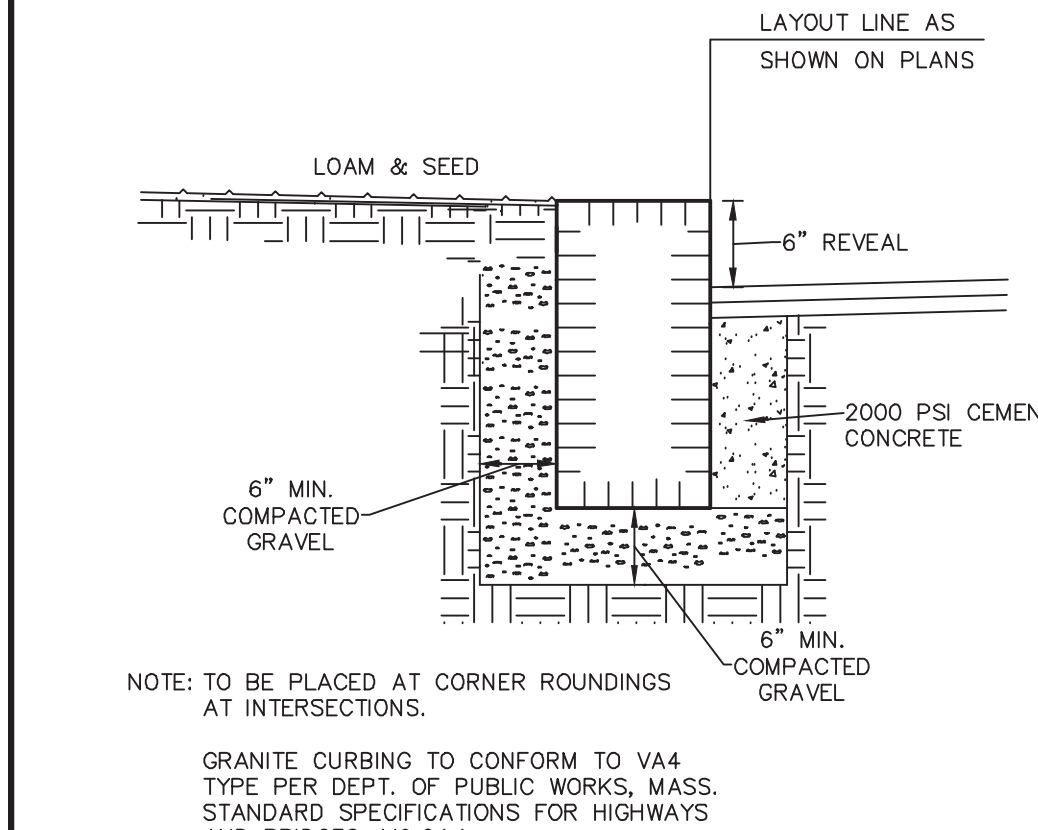
BITUMINOUS CONCRETE PAVEMENT (STANDARD)
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



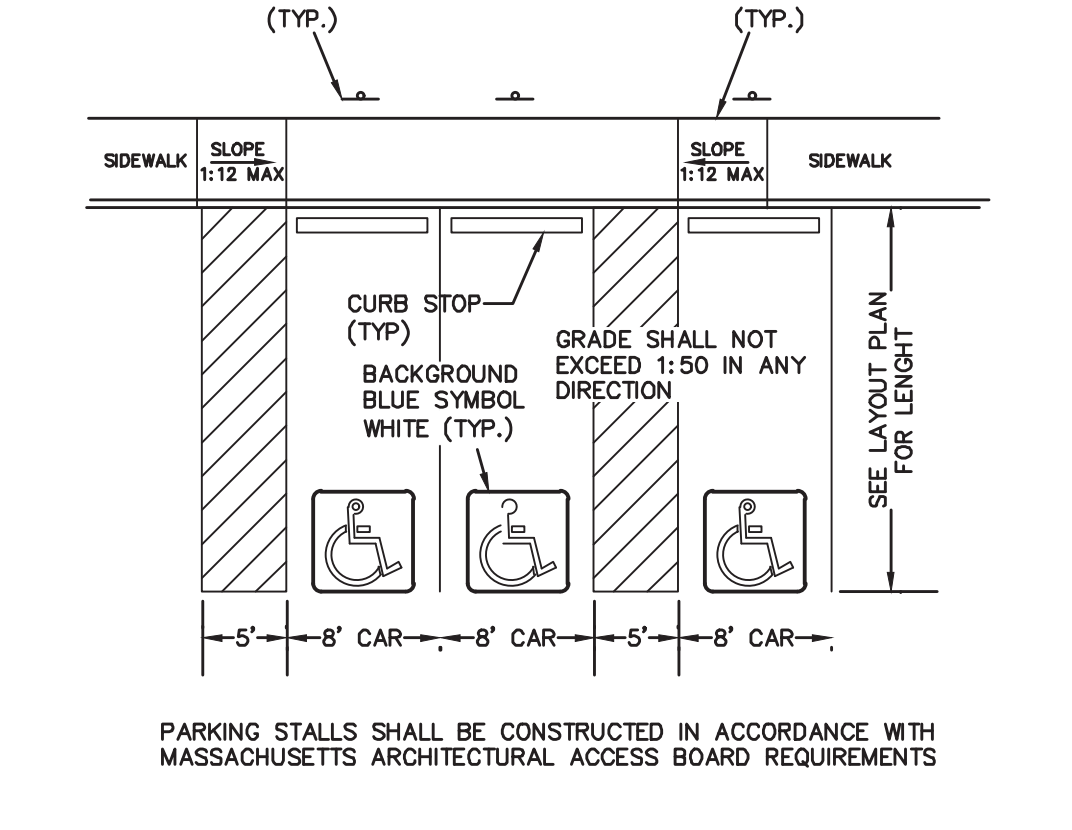
HANDICAP PARKING DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



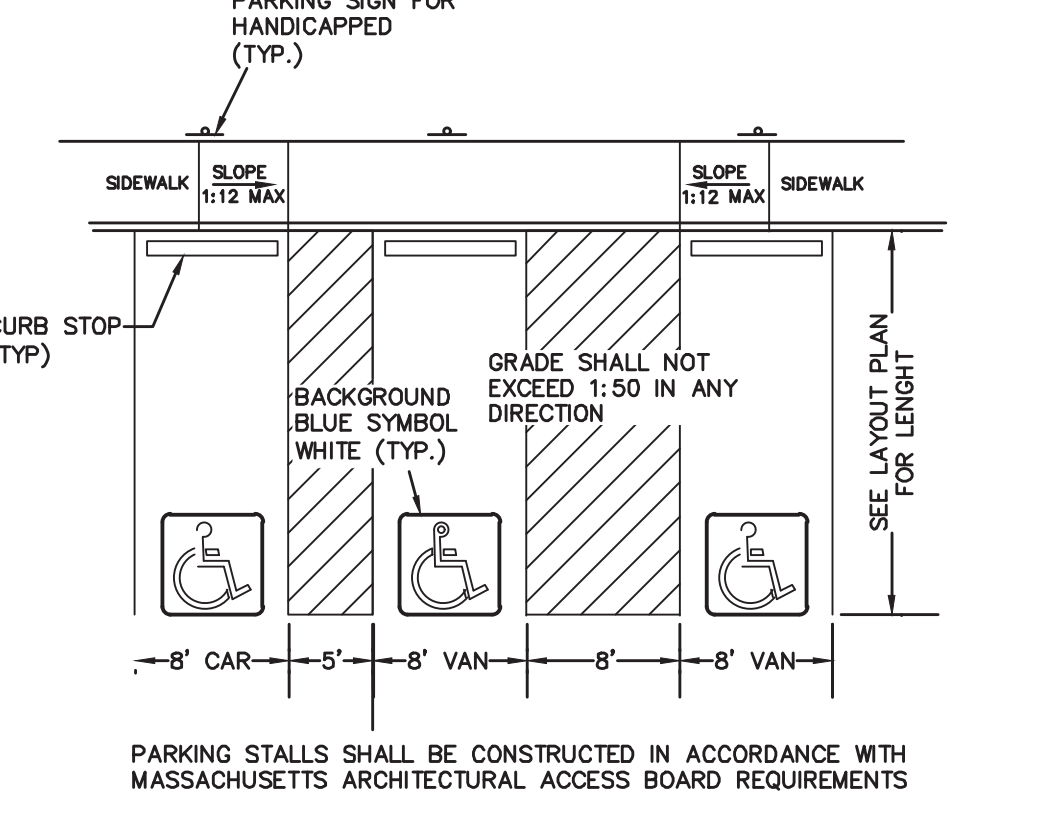
TRENCH PATCHING DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



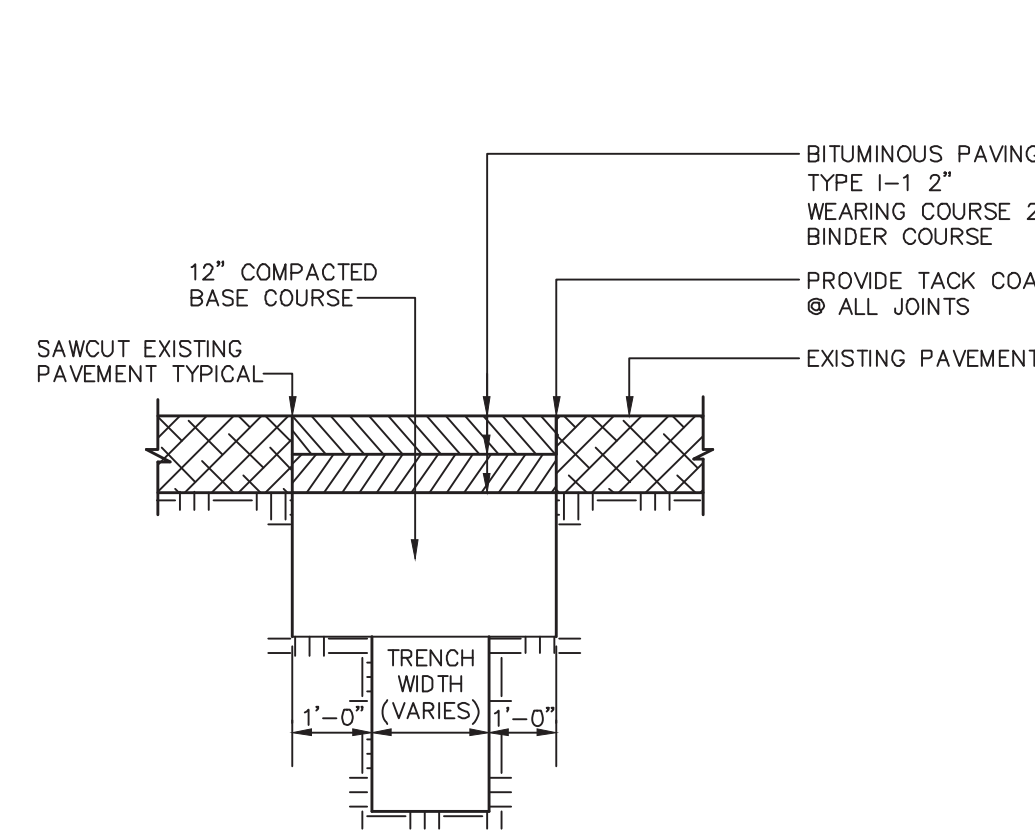
VERTICAL GRANITE CURB DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



HANDICAP PARKING DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



HANDICAP PARKING DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.

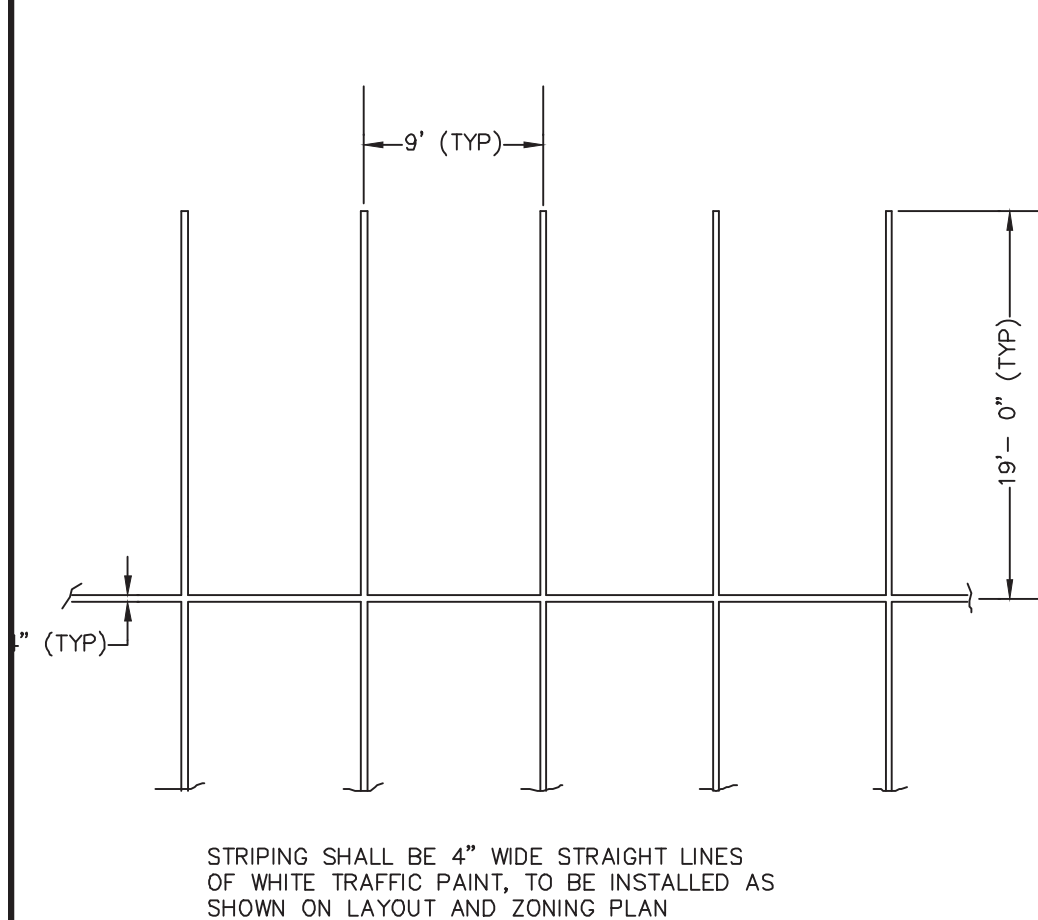


TRENCH PATCHING DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.

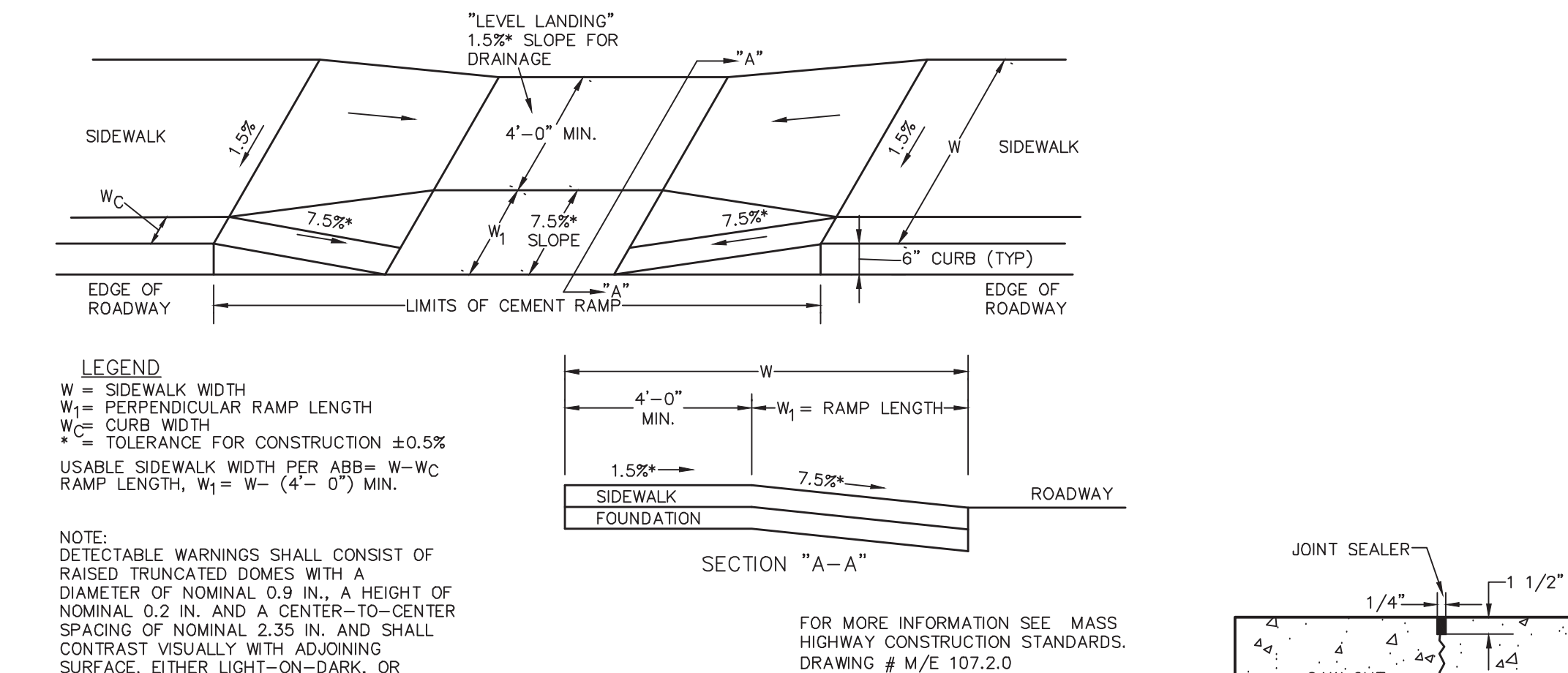
CONSTRUCTION NOTES

- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF FRANKLIN DEPARTMENT OF PUBLIC WORKS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
- IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
- ALL WORK SHALL CONFORM TO A SITE PLAN PERMIT TO BE ISSUED BY THE TOWN OF FRANKLIN.
- FOR ANY PROJECT THAT INVOLVES 1 ACRE OR MORE OF DISTURBANCE, THE CONTRACTOR SHALL SECURE A NPDES PERMIT PRIOR TO BEGINNING ANY GRADING ACTIVITIES.
- ALL WORK SHALL CONFORM TO THE GEOTECHNICAL REPORT BY MCARDLE & GANNON.
- THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL DIG SLOTT AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SLOTT TELEPHONE NUMBER IS 1-888-344-7233.
- THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSION AND DOOR LOCATIONS.
- BENCHMARK ELEVATION IS 249.44 LOCATED AT BONNET BOLT ON HYDRANT. DATUM IS NAVD.
- ALL PROPOSED SITE GAS, ELECTRIC, TELEPHONE, CATV FEATURES SHOWN ON SITE DEVELOPMENT PLANS ARE INTENDED AS A GUIDE ONLY. FINAL CONFIGURATION TO BE CONFIRMED WITH PROJECT MEP ENGINEER AND UTILITY PROVIDER.
- REFER TO PLUMBING PLANS FOR EXACT SIZE AND LOCATION OF SANITARY AND WATER CONNECTIONS.
- REFER TO ELECTRICAL PLANS FOR THE LIGHTING CIRCUITS, FIXTURE DETAIL AND BUILDING CONNECTION LOCATION.
- ALL H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE SHALL BE ADS N-12 OR APPROVED EQUAL. SEWER SHALL BE SDR 35 WITH RUBBER RING JOINTS. WATER LINES SHALL BE CL 52 D.I.P. (DUCTILE IRON PIPE). REINFORCED CONCRETE PIPE RCP SHALL BE CLASS III OR CLASS V WHEN COVER IS LESS THAN 42\".
- NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6\" OF THE SEWER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12\" ABOVE THE PIPES.
- WALKS SHALL BE 4\" THICK AND SHALL BE CONSTRUCTED ON 6\" OF COMPACTED BANK GRAVEL. CONCRETE FOR WALKS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 4,000 P.S.I. WALKS SHALL BE REINFORCED WITH WMM 6x6 W1.4/W1.4 CONFORMING TO ASTM A184.
- BASE MATERIAL SHALL BE CLEAN BANK RUN GRAVEL, CONFORMING TO M.D.P.W. M1.03.1, WITH NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4\" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL. PULVERIZED MATERIAL MAY BE USED AS BASE MATERIAL PROVIDING IT MEETS THIS SPECIFICATIONS. AREAS TO BE REPAVED SHALL BE PULVERIZED AND REGRADED TO PROVIDE POSITIVE FLOW TO DRAINAGE AND AWAY FROM BUILDING. PAVE WITH 1 1/2\" WEARING COURSE ON 1 1/2\" BINDER COURSE. ALL VALVES BOXES, MANHOLES AND OTHER UTILITIES APERTURES SHALL BE ADJUSTED TO CONFORM TO FINAL GRADE.
- STABILIZATION MEASURES (SEEDING OR PLANTING, APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT) OF EXPOSED SOILS SHALL BEGIN AS SOON AS PRACTICABLE AND IMMEDIATELY AFTER EARTH-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED. STABILIZATION TO BE COMPLETED WITHIN 14 DAYS.
- SILT SOCKS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF ALL STOCK PILES.
- SPARE EROSION/SEDIMENT CONTROL MATERIALS SHALL BE AVAILABLE ON SITE FOR USE IN CONTINGENCY CONDITIONS OR AT THE DIRECTION OF FRANKLIN CODE ENFORCEMENT PERSONNEL.

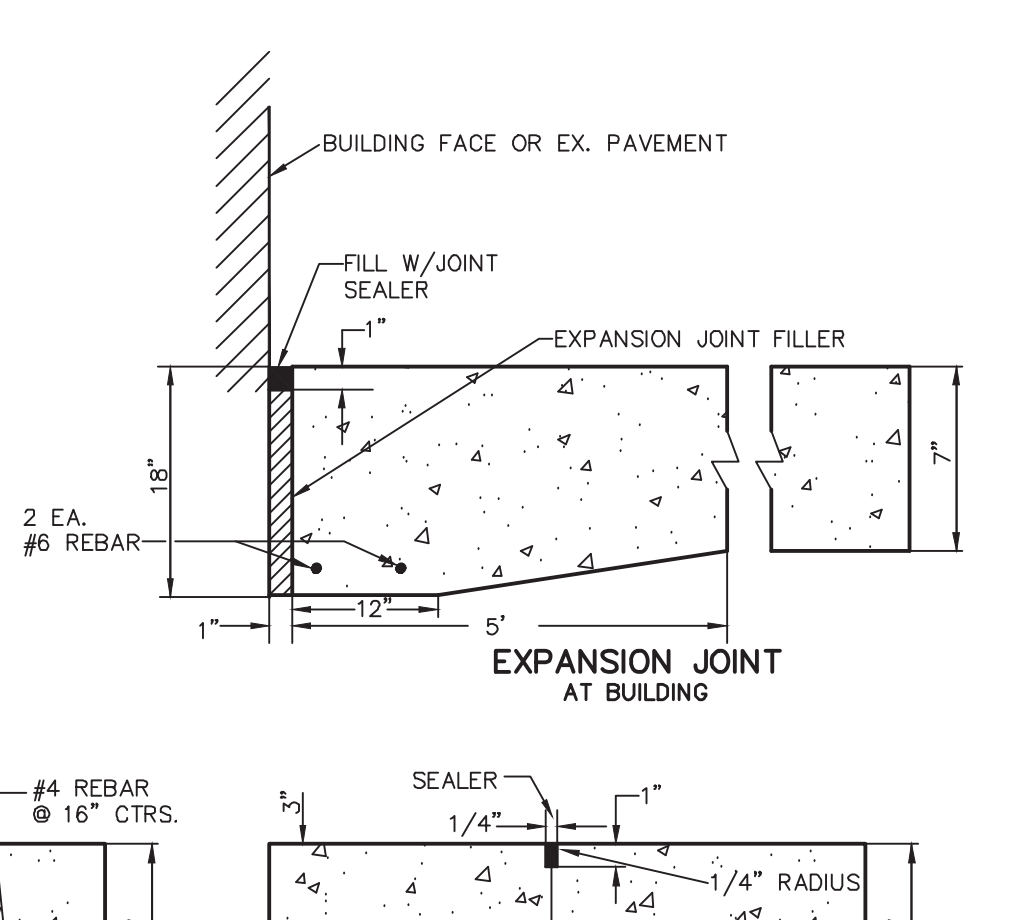
PERENNIAL RYE	25%
KENTUCKY BLUE	25%
GREENING RED FESCUE OR PENNLAWN FESCUE	50%
SEED AT THE RATE OF 5#/1,000 S.F.	



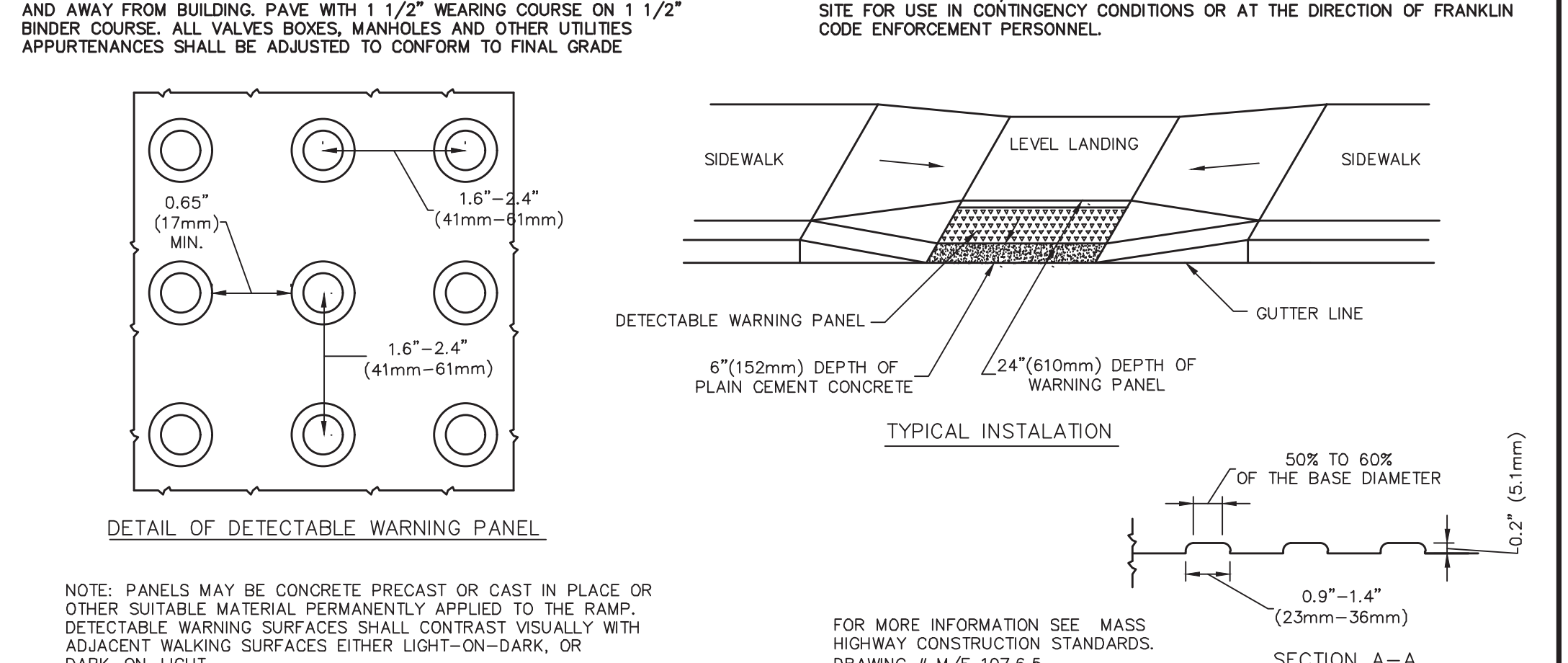
TYPICAL STRIPING DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



WHEELCHAIR RAMPS
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



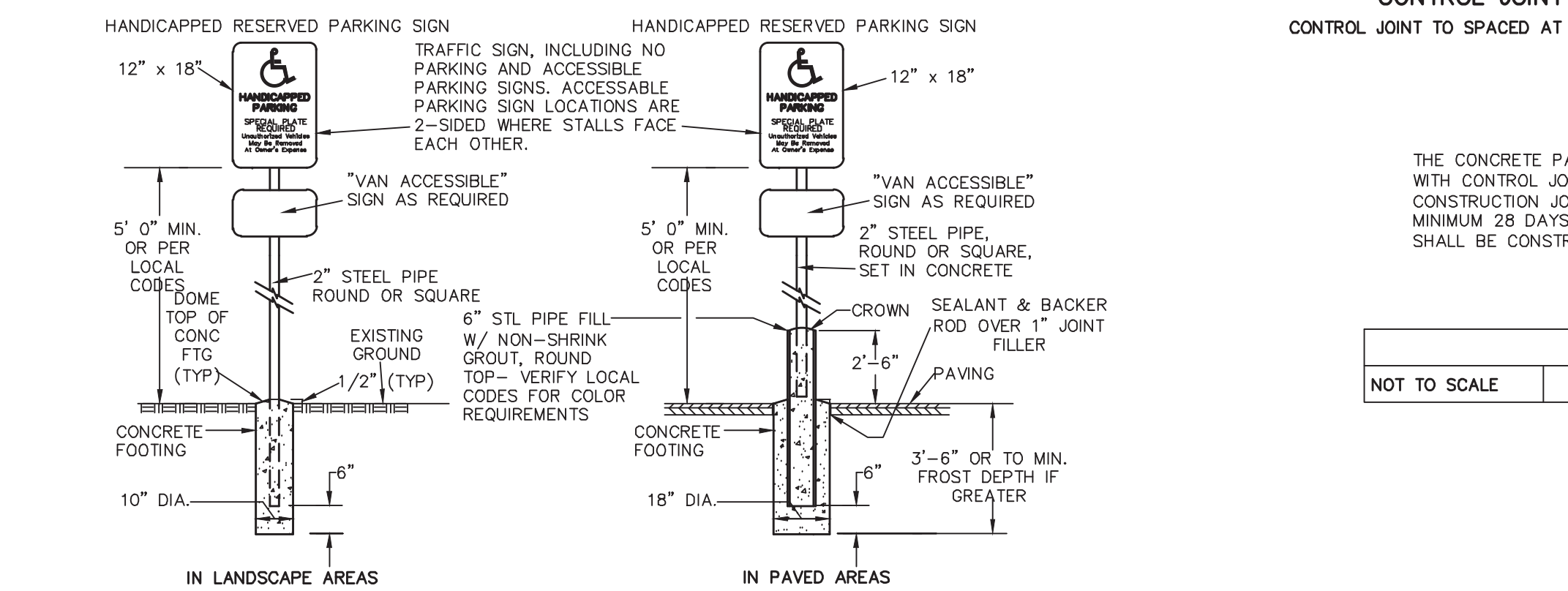
EXPANSION JOINT AT BUILDING
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



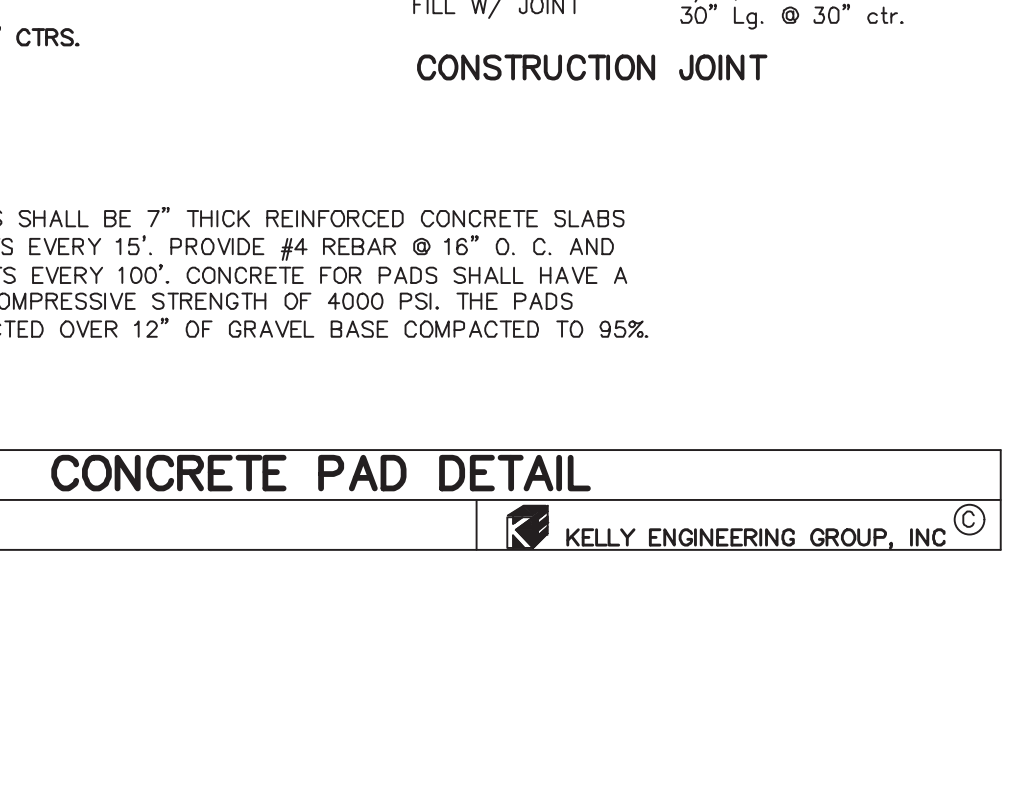
DETECTABLE WARNING PANEL FOR WHEELCHAIR RAMPS
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



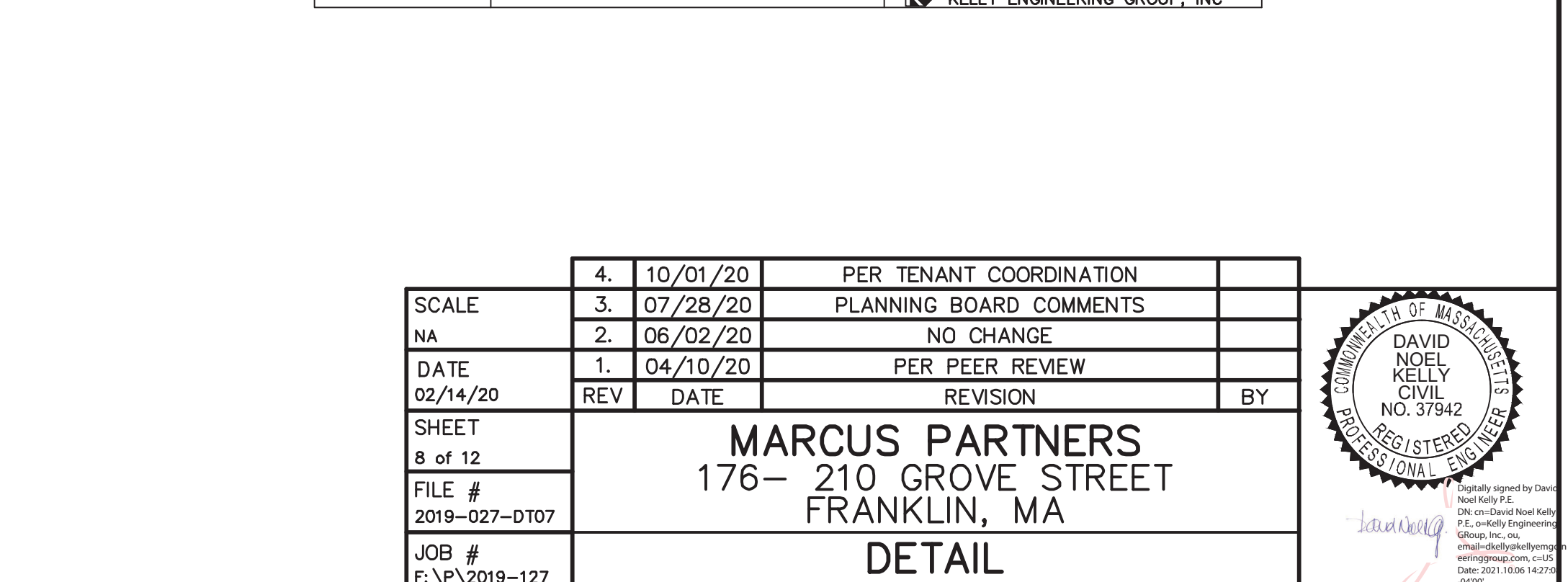
HANDICAP SIGN DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



CONCRETE PAD DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



CONTROL JOINT AND CONSTRUCTION JOINT
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



HANDICAP SIGN DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.

APPROVED BY THE FRANKLIN PLANNING BOARD

APPROVED DATE

NOTE: 1. SIGN LAYOUT, COLORS, SYMBOL AND LETTERING SHALL BE STANDARD.
2. TO BE LOCATED ON SITE AS DIRECTED.
3. TO BE LOCATED AT APPROPRIATE SPACES.

HANDICAP SIGN DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.

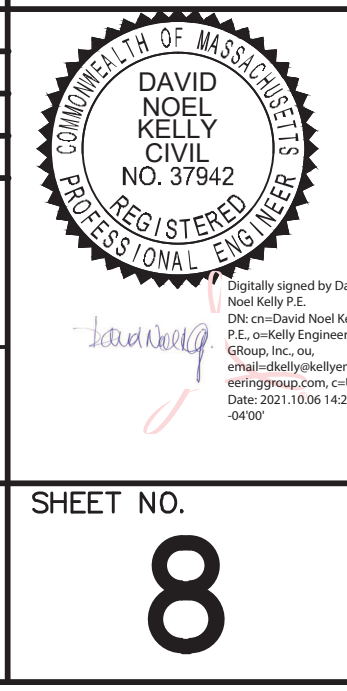
THE CONCRETE PADS SHALL BE 7\"/>

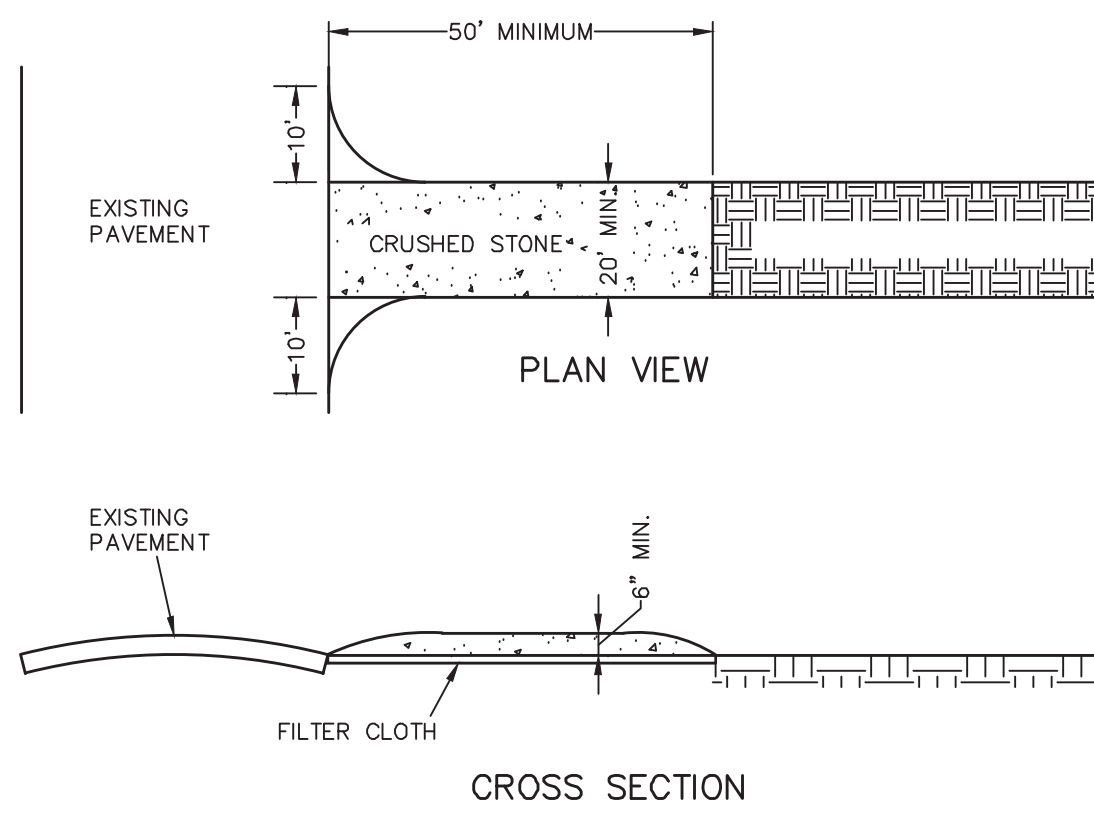
CONCRETE PAD DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.

NOTE: PANELS MAY BE CONCRETE PRECAST OR CAST IN PLACE OR OTHER SUITABLE MATERIAL PERMANENTLY APPLIED TO THE RAMP. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT

DETECTABLE WARNING PANEL FOR WHEELCHAIR RAMPS
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.

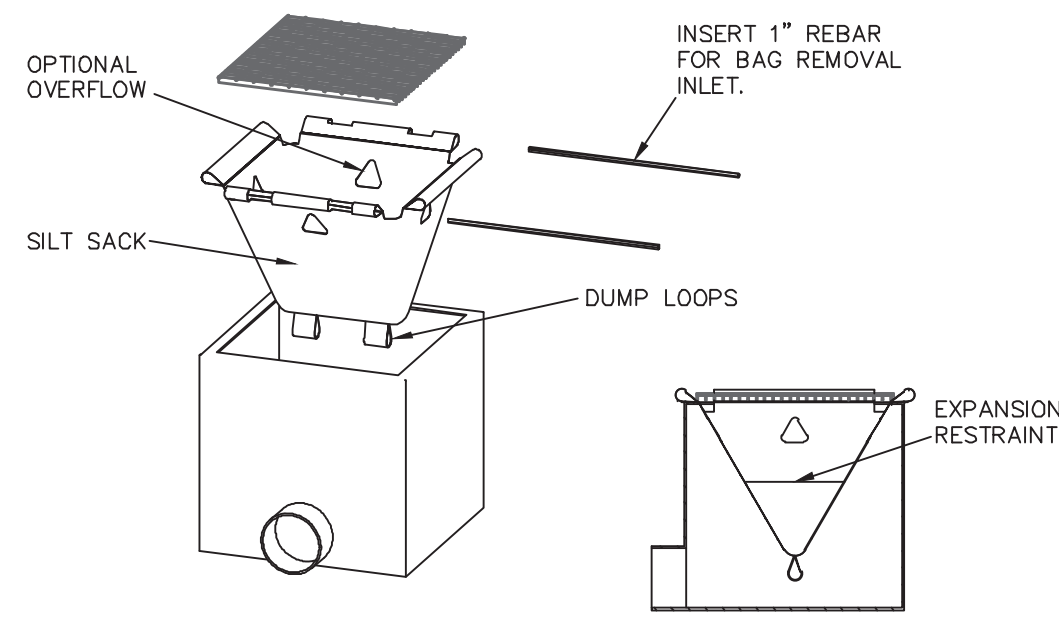
SCALE	4.	10/01/20	PER TENANT COORDINATION
NA	3.	07/28/20	PLANNING BOARD COMMENTS
DATE	2.	06/02/20	NO CHANGE
02/14/20	1.	04/10/20	PER PEER REVIEW
	REV	DATE	REVISION
SHEET	8 of 12		
FILE #	2019-027-DT07		
JOB #	F:\P\2019-127		
DRAWN BY	C.L.		
CHKD BY	GSH		
APP'D BY	DNK		
MARCUS PARTNERS			
176- 210 GROVE STREET			
FRANKLIN, MA			
DETAIL SHEET			
KELLY ENGINEERING GROUP			
civil engineering consultants			
0 Campanelli Drive, Braintree, MA 02184			
Phone: 781-843-4333 www.kellyengineeringgroup.com			



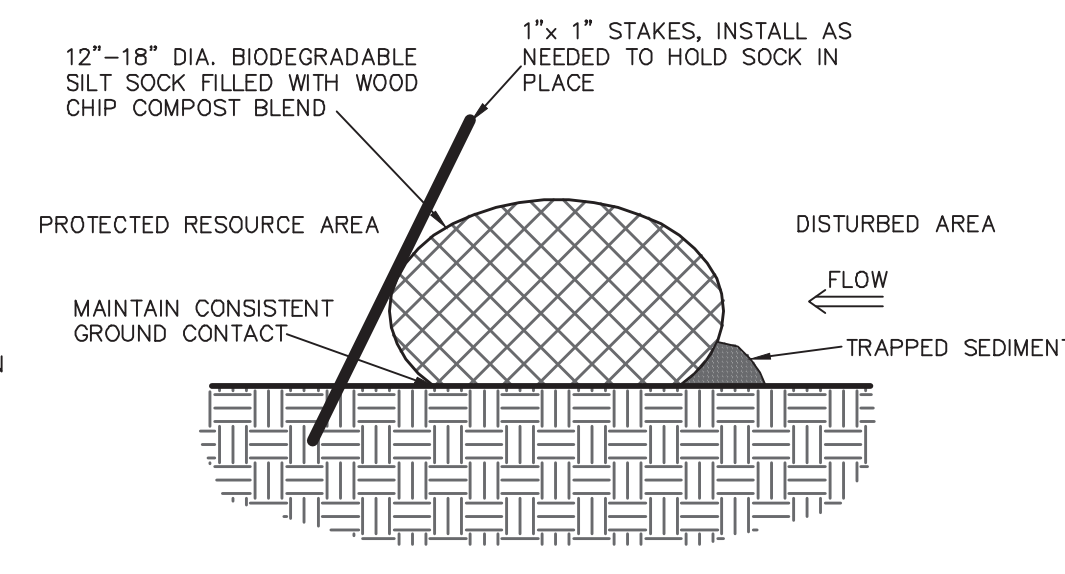


- TRACKING PAD NOTES:**
- STONE SIZE - USE 2" CRUSHED STONE
 - FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHOULD BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHOULD BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

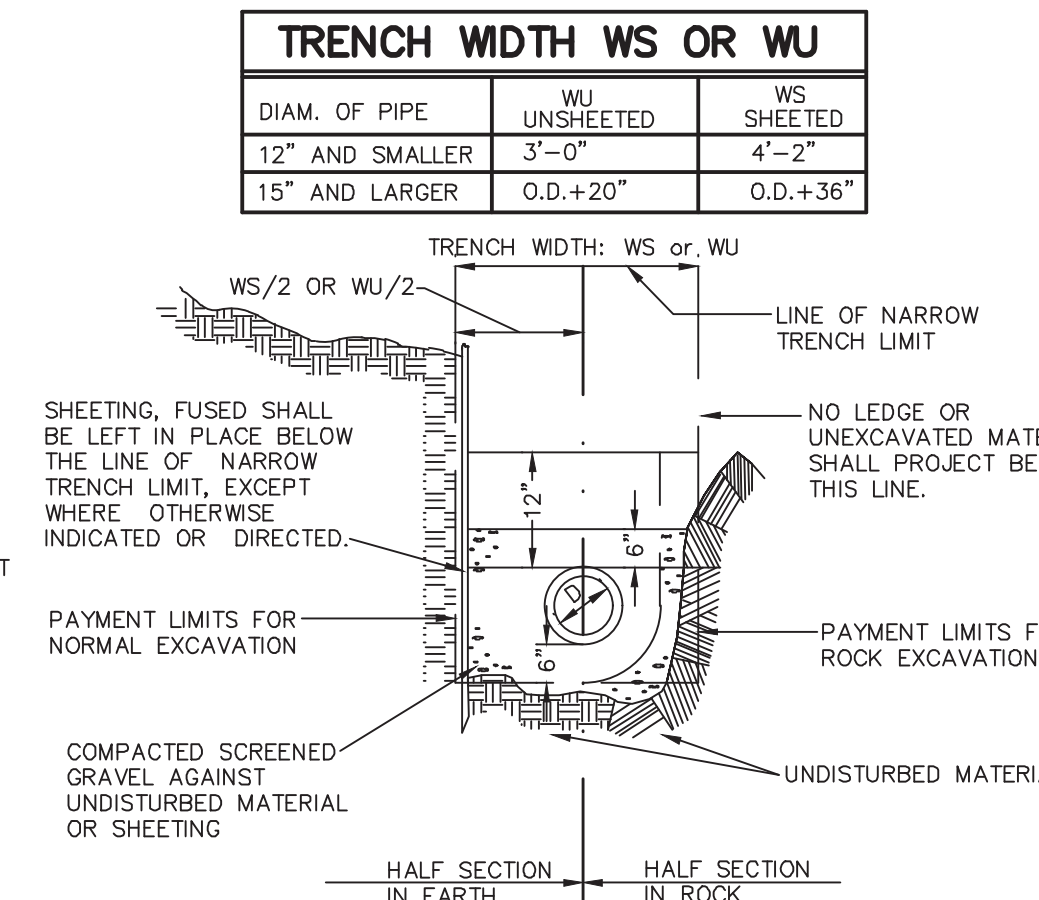
CONSTRUCTION TRACKING PAD
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



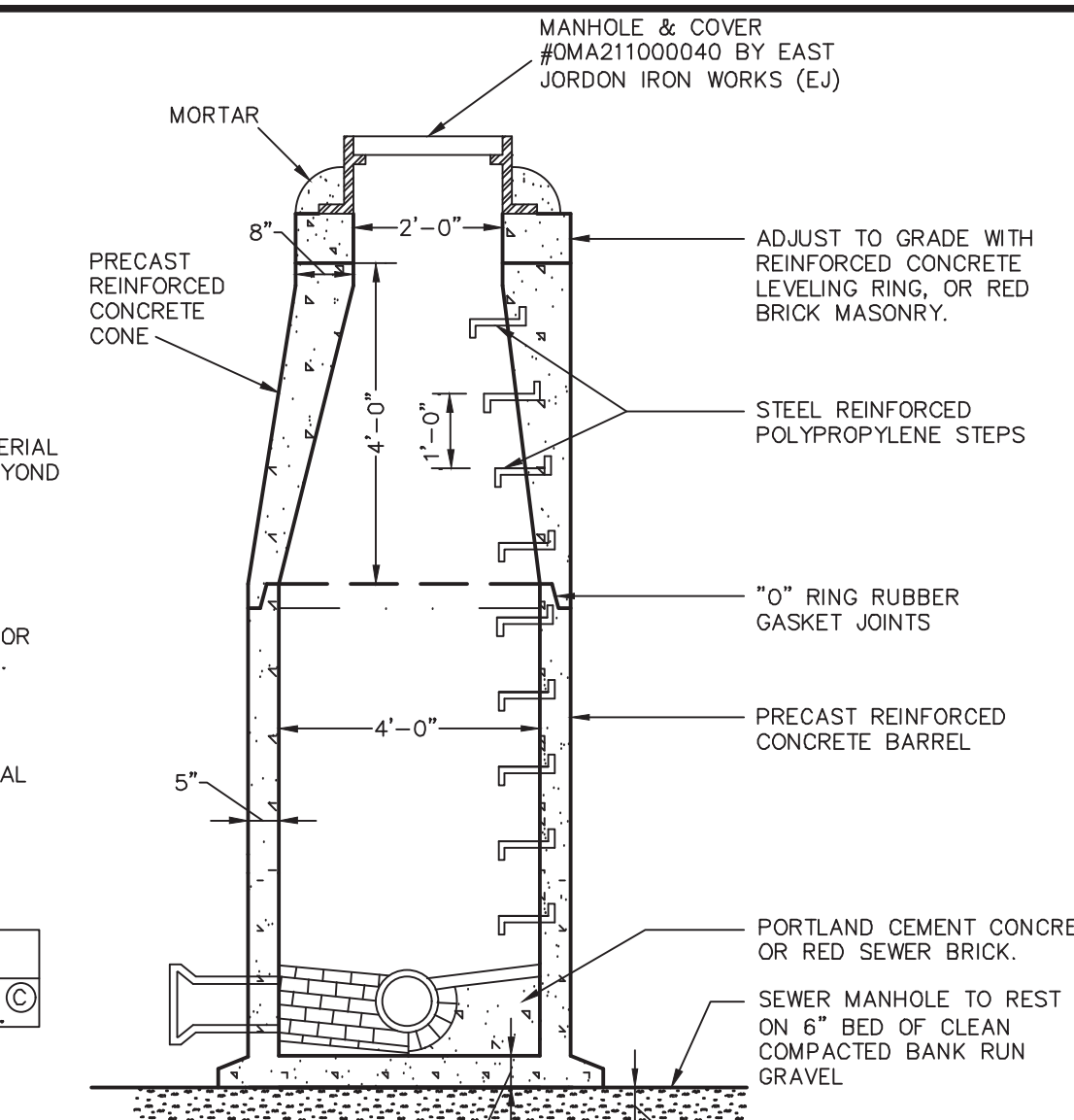
SILT SACK - TYPE A DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



SILT SOCK LINE DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.

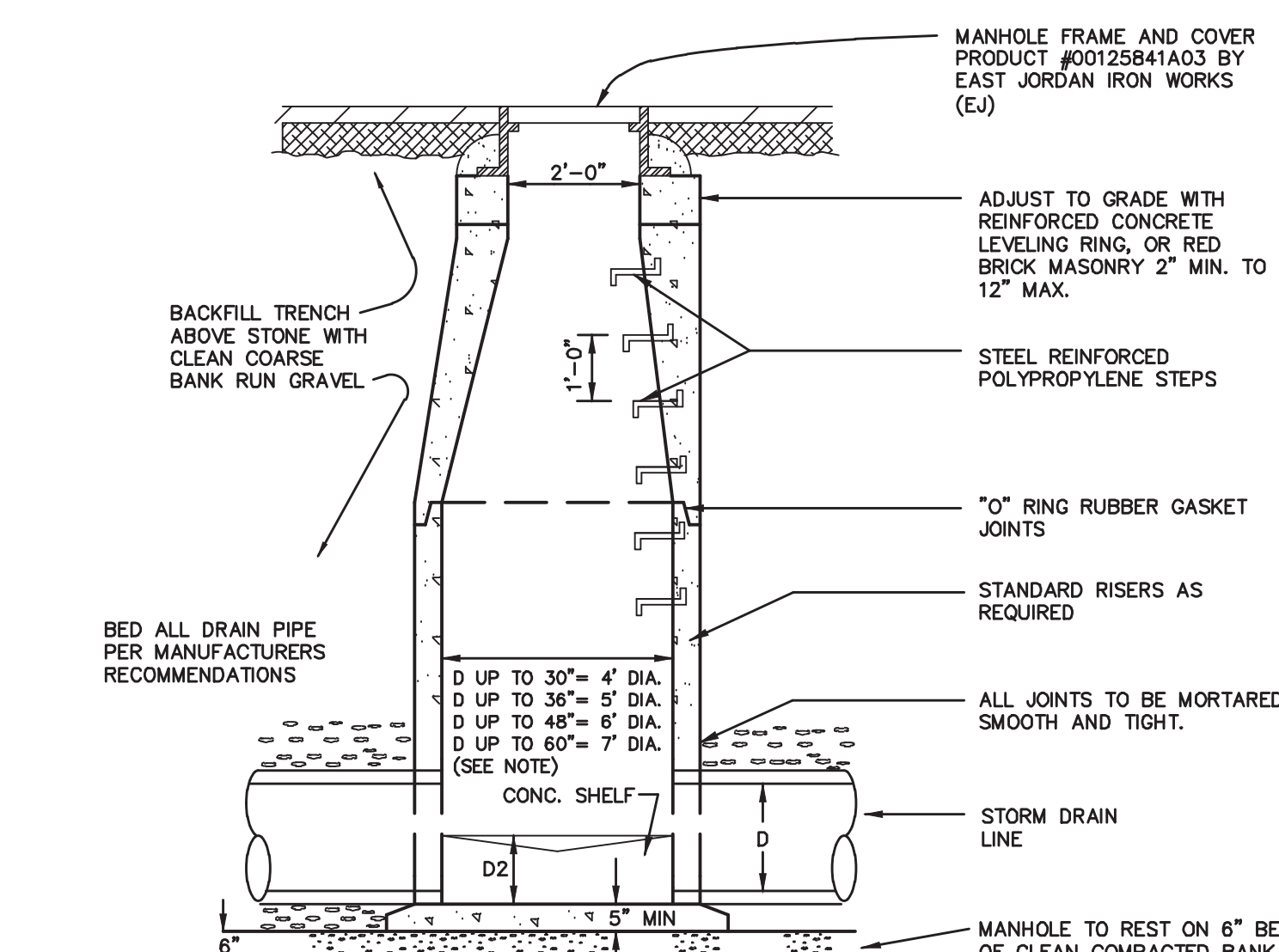


WATER AND SEWER TRENCH SECTION
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



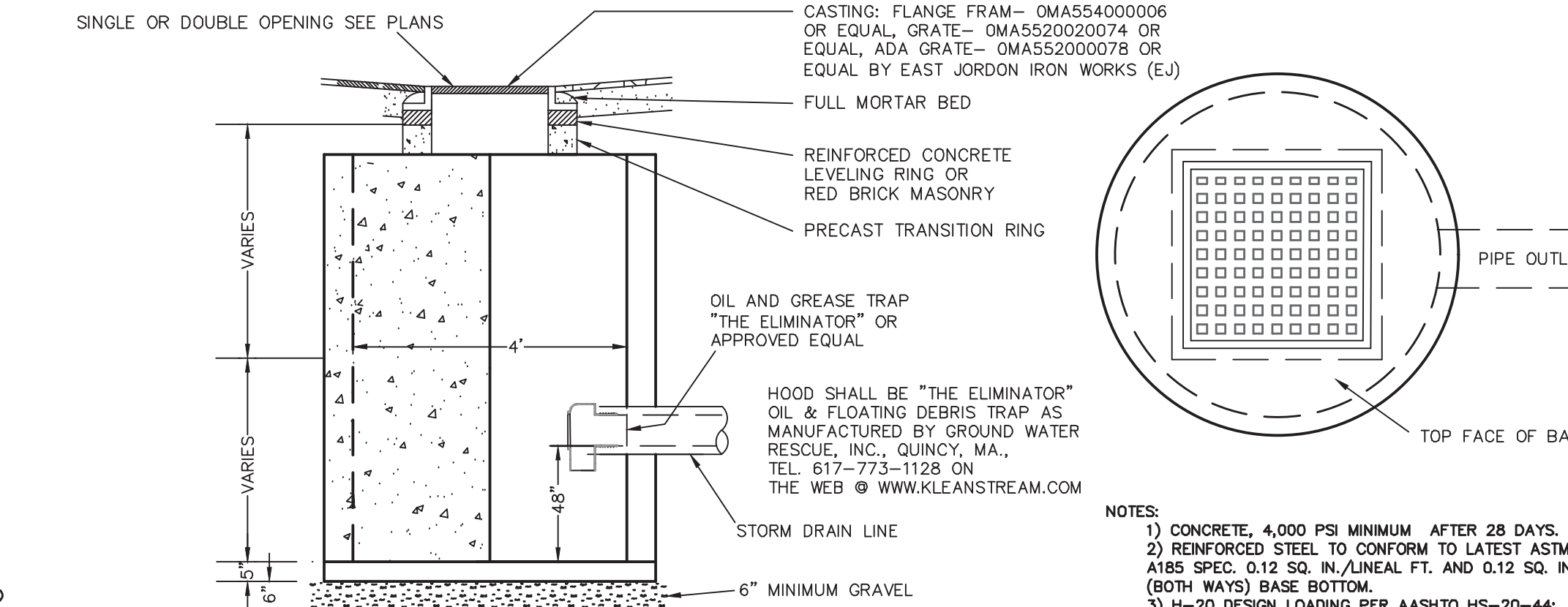
- NOTES:**
- CONCRETE, 4,000 PSI MINIMUM AFTER 28 DAYS.
 - REINFORCED STEEL TO CONFORM TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 - H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEP TO CONFORM TO LATEST ASTM C478 SPEC.
 - BUTYL RESIN SECTION JOINT TO CONFORM TO LATEST ASTM C890 SPEC.

SEWER MANHOLE DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



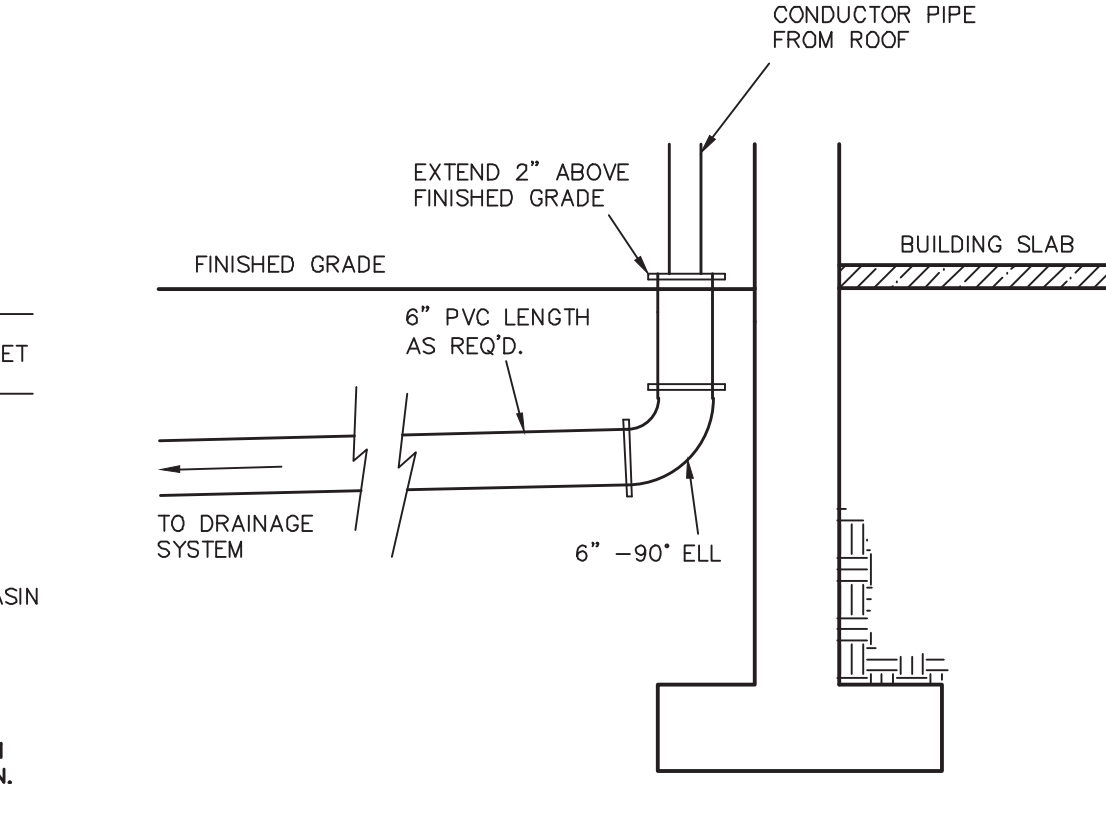
- NOTES:**
- CONCRETE, 4,000 PSI MINIMUM AFTER 28 DAYS.
 - REINFORCED STEEL TO CONFORM TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 - H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEP TO CONFORM TO LATEST ASTM C478 SPEC.

PRECAST DRAIN MANHOLE DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



- NOTES:**
- CONCRETE, 4,000 PSI MINIMUM AFTER 28 DAYS.
 - REINFORCED STEEL TO CONFORM TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 - H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."

PRECAST CATCH BASIN DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.



ROOF DRAIN CONNECTION DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.

SANITARY PUMP STATION SCHEDULE OF INVERTS

INSIDE BOTTOM OF PUMP STATION	243.8
PUMP OFF	244.8
LEAD PUMP ON	245.8
LAG PUMP ON	246.6
ALARM ON	246.1
INVERT FORCE MAIN	248.6
INVERT 6" IN (LOWEST)	248.8
INSIDE TOP OF PUMP STATION	252.0
RIM	258.0

DESIGN FLOW = 2,250 GPD (150 PEOPLE @ 15 GPD/PERSON)
 *USE GOULDS MODEL WS2003 OR EQUAL
 PUMP SHALL BE 200 VOLT, 3 PHASE
 MINIMUM OPERATION POINT @ 150 GPM WITH 34.3' TDH

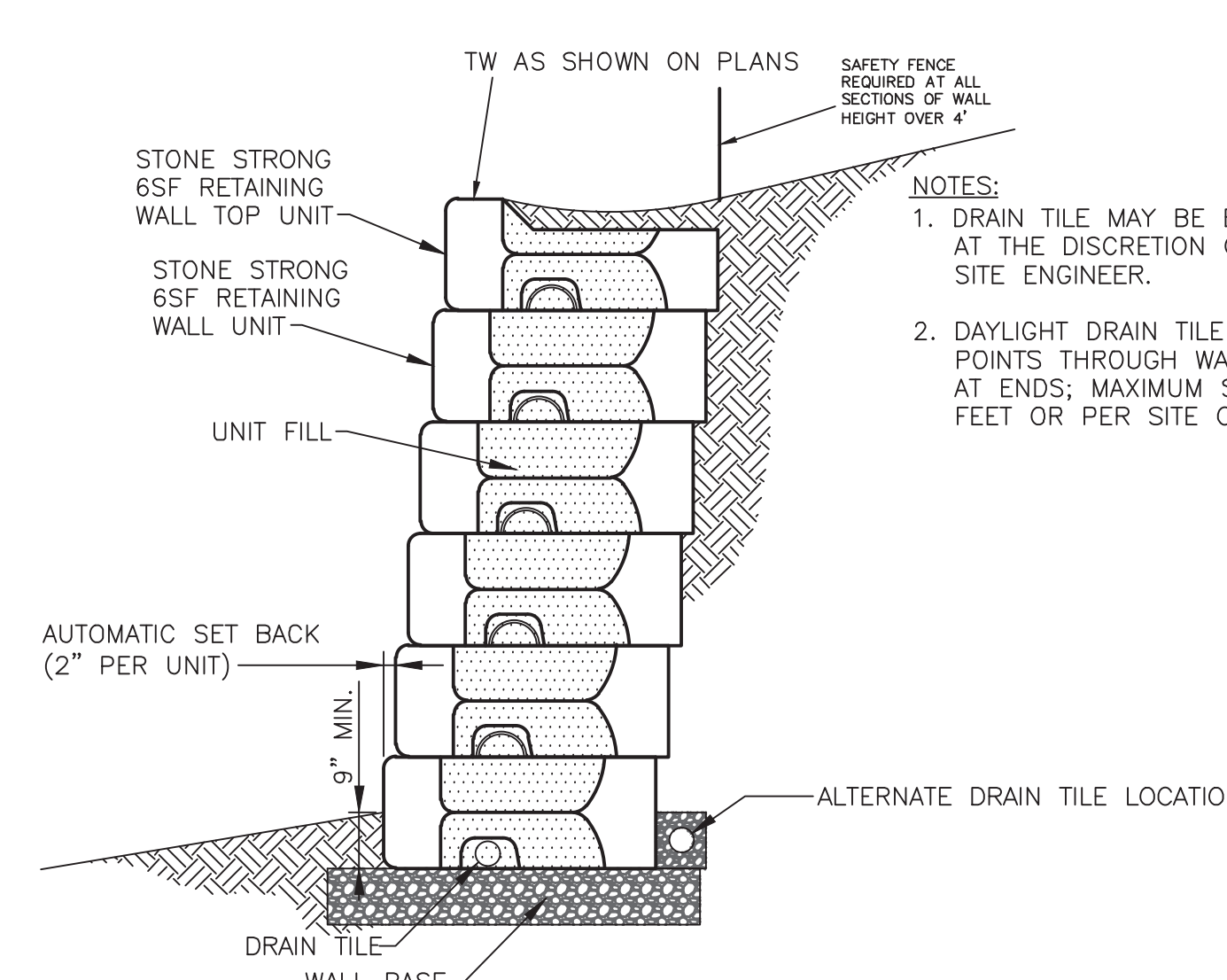
SEE UTILITY PLAN FOR CORRECT ORIENTATION OF INLET, OUTLET, & STEPS

PUMP DESIGN: USE 8" DIA PUMP CHAMBER (376 GALS./V.F.) BY SCITUATE RAY PRECAST OR EQUAL
DESIGN FLOW: 150 EMPLOYEES @ 15 GPD/EMP = 2,250 GPD
DOSE VOLUME = 8 DOSES/DAY
 = 2,250 GPD
 = 375' ± GAL/DOSE
PUMP CYCLE 375 GALS/ 376 GALS./V.F. = 1.0'
TOTAL STORAGE ABOVE WORKING LEVEL = 252.0 - 245.8 = 6.2' * 376 GAL/FT = 2,331 GALLONS
EQUIVALENT LENGTH OF PIPE = 370' + 30' (FITTINGS AND VALVES) = 400 FEET
STATIC HEAD = 267.5 - 248.6 = 18.9
FRICITIONAL HEAD = 20' @ 150 GPM
TOTAL DYNAMIC HEAD = 34.3' @ 150 GPM
 *USE GOULDS MODEL WS2003 OR EQUAL
 PUMP SHALL BE 200 VOLT, 3 PHASE
 MINIMUM OPERATION POINT @ 150 GPM WITH 34.3' TDH
 CYCLE TIME = 376 GAL/ 150GPM = 2.5 MIN

SEE PLAN FOR CORRECT ORIENTATION OF INLET, OUTLET, & STEPS
 BUOYANCY CALCULATIONS TO BE PROVIDED BY SUPPLIER.

SEWER PUMP STATION NOTES:

- HATCH RAIL RISERS AND ELECTRICAL COMPONENTS SHALL BE DETAILED BY THE SUPPLIER. SUPPLIER SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL.
- ALL TANKAGE AND HATCHES SHALL BE DESIGNED FOR H-20 LOADING AND DESIGNED TO ACCOMMODATE DIRECT TRAFFIC.
- BACK UP POWER SHALL BE PROVIDED IF REQUIRED BY OWNER. USE A KOHLER MODEL 30RZ EMERGENCY BACKUP GENERATOR, GAS POWERED OR APPROVED EQUIVALENT. GENERATOR SHALL SUPPLY BACKUP POWER. FINAL LOCATION OF GENERATOR TO BE DETERMINED BY ENGINEER.
- 10KV PAD MOUNT TRANSFORMER TO SUPPLY POWER TO SYSTEM OR AS DETERMINED BY UTILITY COMPANY.
- PROVIDE CONTROL CABINET AS FOLLOWS:
 CABINET SHALL BE CSI 070405-3 CONTROL CABINET OR APPROVED EQUIVALENT CABINET SHALL BE NEMA 4 STEEL EQUIPPED WITH 2 DOUBLE DOOR, 72 X 72 X 18 DIMENSIONS, 200 AMP METER SOCKET, MAIN DISCONNECT, 200 AMP LOAD CENTER, GF OUTLET, LIGHT, ANTI-CONDENSATION HEATER, CELLULAR DIALER, AUTOMATIC TRANSFER SWITCH, MULTITRODE PUMP CONTROL PANEL, ICL MAX STREAM RADIO RECEIVER PANEL, LIGHTNING ARRESTOR. PANEL SHALL HAVE ELAPSED TIME METERS, MOISTURE AND TEMPERATURE SENSORS
- ALL PUMP STATION HARDWARE SHALL BE 304 STAINLESS STEEL.



- NOTES:**
- DRAIN TILE MAY BE ELIMINATED AT THE DISCRETION OF THE SITE ENGINEER.
 - DAYLIGHT DRAIN TILE AT LOW POINTS THROUGH WALL FACE OR AT ENDS; MAXIMUM SPACING 100 FEET OR PER SITE CONDITIONS.

GRAVITY RETAINING WALL DETAIL
NOT TO SCALE
KELLY ENGINEERING GROUP, INC.

APPROVED BY THE FRANKLIN PLANNING BOARD

APPROVED DATE _____

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THE EXTENT OF KELLY ENGINEERING GROUP'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST

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SCALE	4.	10/01/20	PER TENANT COORDINATION
NA	3.	07/28/20	PLANNING BOARD COMMENTS
DATE	2.	06/02/20	NO CHANGE
02/14/20	1.	04/10/20	PER PEER REVIEW
REV	DATE	REVISION	BY

MARCUS PARTNERS
176 - 210 GROVE STREET
FRANKLIN, MA

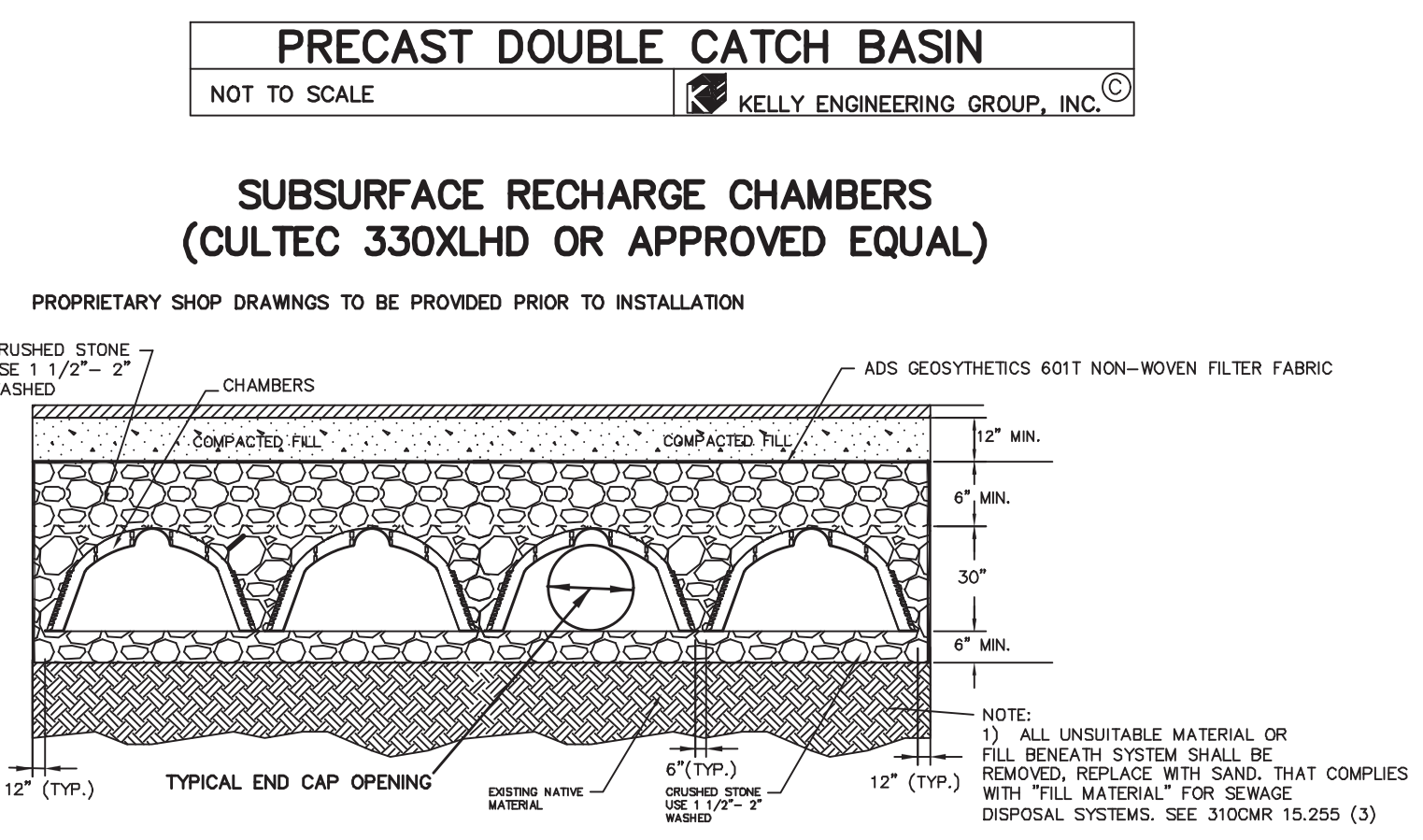
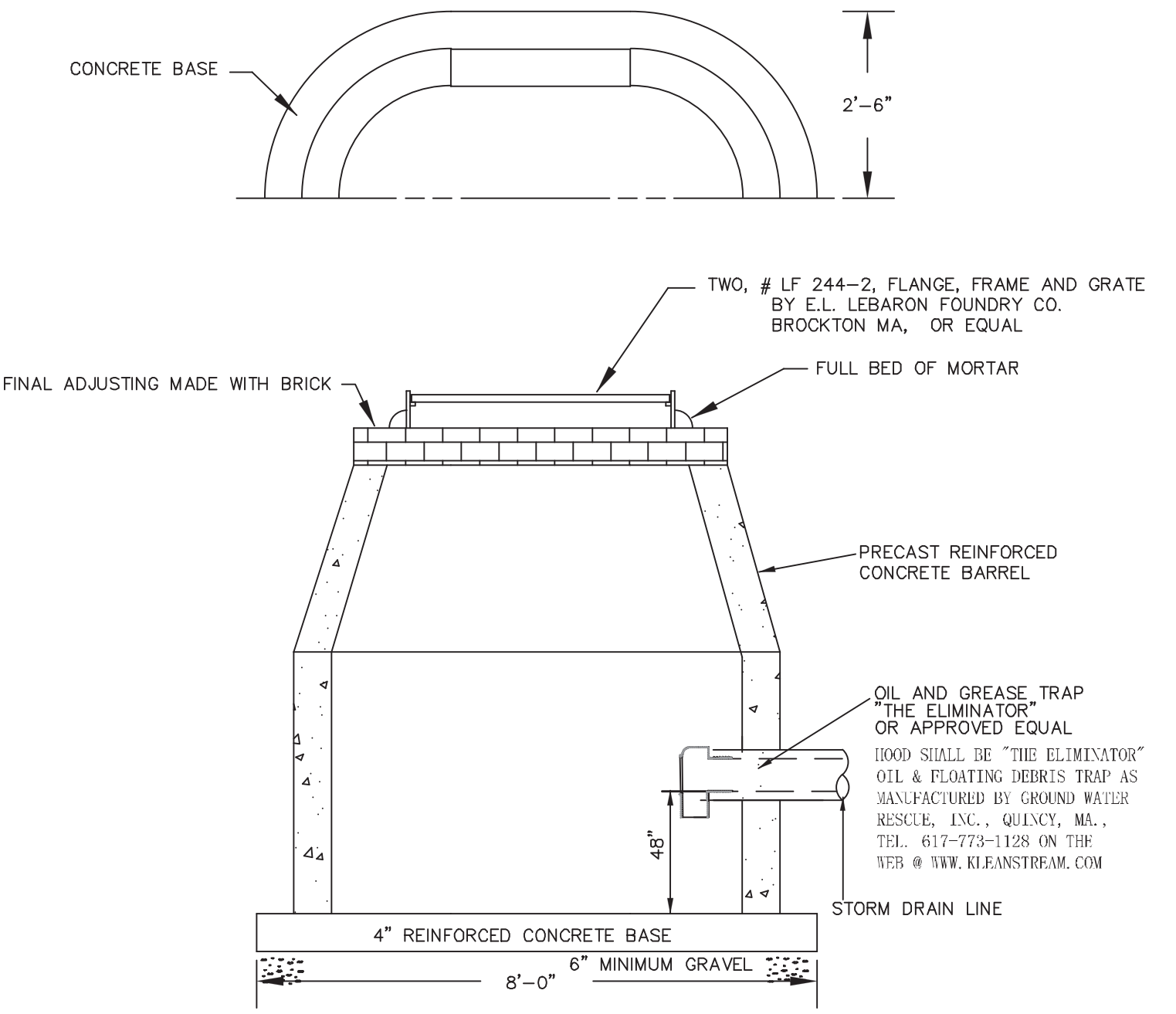
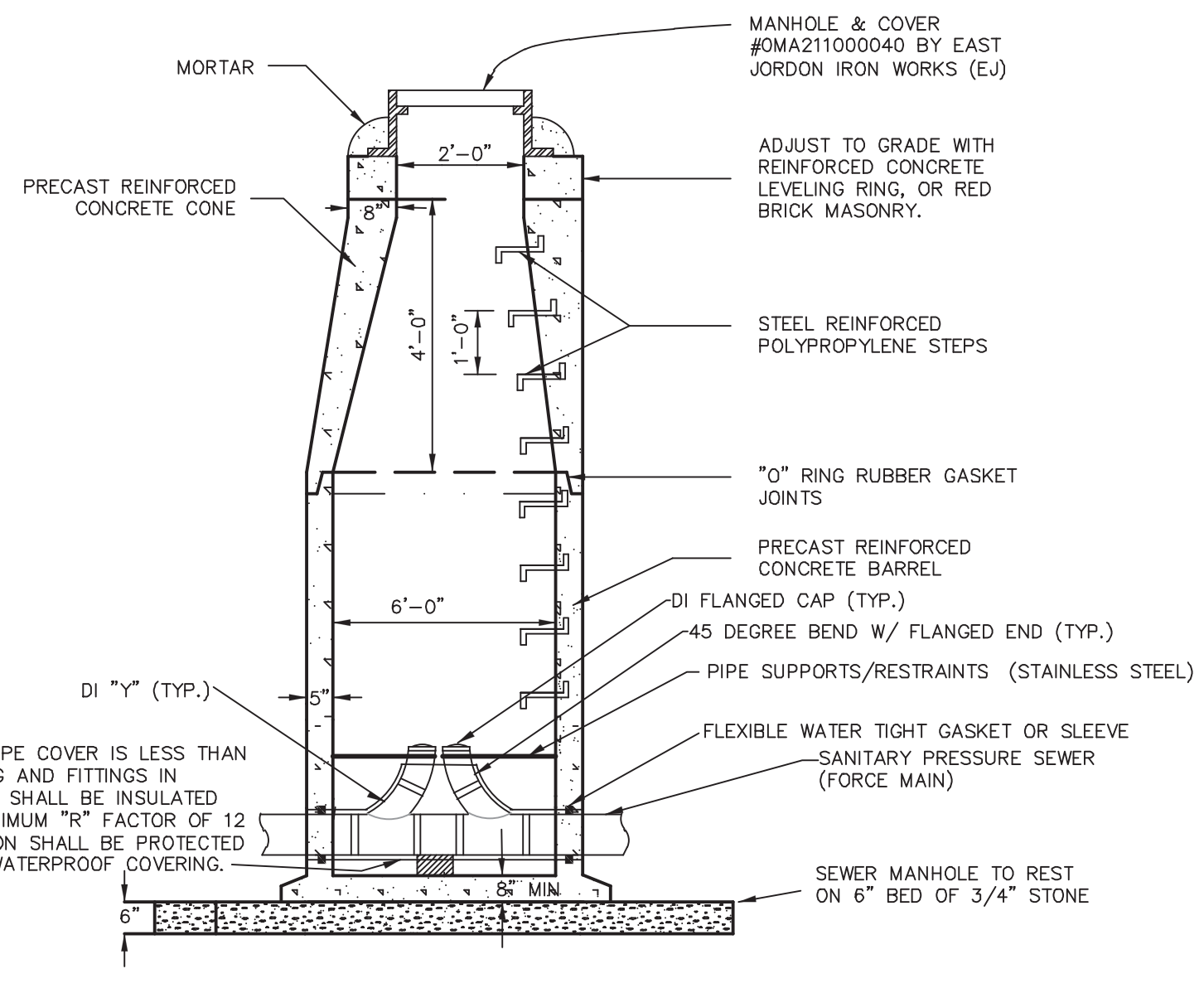
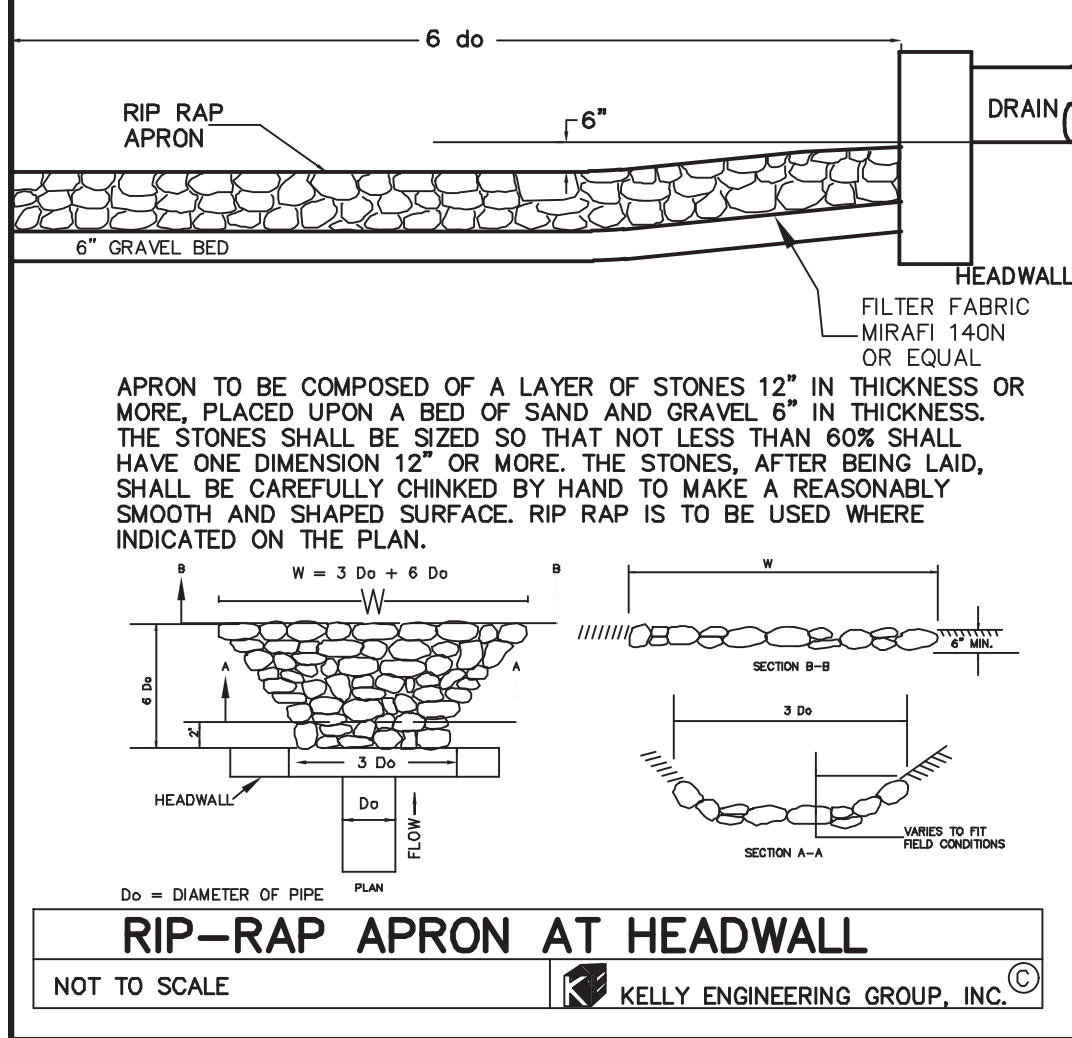
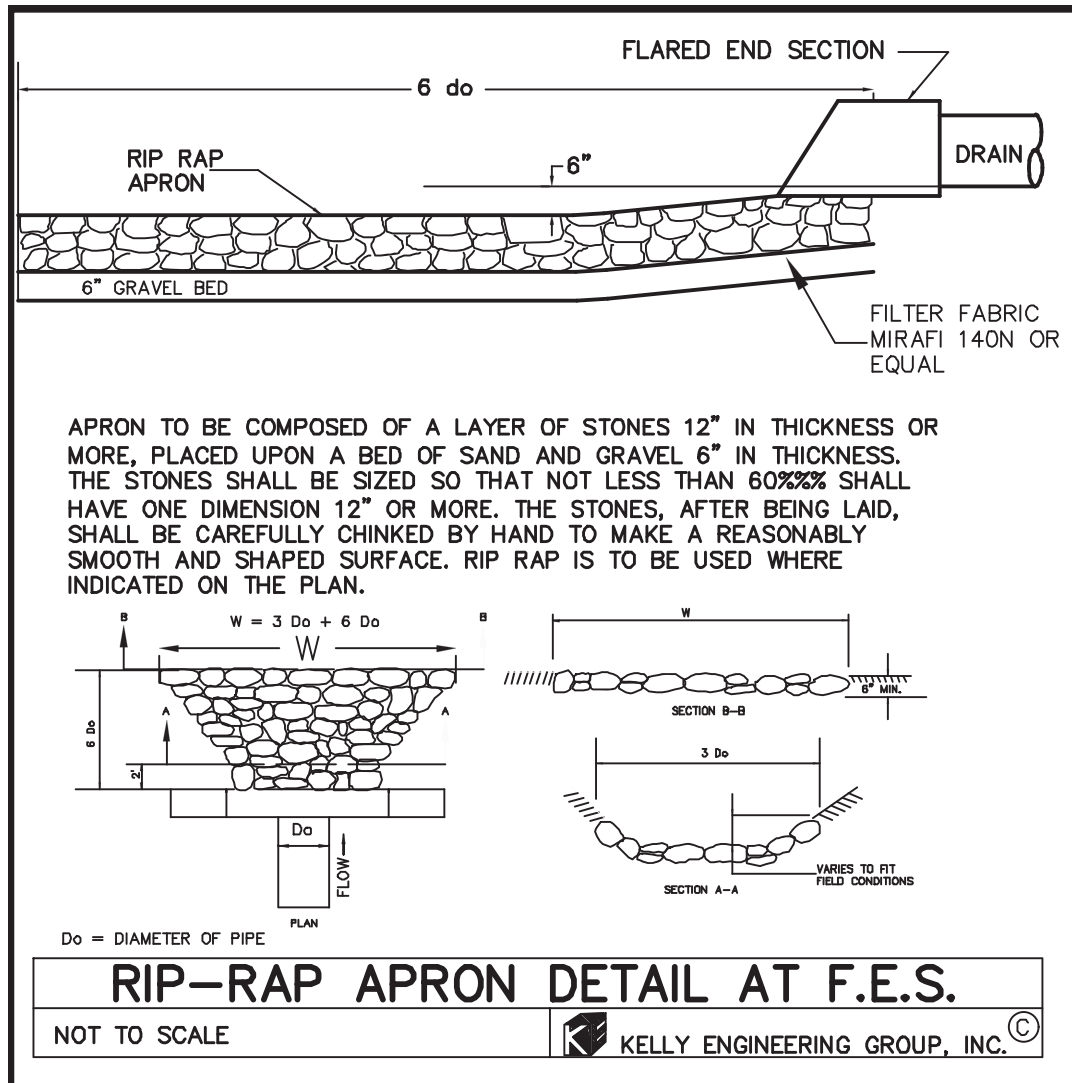
DETAIL SHEET

DATE: 02/14/2020
 SHEET: 9 of 12
 FILE #: 2019-127-DT07
 JOB #: F:\P\2019-127
 DRAWN BY: C.J.
 CHKD BY: GSH
 APPD BY: DNK

STATE OF MASSACHUSETTS
 DAVID NOEL
 KELLY
 CIVIL
 NO. 37942
 REGISTERED PROFESSIONAL ENGINEER

KELLY ENGINEERING GROUP
civil engineering consultants
0 Campanelli Drive, Braintree, MA 02184
Phone: 781-843-4333 www.kellyengineeringgroup.com

SHEET NO. **9**

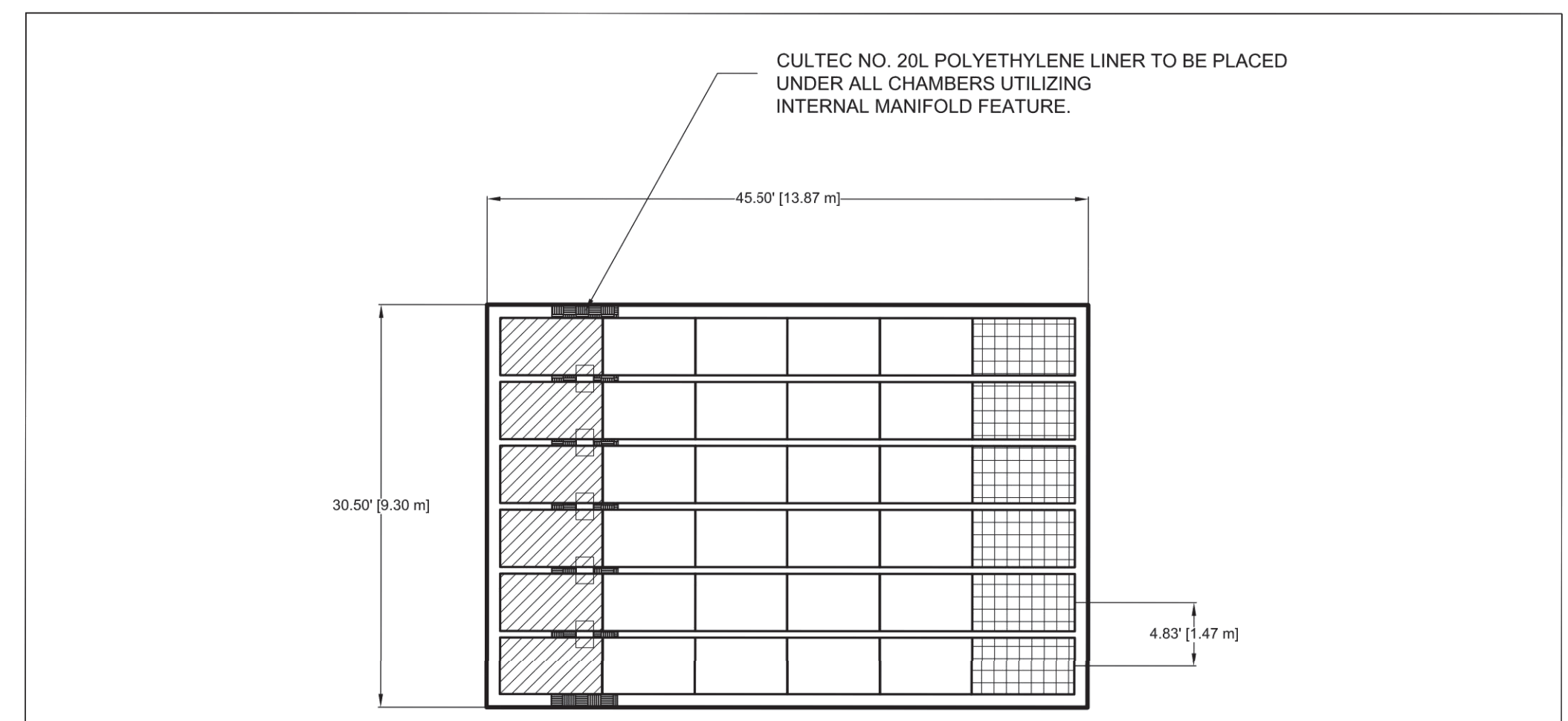
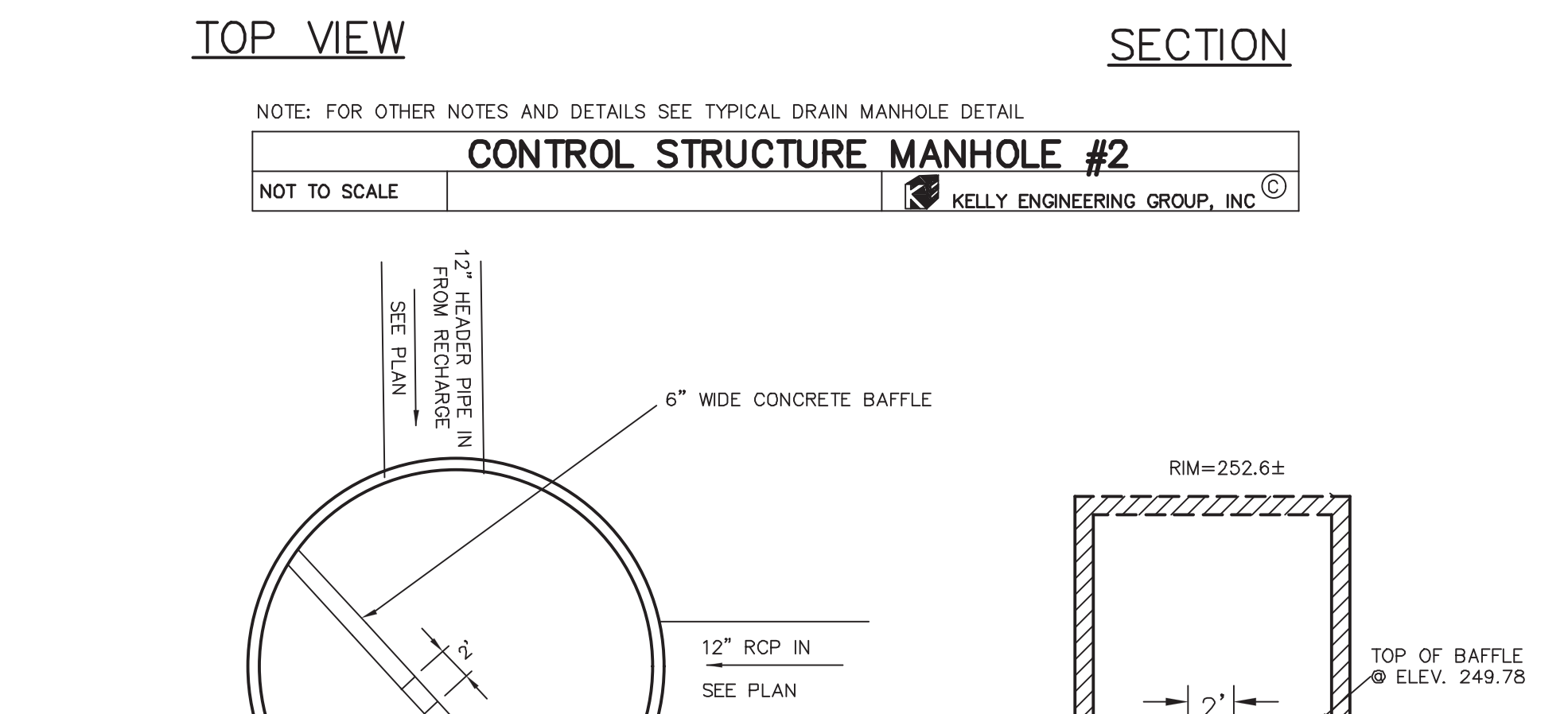
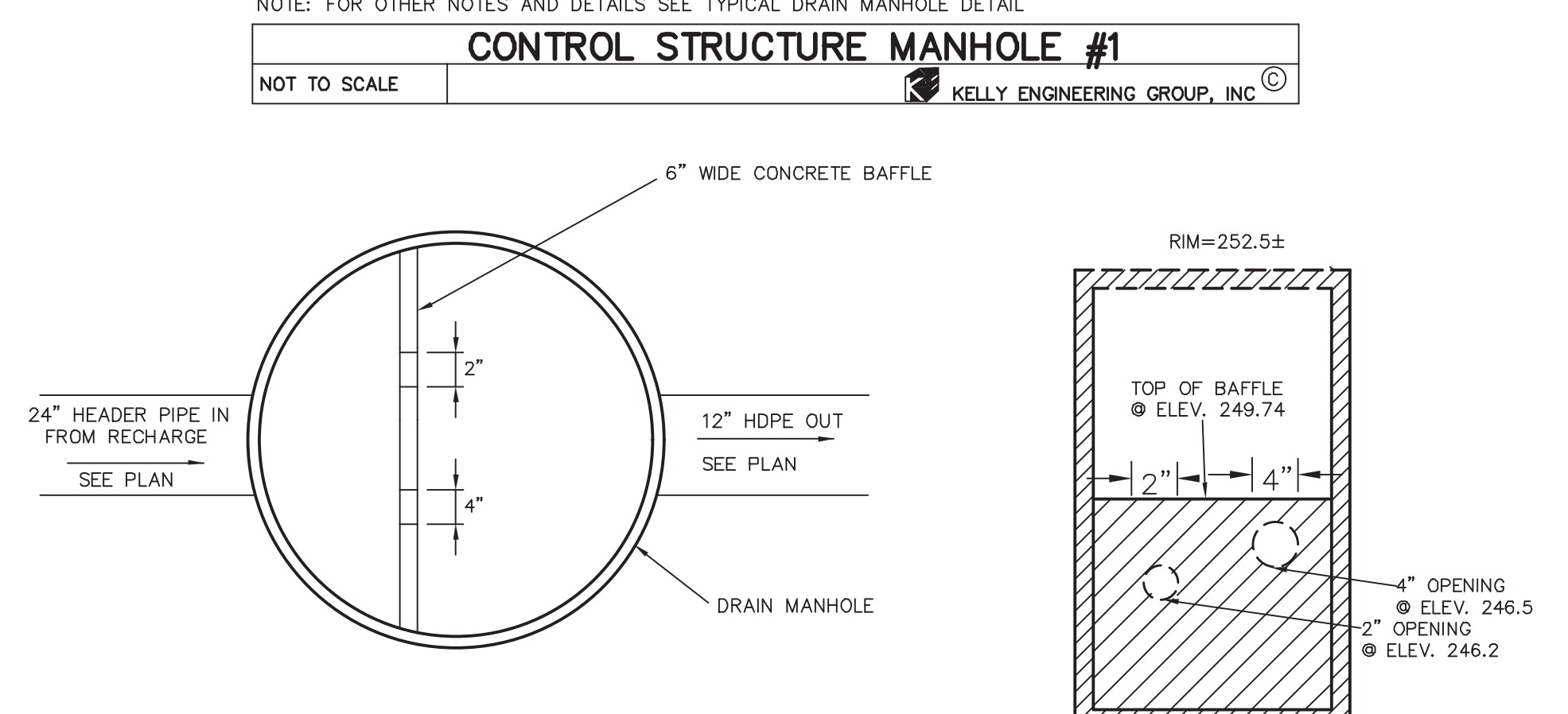
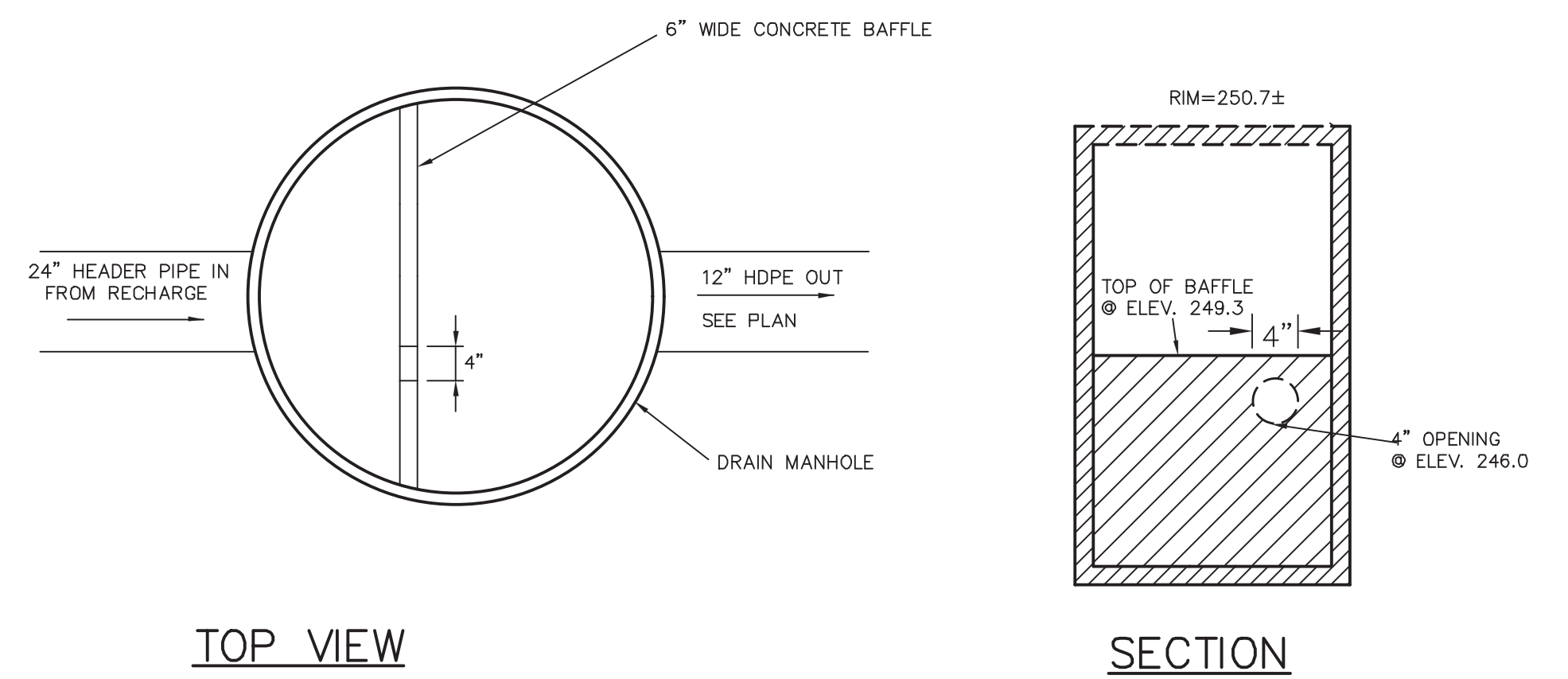
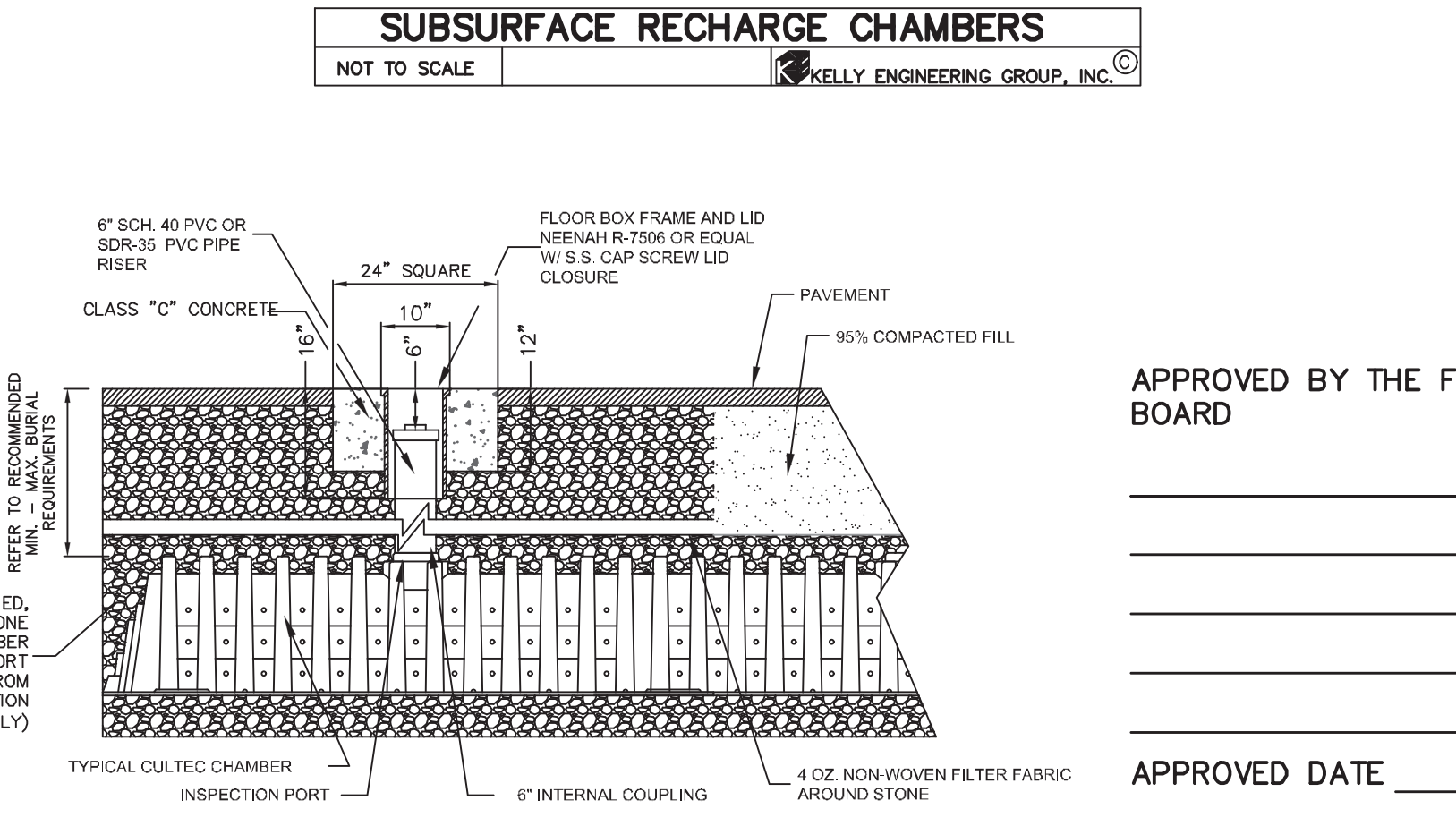


STORMWATER MANAGEMENT SYSTEM CONSTRUCTION OPERATION + MAINTENANCE NOTES:

- EXTREME CARE SHALL BE TAKEN DURING CONSTRUCTION TO AVOID SILTATION DURING THE CONSTRUCTION PROCESS.
- EXTREME CARE SHALL BE TAKEN TO PREVENT COMPACTION OF UNDISTURBED SOILS BENEATH RECHARGE SYSTEM.
- THERE SHALL BE NO DISCHARGE OF WATER FOR CONSTRUCTION DEWATERING ACTIVITIES INTO THE STORMWATER MANAGEMENT SYSTEM.
- THERE SHALL BE NO DISCHARGE OF STORMWATER INTO THE RECHARGE SYSTEM UNTIL THE SITE HAS BEEN STABILIZED.

CONSTRUCTION INSPECTION SCHEDULE

- SILT SACKS AND SILT SOCKS SHALL BE INSPECTED AND REPLACED AS NECESSARY.
- INSPECTIONS SHALL INCLUDE THE PAVEMENT TO DETERMINE IF ACCUMULATED SEDIMENT IS TO BE REMOVED, OF THE CATCH BASINS TO DETERMINE DEPTH OF SEDIMENTS AND REQUIRED CLEANING, AND INSPECTION OF THE RECHARGE SYSTEM TO DETERMINE IF CLEANING IS NECESSARY.
- AN INSPECTION OF THE EXCAVATION OF THE RECHARGE SYSTEM SHALL BE CONDUCTED BY THE ENGINEER AND A REPRESENTATIVE THE TOWN'S ENGINEERING DEPARTMENT PRIOR TO PLACEMENT OF ANY CHAMBERS.



Recharger 330XLHD Stormwater System by CULTEC, Inc.		CULTEC RECHARGER 330XLHD LEGEND	
STARTER CHAMBERS	6	PIECES	STARTER CHAMBERS
INTERMEDIATE CHAMBERS	24	PIECES	INTERMEDIATE CHAMBERS
END CHAMBERS	6	PIECES	END CHAMBERS
HVLV FC-24 FEED CONNECTOR	5	PIECES	HVLV FC-24 FEED CONNECTOR
CULTEC NO. 410™ FILTER FABRIC	405.02	SQ. YARDS	CULTEC NO. 20L POLYETHYLENE LINER
CULTEC NO. 20L POLYETHYLENE LINER	30.50	FEET	
STONE	109.85	CU. YARDS	
VOLUME OF EXCAVATION	237.72	CU. YARDS	

CULTEC STORMWATER MANAGEMENT SYSTEM
TOTAL STORAGE PROVIDED: 3135.4 cu. feet
(STORAGE PROVIDED IN CHAMBERS: 1946.8 cu. feet)
(STORAGE PROVIDED IN STONE: 1188.3 cu. feet)
(STORAGE PROVIDED IN CONNECTORS 2.3 cu. feet)
*SYSTEM INSTALLED REQUIRING STONE AMOUNTS OF 6.0 INCHES BELOW CHAMBERS, 6.0 INCHES ABOVE AND A 12.0 INCHES BORDER SURROUNDING

CULTEC, Inc.		CULTEC STORMWATER SYSTEM	
1000 Main Street Branford, CT 06405 www.cultec.com	PH: (203) 775-4418 FX: (203) 775-1462 info@cultec.com	PROJECT NAME PROJECT ADDRESS PROJECT CITY, STATE	PROJECT NO. DATE DESIGNED BY DRAWN BY SCALE: N.T.S. SHEET NO. 1 OF 1

APPROVED BY THE FRANKLIN PLANNING BOARD

APPROVED DATE

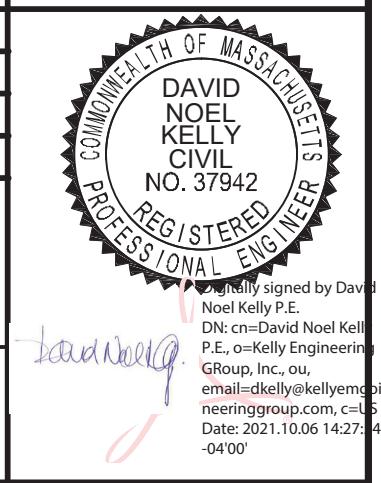
8.	09/22/21	PER PB DECISION
7.	08/06/21	NO CHANGE
6.	07/01/21	NO CHANGE
5.	11/16/20	NO CHANGE

4.	10/01/20	PER TENANT COORDINATION
3.	07/28/20	PLANNING BOARD COMMENTS
2.	06/02/20	NO CHANGE
1.	04/10/20	PER PEER REVIEW

MARCUS PARTNERS
176-210 GROVE STREET
FRANKLIN, MA

DETAIL SHEET

KELLY ENGINEERING GROUP
civil engineering consultants
0 Campanelli Drive, Braintree, MA 02184
Phone: 781-843-4333 www.kellyengineeringgroup.com



SHEET NO. **10**

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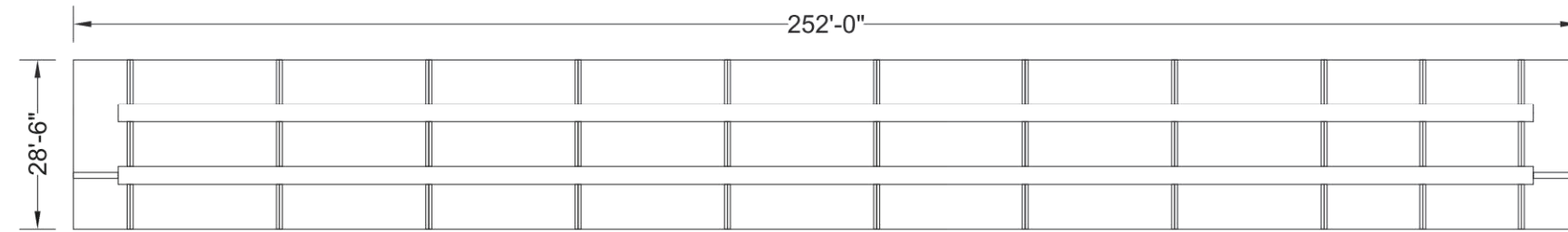
PROJECT SUMMARY

CALCULATION DETAILS
 • LOADING = HS20 & HS25
 • APPROX. LINEAR FOOTAGE = 768 ft.

STORAGE SUMMARY
 • STORAGE VOLUME REQUIRED = 46,600 cf.
 • PIPE STORAGE VOLUME = 33,929 cf.
 • BACKFILL STORAGE VOLUME = 12,768 cf.
 • TOTAL STORAGE PROVIDED = 46,697 cf.

PIPE DETAILS
 • DIAMETER = 90 IN.
 • CORRUGATION = 5x1
 • GAGE = 16
 • COATING = ALT2
 • WALL TYPE = Perforated
 • BARRELL SPACING = 36 IN.

BACKFILL DETAILS
 • WIDTH AT ENDS = 12 IN.
 • ABOVE PIPE = 6 IN.
 • WIDTH AT SIDES = 12 IN.
 • BELOW PIPE = 6 IN.



ASSEMBLY
SCALE: 1" = 30'

DYO1548 206 Grove Street
90" CMP Detention - 43604 cf.
DETENTION SYSTEM

PROJECT NO.	1584	DATE	7/30/2020
DESIGNED	LD/ML	DRAWN	
CHECKED	DYO	APPROVED	DYO
SHEET NO.	D1		

CONTECH
ENGINEERED SOLUTIONS LLC
www.conteches.com
9225 Centre Points Dr., Suite 400, West Chester, OH 45399
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWINGS

NOTE:
THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.

- NOTES**
- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
 - ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A996.
 - ALL RISERS AND STUBS ARE 25" x 1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
 - RISERS TO BE FIELD TRIMMED TO GRADE.
 - QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - BAND TYPE TO BE DETERMINED UPON FINAL DESIGN.
 - THE PROJECT SUMMARY IS REFLECTIVE OF THE DYODS DESIGN. QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SHORING AND ONLY ACCOUNTS FOR MATERIAL WITHIN THE ESTIMATED EXCAVATION FOOTPRINT.

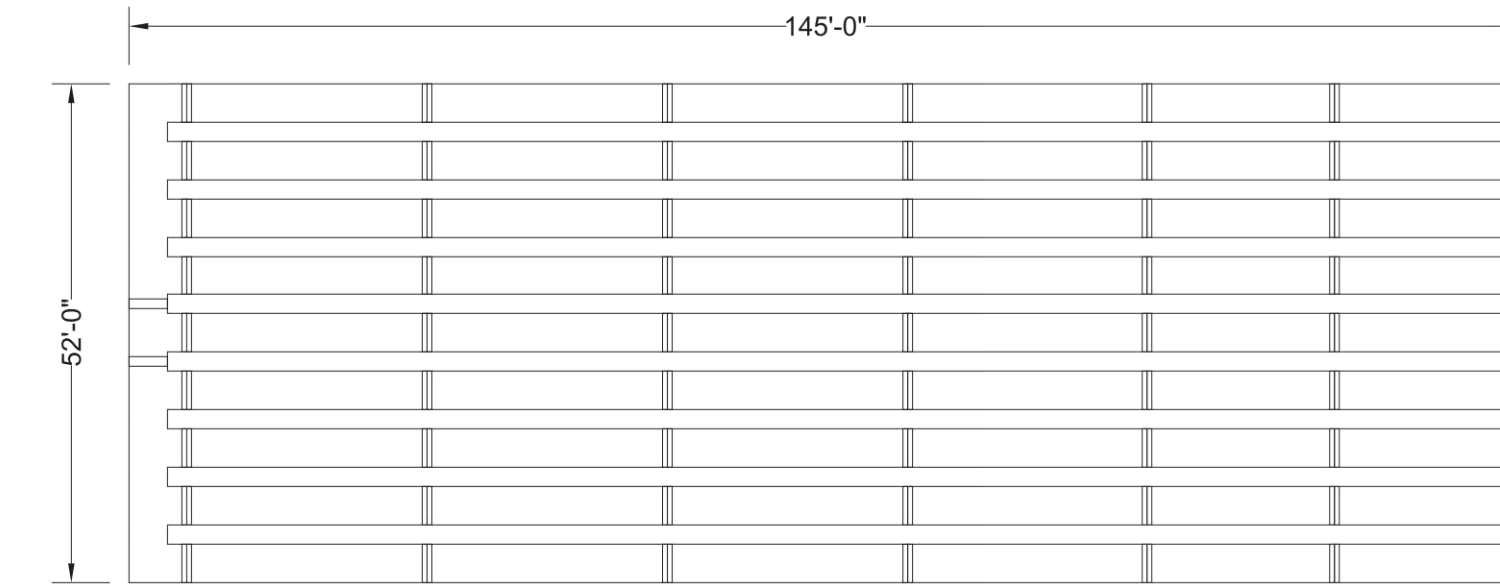
PROJECT SUMMARY

CALCULATION DETAILS
 • LOADING = HS20 & HS25
 • APPROX. LINEAR FOOTAGE = 1,321 ft.

STORAGE SUMMARY
 • STORAGE VOLUME REQUIRED = 25,800 cf.
 • PIPE STORAGE VOLUME = 16,600 cf.
 • BACKFILL STORAGE VOLUME = 9,236 cf.
 • TOTAL STORAGE PROVIDED = 25,836 cf.

PIPE DETAILS
 • DIAMETER = 48 IN.
 • CORRUGATION = 2 2/3x1/2
 • GAGE = 16
 • COATING = ALT2
 • WALL TYPE = Perforated
 • BARRELL SPACING = 24 IN.

BACKFILL DETAILS
 • WIDTH AT ENDS = 12 IN.
 • ABOVE PIPE = 6 IN.
 • WIDTH AT SIDES = 12 IN.
 • BELOW PIPE = 6 IN.



ASSEMBLY
SCALE: 1" = 20'

DYO1584 206 Grove Street
48" CMP Detention - 16600 cf.
DETENTION SYSTEM

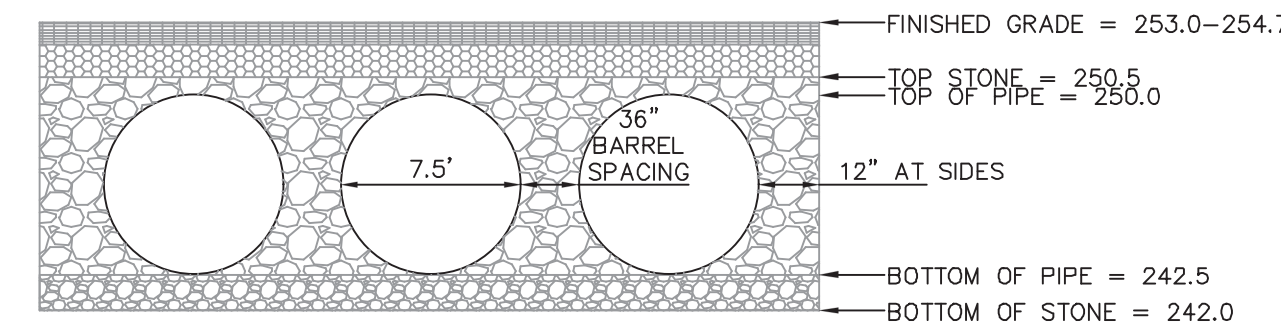
PROJECT NO.	1584	DATE	7/30/2020
DESIGNED	DYO	DRAWN	
CHECKED	DYO	APPROVED	DYO
SHEET NO.	D1		

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ENGINEERED SOLUTIONS LLC
www.conteches.com
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CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWINGS

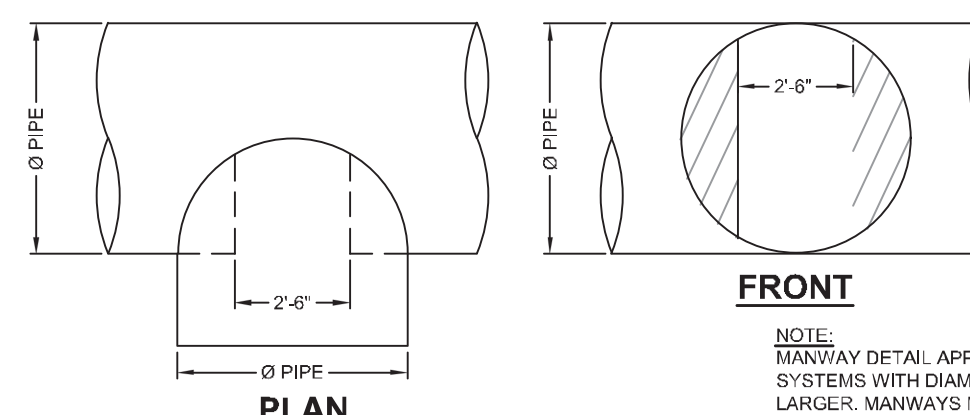
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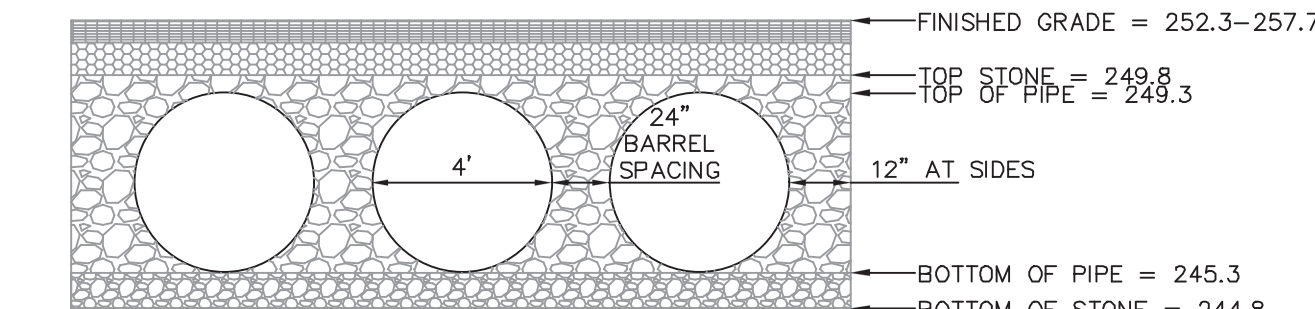
SECTION VIEW SUBSURFACE SYSTEM 1
NOT TO SCALE KELLY ENGINEERING GROUP, INC.

NOTE: PRIOR TO CONSTRUCTION FULL SHOP DRAWINGS TO BE PROVIDED BY MANUFACTURER.



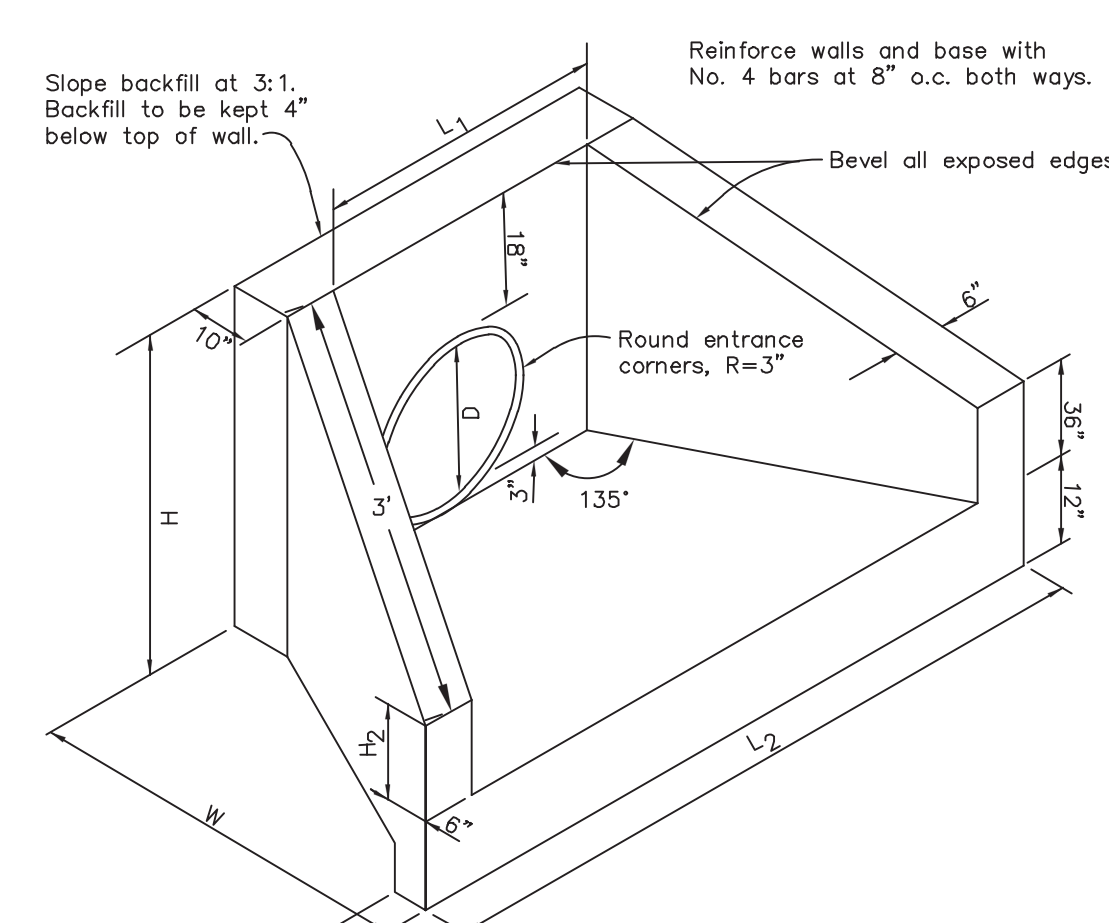
TYPICAL MANWAY DETAIL
SCALE: N.T.S.

NOTE: MANWAY DETAIL APPLICABLE FOR CMP SYSTEMS WITH DIAMETERS 48" AND LARGER. MANWAYS MAY BE REQUIRED ON SMALLER SYSTEMS DEPENDING ON ACTUAL SITE SPECIFIC CONDITIONS.



SECTION VIEW SUBSURFACE SYSTEM 2
NOT TO SCALE KELLY ENGINEERING GROUP, INC.

NOTE: PRIOR TO CONSTRUCTION FULL SHOP DRAWINGS TO BE PROVIDED BY MANUFACTURER.



HEADWALL #	D	H ₁	H ₂	L ₁	L ₂	W ₁
1	12"	35'	0.5'	4'	7.5'	2.5'
2	15"	3.7'	0.5'	4'	8.0'	3.0'
3	15"	3.7'	0.5'	4'	8.0'	3.0'
4	12"	3.5'	0.5'	4'	7.5'	3.0'
5	42"	5.7'	0.5'	6.8'	13'	4.0'
6	42"	5.7'	0.5'	6.8'	13'	4.0'

NOTE:
Concrete shall be Class "B" (5 sack mix) unless otherwise noted.

HEADWALL DETAIL
NOT TO SCALE KELLY ENGINEERING GROUP, INC.

APPROVED BY THE FRANKLIN PLANNING BOARD

APPROVED DATE _____

8.	09/22/21	PER PB DECISION	
7.	08/06/21	NO CHANGE	
6.	07/01/21	NO CHANGE	
5.	11/16/20	NO CHANGE	

4.	10/01/20	PER TENANT COORDINATION	
3.	07/28/20	PLANNING BOARD COMMENTS	
2.	06/02/20	NO CHANGE	
1.	04/10/20	PER PEER REVIEW	

MARCUS PARTNERS
176- 210 GROVE STREET
FRANKLIN, MA
DETAIL SHEET

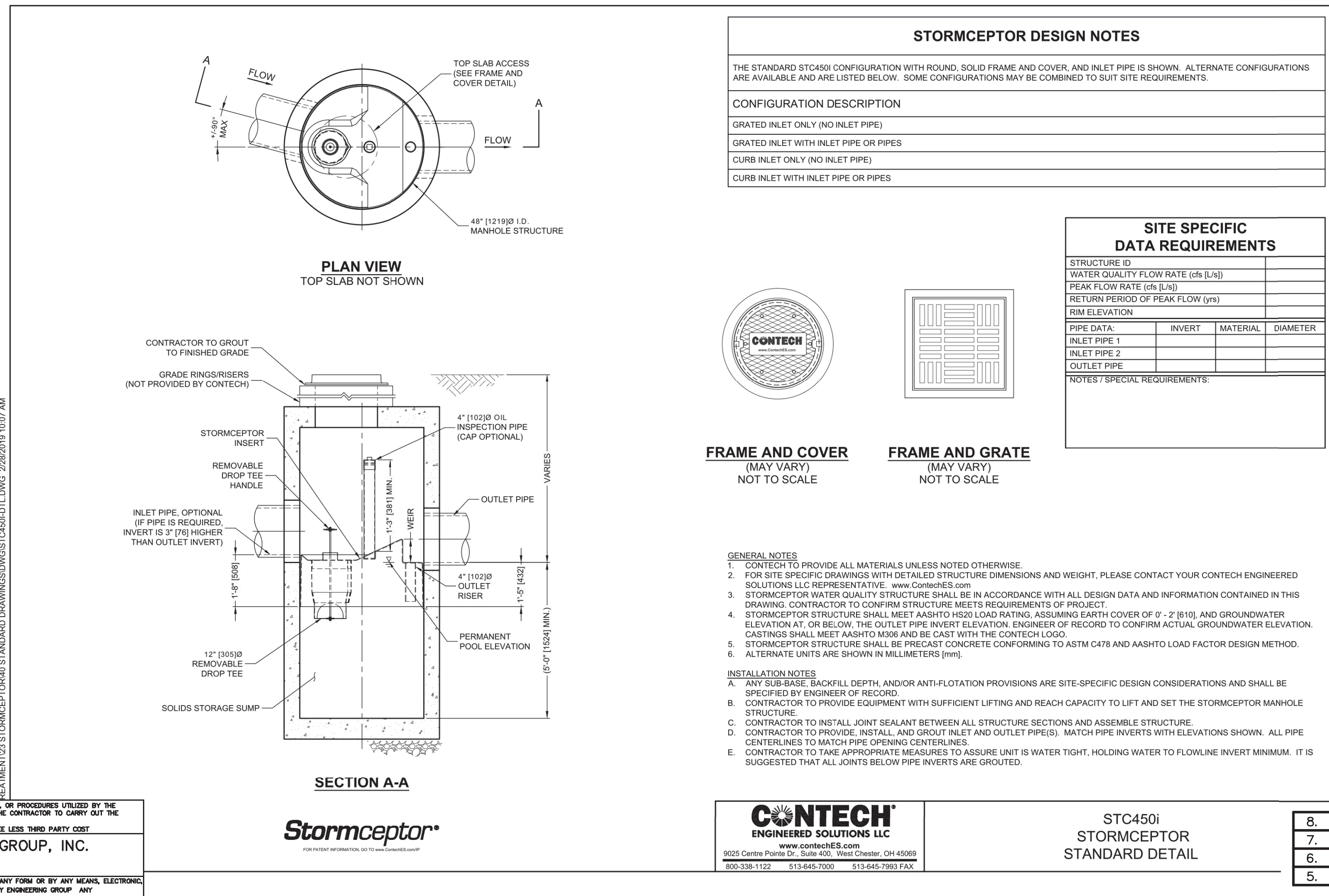
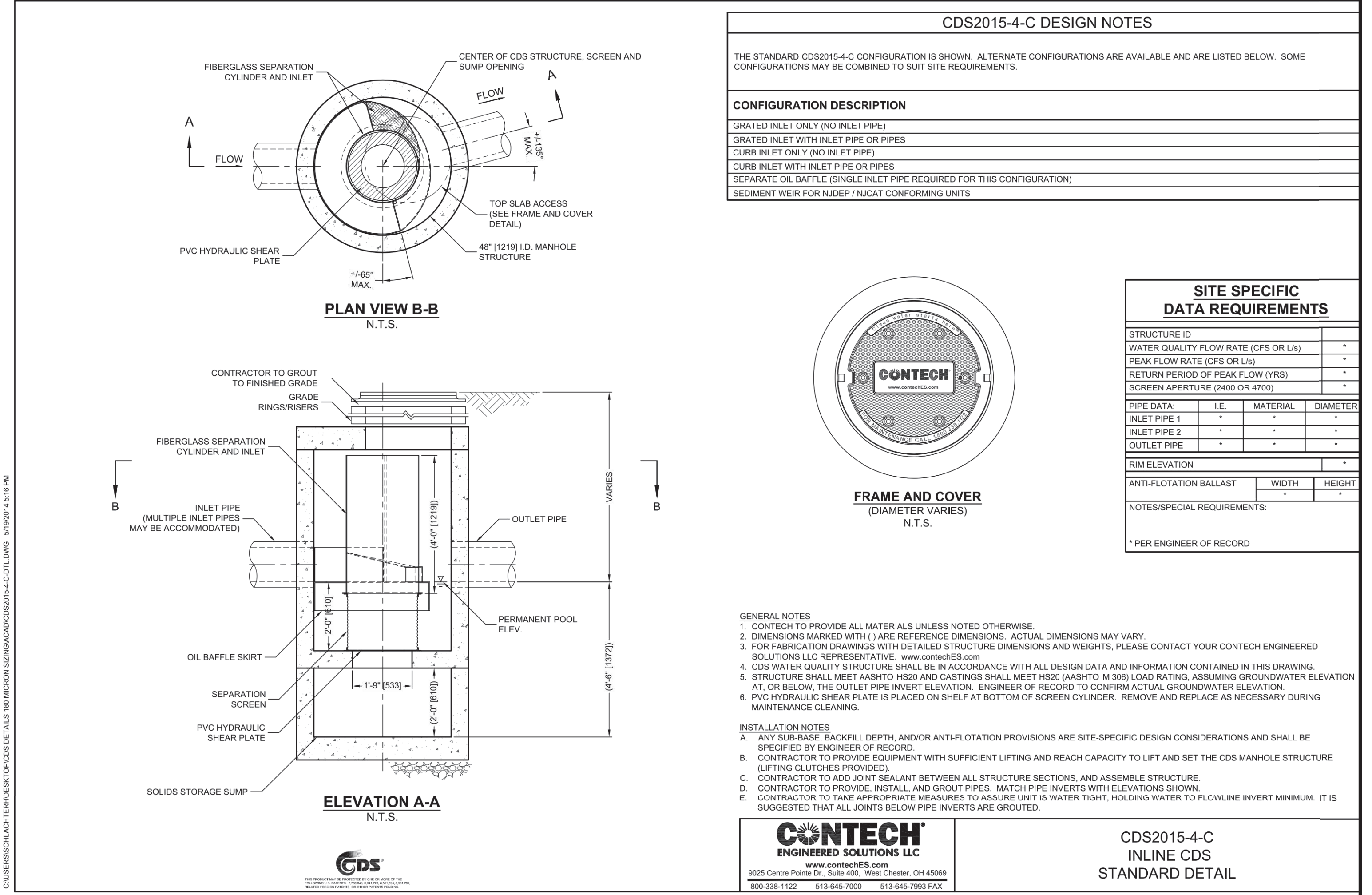
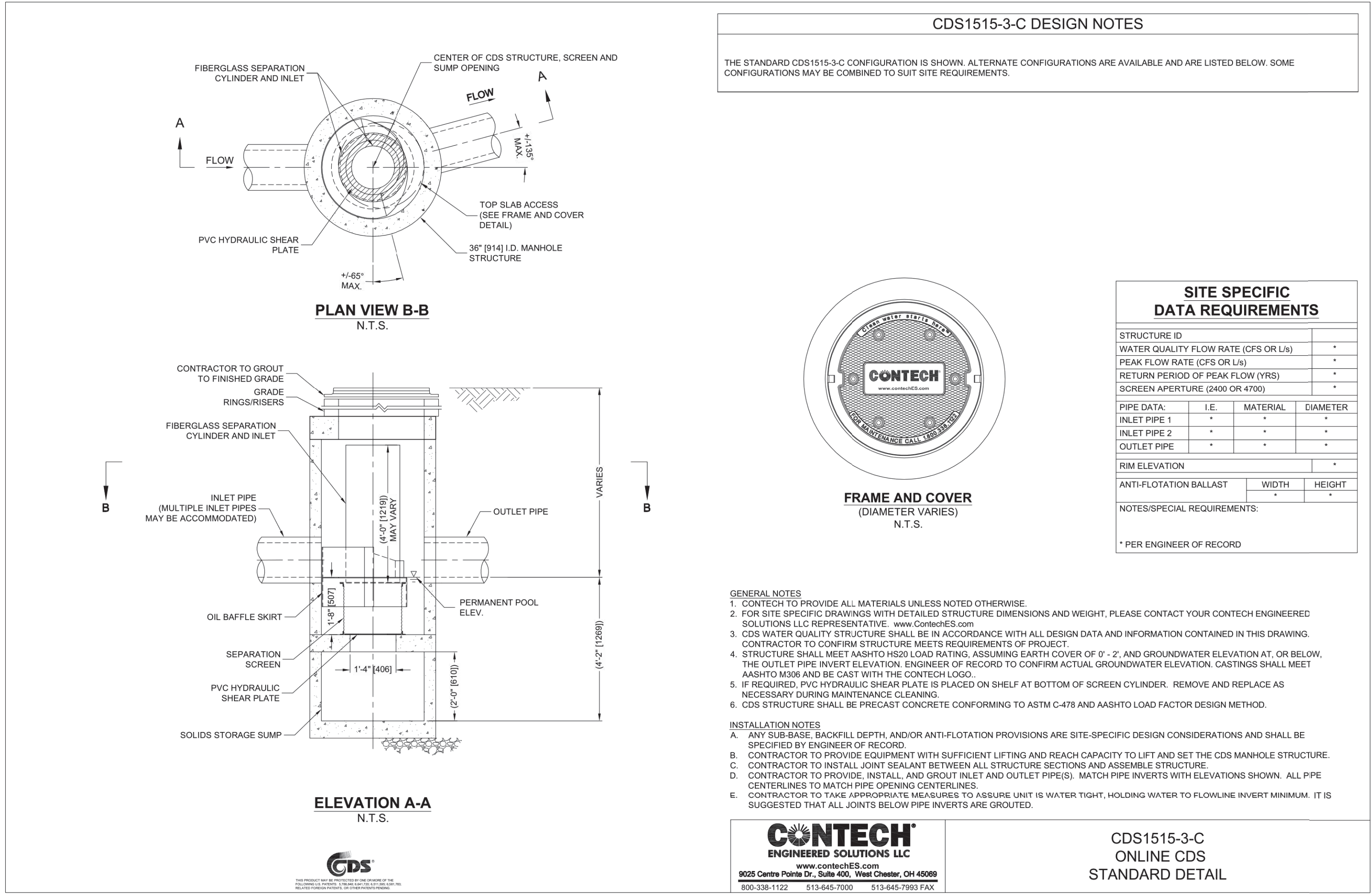
KE KELLY ENGINEERING GROUP
civil engineering consultants
0 Campanelli Drive, Braintree, MA 02184
Phone: 781-843-4333 www.kellyengineeringgroup.com



SHEET NO. **11**

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APPROVED BY THE FRANKLIN PLANNING BOARD			
APPROVED DATE _____			

SCALE	DATE	BY	REVISION
3.	10/01/20		PER TENANT COORDINATION
4.	07/28/20		PLANNING BOARD COMMENTS
NA	2.	06/02/20	NO CHANGE
DATE	1.	04/10/20	PER PEER REVIEW
02/14/20	REV	DATE	REVISION

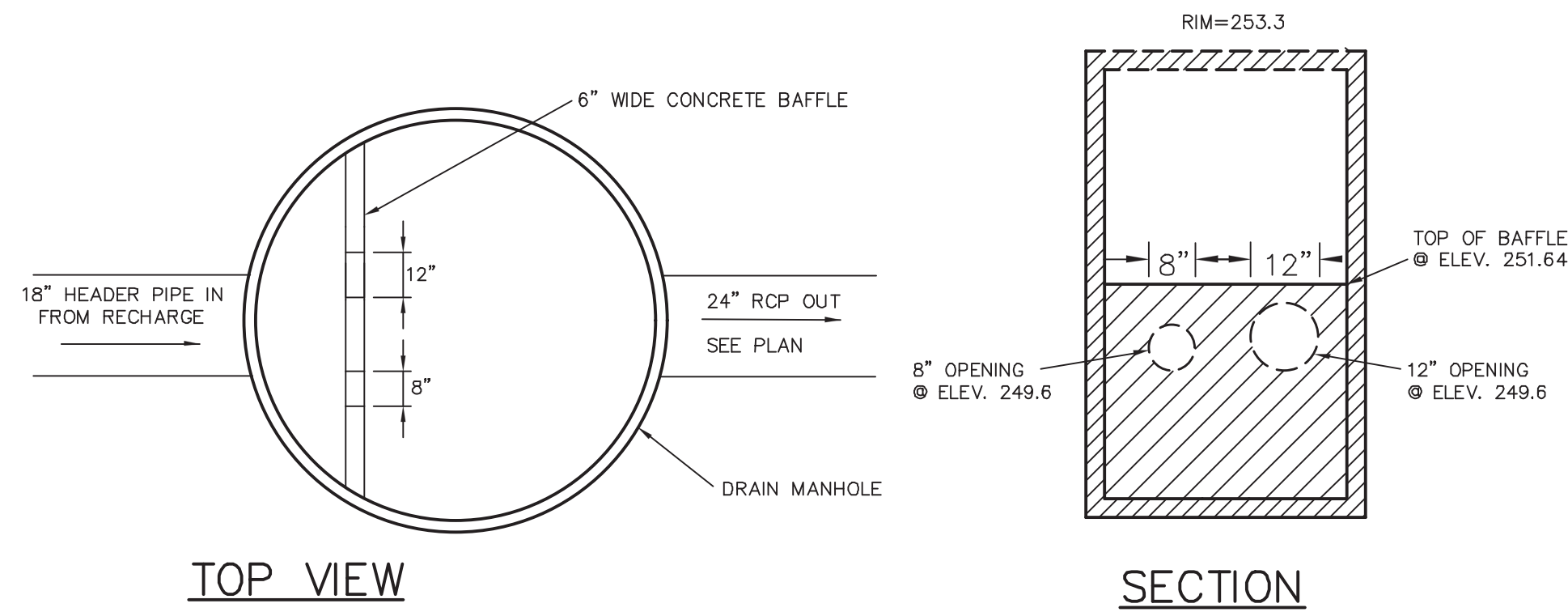
SHEET 12 of 12	MARCUS PARTNERS 176- 210 GROVE STREET FRANKLIN, MA		
FILE # 2019-127-DT07	DETAIL SHEET		
JOB # F:\P\2019-127	KELLY ENGINEERING GROUP civil engineering consultants 0 Campanelli Drive, Braintree, MA 02184 Phone: 781-843-4333 www.kellyengineeringgroup.com		
DRAWN BY C.L.			SHEET NO. 12
CHKD BY GSH			
APPD BY DNK			

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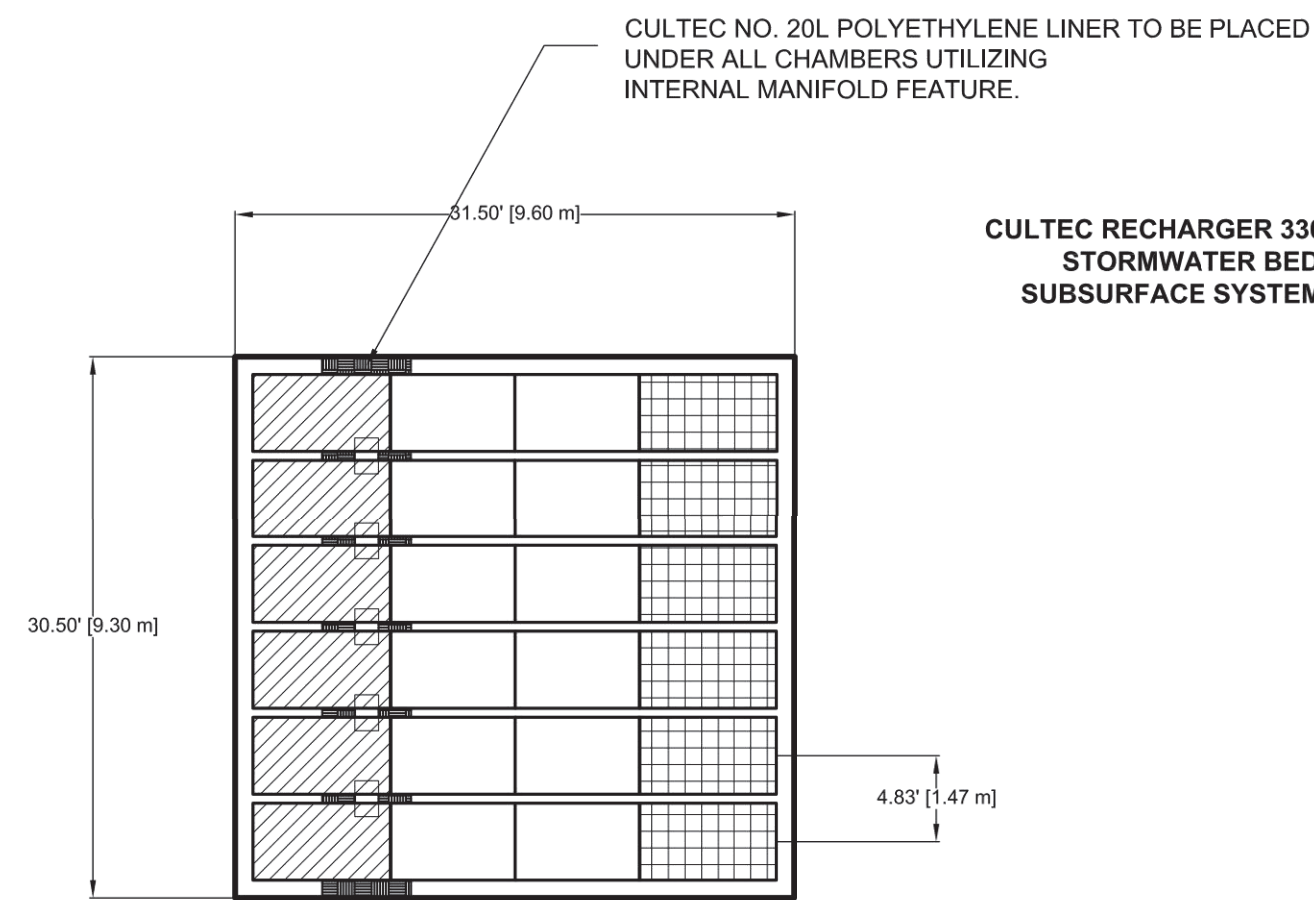
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NOTE: FOR OTHER NOTES AND DETAILS SEE TYPICAL DRAIN MANHOLE DETAIL
CONTROL STRUCTURE MANHOLE #4
 NOT TO SCALE
 KELLY ENGINEERING GROUP, INC.



CULTEC NO. 20L POLYETHYLENE LINER TO BE PLACED UNDER ALL CHAMBERS UTILIZING INTERNAL MANIFOLD FEATURE.
CULTEC RECHARGER 330XLHD STORMWATER BED SUBSURFACE SYSTEM #4

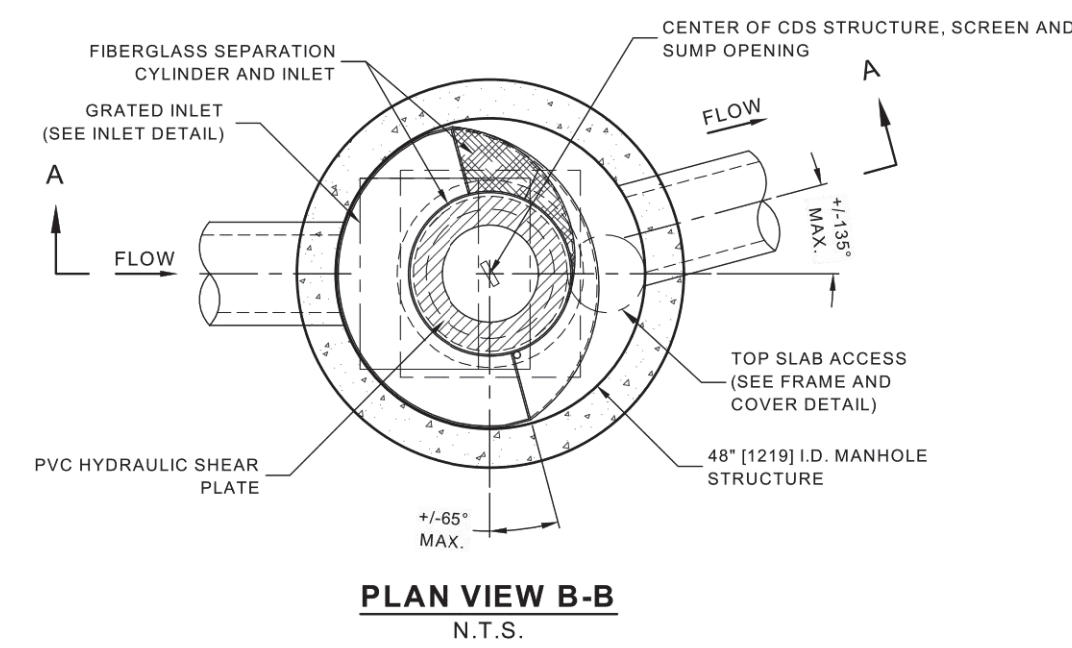
Item	Quantity	Unit
STARTER CHAMBERS	6	PIECES
INTERMEDIATE CHAMBERS	12	PIECES
END CHAMBERS	6	PIECES
HVLV FC-24 FEED CONNECTOR	5	PIECES
CULTEC NO. 410™ FILTER FABRIC	288.53	SQ. YARDS
CULTEC NO. 20L POLYETHYLENE LINER	30.50	FEET
STONE	77.04	CU. YARDS
VOLUME OF EXCAVATION	164.67	CU. YARDS

Item	Quantity	Unit
STARTER CHAMBERS	6	PIECES
INTERMEDIATE CHAMBERS	12	PIECES
END CHAMBERS	6	PIECES
HVLV FC-24 FEED CONNECTOR	5	PIECES
CULTEC NO. 20L POLYETHYLENE LINER	30.50	FEET
STONE	77.04	CU. YARDS
VOLUME OF EXCAVATION	164.67	CU. YARDS

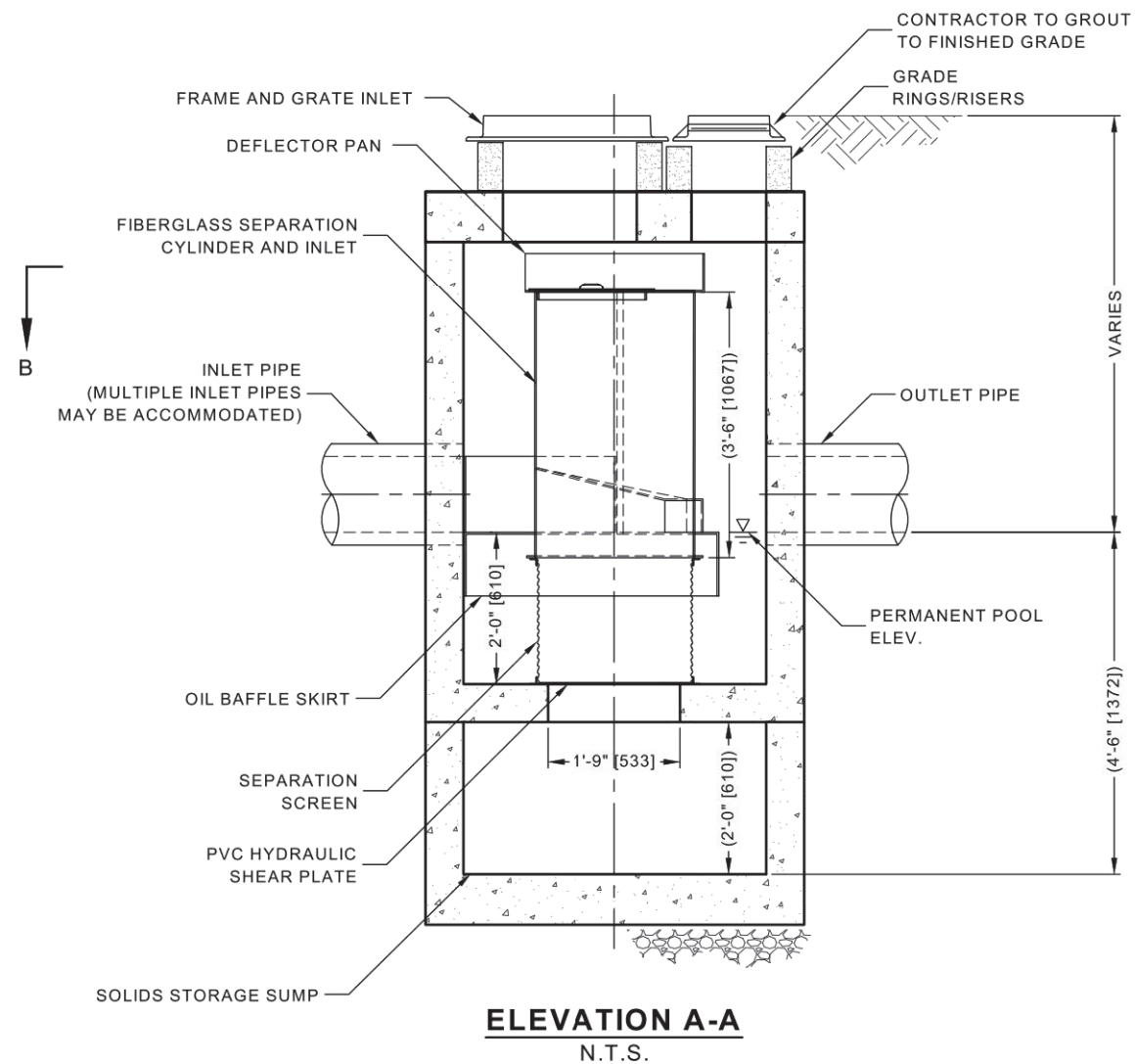
CULTEC STORMWATER MANAGEMENT SYSTEM
 TOTAL STORAGE PROVIDED: 2154.6 cu. feet
 (STORAGE PROVIDED IN CHAMBERS: 1320.2 cu. feet)
 (STORAGE PROVIDED IN STONE: 832.1 cu. feet)
 *SYSTEM INSTALLED REQUIRING STONE AMOUNTS OF 6.0 INCHES BELOW CHAMBERS, 6.0 INCHES ABOVE AND A 12.0 INCHES BORDER SURROUNDING

Item	Quantity	Unit
STARTER CHAMBERS	6	PIECES
INTERMEDIATE CHAMBERS	12	PIECES
END CHAMBERS	6	PIECES
HVLV FC-24 FEED CONNECTOR	5	PIECES
CULTEC NO. 20L POLYETHYLENE LINER	30.50	FEET
STONE	77.04	CU. YARDS
VOLUME OF EXCAVATION	164.67	CU. YARDS

SUBSURFACE SYSTEM #4
 NOT TO SCALE
 KELLY ENGINEERING GROUP, INC.

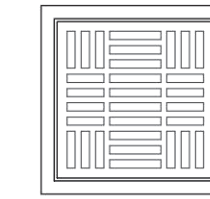


PLAN VIEW B-B
 N.T.S.



ELEVATION A-A
 N.T.S.

CDS2015-4-C DESIGN NOTES	
CDS2015-4-C RATED TREATMENT CAPACITY IS 1.4 CFS (19.8 L/s), OR PER LOCAL REGULATIONS.	
THE GRATE INLET CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.	
CONFIGURATION DESCRIPTION	
GRATED INLET ONLY (NO INLET PIPE)	
GRATED INLET WITH INLET PIPE OR PIPES	
CURB INLET ONLY (NO INLET PIPE)	
CURB INLET WITH INLET PIPE OR PIPES	
SEPARATE OIL BAFFLE SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)	
SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS	



24" X 24" FRAME AND GRATE
 (MAY VARY)
 NOT TO SCALE



FRAME AND COVER
 (MAY VARY)
 NOT TO SCALE

SITE SPECIFIC DATA REQUIREMENTS			
STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)			
PEAK FLOW RATE (CFS OR L/s)			
RETURN PERIOD OF PEAK FLOW (YRS)			
SCREEN APERTURE (2400 OR 4700)			
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
RIM ELEVATION			
ANTI-FLOTATION BALLAST			
	WIDTH	HEIGHT	
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ConTechES.com
 - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET AASHTO M228 AND CASTINGS SHALL MEET M306 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES**
- ANY SUB-BASE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

 www.ConTechES.com 9025 Centre Pointe Dr., Suite 400, West Chester, OH 45399 800-338-1122 513-645-7000 513-645-7993 FAX	CDS2015-4-C WITH GRATED INLET INLINE CDS STANDARD DETAIL
--	---

APPROVED BY THE FRANKLIN PLANNING BOARD

APPROVED DATE _____

REV	DATE	REVISION
8.	09/22/21	PER PB DECISION
7.	08/06/21	
6.	07/01/21	NO CHANGE
5.	11/16/20	NO CHANGE

SCALE	4. 10/01/20	PER TENANT COORDINATION
NA	3. 07/28/20	PLANNING BOARD COMMENTS
DATE	2. 06/02/20	NO CHANGE
02/14/20	1. 04/10/20	PER PEER REVIEW
REV	DATE	REVISION
BY		

MARCUS PARTNERS
 176- 210 GROVE STREET
 FRANKLIN, MA
DETAIL SHEET

DRAWN BY
 C.L.
 CHKD BY
 GSH
 APPD BY
 DNK

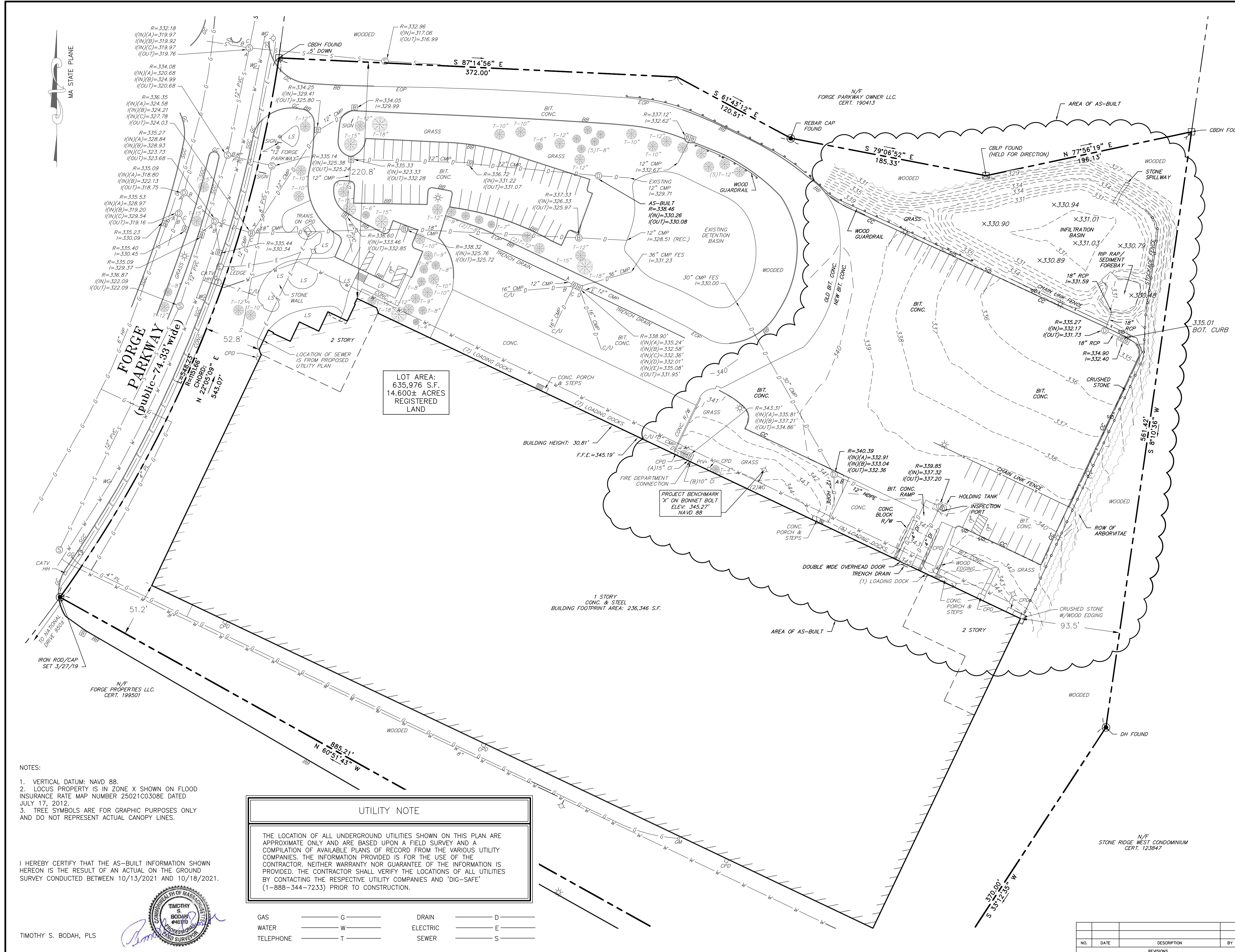
KELLY ENGINEERING GROUP
 civil engineering consultants
 0 Campanelli Drive, Braintree, MA 02184
 Phone: 781-843-4333 www.kellyengineeringgroup.com

Digitally signed by David Noel Kelly
 DN: cn=David Noel Kelly, o=Kelly Engineering Group, Inc., email=dkelly@kellyeng.com, c=US
 Date: 2021.10.06 16:20:00-0400

SHEET NO. **13**

KELLY ENGINEERING GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 THE EXTENT OF KELLY ENGINEERING GROUP'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST
COPYRIGHT (C) by KELLY ENGINEERING GROUP, INC.
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NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF KELLY ENGINEERING GROUP. ANY REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF KELLY ENGINEERING GROUP SHALL BE VOID AND UNLAWFUL.



LEGEND	
□ CBCH	CONCRETE BOUND WITH DRILL HOLE
□ CBLP	CONCRETE BOUND WITH LEAD PIN
○ DH	DRILL HOLE
○ GM	GAS METER
○ WG	WATER GATE
□ CATV HH	CABLE TV HAND HOLE
□ HH	HAND HOLE
○	HYDRANT
○	GROUND LAMP
○	LIGHT POLE
○	CATCH BASIN
○	DRAIN MANHOLE
○	ELECTRIC MANHOLE
○	SEWER MANHOLE
○	TELEPHONE MANHOLE
○ S	SIGN
LS	LANDSCAPED AREA
BB	BITUMINOUS BERM
BIT. CONC.	BITUMINOUS CONCRETE
CONC.	CONCRETE
CPB	CONCRETE PAD
CC	GRANITE CURB
CC	CONCRETE CURB
SGC	SLOPED GRANITE CURB
EOP	EDGE OF PAVEMENT
R/W	RETAINING WALL
T-10"	TREE - 10" DIA.
F.F.E.	FINISHED FLOOR ELEVATION
REC.	RECORD
R	RIM
I	ELEVATION
C/U	CONTINUATION UNKNOWN
FES	FLARED END SECTION
PV	POST INDICATOR VALVE
TRANS.	TRANSFORMER
HDPE	HIGH DENSITY POLYETHYLENE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
HP	HIGH PRESSURE
PL	PLASTIC
CI	CAST IRON
DI	DUCTILE IRON
CMP	CORRUGATED METAL PIPE
---	PROPERTY LINE

OWNER OF RECORD:
 P8/GFI 12 FORGE PARK LLC
 PARCEL ID: MAP 275, LOT 3
 CERTIFICATE OF TITLE: 201567

AS-BUILT PLAN

12 FORGE PARKWAY FRANKLIN, MA

PREPARED FOR:	EUGENE T. SULLIVAN, INC.		
SCALE:	DATE:	ACAD FILE:	JOB NO.:
1"=40'	10/21/21	2338.3.DWG	2238

CONECO
 Engineers & Scientists

4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
 PHONE 508-697-3191 OR 800-548-3355; FAX 508-697-5996
 WEBSITE: www.coneco.com

SCALE IN FEET

NO.	DATE	DESCRIPTION	BY

- NOTES:
1. VERTICAL DATUM: NAVD 88.
 2. LOCUS PROPERTY IS IN ZONE X SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25021C0308E DATED JULY 17, 2012.
 3. TREE SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY AND DO NOT REPRESENT ACTUAL CANOPY LINES.

I HEREBY CERTIFY THAT THE AS-BUILT INFORMATION SHOWN HEREON IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY CONDUCTED BETWEEN 10/13/2021 AND 10/18/2021.

UTILITY NOTE

THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED UPON A FIELD SURVEY AND A COMPILATION OF AVAILABLE PLANS OF RECORD FROM THE VARIOUS UTILITY COMPANIES. THE INFORMATION PROVIDED IS FOR THE USE OF THE CONTRACTOR. NEITHER WARRANTY NOR GUARANTEE OF THE INFORMATION IS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BY CONTACTING THE RESPECTIVE UTILITY COMPANIES AND "DIG-SAFE" (1-888-344-7233) PRIOR TO CONSTRUCTION.

GAS	— G —	DRAIN	— D —
WATER	— W —	ELECTRIC	— E —
TELEPHONE	— T —	SEWER	— S —



TIMOTHY S. BODAH, PLS



TOWN OF FRANKLIN - SITE OBSERVATION REPORT

12 Forge Parkway

Report No.:	4831 82 - 6	Date:	October 18, 2021	Arrive:	1:30 PM
Observer:	Matt Crowley, PE	Weather:	Sunny, ~65°	Leave:	2:15 PM

Applicant:	P8/GFI Forge Park LLC 133 Pearl Street Boston, MA	Contractor:	CRE Management 133 Pearl Street Boston, MA
------------	--	-------------	---

Items Observed: **Conformance Observation – Submitted in conjunction with Applicant’s request for acceptance of Form H – Certificate of Completion**

OBSERVATIONS

Observation Requested By: Steve Landry – CRE Management

Met/walked site with: Steve Landry – CRE Management

Current Activity on Site: As-built survey

Observed Construction: BETA arrived on site to perform a construction observation in conjunction with the Applicant’s request for acceptance of Form H – Certificate of Completion. The required Form H dated October 12, 2021, and As-Built Plan, dated October 21, 2021, were provided via email. BETA’s site walk and review of the As-built confirmed the site to be constructed in general conformance with the Approved Plans with the following exceptions/notations:

- The proposed concrete apron and additional loading docks were not installed. The contractor indicated this was due to change in tenant needs.
- The drainage grate at the northeast corner of the parking area was not installed against the curb line. The contractor indicated this was due to the shallow cover of the basin. BETA notes the as-built plans confirm that the pavement in this area was graded to create a low point at the grate.
- The contractor has indicated that the installed retaining walls and ramp access to the building were permitted and inspected by the Building Department.
- At the time of BETA’s visit the existing walkway in front of building, part of the accessible route, exceeded the maximum allowable slope of 8.3%. The contractor agreed to have the walk reconstructed and photos on the new construction were sent on 10/26/21. BETA visited the site on 10/28/21 and used a smart level to confirm that most of the walkway was reconstructed at 5% or less (i.e. no handrails required). There was some slight variation near the top of the reconstructed walkway, where grades were measured to be greater than 5% (5.7% max) for very limited sections, however.
- Installed wooden guardrail is 4”x8”, where the approved plans call for 4”x10”. BETA does not anticipate this as a safety issue as vehicle speeds are anticipated to be low and curbing is provided in front of the guardrail.

Site Photos



Typical curb and wooden guardrail installation



Infiltration basin



Typical "No Snow Storage" sign



Reconstructed walkway (*photo provided by contractor*)



10' high screening fence extending full limits of stormwater basin



Screening fence extending to building



Installed drainage structure, located at low point



Accessible parking



Typical plantings located between screening fence and abutting residences



Ramp access to building



Fencing separating parking and storage areas



New/reconstructed pavement area



FRANKLIN PLANNING & COMMUNITY DEVELOPMENT

355 EAST CENTRAL STREET
FRANKLIN, MA 02038-1352
TELEPHONE: 508-520-4907
FAX: 508-520-4906

MEMORANDUM

DATE: October 28, 2021
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 12 Forge Parkway – Loading Dock
Final Form H

General

1. The applicant has submitted a Final Form H and Engineer's Certificate of Completion and a final as-built plan.
2. BETA has provided an onsite report with pictures verifying the site work is complete.

Planning Board should vote on the Final Form H acceptance.

SITE PLAN OF LAND

FORM H
ENGINEER'S CERTIFICATE OF COMPLETION
(to be executed by developer's engineer)

Site Plan known as 12 FORGE PARKWAY

I hereby certify that all improvements required for the above referenced site plan have been completed in all respects in accordance with the Town of Franklin zoning requirements and the approved plans entitled SITE PLAN LAYOUT PARKING EXPANSION 12 FORGE PARKWAY prepared by EUGENE T. SULLIVAN INC and dated FEB 28, 2020, as approved by the said Planning Board on MAY 18, 2020 & PROPOSED OUTDOOR STORAGE AREA PREPARED BY EUGENE T. SULLIVAN INC DATED APRIL 19, 2021 AS APPROVED BY THE PLANNING BOARD ON JUNE 21, 2021.

Signed this 21ST day of OCTOBER, 2021

By Eugene T. Sullivan PE Reg. C.E.

COMMONWEALTH OF MASSACHUSETTS

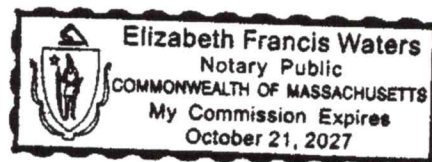
Suffolk, SS.

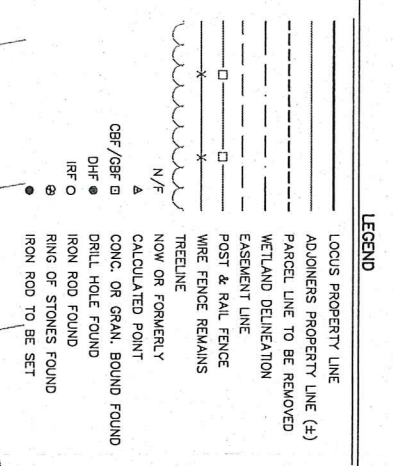
October 21, 2021

On this 21 day of October, 2021, before me, the undersigned notary public, personally appeared Eugene Sullivan (name of engineer), proved to me through satisfactory evidence of identification, which were Personal knowledge to be the person whose name is signed on the preceding document in my presence.

[Signature]

(Official signature and seal of notary)
Notary Public: Elizabeth Waters
My Commission Expires: October 21, 2021

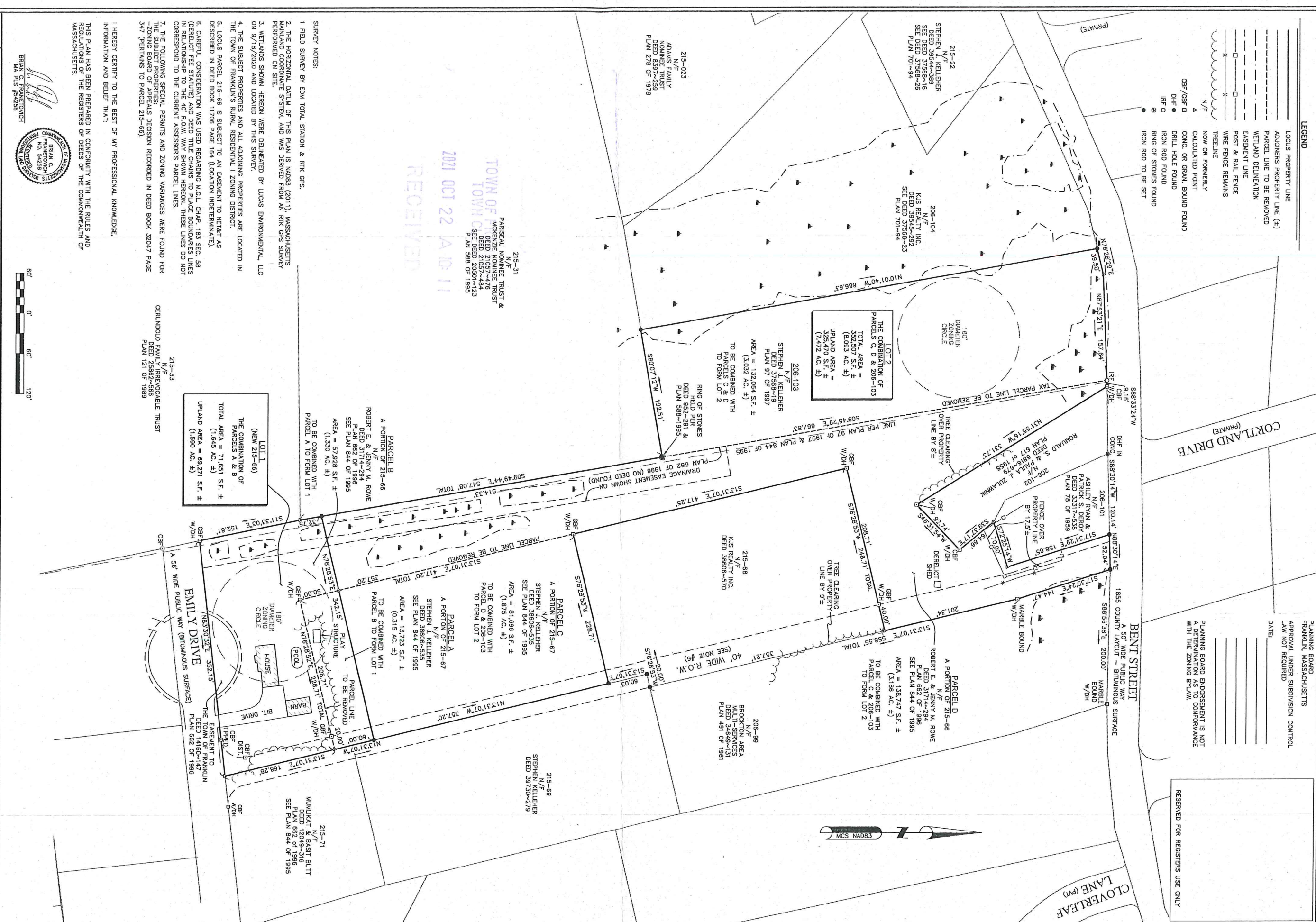




PLANNING BOARD
FRANKLIN, MASSACHUSETTS
APPROVAL UNDER SUBDIVISION CONTROL
LAW NOT REQUIRED
DATE: _____

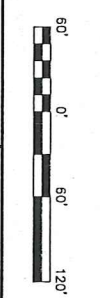
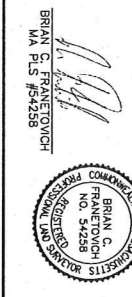
PLANNING BOARD ENDORSEMENT IS NOT
A DETERMINATION AS TO CONFORMANCE
WITH THE ZONING BYLAW.

RESERVED FOR REGISTERS USE ONLY



2021 OCT 22 A D 11
RECEIVED
TOWN OF FRANKLIN
TOWN CLERK

- SURVEY NOTES:**
1. FIELD SURVEY BY EDM TOTAL STATION & RTK GPS.
 2. THE HORIZONTAL DATUM OF THIS PLAN IS NAD83 (2011), MASSACHUSETTS MANUAND COORDINATE SYSTEM, AND WAS DERIVED FROM AN RTK GPS SURVEY PERFORMED ON SITE.
 3. WETLANDS SHOWN HEREON WERE DELINEATED BY LUOS ENVIRONMENTAL, LLC ON 9/18/2020 AND LOCATED BY THIS SURVEY.
 4. THE SUBJECT PROPERTIES AND ALL ADJOINING PROPERTIES ARE LOCATED IN THE TOWN OF FRANKLIN'S RURAL RESIDENTIAL 1 ZONING DISTRICT.
 5. LOCUS PARCEL 215-66 IS SUBJECT TO AN EASEMENT TO NETRAT AS DESCRIBED IN DEED BOOK 11706 PAGE 164 (LOCATION INDETERMINATE).
 6. CAREFUL CONSIDERATION WAS USED REGARDING MGL, CHAP. 183, SEC. 58 (DERELICT FEE STATUTE) AND DEED TITLE CHAINS TO PLACE BOUNDARIES LINES IN RELATIONSHIP TO THE 40' R.O.W. WAY SHOWN HEREON. THESE LINES DO NOT CORRESPOND TO THE CURRENT ASSESSOR'S PARCEL LINES.
 7. THE FOLLOWING SPECIAL PERMITS AND ZONING VARIANCES WERE FOUND FOR THE SUBJECT PROPERTIES: AS LISTS RECORDED IN DEED BOOK 32047 PAGE 347 (PERTAINS TO PARCEL 215-66).



SHEET NO. **1** OF **1**

PLAN OF LAND IN FRANKLIN, MA
BENT STREET & EMILY DRIVE
NORFOLK REGISTRY
PREPARED FOR
PROTERRA DESIGN GROUP, LLC.

SURVEYOR: BCF ENGINEER: —
DRAFTING: JDG DESIGN: —
FIELD WORK: JED NAE HORZ. SCALE: 1"=60'
PROJECT NUMBER: 19-075.4 VERT. SCALE: —
DRAWING NAME: 19-075.4.DWG DATE: 9-22-2021

APPROVAL NOT REQUIRED

NORTHEAST SURVEY CONSULTANTS
116 PLEASANT ST. SUITE 302
P.O. BOX 100
EASTHAMPTON, MA 01027
(413) 203-5144



FRANKLIN PLANNING & COMMUNITY DEVELOPMENT

355 EAST CENTRAL STREET
FRANKLIN, MA 02038-1352
TELEPHONE: 508-520-4907
FAX: 508-520-4906

MEMORANDUM

DATE: October 26, 2021
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 81-P ANR – Bent St and Emily Dr

The DPCD has reviewed the above referenced 81-P (ANR) application for the Monday, November 1, 2021 Planning Board meeting and offers the following commentary:

General

1. The applicant has submitted a Form A application for 81-P Plan Review to accompany the plan of land for Bent Street and Emily Drive dated September 22, 2021 and submitted to DPCD on October 22, 2021.
2. The Parcels are located in Rural Residential 1.
3. The purpose of the plan is to combine Parcels A & B to form Lot 1 and Parcels C & D will be combined to form Lot 2.
4. The above application shows the land known on Assessors Map 215 Lots 066 & 067 and Map 206 Lot 103.

ANR Summary

- Lot 1 will become a conforming buildable lot and Lot 2 is conforming to zoning, with an existing structure on the Lot.

19 Emily

PLANNING BOARD
FRANKLIN, MASSACHUSETTS

FORM A
APPLICATION FOR ENDORSEMENT OF PLAN BELIEVED
NOT TO REQUIRE APPROVAL (81-p)

TOWN OF FRANKLIN
TOWN CLERK
2021 OCT 22 A 10:11

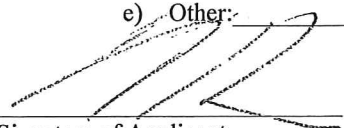
September 30, 20²¹

To the Planning Board of the Town of Franklin, Massachusetts:

The undersigned, believing that the accompanying plan of land in the Town of Franklin does not constitute a subdivision within the meaning of the Subdivision Control Law, for the reason outlined below, herewith submits said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

1. Name of Applicant: Robert & Jenny Rowe
 Address of Applicant: 19 Emily Drive, Franklin, MA 02038
 Phone No.: 781-603-2552 Email: jennyrowe13@gmail.com
2. Name of Owner (if not the Applicant): _____
 Address of Owner: _____
 Phone No.: _____ Email: _____
3. Name of Engineer: Northeast Survey Consultants - Brian C. Franetovich PLS
4. Deed of Property recorded in _____ with Norfolk Registry, Book 31714, Page 294
5. Location and Description of Property: Land and Improvements located at 19 Emily Drive
6. Assessor's Map & Lot: Map 215 Lot 66
7. Reasons approval is not required (check as applicable):
 - a) Every lot shown has the area and frontage required by the Zoning By-Law on a way as defined by the Subdivision Regulations 200 Feet of Frontage & 40,000 SF
 - b) a public way or way which the Town Clerk certifies is maintained and used as a public way, namely Bent Street & Emily Drive, or
 - c) a way shown on a plan theretofore approved and endorsed in accordance with the subdivision control law, namely _____ on _____, and subject to the following conditions _____; or
 - d) a private way in existence on March 12, 1954, the date when the subdivision control law became effective in the Town of Franklin having, in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.

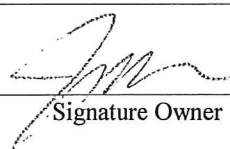
e) Other: _____



Signature of Applicant

Robert & Jenny Rowe

Print Name of Applicant



Signature Owner

Robert & Jenny Rowe

Print Name of Owner

MAP 206 Lot 103

PLANNING BOARD
FRANKLIN, MASSACHUSETTS

FORM A
APPLICATION FOR ENDORSEMENT OF PLAN BELIEVED
NOT TO REQUIRE APPROVAL (81-p)

September 30, _____, 20 21

To the Planning Board of the Town of Franklin, Massachusetts:

The undersigned, believing that the accompanying plan of land in the Town of Franklin does not constitute a subdivision within the meaning of the Subdivision Control Law, for the reason outlined below, herewith submits said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

1. Name of Applicant: Stephen Kelleher
 Address of Applicant: 27 Stop River Road, Norfolk, MA 02056
 Phone No.: 617-817-8564 Email: stephen@vertextowers.com
2. Name of Owner (if not the Applicant): _____
 Address of Owner: _____
 Phone No.: _____ Email: _____
3. Name of Engineer: Northeast Survey Consultants - Brian C. Franetovich PLS
4. Deed of Property recorded in _____ with Norfolk Registry, Book 37568, Page 19
5. Location and Description of Property: Vacant Land on Bent Street
6. Assessor's Map & Lot: Map 206 Lot 103
7. Reasons approval is not required (check as applicable):
 - a) Every lot shown has the area and frontage required by the Zoning By-Law on a way as defined by the Subdivision Regulations 200 Feet of Frontage & 40,000 SF
 - b) a public way or way which the Town Clerk certifies is maintained and used as a public way, namely Bent Street & Emily Drive, or
 - c) a way shown on a plan theretofore approved and endorsed in accordance with the subdivision control law, namely _____ on _____, and subject to the following conditions _____; or
 - d) a private way in existence on March 12, 1954, the date when the subdivision control law became effective in the Town of Franklin having, in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.
 - e) Other: _____



Signature of Applicant

Stephen Kelleher

Print Name of Applicant



Signature Owner

Stephen Kelleher

Print Name of Owner

MAP 215 Lot 67

PLANNING BOARD
FRANKLIN, MASSACHUSETTS

FORM A
APPLICATION FOR ENDORSEMENT OF PLAN BELIEVED
NOT TO REQUIRE APPROVAL (81-p)

September 30, 20 21

To the Planning Board of the Town of Franklin, Massachusetts:

The undersigned, believing that the accompanying plan of land in the Town of Franklin does not constitute a subdivision within the meaning of the Subdivision Control Law, for the reason outlined below, herewith submits said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

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 Address of Applicant: 27 Stop River Road, Norfolk, MA 02056
 Phone No.: 617-817-8564 Email: stephen@vertextowers.com
2. Name of Owner (if not the Applicant): _____
 Address of Owner: _____
 Phone No.: _____ Email: _____
3. Name of Engineer: Northeast Survey Consultants - Brian C. Franetovich PLS
4. Deed of Property recorded in _____ with Norfolk Registry, Book 38606, Page 535
5. Location and Description of Property: Vacant Land on Bent Street
6. Assessor's Map & Lot: Map 215 Lot 67
7. Reasons approval is not required (check as applicable):
 - a) Every lot shown has the area and frontage required by the Zoning By-Law on a way as defined by the Subdivision Regulations 200 Feet of Frontage & 40,000 SF
 - b) a public way or way which the Town Clerk certifies is maintained and used as a public way, namely Bent Street & Emily Drive, or
 - c) a way shown on a plan theretofore approved and endorsed in accordance with the subdivision control law, namely _____ on _____, and subject to the following conditions _____; or
 - d) a private way in existence on March 12, 1954, the date when the subdivision control law became effective in the Town of Franklin having, in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.
 - e) Other: _____


Signature of Applicant

Stephen Kelleher
Print Name of Applicant


Signature Owner

Stephen Kelleher
Print Name of Owner

Executed as a sealed instrument this

day of September 2021

[Handwritten Signature]
Signature of Applicant

Stephen Kelleher
Print name of Applicant

[Handwritten Signature]
Signature of Owner

Stephen Kelleher
Print name of Owner

COMMONWEALTH OF MASSACHUSETTS

Norfolk County ss.

20 21

On this 30th day of September 2021, before me, the undersigned notary public, personally appeared Stephen Kelleher (name of owner), proved to me through satisfactory evidence of identification, which were Mass Drivers License to be the person whose name is signed on the preceding document in my presence.



DANIELLE M. BARTLETT
Notary Public
Commonwealth of Massachusetts
My Commission Expires August 8, 2025

[Handwritten Signature]
(Official signature and seal of notary)
Notary Public: Danielle M Bartlett
My Commission Expires: 8-8-2025

Executed as a sealed instrument this

day of September 20 21

[Signature]
Signature of Owner

Robert Rowe
Print name of Owner

[Signature]
Signature of Owner

Jenny Rowe
Print name of Owner

COMMONWEALTH OF MASSACHUSETTS

Norfolk County ss.

2021

On this 30th day of September 2021, before me, the undersigned notary public, personally appeared Robert & Jenny Rowe (name of owner), proved to me through satisfactory evidence of identification, which were MASS Drivers License to be the person whose name is signed on the preceding document in my presence.

[Signature]
(Official signature and seal of notary)
Notary Public: Danielle M Bartlett
My Commission Expires: 08-08-2025



DANIELLE M. BARTLETT
Notary Public
Commonwealth of Massachusetts
My Commission Expires August 8, 2025

CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:

Type of Plan (circle one) ANR 81-P; Preliminary Subdivision

Definitive Subdivision.; Site Plan; Special Permit

Title of Plan: Plan of Land in Franklin, MA Bent Street & Emily Drive

Date of Plan: September 22, 2021 Assessor's Information: Map 206 Lot 103 & Map 215 Lots 66 & 67

Prepared by: Northeast Survey Consultants

Applicant Name & Address: Stephen Kelleher 27 Stop River Road, Norfolk, MA 02056

SECTION B:

Name of Record Owner(s): Stephen Kelleher & Robert and Jenny Rowe

Address of Record Owner(s): Kelleher-27 Stop River Road, Norfolk, MA 02056

Rowe- 19 Emily Drive, Franklin, MA 02038

****Attach Property Deed matching the owner name's listed above.**

*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):

*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation:

*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation:

Executed as a sealed instrument this

day of September 2021

[Signature]
Signature of Applicant

Stephen Kelleher
Print name of Applicant

[Signature]
Signature of Owner

Stephen Kelleher
Print name of Owner

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Robert Rowe
Print name of Owner

[Signature]
Signature of Owner

Jenny Rowe
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My Commission Expires: 08-08-2025



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Notary Public
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My Commission Expires August 8, 2025