

VICINITY MAP  
(NOT TO SCALE)

LEGEND			
	CATCH BASIN		WATER SERVICE
	DRAIN MANHOLE		POWER POLE
	GAS METER		SEWER MANHOLE
	GAS SHUTOFF		GUY WIRE
	FIRE HYDRANT		SIGN
	WATERGATE		CLEAN-OUT
	GAS SERVICE		HANDI-CAP PARKING
	LIGHT POLE		NUMBER OF PARKING SPACES
	FOUND BOUND		RIP-RAP SLOPE
	UNDERGROUND ELECTRIC		ELECTRIC METER
	CONTOUR		GUARD RAIL
	CHAINLINK FENCE		DECIDUOUS TREE
	SEWER LINE		BUSH
	DRAIN LINE		

**ZONING DISTRICT**

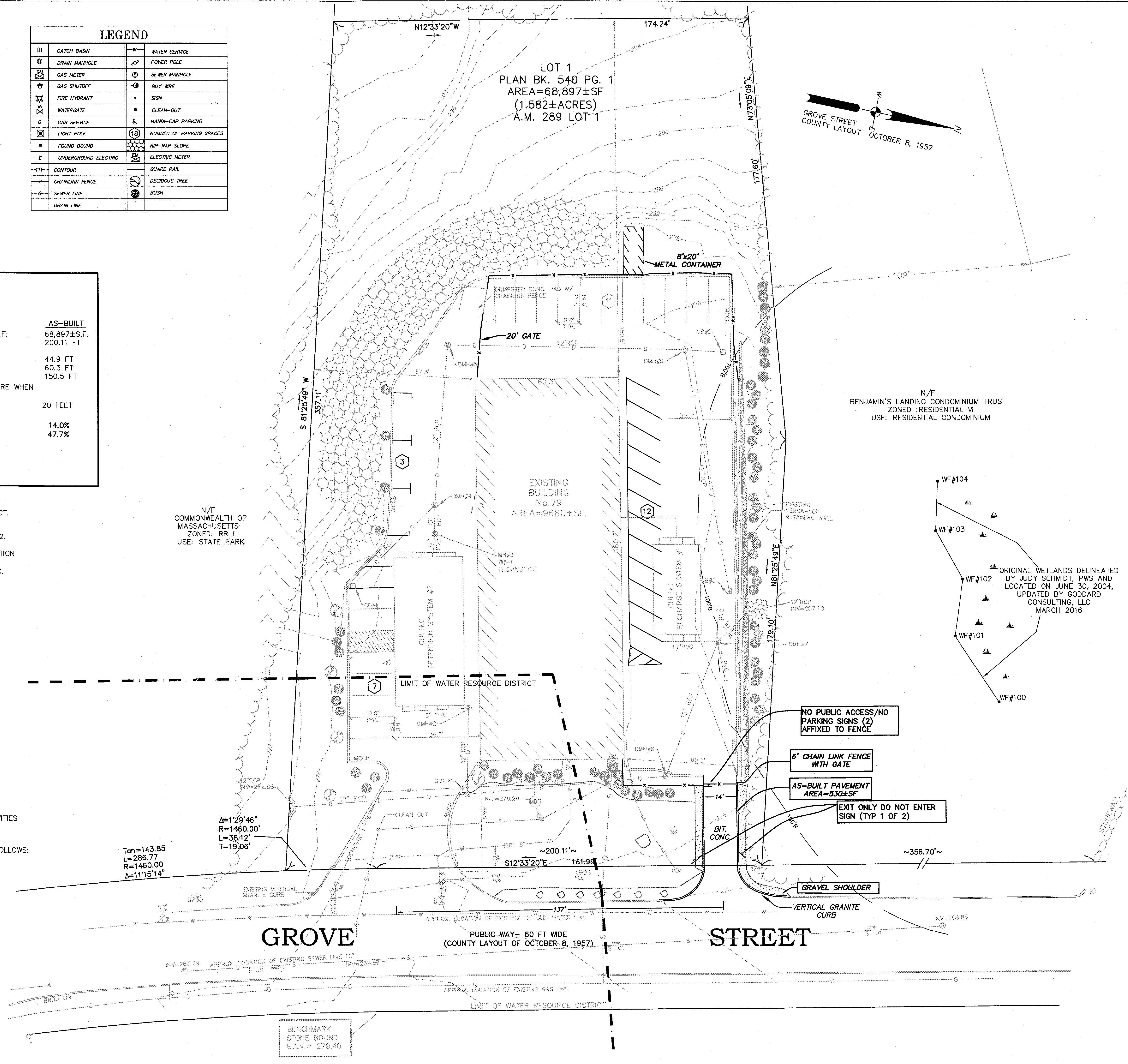
ZONE: INDUSTRIAL	REQUIRED	EXISTING	AS-BUILT
MINIMUM LOT AREA	40,000 S.F.	68,897±S.F.	68,897±S.F.
MINIMUM LOT FRONTAGE	175 FT	200.11 FT	200.11 FT
MINIMUM YARDS			
FRONT	40 FT	44.9 FT	44.9 FT
SIDE	30 FT (a)	60.3 FT	60.3 FT
REAR	30 FT (a)	150.5 FT	150.5 FT
(a) INCREASE BY THE COMMON BUILDING HEIGHT OF THE STRUCTURE WHEN ABUTTING A RESIDENTIAL DISTRICT OR USE.			
MAXIMUM BLDG HEIGHT	3 STORIES	20 FEET	20 FEET
MAXIMUM LOT UPLAND COVERAGE			
STRUCTURES	70%	14.0%	14.0%
STRUCTURES PLUS PAVING	80%	46.9%	47.7%

**NOTES:**

- A PORTION OF THIS SITE IS WITHIN THE WATER RESOURCE DISTRICT.
- THIS SITE IS NOT WITHIN A FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 25021C0308E EFFECTIVE DATE JULY 17, 2012.
- SEE PLAN ENTITLED "GROVE STREET TOWING SITE PLAN MODIFICATION AND SPECIAL PERMIT FRANKLIN, MASSACHUSETTS," DATED 10/4/18, LAST REVISED 12/3/18, PREPARED BY GUERRIERE AND HALNON, INC.

**PLAN DISCREPANCIES:**

- THE PARKING LOT WAS RESTRIPEPOST CONSTRUCTION ACTIVITIES AND FIELD LOCATED TO REFLECT EXISTING CONDITIONS.
  - RESTRIPEPOST WAS NOT INCLUDED IN THE PREVIOUS APPROVAL. HOWEVER, THE PARKING SPACES APPROVED IN 2019 WERE AS FOLLOWS:
    - INDUSTRIAL PARKING- 1SP/400SF.
    - 9460 SF. = 24 PARKING SPACES
    - OFFICE SPACE = 1/250SF.
    - 200SF. OFFICE = 1 SPACE
    - PLUS 1 SPACE PER USE= 1 SPACE
- TOTAL PARKING REQUIRED = 26 SPACES  
TOTAL PARKING SPACE PROVIDED = 33 SPACES



3/1/2022

3.1.2022

F4184

"I certify that this plan is based upon an on the ground instrument survey and that the structures and improvements are located as show hereon."

Professional Land Surveyor

**LEGAL NOTES**

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. PAVING, EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE[7233].

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

**OWNER**

WEEDY LLC  
15 GROVE STREET  
FRANKLIN, MA 02038  
DEED BK. 22017 PG 116

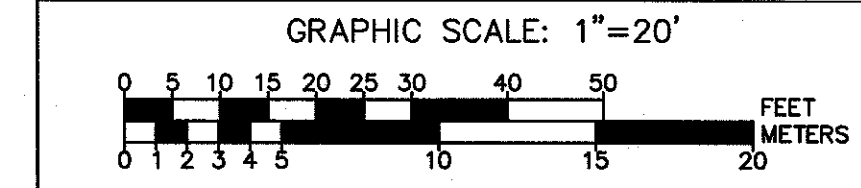
**PLAN REFERENCES**

PLAN BOOK 540 PAGE 1  
**DEED REFERENCES**  
DEED BOOK 22017 PAGE 116  
DEED BOOK 22121 PAGE 548  
ASSESSORS MAP 289 LOT 1

**AS-BUILT  
GROVE STREET  
TOWING & TIRE  
79 GROVE STREET  
FRANKLIN  
MASSACHUSETTS**

**FEBRUARY 28, 2022**

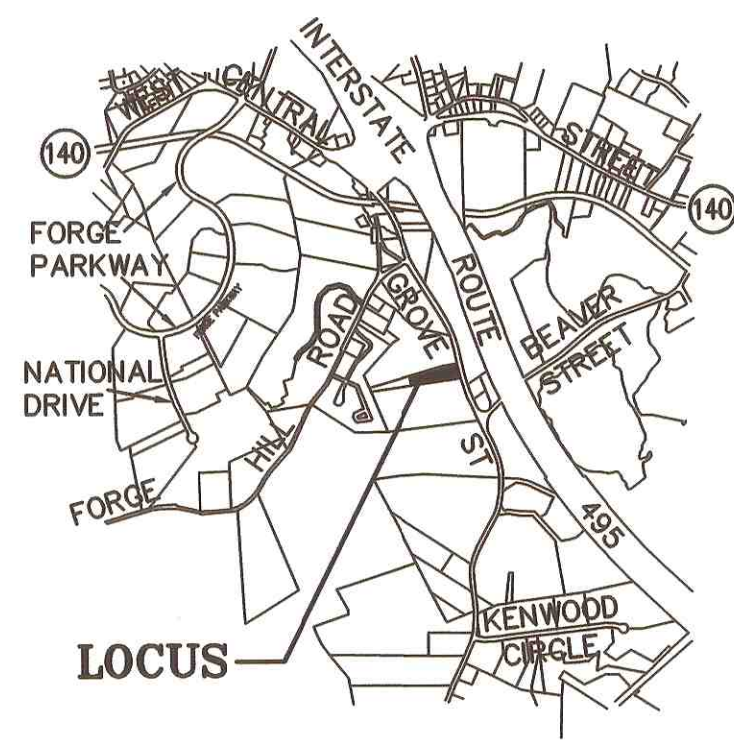
DATE	REVISION DESCRIPTION



**Guerriere & Halnon, Inc.**  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gandhengineering.com

G:\C-307\Franklin\F4184.DWG\DWG\F4184-SURVEY AS-BUILT rev 1.dwg, 3/1/2022 3:13:42 PM, DAD

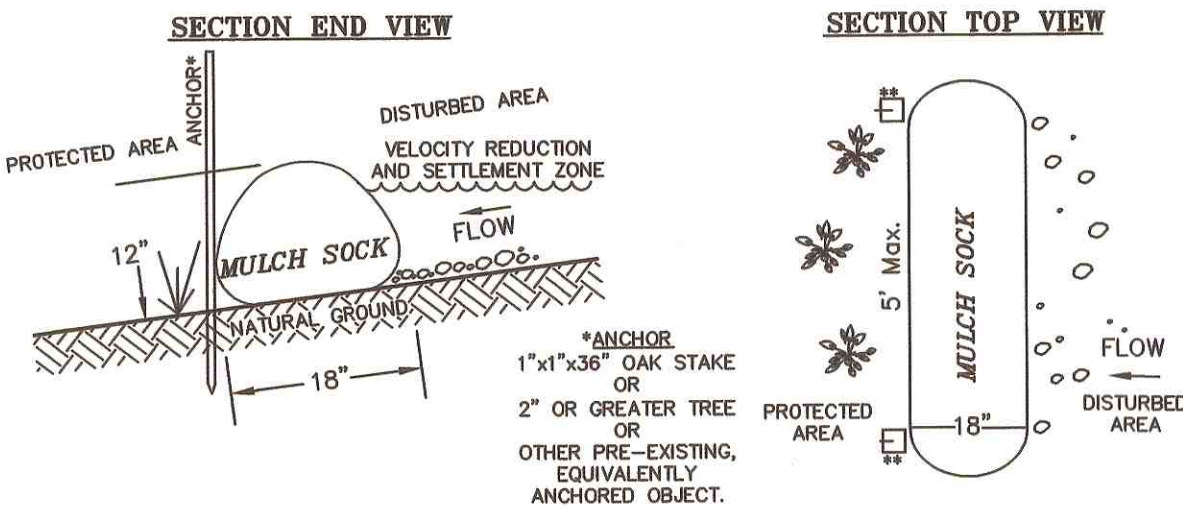




VICINITY MAP  
(NOT TO SCALE)

**ZONING DISTRICT**

ZONE: INDUSTRIAL	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 S.F.	68,897±S.F. (1.58±AC)	68,897±S.F.
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MAXIMUM LOT UPLAND COVERAGE			
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STRUCTURES PLUS PAVING	80%	46.9%	47.7%



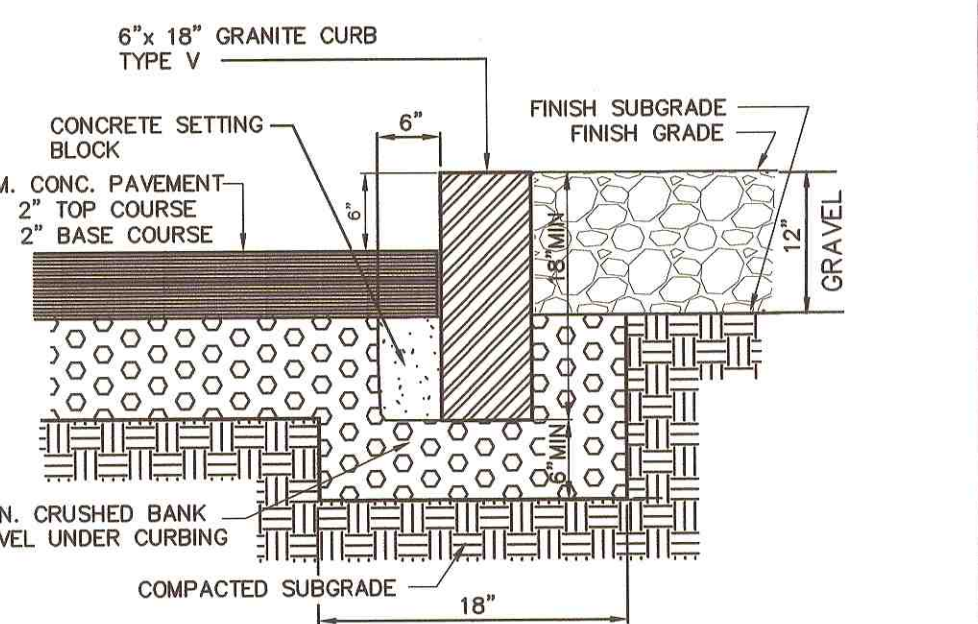
**EROSION CONTROL**  
NOT TO SCALE

**SECTION END VIEW**  
DISTURBED AREA  
VELOCITY REDUCTION AND SETTLEMENT ZONE  
MULCH SOCK  
FLOW  
PROTECTED AREA  
ANCHOR  
1"x1.36" OAK STAKE OR 2" OR GREATER TREE OR OTHER PRE-EXISTING, EQUIVALENTLY ANCHORED OBJECT.

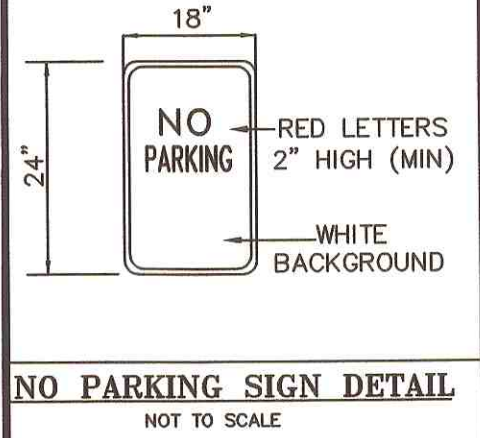
**SECTION TOP VIEW**  
MULCH SOCK  
5" Max.  
FLOW  
DISTURBED AREA

**INSTALLATION:**  
With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.  
Sections can also be delivered to the site in lengths from 1' to 8'.  
The flexibility of the mulch sock allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.  
Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union. No additional anchors are required on slopes less than 2:1. \*\*Additional anchors are required at 5' intervals (max.) on the downslope or protected side on slopes greater than 2:1 to prevent movement.

**COMPONENTS:**  
OUTSIDE CASING: 100% organic hessian.  
FILLER INGREDIENT:  
A blend of coarse and fine compost and shredded wood.  
Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.  
Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)

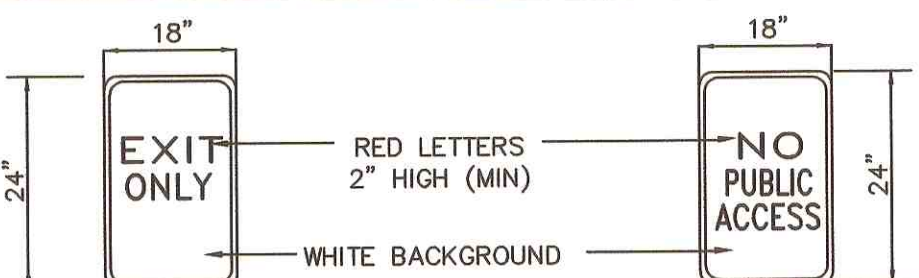


TYP. VERTICAL GRANITE CURB  
N.T.S.

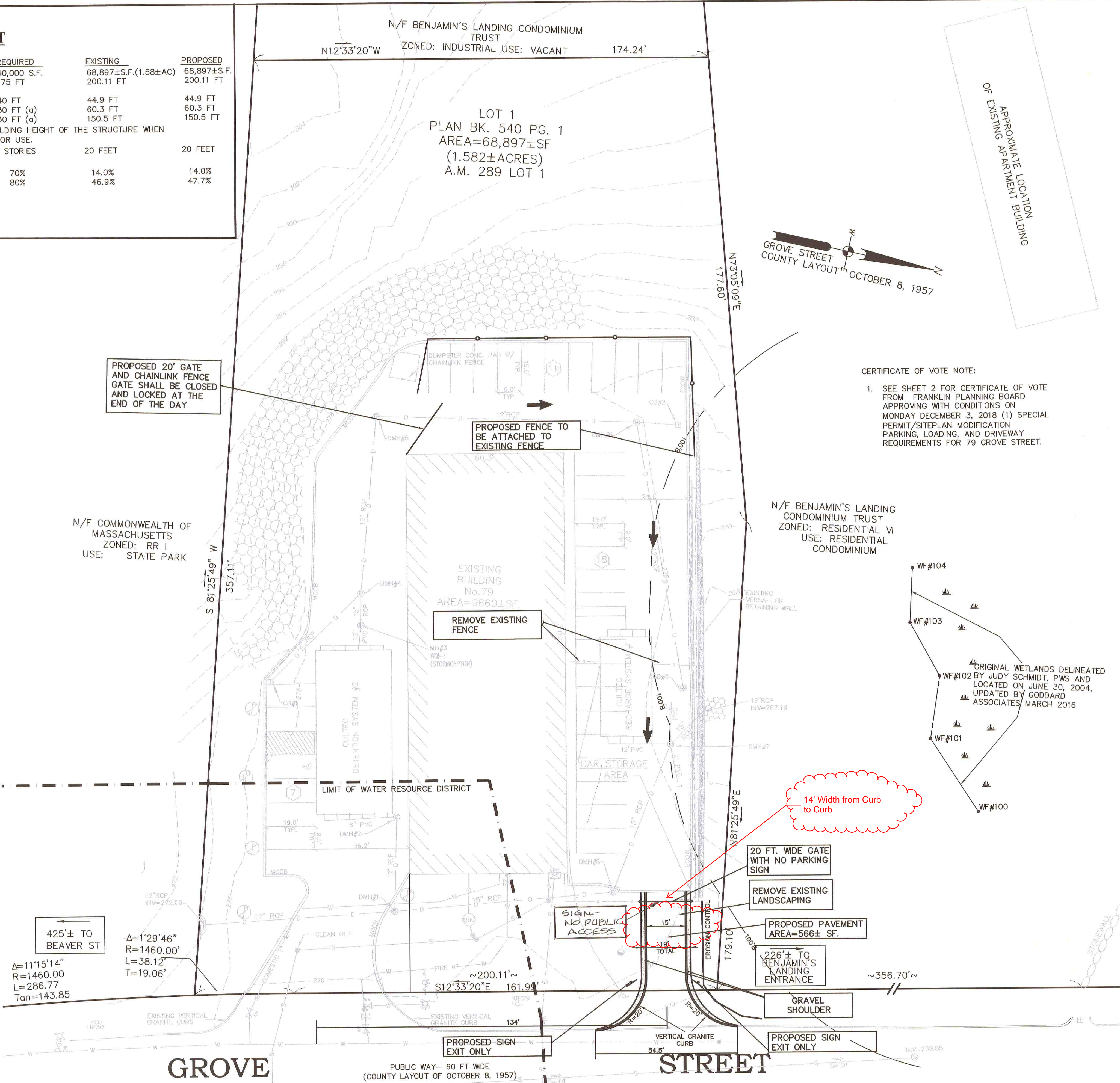


NO PARKING SIGN DETAIL  
NOT TO SCALE

- NOTES:**
- FRANKLIN ASSESSORS MAP 289 LOT 001.
  - THIS SITE IS ZONED INDUSTRIAL.
  - WETLAND DELINEATION DONE BY GODDARD ASSOCIATES, MARCH 2016.
  - A PORTION OF THIS SITE IS WITHIN THE WATER RESOURCE DISTRICT
  - PLAN ENTITLED "PLAN OF LAND ON GROVE STREET IN FRANKLIN, MASSACHUSETTS" DATE MARCH 3, 2005 BY GUERRIERE AND HALNON, INC. APPROVED BY THE FRANKLIN PLANNING BOARD UNDER THE SUBDIVISION CONTROL LAW ON APRIL 1/05.
  - SEE APPROVED SITE PLAN ENTITLED "PROPOSED MULTI-TENANT BUILDING SITE PLAN, 79 GROVE STREET, FRANKLIN MASSACHUSETTS" DATED OCTOBER 2004 BY GUERRIERE AND HALNON, INC.



SIGN DETAILS  
NOT TO SCALE



1/4/19  
ROBERT CONSTANTINE II  
REGISTERED PROFESSIONAL ENGINEER  
No. 45611

DALE MACKINNON  
REGISTERED PROFESSIONAL ENGINEER  
No. 94575

DATE: 1/4/19

APPROVED DATE: \_\_\_\_\_  
PLANNING BOARD

John Connolly  
William Dand  
Guy Rankin

SIGNATURE DATE: 1/28/19  
BEING A MAJORITY

- NOTES**
- CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.
  - "WARNING" EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS. CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233). EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

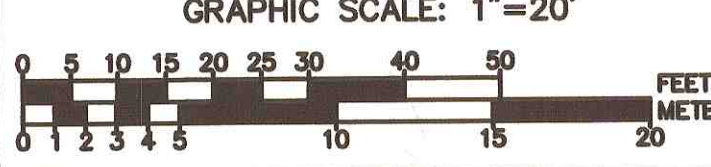
**PURPOSE OF PLAN**  
TO PROVIDE AN ACCESS AND EXIT FOR TOWING VEHICLES- ADDING 566 SF, OF PAVEMENT ON SITE

**OWNER/APPLICANT:**  
WEEDY LLC.  
C/O  
PATRICK J. WEIDMAN,  
MANAGER  
15 GROVE STREET  
FRANKLIN, MA 02038  
MAP 289 LOT 001  
BOOK 22017 PAGE 116  
BOOK 22121 PAGE 548

**GROVE STREET TOWING AND TIRE SITE PLAN MODIFICATION AND SPECIAL PERMIT FRANKLIN, MASSACHUSETTS**

**SITE PLAN**

NO	DATE	DESCRIPTION	INITIALS
00	10/4/18	INITIAL SUBMITTAL	INIT
01	12/3/18	ADDED CERTIFICATE OF VOTE	DB



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www.gandhengineering.com





TOWN OF FRANKLIN  
TOWN CLERK

2018 DEC -6 A 9 32

RECEIVED

December 5, 2018  
Teresa M. Burr, Town Clerk  
Town of Franklin  
355 East Central Street  
Franklin, MA 02038

Planning Board  
355 East Central Street  
Franklin, Massachusetts 02038-1352

**CERTIFICATE OF VOTE - (1) SPECIAL PERMIT/SITE PLAN MODIFICATION**  
**Parking, Loading and Driveway Requirements**  
**79 Grove Street**

**Applicant:** Patrick Weidman  
79 Grove Street  
Franklin, MA 02038

**Owner:** Weedy, LLC  
79 Grove Street  
Franklin, MA 02038

**Prepared By:**  
**Surveyor/Engineer:** Guerriere & Halnon, Inc., Franklin, MA

**Property Location:** 79 Grove Street  
Map 289 Lot 001

Dear Mrs. Burr:

Please be advised that at its meeting on Monday, December 3, 2018 the Planning Board upon motion duly made and seconded, voted (5-0-0) to APPROVE, WITH STANDARD (1) one Special Permit and Site Plan Modification for 79 Grove Street for §185-21.C.7.b - Parking, Loading and Driveway Requirements. A brief description of the proceeding, the outcome of a roll call vote, and the Standard and Special Conditions of Approval are presented on pages 2-8 attached hereto.

Sincerely,  
  
Anthony Padula, Chairman  
Franklin Planning Board

cc: Owners/Applicant/Applicant's Engineer/Applicant's Attorney  
Building Commissioner/DPW/Engineering/BETA Group, Inc.

**PROJECT DESCRIPTION - (1) ONE SPECIAL PERMIT/SITE PLAN MODIFICATION**  
**Parking, Loading and Driveway Requirements**  
**79 Grove Street**

The existing site consists of 9,600 square foot building being utilized for auto repair/small truck repair with overnight storage for towed vehicles with a single point of ingress/egress. Currently, the tow trucks access the storage yard by backing in to the property off Grove Street and around the existing building to load and unload vehicles. The applicant is proposing another egress on a site, to allow the tow truck to exit the property facing forward. The Special Permit is required as the two driveways are within 150 feet of one another.

**PUBLIC HEARING - (1) ONE SPECIAL PERMIT/SITE PLAN MODIFICATION**  
**Parking, Loading and Driveway Requirements**  
**79 Grove Street**

A proper and complete notice of the November 19, 2018 public hearings was posted in the Franklin Municipal Building and in the appropriate local newspaper in accordance with the Franklin Zoning Code and Massachusetts General Laws. A proper and complete notice was also sent to all persons and parties required by law to receive such notice.

Incorporated as part of the record are the following:

The Planning Board reviewed (1) the applicant's detailed written application including answers to Special Permit Findings (a) through (g), and (2) comments and review letters from various Town Departments, including but not limited to, Department of Planning & Community Development, Department of Public Works/Engineering and Franklin Fire Department.

The Planning Board upon motion duly made and seconded, voted (5-0-0) to close the public hearing for the Site Plan Modification and Special Permit for Parking, Loading and Driveway Requirements at the November 17, 2018 Planning Board meeting.

**PRESENTATION - (1) ONE SPECIAL PERMIT/SITE PLAN MODIFICATION**  
**Parking, Loading and Driveway Requirements**  
**79 Grove Street**

Ms. Amanda Cavaliere, Guerriere & Halnon, Inc., and Mr. Patrick Weidman, property owner, addressed the Planning Board for a Special Permit and Site Plan Modification for Grove Street Towing & Tire. Ms. Cavaliere explained they are looking to add an additional access way to the lot less than 150 ft. from another opening. It is going to be used as an egress only for the tow trucks to safely enter the site and go completely around the building to exit in a forward motion as opposed to the current situation where they must back into the property. They are proposing to move the fence line. The access driveway is less than 600 sq. ft. long and will be paved and have vertical granite curbing at the roundings.

Ms. Love stated correspondence from the Fire Department stating they had no issues was received. It is not under Conservation jurisdiction. A Special permit is needed to add an egress within 150 ft. of another egress.

Chairman Padula discussed the original application in 2004 and asked the applicant how much of the building is being used for Auto repair. Mr. Weidman indicated that 4,800 sq/ft was being used for auto repair and there were other tenants in the building.

Mr. Halligan confirmed it was an exit only and the gate would be manually closed after the truck passed. As there were no residents from Benjamin's Landing present at the meeting, he had no issue.

**STANDARD CONDITIONS OF APPROVAL**  
**Parking, Loading and Driveway Requirements**  
**79 Grove Street**

- This Special Permit shall not be construed to run with the land and shall run with the Site Plan as endorsed by the Planning Board. A new Special Permit shall be required from the Planning Board if any major change of use or substantial change to the site plan is proposed.
- This Special Permit shall lapse if a substantial use or construction has not begun, except for good cause, within twenty four (24) months of approval, unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the Special Permit have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #4.
- Construction or operations under this Special Permit shall conform to any subsequent amendment of the Town of Franklin Zoning Bylaw (§185) unless the use or construction is commenced within a period of six (6) months after the issuance of this Special Permit and, in cases involving construction, unless such construction is continued through to completion as continuously and expeditiously as is reasonable.
- The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
- Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form H). Said inspection is further outlined in condition #4.
- No alteration of the Special Permit and the plans associated with it shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.
- All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
- Prior to the endorsement of the site plan, the following shall be done:
  - The owner/applicant shall make a notation on the site plan that references the Special Permit and the conditions and dates of this Certificate of Vote.
  - A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
  - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.
  - The owner/applicant shall submit a minimum of six copies of the approved version of the plan.

After a complete presentation and discussion of the project, Planning Board members closed the Public Hearing on November 19, 2018.

**FINDINGS OF FACTS - (1) ONE SPECIAL PERMIT/SITE PLAN MODIFICATION**  
**Parking, Loading and Driveway Requirements**  
**79 Grove Street**

- The applicant has provided the following findings in support of the application for a special permit:
- (1) **Special Permit: Section 185-21.C.7.b - Parking, Loading and Driveway Requirements.**
- (a) Proposed project addresses or is consistent with neighborhood or Town need.
- The proposed project is located within the Industrial District and is consistent with the neighborhood.
- (b) Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.
- In an effort to address traffic flow, access and pedestrian safety, the Owner/Applicant is proposing to construct an exit less than 150' from centerline to centerline of an existing entrance/exit. Currently, the tow trucks are required to back in to the property off Grove Street and continue to back around the building to load and unload vehicles. The proposed exit will be for tow trucks only designated as one way. Public access to the proposed exit will be prohibited.
- (c) Public roadways, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.
- The proposed exit consists of less than 600 square feet of new impervious area and not anticipated to impact the existing infrastructure.
- (d) Neighborhood character and social structure will not be negatively impacted.
- Neighborhood character and social structure are not anticipated to be negatively impacted by the proposed exit.
- (e) Project will not destroy or cause substantial damage to any environmentally-significant natural resource, habitat, or feature or, if it will, proposed mitigation, remediation, replication or compensatory measures are adequate.
- The project is not anticipated to destroy or cause substantial damage to any environmentally significant natural resources, habitat, or feature.
- (f) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.
- No buildings or above ground structures are proposed.
- (g) Water consumption and sewer use, taking into consideration current and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.
- Not applicable

- Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.
- The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.

**SPECIAL CONDITIONS OF APPROVAL**  
**(1) SPECIAL PERMIT/SITE PLAN MODIFICATION**  
**Parking, Loading and Driveway Requirements**  
**79 Grove Street**

- Prior to endorsement, at the new access drive, the applicant will add the following signage to the plans:
  - "exit only"
  - "no public access"
- The applicant will provide vertical granite curbing up to the fence along the new driveway.

**DECISION - (1) ONE SPECIAL PERMIT/SITE PLAN MODIFICATION**  
**Parking, Loading and Driveway Requirements**  
**79 Grove Street**

- (1) **Special Permit: Section 185-21.C.7.b - Parking, Loading and Driveway Requirements.**
- (a) Proposed project addresses or is consistent with neighborhood or Town need.
- |                     |     |                 |     |
|---------------------|-----|-----------------|-----|
| Anthony Padula      | YES | Gregory Rondeau | YES |
| Joseph Halligan Jr. | YES | John Carroll    | YES |
| William David       | YES |                 |     |
- (b) Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.
- |                     |     |                 |     |
|---------------------|-----|-----------------|-----|
| Anthony Padula      | YES | Gregory Rondeau | YES |
| Joseph Halligan Jr. | YES | John Carroll    | YES |
| William David       | YES |                 |     |
- (c) Public roadways, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.
- |                     |     |                 |     |
|---------------------|-----|-----------------|-----|
| Anthony Padula      | YES | Gregory Rondeau | YES |
| Joseph Halligan Jr. | YES | John Carroll    | YES |
| William David       | YES |                 |     |
- (d) Neighborhood character and social structure will not be negatively impacted.
- |                     |     |                 |     |
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| Anthony Padula      | YES | Gregory Rondeau | YES |
| Joseph Halligan Jr. | YES | John Carroll    | YES |
| William David       | YES |                 |     |
- (e) Project will not destroy or cause substantial damage to any environmentally-significant natural resource, habitat, or feature or, if it will, proposed mitigation, remediation, replication or compensatory measures are adequate.
- |                     |     |                 |     |
|---------------------|-----|-----------------|-----|
| Anthony Padula      | YES | Gregory Rondeau | YES |
| Joseph Halligan Jr. | YES | John Carroll    | YES |
| William David       | YES |                 |     |
- (f) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.
- |                     |     |                 |     |
|---------------------|-----|-----------------|-----|
| Anthony Padula      | YES | Gregory Rondeau | YES |
| Joseph Halligan Jr. | YES | John Carroll    | YES |
| William David       | YES |                 |     |
- (g) Water consumption and sewer use, taking into consideration current and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.
- |                     |     |                 |     |
|---------------------|-----|-----------------|-----|
| Anthony Padula      | YES | Gregory Rondeau | YES |
| Joseph Halligan Jr. | YES | John Carroll    | YES |
| William David       | YES |                 |     |



DATE: 11/19/18  
DATE: 11/19/18

APPROVED DATE: 1/28/19  
PLANNING BOARD

SIGNATURE DATE: 1/28/19  
BEING A MAJORITY

- NOTES
- CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.
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**PURPOSE OF PLAN**

TO PROVIDE AN ACCESS AND EXIT FOR TOWING VEHICLES- ADDING 566 SF, OF PAVEMENT ON SITE

**OWNER/APPLICANT:**  
WEEDY LLC.  
c/o  
PATRICK J. WEIDMAN,  
MANAGER  
15 GROVE STREET  
FRANKLIN, MA 02038  
MAP 289 LOT 001  
BOOK 22017 PAGE 116  
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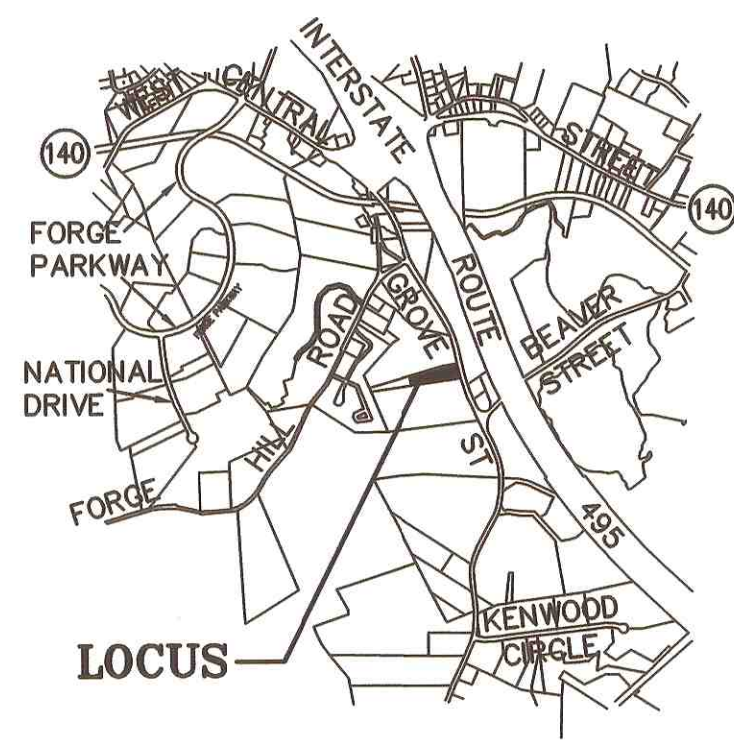
**GROVE STREET  
TOWING AND TIRE  
SITE PLAN  
MODIFICATION AND  
SPECIAL PERMIT  
FRANKLIN,  
MASSACHUSETTS**

**SITE PLAN**

00	10/4/18	INITIAL SUBMITTAL	INIT
01	12/3/18	ADDED CERTIFICATE OF VOTE	DB

**Guerriere & Halnon, Inc.**  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST.  
FRANKLIN, MA. 02038 PH. (508) 528-3221  
www.gandhengineering.com

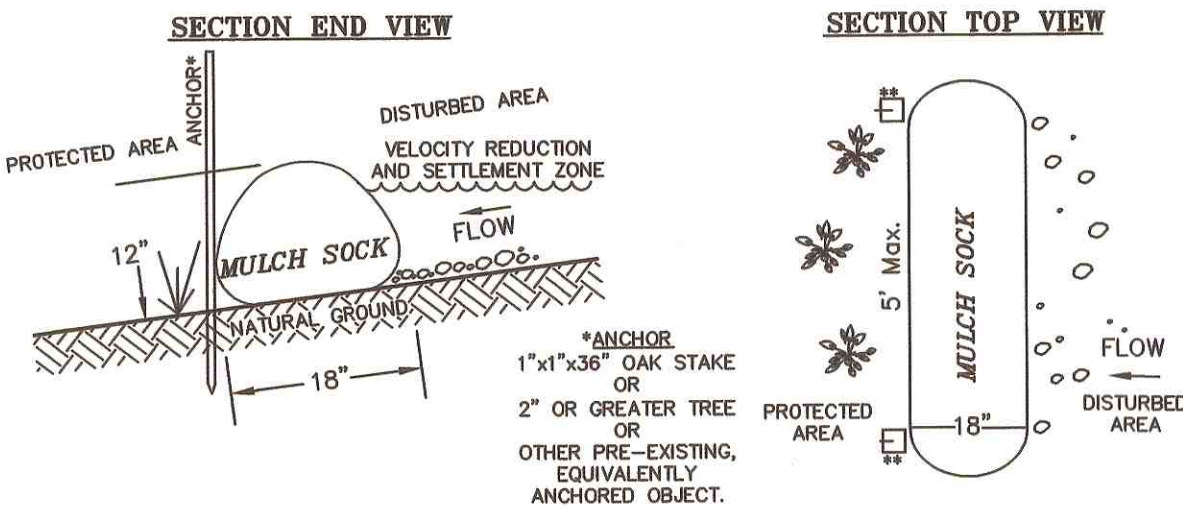




VICINITY MAP  
(NOT TO SCALE)

**ZONING DISTRICT**

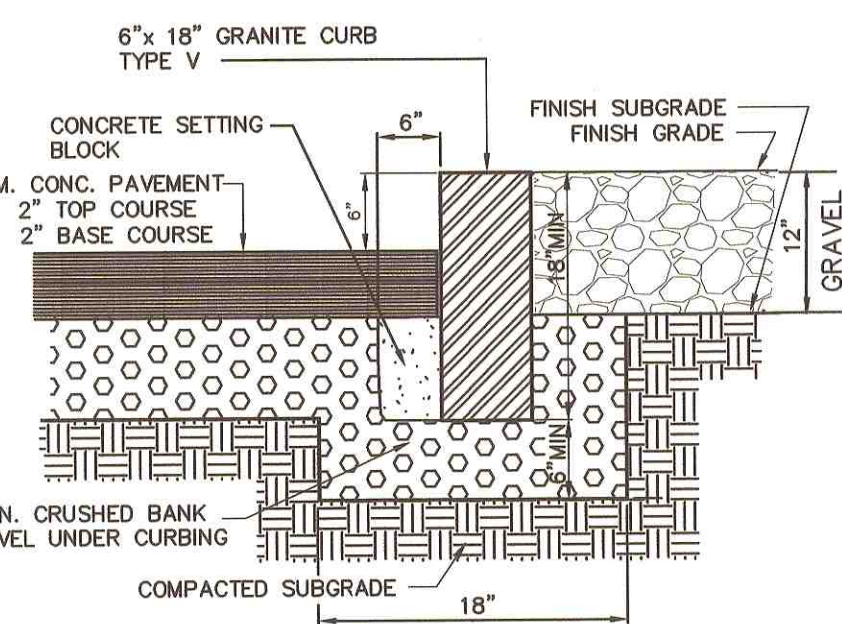
ZONE: INDUSTRIAL	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	40,000 S.F.	68,897±S.F.(1.58±AC)	68,897±S.F.
MINIMUM LOT FRONTAGE	175 FT	200.11 FT	200.11 FT
MINIMUM YARDS			
FRONT	40 FT	44.9 FT	44.9 FT
SIDE	30 FT (a)	60.3 FT	60.3 FT
REAR	30 FT (a)	150.5 FT	150.5 FT
(a) INCREASE BY THE COMMON BUILDING HEIGHT OF THE STRUCTURE WHEN ABUTTING A RESIDENTIAL DISTRICT OR USE.			
MAXIMUM BLDG HEIGHT	3 STORIES	20 FEET	20 FEET
MAXIMUM LOT UPLAND COVERAGE			
STRUCTURES	70%	14.0%	14.0%
STRUCTURES PLUS PAVING	80%	46.9%	47.7%



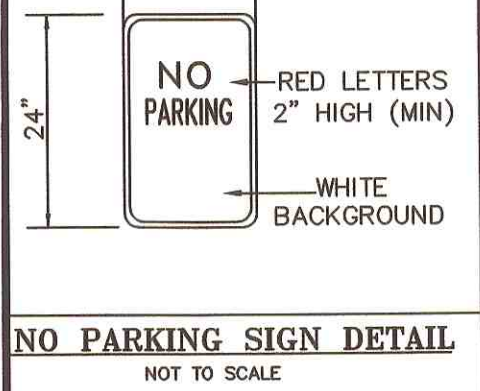
**INSTALLATION:**  
With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.  
Sections can also be delivered to the site in lengths from 1' to 8'.  
The flexibility of the mulch sock allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.  
Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union. No additional anchors are required on slopes less than 2:1. \*\*Additional anchors are required at 5' intervals (max.) on the downslope or protected side on slopes greater than 2:1 to prevent movement.

**COMPONENTS:**  
OUTSIDE CASING: 100% organic hessian.  
FILLER INGREDIENT:  
A blend of coarse and fine compost and shredded wood.  
Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.  
Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)

**EROSION CONTROL**  
NOT TO SCALE

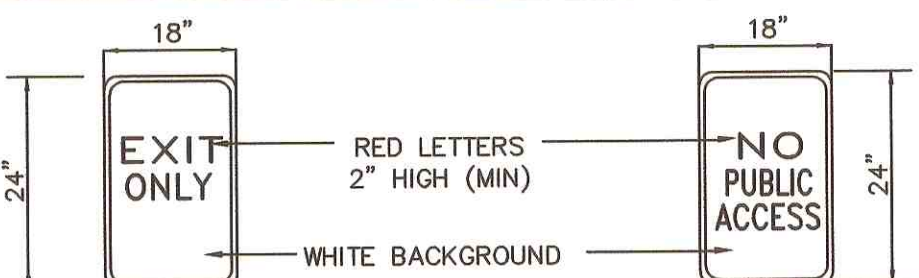


**TYP. VERTICAL GRANITE CURB**  
N.T.S.

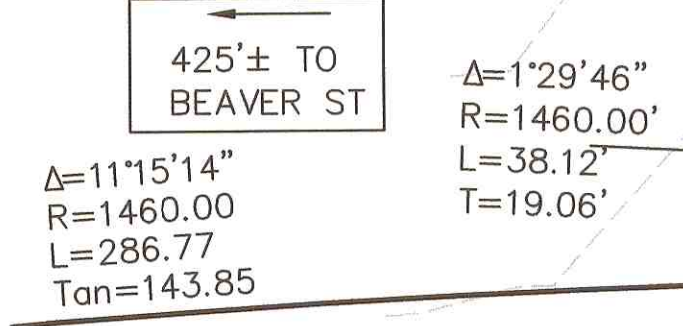
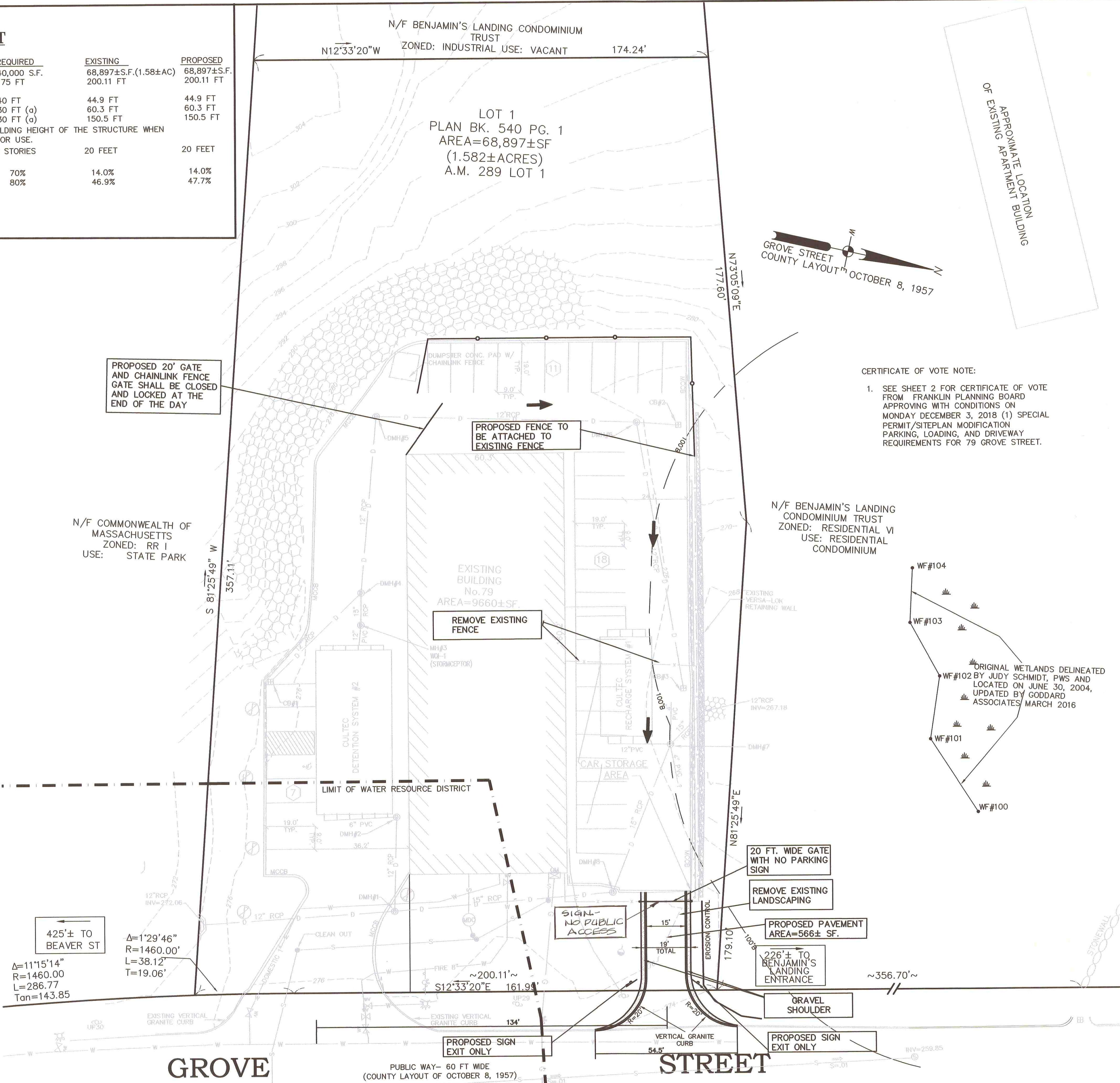


**NO PARKING SIGN DETAIL**  
NOT TO SCALE

- NOTES:**
- FRANKLIN ASSESSORS MAP 289 LOT 001.
  - THIS SITE IS ZONED INDUSTRIAL.
  - WETLAND DELINEATION DONE BY GODDARD ASSOCIATES, MARCH 2016.
  - A PORTION OF THIS SITE IS WITHIN THE WATER RESOURCE DISTRICT
  - PLAN ENTITLED "PLAN OF LAND ON GROVE STREET IN FRANKLIN, MASSACHUSETTS" DATE MARCH 3, 2005 BY GUERRIERE AND HALNON, INC. APPROVED BY THE FRANKLIN PLANNING BOARD UNDER THE SUBDIVISION CONTROL LAW ON APRIL 1/05.
  - SEE APPROVED SITE PLAN ENTITLED "PROPOSED MULTI-TENANT BUILDING SITE PLAN, 79 GROVE STREET, FRANKLIN MASSACHUSETTS" DATED OCTOBER 2004 BY GUERRIERE AND HALNON, INC.



**SIGN DETAILS**  
NOT TO SCALE



**PLAN REFERENCES**

PLAN BOOK 540 PAGE 1  
**DEED REFERENCES**  
DEED BOOK 22017 PAGE 116  
DEED BOOK 22121 PAGE 548  
ASSESSORS MAP 289 LOT 1

**APPROVED PARKING NOTES:**  
EXISTING PARKING SPACES=36 SPACES  
APPROVED PARKING FOR OFFICE = 10 SPACES  
APPROVED PARKING FOR AUTO SERVICE= 9 SPACES  
APPROVED SPACES FOR STORAGE= 4 SPACES

**SPECIAL PERMIT NOTE:**  
FOR RELIEF FROM 185-21(C)(7)a ALLOWING 134 FT. BETWEEN ENTRANCE AND EXIT ON THE SAME SIDE OF THE STREET WHERE 150FT. IS REQUIRED.

Professional Engineer stamps for Robert Constantine II and Dale Mackinnon, dated 11/4/19.

APPROVED DATE: \_\_\_\_\_ PLANNING BOARD  
*John Connolly*  
*William Dand*  
*Guy Rawley*  
SIGNATURE DATE: 11/28/19  
BEING A MAJORITY

- NOTES**
- CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.
  - "WARNING" EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS. CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233). EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

**PURPOSE OF PLAN**

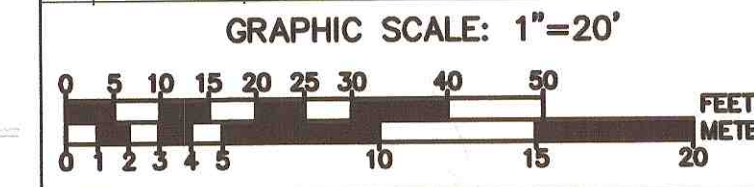
TO PROVIDE AN ACCESS AND EXIT FOR TOWING VEHICLES- ADDING 566 SF, OF PAVEMENT ON SITE

**OWNER/APPLICANT:**  
WEEDY LLC.  
C/O  
PATRICK J. WEIDMAN,  
MANAGER  
15 GROVE STREET  
FRANKLIN, MA 02038  
MAP 289 LOT 001  
BOOK 22017 PAGE 116  
BOOK 22121 PAGE 548

**GROVE STREET TOWING AND TIRE SITE PLAN MODIFICATION AND SPECIAL PERMIT FRANKLIN, MASSACHUSETTS**

**SITE PLAN**

NO	DATE	DESCRIPTION	INITIALS
00	10/4/18	INITIAL SUBMITTAL	INIT
01	12/3/18	ADDED CERTIFICATE OF VOTE	DB



**Guerriere & Halnon, Inc.**  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST.  
FRANKLIN, MA. 02038 PH. (508) 528-3221  
www.gandhengineering.com  
SHEET 1 OF 2 F4184





TOWN OF FRANKLIN  
TOWN CLERK

2018 DEC -6 A 9 32

RECEIVED

December 5, 2018  
Teresa M. Burr, Town Clerk  
Town of Franklin  
355 East Central Street  
Franklin, MA 02038

**CERTIFICATE OF VOTE - (1) SPECIAL PERMIT/SITE PLAN MODIFICATION**  
Parking, Loading and Driveway Requirements  
79 Grove Street

**Applicant:** Patrick Weidman  
79 Grove Street  
Franklin, MA 02038

**Owner:** Weedy, LLC  
79 Grove Street  
Franklin, MA 02038

**Prepared By:**  
Surveyor/Engineer: Guerriere & Halnon, Inc., Franklin, MA

**Property Location:** 79 Grove Street  
Map 289 Lot 001

Dear Mrs. Burr:

Please be advised that at its meeting on Monday, December 3, 2018 the Planning Board upon motion duly made and seconded, voted (5-0-0) to APPROVE, WITH STANDARD (1) one Special Permit and Site Plan Modification for 79 Grove Street for §185-21.C.7.b - Parking, Loading and Driveway Requirements. A brief description of the proceeding, the outcome of a roll call vote, and the Standard and Special Conditions of Approval are presented on pages 2-8 attached hereto.

Sincerely,

Anthony Padula, Chairman  
Franklin Planning Board

cc: Owners/Applicant/Applicant's Engineer/Applicant's Attorney  
Building Commissioner/DPW/Engineering/BETA Group, Inc.

**PROJECT DESCRIPTION - (1) ONE SPECIAL PERMIT/SITE PLAN MODIFICATION**  
Parking, Loading and Driveway Requirements  
79 Grove Street

The existing site consists of 9,600 square foot building being utilized for auto repair/small truck repair with overnight storage for towed vehicles with a single point of ingress/egress. Currently, the tow trucks access the storage yard by backing in to the property off Grove Street and around the existing building to load and unload vehicles. The applicant is proposing another egress on site, to allow the tow truck to exit the property facing forward. The Special Permit is required as the two driveways are within 150 feet of one another.

**PUBLIC HEARING - (1) ONE SPECIAL PERMIT/SITE PLAN MODIFICATION**  
Parking, Loading and Driveway Requirements  
79 Grove Street

A proper and complete notice of the November 19, 2018 public hearings was posted in the Franklin Municipal Building and in the appropriate local newspaper in accordance with the Franklin Zoning Code and Massachusetts General Laws. A proper and complete notice was also sent to all persons and parties required by law to receive such notice.

Incorporated as part of the record are the following:  
The Planning Board reviewed (1) the applicant's detailed written application including answers to Special Permit Findings (a) through (d), and (2) comments and review letters from various Town Departments, including but not limited to, Department of Planning & Community Development, Department of Public Works/Engineering and Franklin Fire Department.

The Planning Board upon motion duly made and seconded, voted (5-0-0) to close the public hearing for the Site Plan Modification and Special Permit for Parking, Loading and Driveway Requirements at the November 17, 2018 Planning Board meeting.

**PRESENTATION - (1) ONE SPECIAL PERMIT/SITE PLAN MODIFICATION**  
Parking, Loading and Driveway Requirements  
79 Grove Street

Ms. Amanda Cavaliere, Guerriere & Halnon, Inc., and Mr. Patrick Weidman, property owner, addressed the Planning Board for a Special Permit and Site Plan Modification for Grove Street Towing & Tire. Ms. Cavaliere explained they are looking to add an additional access way to the lot less than 150 ft. from another opening. It is going to be used as an egress only for the tow trucks to safely enter the site and go completely around the building to exit in a forward motion as opposed to the current situation where they must back into the property. They are proposing to move the fence line. The access driveway is less than 600 sq. ft. long and will be paved and have vertical granite curbing at the roundings.

Ms. Love stated correspondence from the Fire Department stating they had no issues was received. It is not under Conservation jurisdiction. A Special permit is needed to add an egress within 150 ft. of another egress.

Chairman Padula discussed the original application in 2004 and asked the applicant how much of the building is being used for auto repair. Mr. Weidman indicated that 4,800 sq/ft was being used for auto repair and there were other tenants in the building.

Mr. Halligan confirmed it was an exit only and the gate would be manually closed after the truck passed. As there were no residents from Benjamin's Landing present at the meeting, he had no issue.

**STANDARD CONDITIONS OF APPROVAL**  
Parking, Loading and Driveway Requirements  
79 Grove Street

- This Special Permit shall not be construed to run with the land and shall run with the Site Plan as endorsed by the Planning Board. A new Special Permit shall be required from the Planning Board if any major change of use or substantial change to the site plan is proposed.
- This Special Permit shall lapse if a substantial use or construction has not begun, except for good cause, within twenty four (24) months of approval, unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the Special Permit have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #4.
- Construction or operations under this Special Permit shall conform to any subsequent amendment of the Town of Franklin Zoning Bylaw (§185) unless the use or construction is commenced within a period of six (6) months after the issuance of this Special Permit and, in cases involving construction, unless such construction is continued through to completion as continuously and expeditiously as is reasonable.
- The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
- Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form H). Said inspection is further outlined in condition #4.
- No alteration of the Special Permit and the plans associated with it shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.
- All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
- Prior to the endorsement of the site plan, the following shall be done:
  - The owner/applicant shall make a notation on the site plan that references the Special Permit and the conditions and dates of this Certificate of Vote.
  - A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
  - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.
  - The owner/applicant shall submit a minimum of six copies of the approved version of the plan.

After a complete presentation and discussion of the project, Planning Board members closed the Public Hearing on November 19, 2018.

**FINDINGS OF FACTS - (1) ONE SPECIAL PERMIT/SITE PLAN MODIFICATION**  
Parking, Loading and Driveway Requirements  
79 Grove Street

The applicant has provided the following findings in support of the application for a special permit:

(1) Special Permit: Section 185-21.C.7.b - Parking, Loading and Driveway Requirements.

(a) Proposed project addresses or is consistent with neighborhood or Town need.

The proposed project is located within the Industrial District and is consistent with the neighborhood.

(b) Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.

In an effort to address traffic flow, access and pedestrian safety, the Owner/Applicant is proposing to construct an exit less than 150' from centerline to centerline of an existing entrance/exit. Currently, the tow trucks are required to back in to the property off Grove Street and continue to back around the building to load and unload vehicles. The proposed exit will be for tow trucks only designated as one way. Public access to the proposed exit will be prohibited.

(c) Public roadways, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.

The proposed exit consists of less than 600 square feet of new impervious area and not anticipated to impact the existing infrastructure.

(d) Neighborhood character and social structure will not be negatively impacted.

Neighborhood character and social structure are not anticipated to be negatively impacted by the proposed exit.

(e) Project will not destroy or cause substantial damage to any environmentally-significant natural resource, habitat, or feature or, if it will, proposed mitigation, remediation, replication or compensatory measures are adequate.

The project is not anticipated to destroy or cause substantial damage to any environmentally significant natural resources, habitat, or feature.

(f) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.

No buildings or above ground structures are proposed.

(g) Water consumption and sewer use, taking into consideration current and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.

Not applicable

- Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.
- The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.

**SPECIAL CONDITIONS OF APPROVAL**  
(1) SPECIAL PERMIT/SITE PLAN MODIFICATION  
Parking, Loading and Driveway Requirements  
79 Grove Street

- Prior to endorsement, at the new access drive, the applicant will add the following signage to the plans:
  - "exit only"
  - "no public access"
- The applicant will provide vertical granite curbing up to the fence along the new driveway.

**DECISION - (1) ONE SPECIAL PERMIT/SITE PLAN MODIFICATION**  
Parking, Loading and Driveway Requirements  
79 Grove Street

(1) Special Permit: Section 185-21.C.7.b - Parking, Loading and Driveway Requirements.

(a) Proposed project addresses or is consistent with neighborhood or Town need.

Anthony Padula	YES	Gregory Rondeau	YES
Joseph Halligan Jr.	YES	John Carroll	YES
William David	YES		

(b) Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.

Anthony Padula	YES	Gregory Rondeau	YES
Joseph Halligan Jr.	YES	John Carroll	YES
William David	YES		

(c) Public roadways, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.

Anthony Padula	YES	Gregory Rondeau	YES
Joseph Halligan Jr.	YES	John Carroll	YES
William David	YES		

(d) Neighborhood character and social structure will not be negatively impacted.

Anthony Padula	YES	Gregory Rondeau	YES
Joseph Halligan Jr.	YES	John Carroll	YES
William David	YES		

(e) Project will not destroy or cause substantial damage to any environmentally-significant natural resource, habitat, or feature or, if it will, proposed mitigation, remediation, replication or compensatory measures are adequate.

Anthony Padula	YES	Gregory Rondeau	YES
Joseph Halligan Jr.	YES	John Carroll	YES
William David	YES		

(f) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.

Anthony Padula	YES	Gregory Rondeau	YES
Joseph Halligan Jr.	YES	John Carroll	YES
William David	YES		

(g) Water consumption and sewer use, taking into consideration current and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.

Anthony Padula	YES	Gregory Rondeau	YES
Joseph Halligan Jr.	YES	John Carroll	YES
William David	YES		



DATE: 11/19/18

APPROVED DATE: PLANNING BOARD

John Connors  
William David  
Gregory Rondeau

SIGNATURE DATE: 1/28/19  
BEING A MAJORITY

NOTES

- CONSTRUCTION ON THIS LOT IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.
- "WARNING" EXISTING UTILITY LINES INDICATED OR NOTED ON THESE DRAWINGS ARE SHOWN AS OBTAINED FROM EXISTING INFORMATION AND ARE ONLY APPROXIMATE IN LOCATION. THE CONTRACTOR SHALL TAKE CAUTION IN THESE AREAS TO AVOID DAMAGE TO EXISTING UTILITY LINES AND/OR HARM TO PERSONNEL ENGAGED IN WORKING IN THESE AREAS. CALL "DIG SAFE" 1-888-DIG-SAFE (1-888-344-7233). EXISTING LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE ON THE SITE. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY EXCAVATION WORK, AND TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.

**PURPOSE OF PLAN**

TO PROVIDE AN ACCESS AND EXIT FOR TOWING VEHICLES- ADDING 566 SF, OF PAVEMENT ON SITE

**OWNER/APPLICANT:**

WEEDY LLC.  
C/O  
PATRICK J. WEIDMAN,  
MANAGER

15 GROVE STREET  
FRANKLIN, MA 02038

MAP 289 LOT 001  
BOOK 22017 PAGE 116  
BOOK 22121 PAGE 548

**GROVE STREET  
TOWING AND TIRE  
SITE PLAN  
MODIFICATION AND  
SPECIAL PERMIT  
FRANKLIN,  
MASSACHUSETTS**

**SITE PLAN**

00	10/4/18	INITIAL SUBMITTAL	INIT
01	12/3/18	ADDED CERTIFICATE OF VOTE	DB

**Guerriere & Halnon, Inc.**  
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SITE PLAN OF LAND

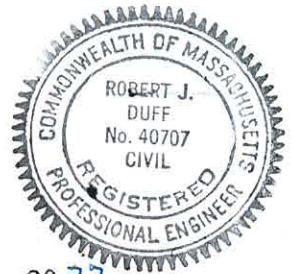
FORM H  
ENGINEER'S CERTIFICATE OF COMPLETION  
(to be executed by developer's engineer)

Site Plan known as "Grove Street Towing and Tire Site Plan Modification and Special Permit, Franklin, Massachusetts"

I hereby certify that all improvements required for the above referenced site plan have been completed in all respects in accordance with the Town of Franklin zoning requirements and the approved plans entitled \*\*\* prepared by Guerriere & Halnon, Inc. and dated Oct. 4, 2018, as approved by the said Planning Board on January 28, 2019 Last Revised December 3, 2018

\*\*\*"Grove Street Towing and Tire Site Plan Modification and Special Permit, Franklin, Massachusetts"

Signed this 1<sup>st</sup> day of March, 2022  
By Robert J. Duff Reg. C.E.

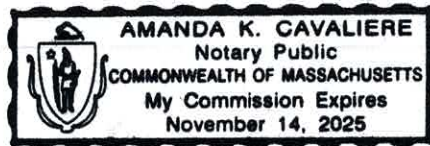


COMMONWEALTH OF MASSACHUSETTS

Norfolk, SS. March 1<sup>st</sup>, 2022

On this 1<sup>st</sup> day of March, 2022, before me, the undersigned notary public, personally appeared Robert Duff (name of engineer), proved to me through satisfactory evidence of identification, which were MA License to be the person whose name is signed on the preceding document in my presence.

Amanda K. Cavaliere  
(Official signature and seal of notary)  
Notary Public:  
My Commission Expires: Nov. 14, 2025





Date: March 10,2022 Job No.: 18.04831 Task 97  
To: Amy Love, Town Planner  
Cc:  
From: Gary D. James, P.E.  
**Subject: Glen Meadows Leasing Office**

---

This memo is in response to the submission of a Form H to present the results of BETA's review of the as built plan submitted by Grady Consulting, Inc. dated February 22, 2022, on behalf of the Schochet Companies. BETA also visited the site to determine the current condition of the site and report on differences between the plan as approved and the as built and report on the current conditions at the site.

A comparison of the as built plan versus the approved plan revealed:

- The chamber system as installed is different than the configuration as approved. The system as installed is 3 rows of 4 chambers. The approved design was 2 rows of 3 chambers.
- The sidewalk alignment as built is slightly different than the approved plan.
- The playground and dog walk area are not shown on the as built plan. Nor is the walkway connected with the playground or the dog walk.
- The proposed lighting in this area is not shown on the as built plan.
- The detention basin is not shown on the as built plan, nor is the 4" PVC connections from the downspouts.

Based upon the site visit this morning.

- The building is nearly complete except for gutters and downspouts.
- The line work for the parallel parking spaces has been installed
- The catch basin has been installed.
- The parking spaces have been installed in accordance with the plan as approved.
- The proposed detention basin for the roof runoff has been rough graded. Topsoil has been set in the basin area and stakes along the outer rim of the basin indicate that it has been shaped to the limits as shown on the plan.
- The topsoil stripped from the site has been stockpiled behind the basin. Equipment was on site spreading the topsoil across the site, however, most of the pile remained.
- The 4" PVC connections from the roof downspout leaders are in place and daylight at the easterly edge of the basin as shaped.
- The concrete sidewalk up to the building is in and a handrail system is located along each edge of the approach walkway.
- Little of the landscaping has been completed to date.



Gary D. James, Senior Project Manager

Date: February 03,2022

Page 2 of 2

---

Ref: Document2





# Town of Franklin

355 East Central Street  
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907  
www.franklinma.gov

## DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

### MEMORANDUM

**DATE:** March 8, 2022  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** 79 Grove St  
Final Form H

---

#### General

1. The Planning Board approved a Special Permit and Site Plan Modification at 79 Grove St on December 3, 2018 to add an additional egress to the site. The egress is not to be used for the public, only the employees and owner.
2. The applicant has submitted a Final Form H and Engineer's Certificate of Completion and a final as-built plan.
3. BETA has provided an onsite report of the Observation performed on March 10, 2022.
4. The Applicant has provided one field change to reduce the egress from 15ft to 14ft. Since this is a private driveway, DPCD does not see any concerns.



Date: March 10,2022 Job No.: 18.04831 Task 97  
To: Amy Love, Town Planner  
Cc:  
From: Gary D. James, P.E.  
**Subject: Glen Meadows Leasing Office**

---

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A comparison of the as built plan versus the approved plan revealed:

- The chamber system as installed is different than the configuration as approved. The system as installed is 3 rows of 4 chambers. The approved design was 2 rows of 3 chambers.
- The sidewalk alignment as built is slightly different than the approved plan.
- The playground and dog walk area are not shown on the as built plan. Nor is the walkway connected with the playground or the dog walk.
- The proposed lighting in this area is not shown on the as built plan.
- The detention basin is not shown on the as built plan, nor is the 4" PVC connections from the downspouts.

Based upon the site visit this morning.

- The building is nearly complete except for gutters and downspouts.
- The line work for the parallel parking spaces has been installed
- The catch basin has been installed.
- The parking spaces have been installed in accordance with the plan as approved.
- The proposed detention basin for the roof runoff has been rough graded. Topsoil has been set in the basin area and stakes along the outer rim of the basin indicate that it has been shaped to the limits as shown on the plan.
- The topsoil stripped from the site has been stockpiled behind the basin. Equipment was on site spreading the topsoil across the site, however, most of the pile remained.
- The 4" PVC connections from the roof downspout leaders are in place and daylight at the easterly edge of the basin as shaped.
- The concrete sidewalk up to the building is in and a handrail system is located along each edge of the approach walkway.
- Little of the landscaping has been completed to date.



Gary D. James, Senior Project Manager

Date: February 03,2022

Page 2 of 2

---

Ref: Document2





# Town of Franklin

355 East Central Street  
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907  
www.franklinma.gov

## DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

### MEMORANDUM

**DATE:** March 8, 2022  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** Glen Meadows Leasing Office  
Partial Final Form H

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#### General

1. The Planning Board approved a Limited Site Plan Modification at Glen Meadows leasing office on June 3, 2019.
2. The applicant has submitted a Partial Final Form H and Engineer's Certificate of Completion and a list of uncompleted.
3. BETA has provided an onsite report with description of the existing conditions.



**SITE PLAN OF LAND**

**FORM H- PART 1 of 2  
ENGINEER'S AND OWNER'S CERTIFICATE  
OF PARTIAL COMPLETION  
(to be executed by developer's engineer)**

Site plan known as Glen Meadow Road

**ENGINEERS CERTIFICATION:**

I hereby certify that the work/improvements shown on the above referenced site plan and performed or constructed to date have been completed in all respects in accordance with the Town of Franklin zoning requirements and the approved plans entitled: Site Plan, Glen Meadow Road prepared by Grady Consulting, L.L.C. and dated June 13, 2019, as approved by the said Planning Board on July 8, 2019.

Signed this 22 day of February, 2022

By Darren Grady, Reg. C.E.

**COMMONWEALTH OF MASSACHUSETTS**

Plymouth, ss.

On this 22 day of February, 2022, before me, the undersigned notary public, personally appeared Darren Grady, P.E. (name of engineer), proved to me through satisfactory evidence of identification, which were MADL to be the person whose name is signed on the preceding document and acknowledged to me that he/she signed it voluntarily for its stated purpose.



**MARIANNE O'NEILL**  
**Notary Public**  
Commonwealth of Massachusetts  
My Commission Expires  
**September 30, 2027**

Marianne O'Neill  
(Official signature and seal of notary)  
Notary Public:  
My Commission Expires: September 30, 2027



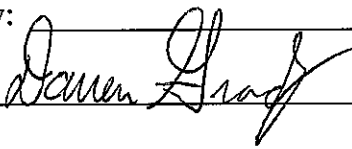
**Site Plan Work Completion List**

*(To accompany Form H- Engineer's and Owner's Certificate of Partial Completion)*

**Site Plan Name:** Glen Meadow Road Franklin, MA  
**Owner Name:** \_\_\_\_\_  
**Owner's Engineer:** \_\_\_\_\_  
**Date of Partial Certificate of Completion:** \_\_\_\_\_

<b><u>Outstanding Items:</u></b>	<b><u>Required Date of Completion:</u></b>
Handicap railings to be complete prior to 2/28 meeting	_____
Landscaping	_____
Rear patio	_____
	_____
	_____
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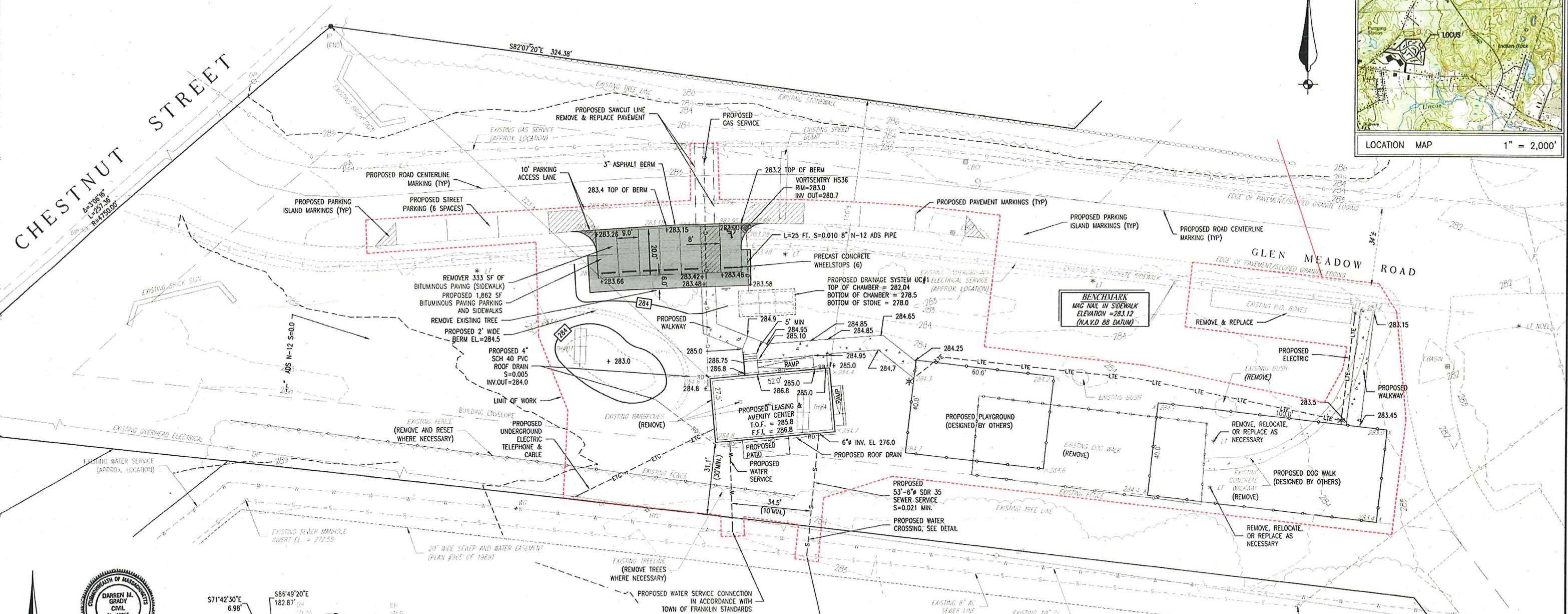
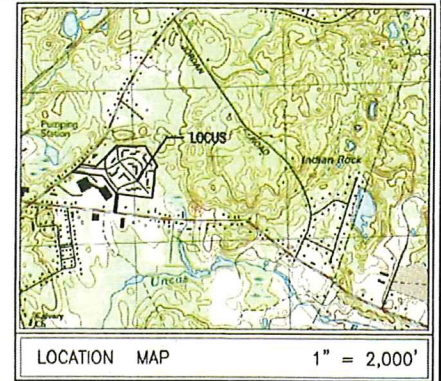
Approved by: \_\_\_\_\_, Town Engineer    Date: \_\_\_\_\_

Signed by: , Engineer    Date: 2/22/22

Signed by: \_\_\_\_\_, Owner    Date: \_\_\_\_\_

\* A Notarized Form H- Engineer's and Owner's Certificate of Partial Completion Part 1 and 2 must accompany this form prior to acceptance by the Planning Board.





**ZONING DATA**

DISTRICT: COMMERCIAL II  
 USE: APARTMENTS

**MINIMUM REQUIREMENTS**

	REQUIRED	PROPOSED CLUBHOUSE
LOT AREA (SF)	40,000 SF	1,181,059 SF
CONTINUOUS FRONTAGE	175 FT	257.39 FT
MINIMUM LOT DEPTH	200 FT	1769.1 FT
LOT WIDTH	157.5 FT	1,030.1 FT
FRONT SETBACK	40 FT	223 FT
SIDE SETBACK	30 FT	31.1 FT
REAR SETBACK	30 FT	- FT
MAX. BUILDING HEIGHT	40 FT	- FT
MAX. SITE COVERAGE	80%	40.5%

**EXISTING COVERAGE**

BUILDING COVERAGE - 148,357 S.F. (12.6%)  
 IMPERVIOUS COVERAGE (BUILDING AND PAVEMENT) - 475,432 S.F. (40.3%)

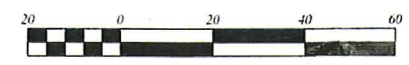
**PROPOSED**

BUILDING COVERAGE - 149,787 (12.7%)

PROPOSED SEWER SERVICE CONNECTION IN ACCORDANCE WITH TOWN OF FRANKLIN STANDARDS  
 DUCTILE IRON SEWER SADDLE  
 6" INV. EL. 272.97

**NOTES:**

- TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN ON THE GROUND SURVEY PERFORMED BY GRADY CONSULTING, L.L.C. ON JANUARY 25, 2019.
- ALL ELEVATIONS ARE BASED ON A BENCHMARK ESTABLISHED USING G.P.S. REFERENCE BASE SMARTNET NORTH AMERICA.
- NO WETLAND RESOURCE AREAS WERE OBSERVED DURING THIS SURVEY.
- EXISTING UTILITIES, WHERE SHOWN, HAVE BEEN COMPILED BASED ON OBSERVED ABOVE GROUND EVIDENCE ONLY AND ARE TO BE CONSIDERED APPROXIMATE. GRADY CONSULTING, L.L.C. DOES NOT GUARANTEE THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN OR THAT ALL EXISTING UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, AS DEPICTED ON COMMUNITY PANEL No. 250240 0309, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 2012, AND



Scale 1" = 20'

NOTE:  
 \*\*\* ACCESS ISLES SHALL BE LEVEL WITH SURFACES SLOPED NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS

**RECORD OWNER:**  
 ASSESSOR PARCEL # 280-079-000  
 GLEN MEADOW OWNER LLC  
 536 GRANITE ST, SUITE 301  
 BRAINTREE, MA 02184  
 BOOK 35149 PAGE 409

REVISIONS	
4/16/19	REVIEW COMMENTS
5/22/19	REVIEW COMMENTS AND DRAINAGE
	CALCULATIONS
6/13/19	CERTIFICATE OF VOTE

**PLAN REFERENCES:**  
 1. LOT A PLAN # 965 OF 1969

**CERTIFICATE OF VOTE**

SEE CERTIFICATE OF VOTE LIMITED SITE PLAN GLEN MEADOWS APARTMENTS LETTER FROM THE TOWN OF FRANKLIN PLANNING BOARD DATED JUNE 7, 2019 FOR ALL CONDITIONS PRIOR TO CONSTRUCTION.

DATE APPROVED: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**SITE PLAN**  
 ASSESSORS PARCEL # 280-079-000  
 GLEN MEADOW ROAD  
 FRANKLIN, MASSACHUSETTS

PREPARED FOR:  
 THE SCHOCHET COMPANIES  
 536 GRANITE STREET, SUITE 301  
 BRAINTREE, MA 02184

MARCH 26, 2019  
 SCALE: AS NOTED  
 JOB No. 19-018

GRADY CONSULTING, L.L.C.

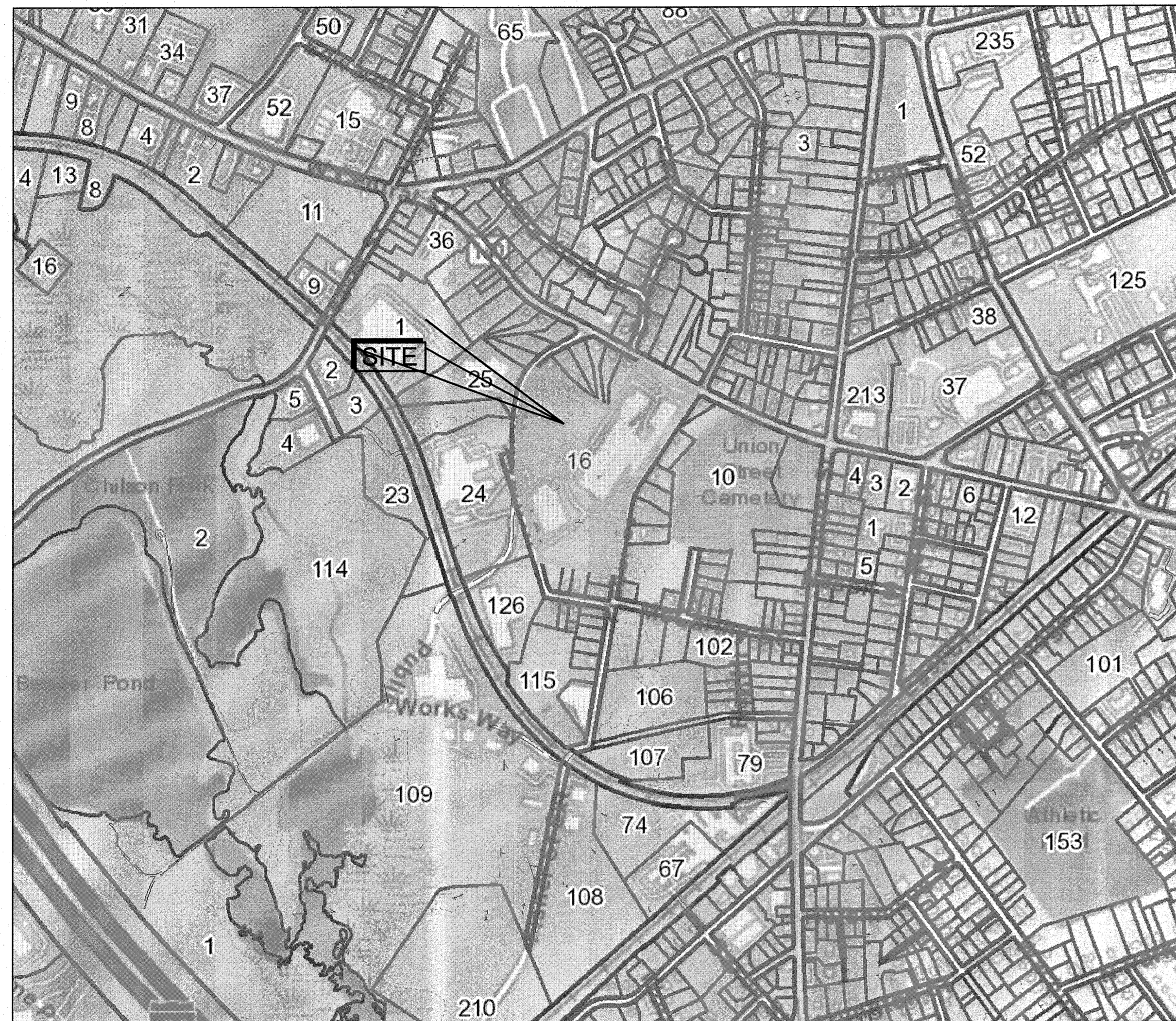


# FACTORY SQUARE PROPERTY REDEVELOPMENT 3, 5 & 7 FISHER STREET FRANKLIN, MASSACHUSETTS

APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD

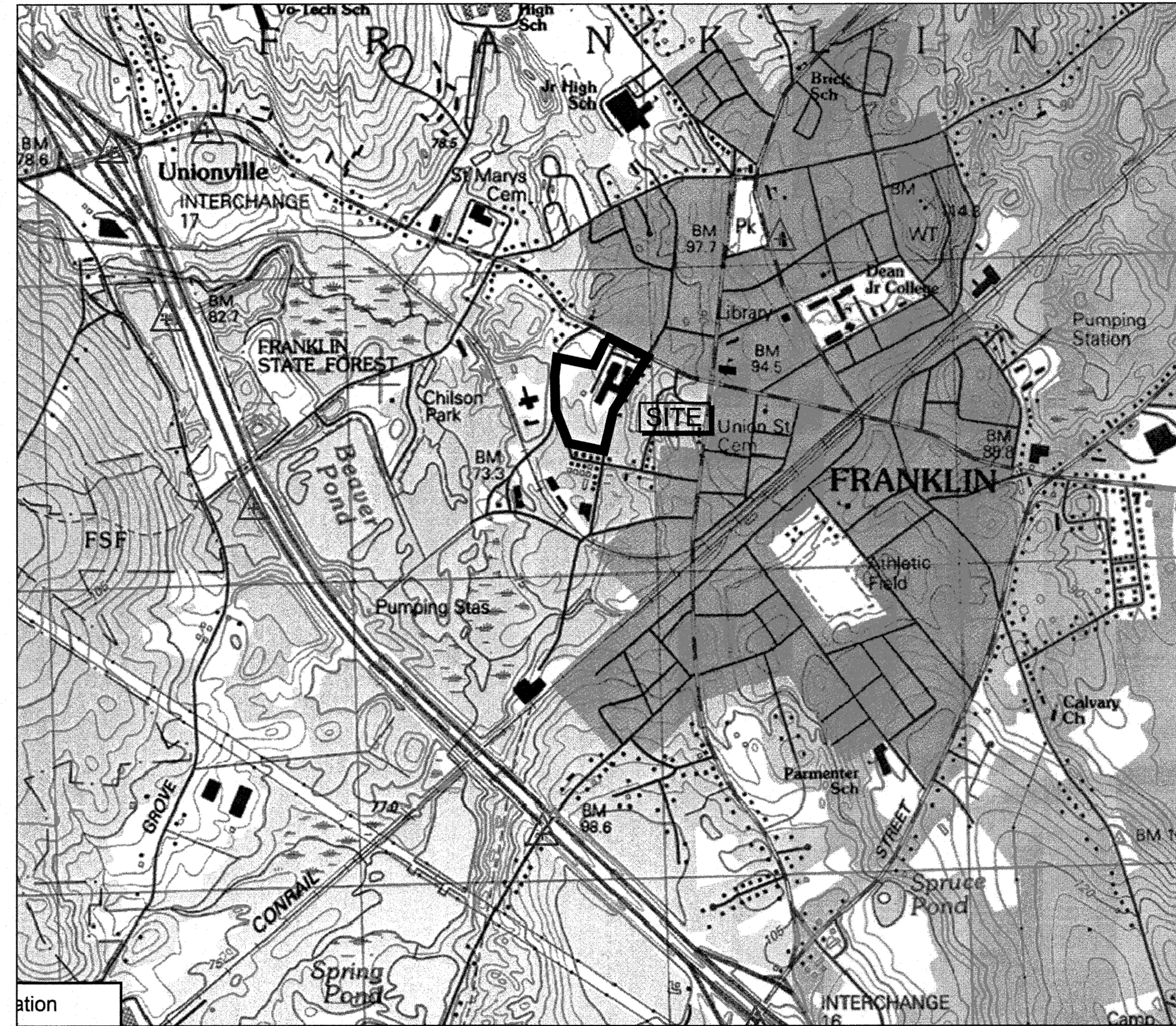
DATE: \_\_\_\_\_  
BEING A MAJORITY

NO	DATE	REVISIONS
1	07/01/2021	PERMITTING SUBMISSION
2	09/16/2021	RESPONSE TO COMMENTS
3	11/05/2021	RESPONSE TO COMMENTS
4	12/22/2021	ENDORSEMENT PLANS



**ASSESSORS MAP**

SCALE: 1" = 500' ±



**USGS MAP**

SCALE: 1" = 1,000' ±

**APPLICANT:**

**RICK KAPLAN**  
1 FISHER STREET  
FRANKLIN, MA 02038

**CIVIL ENGINEER:**

**LEVEL**  
DESIGN GROUP  
CIVIL ENGINEERING / LAND SURVEYING  
249 SOUTH STREET  
UNIT 1  
PLAINVILLE, MA 02762  
TEL: (508) 695-2221 FAX: (508) 695-2219

**ARCHITECT:**

**J t A**  
**JOE THE ARCHITECT**  
343 Medford Street, Suite 4C Somerville, MA 02145  
t: +1(617) 764-3593 e: askjoe@joethearchitect.com  
www.joethearchitect.com

**PROPERTY ADDRESS:**

3, 5 & 7 FISHER STREET  
FRANKLIN, MASSACHUSETTS

**ASSESSORS MAP/PARCEL:**

PARCEL ID: 278-016-000-000

**ZONING DISTRICT:**

MIXED BUSINESS INNOVATION

**DRAWING LIST:**

- C-0.0 COVER
- C-1.0 EXISTING CONDITIONS
- C-2.0 LAYOUT AND MATERIALS
- C-3.0 GRADING AND UTILITIES
- C-3.1 EROSION CONTROL
- C-4.0 TYPICAL DETAILS
- C-4.1 TYPICAL DETAILS
- C-4.2 TYPICAL DETAILS
- L100 LANDSCAPE PLAN
- C300 PHOTOMETRIC
- A-SERIES COVER
- A100 ILLUSTRATIVE SITE PLAN
- A210-213 BUILDING 3 ELEVATIONS
- A220-223 BUILDING 5 ELEVATIONS
- A230 BUILDING 7 ELEVATIONS
- A300 ARCHITECTURAL RENDERINGS
- G-001 ZONING & CODE ANALYSIS

**Town of Franklin**  
355 East Central Street  
Franklin, Massachusetts 02038-1235  
Phone: (508) 350-0207  
www.townoffranklin.gov

December 21, 2021

Mrs. Nancy Daniels, Town Clerk  
Town of Franklin  
355 East Central Street  
Franklin, MA 02038

**CERTIFICATE OF VOTE**  
Site Plan Modification  
3, 5, & 7 Fisher Street

Site Plan: "Factory Square Property Redevelopment - 3, 5, & 7 Fisher Street"

Owner: K Fisher Street LLC  
61 Milk Street, Suite 107  
Wentworth, MA 01581

Applicant: Rick Kaplan  
1 Fisher Street  
Franklin, MA 02038

Prepared By: Level Design Group, Plainville, MA  
Date: July 1, 2021  
Property Location: 3, 5, & 7 Fisher Street  
Map 278 Lot 016

Dear Mrs. Daniels:

Please be advised that at its meeting on Monday, December 20, 2021 the Planning Board voted (3-0-2), upon motion duly made and seconded to APPROVE, with Standard and Special Conditions, the above referenced Site Plan. The Conditions of Approval are listed on page 2-3, attached hereto. Both the Certificate of Vote as well as the conditions of approval shall be referenced on the site plan.

Sincerely,  
*Greg Robinson*  
Greg Robinson, Chairman  
Franklin Planning Board

cc: Owner/Applicant/Applicant's Engineer

**CERTIFICATE OF VOTE**  
Special Conditions  
Factory Square - 3, 5, & 7 Fisher Street

- The Planning Board will use outside consultant services to complete construction inspection upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
- Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form 40). Small inspections to be performed shall be made or affected other than by a unanimous decision of the Board at a duly posted meeting and upon the issuance of a written unanimous decision.
- No alteration of these plans shall be made or affected other than by a unanimous decision of the Board at a duly posted meeting and upon the issuance of a written unanimous decision.
- All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
- Prior to the endorsement of the site plan, the following shall be done:
  - The owner/applicant shall provide the entire list of conditions and this Certificate of Vote on the first page of the plan.
  - A notation shall be made on the plan that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
  - All outstanding invoices for services rendered by the Town's Engineer and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.
- All required improvements specified in this Certificate of Vote shall be constructed within a one-year period unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the approved plan have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #1.
- Prior to any work commencing on the subject property, the owner/applicant shall provide plans to install erosion control devices and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assignor shall be responsible for all cleanup of the roadway. All cleanup shall occur within twenty-four (24) hours after first notice notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in impoundment of construction of the site until such public way is clear of debris.
- The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.
- Maintenance and repair of the parking area, water supply system, sewer pipes, electric distribution system, and sewerage system shall be the responsibility of the owner/applicant and shall never be the responsibility of the Town and the Town shall never be required to perform any service, repair or maintenance with respect to said items, or any of the aforementioned systems within the subject

property. The Town will never be required to provide snow plowing or trash pickup, with respect to the subject property.

**CERTIFICATE OF VOTE**  
Special Conditions  
Factory Square - 3, 5, & 7 Fisher Street

- Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant, and his contractor(s), the Department of Public Works and the Planning Board's Observation Contractor.
- BETA's letter dated December 2, 2021.
- The Curbing plan submitted to the Planning Board should be included prior to endorsement. The Plan should include the color code details.
- Applicant to submit a Limited Site Plan after 50% occupancy and provide parking calculations.

**BETA**  
ANALYTICAL CONSULTANTS

**MEMORANDUM**

Date: December 2, 2021  
Job No.: 4830

To: Mr. Gregory Rondese, Chairman

Cc: Amy Love, Town Planner

From: Matt Crowley, PE

Subject: 3 Fisher Street Peer Review

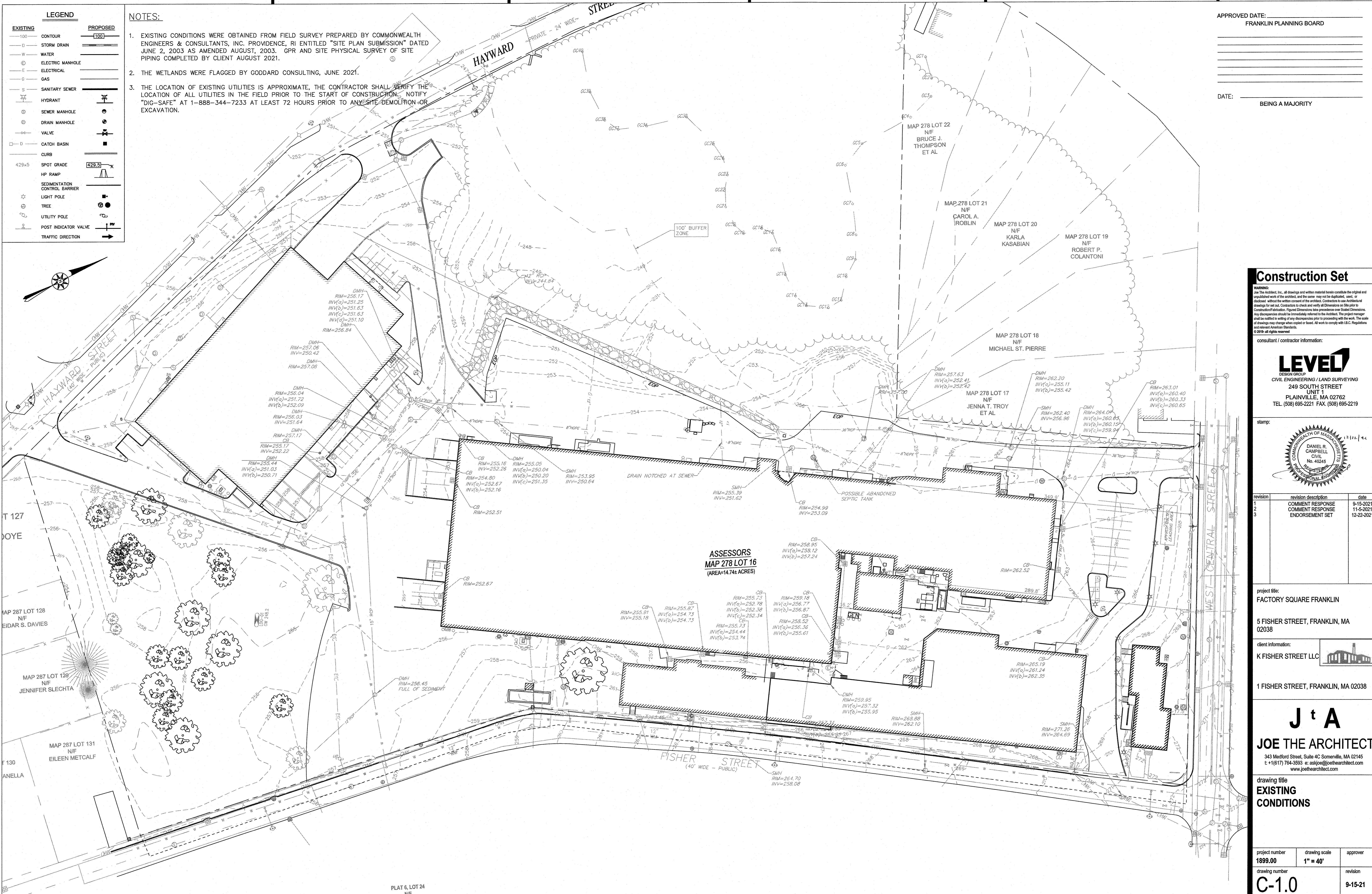
Dear Mr. Rondese:

BETA recently met in the field with the Engineer of Record, Dan Campbell, PE, and Town Engineer, Mike Maglio, PE, to discuss potential stormwater mitigation options for the proposed redevelopment of the driveway area on the northwest side of the site. With the understanding that the existing topography limits treatment options, the parties agreed that additional stormwater mitigation could be provided using sediment basins and water quality swales. A revised Grading and Utilities Plan and Typical Details, revised date November 11, 2021, were provided and are consistent in concept with field discussions. BETA notes that the proposal will require flows from the area to discharge via sheet flow (i.e. on curbs) however, will provide stormwater treatment where none exists today. With the assumption that the Board is satisfied with other discussion items noted in BETA's most recent review letter, dated November 12, 2021, BETA recommends the following conditions of approval:

- Typical details and/or sections, specific to the subject site, shall be developed for the proposed water quality swales, pretreatment forebay, check dams, rip rap, and underdrains and included on the plans prior to endorsement.
- Engineered retaining wall details stamped by a Massachusetts Registered Professional Engineer or Structural Engineer, as required, shall be provided prior to construction.
- Details in full compliance with all applicable ADA and MAAB regulations shall be provided on the plans for all accessible ramp types (e.g. upon, parallel, etc.) prior to endorsement.
- Accessible parking spaces and routes shall be provided throughout the development in full compliance with all applicable ADA and MAAB regulations based upon final building access points. Proposed accessible spaces and routes shall be depicted on a plan and submitted to the Board for approval prior to their construction.
- The Applicant shall coordinate with the DPW to determine proposed uses that will require the installation of green trash.
- All easements for town sewer and drainage shall be in place to the satisfaction of the DPW prior to the issuance of a certificate of occupancy.
- The plans shall be revised to provide a detail or clarification for how the proposed subsurface infiltration system will be incorporated into the system or downstream drainage manhole.
- A comprehensive Stormwater Management Report, including all revised and supplementary information, as well as Watershed Plans incorporating the information requested in BETA's November 12, 2021 letter in comment SW6, shall be provided for the record.
- The Engineer of Record shall provide calculations to demonstrate that the water quality unit proposed on the existing 24" drain line is adequately sized for the contributing impervious area.
- The Applicant shall coordinate with the shaker at 255 West Central Street to provide screening in accordance with the requirements of Section 82S-35, either on the owner's site or abutter's property.

BETA GROUP, INC.  
www.betagroup.com





- LEGEND**
- | EXISTING                      | PROPOSED                      |
|-------------------------------|-------------------------------|
| 100                           | 100                           |
| CONTOUR                       | CONTOUR                       |
| STORM DRAIN                   | STORM DRAIN                   |
| WATER                         | WATER                         |
| ELECTRIC MANHOLE              | ELECTRIC MANHOLE              |
| ELECTRICAL                    | ELECTRICAL                    |
| GAS                           | GAS                           |
| SANITARY SEWER                | SANITARY SEWER                |
| HYDRANT                       | HYDRANT                       |
| SEWER MANHOLE                 | SEWER MANHOLE                 |
| DRAIN MANHOLE                 | DRAIN MANHOLE                 |
| VALVE                         | VALVE                         |
| CATCH BASIN                   | CATCH BASIN                   |
| CURB                          | CURB                          |
| SPOT GRADE                    | SPOT GRADE                    |
| HP RAMP                       | HP RAMP                       |
| SEDIMENTATION CONTROL BARRIER | SEDIMENTATION CONTROL BARRIER |
| LIGHT POLE                    | LIGHT POLE                    |
| TREE                          | TREE                          |
| UTILITY POLE                  | UTILITY POLE                  |
| POST INDICATOR VALVE          | POST INDICATOR VALVE          |
| TRAFFIC DIRECTION             | TRAFFIC DIRECTION             |
- NOTES:**
- EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. PROVIDENCE, RI ENTITLED "SITE PLAN SUBMISSION" DATED JUNE 2, 2003 AS AMENDED AUGUST, 2003. GPR AND SITE PHYSICAL SURVEY OF SITE PIPING COMPLETED BY CLIENT AUGUST 2021.
  - THE WETLANDS WERE FLAGGED BY GODDARD CONSULTING, JUNE 2021.
  - THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.

APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD

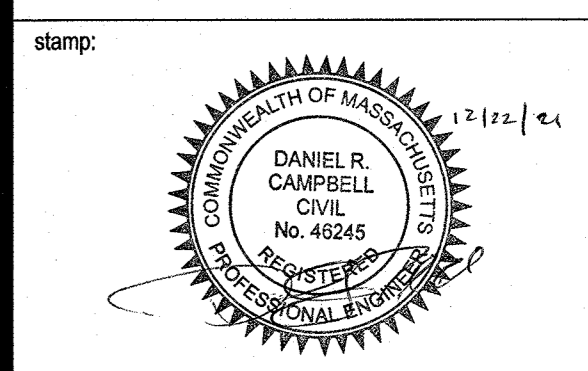
DATE: \_\_\_\_\_  
BEING A MAJORITY

**Construction Set**

WARNING: Joe The Architect, Inc., all drawings and written material herein constitute the original and unaltered work of the architect, and the same may not be duplicated, used, or disclosed without the written consent of the architect. Contractors to use Architectural drawings for set out. Contractors to check and verify all dimensions on site prior to construction of structures. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. The project manager shall be notified in writing of any discrepancies prior to proceeding with the work. The scale of drawings may change when copied or used. All work to comply with I.B.C. Regulations and relevant American Standards. © 2019. All rights reserved.

consultant / contractor information:

**LEVEL**  
DESIGN GROUP  
CIVIL ENGINEERING / LAND SURVEYING  
249 SOUTH STREET  
UNIT 1  
PLAINVILLE, MA 02762  
TEL (508) 695-2221 FAX (508) 695-2219



revision	revision description	date
1	COMMENT RESPONSE	9-15-2021
2	COMMENT RESPONSE	11-5-2021
3	ENDORSEMENT SET	12-22-2021

project title:  
**FACTORY SQUARE FRANKLIN**

5 FISHER STREET, FRANKLIN, MA 02038

client information:  
**K FISHER STREET LLC**

1 FISHER STREET, FRANKLIN, MA 02038

**J t A**  
**JOE THE ARCHITECT**  
343 Medford Street, Suite 4C Somerville, MA 02145  
t: (617) 764-3550 e: jta@joethearchitect.com  
www.joethearchitect.com

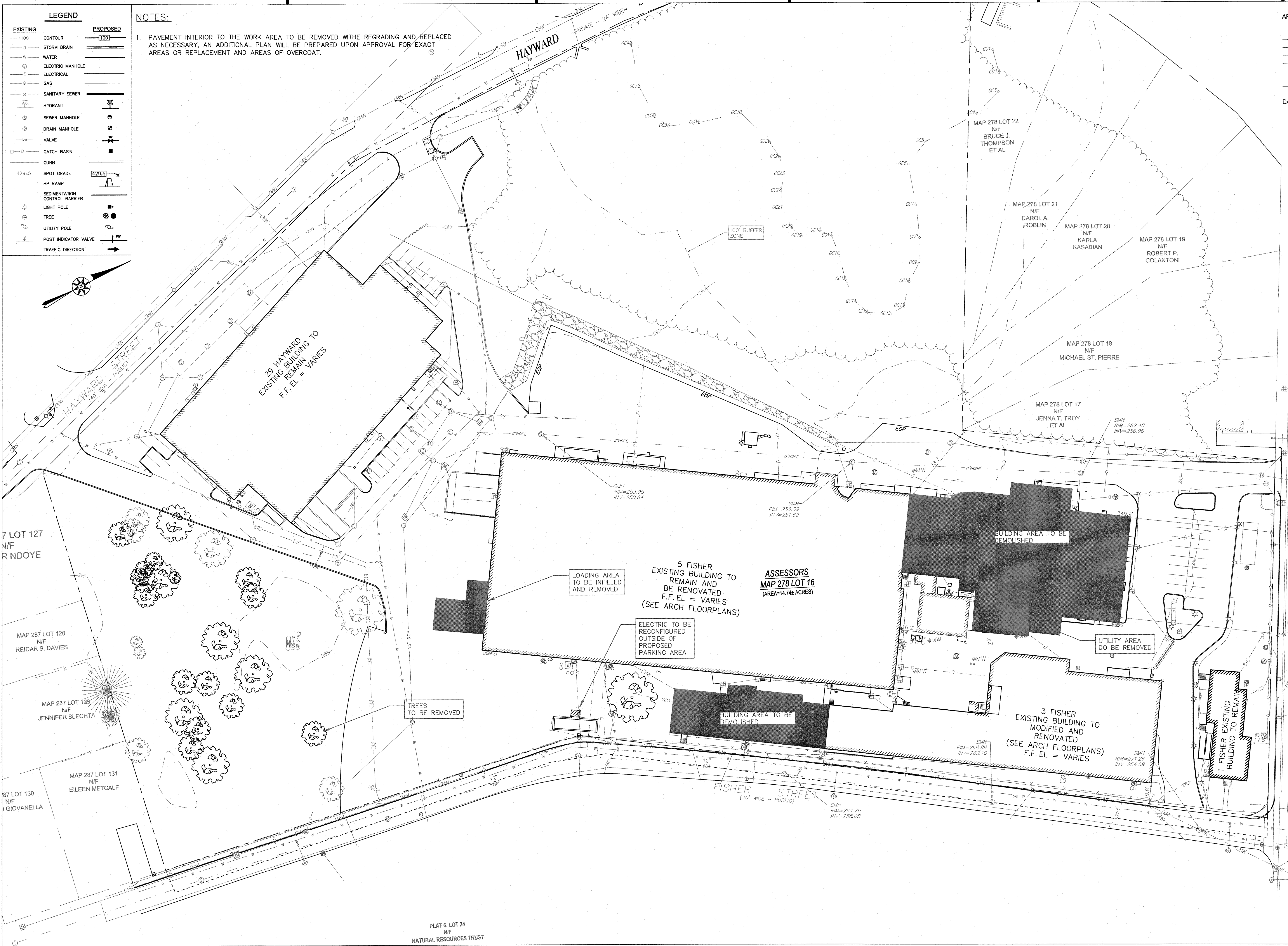
drawing title	drawing scale	approver
<b>EXISTING CONDITIONS</b>	<b>1" = 40'</b>	
project number <b>1899.00</b>	drawing number <b>C-1.0</b>	revision <b>9-15-21</b>



LEGEND	
EXISTING	PROPOSED
100	100
D	100
W	
E	
G	
S	
H	
SMH	
DMH	
V	
C	
CURB	
429.5	429.5
HP RAMP	
SEDIMENTATION CONTROL BARRIER	
LIGHT POLE	
TREE	
UTILITY POLE	
POST INDICATOR VALVE	
TRAFFIC DIRECTION	

**NOTES:**

1. PAVEMENT INTERIOR TO THE WORK AREA TO BE REMOVED WITH REGRADING AND REPLACED AS NECESSARY, AN ADDITIONAL PLAN WILL BE PREPARED UPON APPROVAL FOR EXACT AREAS OR REPLACEMENT AND AREAS OF OVERCOAT.



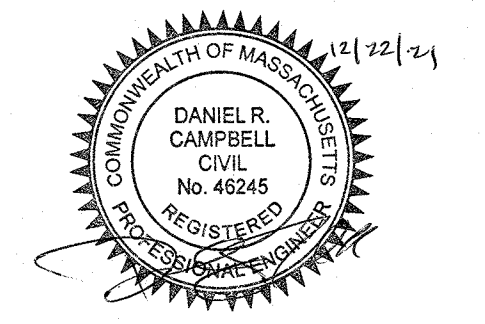
APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_  
BEING A MAJORITY

**Construction Set**

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consultant / contractor information:

**LEVEL**  
DESIGN GROUP  
CIVIL ENGINEERING / LAND SURVEYING  
249 SOUTH STREET  
UNIT 1  
PLAINVILLE, MA 02762  
TEL. (508) 695-2221 FAX. (508) 695-2219



revision	revision description	date
1	COMMENT RESPONSE	9-15-2021
2	COMMENT RESPONSE	11-5-2021
3	ENDORSEMENT SET	12-22-2021

project title:  
**FACTORY SQUARE FRANKLIN**

5 FISHER STREET, FRANKLIN, MA 02038

client information:  
**K FISHER STREET LLC**

1 FISHER STREET, FRANKLIN, MA 02038

**J t A**  
**JOE THE ARCHITECT**  
343 Medford Street, Suite 4C Somerville, MA 02145  
t: (617) 764-3593 e: askjoe@joethearchitect.com  
www.joethearchitect.com

project number	drawing scale	approver
1899.00	1" = 40'	
drawing number		revision
C-1.1		











LEGEND	
EXISTING	PROPOSED
100' CONTOUR	100'
STORM DRAIN	---
WATER	---
ELECTRIC MANHOLE	⊙
ELECTRICAL	—
GAS	—
SANITARY SEWER	—
HYDRANT	⊙
SEWER MANHOLE	⊙
DRAIN MANHOLE	⊙
VALVE	⊙
CATCH BASIN	⊙
CURB	---
SPOT GRADE	429.5
HP RAMP	---
SEDIMENTATION CONTROL BARRIER	---
LIGHT POLE	⊙
TREE	⊙
UTILITY POLE	⊙
POST INDICATOR VALVE	⊙
TRAFFIC DIRECTION	→

**EROSION CONTROL NOTES**

**SILTATION CONTROL USING EROSION CONTROL FENCE WITH STRAW WATTLE, OR APPROVED EQUAL**  
 EROSION CONTROL LINE IS TO BE VISUALLY INSPECTED AFTER EVERY RAIN FALL AND REPAIRS MADE AS REQUIRED TO THE SILTATION CONTROL FENCE AND STRAW WATTLE AFTER EACH RAIN FALL. CLEANOUT OF ACCUMULATED SEDIMENT BEHIND THE WATTLE IS NECESSARY IF 1/2 OF THE ORIGINAL HEIGHT OF THE WATTLE APPEARS TO HAVE BEEN INUNDATED WITH SEDIMENT.

**PRESERVE TOPSOIL**

SITE OWNERS AND OPERATORS MUST PRESERVE EXISTING TOPSOIL ON THE CONSTRUCTION SITE TO THE MAXIMUM EXTENT FEASIBLE AND AS NECESSARY TO SUPPORT HEALTHY VEGETATION, PROMOTE SOIL STABILIZATION, AND INCREASE STORMWATER INFILTRATION RATES IN THE POST-CONSTRUCTION PHASE OF THE PROJECT.

**STABILIZATION OF SOILS**

UPON COMPLETION AND ACCEPTANCE OF SITE PREPARATION AND INITIAL INSTALLATION OF EROSION, RUNOFF, AND SEDIMENT CONTROLS AND TEMPORARY POLLUTION PREVENTION MEASURES, THE OPERATOR SHALL INITIATE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION PRACTICES DURING ALL PHASES OF CONSTRUCTION ON ALL DISTURBED AREAS AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY OR PERMANENTLY CEASED. SLOPES IN EXCESS OF 3:1 SHALL HAVE 22 MONTH EROSION CONTROL FABRIC INSTALLED OVER A SLOPE MIX SEED MIX WITH TACKIFIER UNLESS OTHERWISE SPECIFIED.

ANY DISTURBED AREAS THAT WILL NOT HAVE ACTIVE CONSTRUCTION ACTIVITY OCCURRING WITHIN 14 DAYS MUST BE STABILIZED USING THE CONTROL MEASURES DEPICTED IN SITE PLANS, IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN, AND PER MANUFACTURER PRODUCT SPECIFICATIONS.

ONLY AREAS THAT CAN BE REASONABLY EXPECTED TO HAVE ACTIVE CONSTRUCTION WORK BEING PERFORMED WITHIN 14 DAYS OF DISTURBANCE WILL BE CLEARED/GRUBBED AT ANY ONE TIME. IT IS NOT ACCEPTABLE TO CLEAR AND GRUB THE ENTIRE CONSTRUCTION SITE IF PORTIONS WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME. PROPER PHASING OF CLEARING AND GRUBBING ACTIVITIES SHALL INCLUDE TEMPORARY STABILIZATION TECHNIQUES FOR AREAS CLEARED AND GRUBBED THAT WILL NOT BE ACTIVE WITHIN THE 14-DAY TIME FRAME.

**STORMWATER INLET PROTECTION**

**INLET PROTECTION** - WILL BE UTILIZED TO PREVENT SOIL AND DEBRIS FROM ENTERING STORM DRAIN INLETS AND SHALL BE INSTALLED WITHIN BASINS DOWNSTREAM OF DISTURBANCE WITHIN 200' OF THE PROPOSED DISTURBANCE. THESE MEASURES ARE USUALLY TEMPORARY AND ARE IMPLEMENTED BEFORE A SITE IS DISTURBED.

**MAINTENANCE** - THE OPERATOR MUST CLEAN, OR REMOVE AND REPLACE THE INLET PROTECTION MEASURES AS SEDIMENT ACCUMULATES, THE FILTER BECOMES CLOGGED, AND/OR AS PERFORMANCE IS COMPROMISED. ACCUMULATED SEDIMENT ADJACENT TO THE INLET PROTECTION MEASURES SHOULD BE REMOVED BY THE END OF THE SAME WORK DAY IN WHICH IT IS FOUND OR BY THE END OF THE FOLLOWING WORK DAY IF REMOVAL BY THE SAME WORK DAY IS NOT FEASIBLE.

**STORMWATER BASINS** - ALL AREAS CONTAINING STORMWATER BASINS (ABOVE OR BELOW GROUND) SHALL BE PROTECTED THROUGHOUT CONSTRUCTION. THESE AREAS ARE NOT TO BE USED FOR MATERIAL STOCKPILES OR FOR PARKING EQUIPMENT. SURFACE BASINS ARE TO BE ROUGH GRADED AND PROTECTED UNTIL STABILIZED AND BROUGHT ON-LINE FOR STORMWATER MANAGEMENT OF THE STABILIZED SITE.

**CONSTRUCTION ENTRANCES**

A STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT WHICH TIME THE EXISTING PAVEMENT IS REMOVED. THE STONE ENTRANCE IS NOT NECESSARY UNTIL SUCH TIME AS THE PAVEMENT IS REMOVED. THE ENTRANCE SHALL BE ESTABLISHED AT **ONE MAIN POINT OF ENTRY** AT THAT TIME.

CONSTRUCTION ENTRANCES SHALL BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF SEDIMENT TRACKING OFF THE PROJECT. ANY CONSTRUCTION SITE ACCESS POINT MUST EMPLOY THE CONTROL MEASURES ON THE APPROVED SITE PLANS AND IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN. CONSTRUCTION ENTRANCES SHALL BE USED IN CONJUNCTION WITH THE STABILIZATION OF CONSTRUCTION ROADS TO REDUCE THE AMOUNT OF MUD PICKED UP BY CONSTRUCTION VEHICLES. ALL CONSTRUCTION ACCESS ROADS SHALL BE CONSTRUCTED PRIOR TO ANY ROADWAY ACCEPTING CONSTRUCTION TRAFFIC.

THE SITE OWNER AND OPERATOR MUST RESTRICT VEHICLE USE TO PROPERLY DESIGNATED EXIT POINTS, USE PROPERLY DESIGNED AND CONSTRUCTED CONSTRUCTION ENTRANCES AT ALL POINTS THAT EXIT ONTO PAVED ROADS SO THAT SEDIMENT REMOVAL OCCURS PRIOR TO VEHICLE EXIT. WHEN AND WHERE NECESSARY, USE ADDITIONAL CONTROLS TO REMOVE SEDIMENT FROM VEHICLE TIRES PRIOR TO EXIT (I.E. WHEEL WASHING RACKS, RUMBLE STRIPS, AND RATTLE PLATES). WHERE SEDIMENT HAS BEEN TRACKED OUT FROM THE CONSTRUCTION SITE ONTO THE SURFACE OF OFF-SITE STREETS, OTHER PAVED AREAS, AND SIDEWALKS, THE DEPOSITED SEDIMENT MUST BE REMOVED BY THE END OF THE SAME WORK DAY IN WHICH THE TRACK OUT OCCURS. TRACK-OUT MUST BE REMOVED BY SWEEPING, SHOVELING, OR VACUUMING THESE SURFACES, OR BY USING OTHER SIMILARLY EFFECTIVE MEANS OF SEDIMENT REMOVAL.

**STOCKPILE CONTAINMENT**

SHALL BE USED ONSITE TO MINIMIZE OR ELIMINATE THE DISCHARGE OF SOIL, TOPSOIL, BASE MATERIAL OR RUBBLE, FROM ENTERING DRAINAGE SYSTEMS OR SURFACE WATERS. ALL STOCKPILES MUST BE LOCATED WITHIN THE LIMIT OF DISTURBANCE, PROTECTED FROM RUN-ON WITH THE USE OF TEMPORARY SEDIMENT BARRIERS AND PROVIDED WITH COVER OR STABILIZATION TO AVOID CONTACT WITH PRECIPITATION AND WIND WHERE AND WHEN PRACTICAL. STOCK PILE MANAGEMENT CONSISTS OF PROCEDURES AND PRACTICES DESIGNED TO MINIMIZE OR ELIMINATE THE DISCHARGE OF STOCKPILED MATERIAL (SOIL, TOPSOIL, BASE MATERIAL, RUBBLE) FROM ENTERING DRAINAGE SYSTEMS OR SURFACE WATERS.

FOR ANY STOCKPILES OR LAND CLEARING DEBRIS COMPOSED, IN WHOLE OR IN PART, OF SEDIMENT OR SOIL, YOU MUST COMPLY WITH THE FOLLOWING REQUIREMENTS - LOCATE PILES WITHIN THE DESIGNATED LIMITS OF DISTURBANCE OUTSIDE OF THE 100-FOOT BUFFER ZONE, PROTECT FROM CONTACT WITH STORMWATER (INCLUDING RUN-ON) USING A TEMPORARY PERIMETER SEDIMENT BARRIER; WHERE PRACTICABLE, PROVIDE COVER OR APPROPRIATE TEMPORARY VEGETATIVE OR STRUCTURAL STABILIZATION TO AVOID DIRECT CONTACT WITH PRECIPITATION OR TO MINIMIZE SEDIMENT DISCHARGE; NEVER HOSE DOWN OR SWEEP SOIL OR SEDIMENT ACCUMULATED ON PAVEMENT OR OTHER IMPERVIOUS SURFACES INTO ANY STORMWATER CONVEYANCE, STORM DRAIN INLET, OR SURFACE WATER; TO THE MAXIMUM EXTENT PRACTICABLE, CONTAIN AND SECURELY PROTECT FROM WIND.

**TEMPORARY SEDIMENT BASINS**

IF REQUIRED, ADDITIONAL TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED TO MITIGATE THE POTENTIAL SEDIMENT LOADING TO THE ADJACENT RESOURCE AREAS. TEMPORARY SEDIMENT BASINS ARE TO BE LOCATED OUTSIDE OF THE 50-FOOT BUFFER ZONE TO THE BORDERING VEGETATED WETLANDS AND SHALL NOT BE LOCATED IN AN AREA WHERE AN INFILTRATION BASIN IS PROPOSED. TEMPORARY SEDIMENT BASIN GRADING LOCATION SHALL BE DICTATED BY THE DESIGN ENGINEER. AT A MINIMUM THE VOLUME OF THE TEMPORARY SEDIMENT BASIN, AS MEASURED FROM THE BOTTOM OF THE BASE TO THE ELEVATION OF THE CREST OF THE PRINCIPAL SPILLWAY SHALL BE AT LEAST 3,600 CUBIC FEET PER ACRE OF DRAINAGE AREA. THIS 3,600 CUBIC FEET IS EQUIVALENT TO 1.0 INCH OF SEDIMENT PER ACRE OF DRAINAGE AREA. ADDITIONAL STORAGE IN THE FORM OF A PERMANENT WET POOL SHALL BE PROVIDED WHENEVER PRACTICABLE, BUT MAY NOT BE USED TO FULFILL THE TEMPORARY STORAGE VOLUME REQUIREMENT.

SEDIMENT BASINS SHALL BE CLEANED OUT WHEN THE VOLUME REMAINING AS DESCRIBED ABOVE IS REDUCED BY SEDIMENTATION TO 1,800 CUBIC FEET PER ACRE OF DRAINAGE AREA (50 PERCENT FULL). IN NO CASE SHALL THE SEDIMENT LEVEL BE PERMITTED TO BUILD UP HIGHER THAN ONE FOOT BELOW THE PRINCIPAL SPILLWAY CREST. AT THIS ELEVATION, CLEANOUT SHALL BE PERFORMED TO RESTORE THE ORIGINAL DESIGN VOLUME TO THE SEDIMENT BASIN. THE ELEVATION OF THE MAXIMUM ALLOWABLE SEDIMENT LEVEL SHALL BE DETERMINED AND SHALL BE STATED IN THE DESIGN DATA AS A DISTANCE BELOW THE TOP OF THE RISER AND BE CLEARLY MARKED ON THE RISER. **NO AREA OF DETENTION SHALL BE UTILIZED FOR TEMPORARY EROSION CONTROL OR DEWATERING ACTIVITIES.**

APPROVED DATE: \_\_\_\_\_  
 FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_  
 BEING A MAJORITY

**NOTES:**

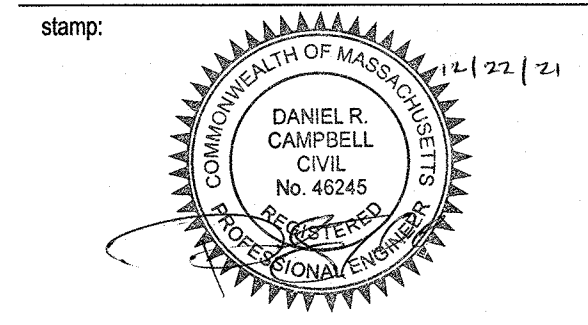
- EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. PROVIDENCE, RI ENTITLED "SITE PLAN SUBMISSION" DATED JUNE 2, 2003 AS AMENDED AUGUST, 2003.
- THE WETLANDS WERE FLAGGED BY GODDARD CONSULTING, JUNE 2021.
- THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.

**Construction Set**

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revision	revision description	date
1	COMMENT RESPONSE	9-15-2021
2	COMMENT RESPONSE	11-5-2021
3	ENDORSEMENT SET	12-22-2021

project title:  
 FACTORY SQUARE FRANKLIN

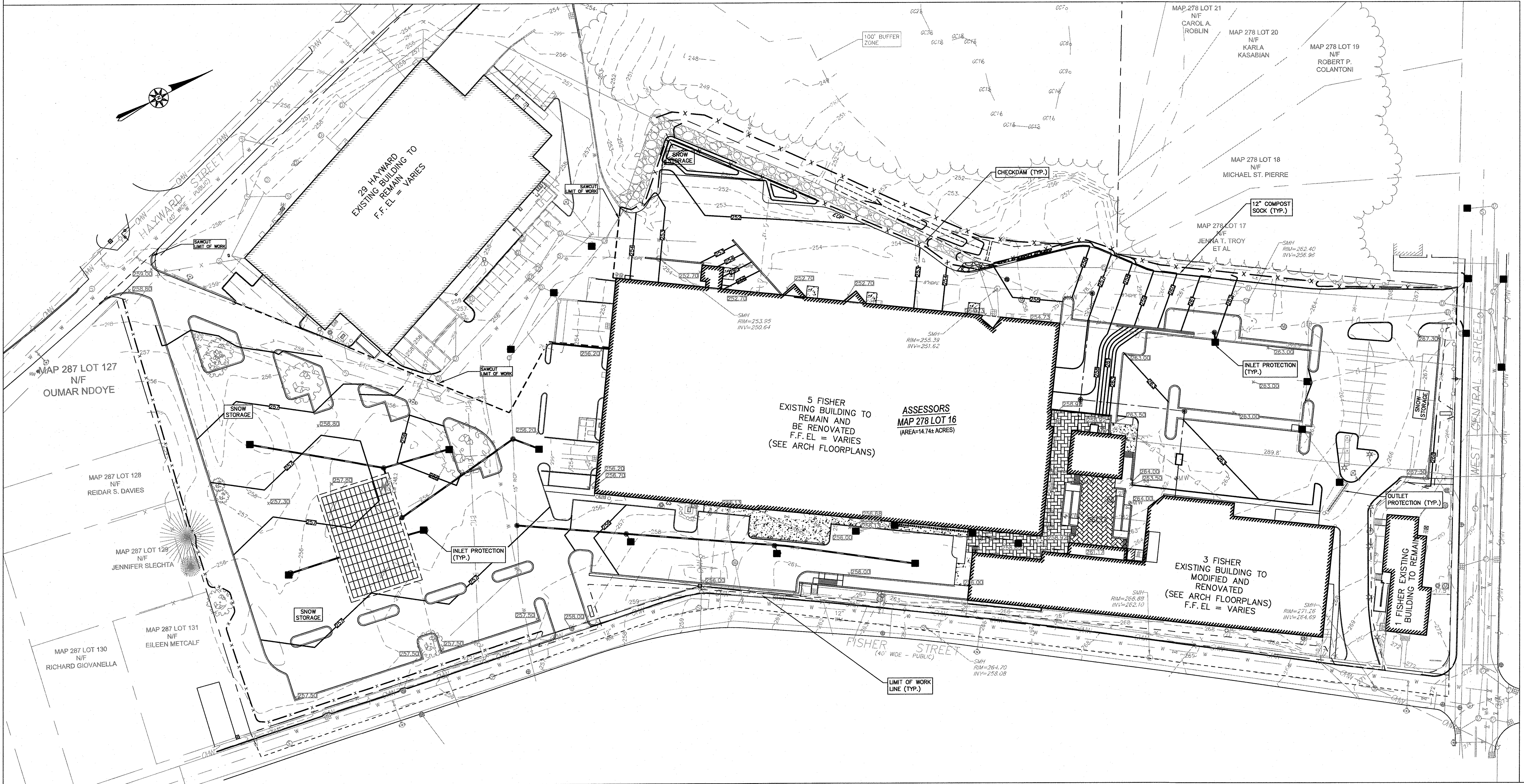
client information:  
 K FISHER STREET LLC

1 FISHER STREET, FRANKLIN, MA 02038

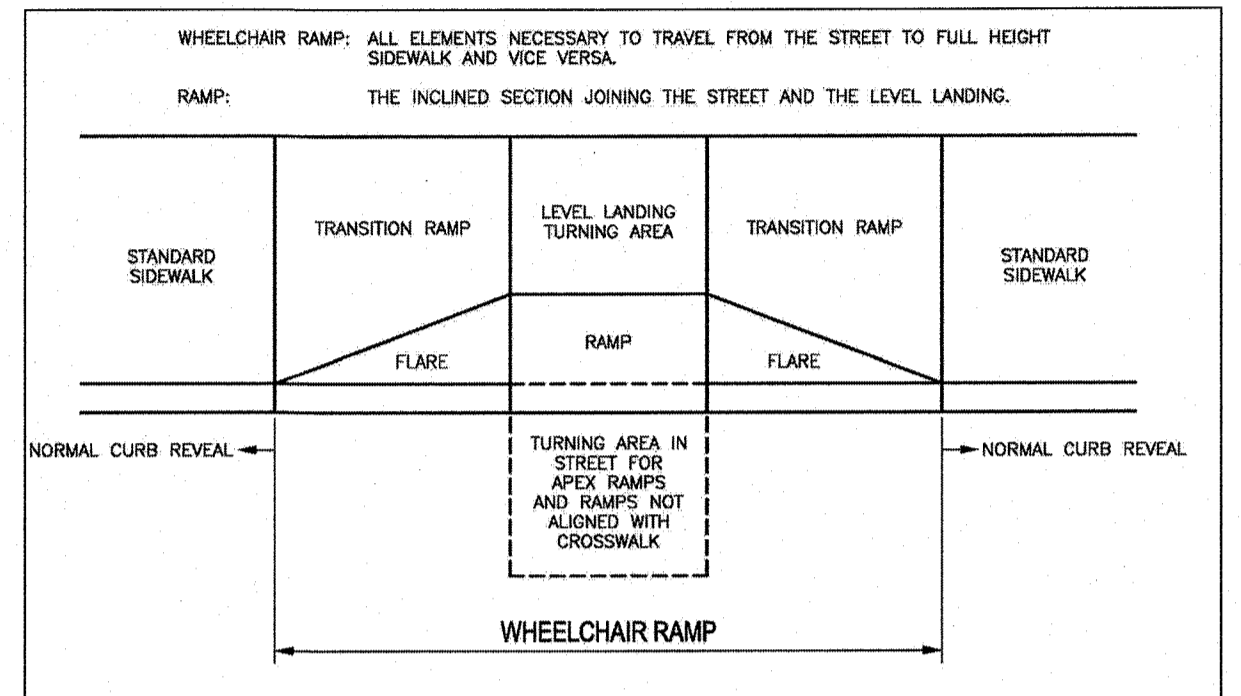
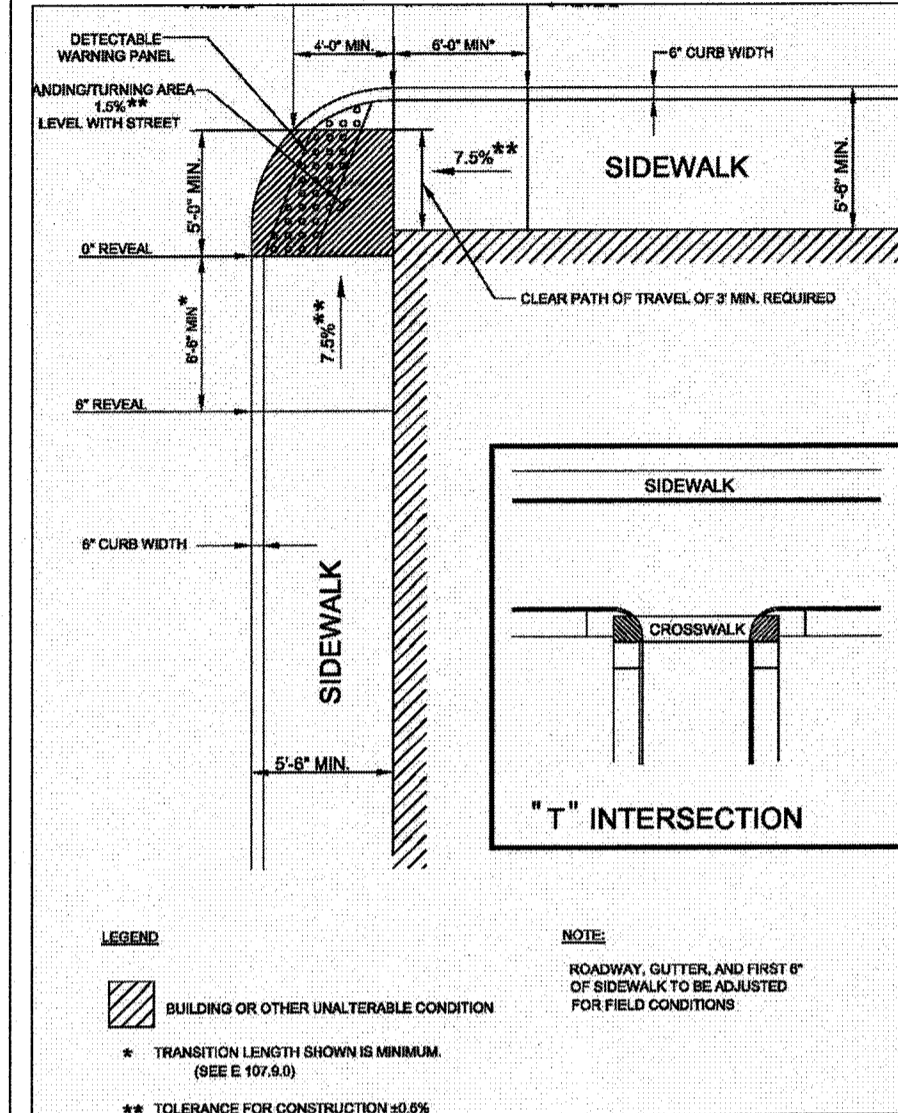
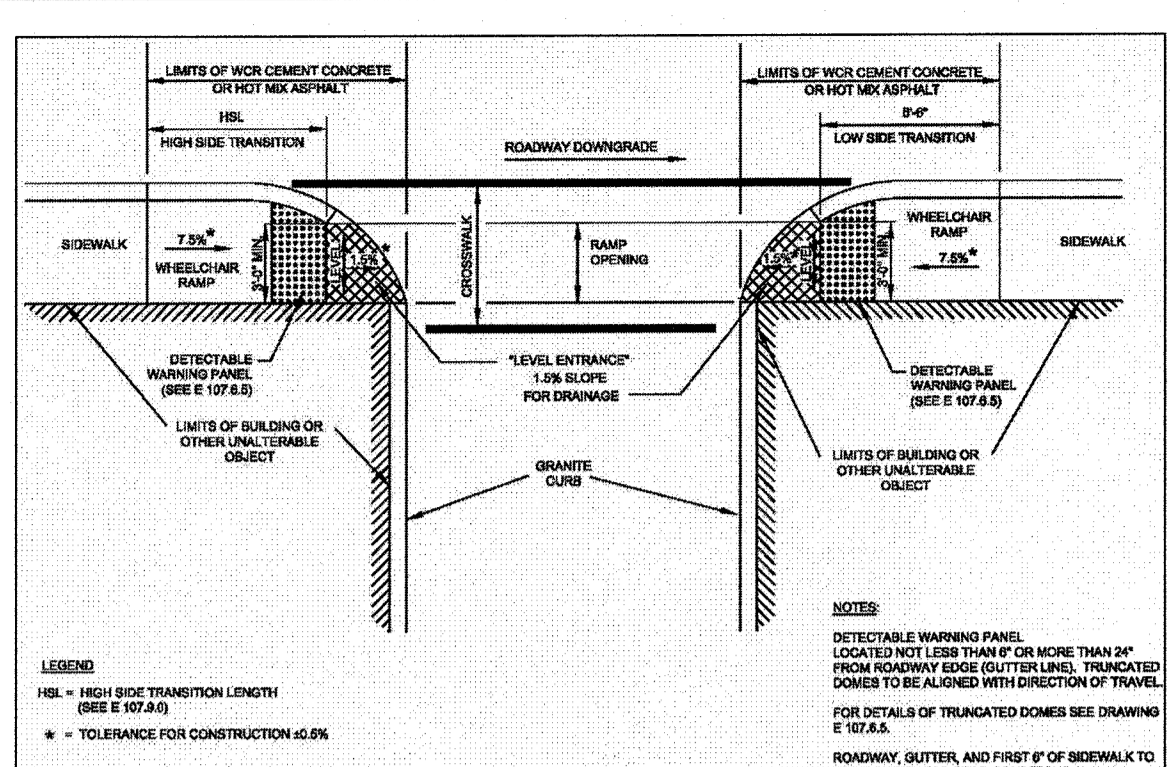
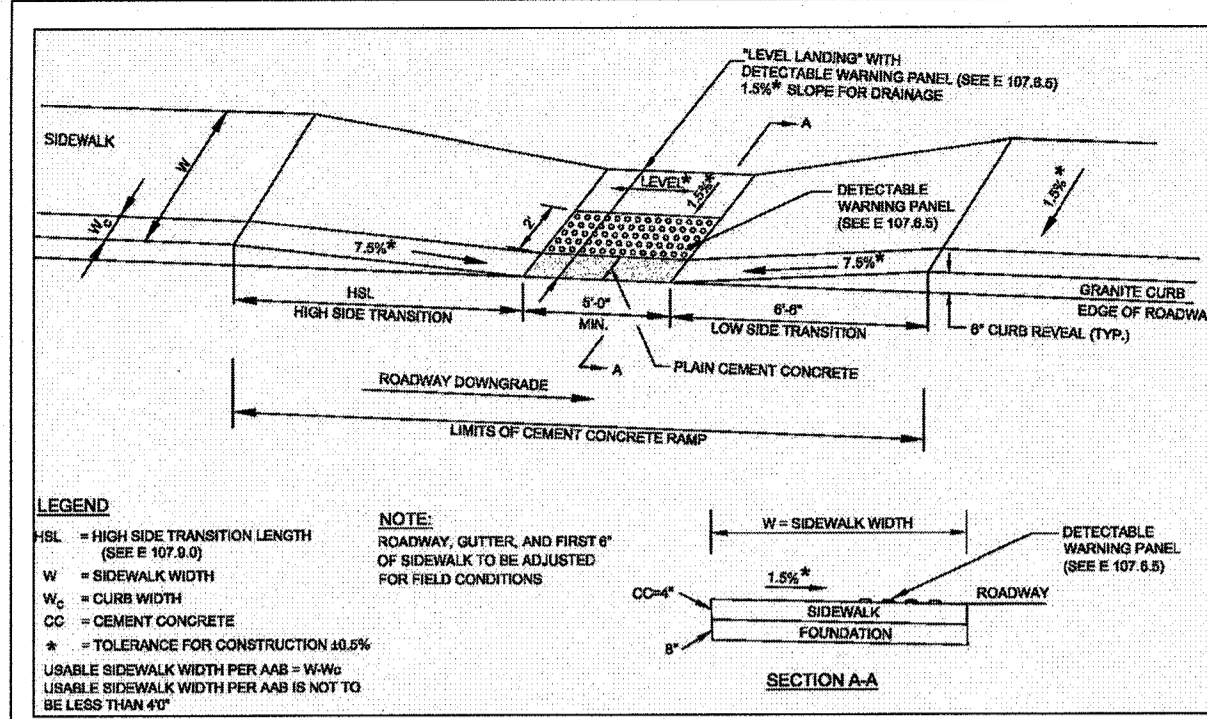
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drawing title  
**EROSION CONTROL PLAN**

project number 1899.00	drawing scale 1" = 50'	approver
drawing number C-3.1		revision



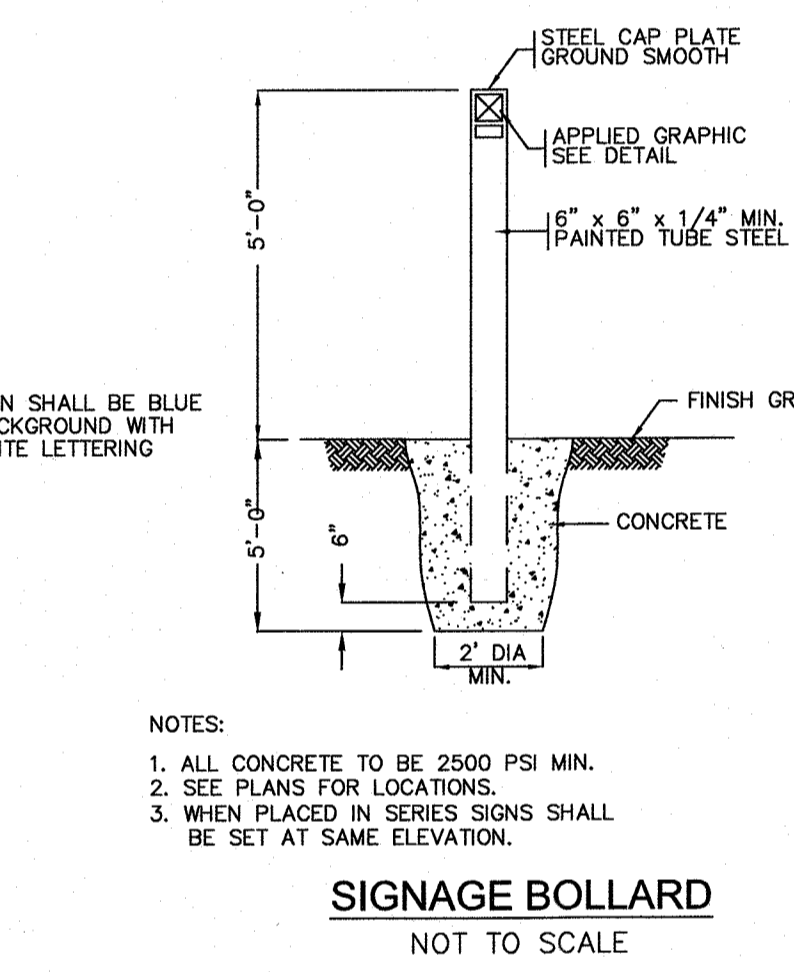




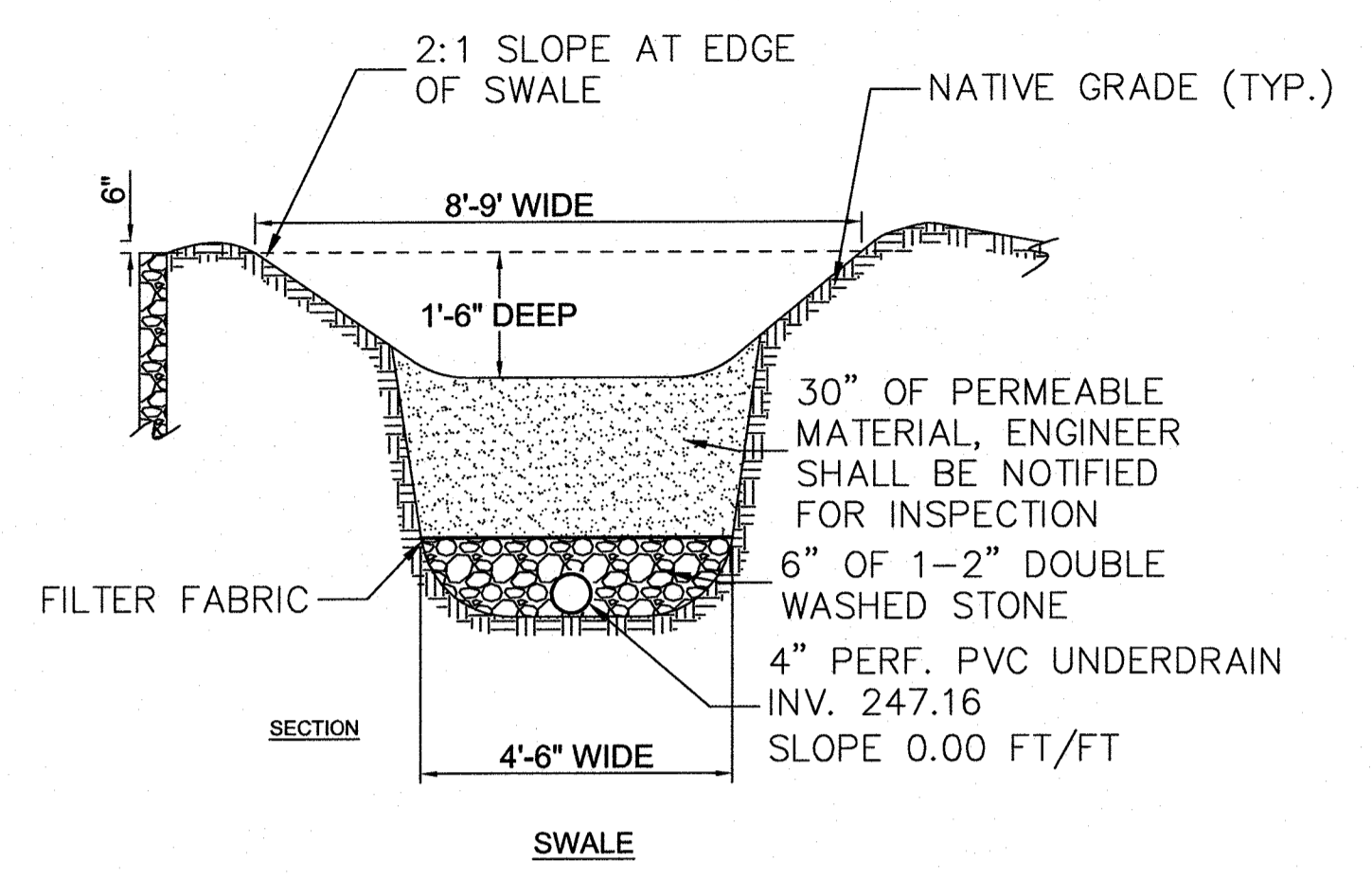
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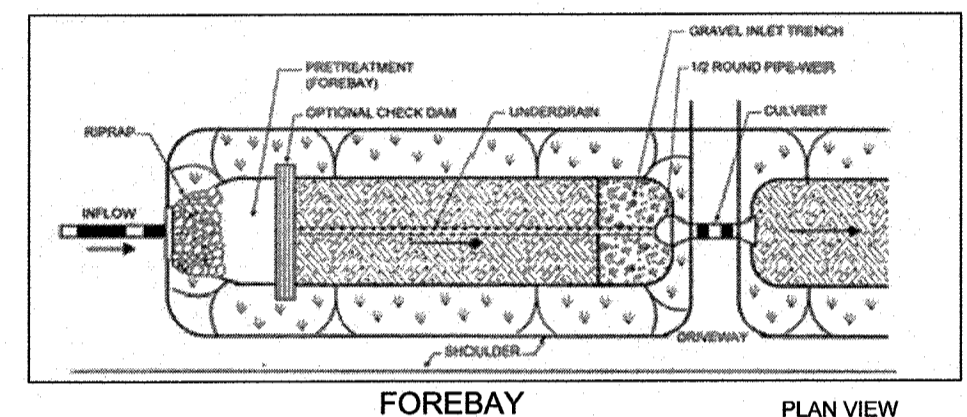
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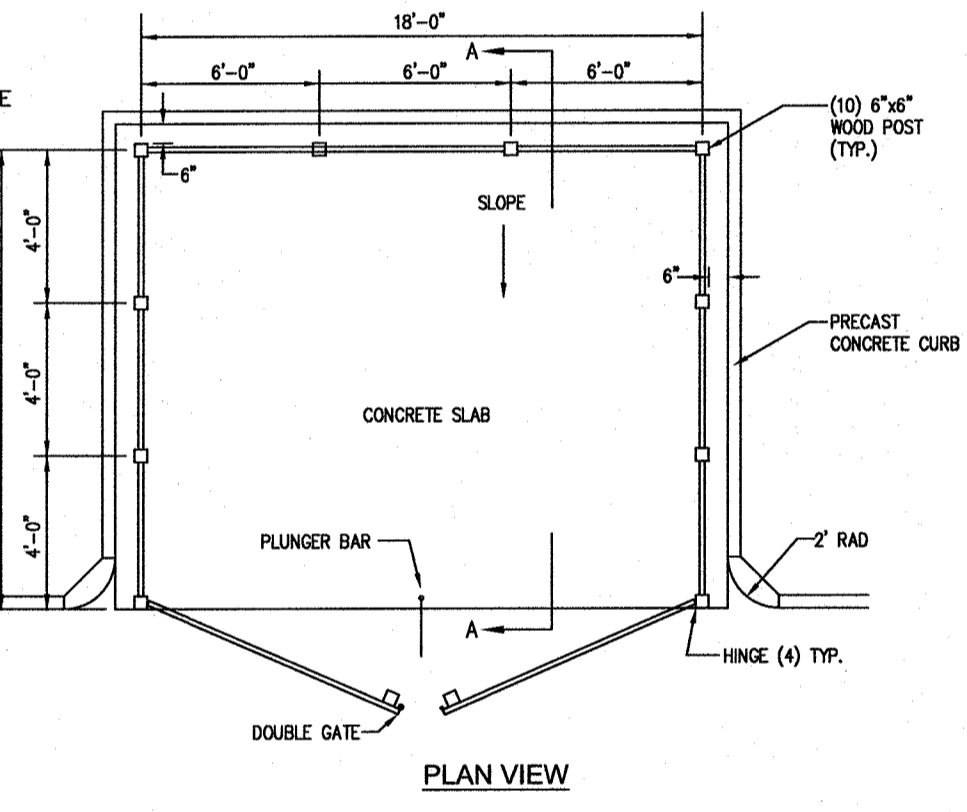
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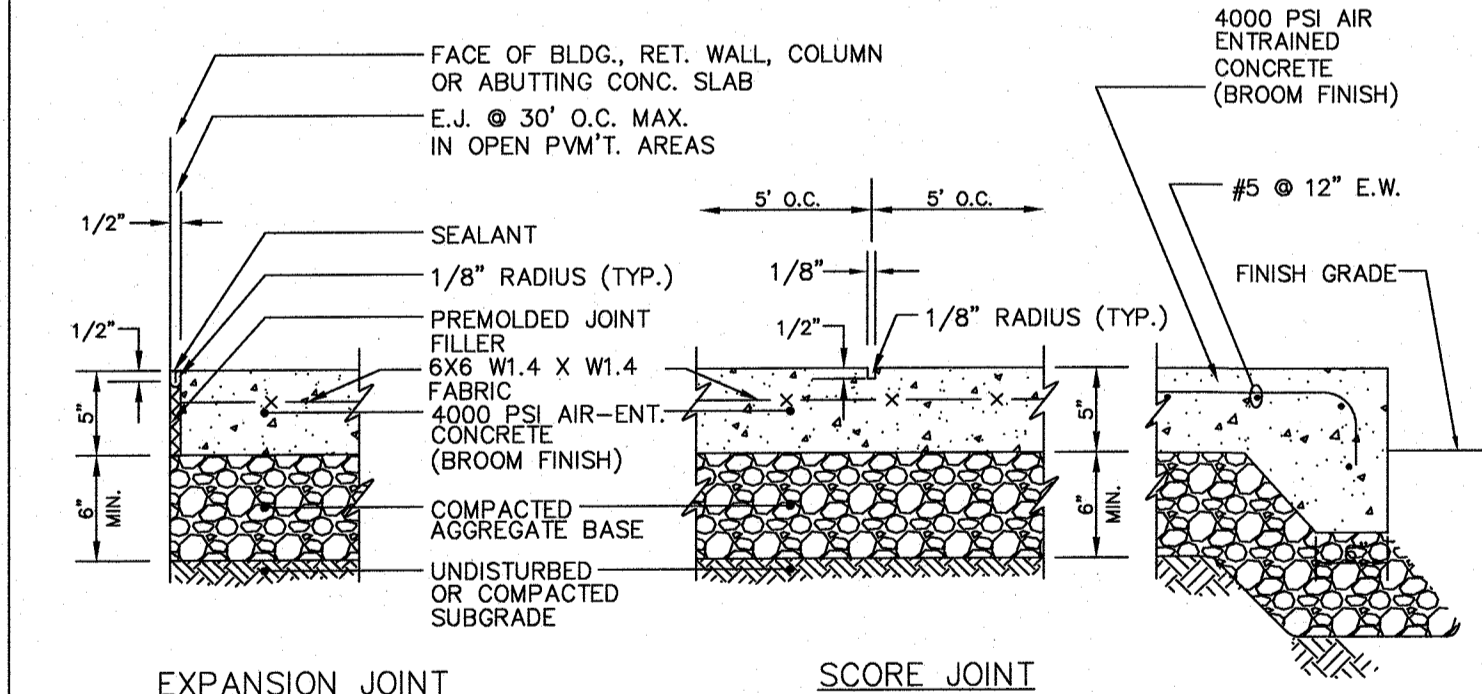
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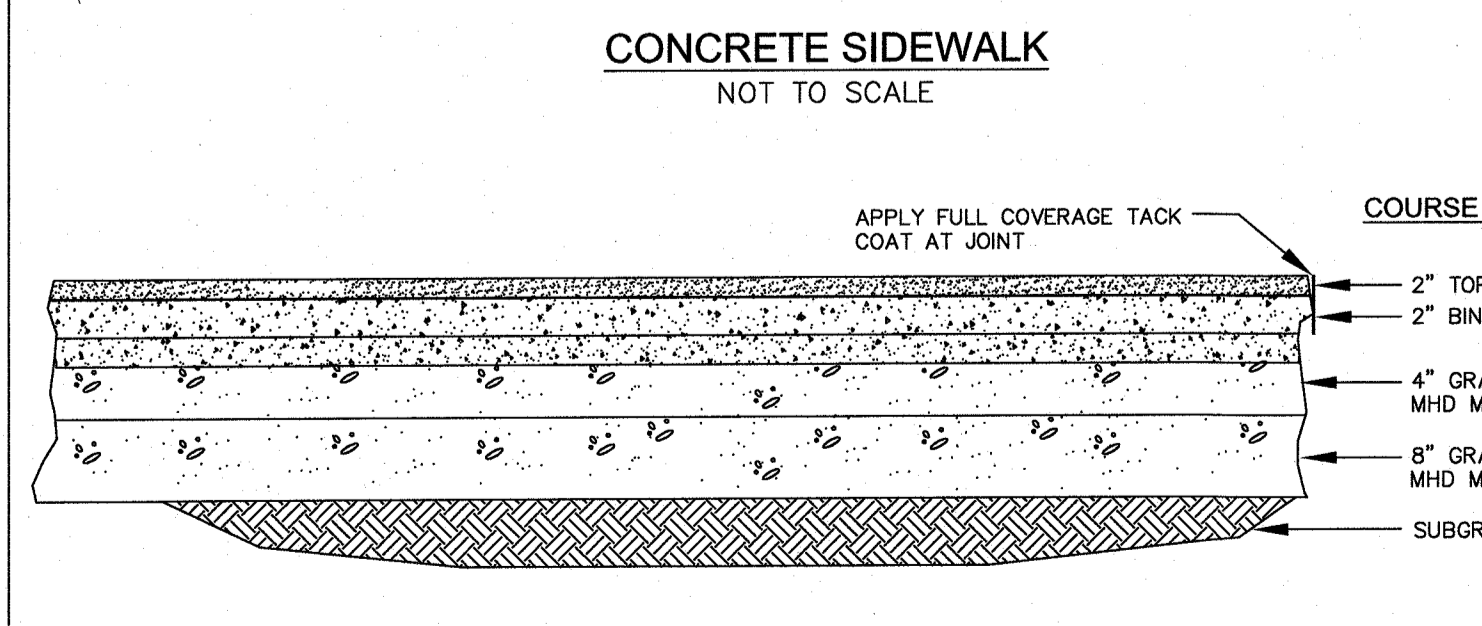
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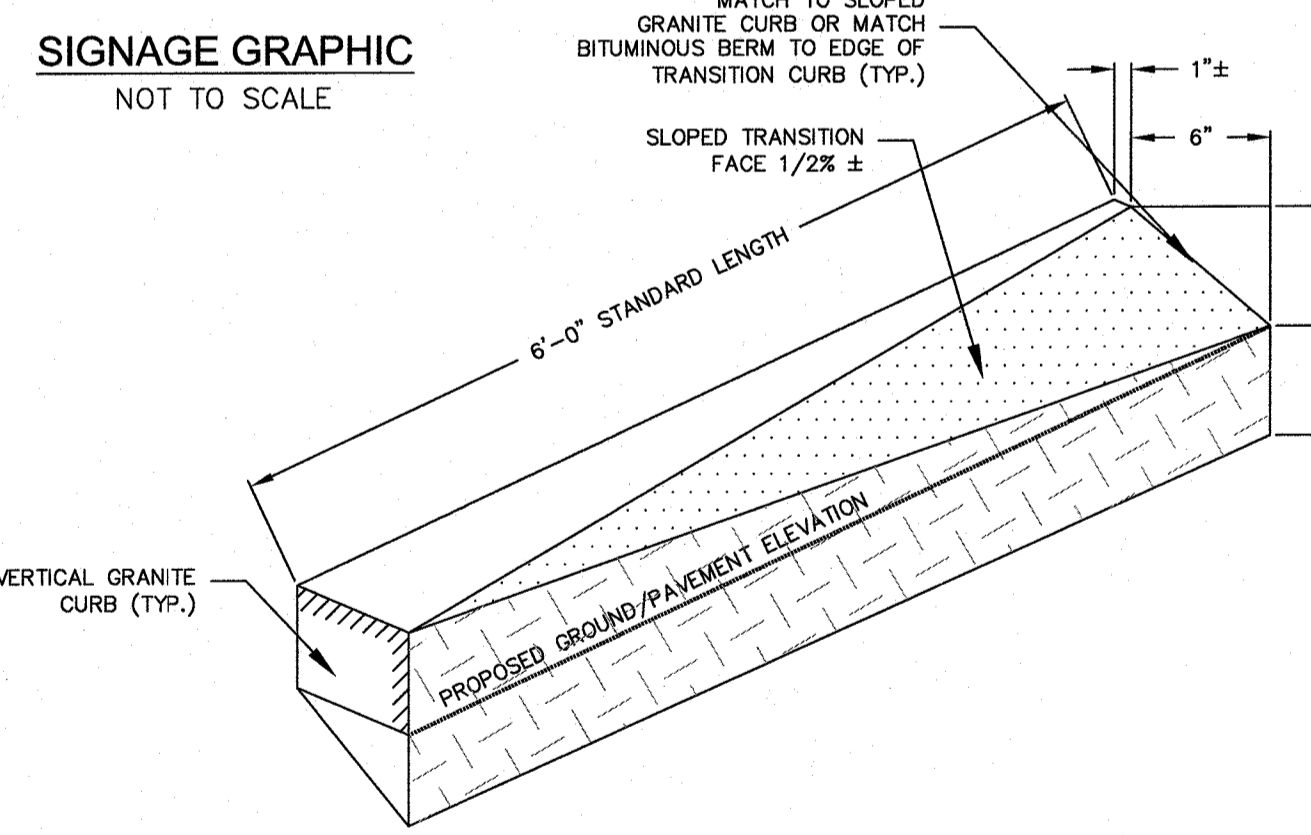
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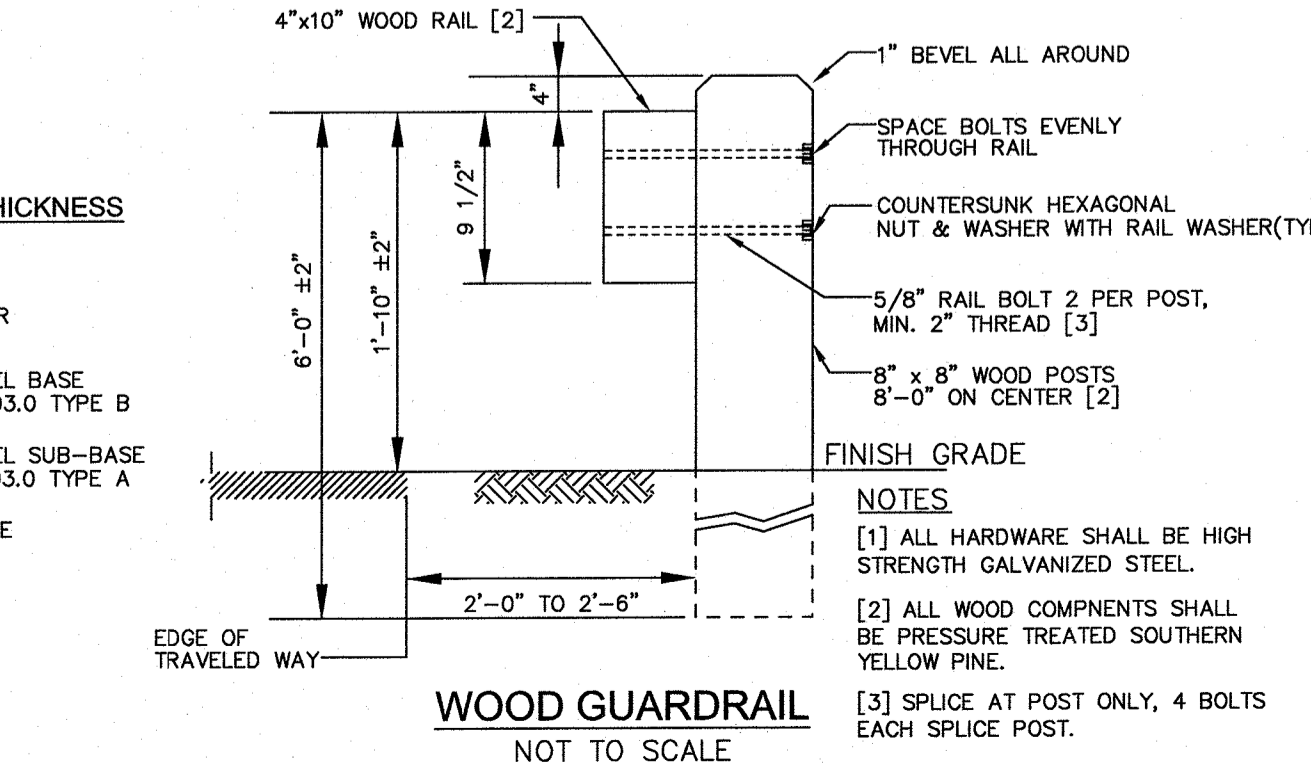
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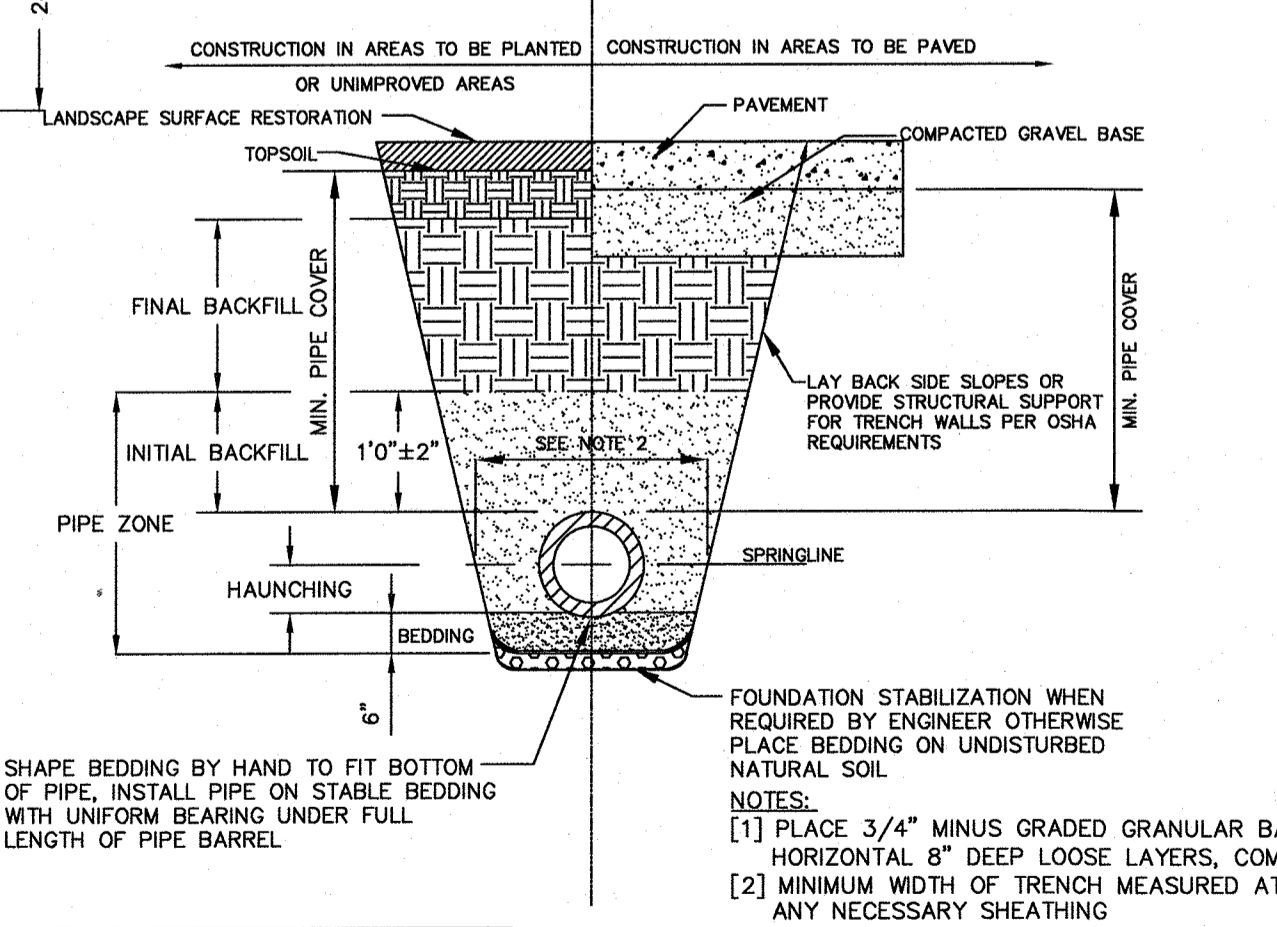
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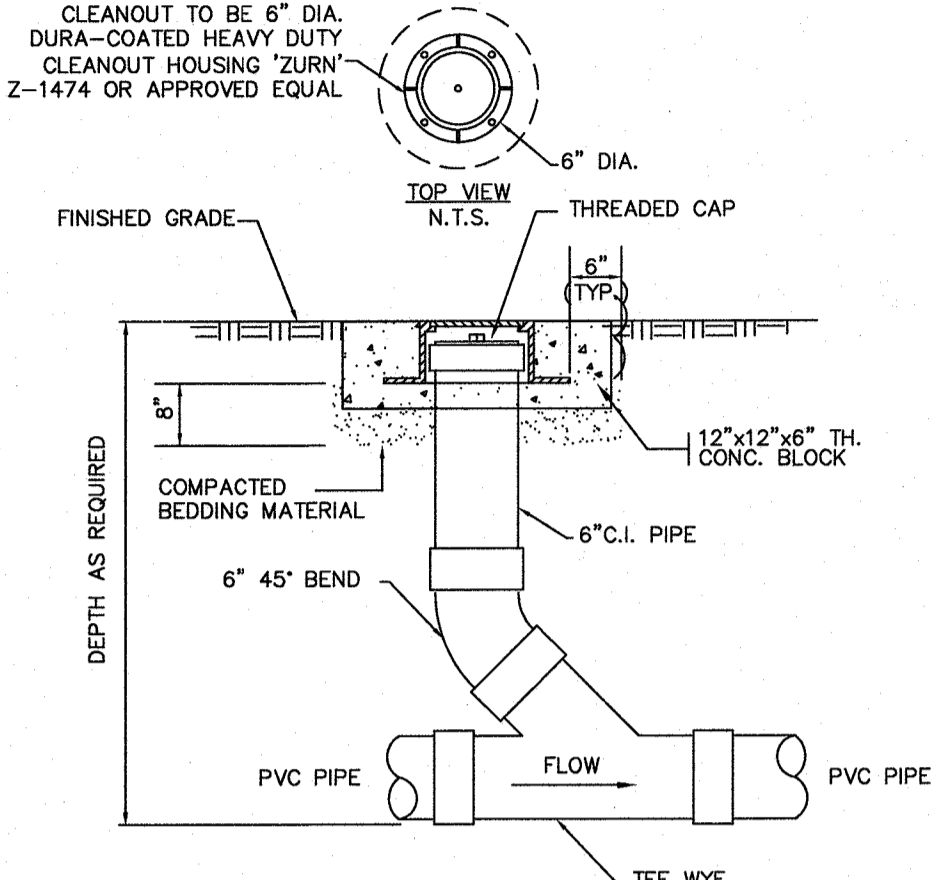
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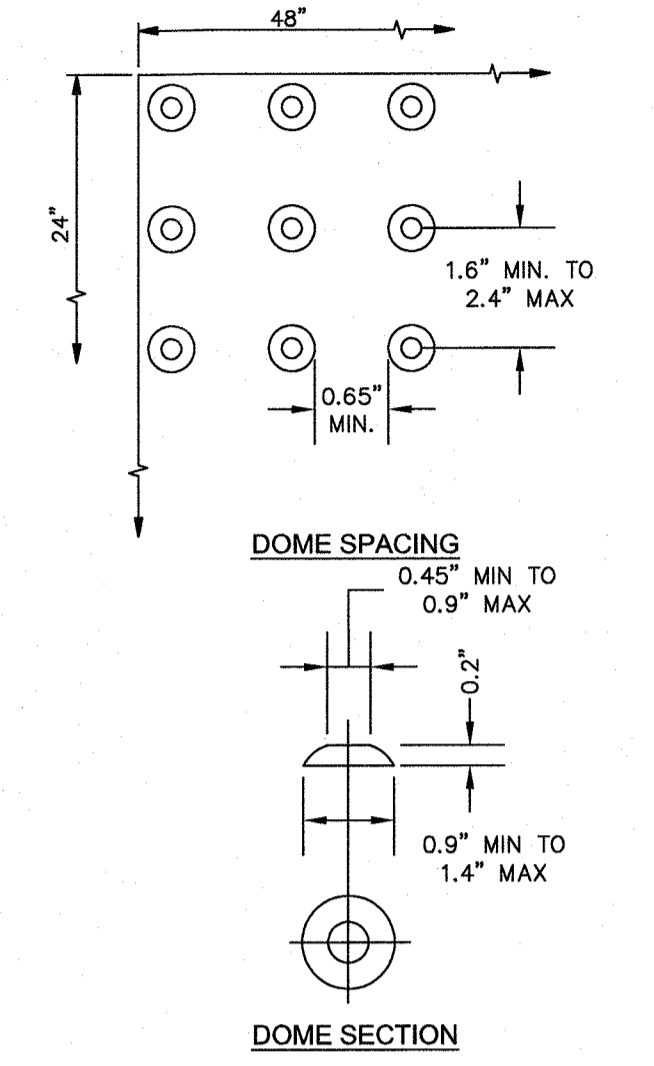
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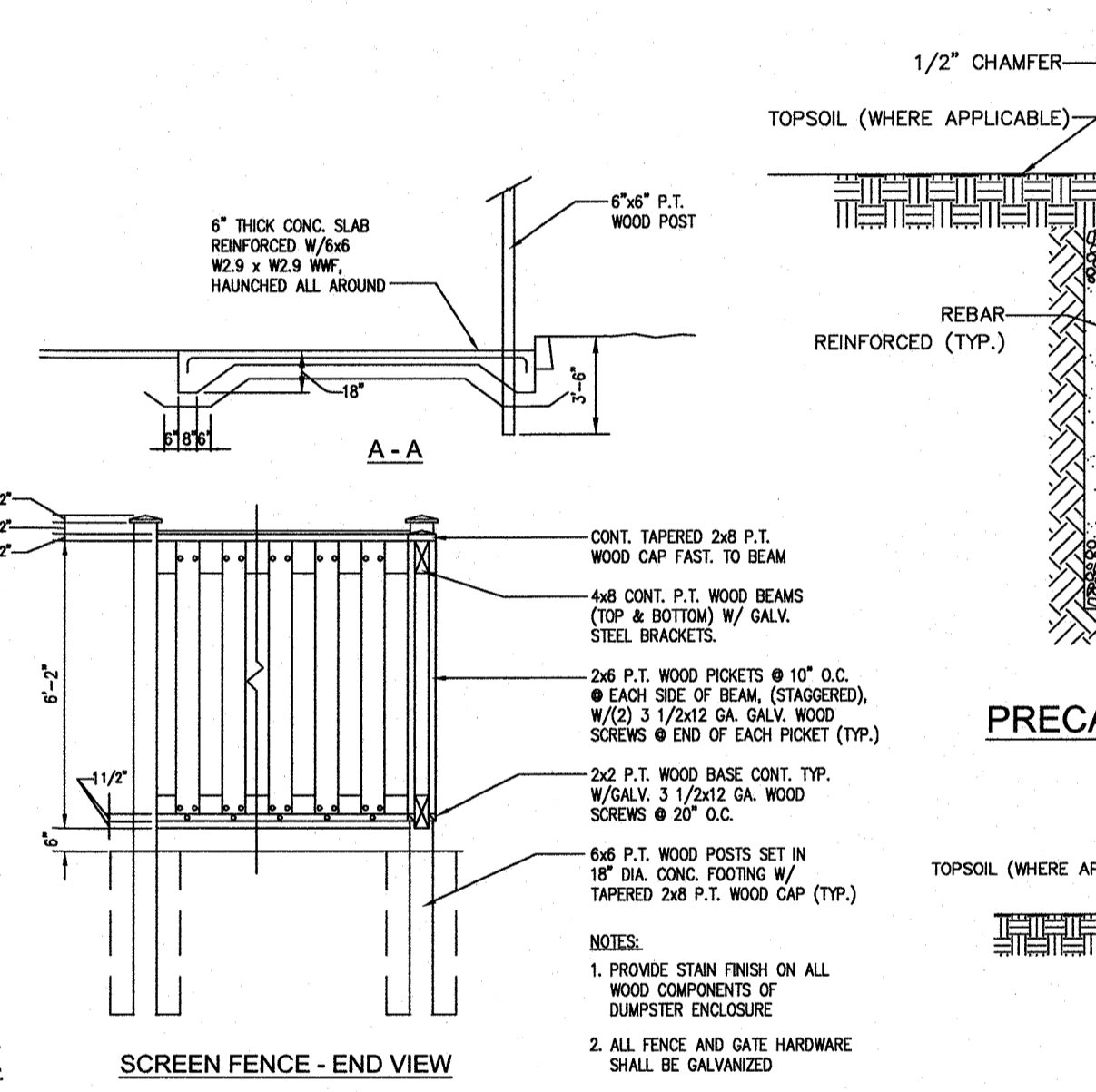
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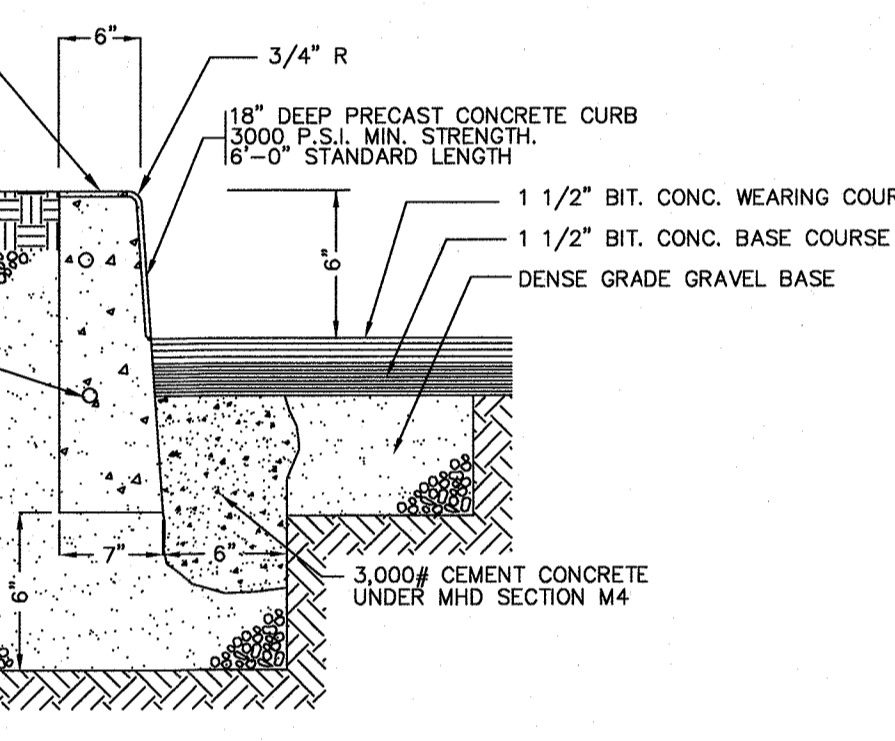
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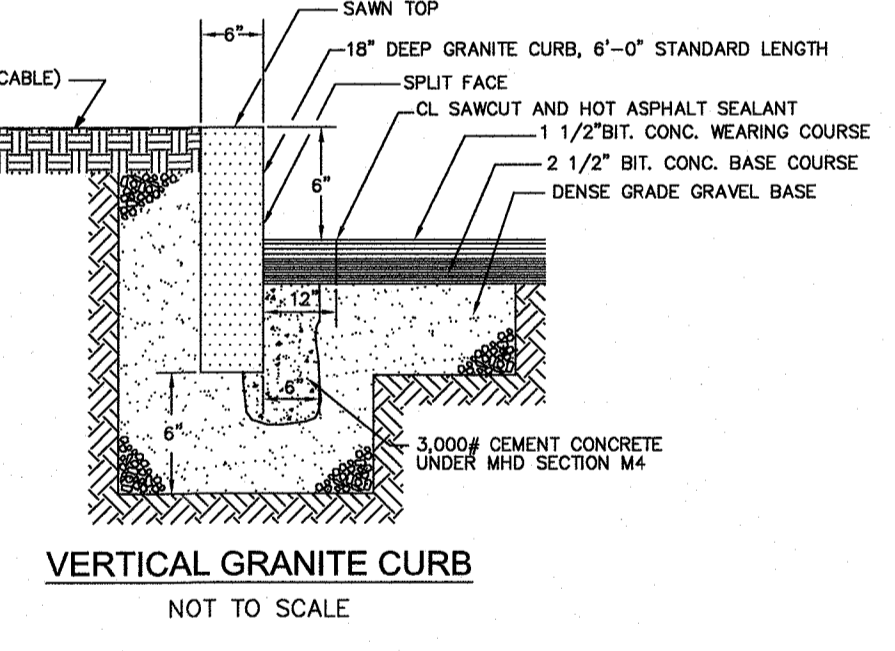
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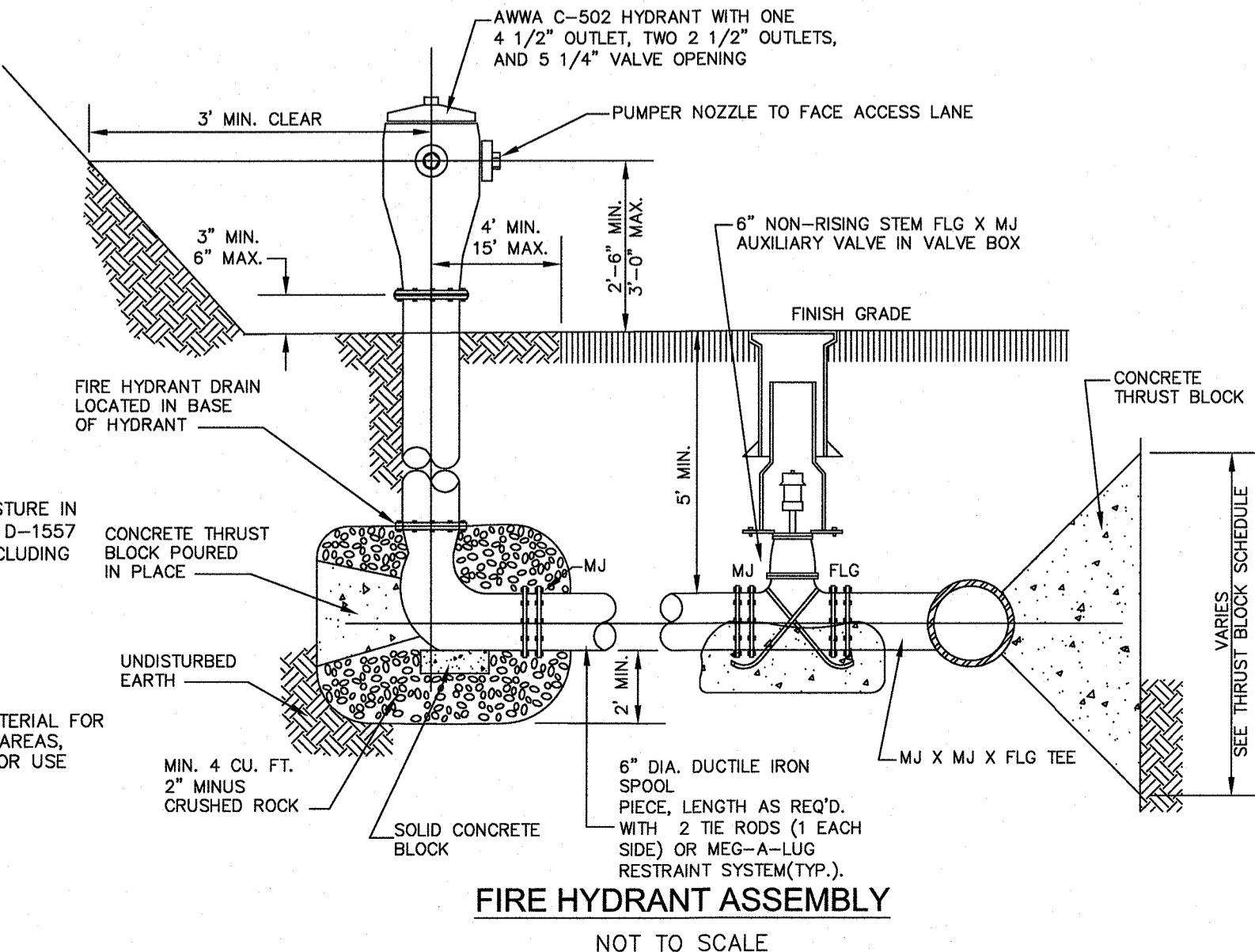
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**PRECAST CONCRETE CURB**  
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**VERTICAL GRANITE CURB**  
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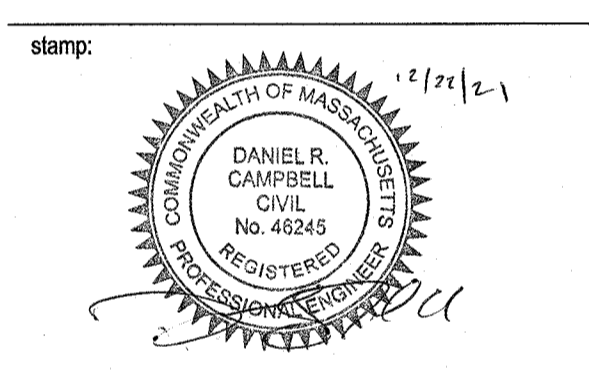
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APPROVED DATE: \_\_\_\_\_  
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\_\_\_\_\_  
DATE: \_\_\_\_\_  
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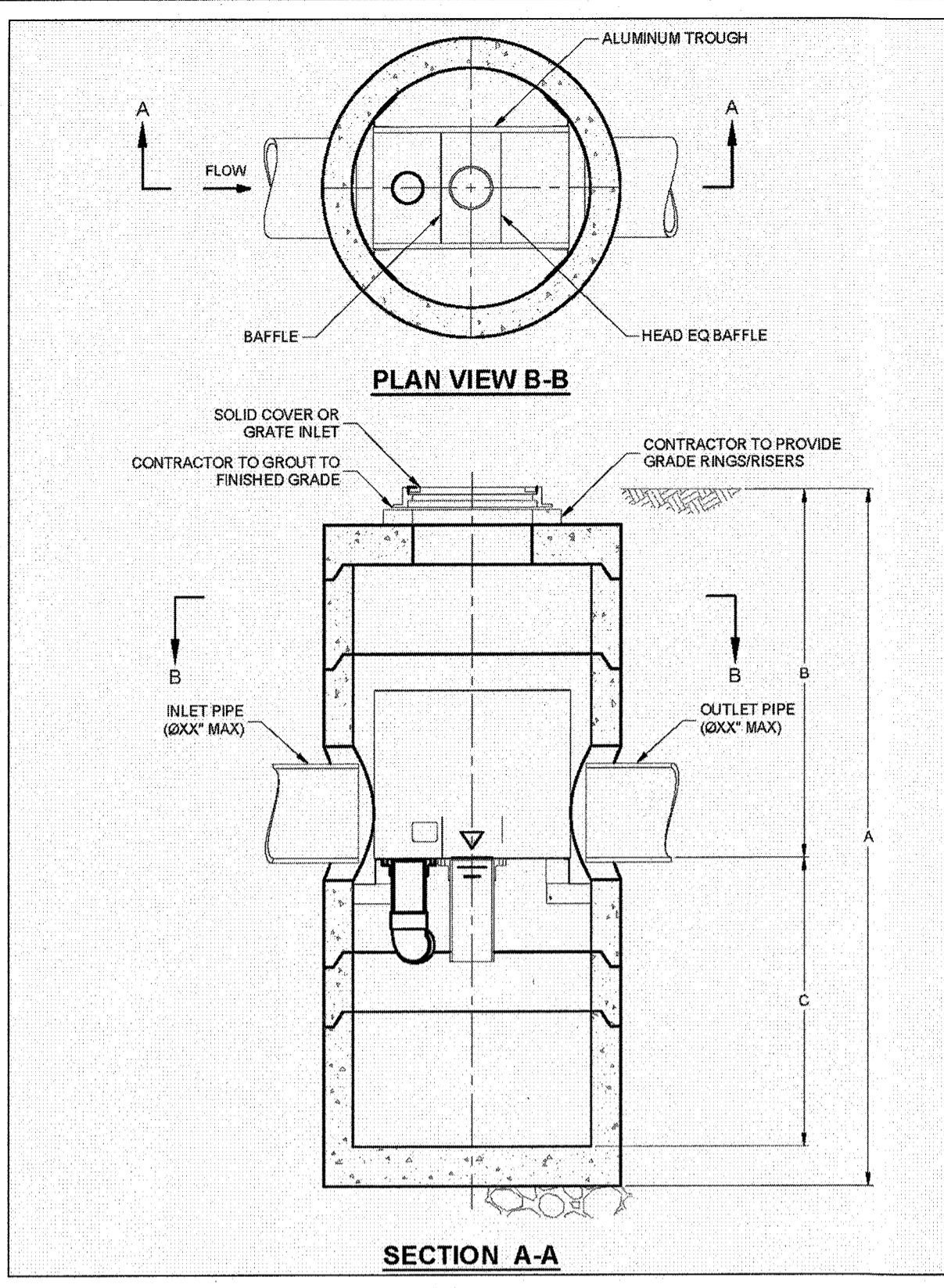
revision	revision description	date
1	COMMENT RESPONSE	9-15-2021
2	COMMENT RESPONSE	11-5-2021
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project title:  
**FACTORY SQUARE FRANKLIN**  
  
5 FISHER STREET, FRANKLIN, MA 02038  
  
client information:  
**K FISHER STREET LLC**  
  
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drawing title  
**TYPICAL DETAILS**  
  
project number  
**1899.00**  
drawing scale  
**AS SHOWN**  
drawing number  
**C-4.0**  
project number  
**1899.00**  
drawing scale  
**AS SHOWN**  
drawing number  
**C-4.0**





**VORTSENTRY HS DESIGN NOTES**

THE STANDARD SOLID COVER CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW.

CONFIGURATION OPTION DESCRIPTION	
GRATE INLET (NO INLET PIPE)	
GRATE INLET WITH INLET PIPE	

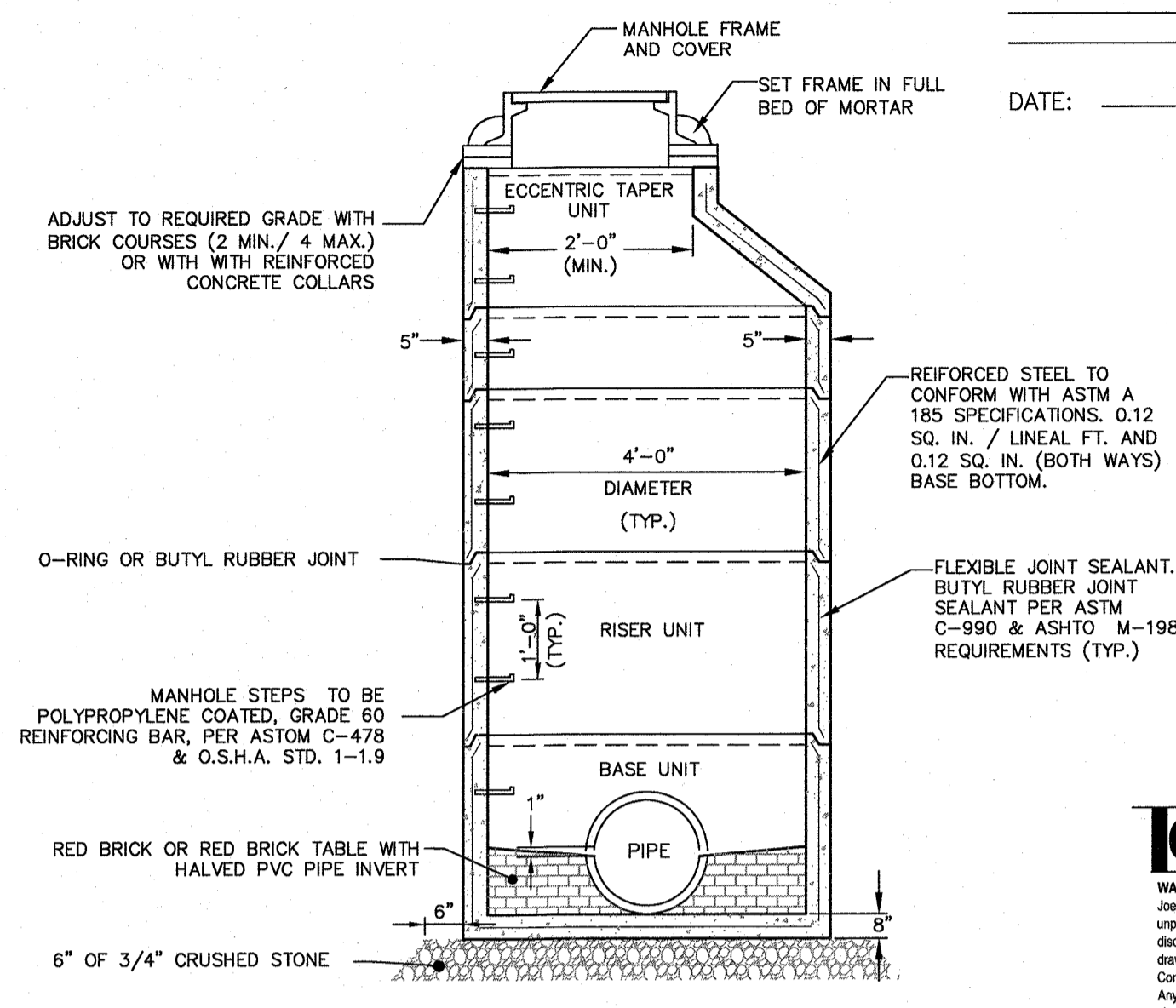
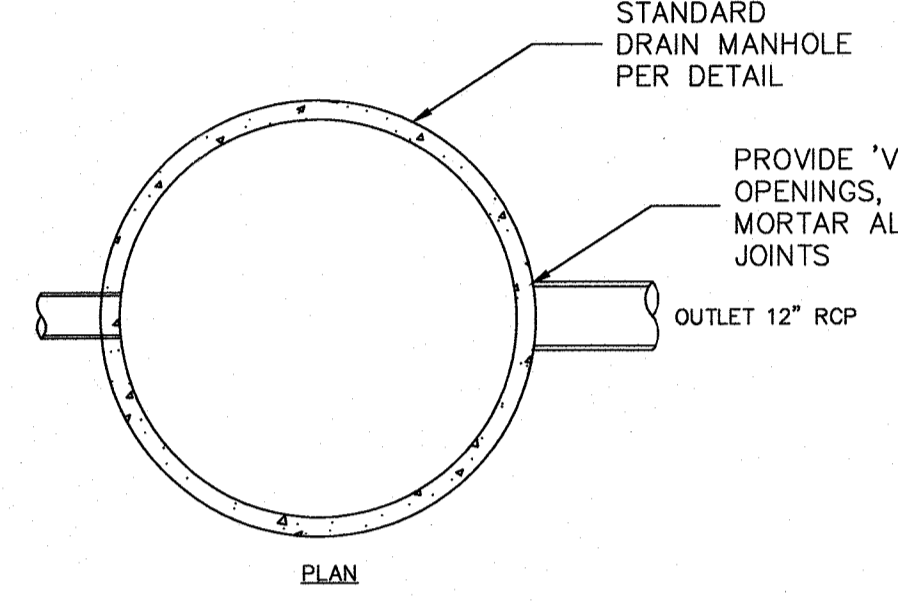
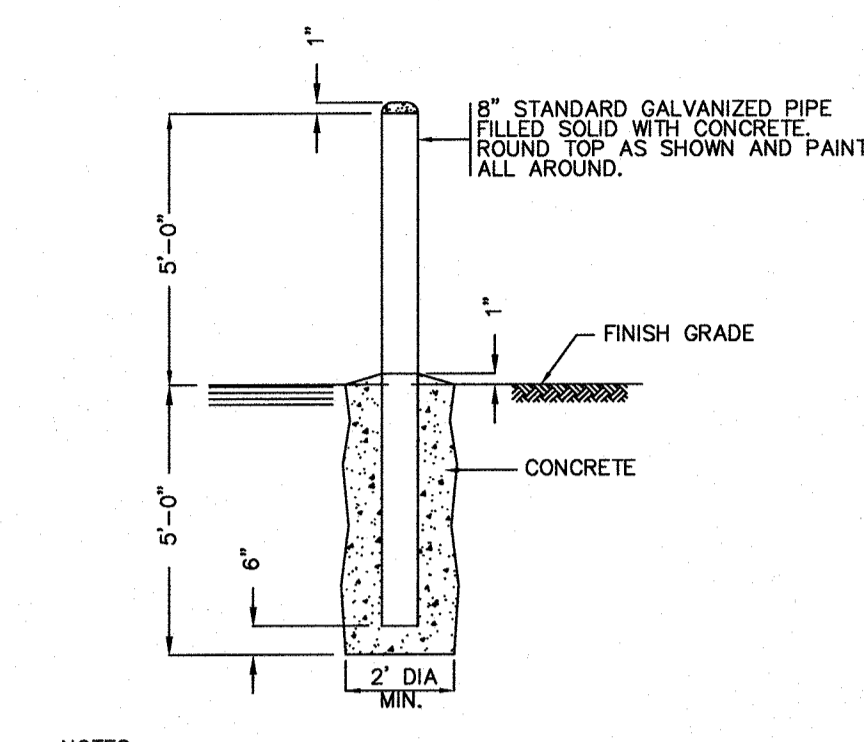
VORTSENTRY HS GENERAL INFORMATION							
Model	Manhole Diameter (D)	Typical Total Distance Rim to Outside Bottom A	Typical Distance Rim to Invert B	Typical Depth Below Invert (inside) C	Approximate Minimum Distance Rim to Invert	Maximum Pipe Diameter (ID)	
	FT	mm	FT	mm	FT	mm	
HS36	3	900	10.16	3.10	4.08	1.24	5.58
HS48	4	1200	13.25	4.04	6.00	1.83	6.75
HS60	5	1500	15.13	4.81	6.50	1.98	7.96
HS72	6	1800	16.56	5.05	6.75	2.06	9.15
HS84	7	2100	18.66	5.75	7.75	2.38	10.35
HS96	8	2400	20.87	6.36	8.50	2.59	11.54

**GENERAL NOTES:**

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (1) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.contech-es.com](http://www.contech-es.com)
- VORTSENTRY HS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO M308 AND CASTINGS SHALL MEET AASHTO M308 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.

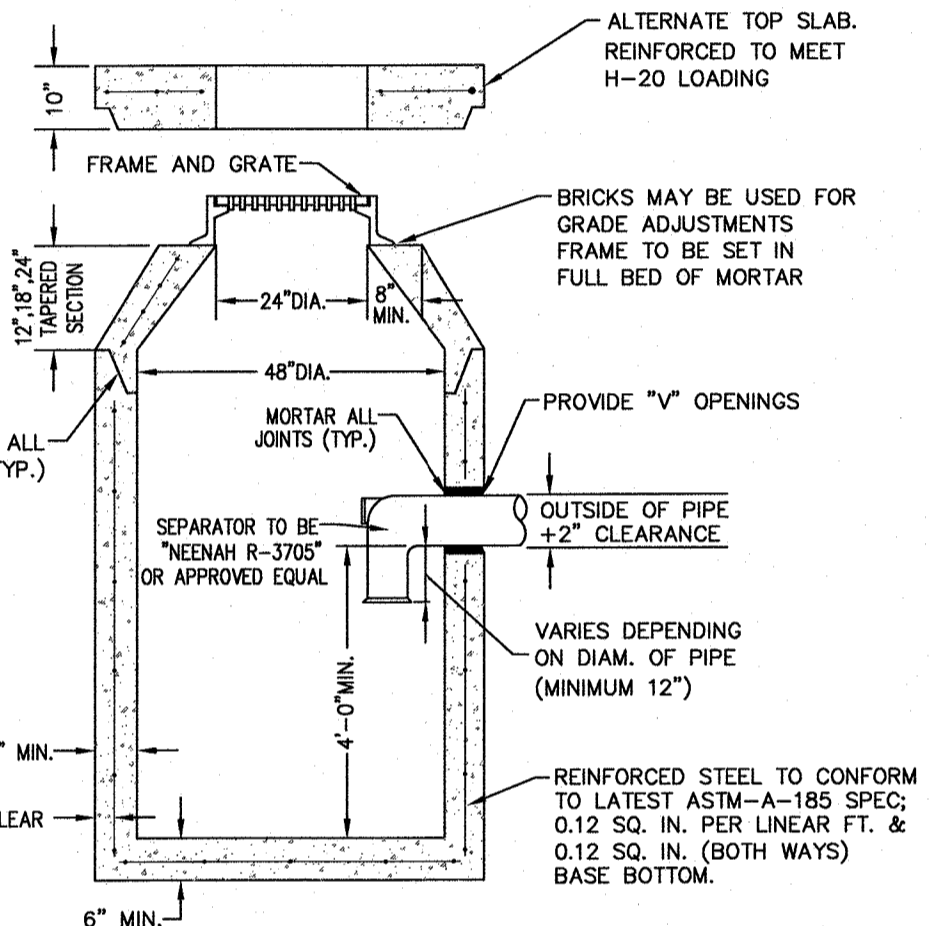
**INSTALLATION NOTES:**

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE VORTSENTRY HS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

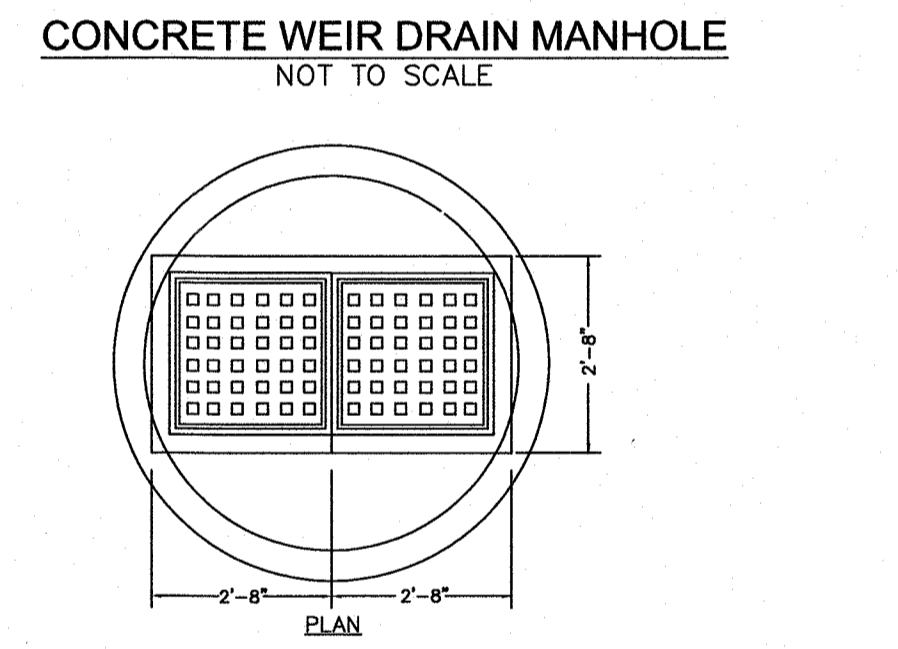
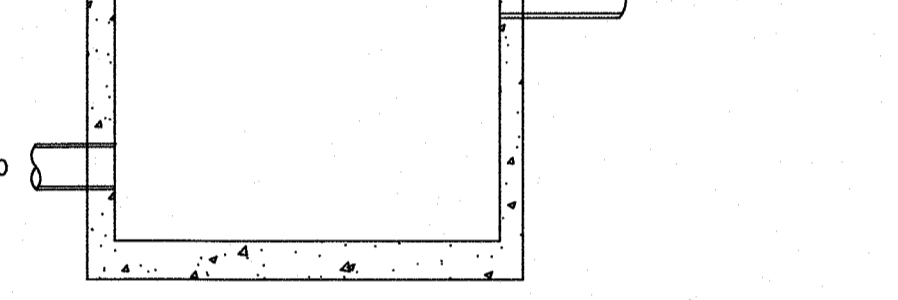


- NOTES:**
- MANUFACTURES TO MEET OR EXCEED ASTM C-478 & ASHTO M 199 SPECIFICATIONS
  - CONCRETE = 4,000 PSI MIN.
  - STEEL REINFORCEMENT TO MEET OR EXCEED H-20 LOADING REQUIREMENTS.
  - WATER PROOFING TO BE TWO COATS OF HEAVY BODIED TAR EMULSION.

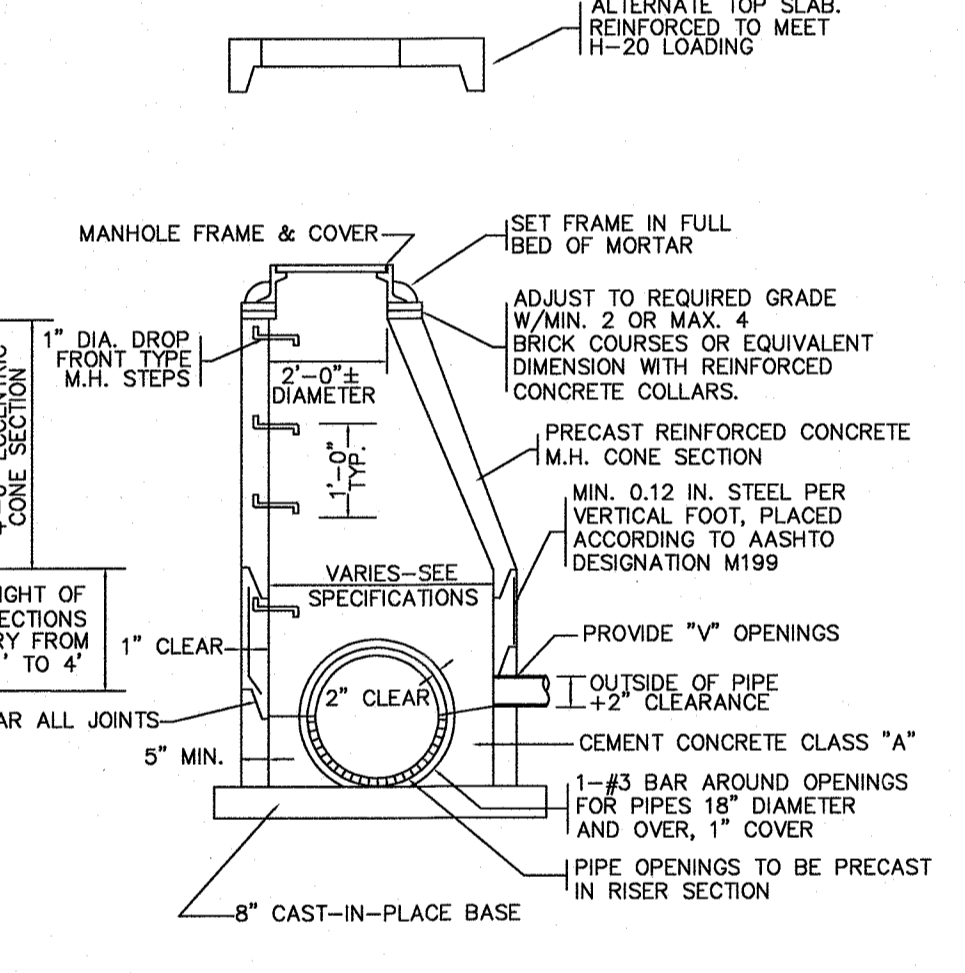
**VORTSENTRY OR 20\_15 DETAILS AND SPECIFICATIONS**



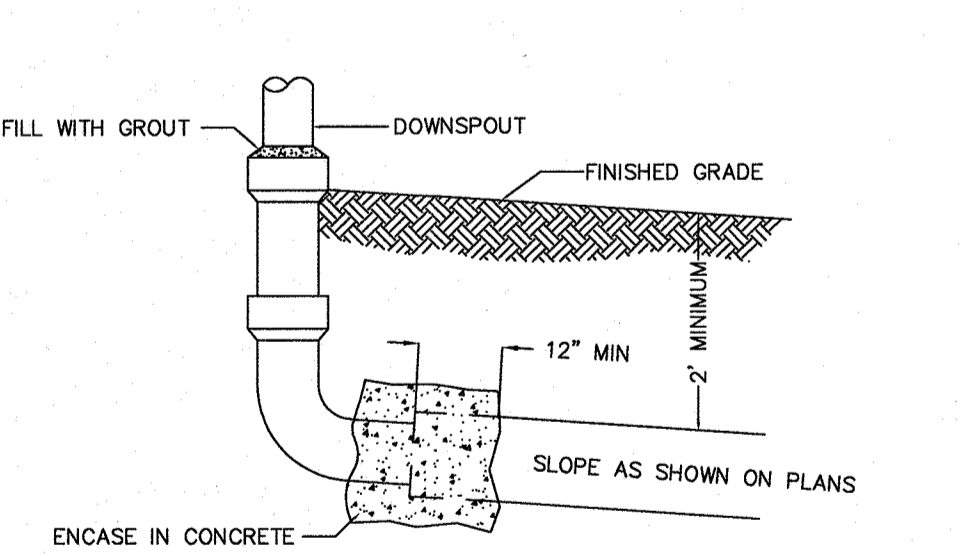
- NOTES:**
- CONCRETE TO BE 4,000 PSI MIN. PER ASTM C-478(6.1).
  - REINFORCING TO MEET OR EXCEED H-20 LOADING REQUIREMENTS.



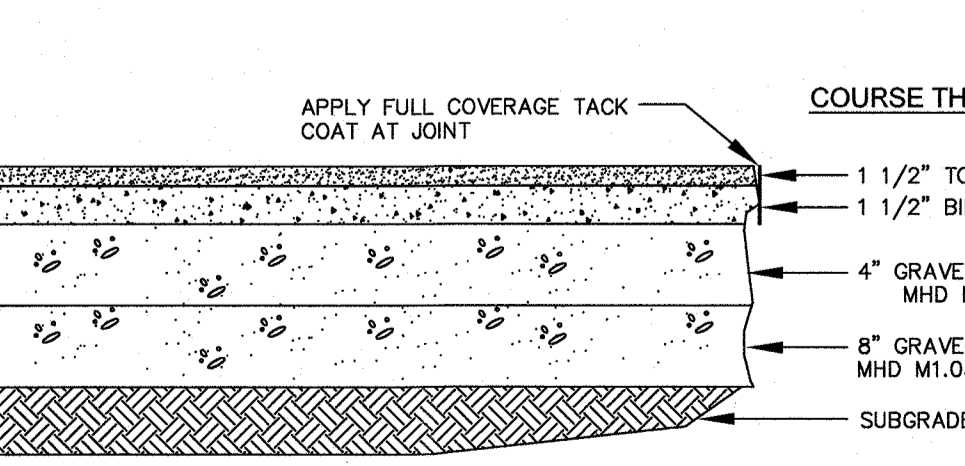
**PRECAST CONCRETE SEWER MANHOLE NOT TO SCALE**



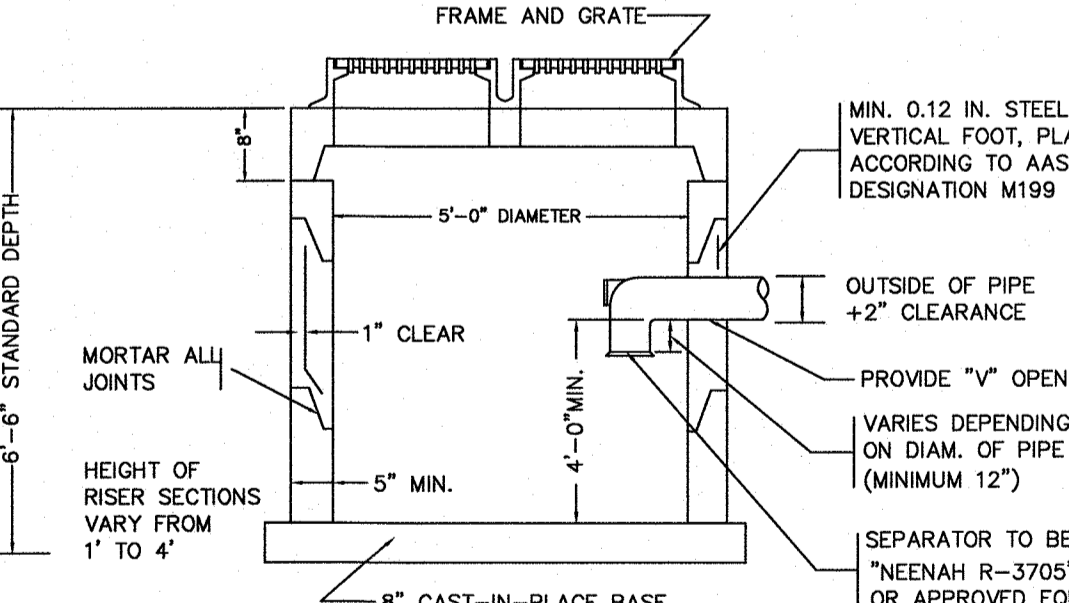
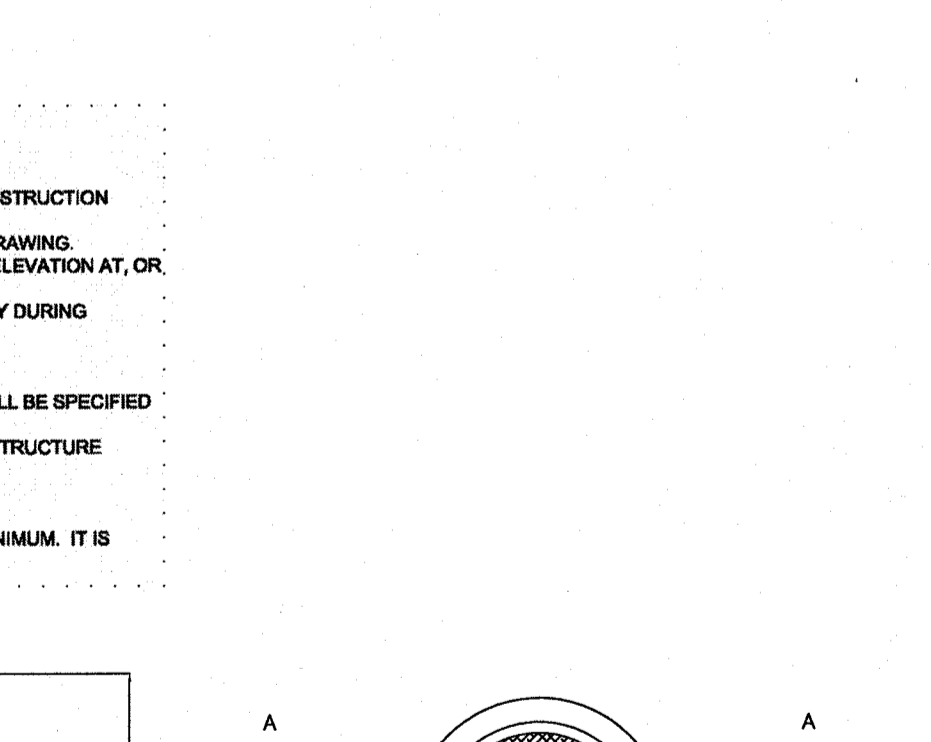
**PRECAST CONCRETE DRAIN MANHOLE NOT TO SCALE**



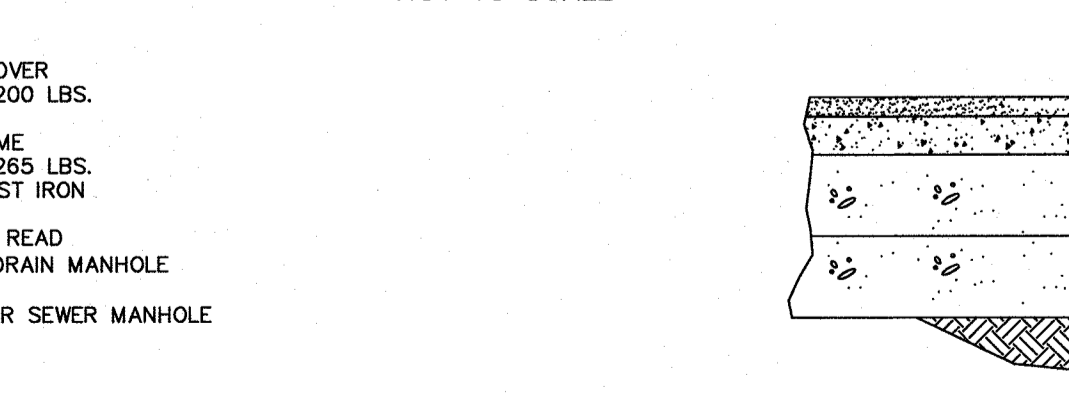
**DOWNSPOUT CONNECTION TO DRAINAGE OUTLET NOT TO SCALE**



**PRECAST CONCRETE CATCH BASIN WITH GAS AND OIL SEPARATOR NOT TO SCALE**

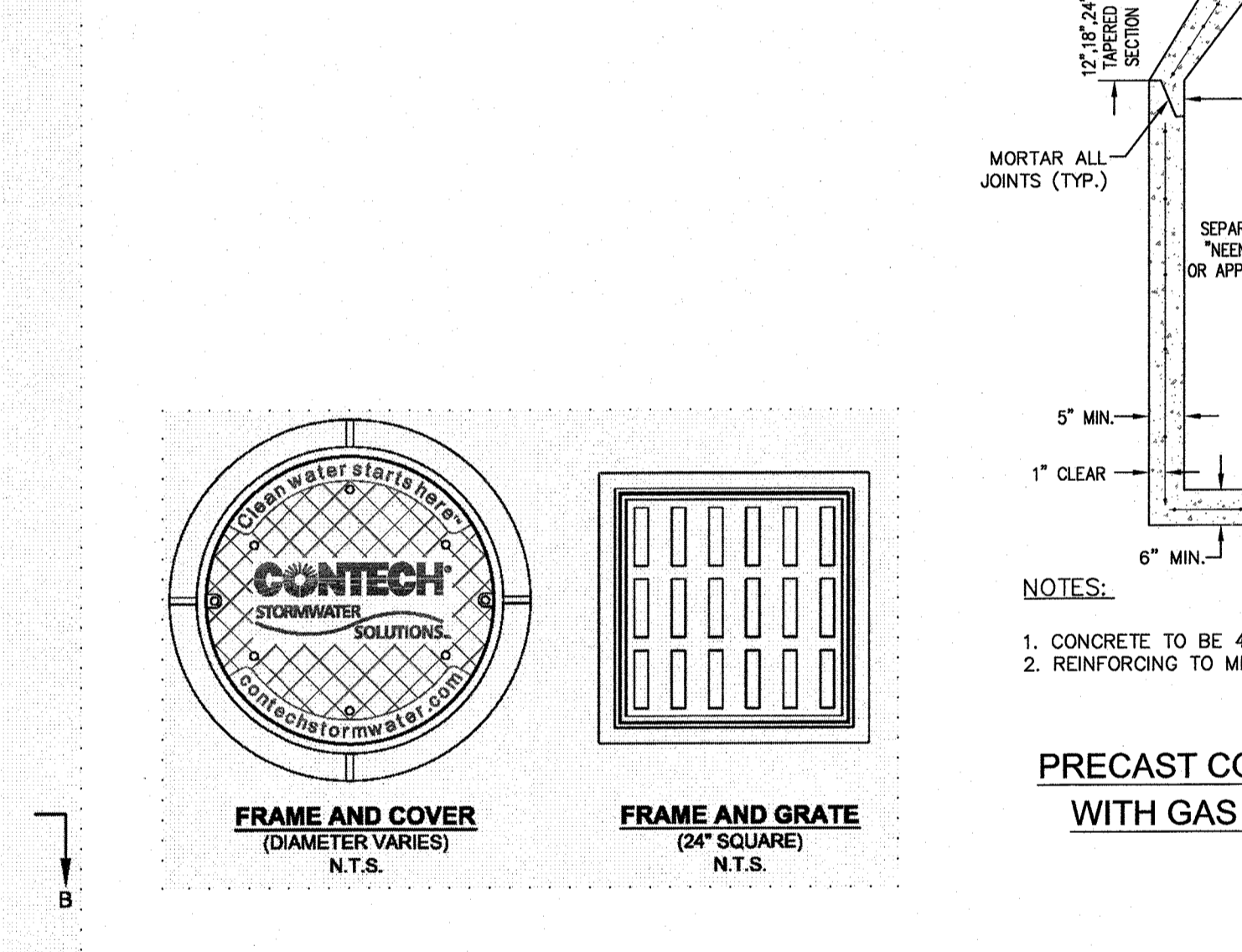
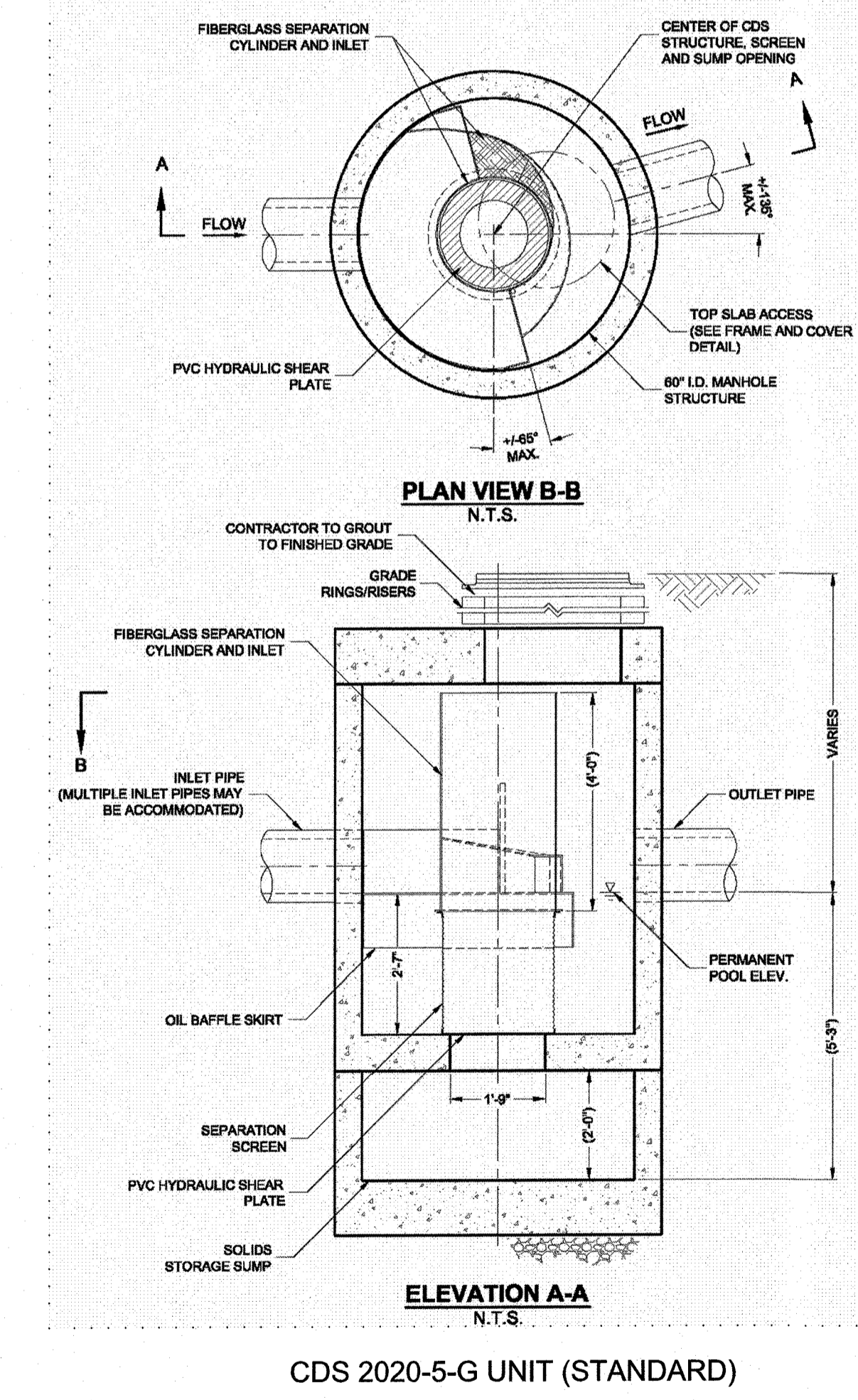
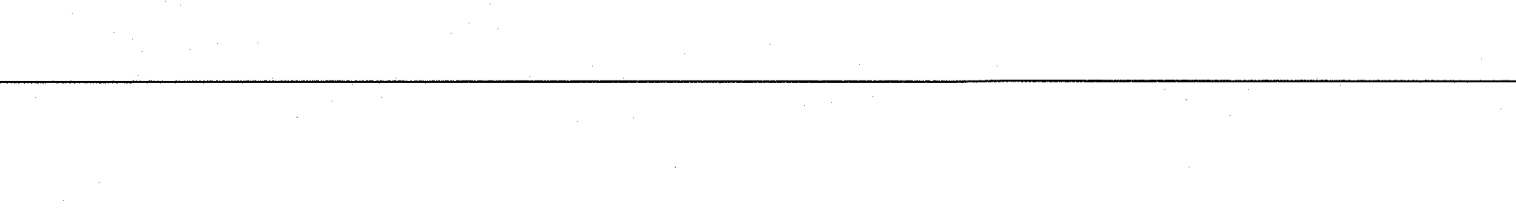


**PRECAST CONCRETE DOUBLE CATCH BASIN WITH GAS AND OIL SEPARATOR NOT TO SCALE**



- NOTES:**
- STANDARD COVER MIN. WEIGHT 200 LBS.
  - TYPE-A FRAME MIN. WEIGHT 285 LBS. MATERIAL-CAST IRON
  - STAMPED TO READ 'DRAIN' FOR DRAIN MANHOLE INSTALLATION & 'SEWER' FOR SEWER MANHOLE INSTALLATION

**AUTOMOTIVE AREAS - BITUMINOUS CONCRETE PAVEMENT NOT TO SCALE**

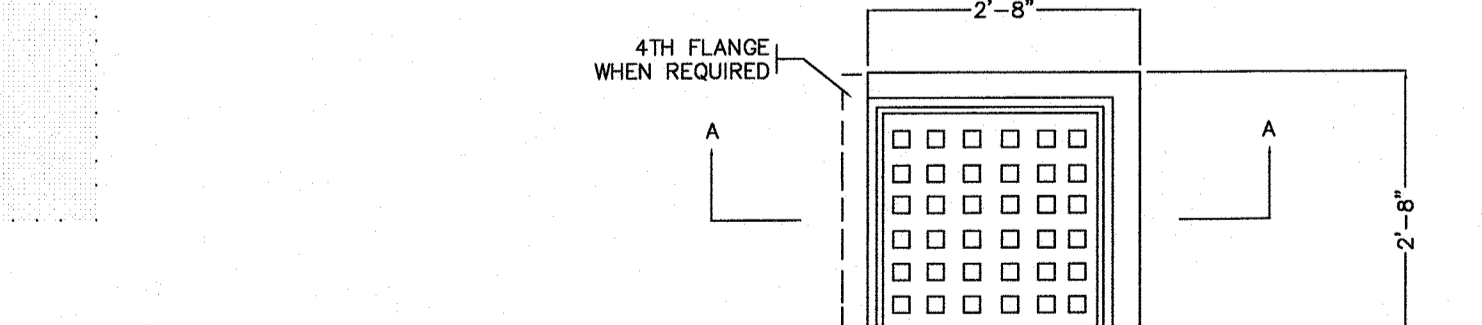


**GENERAL NOTES:**

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (1) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. [www.contech-es.com](http://www.contech-es.com)
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO M308 AND CASTINGS SHALL MEET AASHTO M308 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

**INSTALLATION NOTES:**

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

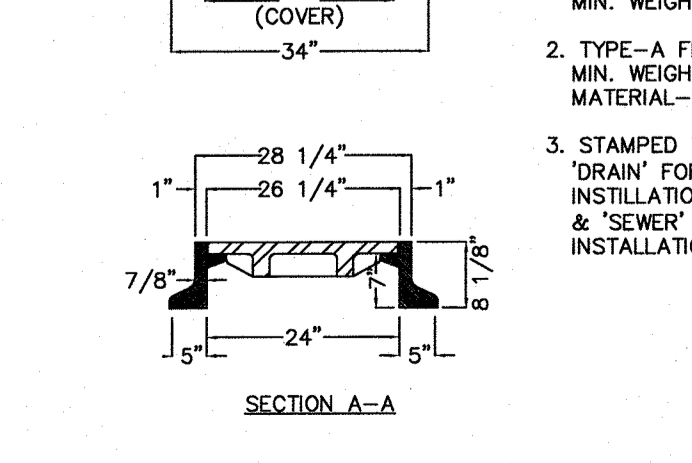
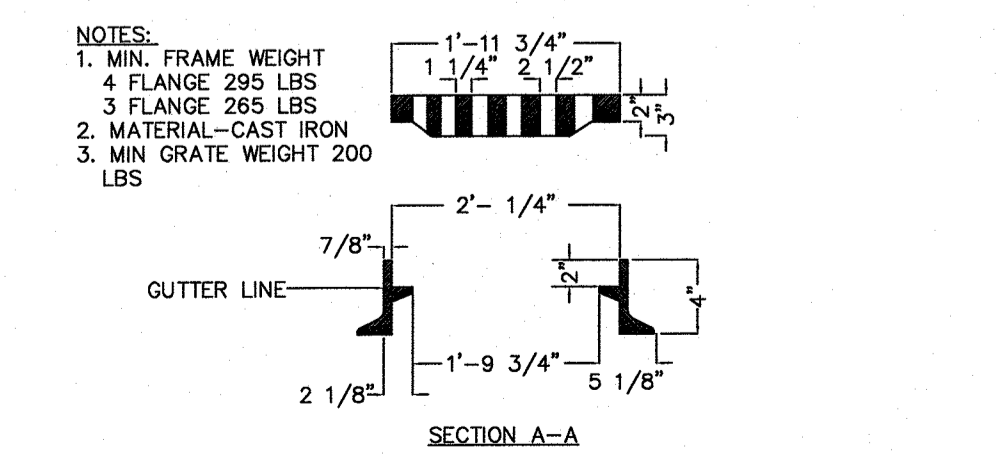


**CDS2020-5-C DESIGN NOTES**

CDS2020-5-C RATED TREATMENT CAPACITY IS 2.2 CFS, OR PER LOCAL REGULATIONS.

THE STANDARD CDS2020-5-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION	
GRATED INLET ONLY (NO INLET PIPES)	
GRATED INLET WITH INLET PIPE OR PIPES	
CURB INLET ONLY (NO INLET PIPE)	
CURB INLET WITH INLET PIPE OR PIPES	
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)	
SEDIMENT WEIR FOR NUDEP / NIGAT CONFORMING UNITS	



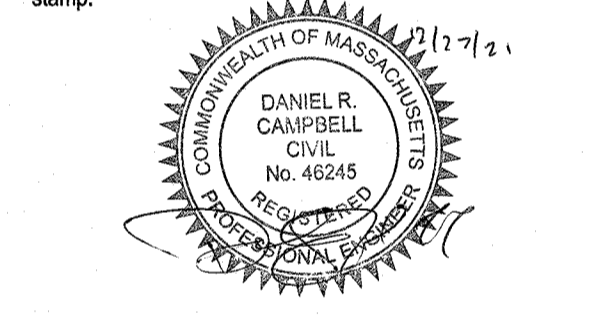
**CDS UNIT DETAILS AND SPECIFICATIONS**

**STANDARD CATCH BASIN FRAME & GRATE NOT TO SCALE**

**STANDARD MANHOLE FRAME & COVER NOT TO SCALE**

**Construction Set**

**LEVEL**  
DESIGN GROUP  
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revision	revision description	date
1	COMMENT RESPONSE	9-15-2021
2	COMMENT RESPONSE	11-5-2021
3	ENDORSEMENT SET	12-22-2021

project title:  
**FACTORY SQUARE FRANKLIN**

5 FISHER STREET, FRANKLIN, MA 02038

client information:  
K FISHER STREET LLC

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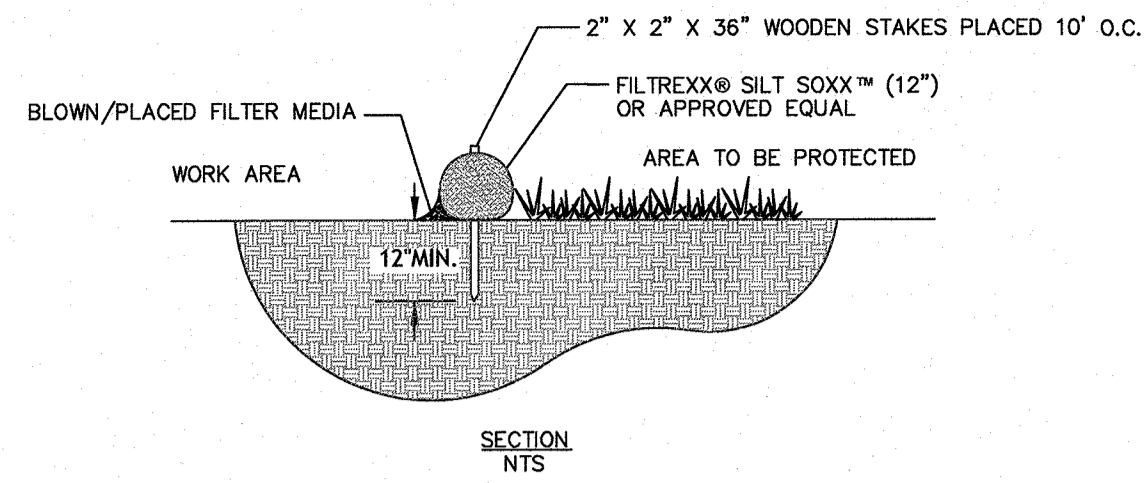
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drawing title  
**TYPICAL DETAILS**

project number	drawing scale	approver
1899.00	AS SHOWN	

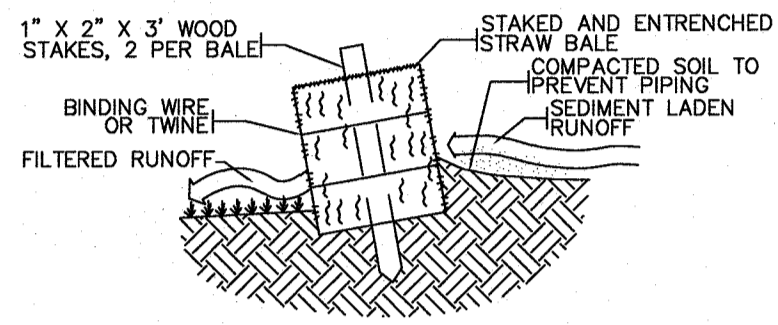
drawing number	revision
C-4.1	





- NOTES:
1. ALL MATERIAL TO MEET FILTERXXX SPECIFICATIONS.
  2. SILT SOXX™ FILL TO MEET APPLICATION REQUIREMENTS.
  3. COMPOST MATERIAL TO BE DISPERSED ON SITE.

**FILTREXX SILT SOXX**  
NOT TO SCALE



**CROSS-SECTION OF STRAW BALE EROSION CHECK**  
NOT TO SCALE

**SC-740 STORMTECH CHAMBER SPECIFICATIONS**

1. CHAMBERS SHALL BE STORMTECH SC-740.
2. CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE OR POLYETHYLENE COPOLYMERS.
3. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLYETHYLENE) OR ASTM F2418-16a (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
4. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
5. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
6. CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
7. REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
8. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
  - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
  - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
  - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2922 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
9. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

**IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM**

1. STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH SC-310 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
  - STONESHOOTER LOCATED OFF THE CHAMBER BED.
  - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
  - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
4. THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
6. MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
7. EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4" (20-50 mm).
8. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
9. ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

**NOTES FOR CONSTRUCTION EQUIPMENT**

1. STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
  2. THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
    - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
    - NO RUBBER TIRE LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
    - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
  3. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

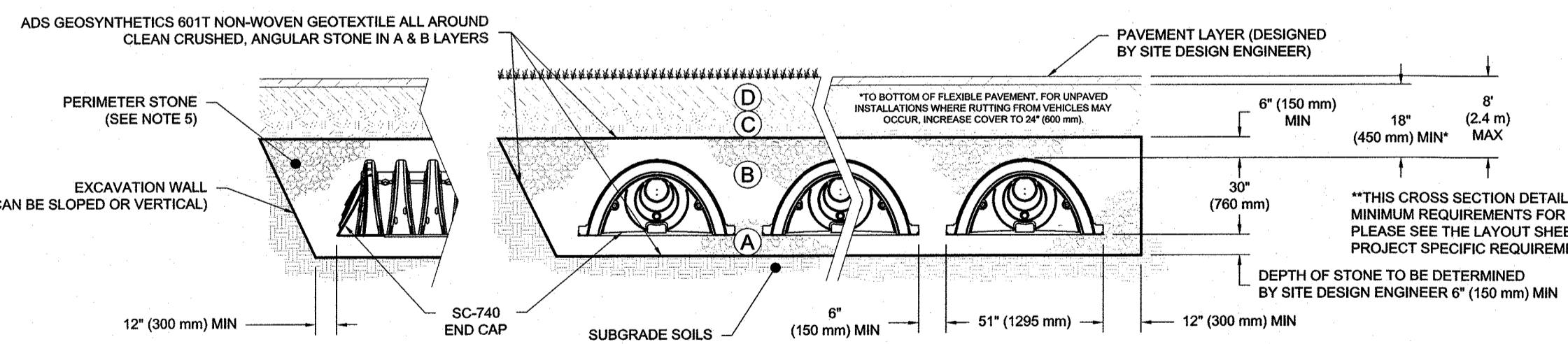
**NOTES:**

1. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2922 (POLYETHYLENE) OR ASTM F2418-16a (POLYPROPYLENE), "STANDARD SPECIFICATION FOR CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
4. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.8 OF ASTM F2922 SHALL BE GREATER THAN OR EQUAL TO 400 LBS/IN. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

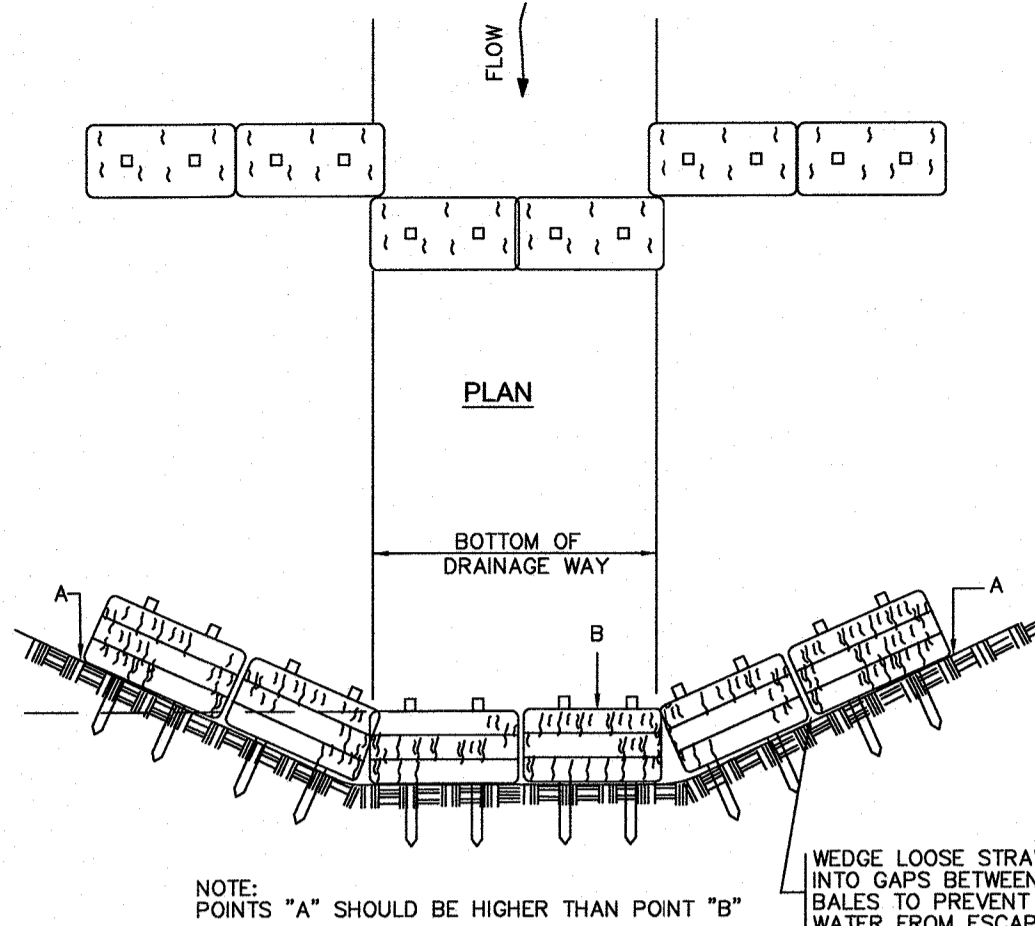
**ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, <3% FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LIEU OF THIS LAYER.	AASHTO M145 <sup>1</sup> A-1, A-2.4, A-3 OR AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57

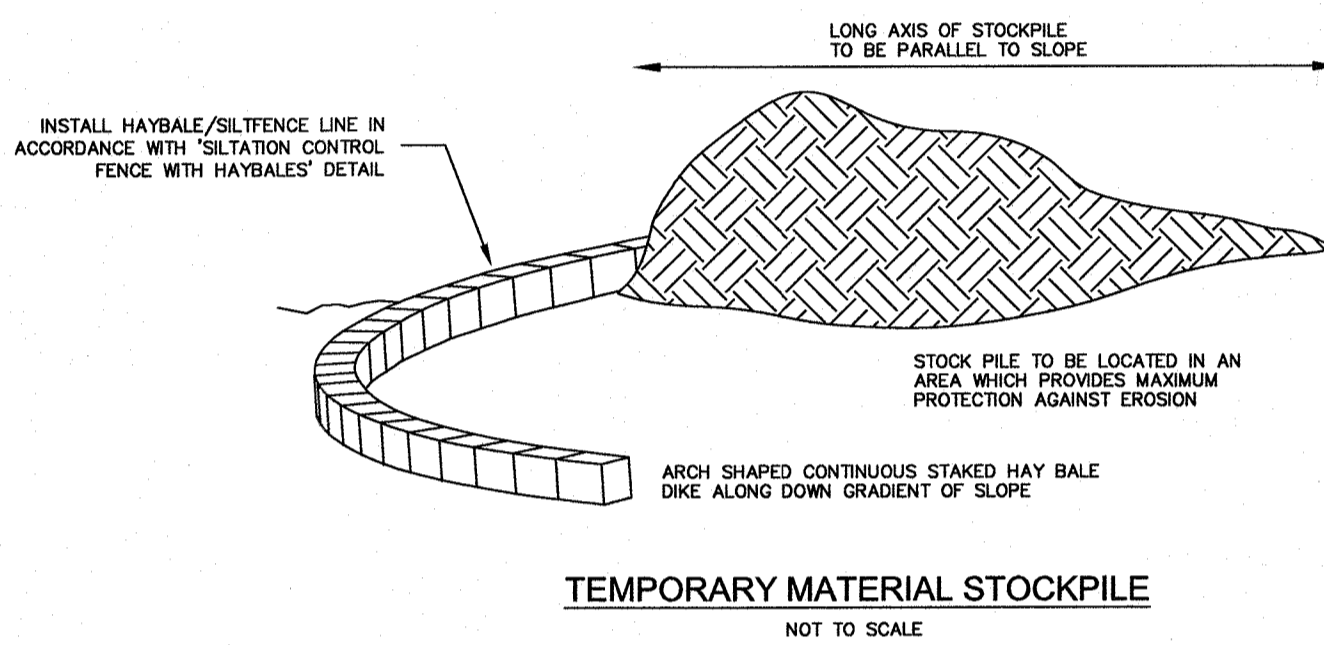
- PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
  2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR "A" LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR.
  3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
  4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



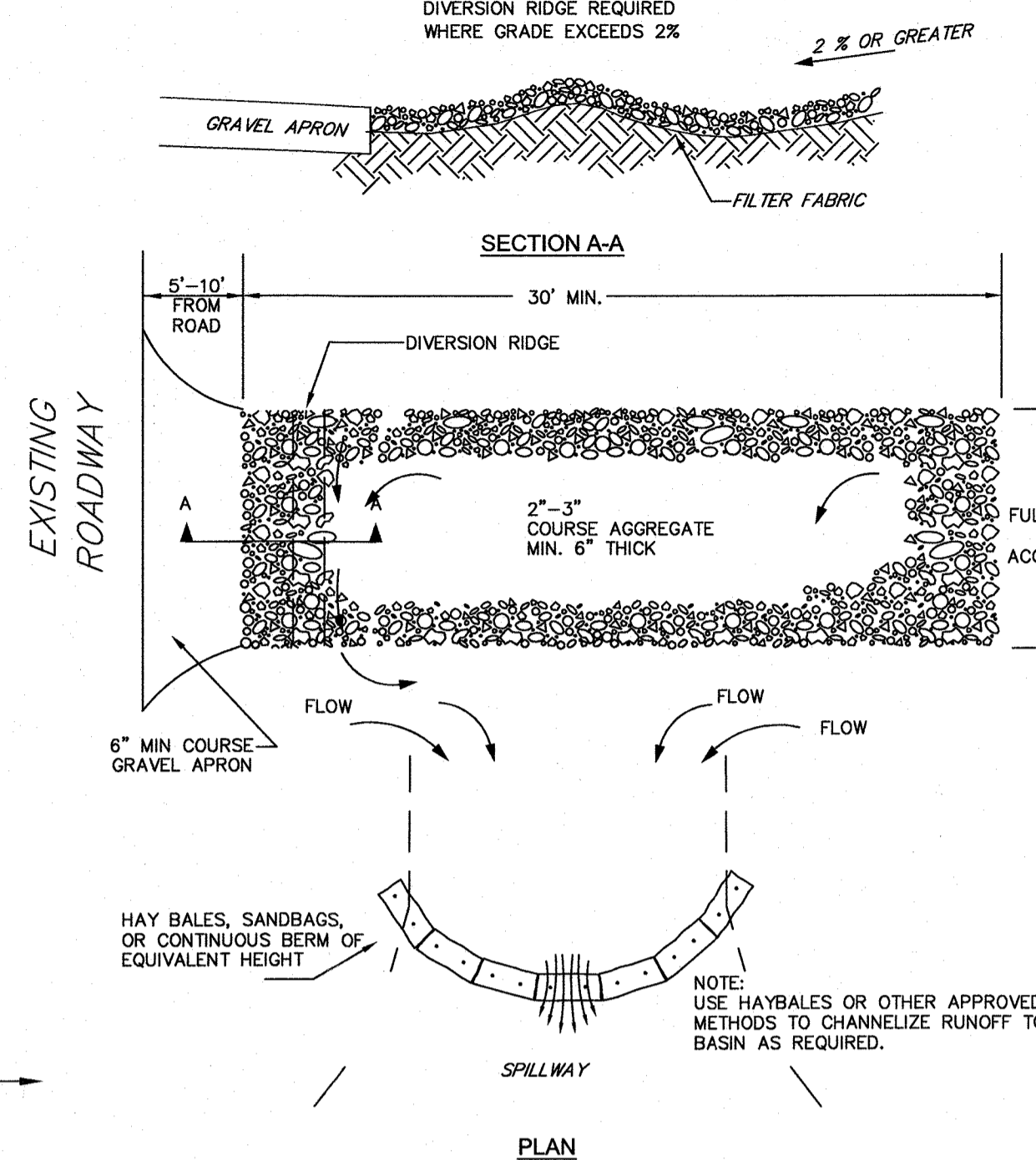
**SC-740 CROSS SECTION DETAIL**



**PLACEMENT OF STRAW BALE EROSION CHECK**  
NOT TO SCALE

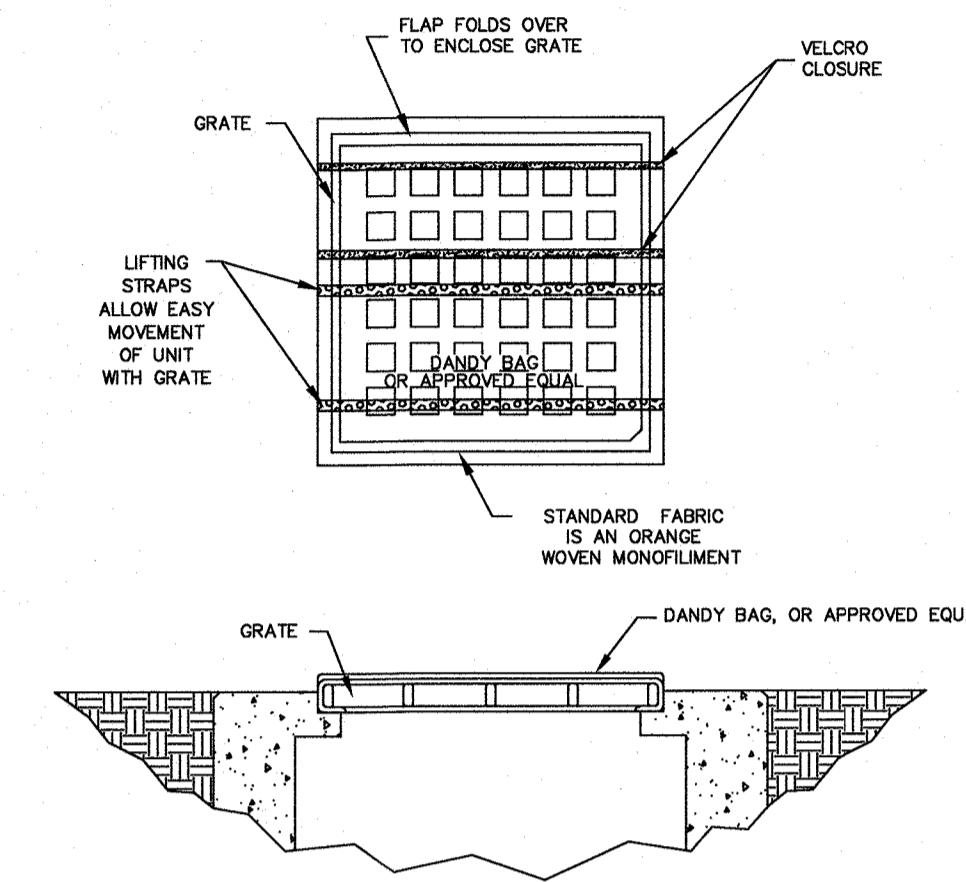


**TEMPORARY MATERIAL STOCKPILE**  
NOT TO SCALE



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITIONS THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS TO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

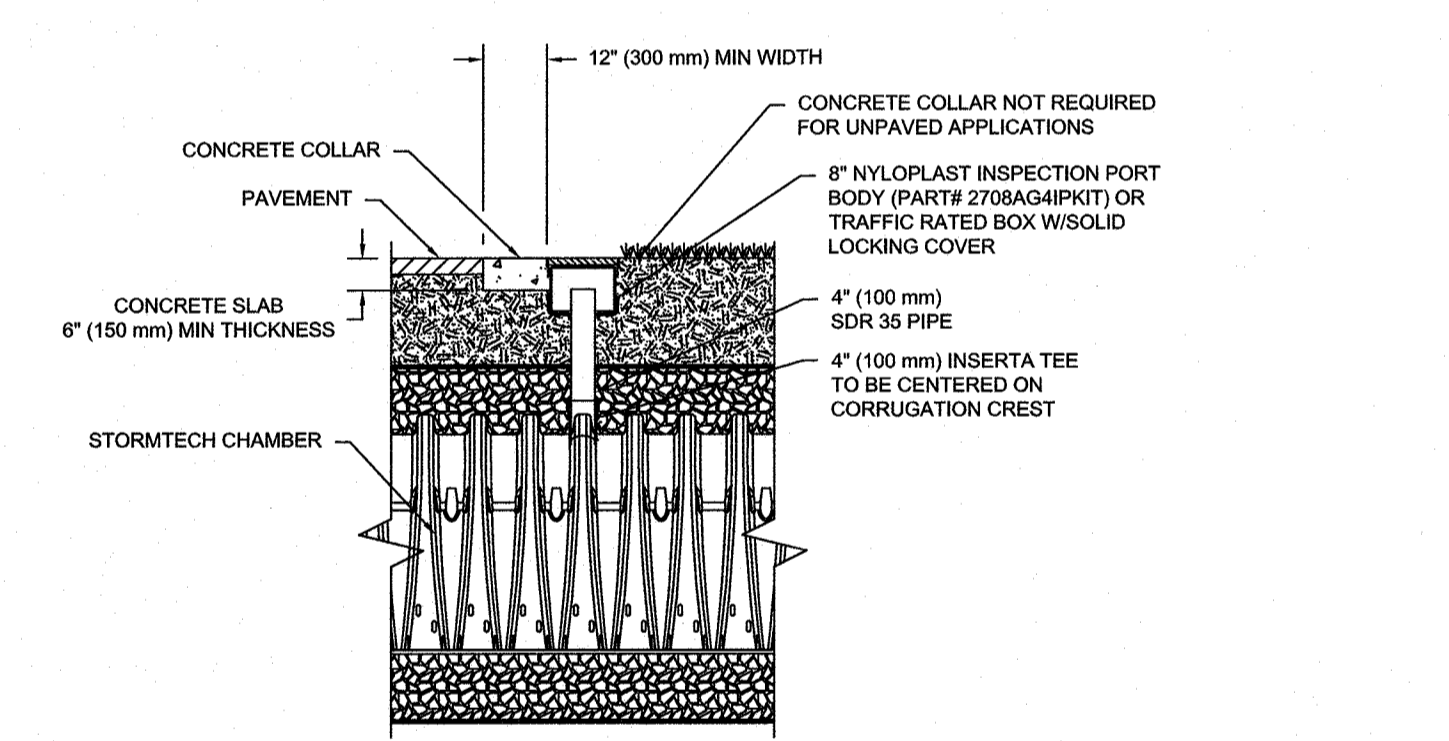
**TEMPORARY CONSTRUCTION ENTRANCE/EXIT DETAIL**  
NOT TO SCALE



NOTES:

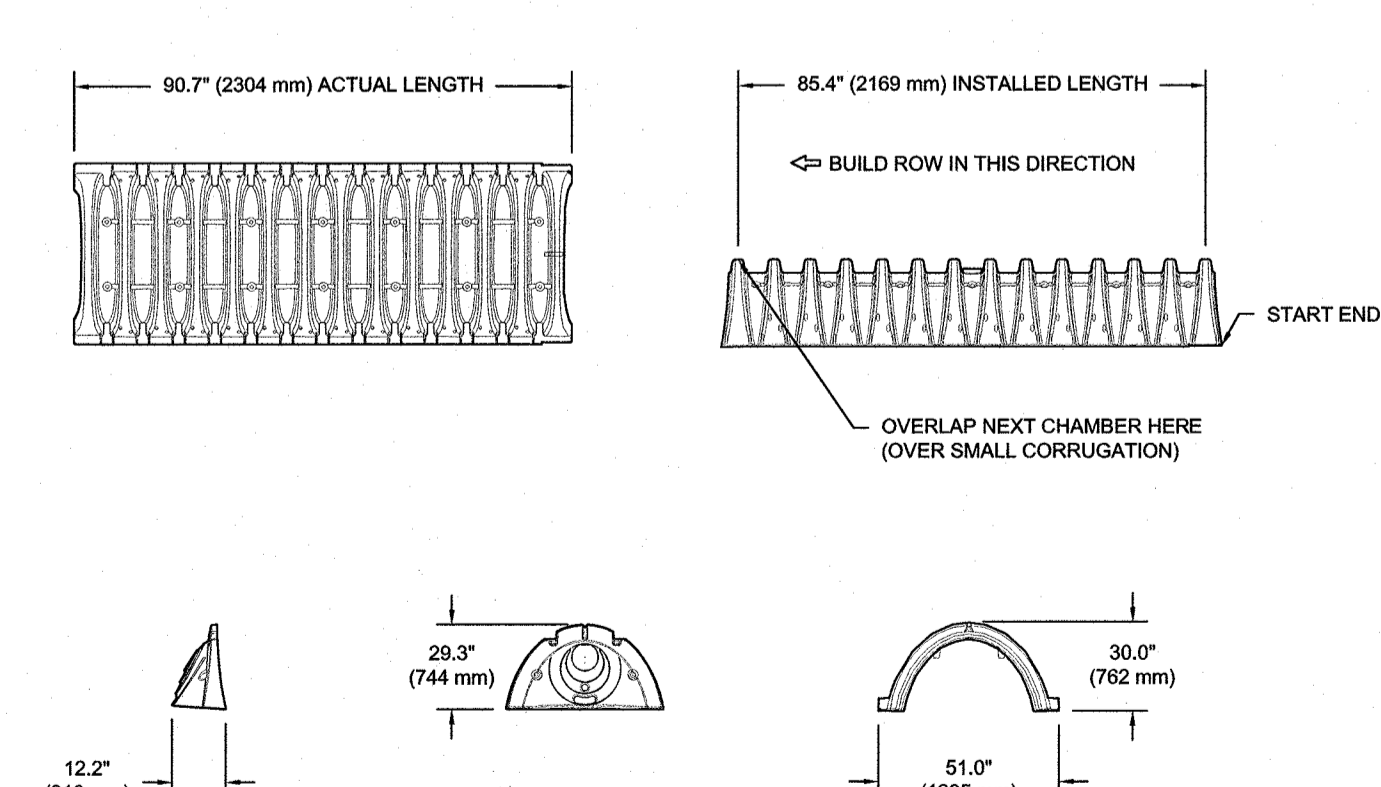
- INSTALLATION: THE EMPTY DANDY BAG, OR APPROVED EQUAL, SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLW IN POUCH, ON THE BOTTOM (BELOW-GRADE SIDE) OF THE UNIT. ATTACH ABSORBENT PILLW TO TETHER LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. HOLDING THE LIFTING DEVICES (DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE WEIGHT OF THE GRATE), PLACE THE GRATE INTO ITS FRAME.
- MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS, REMOVE AND REPLACE ABSORBENT PILLW WHEN NEAR SATURATION.

**CATCH BASIN INLET PROTECTION**  
NOT TO SCALE



NOTE: INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.

**4\"/>**



**NOMINAL CHAMBER SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	(1295 mm X 762 mm X 2170 mm)
CHAMBER STORAGE	51.0\"/>
MINIMUM INSTALLED STORAGE*	45.9 CUBIC FEET (1.30 m <sup>3</sup> )
WEIGHT	74.80 CUBIC FEET (2.12 m <sup>3</sup> )
	74.0 lbs (33.6 kg)

\*ASSUMES 6" (152 mm) ABOVE, BELOW, AND BETWEEN CHAMBERS

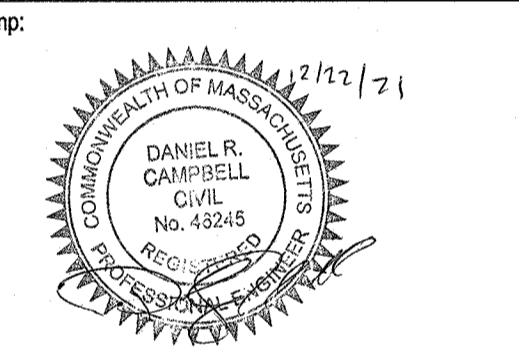
APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_  
BEING A MAJORITY

**Construction Set**

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revision	description	date
1	COMMENT RESPONSE	9-15-2021
2	COMMENT RESPONSE	11-5-2021
3	ENDORSEMENT SET	12-22-2021

project title:  
**FACTORY SQUARE FRANKLIN**

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client information:  
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drawing title  
**TYPICAL DETAILS**

project number	drawing scale	approver
1899.00	AS SHOWN	
drawing number		revision
C-4.2		