

ZONE: INDUSTRIAL
PER FRANKLIN ZONING BY-LAW

	2008 ZONING	2021 ZONING	APPROVED	AS-BUILT
MINIMUM LOT AREA	40,000 S.F.	40,000 S.F.	40,032 S.F.	40,032 S.F.
MINIMUM LOT FRONTAGE	175 FT	175 FT	327.51 FT	327.51 FT
MINIMUM YARDS				
FRONT	40 FT	40 FT	41.6 FT	41.6 FT
SIDE	30 FT	30 FT	39.9 FT	39.9 FT
REAR	30 FT	30 FT	N/A	N/A
MAXIMUM PERCENT OF LOT UPLAND COVERED BY STRUCTURES	50%	70%	20.3%	20.3%
MAXIMUM PERCENT OF LOT UPLAND COVERED BY STRUCTURES AND PAVING WITH PAVING BEHIND BLDG	60%	80%	75%	76.7%
WATER RESOURCE * DISTRICT ZONE II MAXIMUM PERCENT OF LOT UPLAND COVERED BY STRUCTURES AND PAVING WITH PAVING BEHIND BLDG	15%	80%***	78.7%	(76.7%)

* PER ZONING 185-40. D.(1) I.(ii)

2008 ZONING INFORMATION:
RENDERING IMPERVIOUS MORE THAN 15% OR 2,500 S.F. OF THE LOT AREA, WHICHEVER IS GREATER, OF A LOT LOCATED WITHIN THE WATER RESOURCE DISTRICT. HOWEVER, RENDERING IMPERVIOUS MORE THAN 15% BUT NO MORE THAN 60% OF THE LOT AREA OF A LOT LOCATED WITHIN THE WATER RESOURCE DISTRICT IS PERMITTED ONLY IN INDUSTRIAL AND COMMERCIAL ZONES AND ONLY UPON THE ISSUANCE OF A SPECIAL PERMIT. AN APPLICANT FOR A SPECIAL PERMIT MUST PROVIDE ARTIFICIAL RECHARGE THAT DOES NOT DEGRADE GROUNDWATER QUALITY. THE PROPOSED WATER RECHARGE EFFORTS SHALL BE PERMITTED ONLY UPON THE APPROVAL OF A HYDROGEOLOGIST RETAINED BY THE TOWN OF FRANKLIN AT THE EXPENSE OF THE APPLICANT, UNDER THE PROVISIONS OF MGL c. 44 SECTION 53G.

2014 ZONING INFORMATION:
NONRESIDENTIAL ZONES, NONRESIDENTIAL USES: RENDERING IMPERVIOUS COVERAGE UP TO 80% OF THE UPLAND AREA OF A LOT LOCATED WITHIN WATER RESOURCE DISTRICT IS PERMITTED ONLY IN NONRESIDENTIAL ZONES PROVIDED AN APPLICATION FOR SITE PLAN APPROVAL HAS BEEN PROVIDED.
AN APPLICANT FOR SITE PLAN APPROVAL MUST PROVIDE ARTIFICIAL RECHARGE EFFORTS SHALL BE PERMITTED ONLY UPON THE APPROVAL OF A HYDROGEOLOGIST RETAINED BY THE TOWN OF FRANKLIN AT THE EXPENSE OF THE APPLICANT, UNDER PROVISIONS OF MGL c. 44 SECTION 53G.

** SEE DECISION FOR IMPERVIOUS COVERAGE GRANTED BY THE FRANKLIN ZBA DATED AUGUST 7, 2008 GRANTING AN IMPERVIOUS COVERAGE VARIANCE OF 78.7%
SEE PLANNING BOARD DECISION DATED SEPTEMBER 23, 2008 VOTING TO APPROVE LIMITED SITE PLAN MODIFICATION 76 GROVE STREET (LOT 3) CONCEPT ONE

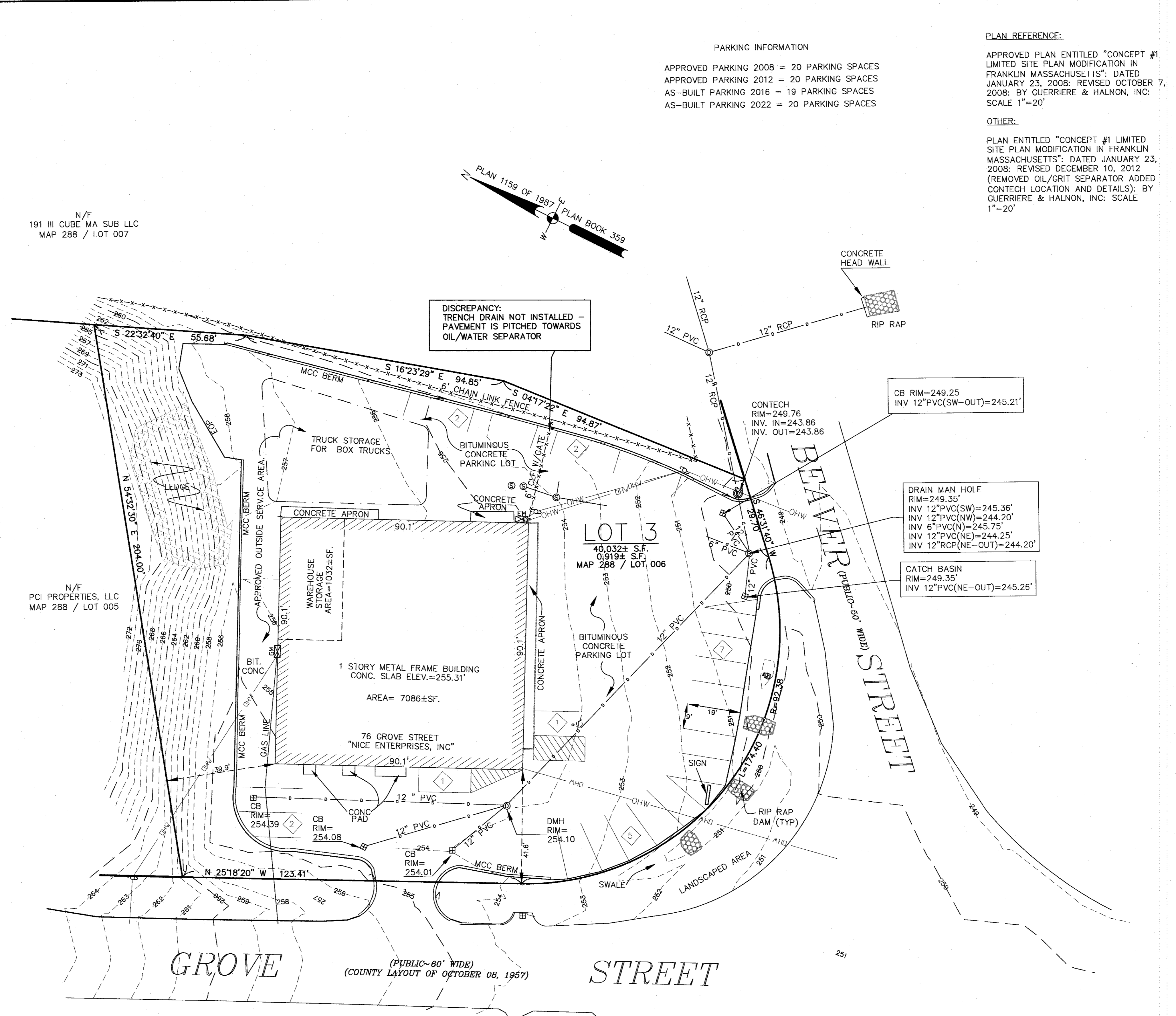
***SEE PLAN BY GUERRIERE AND HALNON, INC. REVISED TO DEC. 10, 2012 ENTITLED LIMITED SITE PLAN MODIFICATION CONCEPT #1 WITH APPROVED COVERAGE OF 78.7%

LEGEND

	TREE
	MAIL BOX
	UTILITY POLE
	GUY WIRE
	SEWER MAN HOLE
	BOLLARD / BUMPER
	CATCH BASIN
	DRAIN MAN HOLE
	WATER VALVE
	FIRE HYDRANT
	GAS METER
	ELECTRIC METER
	SIGN
	OVER HEAD WIRE
	CONTOUR LINE

DIG SAFE NOTE:
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL 1(888)DIG-SAFE "DIG-SAFE" AT 1(888)344-7233

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



PARKING INFORMATION
APPROVED PARKING 2008 = 20 PARKING SPACES
APPROVED PARKING 2012 = 20 PARKING SPACES
AS-BUILT PARKING 2016 = 19 PARKING SPACES
AS-BUILT PARKING 2022 = 20 PARKING SPACES

PLAN REFERENCE:
APPROVED PLAN ENTITLED "CONCEPT #1 LIMITED SITE PLAN MODIFICATION IN FRANKLIN MASSACHUSETTS", DATED JANUARY 23, 2008; REVISED OCTOBER 7, 2008; BY GUERRIERE & HALNON, INC. SCALE 1"=20'

OTHER:
PLAN ENTITLED "CONCEPT #1 LIMITED SITE PLAN MODIFICATION IN FRANKLIN MASSACHUSETTS", DATED JANUARY 23, 2008; REVISED DECEMBER 10, 2012 (REMOVED OIL/GRIT SEPARATOR ADDED CONTECH LOCATION AND DETAILS); BY GUERRIERE & HALNON, INC. SCALE 1"=20'

I CERTIFY THAT THIS PLAN WAS PREPARED FROM AN ON THE GROUND SURVEY AND THAT THE BUILDING AND IMPROVEMENTS ARE LOCATED ON THE LOT AS SHOWN HEREON.

ROBERT CONSTANTINE II
No. 45611
PROFESSIONAL LAND SURVEYOR DATE 7/6/2022

OWNER / APPLICANT:
NICE ENTERPRISES, INC.
106 MENDON STREET
BELLINGHAM, MA 02019

LEGAL REFERENCE
ASSESSORS MAP 288 / LOT 006
DEED BOOK 23265 / PAGE 599

PLAN REFERENCE
PLAN 1159 OF 1987 / PLAN BOOK 359
PLAN 438 OF 1981 / PLAN BOOK 288

REVISIONS

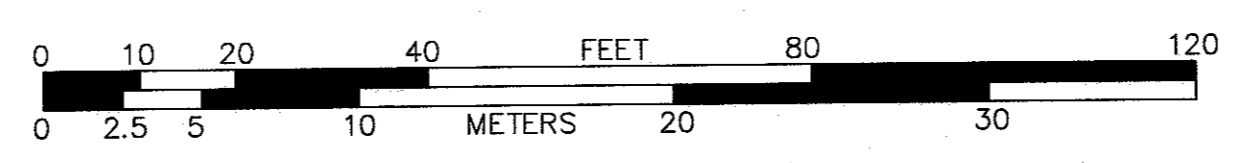
DATE	REVISED

Guerriere & Halnon, Inc.
Engineering & Land Surveying
Ph. (508) 528-3221 55 WEST CENTRAL STREET
Fx. (508) 528-7921 FRANKLIN, MA 02038
www.guerriereandhalnon.com

SITE AS-BUILT LIMITED SITE PLAN MODIFICATION
76 GROVE STREET (LOT 3)
FRANKLIN, MASSACHUSETTS

DATE	JULY 1, 2022	SCALE	1"=20'
SHEET	1 OF 1	JOB NO.	F3346

JOB NO. **F3346**



SITE PLAN OF LAND

FORM H
ENGINEER'S CERTIFICATE OF COMPLETION
(to be executed by developer's engineer)

Site Plan known as 76 Grove Street (Lot 3) Limited Site Plan Modification
in Franklin, Massachusetts

I hereby certify that all improvements required for the above referenced site plan have been completed in all respects in accordance with the Town of Franklin zoning requirements and the approved plans entitled **
prepared by Guerriere & Halnon, Inc. and dated January 23, 2008, as approved by the said Planning Board on October 20, 2008.
Last Rev. Oct. 7, 2008

**76 Grove Street (Lot 3) Limited Site Plan Modification
in Franklin, Massachusetts

Signed this 7th day of July, 2022
By Dale Mackinnon Reg. C.E.



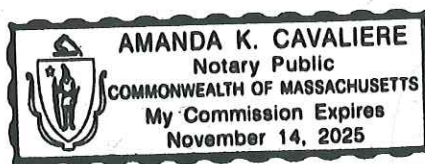
COMMONWEALTH OF MASSACHUSETTS

NORFOLK, SS.

July 7th, 2022

On this 7th day of July, 2022, before me, the undersigned notary public, personally appeared Dale Mackinnon (name of engineer), proved to me through satisfactory evidence of identification, which were MA LICENSE to be the person whose name is signed on the preceding document in my presence.

Amanda K. Cavaliere
(Official signature and seal of notary)
Notary Public:
My Commission Expires: Nov. 14, 2025





TOWN OF FRANKLIN

DEPARTMENT OF PUBLIC WORKS

Franklin Municipal Building
257 Fisher Street
Franklin, MA 02038-3026

July 19, 2022

Mr. Greg Rondeau, Chairman
Members of the Franklin Planning Board
355 East Central Street
Franklin, MA 02038

RE: Final Form H – #76 Grove St

Dear Mr. Chairman and Members:

In response to the applicant's submission of a final Form H for the subject project, we reviewed the final as-built plan, the approved Limited Site Plan Modification from 2008, and performed a site visit. We offer the following comments:

1. As noted on the as-built plan, the proposed trench drain at the corner of the building was not installed, but rather the pavement was graded to the two catch basins at the entrance on Beaver St. The two catch basins at this location are set low with a slight hump in the driveway apron and while we haven't had the opportunity to witness them in a heavy rain, they appear to be effective.
2. The proposed oil/grit separator was not installed downstream of the trench drain as shown on the plan, however a water quality manhole was installed downstream of all the site catch basins which is providing water quality treatment for a larger portion of the site.
3. The proposed plan called out for the removal of 786+/- sf of pavement from the rear of the site which was to be replaced with 12" to 18" of crushed stone, however the existing asphalt has not been removed.

Should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

Michael Maglio, P.E.
Town Engineer

Town of Franklin

355 East Central Street
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907
www.franklinma.gov

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MEMORANDUM

DATE: July 20, 2022
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 766 Grove Street
Final Form H

General

1. The Planning Board approved a Site Plan for 76 Grove Street on January 23, 2008.
2. The Applicant has submitted a Final Form H for the Site Plan.
3. Mike Maglio, Town Engineer reviewed the as-built plans and has submitted a comment letter.
4. DPCD recommends a Partial Form H be issued until all outstanding items are complete.

ZONING REQUIREMENTS

ZONE: RURAL RESIDENTIAL 1
PROPOSED USE: GROUND-MOUNTED SOLAR PV SYSTEM

AREA	REQUIRED	PROPOSED
FRONTAGE	40,000 SF	2,098,739 SF
DEPTH	200 FT	967 FT
LOT WIDTH	200 FT	1,531 FT
FRONT YARD	180' DIA.	667' DIA.
SIDE YARD	40 FT	40 FT
REAR YARD	40 FT	40 FT
MAXIMUM HEIGHT	35 FT	N/A
MAXIMUM IMPER. COVERAGE OF EXISTING UPLAND	25%	(971 SF / 1,924,655)

RED LINE AS-BUILT NOTES

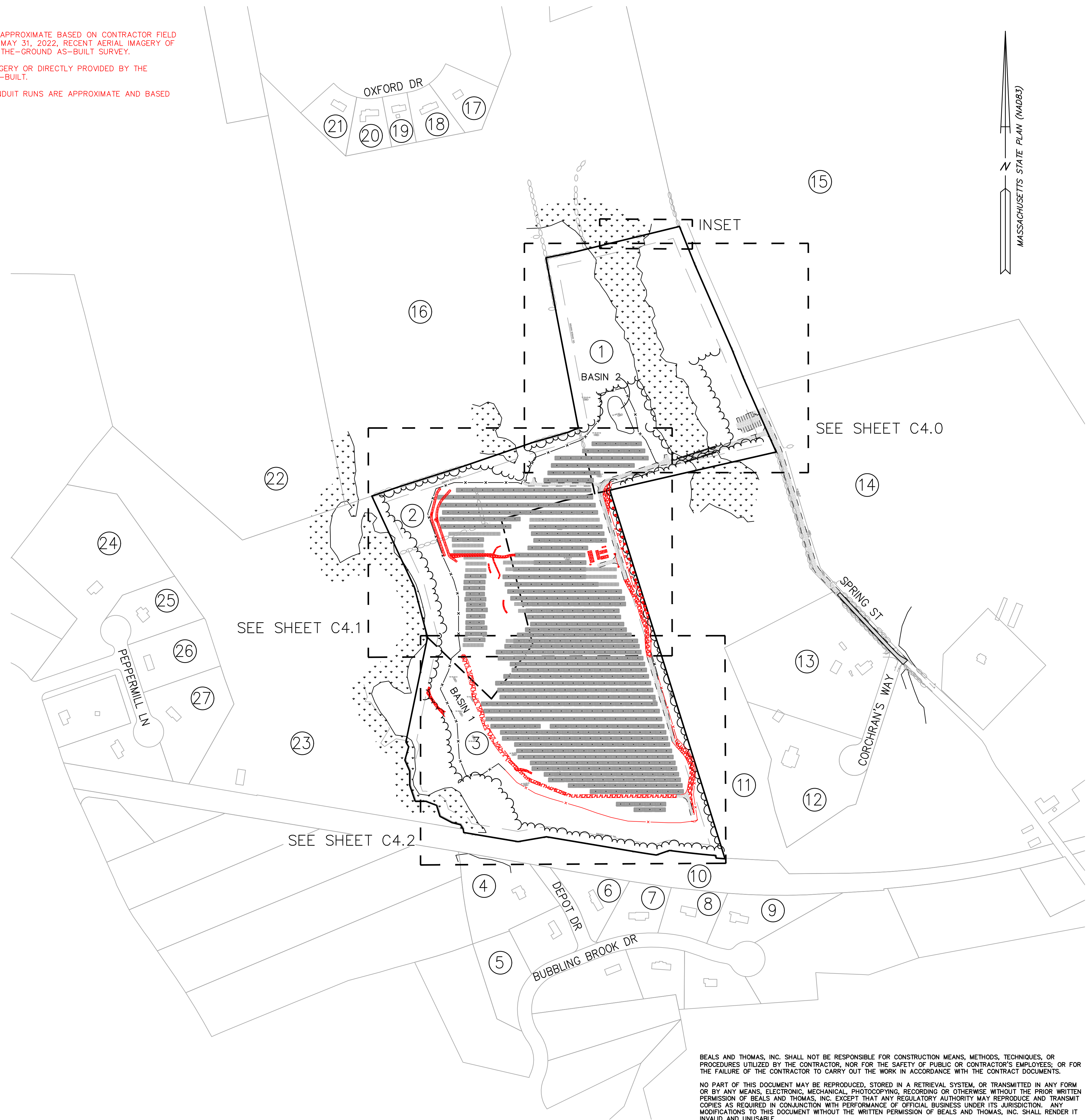
- AS-BUILT INFORMATION DEPICTED IN RED IS APPROXIMATE BASED ON CONTRACTOR FIELD SKETCHES RECEIVED ON MAY 20, 2022 AND MAY 31, 2022, RECENT AERIAL IMAGERY OF THE SITE, AND IS NOT BASED UPON AN ON-THE-GROUND AS-BUILT SURVEY.
- ANY DEVIATIONS NOT VISIBLE BY AERIAL IMAGERY OR DIRECTLY PROVIDED BY THE CONTRACTOR ARE NOT INCLUDED IN THIS AS-BUILT.
- FINAL SOLAR PANEL LOCATIONS AND MV CONDUIT RUNS ARE APPROXIMATE AND BASED ON NEXMAP FIELD MARKUPS.

- 1 RICHARD COSTELLO
MAP 310, PARCEL 2
ZONE: RURAL RESIDENTIAL 1 (RR1)
USE: RES. DEV LAND
- 2 MICHAEL BUCCI
MAP 309, PARCEL 15
ZONE: RR1
USE: RES. UNDEV LAND
- 3 ANTHONY DEPOTO
MAP 323, PARCEL 44
ZONE: RR1
USE: RES. UNDEV LAND
- 4 STUART KLEIN
MAP 324, PARCEL 31
ZONE: RR1
USE: ONE FAMILY
- 5 EDWARD MAZUKINA
MAP 323, PARCEL 2
ZONE: RR1
USE: ONE FAMILY
- 6 WILLIAM LESSARD
MAP 323, PARCEL 4
ZONE: RR1
USE: ONE FAMILY
- 7 GREGORY & JILL KUYKENDALL
MAP 323, PARCEL 5
ZONE: RR1
USE: ONE FAMILY
- 8 HEDWIG & KARL VONNEGUT
MAP 323, PARCEL 6
ZONE: RR1
USE: ONE FAMILY
- 9 ROBERT BECKMANN
MAP 323, PARCEL 7
ZONE: RR1
USE: ONE FAMILY
- 10 COMMONWEALTH OF MASSACHUSETTS
MAP 323, PARCEL 40
ZONE: RR1
USE: SNR - PARKS & RECREATION
- 11 PATRICIA MORSE
MAP 323, PARCEL 41
ZONE: RR1
USE: 61A/61B/COM
- 12 ERIC & KRISTEN POLITO
MAP 323, PARCEL 43
ZONE: RR1
USE: ONE FAMILY
- 13 BARBARA & HARRY COCHRAN
MAP 310, PARCEL 1
ZONE: RR1
USE: ONE FAMILY
- 14 PATRICIA MORSE
MAP 323, PARCEL 46
ZONE: RR1
USE: 61A/61B/COM

- 15 COMMONWEALTH OF MASSACHUSETTS
MAP 293, PARCEL 1
ZONE: RR1
USE: SNR - PARKS & RECREATION
- 16 TOWN OF FRANKLIN
MAP 310, PARCEL 2
ZONE: RR1
USE: VACANT - CONSERVATION
- 17 GARY & SUSAN NASSOIY
MAP 308, PARCEL 20
ZONE: RR1
USE: ONE FAMILY
- 18 CHRISTOPHER QUEALLY
MAP 308, PARCEL 21
ZONE: RR1
USE: ONE FAMILY
- 19 JOHN WAHLBERG
MAP 308, PARCEL 22
ZONE: RR1
USE: ONE FAMILY
- 20 TORI DUNHAM
MAP 308, PARCEL 23
ZONE: RR1
USE: ONE FAMILY
- 21 KYLE & KERI VINING
MAP 308, PARCEL 25
ZONE: RR1
USE: ONE FAMILY
- 22 FLOYD HENO
MAP 308, PARCEL 76
ZONE: RR1
USE: 61A/61B/COM
- 23 ALAN & LISA DAVIS
MAP 324, PARCEL 17
ZONE: RR1
USE: ONE FAMILY
- 24 MARK & ALEXANDRA LEPAGE
MAP 309, PARCEL 12
ZONE: RR1
USE: ONE FAMILY
- 25 JOSEPH & MICHELE TODESCA
MAP 309, PARCEL 13
ZONE: RR1
USE: ONE FAMILY
- 26 MICHAEL & KATHLEEN FITZGERALD
MAP 309, PARCEL 14
ZONE: RR1
USE: ONE FAMILY
- 27 STEPHEN & NANCY CUNNINGHAM
MAP 324, PARCEL 16
ZONE: RR1
USE: ONE FAMILY

OBSERVATION TEST HOLE DATA
PERFORMED BY: JOHN MADEIROS, R.S., SE#2849
ANDREWS SURVEY & ENGINEERING, INC. (10/16/18 & 10/17/18)

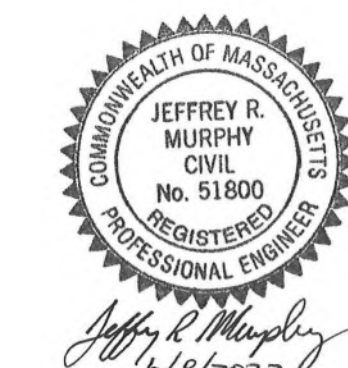
TH 1016-3 (ELEV. = 261.0)	0-3" A FSL
	3-16" B FSL
	16-48" C1 SL
	48-84" C2 SAND
	ESHGWT @ 3.0' (258.0)
	WATER @ 5' (256.0)
	REFUSAL @ N/A
TH 1016-4 (ELEV. = 260.0)	0-3" A FSL
	3-30" B FSL
	30-84" C SAND
	ESHGWT @ 2.5' (257.5)
	WATER @ 5.2' (254.8)
	REFUSAL @ N/A
TH 1016-5 (ELEV. = 261.0)	0-4" A FSL
	4-32" B FSL
	32-96" C SAND
	ESHGWT @ 2.3' (258.7)
	WATER @ 6.8' (254.2)
	REFUSAL @ N/A
TH 1017-10 (ELEV. = 267.0)	0-6" A FSL
	6-24" B FSL
	24-96" C SAND
	ESHGWT @ 4.0' (263.0)
	WATER @ 7.0' (260.0)
	REFUSAL @ N/A
TH 1017-16 (ELEV. = 338.8)	0-10" A FSL
	10-18" B FSL
	18-120" C SL
	ESHGWT @ 5' (333.8)
	WATER @ 9' (329.8)
	REFUSAL @ N/A



PREPARED FOR:

SPRING ST. RENEWABLES, LLC.

101 SUMMER STREET
BOSTON, MASSACHUSETTS
02110



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PREPARED BY:



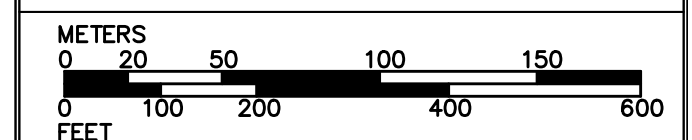
BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
T 508.366.0560 | www.bealsandthomas.com

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1	06/08/2022 RED LINE AS-BUILT
0	12/09/2019 ISSUED FOR CONSTRUCTION
ISSUE DATE DESCRIPTION	
NBB	NBB NPS JRM
DES	DWN CHK'D APP'D

PROJECT:

SPRING STREET RENEWABLES, LLC
FRANKLIN, MA.
(NORFOLK COUNTY)

SCALE: 1" = 200' DATE: DECEMBER 9, 2019



RED-LINE AS-BUILT INDEX

B+T JOB NO.3135.00

B+T PLAN NO.
313500P01C-003

C1.4

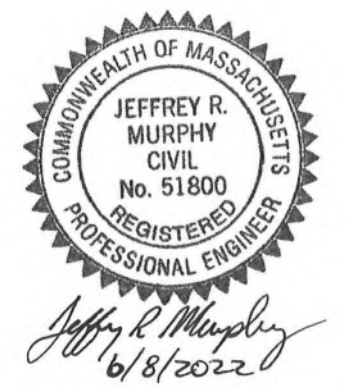
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PREPARED FOR:

SPRING ST. RENEWABLES, LLC.

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SPRING STREET RENEWABLES, LLC

FRANKLIN, MA.
(NORFOLK COUNTY)

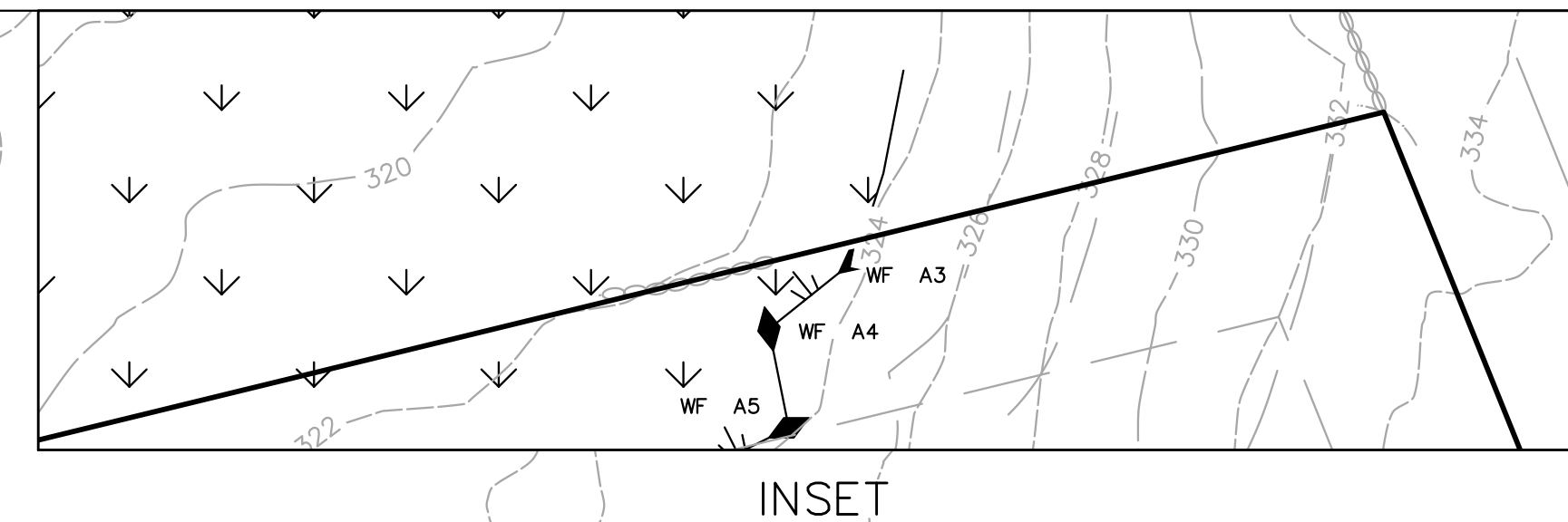
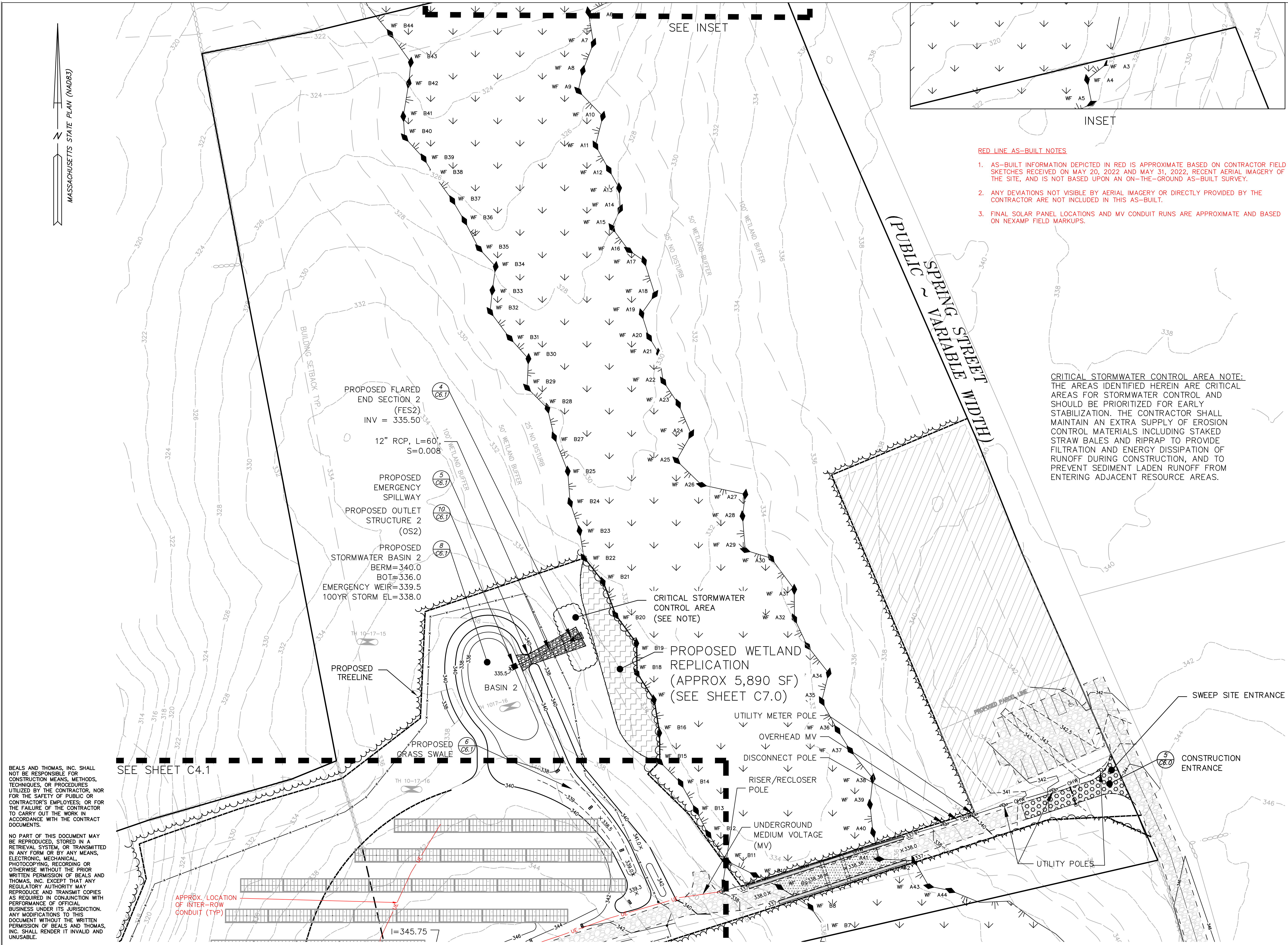
SCALE: 1" = 40' DATE: DECEMBER 9, 2019
METERS
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FEET
0 20 40 80 120

RED-LINE AS-BUILT GRADING, DRAINAGE AND UTILITIES PLAN

B+T JOB NO.3135.00

B+T PLAN NO.
313500P01C-010

C4.0



- RED LINE AS-BUILT NOTES**
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CRITICAL STORMWATER CONTROL AREA NOTE:
THE AREAS IDENTIFIED HEREIN ARE CRITICAL AREAS FOR STORMWATER CONTROL AND SHOULD BE PRIORITIZED FOR EARLY STABILIZATION. THE CONTRACTOR SHALL MAINTAIN AN EXTRA SUPPLY OF EROSION CONTROL MATERIALS INCLUDING STAKED STRAW BALES AND RIPRAP TO PROVIDE FILTRATION AND ENERGY DISSIPATION OF RUNOFF DURING CONSTRUCTION, AND TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING ADJACENT RESOURCE AREAS.

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MASSACHUSETTS STATE PLAN (MAD83)

SEE INSET

INSET

(PUBLIC) SPRING STREET VARIABLE WIDTH

PROPOSED FLARED END SECTION 2 (FES2)
INV = 335.50
12" RCP, L=60', S=0.008

PROPOSED EMERGENCY SPILLWAY
PROPOSED OUTLET STRUCTURE 2 (OS2)

PROPOSED STORMWATER BASIN 2
BERM=340.0
BOT=336.0
EMERGENCY WEIR=339.5
100YR STORM EL=338.0

CRITICAL STORMWATER CONTROL AREA (SEE NOTE)

PROPOSED WETLAND REPLICATION (APPROX 5,890 SF) (SEE SHEET C7.0)

PROPOSED TREELINE

BASIN 2

PROPOSED GRASS SWALE

UTILITY METER POLE
OVERHEAD MV
DISCONNECT POLE
RISER/RECLOSER POLE
UNDERGROUND MEDIUM VOLTAGE (MV)

UTILITY POLES

SWEEP SITE ENTRANCE

CONSTRUCTION ENTRANCE

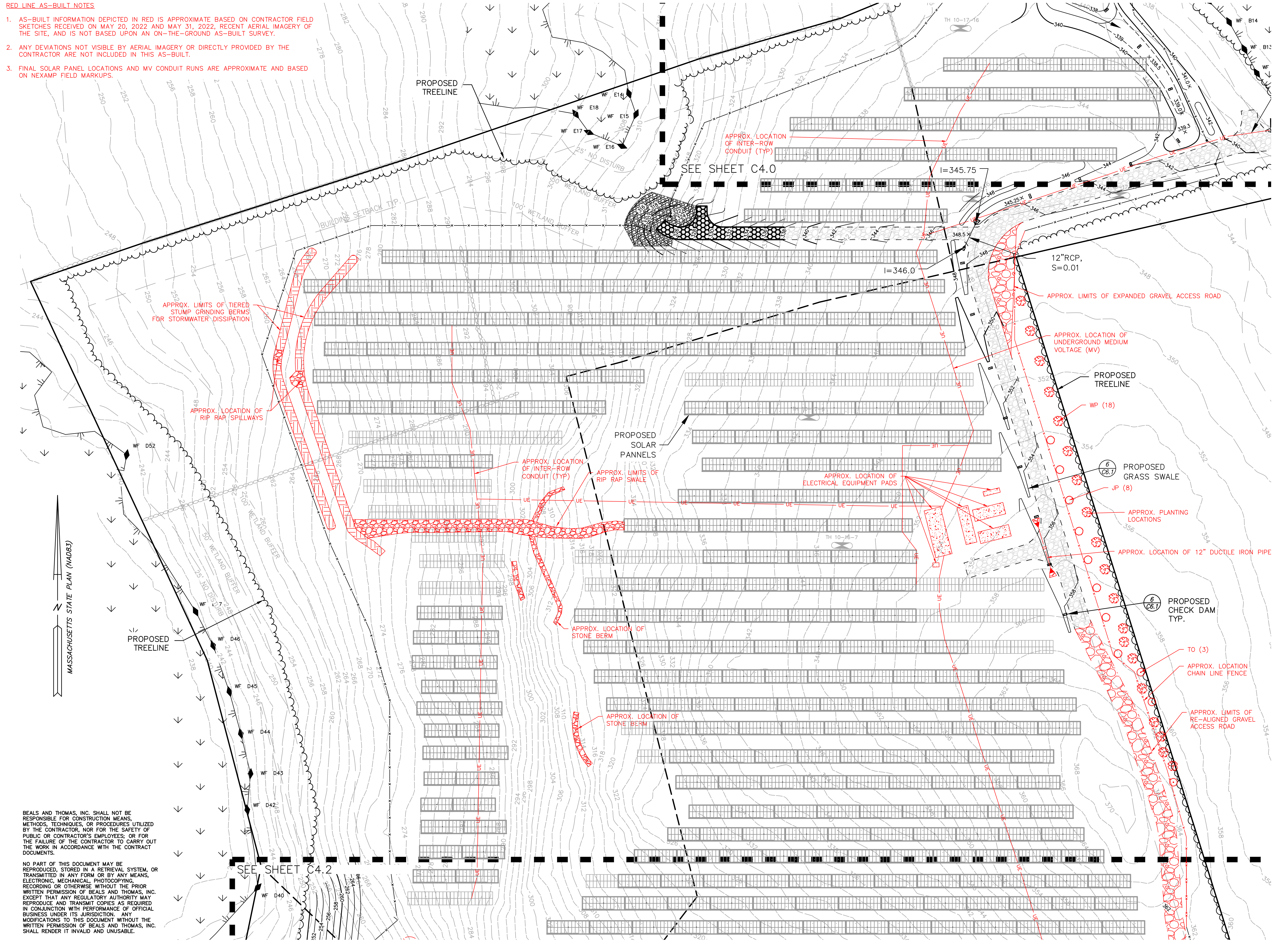
APPROX. LOCATION OF INTER-ROW CONDUIT (TYP)

SEE SHEET C4.1

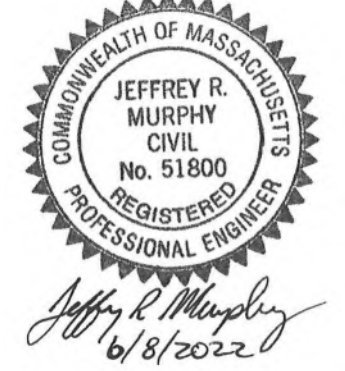
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RED LINE AS-BUILT NOTES

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PREPARED FOR:
SPRING ST. RENEWABLES, LLC.
 101 SUMMER STREET
 BOSTON, MASSACHUSETTS 02110



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PREPARED BY:
BEALS + THOMAS
 Civil Engineers + Landscape Architects +
 Land Surveyors + Planners +
 Environmental Specialists

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SCALE: 1" = 40' DATE: DECEMBER 9, 2019
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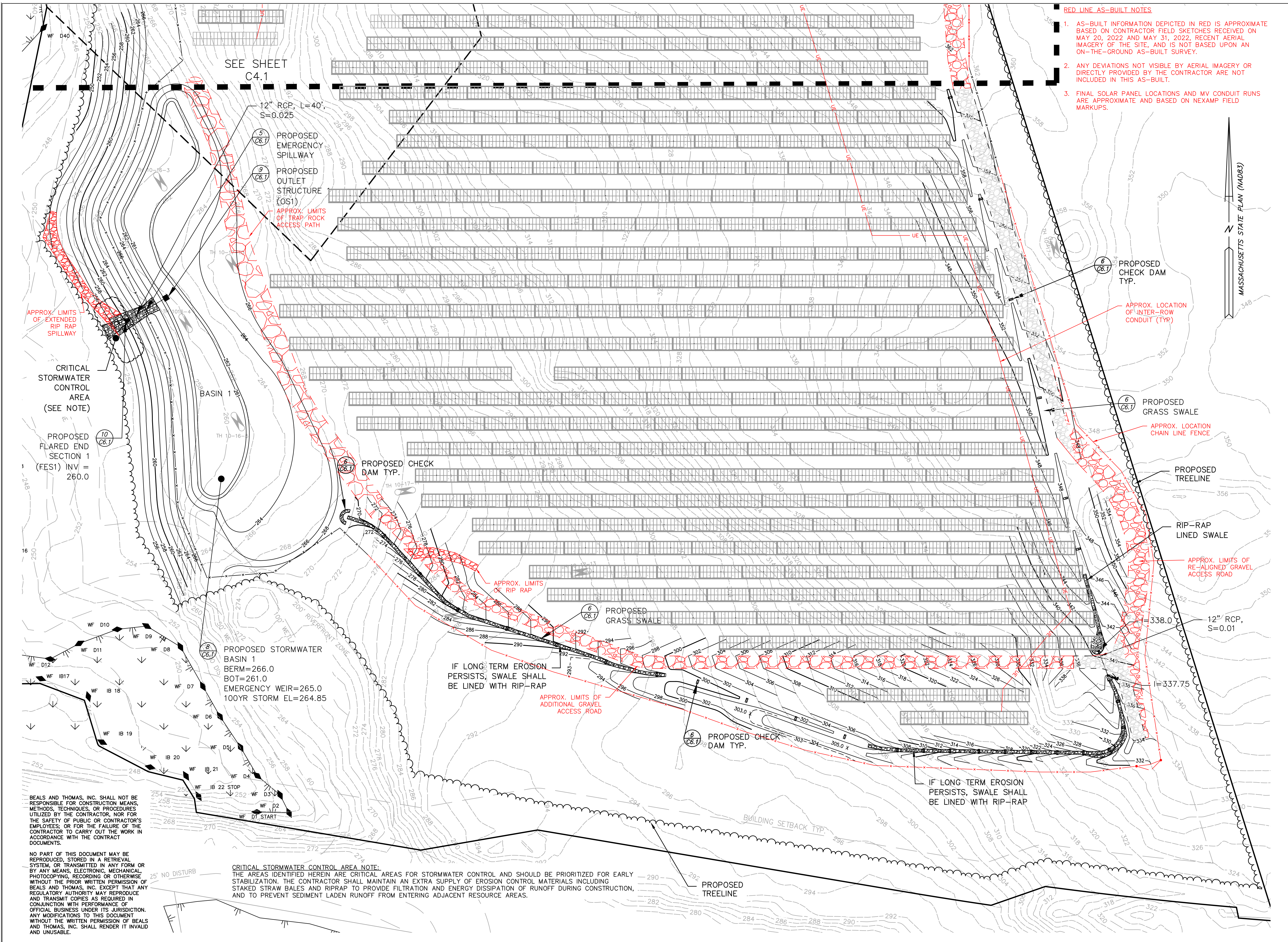
RED-LINE AS-BUILT GRADING, DRAINAGE AND UTILITIES PLAN

B+T JOB NO.3135.00
 B+T PLAN NO. 313500P01C-011

C4.1

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- RED LINE AS-BUILT NOTES**
- AS-BUILT INFORMATION DEPICTED IN RED IS APPROXIMATE BASED ON CONTRACTOR FIELD SKETCHES RECEIVED ON MAY 20, 2022 AND MAY 31, 2022. RECENT AERIAL IMAGERY OF THE SITE, AND IS NOT BASED UPON AN ON-THE-GROUND AS-BUILT SURVEY.
 - ANY DEVIATIONS NOT VISIBLE BY AERIAL IMAGERY OR DIRECTLY PROVIDED BY THE CONTRACTOR ARE NOT INCLUDED IN THIS AS-BUILT.
 - FINAL SOLAR PANEL LOCATIONS AND MV CONDUIT RUNS ARE APPROXIMATE AND BASED ON NEXAMP FIELD MARKUPS.

PREPARED FOR:

SPRING ST. RENEWABLES, LLC.

101 SUMMER STREET
BOSTON, MASSACHUSETTS
02110

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Jeffrey R. Murphy
6/8/2022

PREPARED BY:

BEALS + THOMAS
Civil Engineers + Landscape Architects +
Land Surveyors + Planners +
Environmental Specialists

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
T 508.366.0560 | www.bealsandthomas.com

5	
4	
3	
2	
1	06/08/2022 RED LINE AS-BUILT
0	12/09/2019 ISSUED FOR CONSTRUCTION
ISSUE DATE DESCRIPTION	
NBB	NBB NPS JRM
DES	DWN CHK'D APP'D

PROJECT:

SPRING STREET RENEWABLES, LLC

FRANKLIN, MA.
(NORFOLK COUNTY)

SCALE: 1" = 40' DATE: DECEMBER 9, 2019

RED-LINE AS-BUILT GRADING, DRAINAGE AND UTILITIES PLAN

B+T JOB NO. 3135.00

B+T PLAN NO. 313500P01C-012

C4.2

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CRITICAL STORMWATER CONTROL AREA NOTE:
THE AREAS IDENTIFIED HEREIN ARE CRITICAL AREAS FOR STORMWATER CONTROL AND SHOULD BE PRIORITIZED FOR EARLY STABILIZATION. THE CONTRACTOR SHALL MAINTAIN AN EXTRA SUPPLY OF EROSION CONTROL MATERIALS INCLUDING STAKED STRAW BALES AND RIPRAP TO PROVIDE FILTRATION AND ENERGY DISSIPATION OF RUNOFF DURING CONSTRUCTION, AND TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING ADJACENT RESOURCE AREAS.

PROPOSED STORMWATER BASIN 1
BERM=266.0
BOT=261.0
EMERGENCY WEIR=265.0
100YR STORM EL=264.85

IF LONG TERM EROSION PERSISTS, SWALE SHALL BE LINED WITH RIP-RAP

IF LONG TERM EROSION PERSISTS, SWALE SHALL BE LINED WITH RIP-RAP

12" RCP, L=40', S=0.025

PROPOSED EMERGENCY SPILLWAY

PROPOSED OUTLET STRUCTURE (OS1)

APPROX. LIMITS OF TRAP ROCK ACCESS PATH

PROPOSED CHECK DAM TYP.

PROPOSED GRASS SWALE

12" RCP, S=0.01

PROPOSED CHECK DAM TYP.

PROPOSED TREELINE

SEE SHEET C4.1

MASSACHUSETTS STATE PLAN (MAD083)



TOWN OF FRANKLIN - SITE OBSERVATION REPORT

Spring Street Solar

Report No.: **4831 84 - 9** Date: **July 14, 2022** Arrive: **11:00 AM**

Observer: **Matt Crowley, PE** Weather: **Clear, 80°** Leave: **12:30 PM**

Applicant: **Spring Street Renewables, LLC**
101 Summer Street, 2nd Floor
Boston, MA 02110

Contractor: **J&J Contractors, Inc.**
101 Billerica Ave, Bldg 5 Suite 205
North Billerica, MA 01862

Items Observed: **Conformance Observation – Submitted in conjunction with Applicant’s request for acceptance of Form H – Certificate of Completion**

OBSERVATIONS

Observation Requested By: Mark Edmunds – Construction Supervisor, Nexamp

Met/walked site with: Mark Edmunds – Construction Supervisor, Nexamp

Current Activity on Site: No current activity

Observed Construction: BETA arrived on-site to perform a conformance observation in conjunction with the Applicant’s for acceptance Form H – Certificate of Completion. The as-built plan, dated June 8, 2022, and Form H were provided by email. BETA walked the site and noted that the project has been constructed in general accordance with the approved plans with the following exceptions/notations:

- Red-line notations on the as-built plans including the addition of stump grinding berms for stormwater dissipation, addition of a rip rap swale on the interior of the array area, minor realignments of the gravel access road, and the extension of the gravel access road along the southerly and westerly sides of the arrays. BETA notes these revisions provide improved site stability and adequate access to perform general site maintenance.
- The provided as-built is not based upon field survey. BETA defers to the preference of the Board to provide a fully surveyed plan. At a minimum, BETA recommends for field survey to be performed in the areas of the stormwater basins so storage volumes and inverts can be confirmed.
- Utility poles have not been installed along Spring Street. The contractor has indicated this work is anticipated to be done by National Grid in 2023.
- Several stockpiles of excess building materials (e.g. conduit) remain throughout the site and should be removed.
- The accessible parking sign needs to be replaced. The contractor has noted the original installation was stolen.
- Perimeter erosion controls remain in place and should be removed at the discretion of the Conservation Commission.
- A small stockpile of gravel is located in the hammerhead located just outside the main access gate and should be spread. It was also noted that the hammerhead is partially blocked by boulders protecting the guy wire for the adjacent utility pole. The Engineer of Record should confirm that the space as installed will serve the purpose of the original design.

- The array areas are well stabilized and typically have good vegetative coverage throughout. There are several small areas with limited coverage; however, BETA estimates these represent a very small percentage of the site and remain stabilized.
- Sandbags need to be removed from Infiltration Basin 1 outlet control structure
- Infiltration Basin 1 needs to be maintained to remove wetland vegetation and accumulated silt. BETA notes the infiltrative capacity of the soils was likely impacted by siltation in the early stages of the project when the site was unstabilized. Following removal of vegetation and silt the underlying soils should be scarified and the surface restored with loam and seed in accordance with the Approved Plans.

Site Photos



Sediment basin at base of Spring Street Paving



Paved section of Spring Street with dense grade shoulder and rip rap swale



Typical processed gravel section of Spring Street



Public gravel parking area



Sign post missing accessible signage. Restored laydown area shown in background.



Typical perimeter erosion controls that remain in place



Access road at wetland crossing with retaining walls



Hammerhead near main access gate, partially blocked, and with gravel stockpile



Typical array area and vegetation



Typical array area and vegetation



Typical array area and vegetation



Limited area lacking full vegetation



Rip rap swale installed for site stabilization



Typical stump grinding berm



Sandbags that require removal from Infiltration Basin 1 outlet control structure



Infiltration Basin No.1, which requires maintenance and restoration



Infiltration Basin 2 – vegetated and operating as designed



Planting for screening that requires replacement



Typical plantings in good health



Typical gravel access road



Typical security fence



Typical natural vegetation in cleared (with stumps remaining) buffer area outside of arrays

Town of Franklin

355 East Central Street
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907
www.franklinma.gov

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MEMORANDUM

DATE: July 20, 2022
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: Spring Street Solar
Final Form H

General

1. The Planning Board approved a Special Permit and Site Plan for Spring Street Solar on May 20, 2019.
2. The Applicant has submitted a Final Form H for the Site Plan.
3. BETA has reviewed the as-built plans and has submitted a comment letter.
4. DPCD recommends a Partial Form H until all outstanding items listed in BETA's memo is complete.

SITE PLAN OF LAND
FORM H
ENGINEER'S CERTIFICATE OF COMPLETION
(to be executed by developer's engineer)

Site Plan known as Spring Street Solar

I hereby certify that all improvements required for the above referenced site plan have been completed in all respects in accordance with the Town of Franklin zoning requirements and the approved plans entitled Spring Street Renewables, LLC Large-Capacity Ground Mounted Solar Energy System prepared by Andrews Survey & Engineering, Inc and dated November 21, 2018, revised through April 8, 2019, as approved by the said Planning Board on May 20, 2019.

Signed this 13th day of July, 2022

By Jeffrey R. Murphy Reg. C.E.

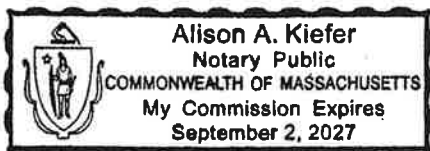
* Note: Beals and Thomas, Inc. is the current engineer of record signing on behalf of the Applicant, Spring Street Renewables, LLC.

COMMONWEALTH OF MASSACHUSETTS

Norfolk County, SS.

July 13th, 2022

On this 13th day of July, 2022, before me, the undersigned notary public, personally appeared Jeffrey R. Murphy (name of engineer), proved to me through satisfactory evidence of identification, which were MADL to be the person whose name is signed on the preceding document in my presence.



Alison A. Kiefer
(Official signature and seal of notary)
Notary Public:
My Commission Expires: 9/2/2027

Re: 206 Grove Street Form H

1 message

Michael Maglio <mmaglio@franklinma.gov>

Tue, Jul 19, 2022 at 10:11 AM

To: Matt Crowley <MCrowley@beta-inc.com>

Cc: Josh Berman <jberman@marcuspartners.com>, Garrett Horsfall <GHorsfall@kellyengineeringgroup.com>, Amy Love <alove@franklinma.gov>, "Dias, John" <jdias@arco1.com>

Hi Josh, I saw in my notes the Board also asked if any railings were needed on the ramps. This would also fall under the Building Dept so you should verify that also in case it comes up.

Michael Maglio, PE - Town Engineer
Franklin DPW - Engineering Division
[257 Fisher Street, Franklin, MA 02038](#)
508-553-5500

On Mon, Jul 18, 2022 at 9:14 PM Matt Crowley <MCrowley@beta-inc.com> wrote:

Hi Josh,

I'm attaching an email chain from a few weeks ago. BETA doesn't require any additional information but we've deferred to the Town to see if they require any formal documentation to confirm the gas trap has been installed. Since it is related to interior floor drains and within 10 feet of the building it would fall under plumbing jurisdiction. If they do not require any action on this you should be able to coordinate with Amy to be placed on an Agenda.

Matthew J. Crowley, PE

Senior Project Manager

BETA Group, Inc. | 781.255.1982

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Join our team! **Be GREEN, keep it on the SCREEN**

From: Josh Berman <jberman@marcuspartners.com>**Sent:** Monday, July 18, 2022 2:10 PM**To:** Matt Crowley <MCrowley@BETA-Inc.com>; Garrett Horsfall <GHorsfall@kellyengineeringgroup.com>; 'Amy Love' <alove@franklinma.gov>**Cc:** 'Dias, John' <jdias@arco1.com>; Michael Maglio (mmaglio@franklinma.gov) <mmaglio@franklinma.gov>**Subject:** RE: 206 Grove Street Form H

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Matt,

I am just following up on the Form H for 206 Grove St. Is there any additional information you need from us before we can get a final Form H?

Thanks,

Josh Berman

From: Matt Crowley <MCrowley@BETA-Inc.com>
Sent: Friday, June 24, 2022 8:39 AM
To: Garrett Horsfall <GHorsfall@kellyengineeringgroup.com>; 'Amy Love' <alove@franklinma.gov>
Cc: Josh Berman <jberman@marcuspartners.com>; 'Dias, John' <jdias@arco1.com>; Michael Maglio (mmaglio@franklinma.gov) <mmaglio@franklinma.gov>
Subject: RE: 206 Grove Street Form H

Thanks Garrett. I'll let the Board know this has been addressed.

Matthew J. Crowley, PE

Senior Project Manager

BETA Group, Inc. | 781.255.1982

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 **Be GREEN, keep it on the SCREEN**

From: Garrett Horsfall <GHorsfall@kellyengineeringgroup.com>
Sent: Friday, June 24, 2022 8:34 AM
To: Matt Crowley <MCrowley@BETA-Inc.com>; 'Amy Love' <alove@franklinma.gov>
Cc: 'Josh Berman' <jberman@marcuspartners.com>; 'Dias, John' <jdias@arco1.com>; Michael Maglio (mmaglio@franklinma.gov) <mmaglio@franklinma.gov>
Subject: RE: 206 Grove Street Form H

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Matt/Amy:

Per Matt's report, we had the as-built updated to show the force main. Attached is the updated plan.

Garrett Horsfall, Project Engineer

Kelly Engineering Group, Inc

0 Campanelli Drive

Braintree, MA 02184

Phone (781) 843-4333

Fax (781) 843-0028

Mobile (774) 271-0648

Email: ghorsfall@kellyengineeringgroup.com

Come visit us at

<https://link.edgepilot.com/s/35fc0630/9CHXND2n9UGNJzHFL4BmeQ?u=https://kellyengineeringgroup.com/>

PLEASE NOTE THAT OUR NEW BUSINESS HOURS ARE 7:30 TO 5:30 MONDAY TO THURSDAY. OUR OFFICES WILL BE CLOSED AT NOON FRIDAY

From: Matt Crowley [<mailto:MCrowley@BETA-Inc.com>]

Sent: Thursday, June 23, 2022 10:49 AM

To: 'Amy Love'

Cc: 'Josh Berman'; 'Dias, John'; Garrett Horsfall; Michael Maglio (mmaglio@franklinma.gov)

Subject: RE: 206 Grove Street Form H

Hi Amy,

Please find the attached conformance review report for the subject project. Let me know if there are any questions. Thanks.

Matthew J. Crowley, PE

Senior Project Manager

BETA Group, Inc. | 781.255.1982

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Join our team!

 **Be GREEN, keep it on the SCREEN**

From: Garrett Horsfall <GHorsfall@kellyengineeringgroup.com>
Sent: Thursday, June 23, 2022 9:22 AM
To: 'Amy Love' <alove@franklinma.gov>
Cc: Matt Crowley <MCrowley@BETA-Inc.com>; 'Josh Berman' <jberman@marcuspartners.com>; 'Dias, John' <jdias@arco1.com>
Subject: RE: 206 Grove Street Form H

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Amy:

Can you confirm receipt of the documents and if we are the agenda for Monday? Also if any representation from the applicant is needed?

Thank You,

Garrett Horsfall, Project Engineer

Kelly Engineering Group, Inc

0 Campanelli Drive

Braintree, MA 02184

Phone (781) 843-4333

Fax (781) 843-0028

Mobile (774) 271-0648

Email: ghorsfall@kellyengineeringgroup.com

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From: Garrett Horsfall
Sent: Monday, June 20, 2022 2:53 PM
To: 'Amy Love'

Cc: 'Matt Crowley'; Josh Berman; Dias, John
Subject: 206 Grove Street Form H

Amy:

I am attaching the following and sending copies via FedEx for delivery tomorrow AM.

- Letter to Accompany Form H
- Notarized Form H
- As-Built Site Plan

We have been coordinating with Matt during the closeout process here and are hoping to be placed on the agenda for next Monday with the Board.

Thank You,

Garrett Horsfall, Project Engineer

Kelly Engineering Group, Inc

0 Campanelli Drive

Braintree, MA 02184

Phone (781) 843-4333

Fax (781) 843-0028

Mobile (774) 271-0648

Email: ghorsfall@kellyengineeringgroup.com

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Town of Franklin

355 East Central Street
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907
www.franklinma.gov

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MEMORANDUM

DATE: July 19, 2022
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 206 Grove Street
Final Form H

General

1. The Planning Board approved a Site Plan for 176-210 Grove Street on July 13, 2020.
2. The Applicant has submitted a Final Form H for the Site Plan.
3. At the Planning Board meeting held on June 27, the Board requested the following items be complete before issuing the final Form H:
 - Add railings to the loading ramp
 - Verify the gas trap was installed.
4. Applicant has indicated both items listed above are complete.

GENERAL NOTES

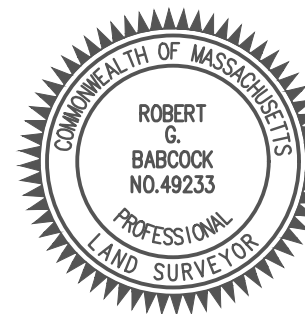
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 311, LOT 1.1 IN THE TOWN OF FRANKLIN, NORFOLK COUNTY, MASSACHUSETTS.
- THE OWNER PER DEED BOOK 39485, PAGE 445 IS MCP III 206 GROVE, LLC.
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 2502C0308E, MAP REVISED JULY 17, 2012. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED INDUSTRIAL BASED ON THE TOWN OF FRANKLIN ONLINE GIS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON SEPTEMBER 14, 2021 & MAY 6, 2022. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- NOT A BOUNDARY SURVEY. BOUNDARY SHOWN PER SITE DEVELOPMENT PLANS FOR 176-210 GROVE STREET, FRANKLIN, MA, DATED FEBRUARY 14, 2020, PLAN BY KELLEY ENGINEERING GROUP.

UTILITY NOTES

- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C, AS DEFINED IN C/ASCE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON-DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON-DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
- PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
- DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
- UTILITY PLAN REFERENCES
 1. WATER INFORMATION OBTAINED FROM CAD FILE PROVIDED BY THE CONTRACTOR.
 2. SEWER INFORMATION OBTAINED FROM CAD FILE PROVIDED BY THE CONTRACTOR AND ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)
 3. GAS INFORMATION SHOWN PER DESIGN PLAN AND CONTRACTOR'S NOTES.
 4. ELECTRIC INFORMATION OBTAINED FROM CAD FILE PROVIDED BY THE CONTRACTOR.
 5. DRAINAGE INFORMATION OBTAINED FROM CAD FILE PROVIDED BY THE CONTRACTOR AND ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

CERTIFICATION

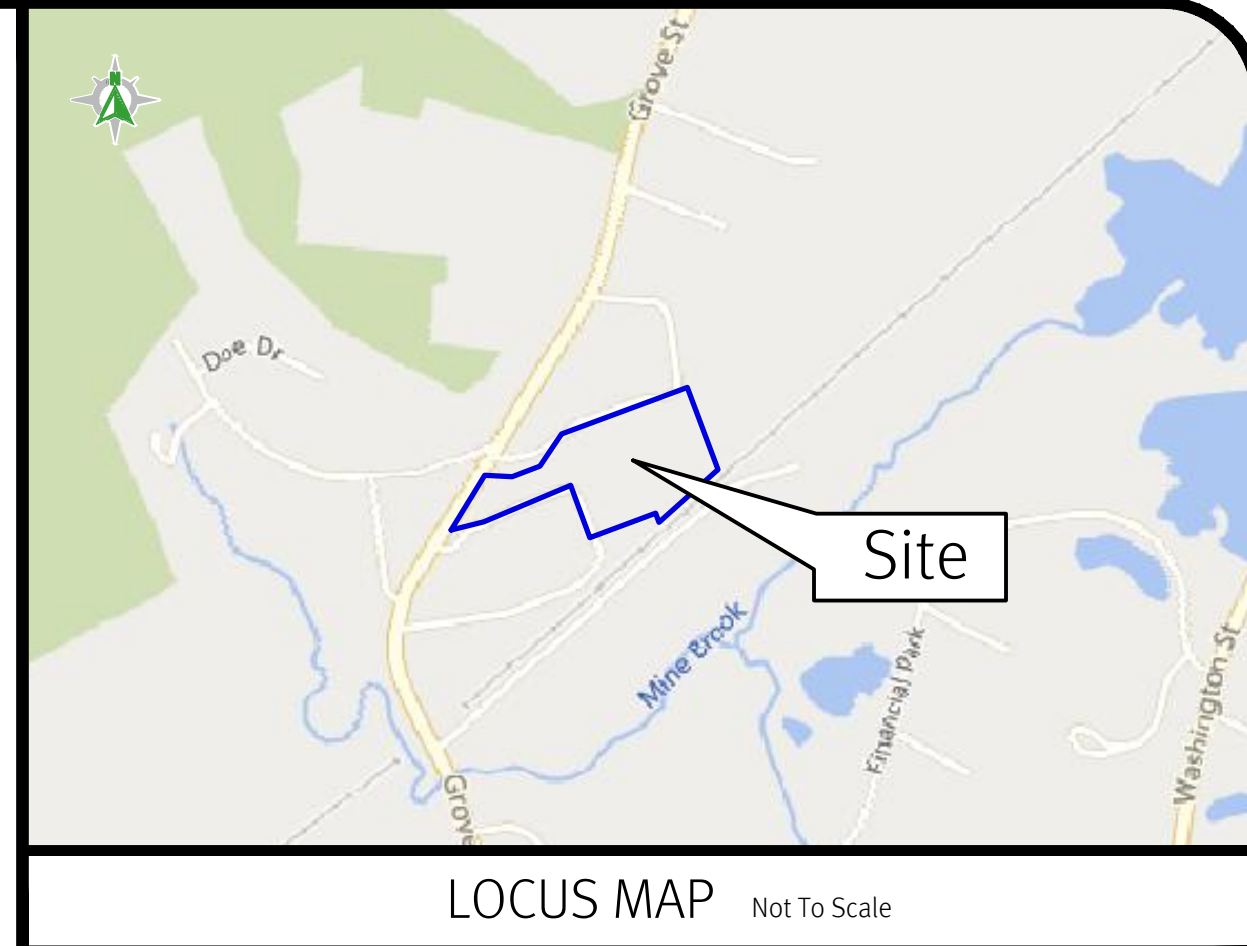
I CERTIFY THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND IN ACCORDANCE WITH THE RULES AND REGULATIONS AS STATED IN CMR 250 SECTION 6.00.



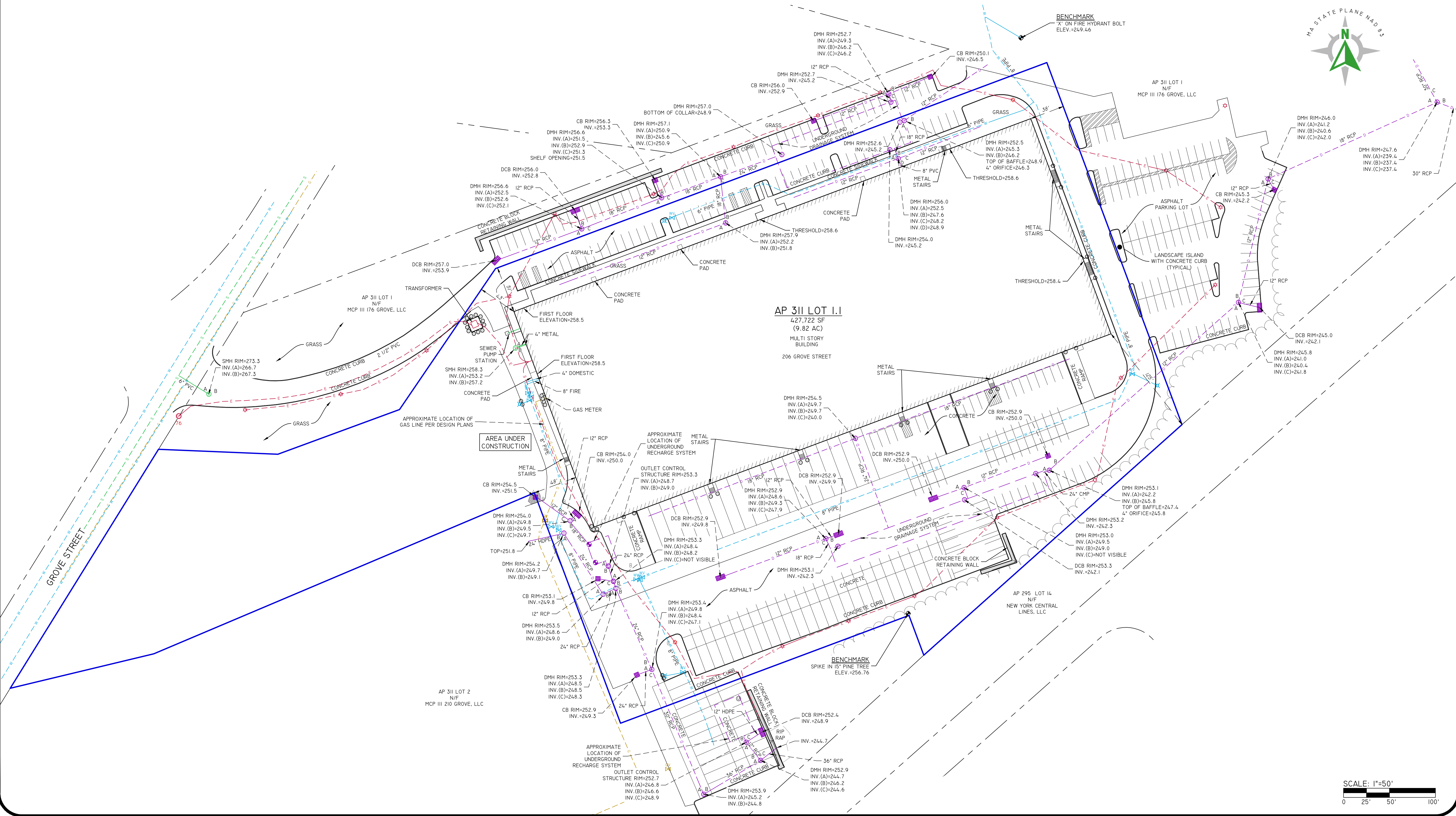
ROBERT G. BABCOCK, PLS #49233
DATE 6/16/22

LEGEND

- WATER LINE
- SEWER LINE
- SEWER FORCE MAIN
- GAS LINE
- ELECTRIC LINE
- OVERHEAD WIRES
- DRAINAGE LINE
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- PROPERTY LINE
- ASSESSORS LINE
- TREELINE
- GUARDRAIL
- FENCE
- RETAINING WALL
- STONE WALL
- DEED BOOK/PAGE
- ASSESSOR'S PLAT
- HANDICAPPED
- NOW OR FORMERLY
- LANDSCAPING
- RECORD
- CHORD ANGLE
- BOUND
- SIGN POST
- SEWER CLEANOUT
- HYDRANT
- IRRIGATION VALVE
- UNKNOWN MANHOLE
- BOLLARD
- SOIL EVALUATION
- CATCH BASIN
- DOUBLE CATCH BASIN
- WATER VALVE
- GAS VALVE
- WETLAND FLAG
- DRAINAGE MANHOLE
- FLARED END SECTION
- GUY POLE
- ELECTRIC MANHOLE
- UTILITY/POWER POLE
- LIGHTPOST
- WELL
- MONITORING WELL
- BENCH MARK
- TREE



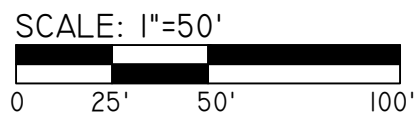
LOCUS MAP Not To Scale



Diprete Engineering
 990 Washington Street Suite 101A Dedham, MA 02026
 tel 781-326-0021 fax 401-664-6006 www.diprete-eng.com
Boston • Providence • Newport

NO.	DATE	DESCRIPTION	BY:
4	6/16/22	AS-BUILT SURVEY UPDATE	A.J.F.
3	6/16/22	AS-BUILT SURVEY UPDATE	A.J.F.
2	06/27	AS-BUILT SURVEY UPDATE	A.J.F.
1	06/27	AS-BUILT SURVEY	A.J.F.

AS-BUILT SURVEY
206 GROVE STREET
 ASSESSOR'S PLAT 311 LOT 1.1
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
ARCO NATIONAL CONSTRUCTION
 30 SPEN STREET, SUITE 300, FRAMINGHAM, MASSACHUSETTS 01701
 TEL (508) 217-3131 FAX (508) 796-5711
 DE JOB NO. 2352-001 COPYRIGHT 2022 BY DIPRETE ENGINEERING ASSOCIATES, INC.



SITE PLAN OF LAND

FORM H
ENGINEER'S CERTIFICATE OF COMPLETION
(to be executed by developer's engineer)

Site Plan known as Site Development Plans, 176-210 Grove Street, Franklin, MA

I hereby certify that all improvements required for the above referenced site plan have been completed in all respects in accordance with the Town of Franklin zoning requirements and the approved plans entitled Site Development Plans, 176-210 Grove Street, Franklin, MA prepared by Kelly Engineering Group, Inc. and dated August 10, 2021, as approved by the said Planning Board on 9/13/21.

* Minor deviations are listed in the attached letter.

Signed this 14th day of June, 2021

By David Noel Kelly Reg. C.E. 37942

[Handwritten Signature]
COMMONWEALTH OF MASSACHUSETTS

Norfolk, SS.

June 14, 2021

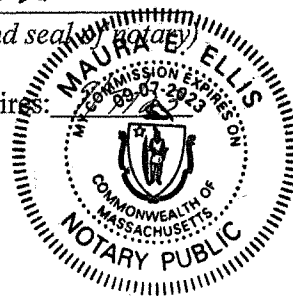
On this 14 day of June, 2021, before me, the undersigned notary public, personally appeared DAVID KELLY (name of engineer), proved to me through satisfactory evidence of identification, which were known to be the person whose name is signed on the preceding document in my presence.

[Handwritten Signature]

(Official signature and seal of notary)

Notary Public:

My Commission Expires:

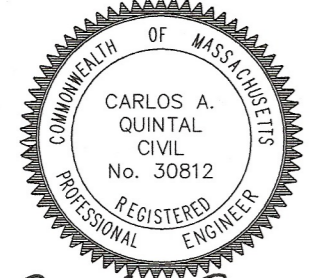
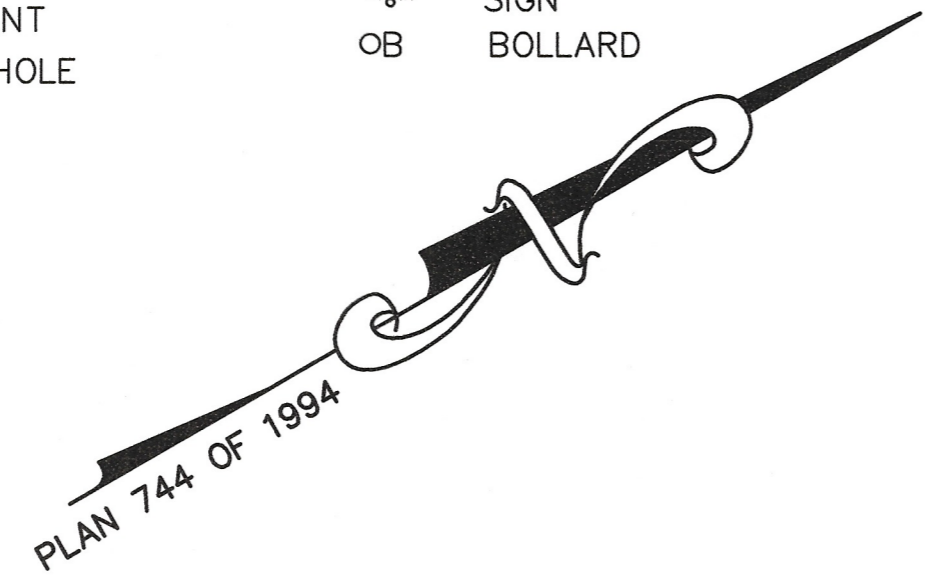


MODIFICATION OF SITE PLAN JULY 14, 2022.

1. BUILDINGS 1, 2 AND 3 WERE INCREASED IN SIZE FROM 60' x 252' TO 62'-8" x 254'-8".
2. BUILDING ONE WAS EXTENDED TO THE WEST AND NORTH. BUILDING TWO WAS EXTENDED TO THE WEST, NORTH AND SOUTH BUILDING THREE WAS EXTENDED TO THE WEST AND SOUTH.
3. THE BUILDING LIGHTS, PEDESTRIAN WALKWAYS, PARKING SPACES, CURB BUMPERS AND BOLLARDS WERE RELOCATED.
4. THE PROPOSED CURBING, BETWEEN THE REAR OF THE BUILDINGS, WAS MODIFIED TO ALIGN WITH THE MODIFIED BUILDING WALLS.
5. THE TRAVEL AISLES WERE REDUCED AT BUILDING ONE FROM 30' TO 27.3', AT BUILDINGS TWO AND THREE FROM 36' TO 33.3'.
6. THE SPACING BETWEEN THE BUILDING WAS REDUCED FROM 40' TO 36'.

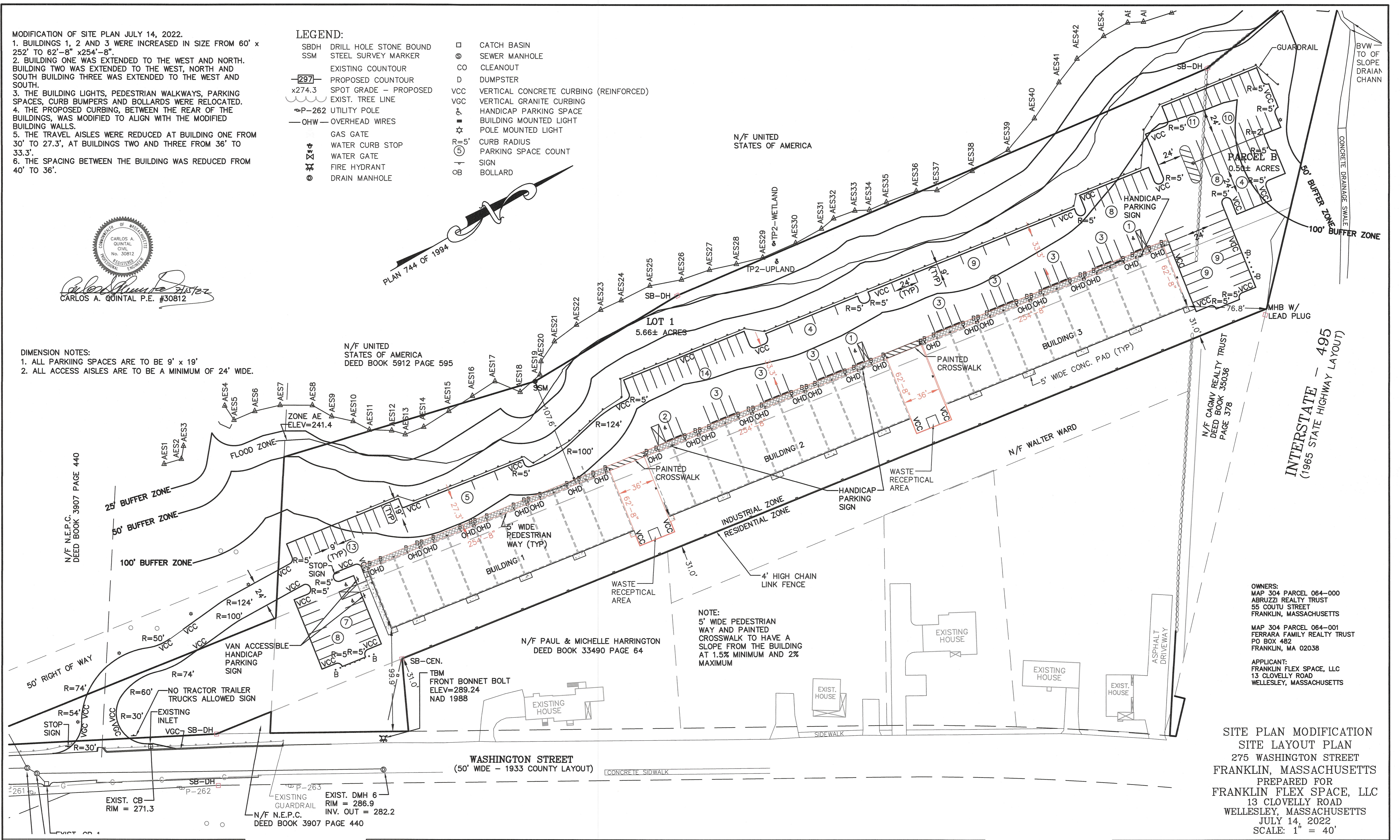
LEGEND:

- | | | | |
|--------|------------------------|------|--|
| SBDH | DRILL HOLE STONE BOUND | □ | CATCH BASIN |
| SSM | STEEL SURVEY MARKER | ⊙ | SEWER MANHOLE |
| — | EXISTING COUNTOUR | CO | CLEANOUT |
| —297— | PROPOSED COUNTOUR | D | DUMPSTER |
| x274.3 | SPOT GRADE - PROPOSED | VCC | VERTICAL CONCRETE CURBING (REINFORCED) |
| — | EXIST. TREE LINE | VGC | VERTICAL GRANITE CURBING |
| ⊕P-262 | UTILITY POLE | ⊕ | HANDICAP PARKING SPACE |
| —OHW— | OVERHEAD WIRES | ⊕ | BUILDING MOUNTED LIGHT |
| ⊕ | GAS GATE | ☆ | POLE MOUNTED LIGHT |
| ⊕ | WATER CURB STOP | R=5' | CURB RADIUS |
| ⊕ | WATER GATE | ⊕ | PARKING SPACE COUNT |
| ⊕ | FIRE HYDRANT | ⊕ | SIGN |
| ⊕ | DRAIN MANHOLE | ⊕B | BOLLARD |



Carlos A. Quintal
CARLOS A. QUINTAL P.E. #30812

- DIMENSION NOTES:**
1. ALL PARKING SPACES ARE TO BE 9' x 19'
 2. ALL ACCESS AISLES ARE TO BE A MINIMUM OF 24' WIDE.



OWNERS:
MAP 304 PARCEL 064-000
ABRUZZI REALTY TRUST
55 COUTU STREET
FRANKLIN, MASSACHUSETTS

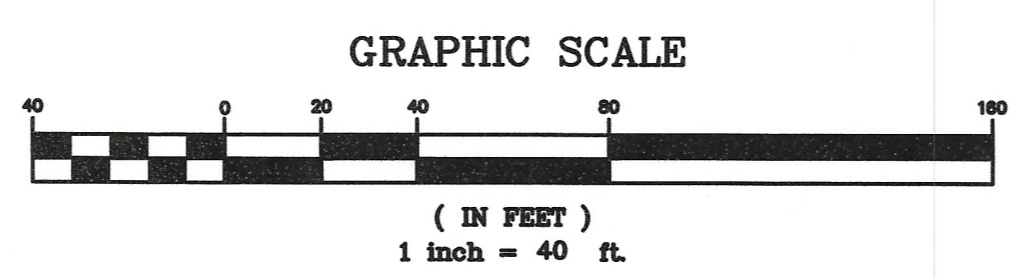
MAP 304 PARCEL 064-001
FERRARA FAMILY REALTY TRUST
PO BOX 482
FRANKLIN, MA 02038

APPLICANT:
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS

**SITE PLAN MODIFICATION
SITE LAYOUT PLAN**
275 WASHINGTON STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FLEX SPACE, LLC
13 CLOVELLY ROAD
WELLESLEY, MASSACHUSETTS
JULY 14, 2022
SCALE: 1" = 40'

**SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD**

DATE



NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
5/21	BL	BL
BK#	FIELD BOOK	PG#
7/22	RRG	RRG
7/22	RRG	RRG
7/22	COMP	COMP
7/22	CAQ	CAQ

**UNITED
CONSULTANTS
INC.**

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8560 FAX 508-384-8566

DATE
JULY 14, 2022
SCALE
1" = 40'
PROJECT
UC1502
SHEET
1 of 1



Amy Love <alove@franklinma.gov>

RE: 275 Washington Street

1 message

Rick <Rick@uci850.com>

Tue, Jul 19, 2022 at 8:11 AM

To: Matt Crowley <MCrowley@beta-inc.com>, Amy Love <alove@franklinma.gov>, Michael Maglio <mmaglio@franklinma.gov>

Cc: "pgenta@mpg-capital.com" <pgenta@mpg-capital.com>, Bill Hommel - A & H Building Partners <bill@ahbuildingpartners.com>, Gary James <GJames@beta-inc.com>, Breeka Li Goodlander <bgoodlander@franklinma.gov>

Matt,

Good morning.

Thank you for the quick response to the modification plan review.

The buildings remain at the 31 foot setback to the easterly property boundary. Building one's south wall has remained in the same location and thus the setback has not changed. Building three's north wall has remained in the same location and thus the setback has not changed. The setback to the westerly property boundary has been reduced from the original proposal of 110.3 feet to 107.6 feet.

The building footprints have increased from 15,120 sq. ft. to 15,960 sq. ft.. The increased roof area is located where asphalt was originally proposed. With the reduction of the spacing between the buildings the asphalt was also reduced from 40 feet to 36 feet. This resulted in a decrease of 192 sq. ft. of impervious area.

I hope this addresses your questions. Please feel free to email or call me should you require any additional information.

Thanks Rick

From: Matt Crowley <MCrowley@BETA-Inc.com>

Sent: Friday, July 15, 2022 11:16 AM

To: Amy Love <alove@franklinma.gov>; Rick <Rick@uci850.com>; Michael Maglio <mmaglio@franklinma.gov>

Cc: pgenta@mpg-capital.com; Bill Hommel - A & H Building Partners <bill@ahbuildingpartners.com>; Gary James <GJames@BETA-Inc.com>

Subject: RE: 275 Washington Street

Hi Rick,

Amy has forward the modification plan. Could you also provide a brief narrative on if any of changes affect compliance such as set backs or if there is any change in impervious area? This will greatly help to expedite our review. Thanks.

Matthew J. Crowley, PE

Senior Project Manager

BETA Group, Inc. | 781.255.1982

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Join our team!



Be GREEN, keep it on the SCREEN

From: Amy Love <alove@franklinma.gov>

Sent: Friday, July 15, 2022 9:55 AM

To: Rick <Rick@uci850.com>; Michael Maglio <mmaglio@franklinma.gov>; Matt Crowley <MCrowley@BETA-Inc.com>

Cc: pgenta@mpg-capital.com; Bill Hommel - A & H Building Partners <bill@ahbuildingpartners.com>

Subject: Re: 275 Washington Street

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Thank you - I will add to the July 25 agenda.

[Amy Love, Town Planner II](#)

[Town of Franklin](#)

[355 East Central](#)

[Franklin, MA 02038](#)

[508-520-4907](#)

On Fri, Jul 15, 2022 at 9:40 AM Rick <Rick@uci850.com> wrote:

Amy,

Good morning.

Attached please find the modification plan for the 275 Washington Street project.

The plan includes the increase in size of the three buildings and the necessary changes to address this.

We have provided a list of the modifications in the upper right hand corner of the plan sheet.

Please let me know if you will require any paper copies, if the owner will need to file a request or application and if you think I should send the email to anyone additional.

Thanks in advance for you assistance with this matter

Rick

This email is intended for municipal / educational use only and must comply with the Town of Franklin and Franklin Public School's policies and state/federal laws. Under Massachusetts Law, any email created or received by an employee of The Town of or Franklin Public Schools is considered a public record. All email correspondence is subject to the requirements of M.G.L. Chapter 66. This email may contain confidential and privileged material for the sole use of the intended recipient. Any review or distribution by others is strictly prohibited. If you are not the intended recipient please contact the sender and delete all copies.

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Date: 7/20/2022 Job No.: 4831-106
To: Mr. Gregory Rondeau, Chairman
Cc:
From: BETA Group, Inc.
Subject: Washington Street (Franklin Flex Space) Field Modification

Dear Mr. Rondeau,

BETA Group, Inc. has reviewed revised documents for the project entitled *Site Plan Washington Street* in Franklin, Massachusetts. The provide plans generally indicate the following modifications:

- Proposed building footprints have been increased by 2'-8" in both width and length. Accordingly, building area increased from 15,120 sq. ft. to 15,960 sq. ft.
- The property line setback of 31.0' from the Residential Zone to the east will be maintained. The southeast corner of building no. 1 closest to Washington Street and the northeast corner of building no. 3 closest to Route 495 will also be maintained. The proposed paved areas located between the buildings will be reduced in width from 40' to 36' to compensate for the increased building width. Thus, the building setbacks from the approved plans to the Residential Zone to the east, Washington Street to the south and Route 495 to the north will remain the same.
- The increase in building width will extend to the west. The setback from the westerly property line will be reduced from 110.3' to 107.6'. The access lane width in front of the buildings will also be reduced. It will be reduced from 30' to 27.3' in front of Building 1 and from 36' to 33.3' in front of building numbers 2 & 3.

BETA offers the following review comments and conclusions:

- G1. *The increase in the building sizes resulted in the displacement of pavement only. Therefore, the total impervious coverage remains the same and the drainage design will not be impacted. Setbacks from the increased footprints to the proposed subsurface infiltration systems will continue to meet the requirements of the stormwater standards.*
- G2. *Access between the building will continue to be wide enough for waste disposal pick up based upon the turning template from the design plans.*
- G3. *The access lane along the front of the buildings although reduced in width, will remain wide enough to accommodate two-way traffic, and allow access to the overhead doors along the front of the buildings.*
- G4. *The Parking Calculations from Sheet 3 of the approved drawings will be changed by the increase in the footprint size. BETA recommends that a revised Parking Summary be included on the plan.*

Washington Street Field Modification

Date; July 20,2022

Page 2 of 2

If we can be of any further assistance regarding this matter, please contact us at our office.

Very truly yours,
BETA Group, Inc.

A handwritten signature in blue ink that reads "Gary D. James". The signature is written in a cursive style with a large, stylized "G" and "J".

Gary D. James, PE
Senior Project Manager

cc: Amy Love, Planner

Town of Franklin

355 East Central Street
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907
www.franklinma.gov

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: July 18, 2022
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: Washington St Flex Space
Field Change

Applicant is requesting a few field changes from the originally endorsed plans. The changes that are being requested are listed in the upper left corner of the plan submitted, as well as in an email sent from the Engineer, Rick Goodreau. BETA has reviewed the changes and provided a letter. DPCD refers to the Planning Board for a recommendation.

CERTIFICATE OF VOTE
Site Plan
839 Upper Union Street

PROPOSED SITE PLAN DOCUMENTS

- The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
- Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form H). Said inspection is further outlined in condition #1.
- No alteration of these plans shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.
- All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
- Prior to the endorsement of the site plan, the following shall be done:
 - The owner/applicant shall provide the entire list of conditions and this Certificate of Vote on the front page of the plans.
 - A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
 - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.
- All required improvements specified in this Certificate of Vote shall be constructed within a one-year period unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the approved plan have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #1.
- Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.
- The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.
- Maintenance and repair of the parking area, water supply system, sewer pipes, electric distribution system, and stormwater system shall be the responsibility of the owner/applicant and shall never be the responsibility of the Town and the Town shall never be required to perform any service, repair or maintenance with respect to said areas, or any of the aforementioned systems within the subject property. The Town will never be required to provide snow plowing or trash pickup, with respect to the subject property.
- Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant, and his contractor(s), the Department of Public Works and the Planning Board's Observation Contractor.

CERTIFICATE OF VOTE
Waivers
839 Upper Union Street

The applicant requested, and the Planning Board approved the following waivers:

- §185-21.C.5 - Requirement: Parking lots for 20 or more cars shall contain or be bordered within five feet by at least one tree per 10 parking spaces, trees to be two-inch caliper or larger, with not less than 40 square feet of unpaved soil area per tree. Soil plots shall be located so as to assure safe internal circulation.
- §185-31.C.4.E - Requirement: No site feature or activity shall create glare or illumination which extends beyond a site's property lines and creates a hazard or nuisance to neighboring property owners or on adjacent roadways. Lighting shall be designed to provide the minimum illumination necessary for the safety and security of the proposed activity. Lighting shall be designed such that the light source is shielded and the light is directed downward.

TMC HOLDINGS & DEVELOPMENT 2, LLC

PROPOSED INDUSTRIAL DEVELOPMENT UNION STREET BUSINESS PARK II

LOCATION OF SITE:
 839 UPPER UNION STREET, CITY OF FRANKLIN
 NORFOLK COUNTY, MASSACHUSETTS
 MAP #314, BLOCK #20, LOT #1

APPROVAL BLOCK

TOWN OF FRANKLIN PLANNING BOARD APPROVAL	
	DATE
	DATE
	DATE
	DATE
	DATE

BOHLER
 SITE CIVIL AND CONSULTING ENGINEERING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	03/23/22	NOTICE OF INTENT SUBMISSION	NPD RMM
2	05/06/22	PER TOWN / PEER REVIEW COMMENTS	NPD RMM
3	05/17/22	PER PEER REVIEW COMMENTS	NPD RMM
4	05/24/22	PER TOWN COMMENTS	NPD RMM
5	07/19/22	FOR PB ENDORSEMENT	NPD RMM



Know what's below.
 Call before you dig.
 ALWAYS CALL 811
 It's fast. It's free. It's the law.

PERMIT SET

PROJECT No.: W211057
 DRAWN BY: NPD
 CHECKED BY: RMM
 DATE: 02/01/22
 CAD ID: W211057-CVL-5

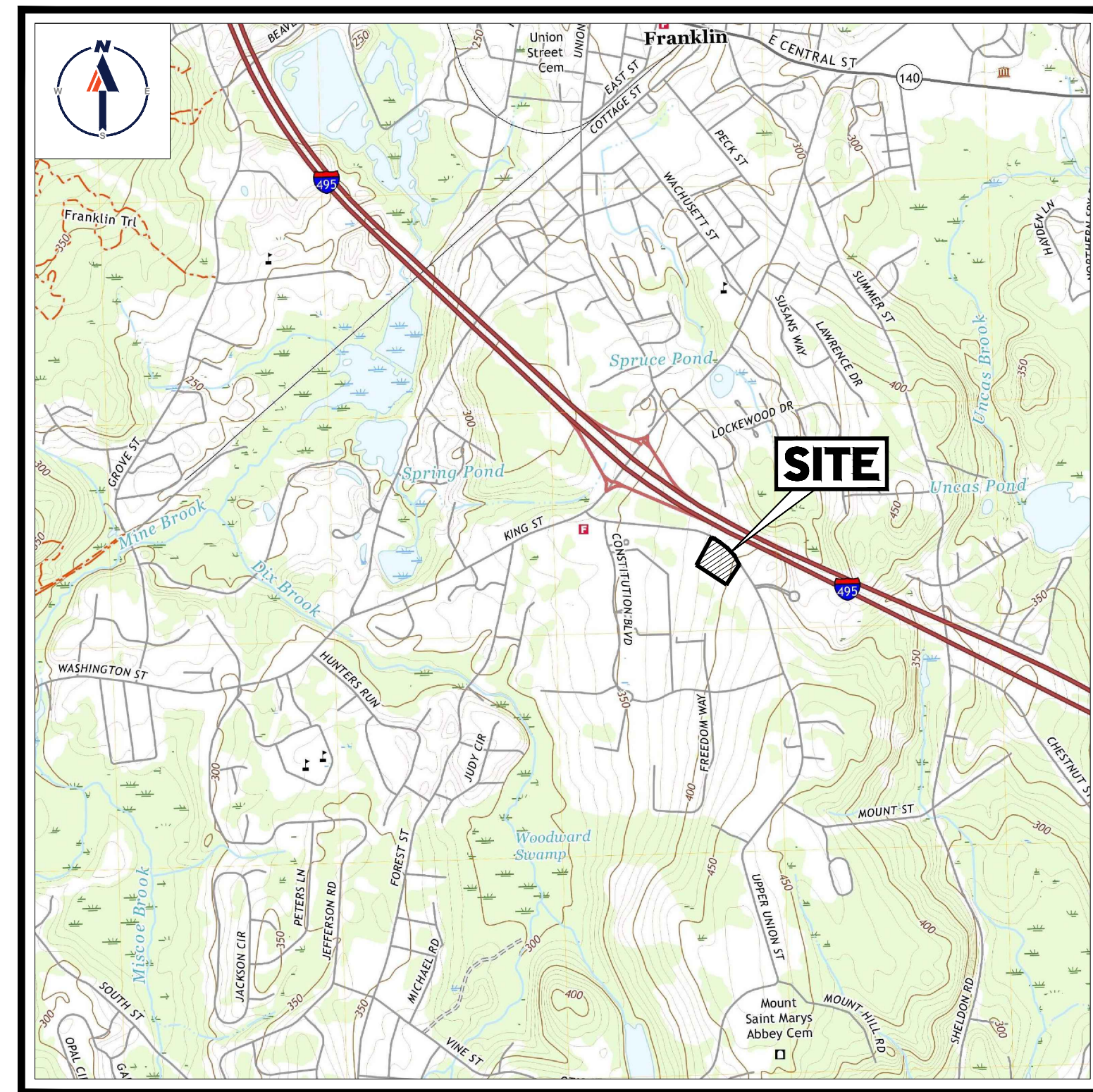
PROPOSED SITE PLAN DOCUMENTS
 FOR
TMC HOLDINGS & DEVELOPMENT 2, LLC
 PROPOSED INDUSTRIAL DEVELOPMENT
 UNION STREET BUSINESS PARK II
 MAP #314, BLOCK #20, LOT #1
 839 UPPER UNION STREET
 CITY OF FRANKLIN
 NORFOLK COUNTY, MA

BOHLER
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 www.BohlerEngineering.com

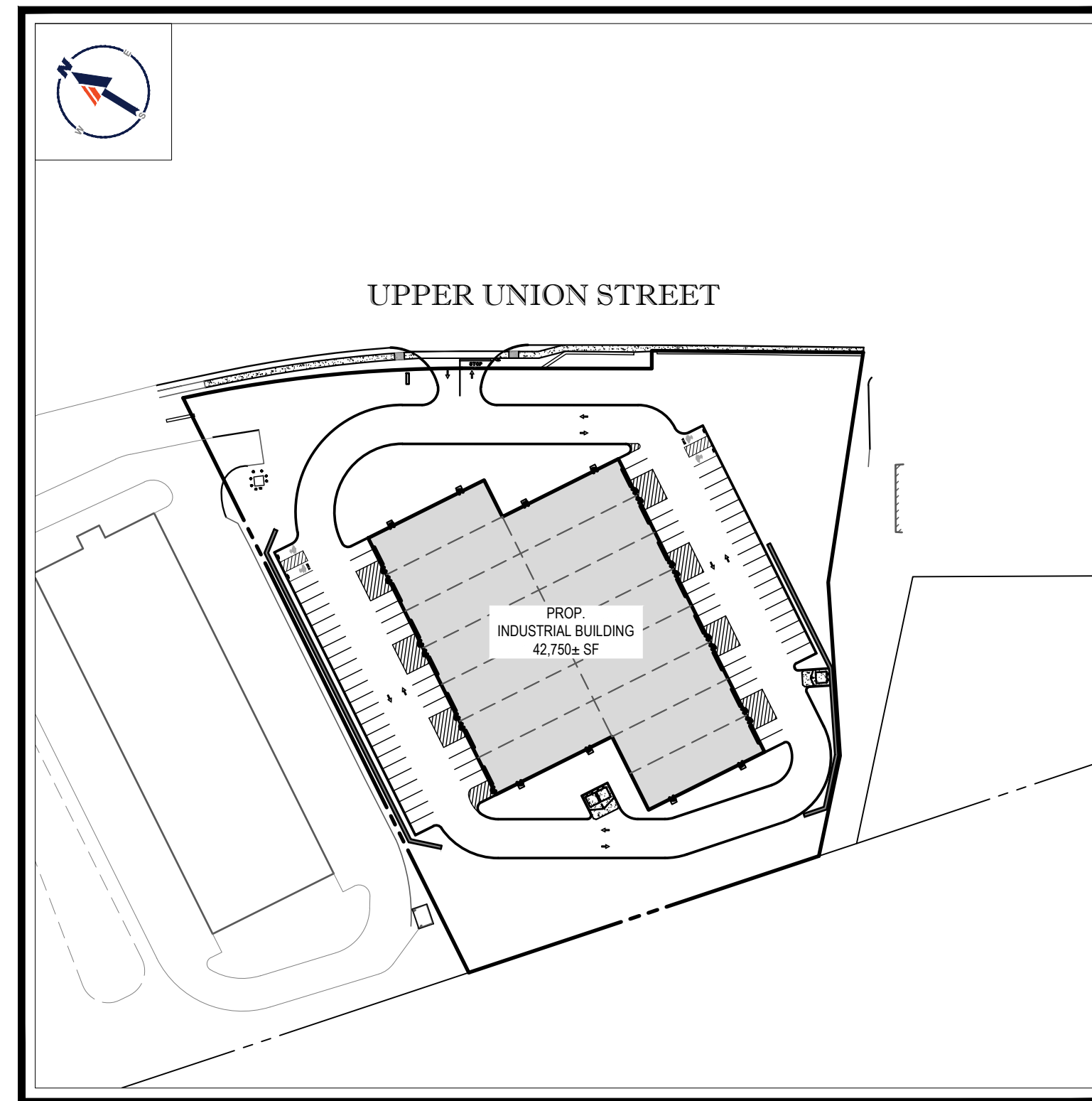


SHEET TITLE:
COVER SHEET
 SHEET NUMBER:
C-101

REVISION 5 - 07/19/22



USGS MAP
 SCALE: 1" = 2,000'
 SOURCE: USGS



SITE MAP
 SCALE: 1" = 100'

DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
DEMOLITION PLAN	C-201
SITE LAYOUT PLAN	C-301
GRADING PLAN	C-401
DRAINAGE PLAN	C-501
UTILITY PLAN	C-502
EROSION AND SEDIMENT CONTROL PLAN	C-601
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES AND DETAILS	C-702
LIGHTING PLAN	C-703
DETAIL SHEET	C-901
DETAIL SHEET	C-902
DETAIL SHEET	C-903
DETAIL SHEET	C-904
ALTA/NSPS LAND TITLE SURVEY (BY OTHERS)	1 SHEET
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 SHEET

ALL EROSION MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE

PREPARED BY



GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - * "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 03/23/21.
 - * "LANDSCAPE LAND USE SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 05/14/21.
 - * "GEO-TECHNICAL EVALUATION" PREPARED BY VERDANTAS LLC, DATED 03/22/21.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THAT HESHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.)) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THE COMMENTS FOR ALL ASNS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

6. THE GEO-TECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEO-TECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEO-TECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY DIMENSIONS, DISCREPANCIES OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH WAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS AND UTILITY LOCATIONS.

10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL PLANS INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE. CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

12. THE CONTRACTOR IS RESPONSIBLE TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

13. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT LIMITED TO, THE COST OF REPAIR AND RESTORATION. CONTRACTOR SHALL BE RESPONSIBLE FOR AND MUST BEAR ALL COSTS ASSOCIATED WITH ALL SIGNAL INTERSECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITION PRIOR TO CONSTRUCTION, AND IN CONFORMANCE WITH ALL APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

14. ALL CONCRETE MUST BE AIR ENTRAINMENT AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEO-TECHNICAL REPORT.

15. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

16. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.

17. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (COGL). ALL CONTRACTORS MUST HAVE THEIR COGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAME INSURED AND TO PROVIDE CONTRACTOR LIABILITY COVERAGE. CONTRACTOR SHALL HOLD HARMLESS AND HOLD HARMLESS ENGINEERING AND CONTRACTOR SHALL HOLD HARMLESS ENGINEERING AND CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, LOSSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR RELATED TO THIS PROJECT, INCLUDING THE CONTRACTORS' NEGLIGENCE AND/OR NEGLIGENCE OF ANY OTHER CONTRACTORS RELATED TO THIS PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LATEST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

18. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION CONTAINED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. HEREUNDER, BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS, WHILE A REASONABLE PROMPTNESS REVIEW OF A SPECIFIC ITEM MAY BE CONDUCTED WITH REASONABLE PROMPTNESS. BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEFICIENCIES FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

19. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERVISING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

20. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERE TO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

21. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAFFIC EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

22. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

23. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

24. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

25. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

26. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

27. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURERS STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

28. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONE PER WEEK AND AFTER MAJOR EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

29. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICABLE DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORD "CERTIFY" OR CERTIFICATION CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR TO THE APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER'S AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF ALL UTILITIES SERVICES WITH THE LOCAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES, AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-IN/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE. WHERE CONFLICTS EXIST BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE, TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE UTILITY SERVICE PROVIDER'S AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEO-TECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEO-TECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEO-TECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEO-TECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEO-TECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBGRADE MATERIAL FOR A MINIMUM COMPACT WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEO-TECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS, WHEN THE PROJECT DOES NOT HAVE GEO-TECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

12. THE CONTRACTOR MUST COMPLY TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEO-TECHNICAL REPORT AND ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERE TO.

13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF JUIT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

14. TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY TUNNELL TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REGULATIONS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP AND MARK LOCATIONS WITH A DIAL, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHY INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT ponding. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING, TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL IMMEDIATELY DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEYS' FEES AND THE LIKE WHICH RESULT FROM SAME.

18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 1' ABOVE EXISTING LOCAL ASPHALT GRADES UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

19. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

20. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.

21. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

22. STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M80 AND TYPE 5 SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR STORM DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

23. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 - FOR PIPES LESS THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034
 - FOR PIPES MORE THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D2034
 - FOR PIPE WITH 19 FT. OR BUILDING PIPE MATERIAL SHALL COMPLY WITH APPLICABLE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIFY WITH LOCAL OFFICIALS.

24. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

25. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

26. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

27. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS, ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

30. LOCATION OF PROPOSED UTILITY POLE RELLOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.

31. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
 - "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 03/23/21.
 - "LANDSCAPE LAND USE SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 05/14/21.
 - "GEO-TECHNICAL EVALUATION" PREPARED BY VERDANTAS LLC, DATED 03/22/21.

2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY. REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED, THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:
 - A. OBTAIN ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
 - B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.
 - C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

7. E LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

8. F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

9. G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

10. H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.

11. I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

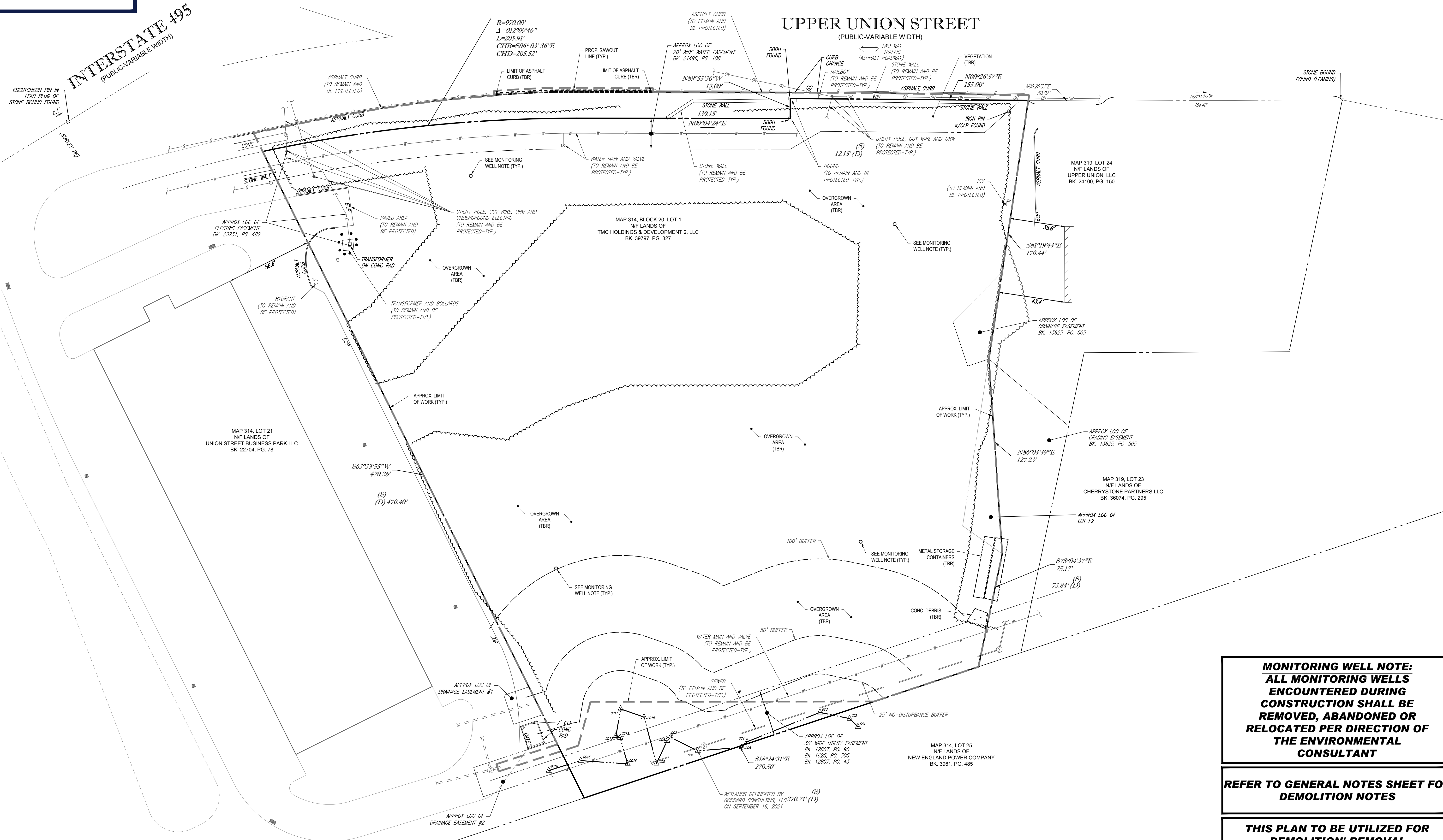
12. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.

13. THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER ADJACENT STRUCTURES THAT RELY ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS TO BE REMOVED. CONTRACTOR MUST USE BEST MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.



INTERSTATE 495
(PUBLIC-VARIABLE WIDTH)

UPPER UNION STREET
(PUBLIC-VARIABLE WIDTH)



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

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5	07/19/22	FOR PB ENDORSEMENT	NPD

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PROJECT No.: W211057
DRAWN BY: NPD
CHECKED BY: RMM
DATE: 02/01/2022
CAD ID: W211057-CVL-5

PROPOSED SITE PLAN DOCUMENTS

FOR

TMC HOLDINGS & DEVELOPMENT 2, LLC

PROPOSED INDUSTRIAL DEVELOPMENT
UNION STREET BUSINESS PARK II
MAP #314, BLOCK #20, LOT #1
839 UPPER UNION STREET
CITY OF FRANKLIN
NORFOLK COUNTY, MA

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com



MONITORING WELL NOTE:
ALL MONITORING WELLS ENCOUNTERED DURING CONSTRUCTION SHALL BE REMOVED, ABANDONED OR RELOCATED PER DIRECTION OF THE ENVIRONMENTAL CONSULTANT

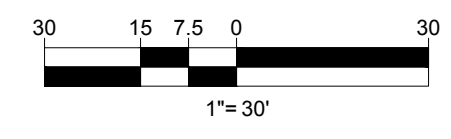
REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES

THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL PURPOSES ONLY

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C-201

REVISION 5 - 07/19/22



BOHLER\ENG\NET\SHARES\MA\PROJECTS\21\W211057\DRAWINGS\PLAN SET\REV\W211057\CVL-5\...LAYOUT.C: 2021.DEMO



INTERSTATE 495
(PUBLIC-VARIABLE WIDTH)

UPPER UNION STREET
(PUBLIC-VARIABLE WIDTH)

ZONING ANALYSIS TABLE			
ZONING DISTRICT	INDUSTRIAL (I)		
OVERLAY DISTRICT	N/A		
REQUIRED PERMIT	SITE PLAN REVIEW		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	40,000 SF	156,645 SF (3.60 AC.)	NO CHANGE
MIN. LOT FRONTAGE	175 FT	513.06 FT	NO CHANGE
MIN. LOT DEPTH	200 FT	470.26 FT	NO CHANGE
MIN. LOT WIDTH	157.5 FT	270.50 FT	NO CHANGE
MAX. BLDG. LOT COVERAGE	70%	0.0%	27.3%
MIN. FRONT SETBACK	40 FT	N/A	66.2 FT
MIN. SIDE SETBACK	30 FT	N/A	54.7 FT
MIN. REAR SETBACK	30 FT	N/A	71.5 FT
MIN. PARKING SETBACK	N/S	N/A	12.5 FT
MAX. BUILDING HEIGHT	3 STORIES (1)	N/A	< 3 STORIES
MAX. IMPER. COVERAGE	80%	0.1%	55.6%
PARKING SPACES	43	N/A	45 (2)
ACCESS. PARKING SPACES	2	N/A	4
PARKING STALL CRITERIA	USE/CATEGORY: WAREHOUSE		
STANDARD: 9 FT x 19 FT	REQUIRED PARKING: 1 SPACE PER 1,000 SF GROSS FLOOR AREA		
COMPACT: 8 FT x 16 FT	CALCULATION: 42,750 SF / 1,000 SF = 42.75 OR 43 SPACES REQUIRED		

- (1) BUILDINGS UP TO 50 FEET IN HEIGHT MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.
(2) THE PARKING SPACES IMMEDIATELY IN FRONT OF THE BUILDING GARAGE DOORS HAVE NOT BEEN INCLUDED.

REVISIONS

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5	07/19/22	FOR PB ENDORSEMENT	NPD	RMM

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PROJECT No.: W211057
DRAWN BY: NPD
CHECKED BY: RMM
DATE: 02/01/2022
CAD ID: W211057-CVL-5

PROJECT:

PROPOSED SITE PLAN DOCUMENTS

FOR
TMC HOLDINGS & DEVELOPMENT 2, LLC

PROPOSED
INDUSTRIAL DEVELOPMENT
UNION STREET BUSINESS PARK II
MAP #314, BLOCK #20, LOT #1
839 UPPER UNION STREET
CITY OF FRANKLIN
NORFOLK COUNTY, MA

BOHLER

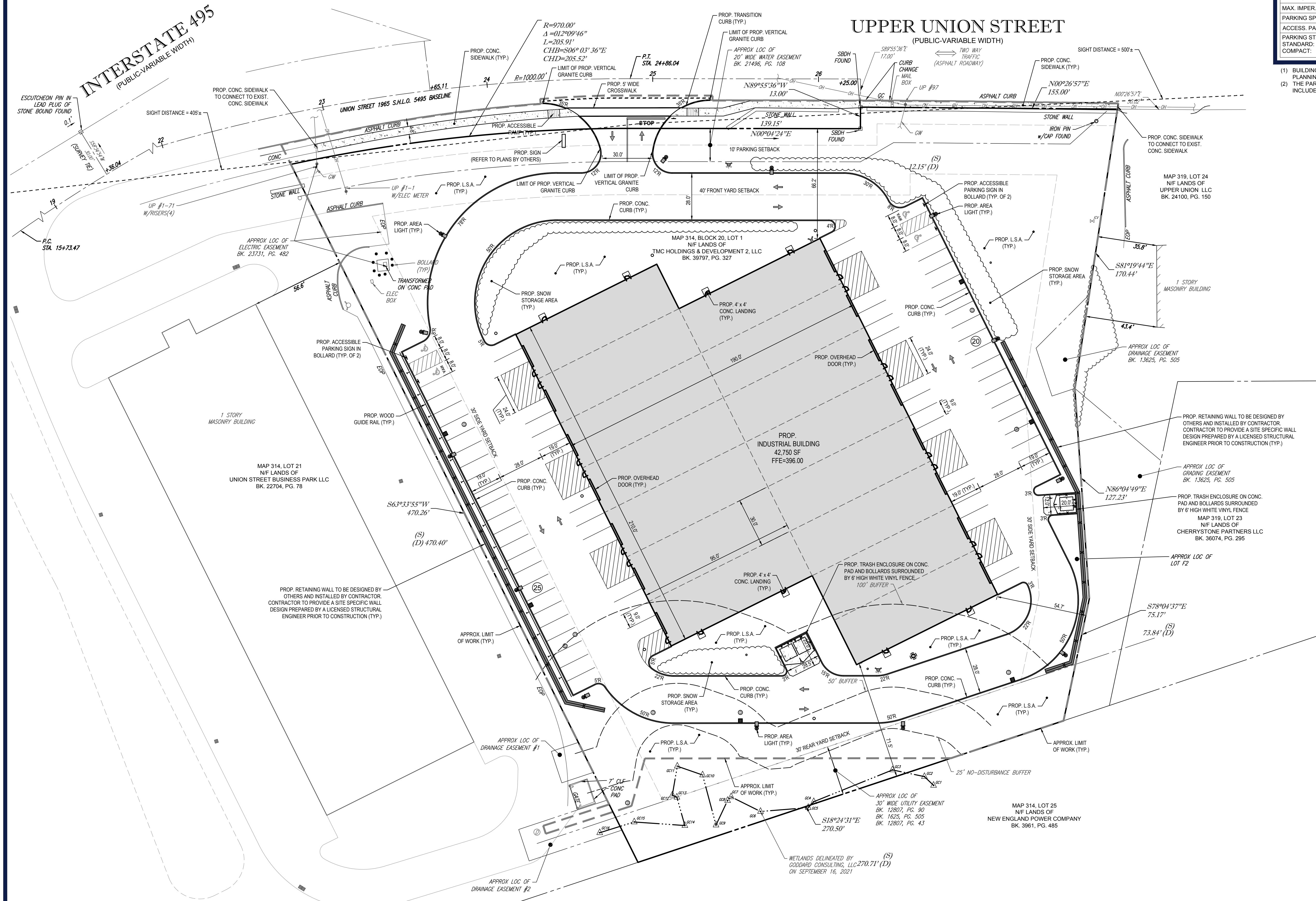
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SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
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SITE LAYOUT PLAN

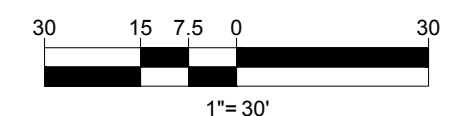
SHEET NUMBER:
C-301

REVISION 5 - 07/19/22



GENERAL CONTRACTOR TO PROVIDE A SITE SPECIFIC WALL DESIGN AND CALCULATIONS THROUGH THE GENERAL CONTRACTOR'S SELECTED WALL MANUFACTURER'S LICENSED PROFESSIONAL STRUCTURAL ENGINEER.

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES

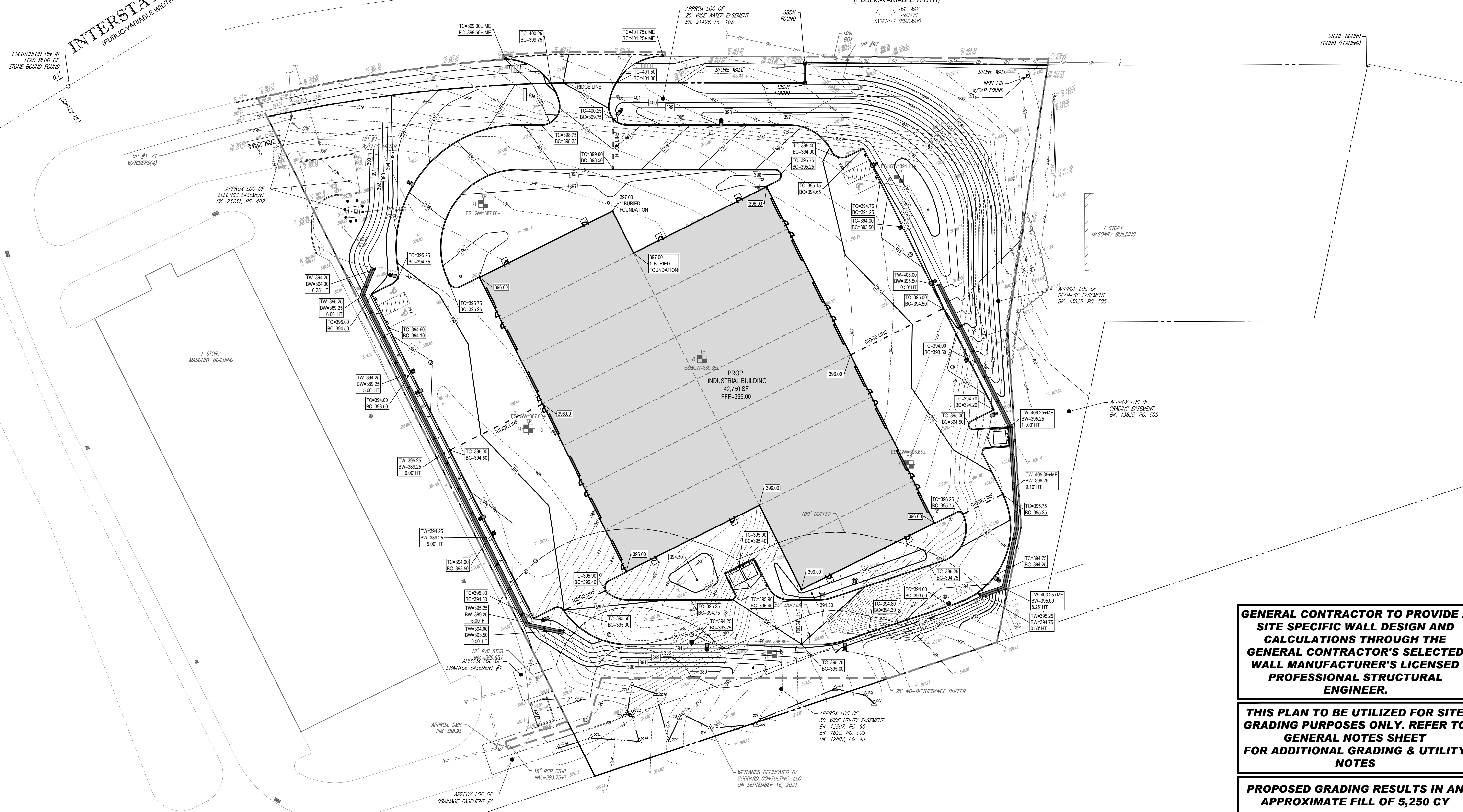


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INTERSTATE 495
(PUBLIC-VARIABLE WIDTH)

UPPER UNION STREET
(PUBLIC-VARIABLE WIDTH)



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TRANSPORTATION SERVICES

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PROJECT No.: W211057
DRAWN BY: NPD
CHECKED BY: RMM
DATE: 02/01/2022
CAD ID: W211057-CVL-5

PROPOSED SITE PLAN DOCUMENTS

FOR

TMC HOLDINGS & DEVELOPMENT 2, LLC

PROPOSED INDUSTRIAL DEVELOPMENT
UNION STREET BUSINESS PARK II
MAP #314, BLOCK #20, LOT #1
839 UPPER UNION STREET
CITY OF FRANKLIN
NORFOLK COUNTY, MA

BOHLER

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SHEET TITLE:
GRADING PLAN

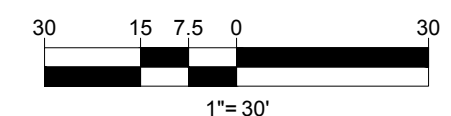
SHEET NUMBER:
C-401

REVISION 5 - 07/19/22

GENERAL CONTRACTOR TO PROVIDE A SITE SPECIFIC WALL DESIGN AND CALCULATIONS THROUGH THE GENERAL CONTRACTOR'S SELECTED WALL MANUFACTURER'S LICENSED PROFESSIONAL STRUCTURAL ENGINEER.

THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES

PROPOSED GRADING RESULTS IN AN APPROXIMATE FILL OF 5,250 CY

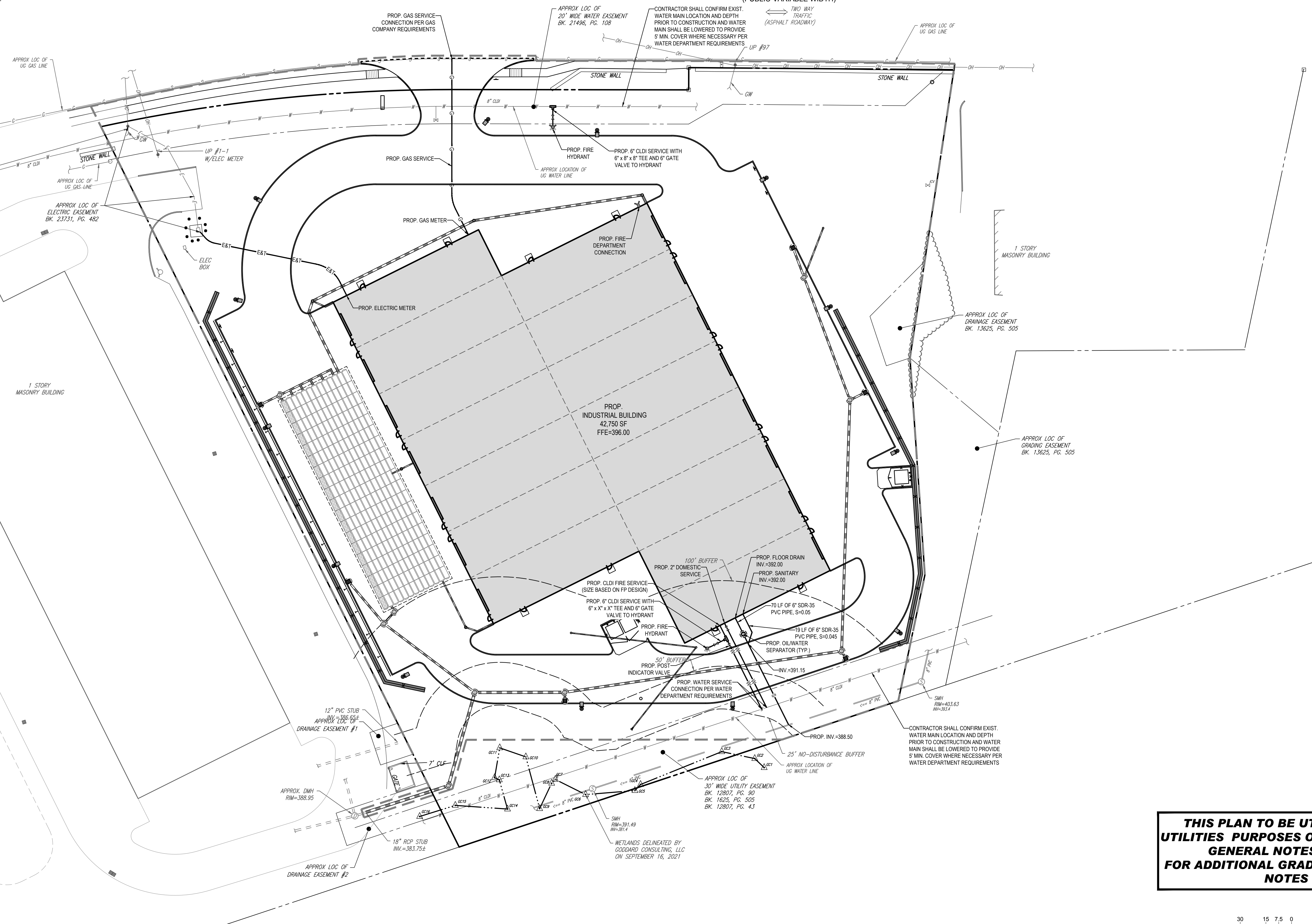


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INTERSTATE 495
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UPPER UNION STREET
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DATE: 02/01/2022
CAD ID: W211057-CVL-5

PROPOSED SITE PLAN DOCUMENTS

FOR

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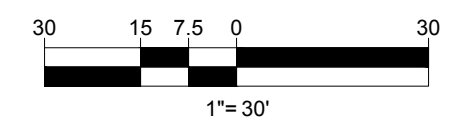
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SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-502

REVISION 5 - 07/19/22

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INTERSTATE 495
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UPPER UNION STREET
(PUBLIC-VARIABLE WIDTH)

TWO WAY TRAFFIC
(ASPHALT ROADWAY)



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CAD ID: W211057-CVL-5

PROPOSED SITE PLAN DOCUMENTS

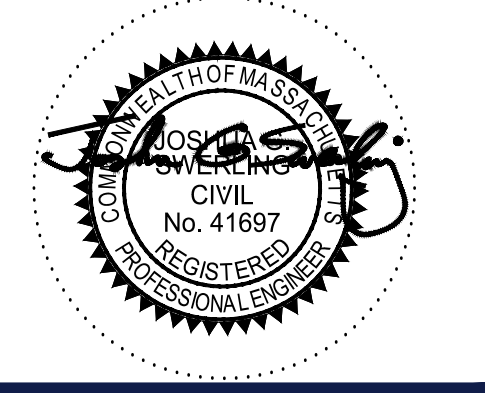
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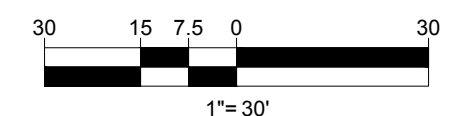
ALL EROSION MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE

THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS

SHEET TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

SHEET NUMBER:
C-601



REVISION 5 - 07/19/22

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EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #6.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOO MAY BE SUBSTITUTED FOR SEED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL, OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED W/ STRAW, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.
- THE USE OF STRAW HAY BALES IS PROHIBITED.

MULCH

LOCATION	MULCH	RATE (1000 SF)
PROTECT AREA	JUTE MESH OR EXCELSIOR MAT	AS REQUIRE
WINDY AREA	JUTE MESH OR EXCELSIOR MAT	AS REQUIRE
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

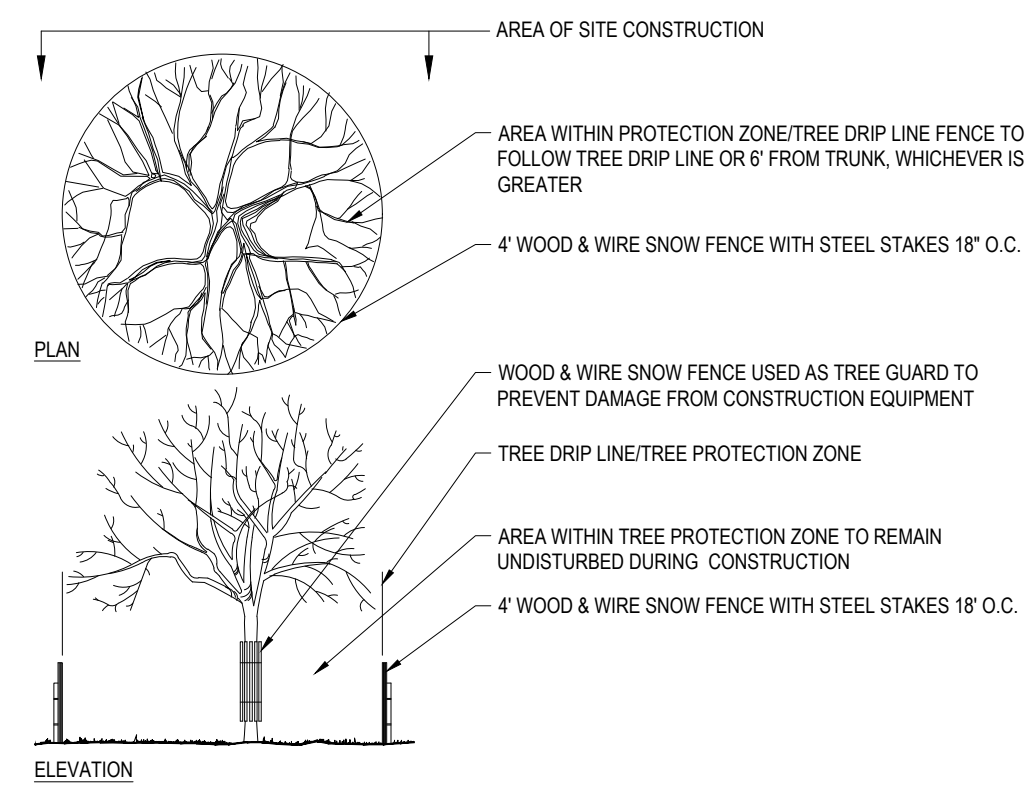
MULCH ANCHORING:
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

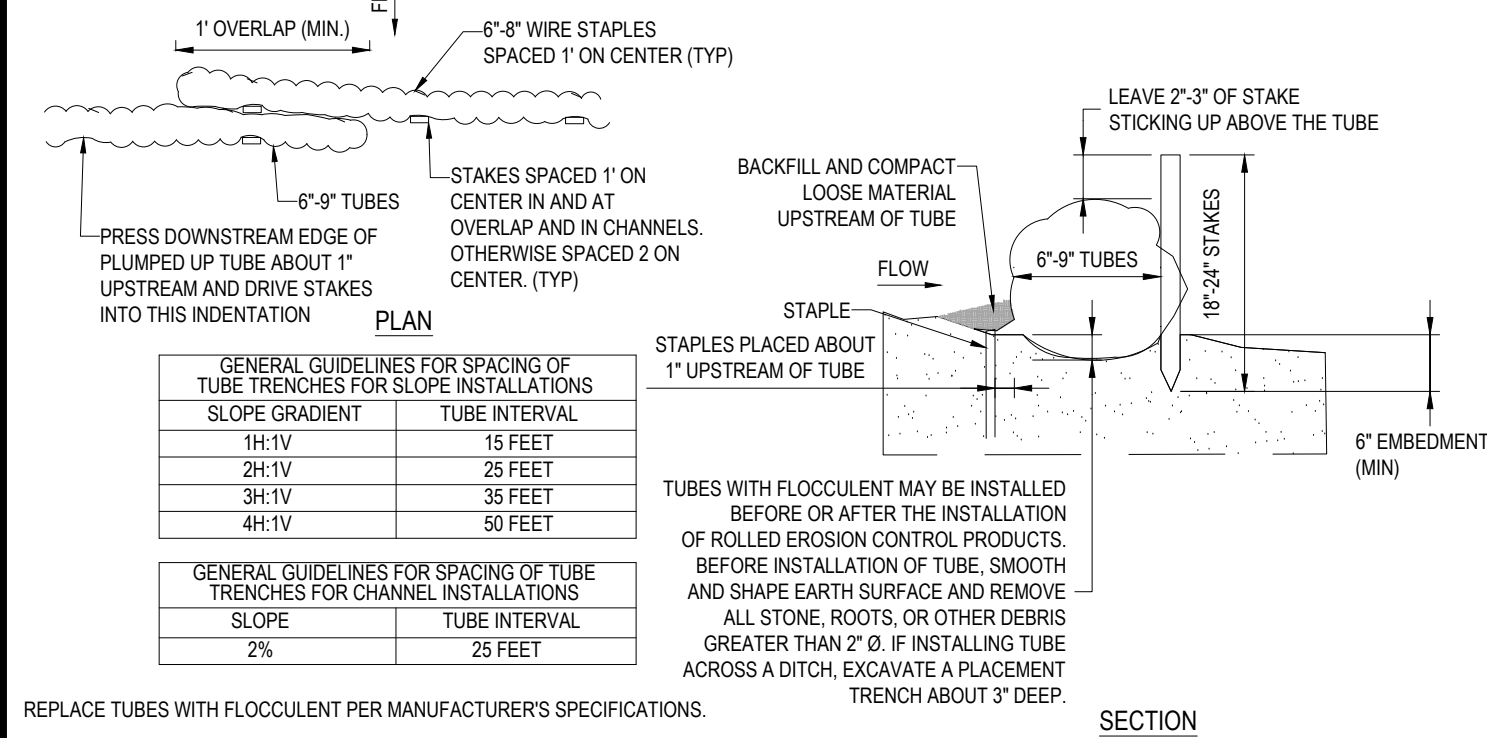
- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR $\frac{1}{2}$ " AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOADED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER, UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

CONSTRUCTION SEQUENCE

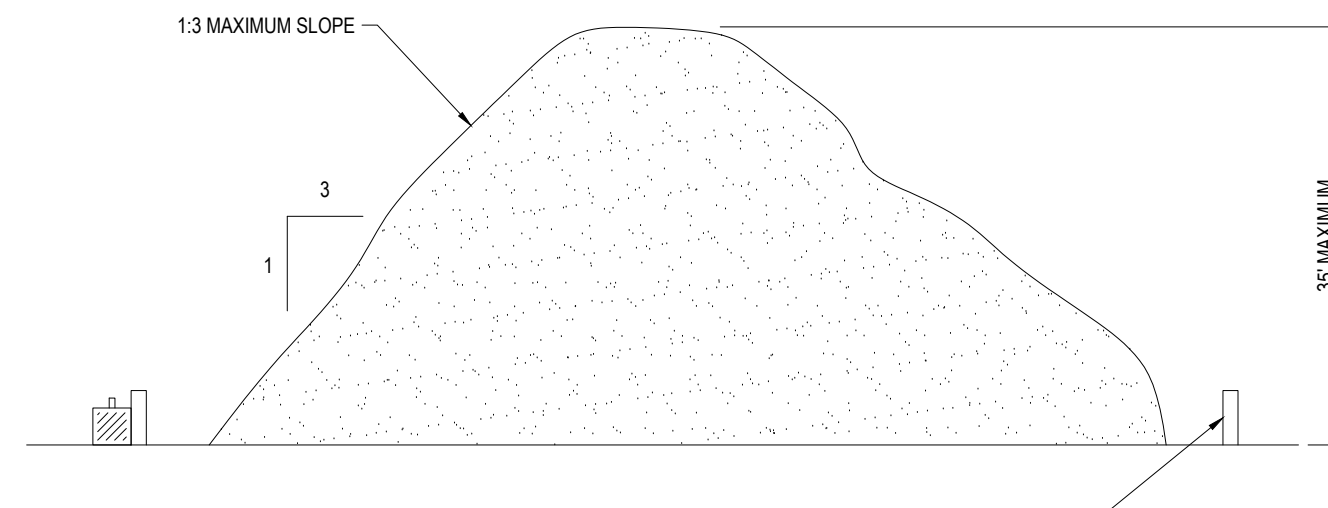
- THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
 - INSTALLATION OF EROSION CONTROL BARRIER (SILT FENCE) (AS SHOWN)
 - DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
 - CLEARING AND GRUBBING
 - EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
 - CONSTRUCTION OF UTILITIES
 - INSTALLATION OF BINDER COURSE PAVEMENT
 - INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
 - STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
 - CONSTRUCTION OF BUILDINGS
 - CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
 - SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
 - FINAL GRADING OF ALL SLOPED AREAS
 - PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
 - INSTALLATION OF TOP COURSE PAVEMENT
 - LANDSCAPING PER LANDSCAPING PLAN
 - REMOVE EROSION CONTROL MEASURES AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.



TREE PROTECTION DURING CONSTRUCTION

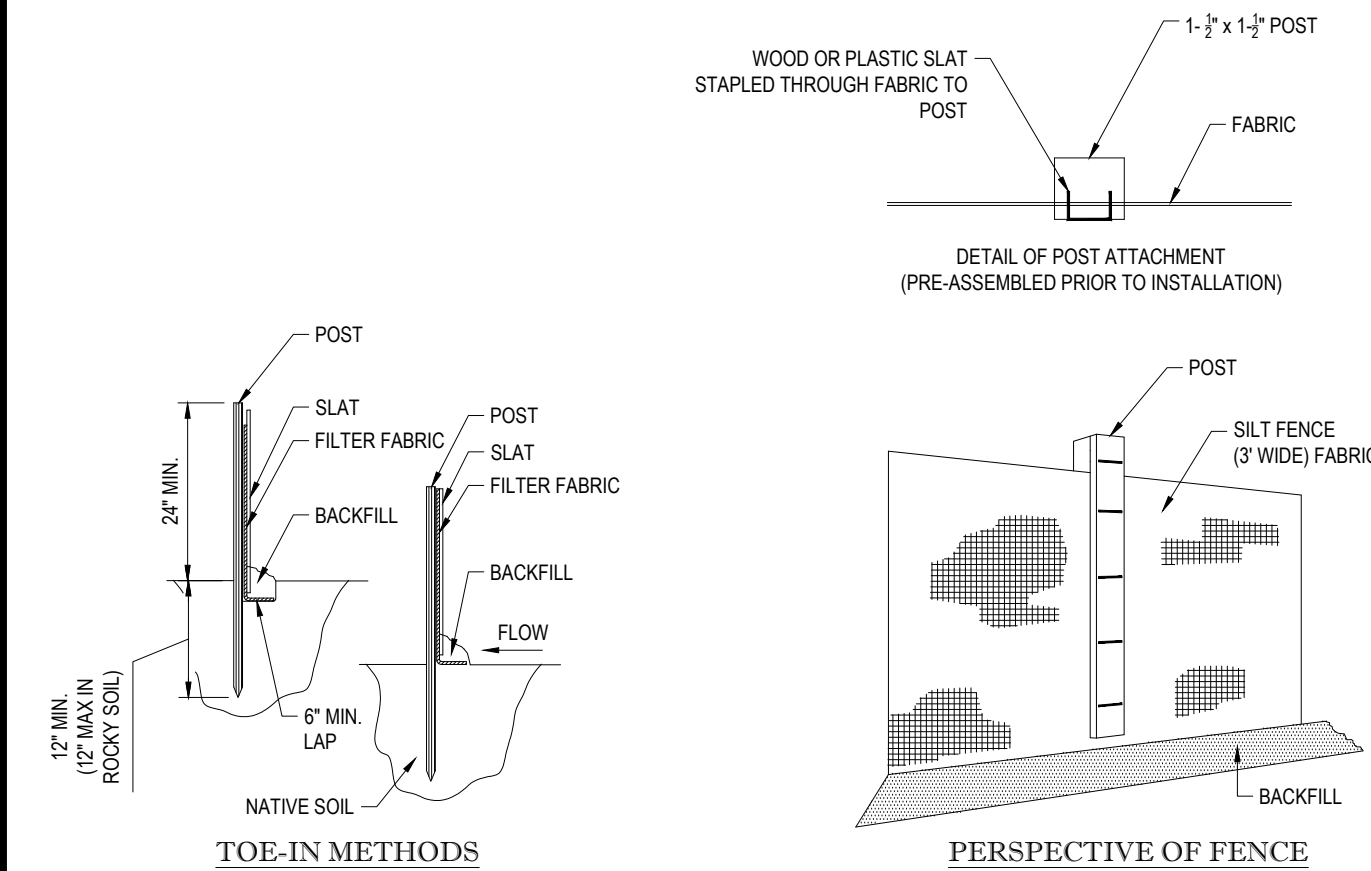


FIBER FLOCCULENT TUBE



TEMPORARY STOCKPILE

- INSTALLATION:
- EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF EROSION CONTROL OF THE SITE.
 - UNROLL SILTATION FENCE AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM FLOW DIRECTION).
 - DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS LAYING ACROSS THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF THE FABRIC ON TO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING FABRIC FLAP ON UNDISTURBED GROUND AND PILING & TAMP-ING FILL AT THE BASE.



SILTATION FENCE

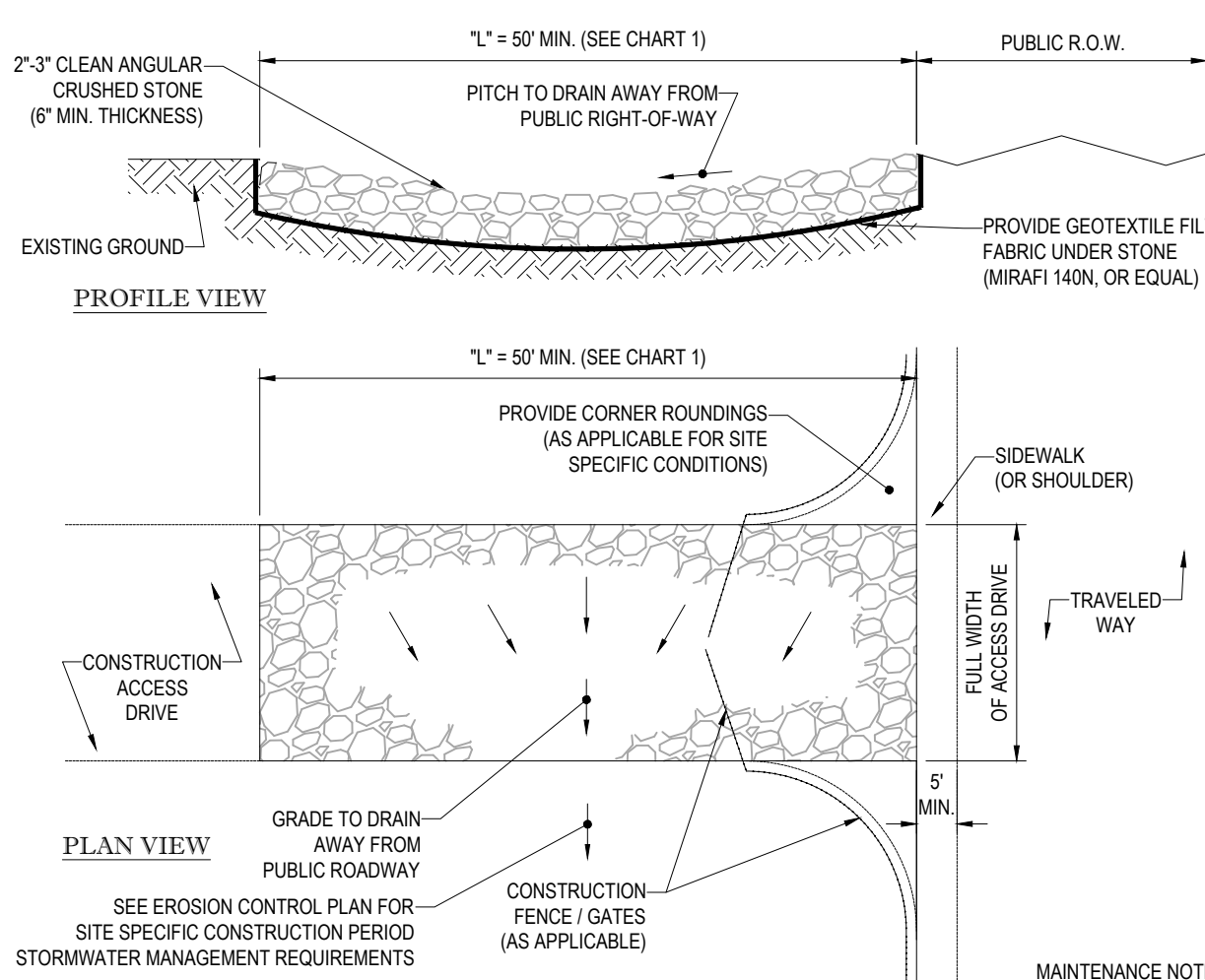
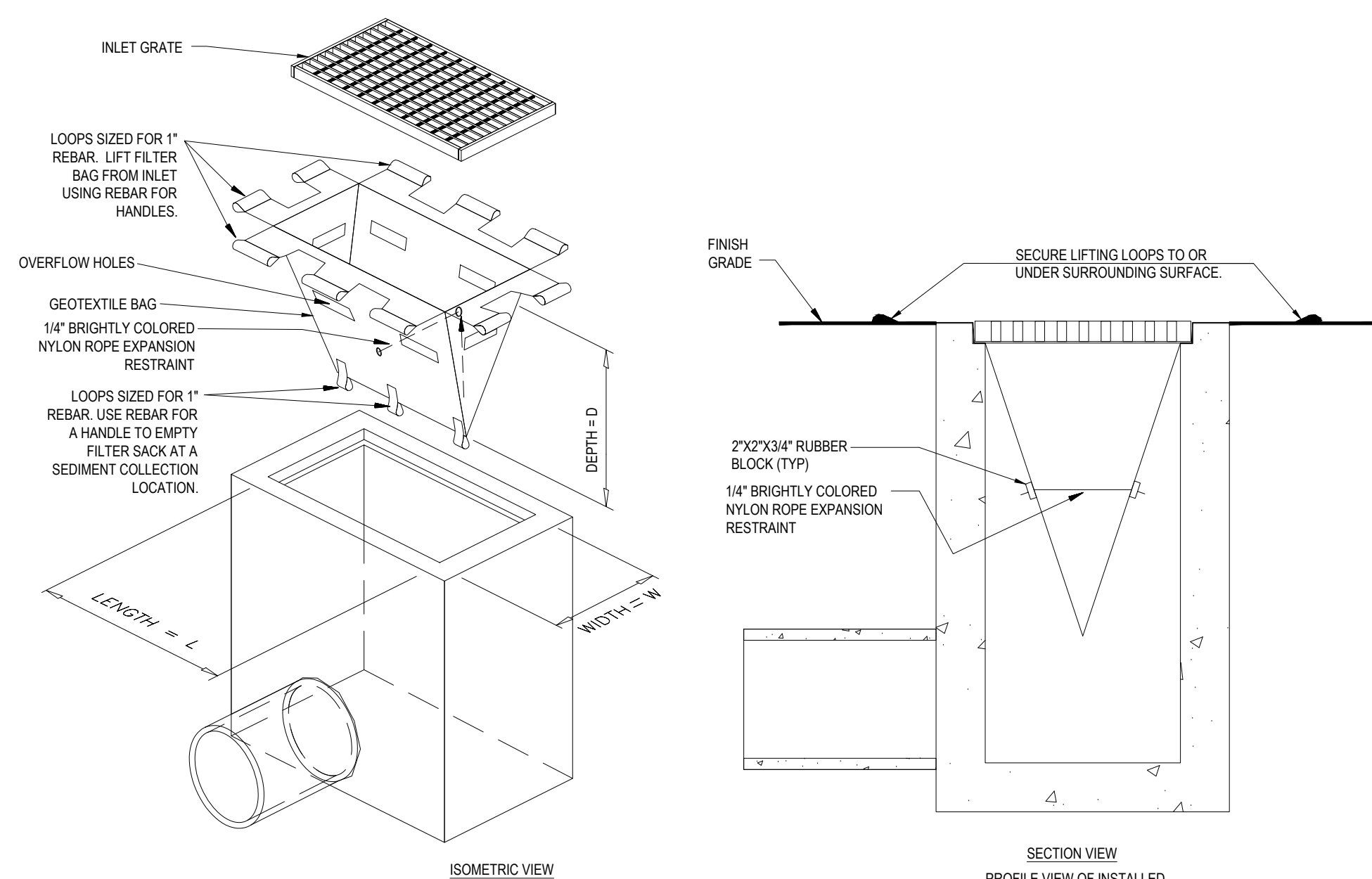


CHART 1

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2% TO 5%	100 FT	200 FT
>5%	ENTIRE ENTRANCE STABILIZED WITH FABC BASE COURSE (1)	

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

STABILIZED CONSTRUCTION EXIT



FILTER SACKS (GRATED INLETS)

LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	255 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
- THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.
TO BE USED IN EXISTING RIGHT OF WAY

N.T.S.

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	03/23/22	NOTICE OF INTENT SUBMISSION	NPD RMM
2	05/09/22	PER TOWN / PEER REVIEW COMMENTS	NPD RMM
3	05/17/22	PER PEER REVIEW COMMENTS	NPD RMM
4	05/24/22	PER TOWN COMMENTS	NPD RMM
5	07/19/22	FOR PB ENDORSEMENT	NPD RMM

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PROJECT No.: W211057
DRAWN BY: NPD
CHECKED BY: RMM
DATE: 02/01/2022
CAD ID.: W211057-CV1-5

PROPOSED SITE PLAN DOCUMENTS

FOR

TMC HOLDINGS & DEVELOPMENT 2, LLC

PROPOSED INDUSTRIAL DEVELOPMENT
UNION STREET BUSINESS PARK II
MAP #314, BLOCK #20, LOT #1
839 UPPER UNION STREET
CITY OF FRANKLIN
NORFOLK COUNTY, MA

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER
No. 41697
REGISTERED

SHEET TITLE:
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

SHEET NUMBER:
C-602

REVISION 5 - 07/19/22

BOHLER\ENG\NETISHARES\MAP\PROJECT\B21\W211057\DRAWINGS\PLAN SET\REV\W211057-CV1-5.dwg - LAYOUT: C-602-ENOTE



INTERSTATE 495
(PUBLIC-VARIABLE WIDTH)

UPPER UNION STREET
(PUBLIC-VARIABLE WIDTH)

SEED MIX KEY

	PROPOSED HYDROSEED
	PROPOSED CONSERVATION/WILDLIFE SEED MIX
	PROPOSED BASIN SEED MIX

**TOWN OF FRANKLIN, MA
LANDSCAPE REQUIREMENTS**

SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
ARTICLE V: SPECIAL REGULATIONS - SECTION 185-20: SIGNS	4. DIMENSIONAL REQUIREMENTS B) FREESTANDING SIGNS FREESTANDING SIGNS ARE REQUIRED TO BE LANDSCAPED WITH SELECTED FLORA, NO MORE THAN TWO FEET ABOVE THE AVERAGE FINISHED GRADE OF ADJOINING GROUND. THIS REQUIREMENT MAY BE WAIVED IF THE LANDSCAPING IS DETERMINED TO BE A SAFETY HAZARD BASED UPON THE BUILDING COMMISSIONER DETERMINATION IN CONSULTATION WITH THE POLICE CHIEF. THE CRITERIA TO BE CONSIDERED WITH REGARD TO FREESTANDING SIGN LANDSCAPING SHALL INCLUDE BUT ARE NOT LIMITED TO WHETHER THE LANDSCAPING BLOCKS THE VIEW OF ONCOMING VEHICLES OR PEDESTRIANS.	PROVIDED - LANDSCAPING PROVIDED AROUND FREESTANDING SIGN
ARTICLE V: SPECIAL REGULATIONS - SECTION 185-21: PARKING LOADING AND DRIVEWAY REQUIREMENTS	C. PARKING AREA DESIGN AND LOCATION (4) LOADING AREAS AND PARKING AREAS FOR 10 OR MORE CARS SHALL PROVIDE SCREENING IN ACCORDANCE WITH § 185-35. (5) PARKING LOTS FOR 20 OR MORE CARS SHALL CONTAIN OR BE BORDERED WITHIN FIVE FEET BY AT LEAST ONE TREE PER 10 PARKING SPACES. TREES TO BE TWO-INCH CALIPER OR LARGER, WITH NOT LESS THAN 40 SQUARE FEET OF UNPAVED SOIL AREA PER TREE. SOIL PLOTS SHALL BE LOCATED SO AS TO ASSURE SAFE INTERNAL CIRCULATION.	REQUIRED: 90 SPACES / 10 = 9 TREES PROVIDED: 9 TREES A MINIMUM OF TWO TREES PER PARKING AREA ARE LOCATED WITHIN 5' OF ADJACENT PARKING SPACES REQUIRED: 513.06 FT / 30 FT = 17.1 TREES PROVIDED: 18 TREES
ARTICLE V: SPECIAL REGULATIONS - SECTION 185-30: TREE PLANTING	ANY LOT ADJUTING A RIGHT-OF-WAY OF 75 FEET OR MORE IN WHICH A BUILDING IS CONSTRUCTED WITHIN 150 FEET OF THE RIGHT-OF-WAY MUST HAVE TREES PLANTED AT LEAST EVERY 30 FEET IN A ROW BETWEEN 30 AND 50 FEET BACK FROM THE RIGHT-OF-WAY, UNLESS A SUFFICIENT NUMBER OF TREES ALREADY EXISTS. TREES MUST BE OF TWO-INCH CALIPER AND APPROVED BY THE TREE WARDEN. IF ANY OF THE TREES DO NOT LIVE THROUGH THE FIRST WINTER, THEY MUST BE REPLACED.	REQUIRED: 513.06 FT / 30 FT = 17.1 TREES PROVIDED: 18 TREES
ARTICLE V: SPECIAL USE REGULATIONS - SECTION 185-31: SITE PLAN AND DESIGN REVIEW	3. DRAWING REQUIREMENTS (K) A LANDSCAPING PLAN SHOWING EXISTING VEGETATION, PROPOSED VEGETATION AND THE DISTINCTION BETWEEN PROPOSED AND RETAINED VEGETATION, A NOTE SHALL BE PLACED ON THE PLAN THAT ALL PLANTINGS SHALL COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK.	PROVIDED - ALL PLANTINGS SELECTED FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK
ARTICLE V: SPECIAL REGULATIONS - SECTION 185-35: SCREENING	A. THE FOLLOWING SHALL BE SCREENED, EXCEPT WITHIN 10 FEET OF THE STREET LINE, FROM ANY ADJACENT RESIDENTIAL DISTRICT OR USE FROM WHICH THEY WOULD OTHERWISE BE VISIBLE: 7) OUTDOOR PARKING FOR 10 OR MORE CARS. B. "SCREENING" IN THIS CONTEXT, SHALL MEAN AN AREA FOUR FEET WIDE DENSELY PLANTED WITH EVERGREEN TREES OR SHRUBS THREE FEET OR MORE IN HEIGHT WHEN PLANTED, OR A WALL, FENCE OR EARTH BERM 12 INCHES OR MORE IN HEIGHT OR EQUIVALENT VISUAL SCREENING BY NATURAL VEGETATION OR DIFFERENCE IN ELEVATION BETWEEN POTENTIAL VIEWERS AND THE SCREENED AREAS.	SCREENING FOR OUTDOOR PARKING AREAS IS PROVIDED



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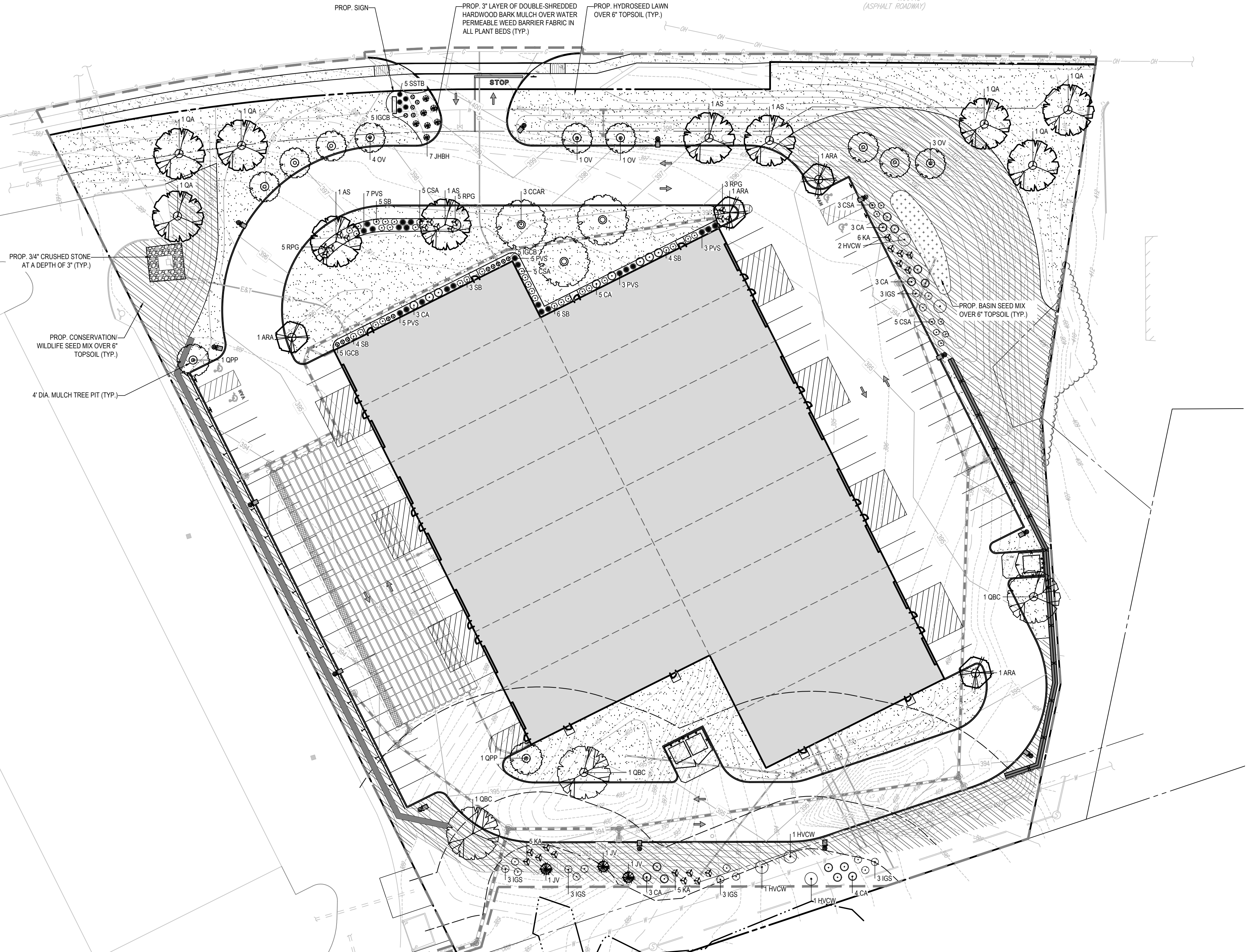
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Phone: (508) 480-9900
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LANDSCAPE PLAN

SHEET TITLE:
C-701
SHEET NUMBER:
REVISION 5 - 07/19/22



LANDSCAPE SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHADE TREES					
ARA	4	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG COLUMNAR RED MAPLE	2 1/2\"/>	
AS	4	ACER SACCHARUM	SUGAR MAPLE	2 1/2\"/>	
CCAR	3	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2 1/2\"/>	
QA	6	QUERCUS ALBA	WHITE OAK	2 1/2\"/>	
QBC	3	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2\"/>	
QPP	2	QUERCUS PALUSTRIS 'PINGREEN'	GREEN PILLAR PIN OAK	2 1/2\"/>	
SUBTOTAL:	22				
ORNAMENTAL TREES					
OV	9	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	8-10'	8-B
SUBTOTAL:	9				
EVERGREEN TREES					
JV	3	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8-10'	8-B
SUBTOTAL:	3				
DECIDUOUS SHRUBS					
CA	21	CLETHRA ALNIFOLIA	SUMMERSWEET CLETHRA	24-30"	CONTAINER
SB	22	SPIRAEA BETULIFOLIA	WHITE SPIRAEA	18-24"	CONTAINER
CSA	18	CORNUS STOLONIFERA 'ARCTIC FIRE'	COMPACT RED TWIG DOGWOOD	18-24"	8-B
HVCW	5	HAMAMELIS VIRGINIANA	COMMON WITCHHAZEL	3-4'	8-B
SUBTOTAL:	66				
EVERGREEN SHRUBS					
IGCB	15	ILEX GLABRA 'GEM BOX'	DWARF INKBERRY HOLLY	18-24"	CONTAINER
IGS	15	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24-30"	8-B
KA	16	KALMIA ANGUSTIFOLIA	SHEEP LAUREL	18-24"	CONTAINER
RPG	13	RHOODODENDRON 'PURPLE GEM'	PURPLE GEM RHODODENDRON	24-30"	CONTAINER
SUBTOTAL:	59				
GROUND COVERS					
JHB	7	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18\"/>	
SUBTOTAL:	7				
ORNAMENTAL GRASSES					
PVS	23	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL.	CONTAINER
SSTB	5	SCHIZACHYRIUM SCOPARUM 'THE BLUES'	LITTLE BLUE STEM	2 GAL.	CONTAINER
SUBTOTAL:	28				

OWNER MAINTENANCE RESPONSIBILITIES

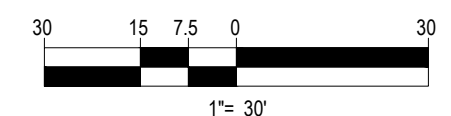
UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE BUSHES, SHRUBS, GRASSES, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS



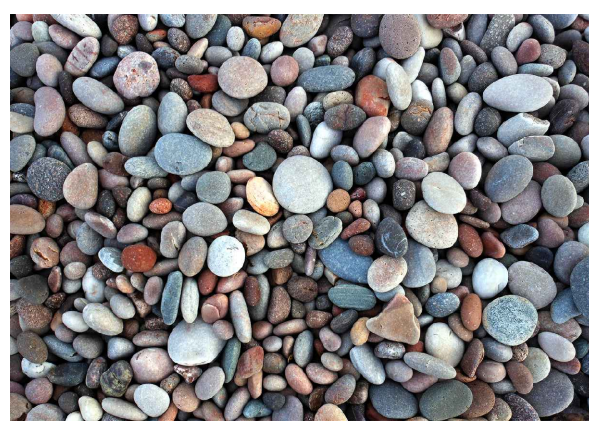
I:\BOHLER\NET\ISHARES\MAP.PROJECT\21\W211057\DRAWINGS\PLAN.BET\REV\W211057-LND-5.dwg...LAYOUT: C-701-LAND

LANDSCAPE SPECIFICATIONS

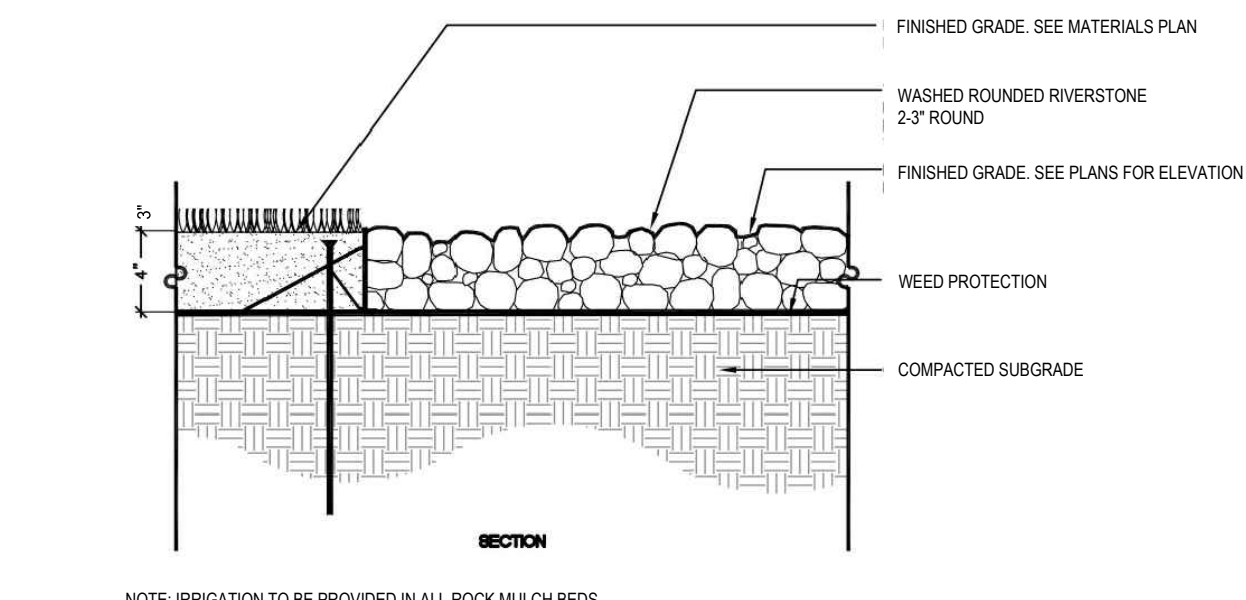
- SCOPE OF WORK
 - THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOODING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- MATERIALS
 - GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATIONS SPECIFICATIONS.
 - TOPSOIL - NATURAL, FRAGILE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1") WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
 - LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 2" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SOODIED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN.
 - LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
 - SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
 - MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 2" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.
 - FERTILIZER
 - FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
 - FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - PLANT MATERIAL
 - ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
 - IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
 - PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
 - TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
 - ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
 - CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
 - SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
 - TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
- GENERAL WORK PROCEDURES
 - CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
 - WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- SITE PREPARATIONS
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
 - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE MADE AT AN ANGLE AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
 - CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
- TREE PROTECTION
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
 - A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VIS-FENCE," OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE INSTALLED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
 - WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
 - AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
- SOIL MODIFICATIONS
 - CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
 - THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6"-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
 - TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- FINISHED GRADING
 - UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
 - LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
- TOPSOILING
 - CONTRACTOR SHALL PROVIDE A 2" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
 - ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
 - ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY (SEE SPECIFICATION 6.3.1)):
 - 20 POUNDS GRO-POWER OR APPROVED SOIL CONDITIONER/FERTILIZER
 - 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
 - THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
- PLANTING
 - INSO FAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNPLANTED PLANTS FROM WEATHER. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
 - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
 - ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
 - ALL PLANTING CONTAINERS, BASKETS AND NON-Biodegradable MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
 - POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
 - PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR DURING THE FOLLOWING PLANTING SEASONS:
 - PLANTS: MARCH 15 TO DECEMBER 15
 - LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
 - PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
 - FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:

ACER VARIETIES	PLATANUS X ACERIFOLIA
BETULA VARIETIES	POPULUS VARIETIES
CARPINUS VARIETIES	PRUNUS VARIETIES
CRATAEGUS VARIETIES	PYRUS VARIETIES
KOELREUTERA	QUERCUS VARIETIES
LIQUIDAMBAR STRACIFLUA	TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA	ZELKOVA VARIETIES

- PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY.
 - 1 PART PEAT MOSS
 - 1 PART COMPOSTED COW MANURE BY VOLUME
 - 3 PARTS TOPSOIL BY VOLUME
 - 21 GRAMS NIGROFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
 - 2 TABLETS PER 1 GALLON PLANT
 - 3 TABLETS PER 5 GALLON PLANT
 - 4 TABLETS PER 15 GALLON PLANT
 - LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
- FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
- ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PLANT PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
- ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7" FROM GROUND.
- GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
- NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
- ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
- ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.
- TRANSPLANTING (WHEN REQUIRED)
 - ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
 - IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
 - PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
 - UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
 - TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
 - F TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
- WATERING
 - NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
 - SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
 - IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
- GUARANTEE
 - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTOR HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
 - ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
 - TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
 - LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- CLEANUP
 - UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
 - THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
- MAINTENANCE (ALTERNATIVE BID)
 - A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE OWNER/OPERATOR.



SPECIFICATIONS
NAME: HUDSON VALLEY 2" - 3" RIVER BED STONE
COLOR: COLORS WILL BE BROWNS, GREYS, AND TANS WITH LITTLE ELKAS OR BURGUNDY TONES.
SHAPE: PRIMARILY ROUND OR OVAL SCREENED STONE WITH NO SHARP ANGULAR SIDES OR FACES.
SIZE: STONE SIZES WILL RANGE FROM 2" - 3" IN AT LEAST ONE DIMENSION. STONE SIDES SHOULD BE UNIFORM WITH LITTLE VARIATION FROM THIS RANGE.
SILT CONTENT: STONE NEEDS TO BE CLEAN OF DEBRIS AND SILT AT TIME OF DELIVERY.



STONE MULCH

"NEW ENGLAND CONSERVATION WILDLIFE SEED MIX" AS PREPARED BY:
NEW ENGLAND WETLAND PLANTS, INC.
800 WEST STREET, AMHERST, MA 01002
PHONE: 413-548-8000
EMAIL: INFO@NEWP.COM
WEBSITE: WWW.NEWP.COM

SPECIES: VIRGINIA WILD RYE (ELYMUS VIRGINICUS), LITTLE BLUESTEM (SCHIZACHYRUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (PANICUM VIRGATUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), PANICLED LEAF TICK TREEFOOT (DESCHAMPSIA PANICULATA), INDIAN GRASS (SORGHASTRUM NUTANS), BLUE GERARDIAN (VERBENA HASTATA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), BLACK EYED SUSAN (RUDEBECKIA HIRT), COMMON SNEEZEWEED (HELENUM AUTUNNALE), HEATH ASTER (ASTER PLICATUS), PANICUM VIRGATUM, EARLY GOLDENROD (SOLIDAGO JUNCEA), UPLAND BENTGRASS (AGROSTIS PERENNANS).

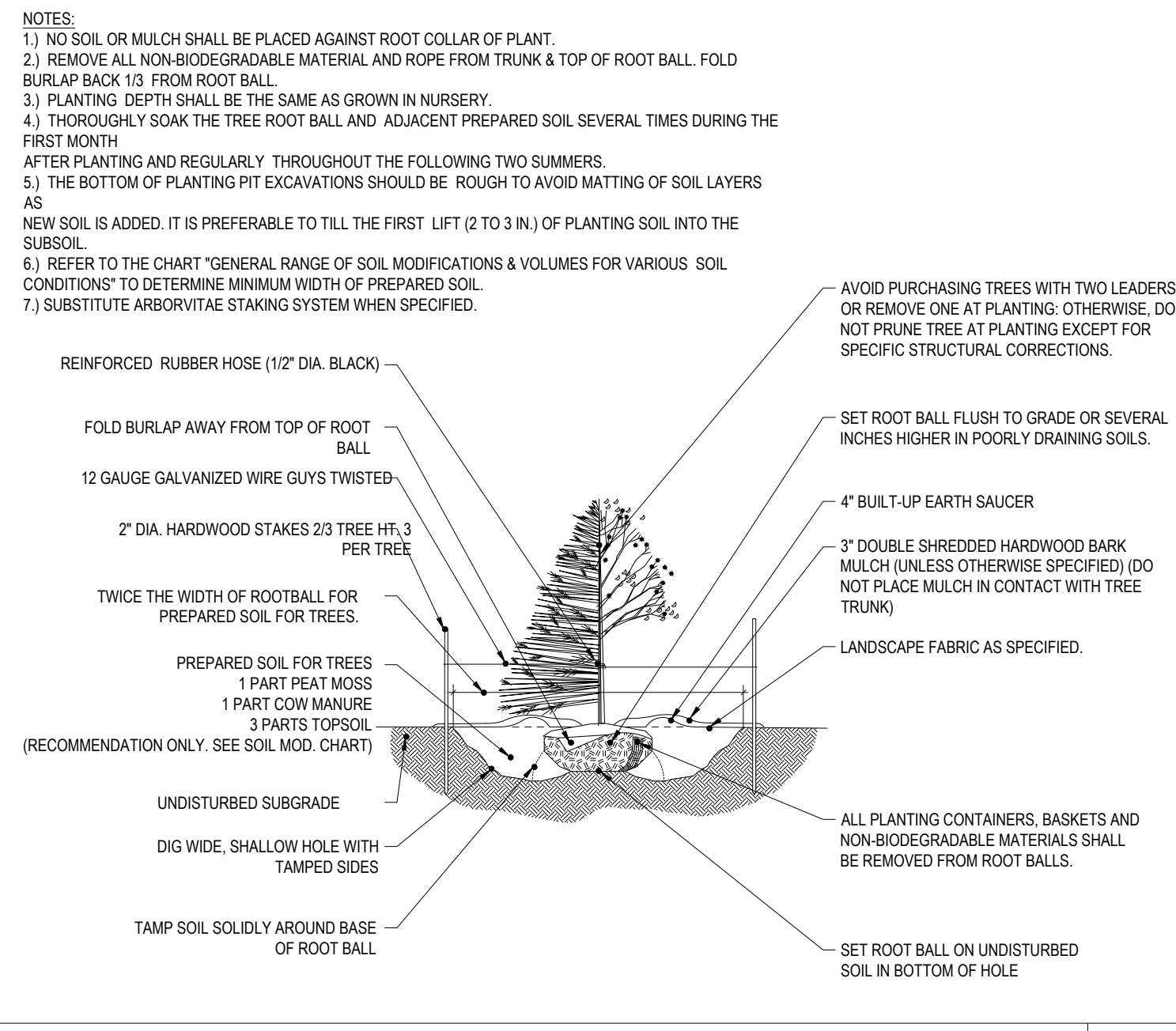
NEW ENGLAND CONSERVATION WILDLIFE SEED MIX SPECIFICATIONS

"NATIVE DETENTION AREA MIX" AS PREPARED BY:
ERNST CONSERVATION SEEDS, INC.
8884 MERCER PIKE, MEADVILLE, PA 16335
PHONE: 800-873-3211 / 814-336-2024
EMAIL: SALES@ERNSTSEED.COM
WEBSITE: WWW.ERNSTSEED.COM

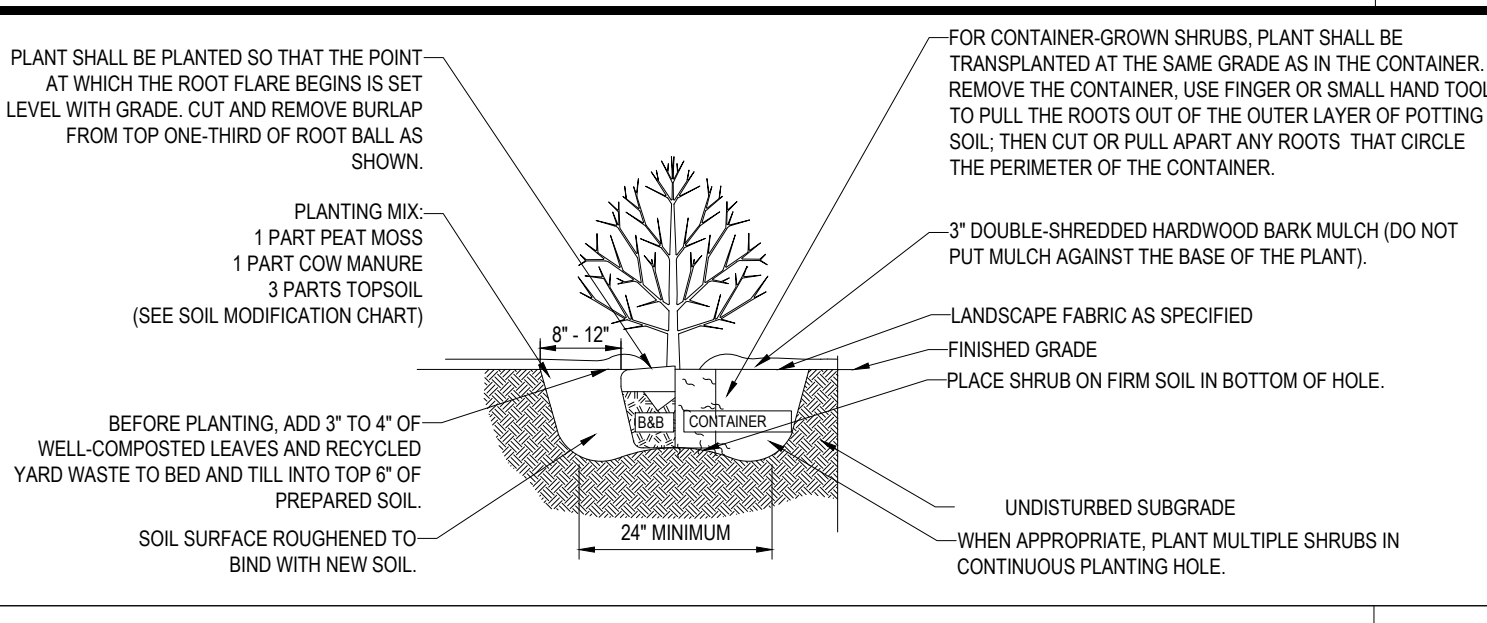
APPLICATION RATE: 1/2 LB. / 1000 SQ. FT. (20 LBS. / ACRE)

MIX COMPOSITION:
25.0% PANICUM VIRGATUM, "SHELTER" (SWITCHGRASS, "SHELTER")
24.0% PANICUM CLANDESTINUM, "TODD" (BERTONKUE, "TODD")
22.0% CAREX VULPIDOIDEA, PA ECOTYPE (FOX SEDGE, PA ECOTYPE)
21.0% ELYMUS VIRGINICUS, PA ECOTYPE (VIRGINIA WILDRYE, PA ECOTYPE)
6.0% AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE (AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE)
1.0% JUNCUS EFFUSUS (SOFT RUSH)
1.0% PANICUM RIGIDULUM, PA ECOTYPE (REDTOP PANICGRASS, PA ECOTYPE)

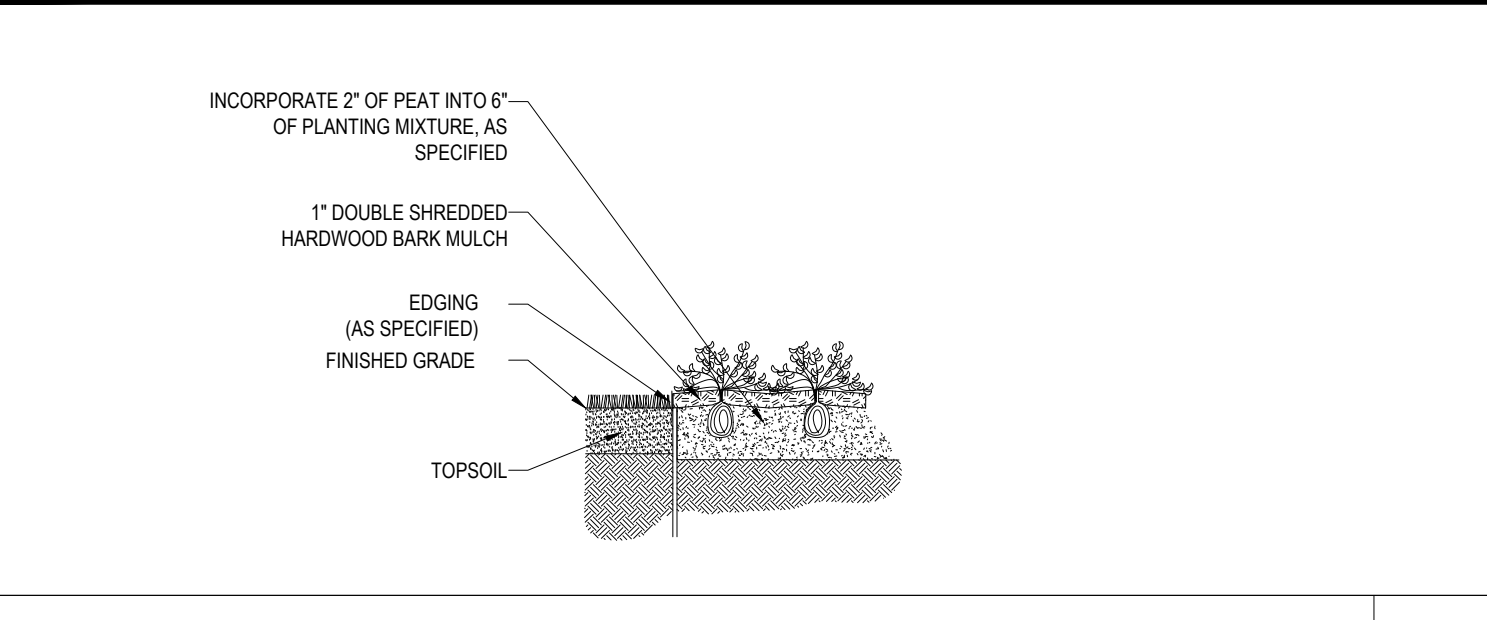
BASIN SEED MIX SPECIFICATIONS



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

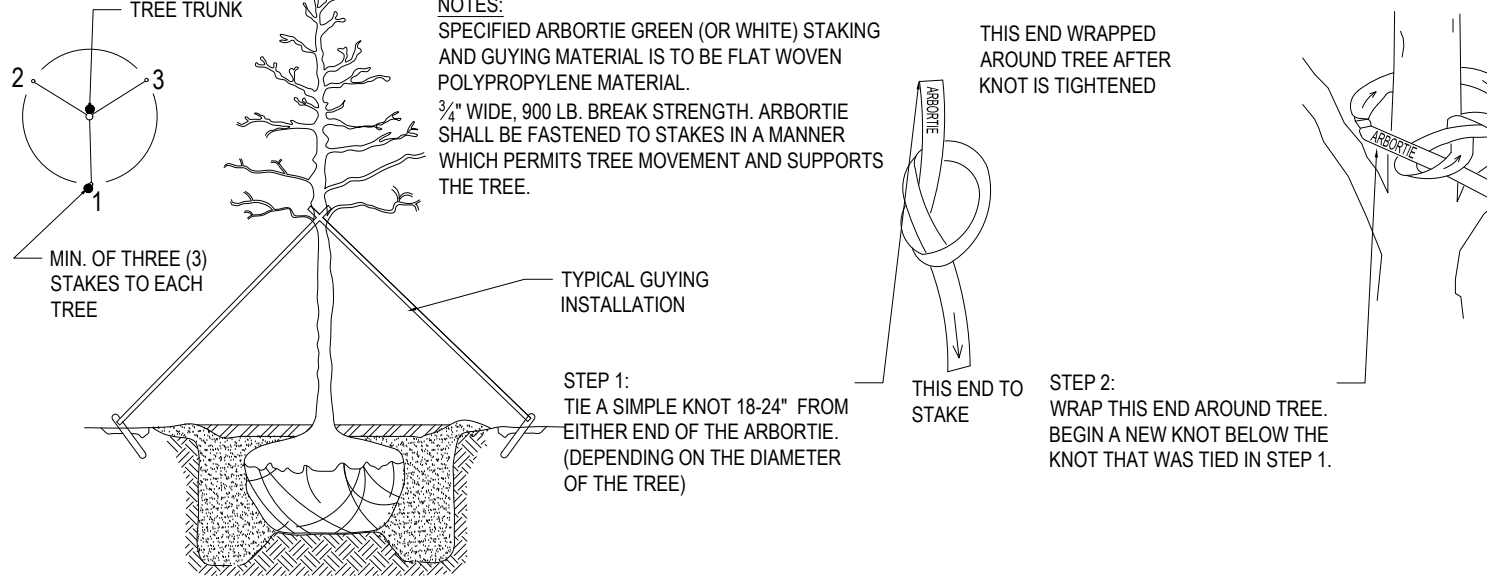


GROUNDCOVER PLANTING

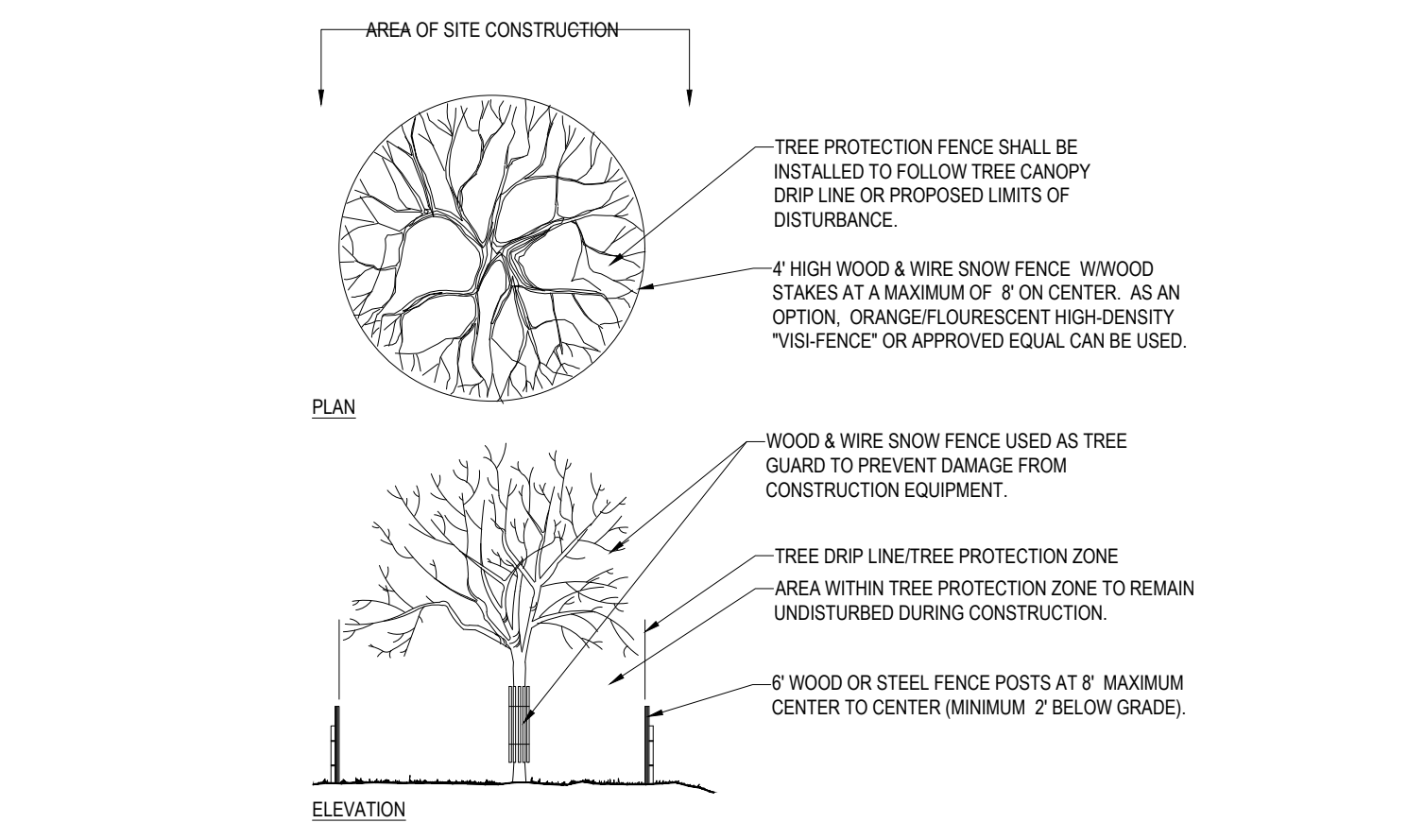
- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- SEEDING RATES:

PERENNIAL RYEGRASS	1/2 LB/1000 SQ FT
KENTUCKY BLUEGRASS	1 LB/1000 SQ FT
RED FESCUE	1/2 LB/1000 SQ FT
SPREADING FESCUE	1/2 LB/1000 SQ FT
FERTILIZER (16-32-16)	2 LB/1000 SQ FT
LIQUID LIME	1 GAL/800 GAL
TANK TACKIFIER	35 LB/800 GAL
TANK FIBER MULCH	30 LB/1000 SQ FT
- GERMINATION RATES WILL VARY AS A TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY FENCING.

HYDROSEED SPECIFICATIONS

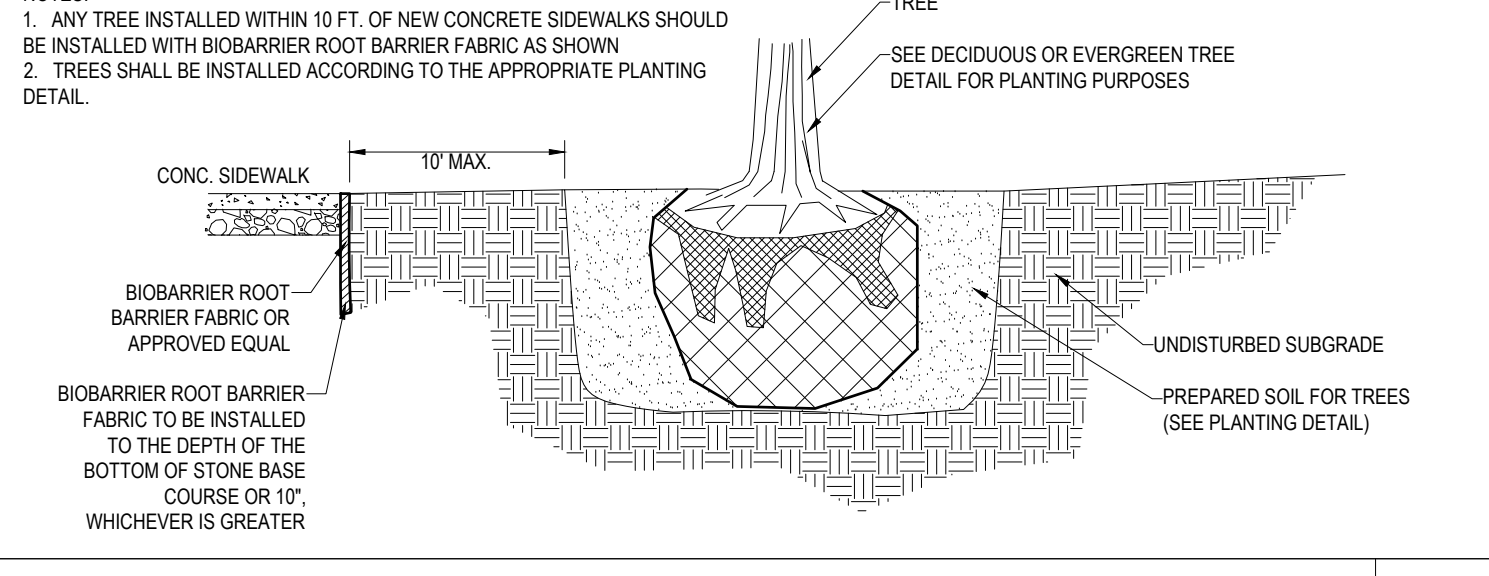


ARBORVITAE STAKING DETAIL

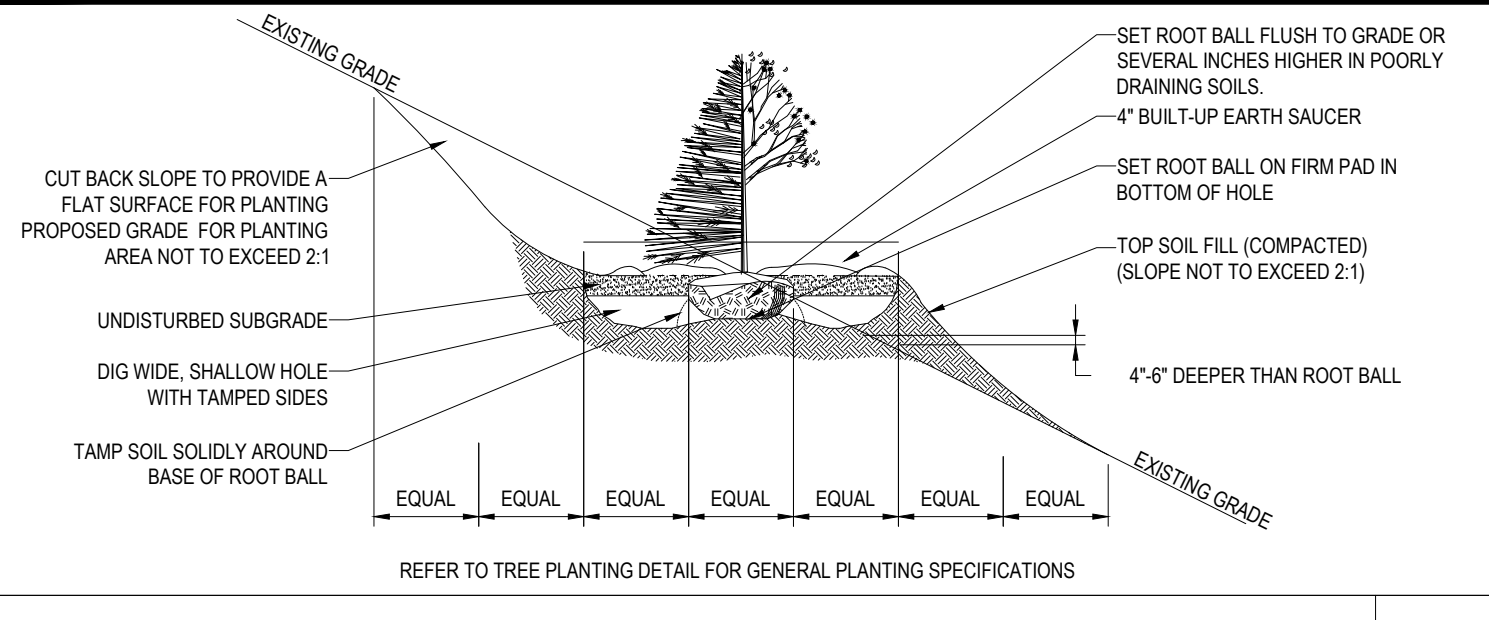


TREE PROTECTION DURING SITE CONSTRUCTION

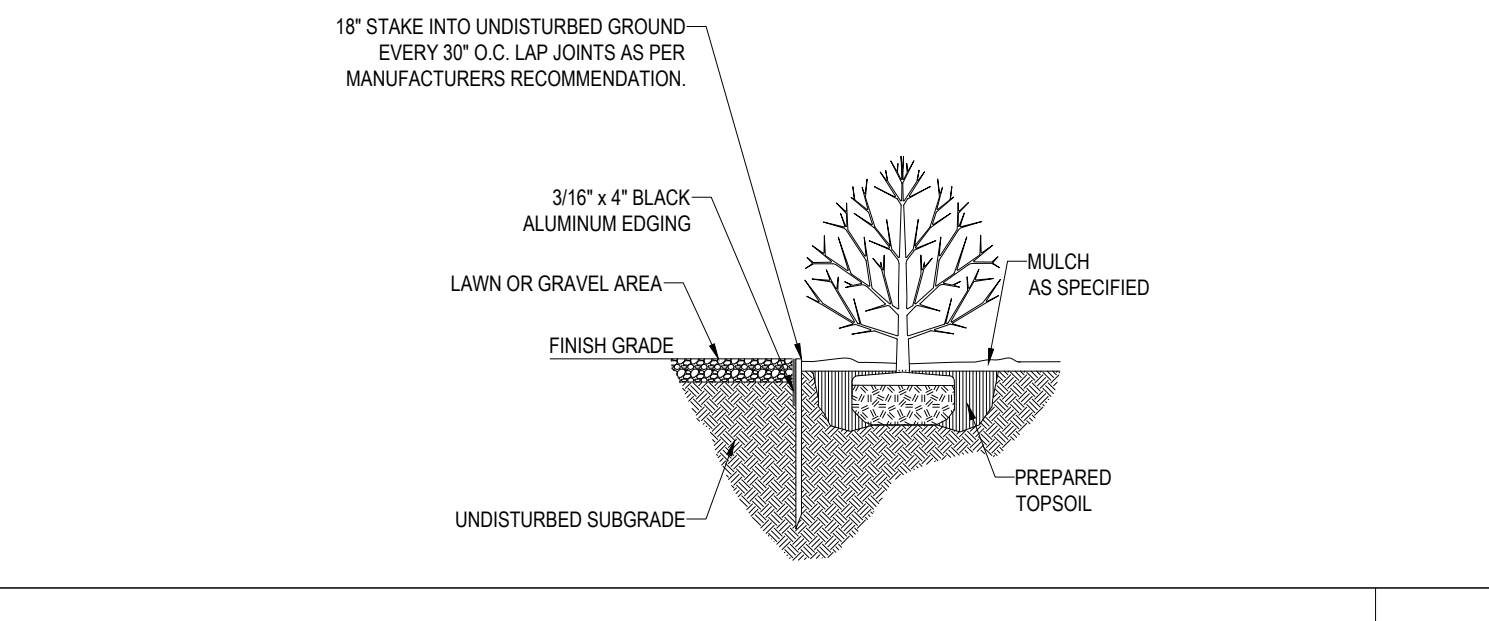
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
- REMOVE ALL NON-BIODEGRADABLE MATERIAL AND ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 15" FROM ROOT BALL.
- PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.
- REFER TO THE CHART "GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS" TO DETERMINE MINIMUM WIDTH OF PREPARED SOIL.
- SUBSTITUTE ARBORVITAE STAKING SYSTEM WHEN SPECIFIED.



BIOBARRIER ROOT BARRIER DETAIL



TREE PLANTING DETAIL - ON SLOPE



BLACK ALUMINUM EDGING

- 18" STAKE INTO UNDISTURBED GROUND EVERY 30" O.C. LAP JOINTS AS PER MANUFACTURER'S RECOMMENDATION.
- SEEDING RATES:

PERENNIAL RYEGRASS	1/2 LB/1000 SQ FT
KENTUCKY BLUEGRASS	1 LB/1000 SQ FT
RED FESCUE	1/2 LB/1000 SQ FT
SPREADING FESCUE	1/2 LB/1000 SQ FT
FERTILIZER (16-32-16)	2 LB/1000 SQ FT
LIQUID LIME	1 GAL/800 GAL
TANK TACKIFIER	35 LB/800 GAL
TANK FIBER MULCH	30 LB/1000 SQ FT
- GERMINATION RATES WILL VARY AS A TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY FENCING.

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REVISIONS				
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5	07/19/22	FOR PB ENDORSEMENT	NPD	RMM

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PROJECT No.: W211057
DRAWN BY: NPD
CHECKED BY: RMM
DATE: 02/02/2022
CAD ID.: W211057-LND-5

PROJECT:
PROPOSED SITE PLAN DOCUMENTS
FOR
TMC HOLDINGS & DEVELOPMENT 2, LLC

PROPOSED INDUSTRIAL DEVELOPMENT
UNION STREET BUSINESS PARK II
MAP #314, BLOCK #20, LOT #1
839 UPPER UNION STREET
CITY OF FRANKLIN
NORFOLK COUNTY, MA

BOHLER
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

REGISTERED PROFESSIONAL ENGINEER
STATE OF MASSACHUSETTS
No. 817
EXPIRES 12/31/2025

SHEET TITLE:
LANDSCAPE NOTES AND DETAILS
SHEET NUMBER:
C-702

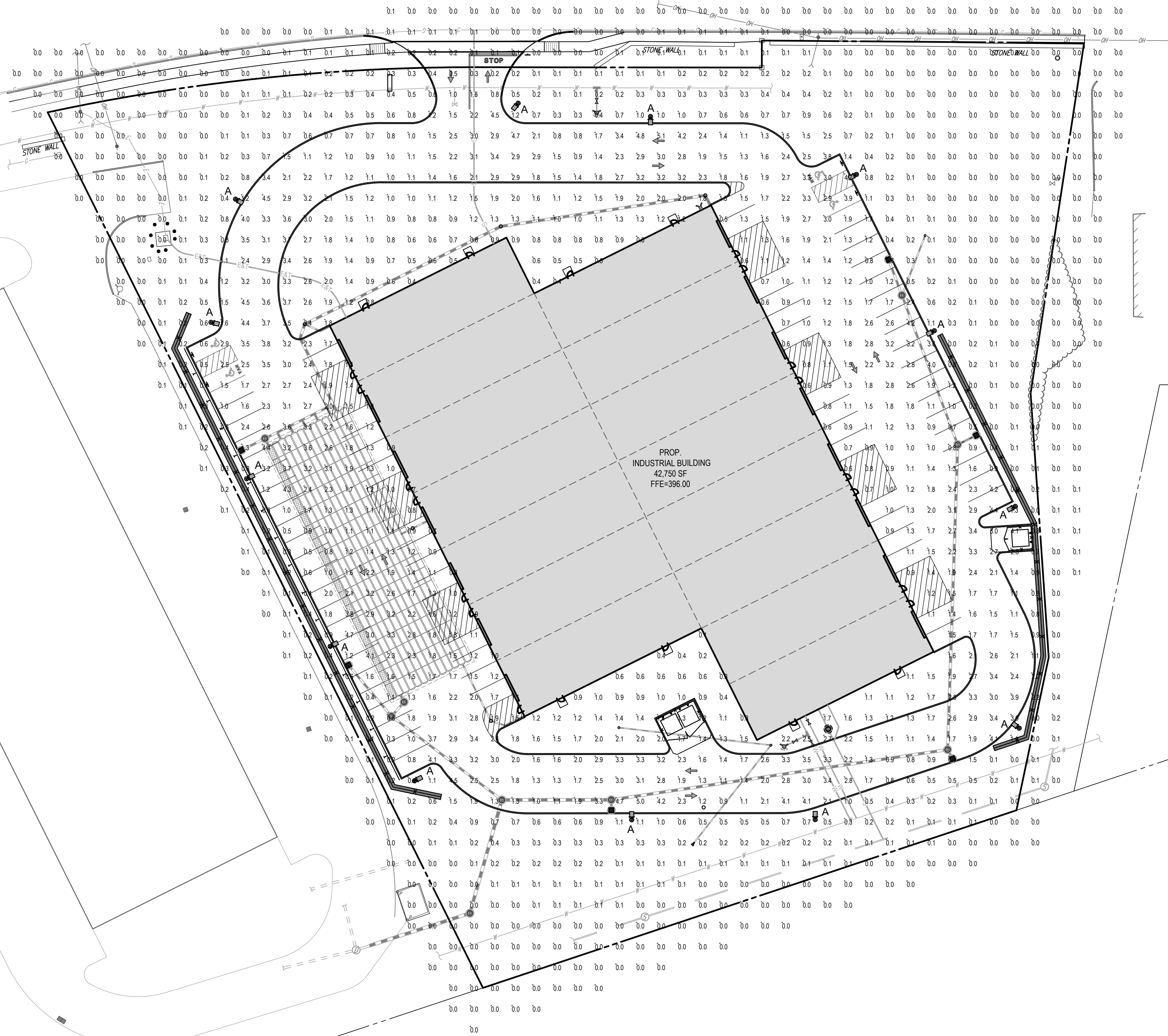
REVISION 5 - 07/19/22

BOHLER\ENG\NETSH\SHARES\PROJECTS\2021\W211057\DRAWINGS\PLAN SETS\REVIEWS\10972-LND-5.dwg - LA-YOUI: C:702-LND-5



UPPER UNION STREET (PUBLIC-VARIABLE WIDTH)

← TWO WAY TRAFFIC
(ASPHALT ROADWAY)



LIGHTING NOTES

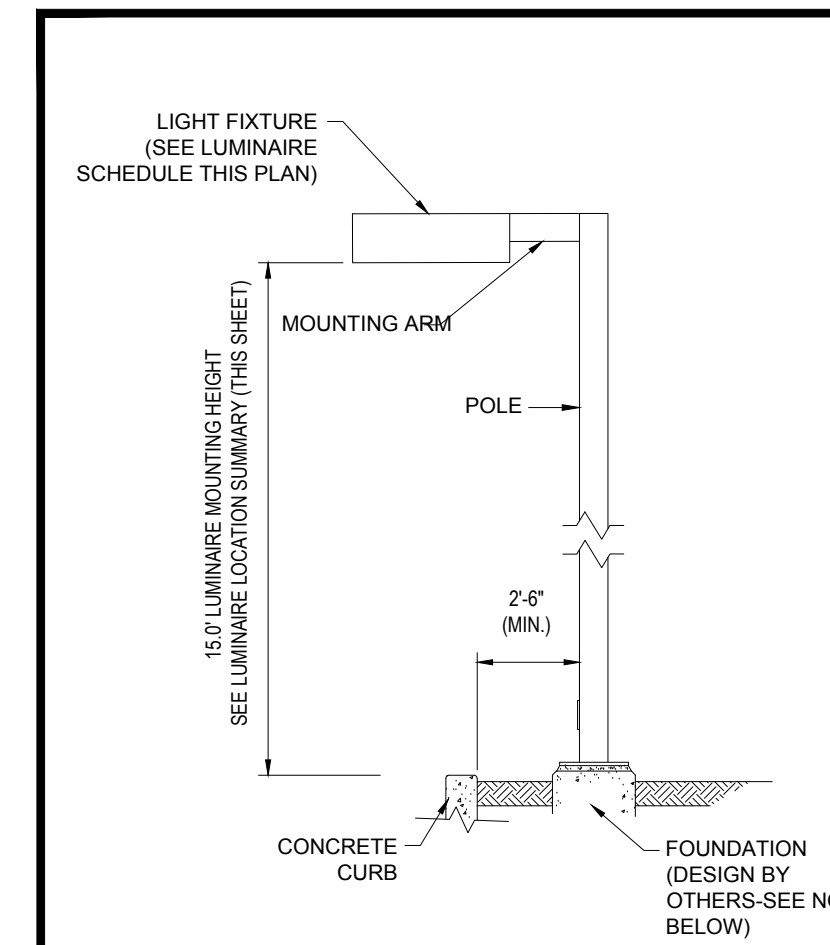
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING IF NECESSARY AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC. ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

NUMERIC SUMMARY

LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
FRONT PARKING	ILLUMINANCE	FC	1.81	5.1	0.1	18.10	51.00

LUMINAIRE SCHEDULE

SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION
□ A	13	SINGLE	17230	0.90	LSI LIGHTING FORWARD THROW LED AREA LIGHT WITH SHIELD MOUNTED @ 2° XGBM-FT-LED-SS-NW-HSS



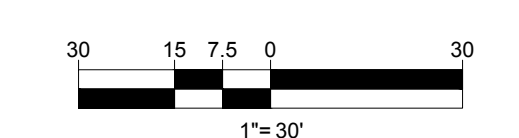
AREA LIGHT DETAIL

N.T.S.

NOTE: THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A FOUNDATION DESIGN PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.

- SOME SITE CONDITIONS AND/OR LOCATIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
- THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING TO THE POLE, ASIDE FROM THE LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.

**THIS PLAN TO BE UTILIZED FOR
LIGHTING PURPOSES ONLY**



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PROJECT No.: W211057
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CHECKED BY: RMM
DATE: 02/01/2022
CAD ID: W211057-CVL-5

PROPOSED SITE PLAN DOCUMENTS

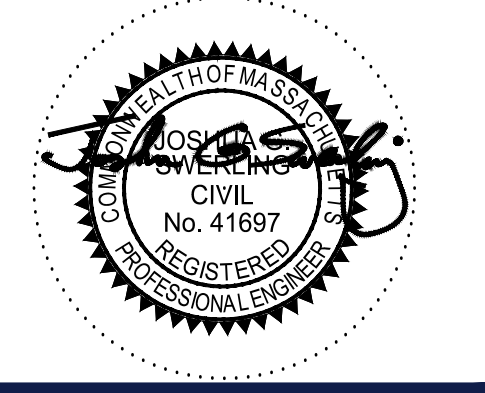
FOR

TMC HOLDINGS & DEVELOPMENT 2, LLC

PROPOSED
INDUSTRIAL DEVELOPMENT
UPPER UNION STREET BUSINESS PARK II
MAP #314, BLOCK #20, LOT #1
839 UPPER UNION STREET
CITY OF FRANKLIN
NORFOLK COUNTY, MA

BOHLER

352 TURNPIKE ROAD
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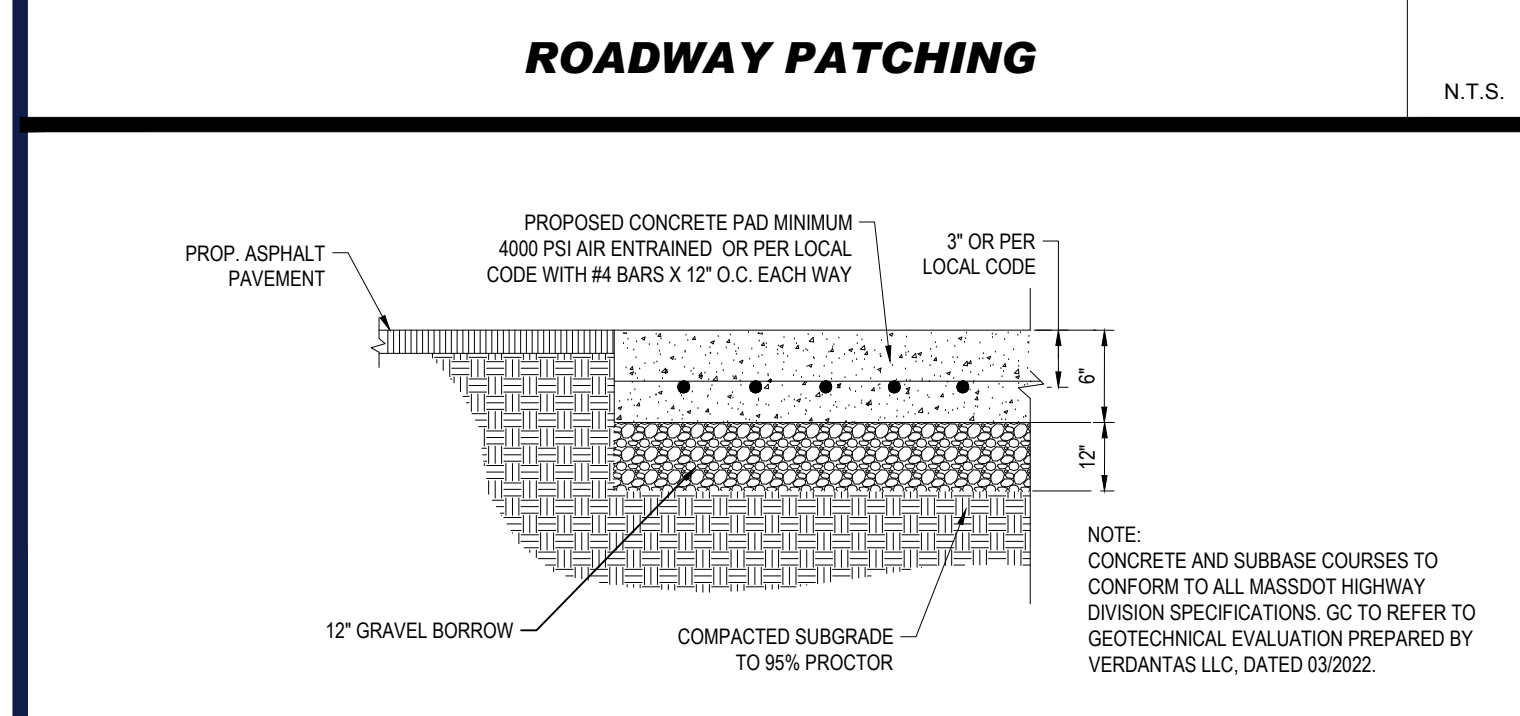
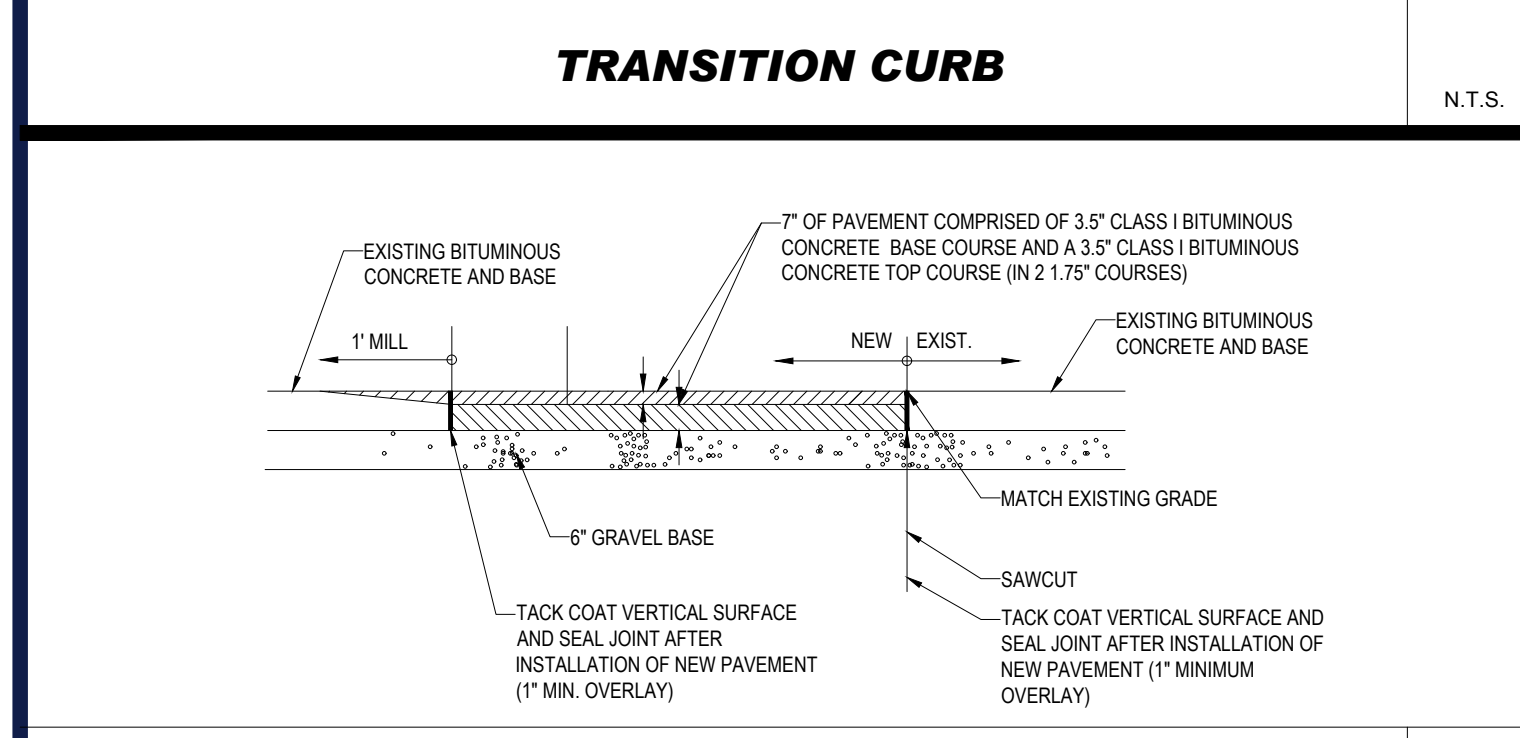
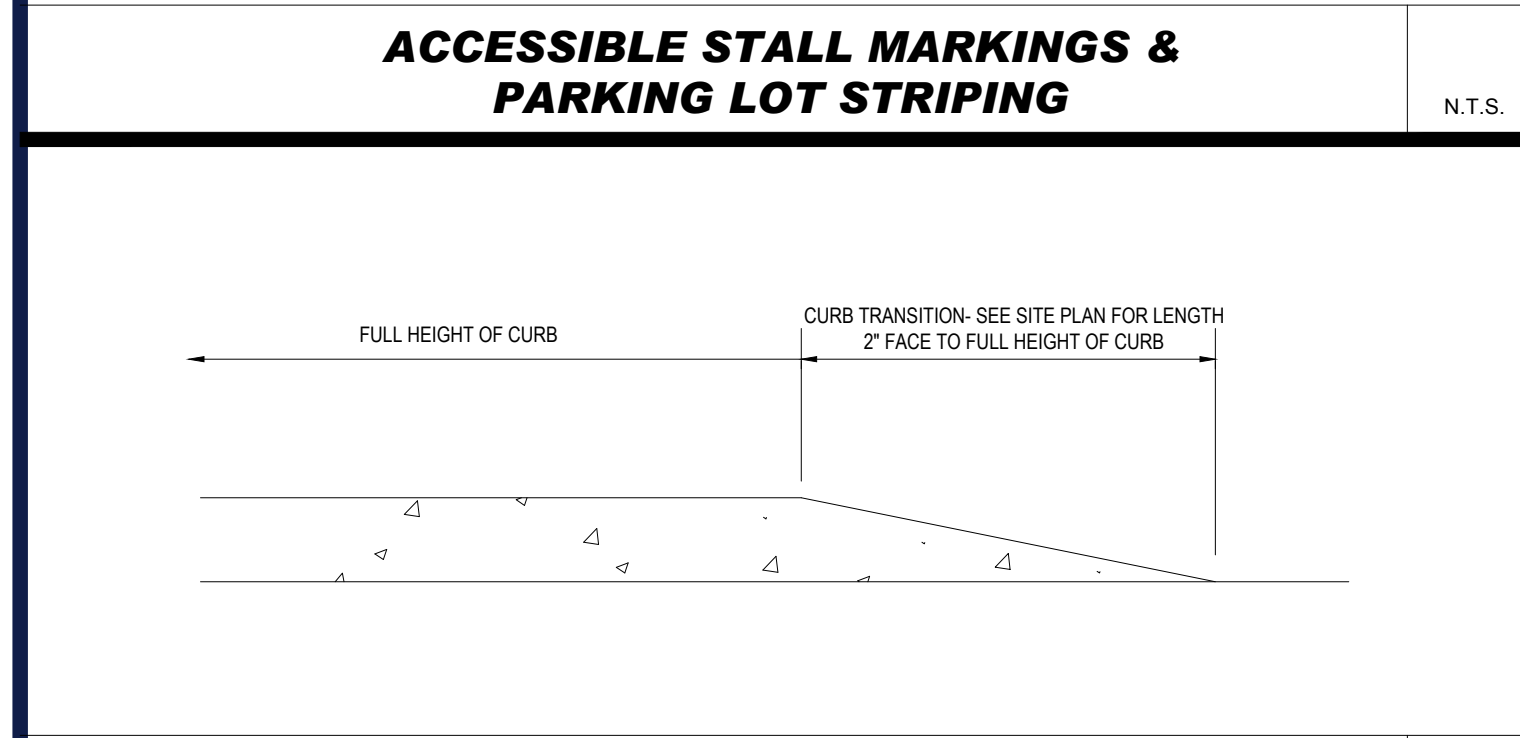
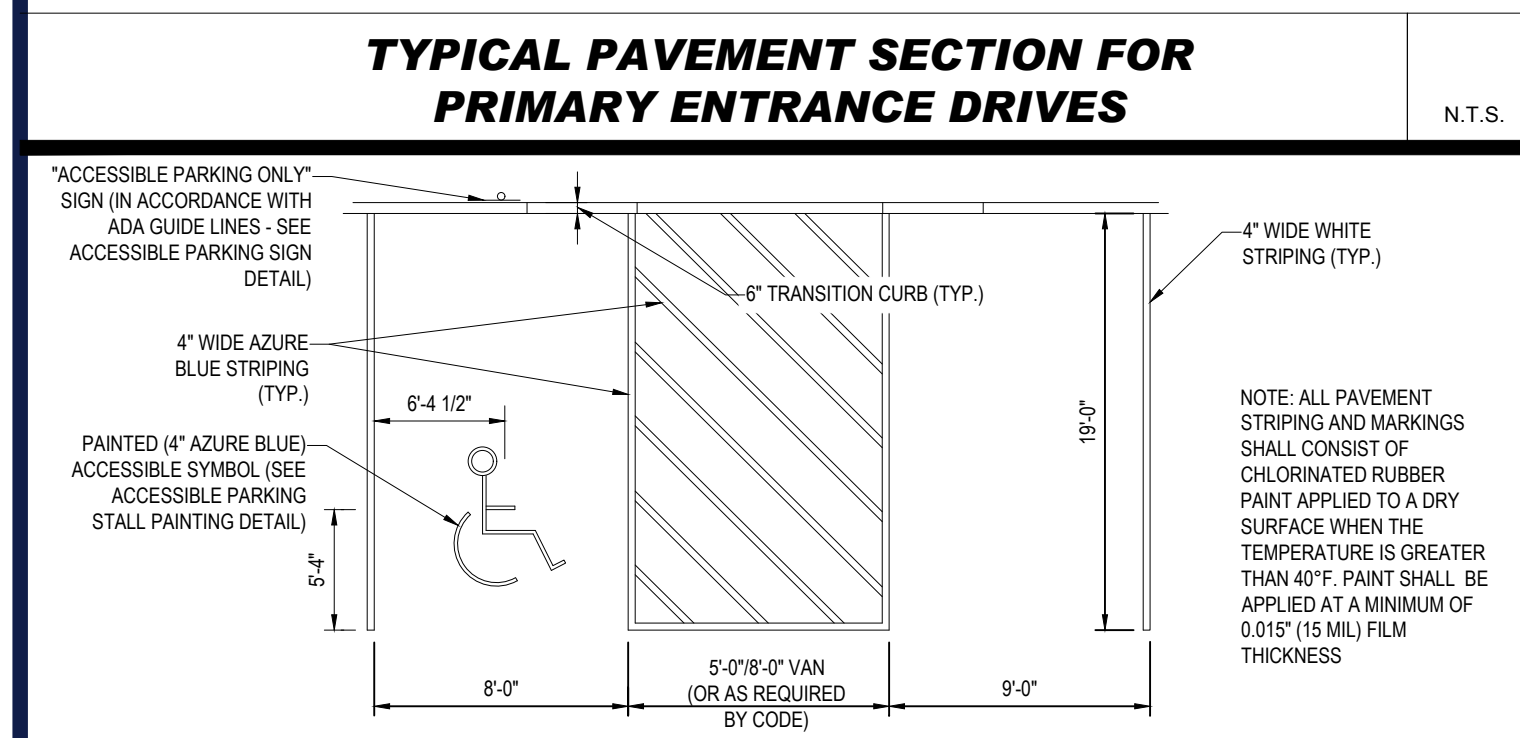
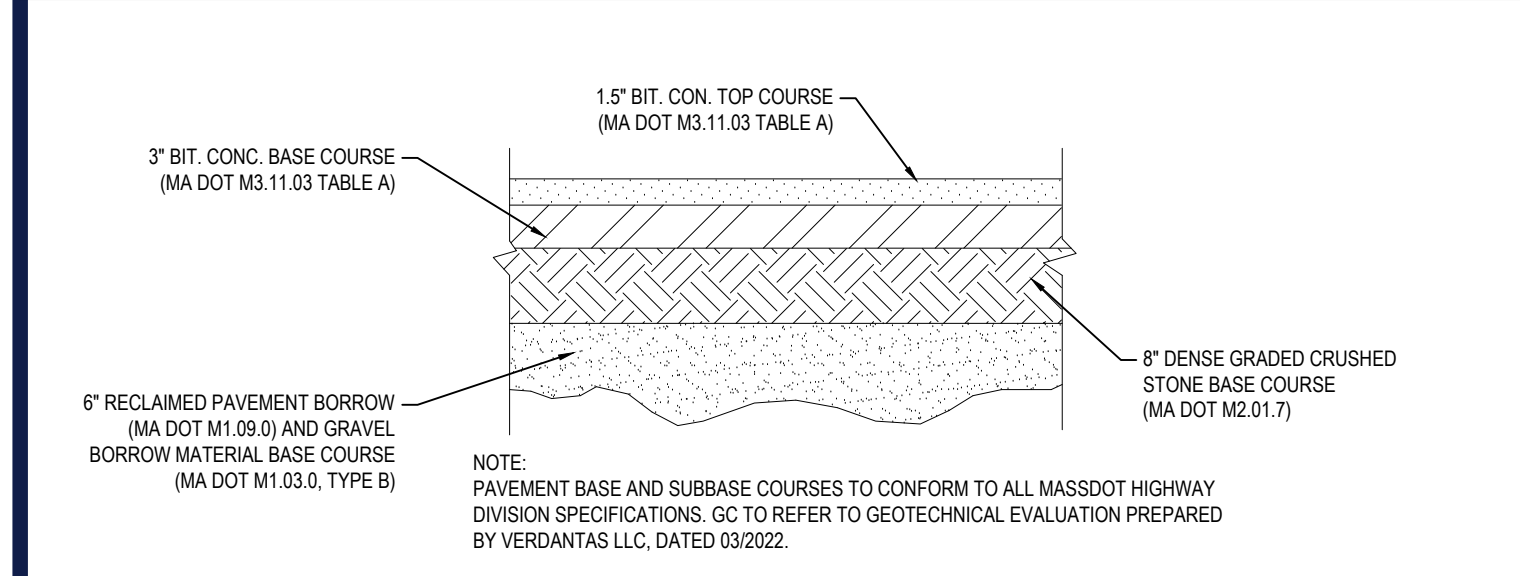
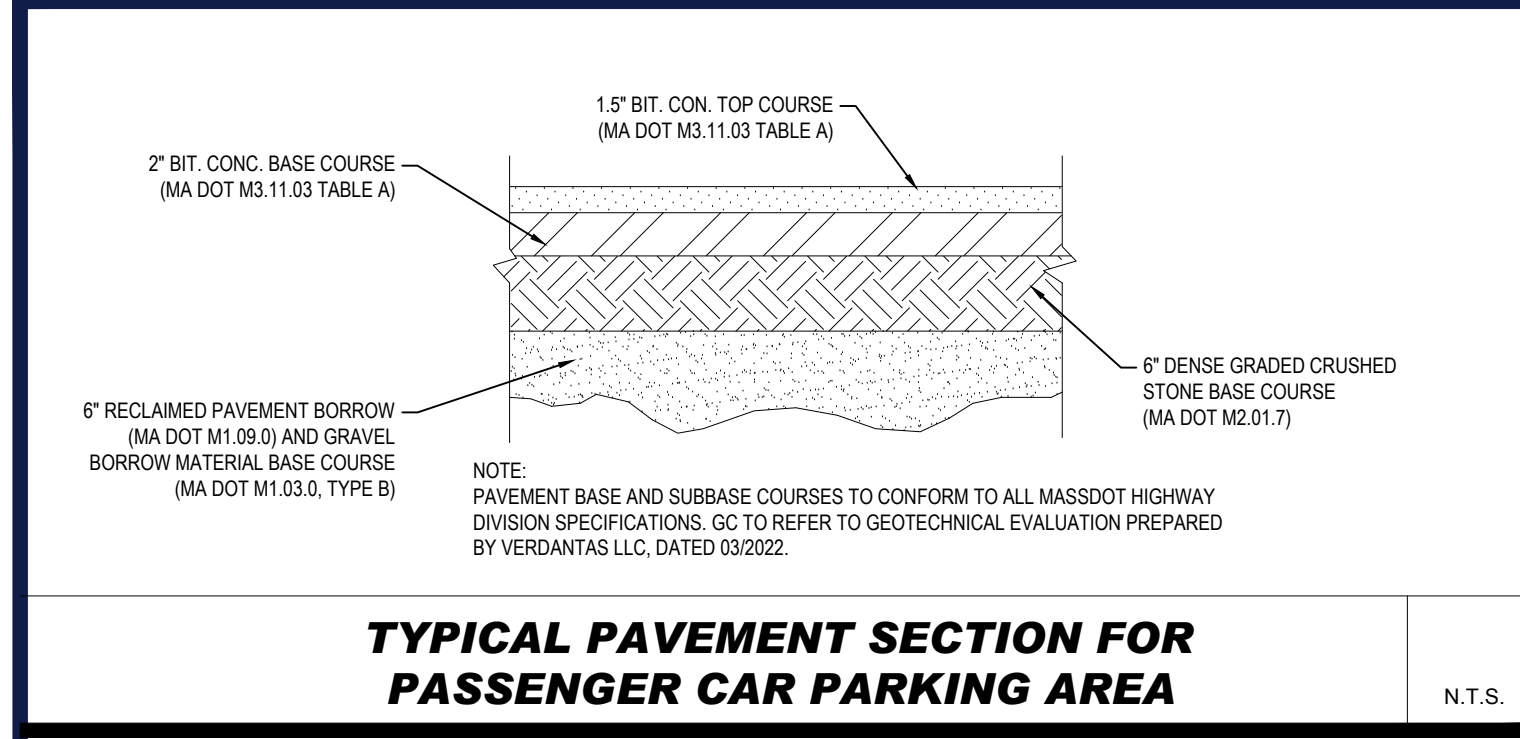


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PLAN**

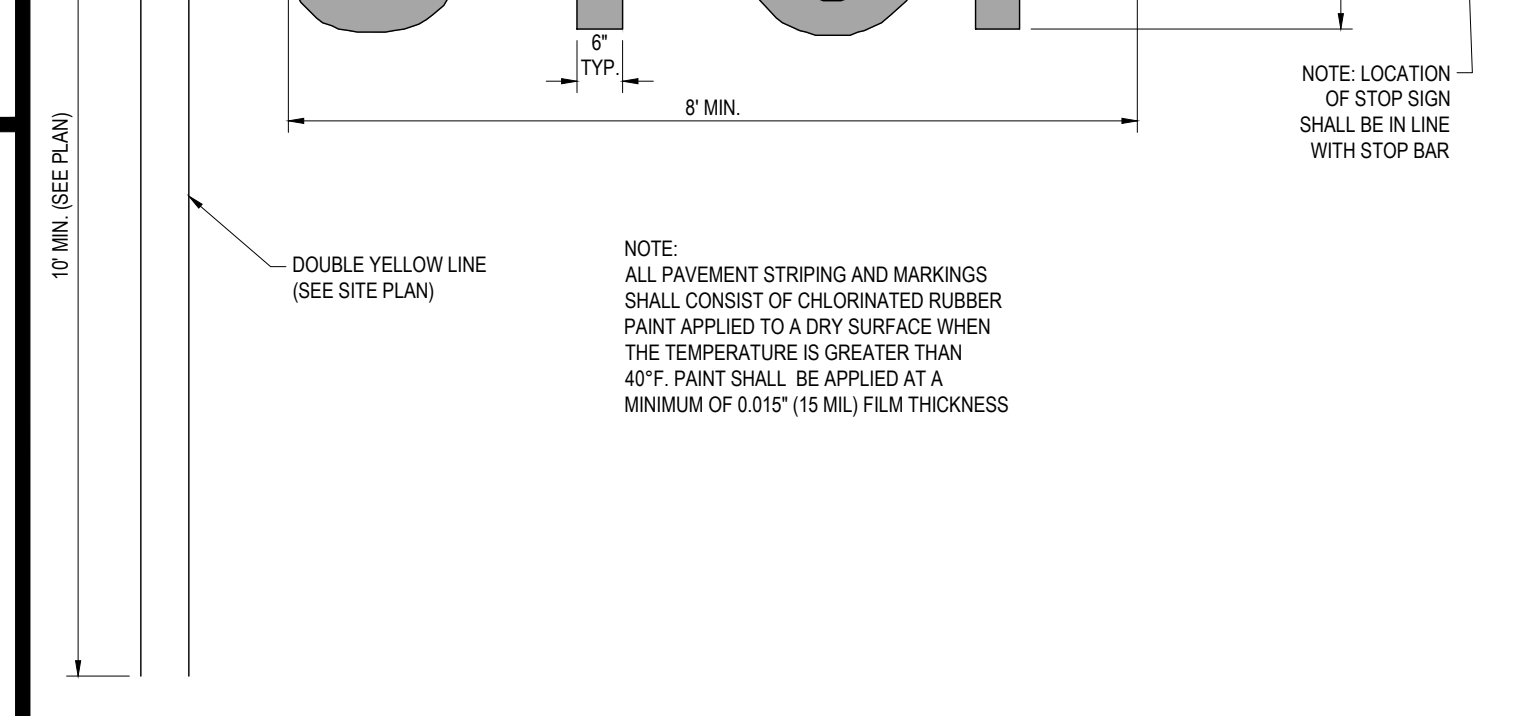
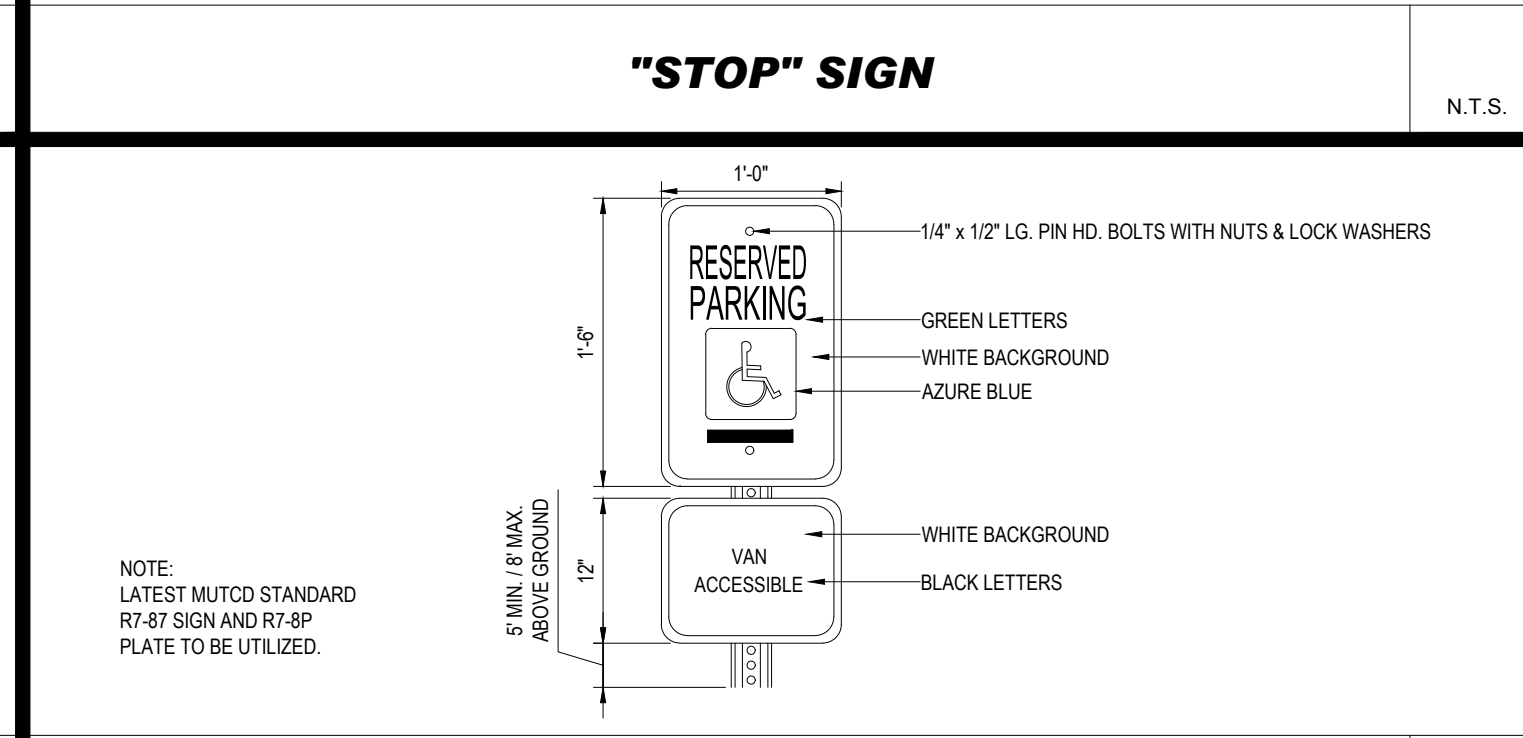
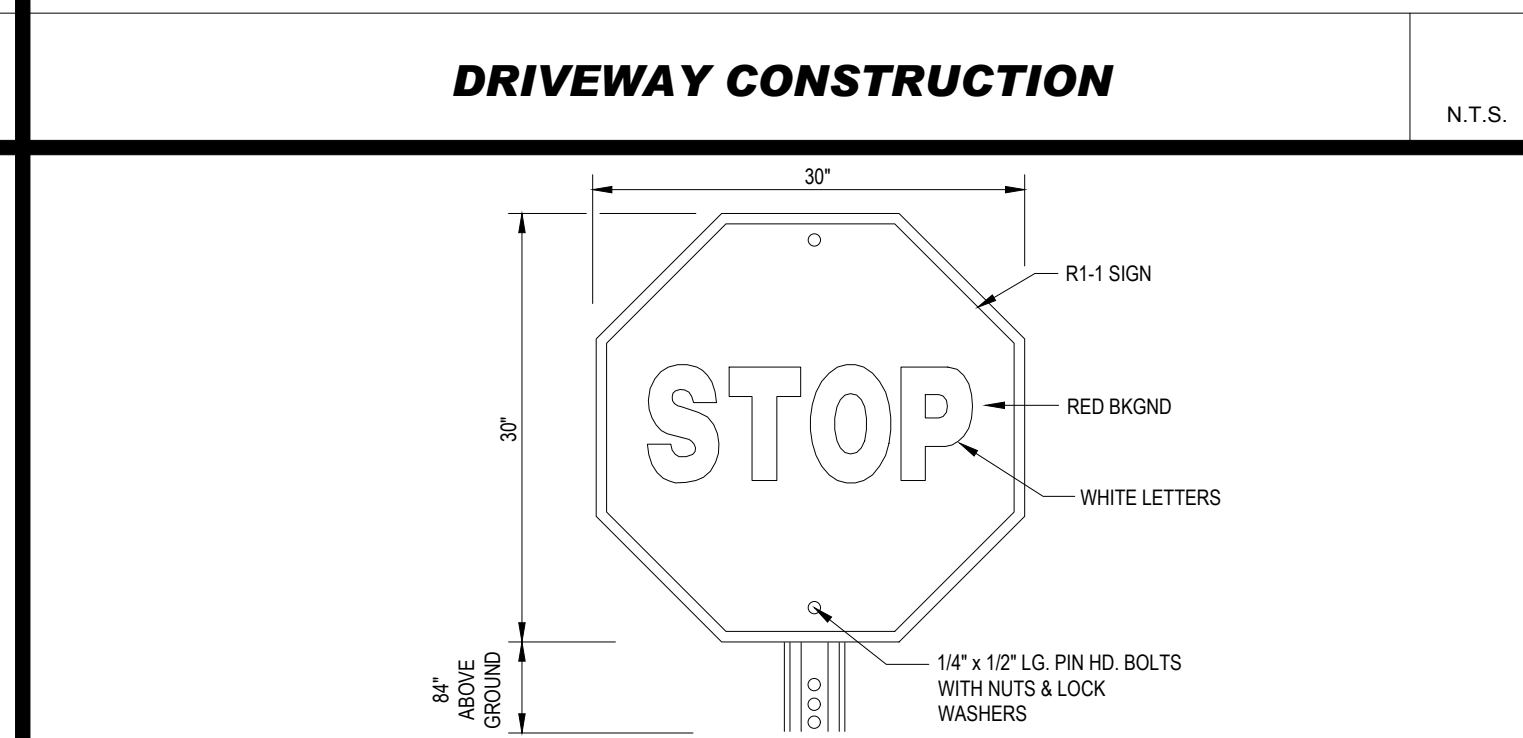
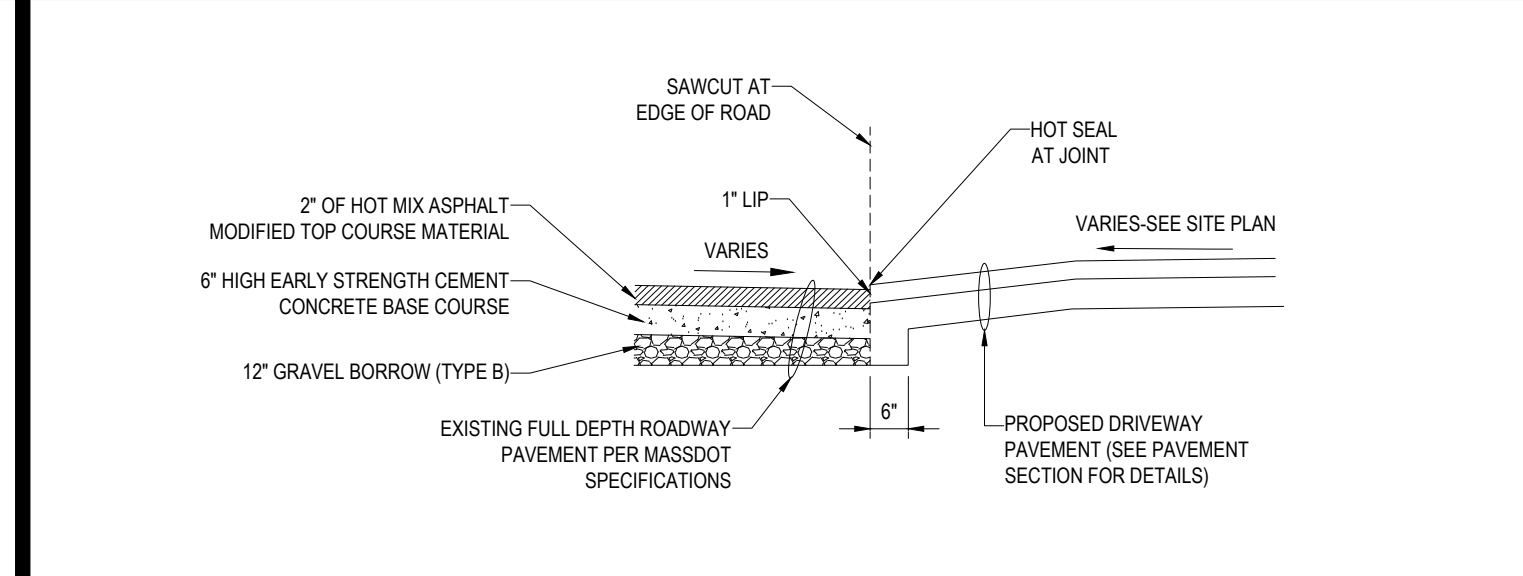
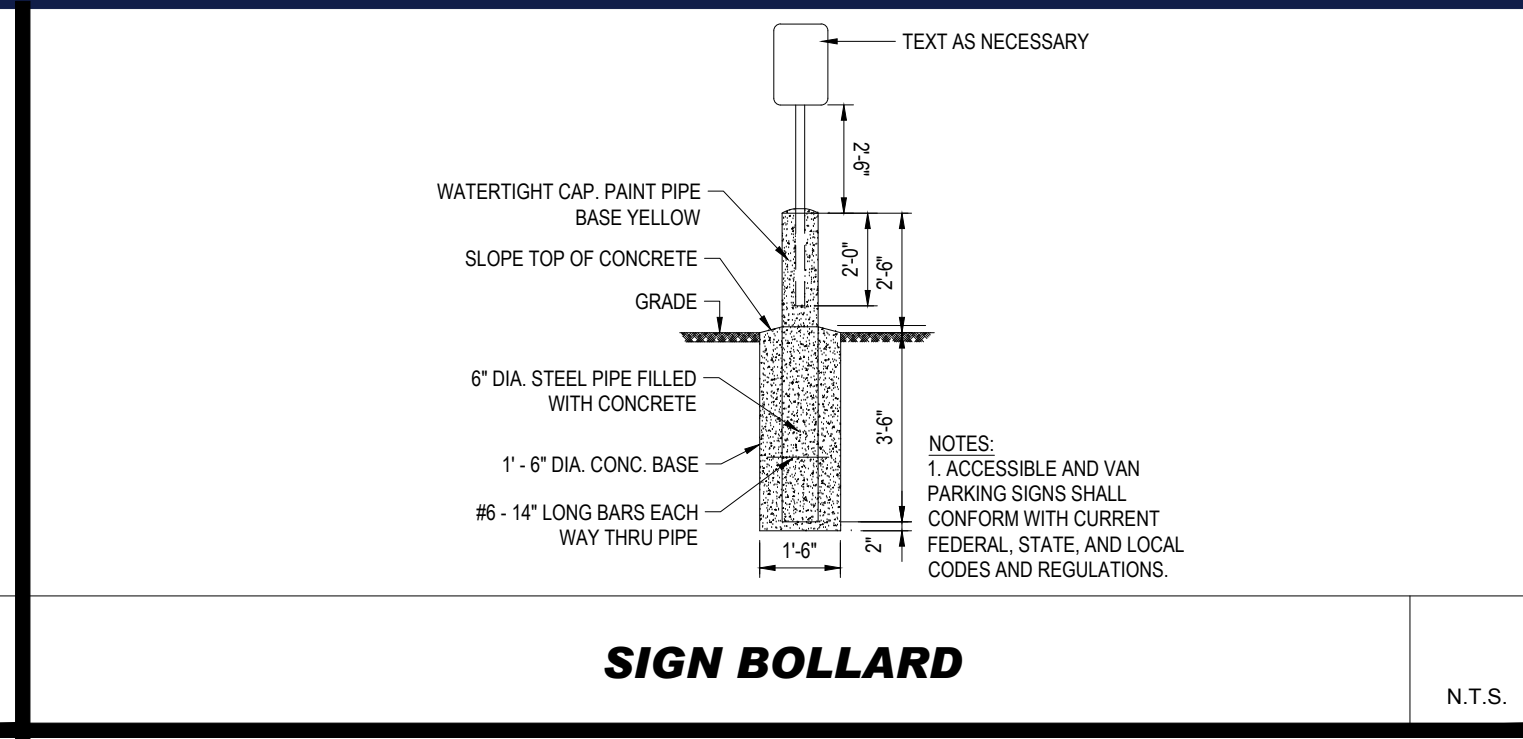
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C-703

REVISION 5 - 07/19/22

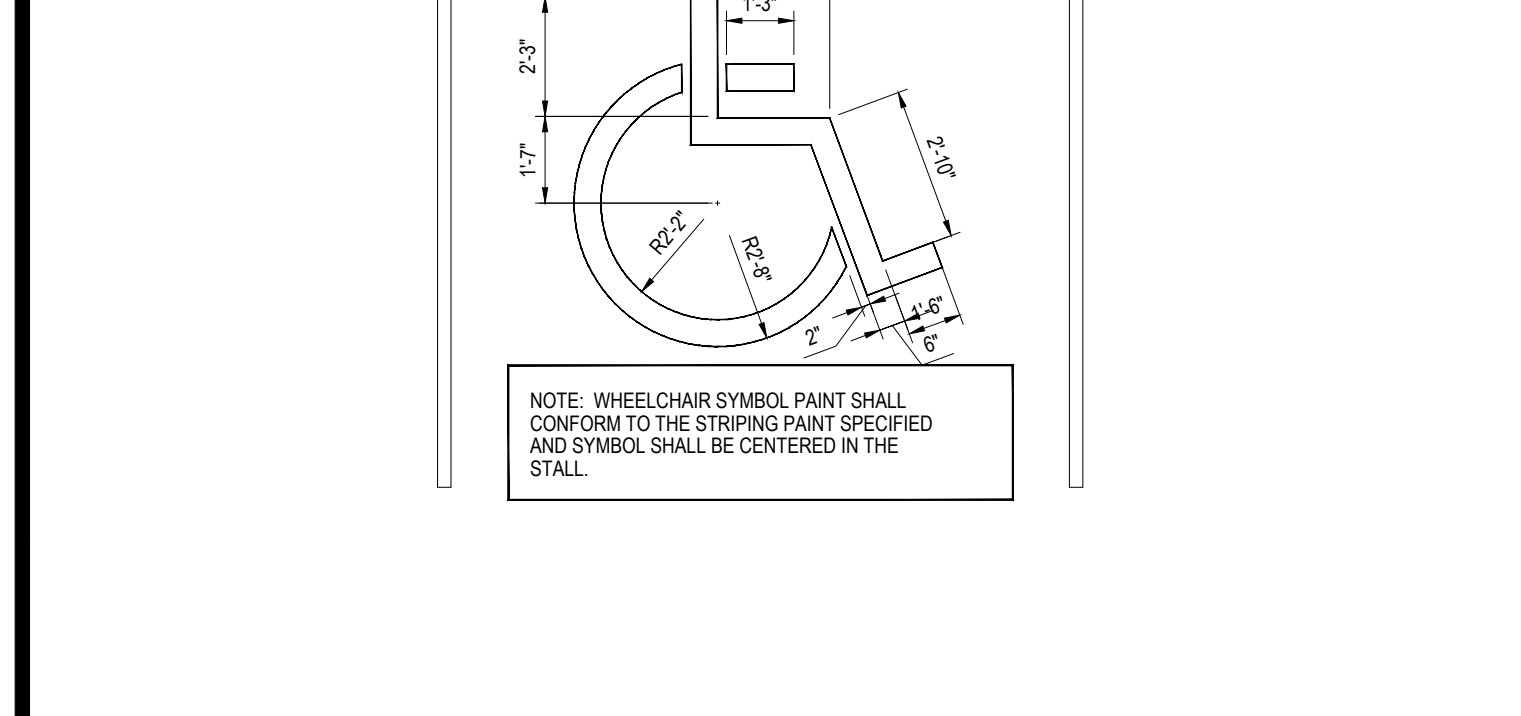
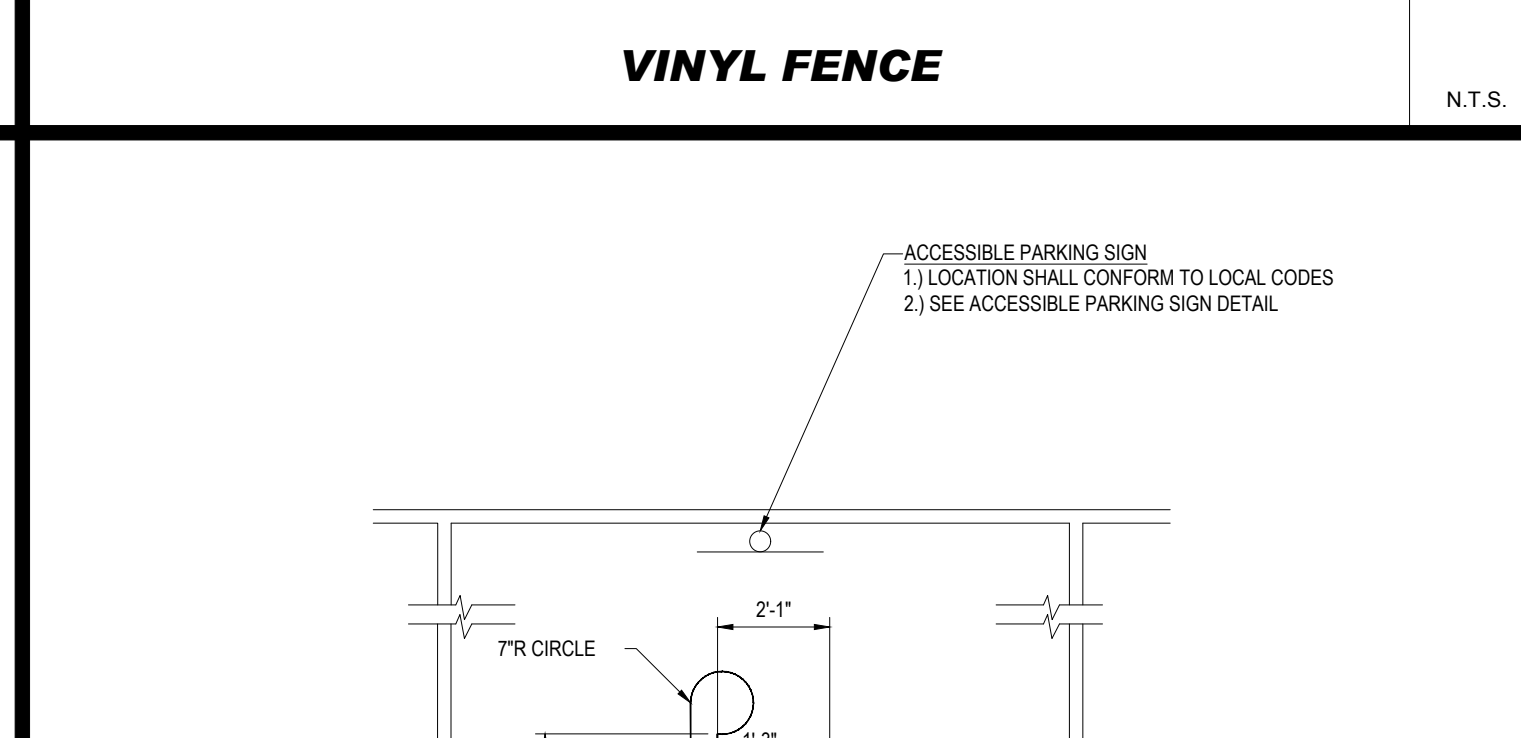
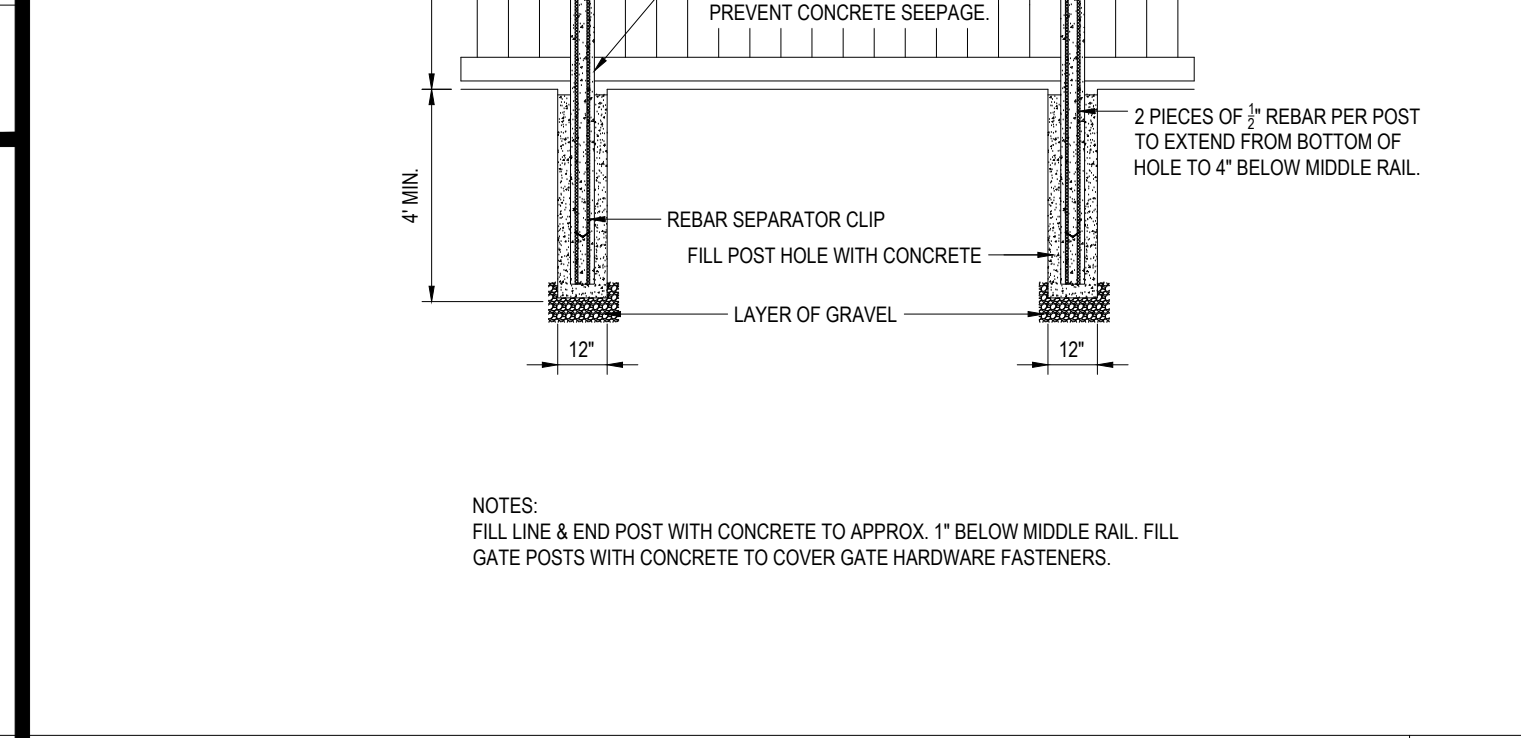
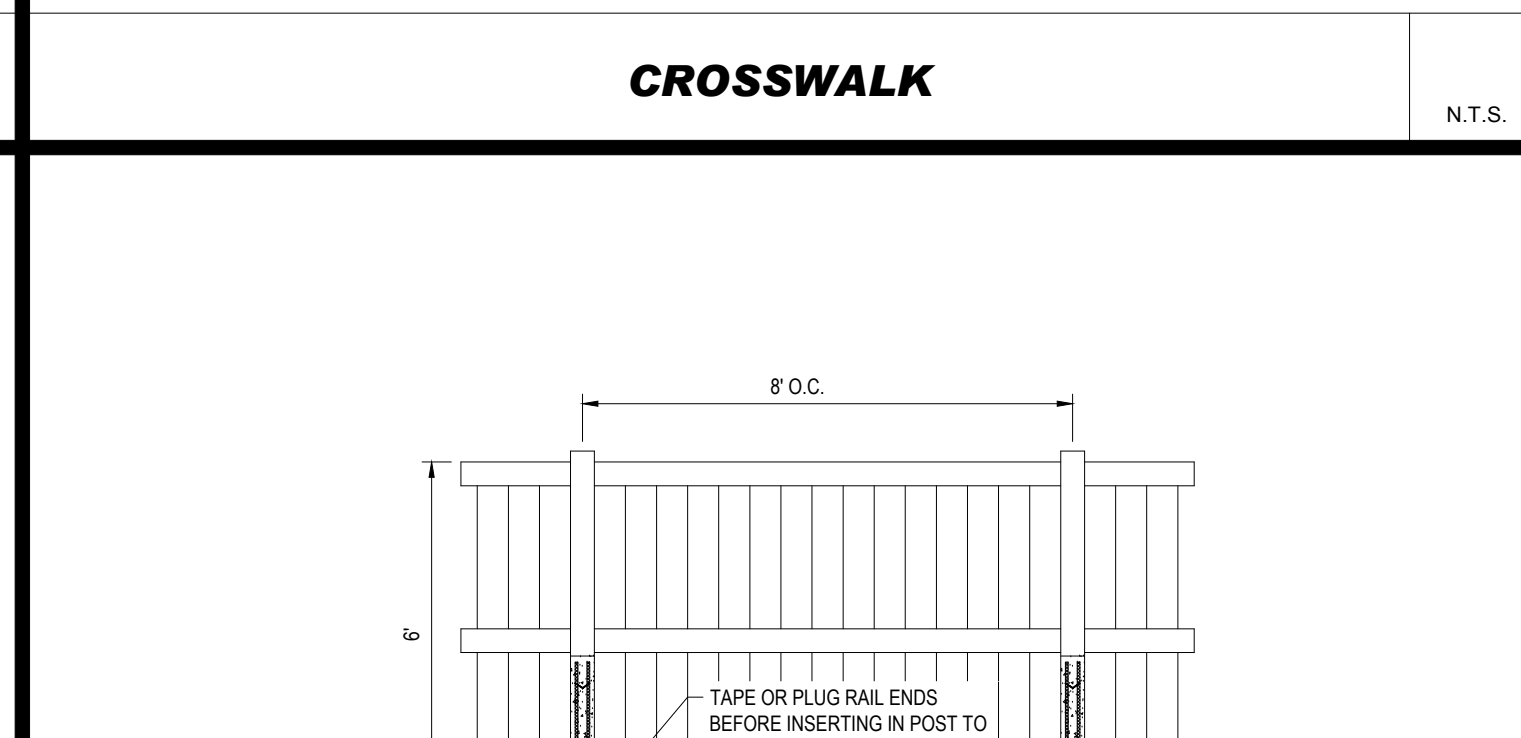
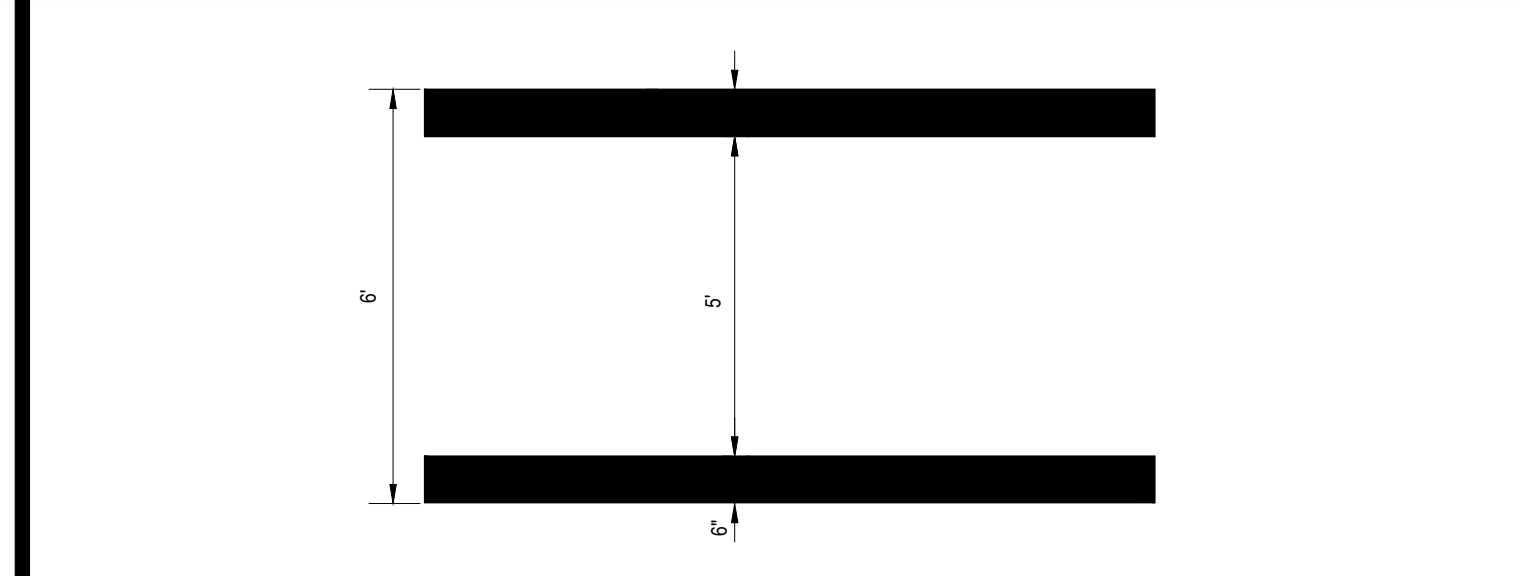
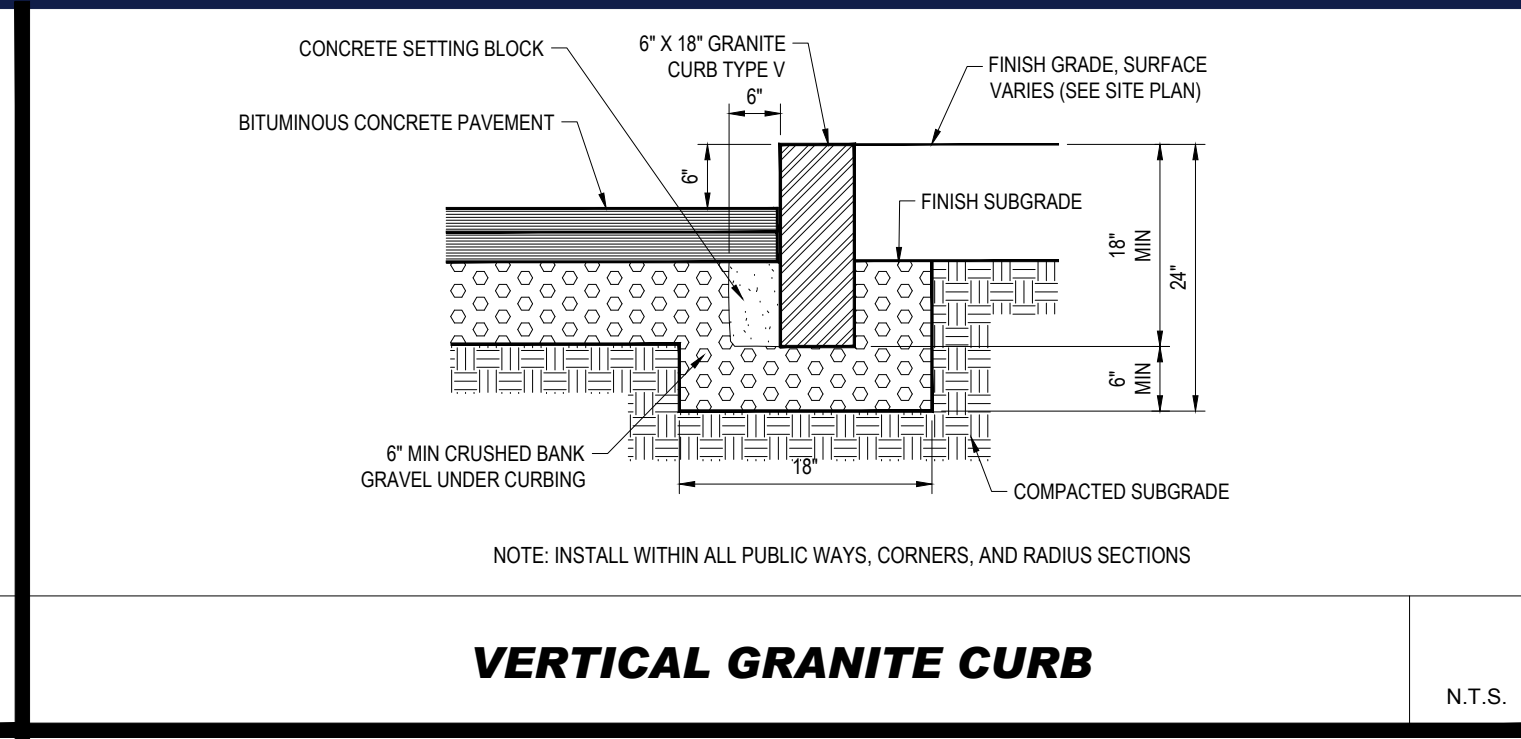
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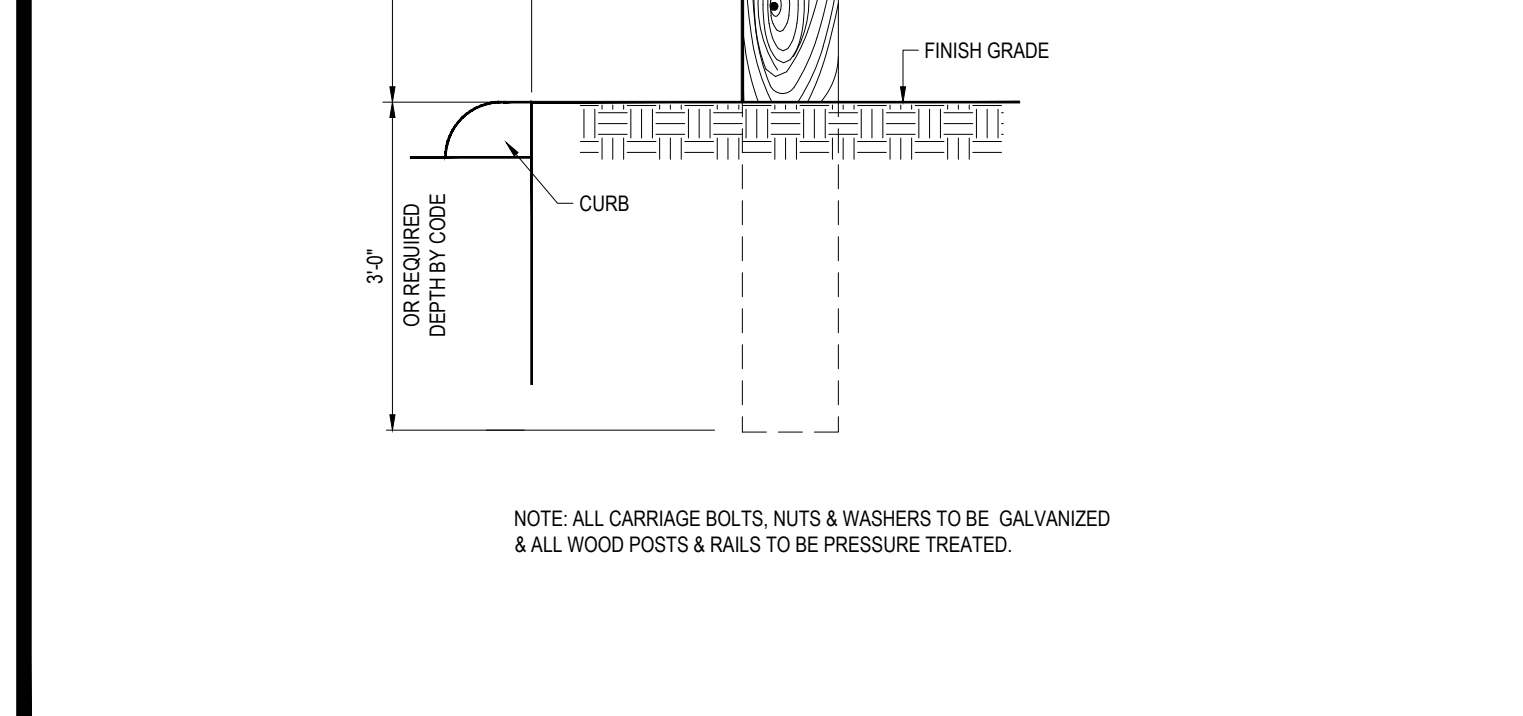
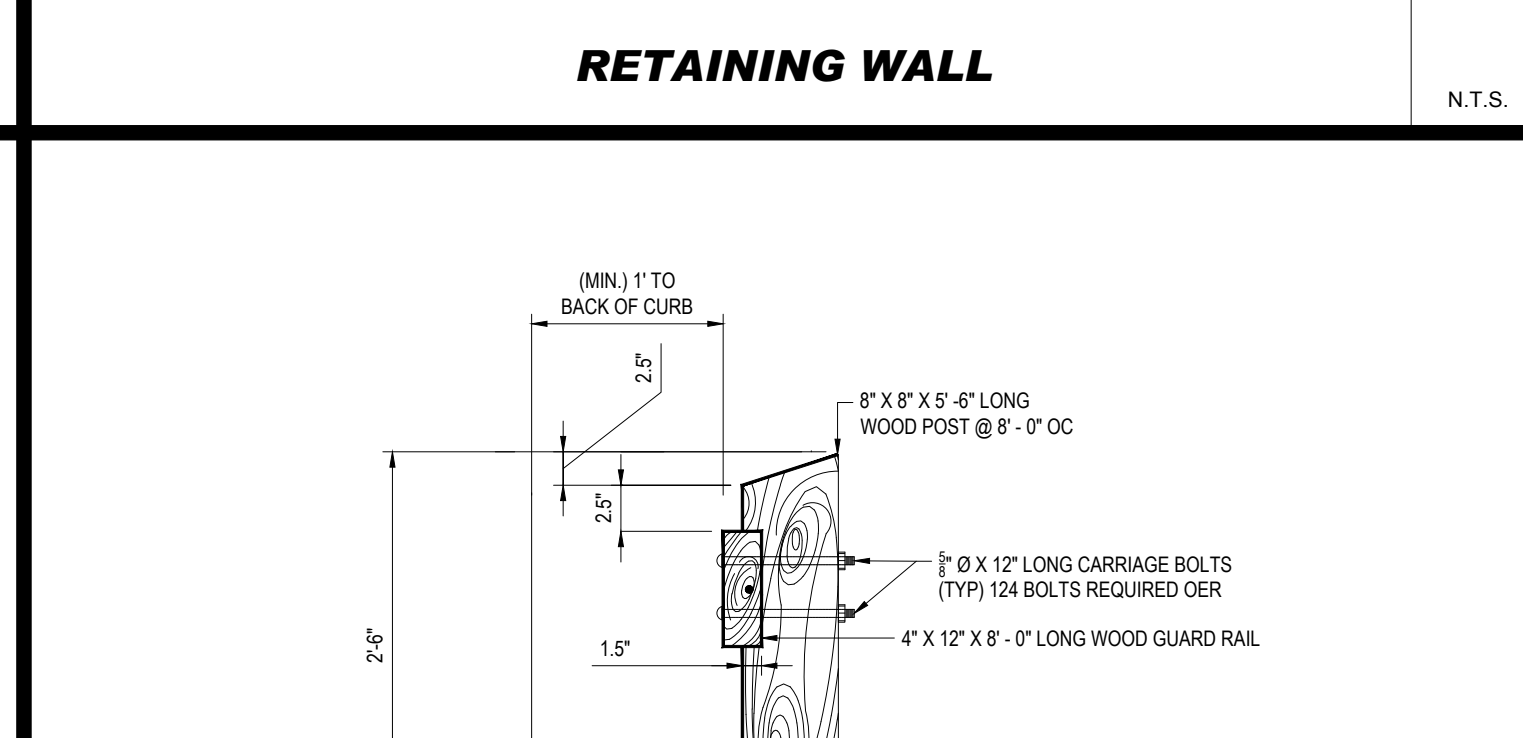
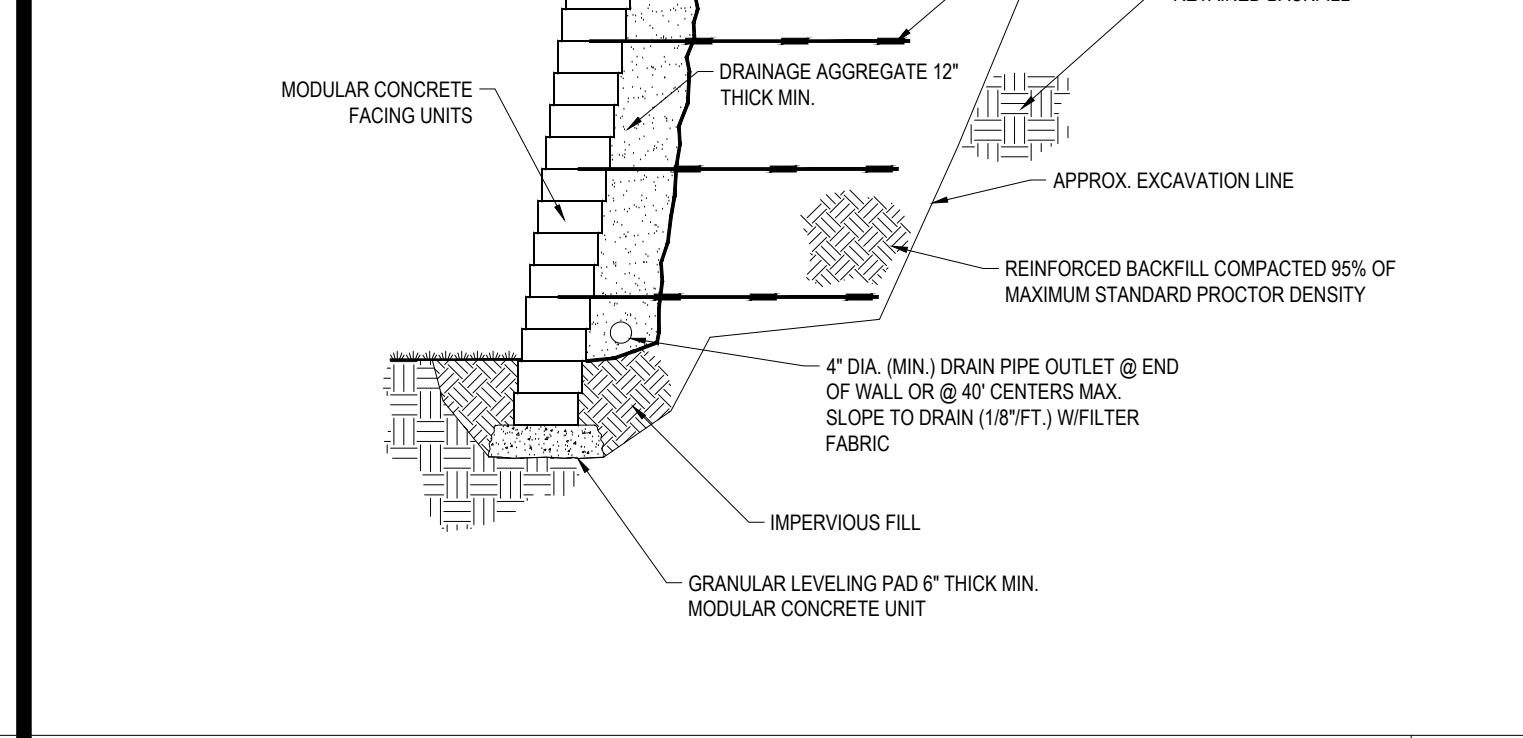
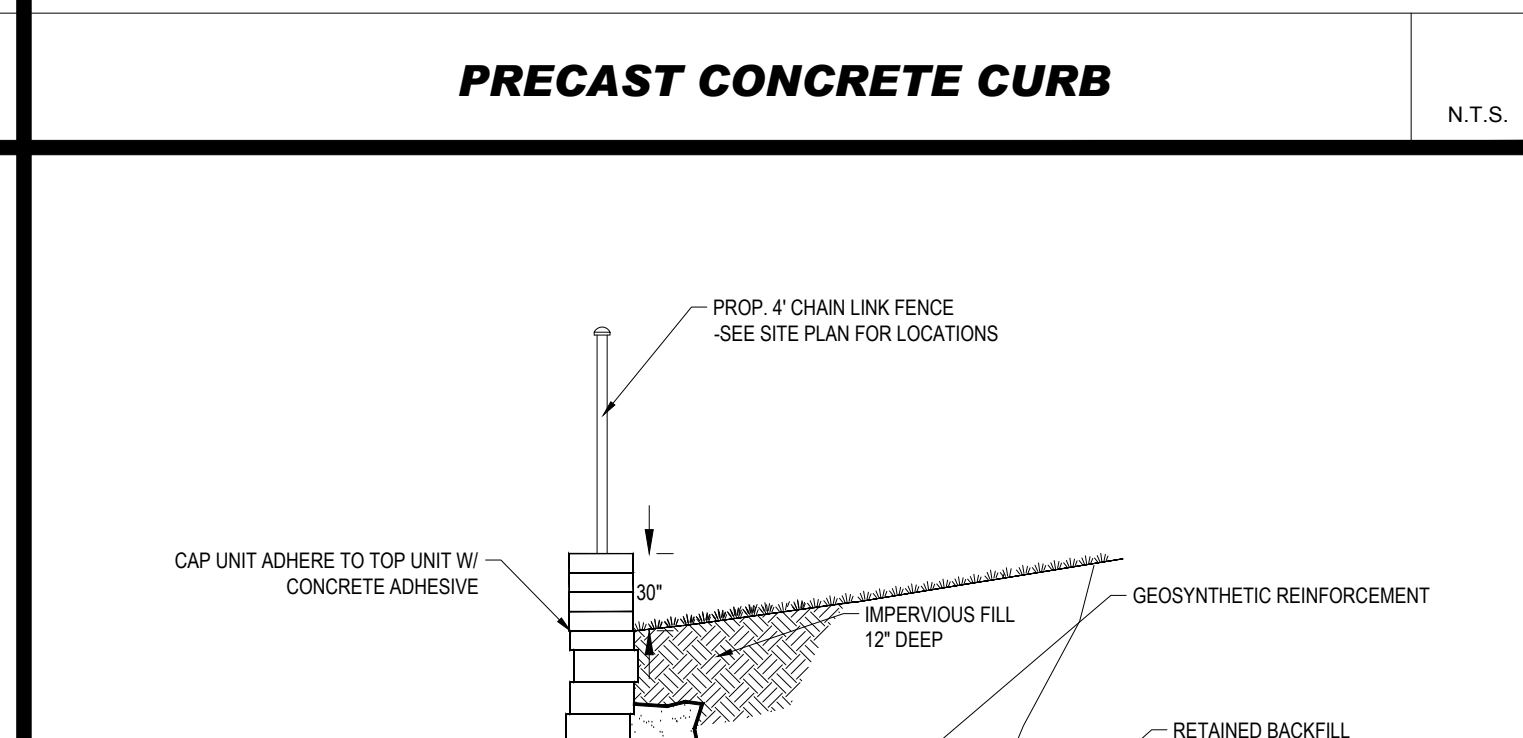
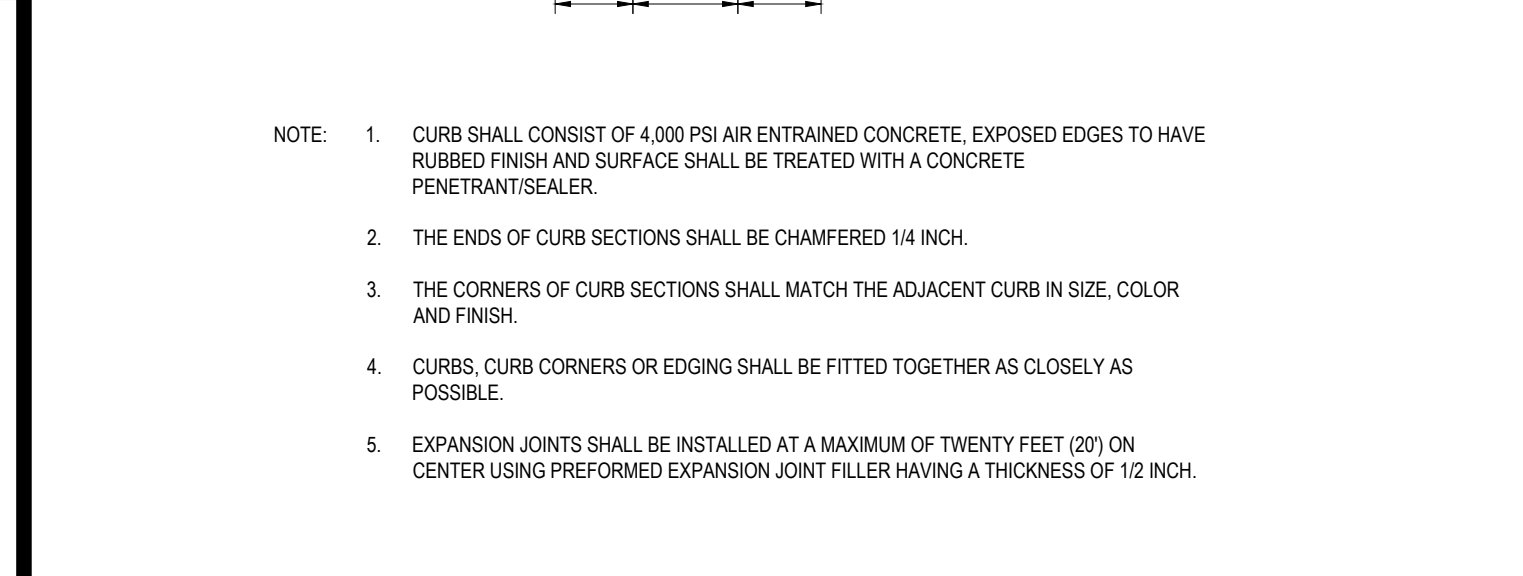
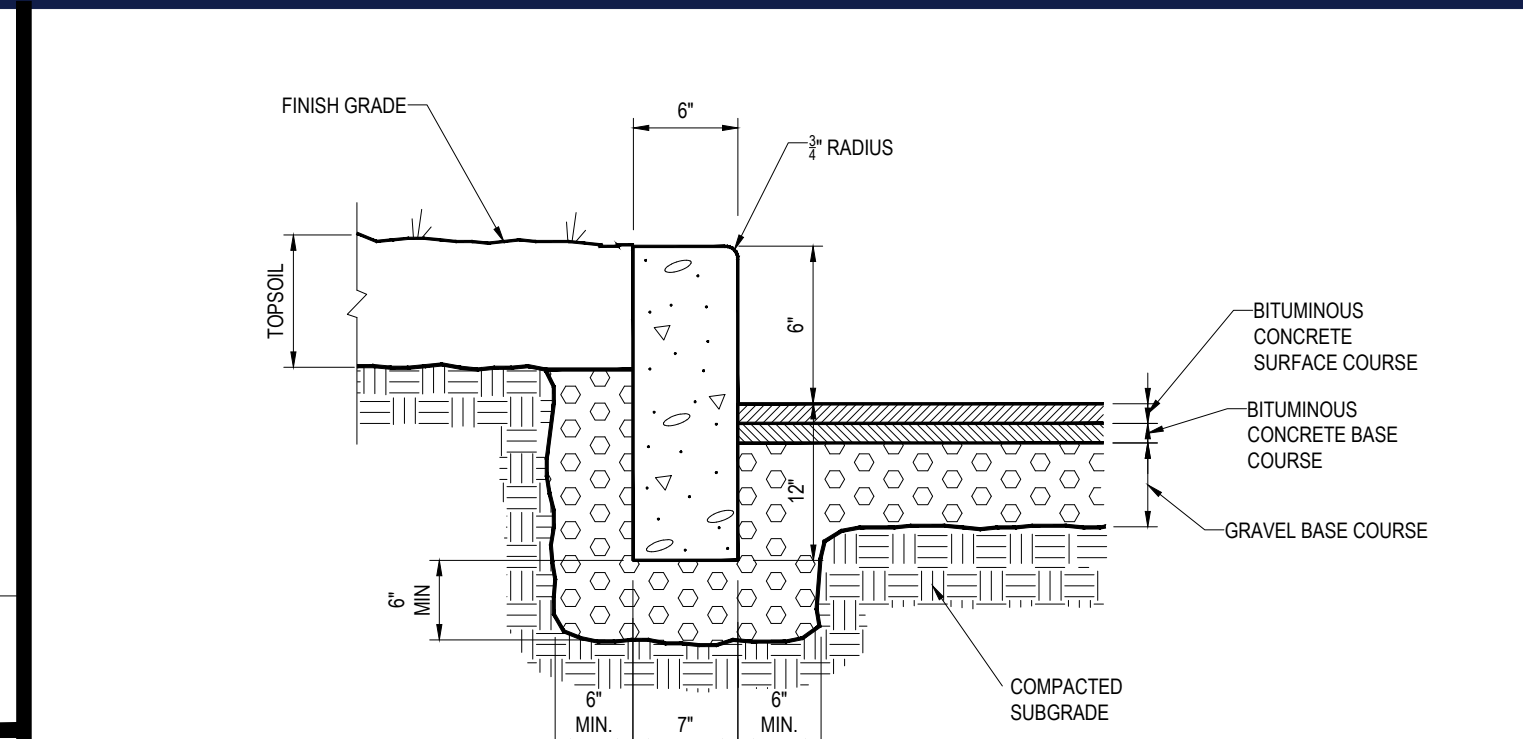
CONCRETE PAD N.T.S.



\"STOP\" BAR N.T.S.



\"STOP\" SIGN N.T.S.



\"STOP\" SIGN N.T.S.

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 CAD ID.: W211057-CVL-5

PROPOSED SITE PLAN DOCUMENTS
 FOR
TMC HOLDINGS & DEVELOPMENT 2, LLC

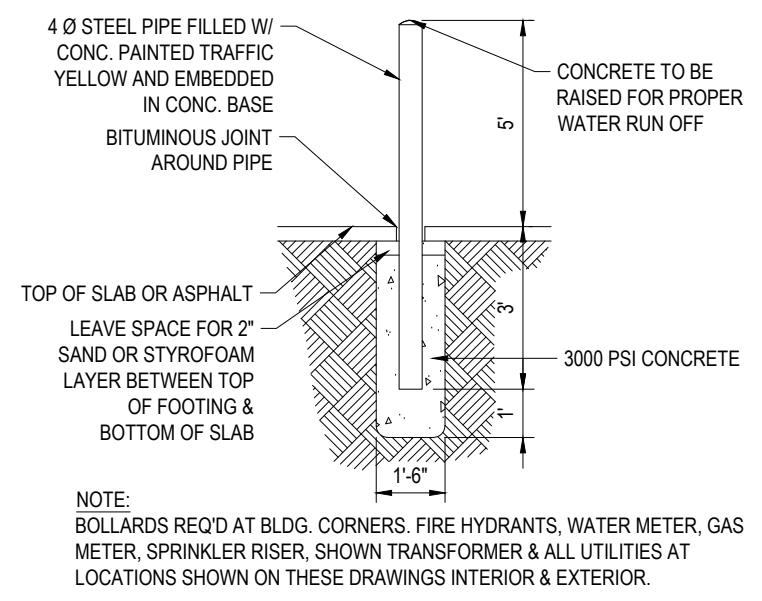
PROPOSED INDUSTRIAL DEVELOPMENT
 UNION STREET BUSINESS PARK II
 MAP #314, BLOCK #20, LOT #1
 839 UPPER UNION STREET
 CITY OF FRANKLIN
 NORFOLK COUNTY, MA

BOHLER
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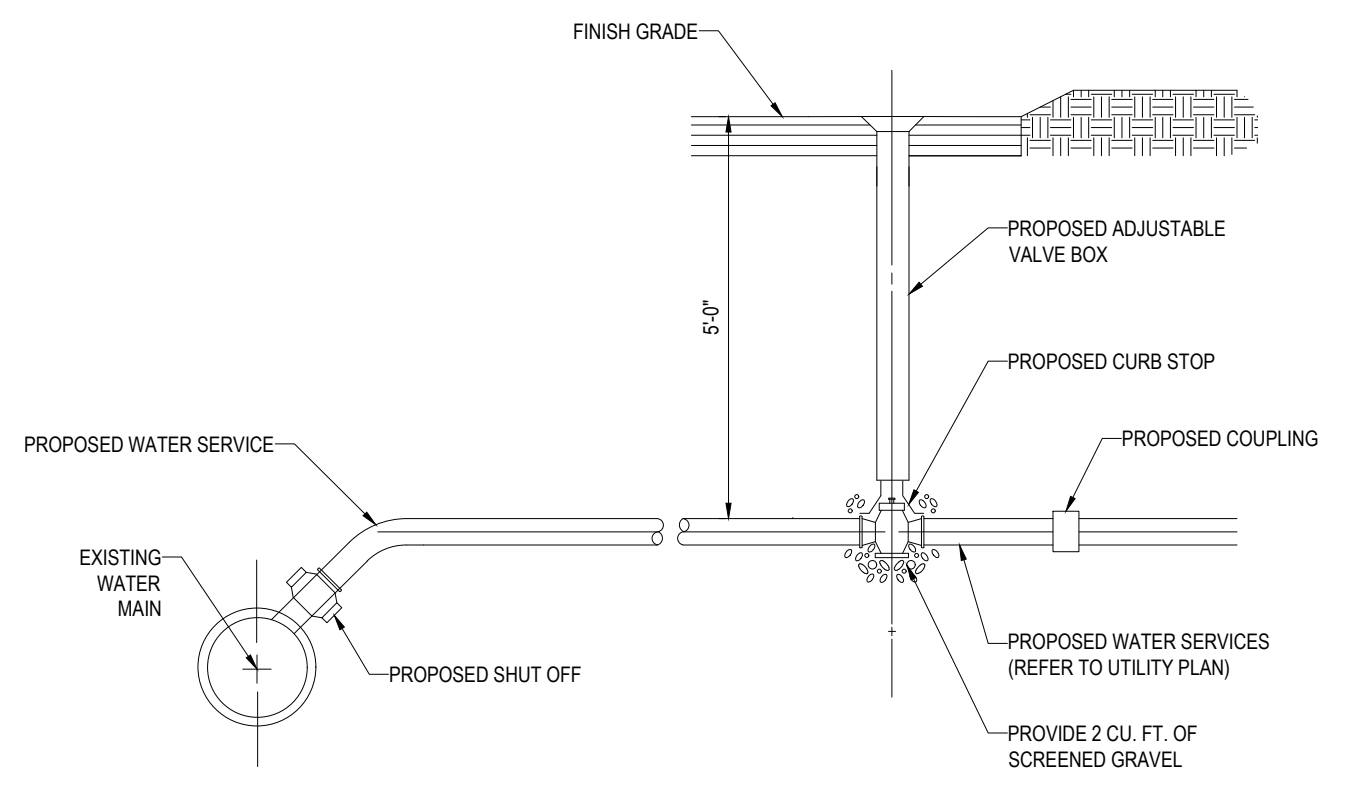
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DETAIL SHEET
 SHEET NUMBER:
C-901
 REVISION 5 - 07/19/22

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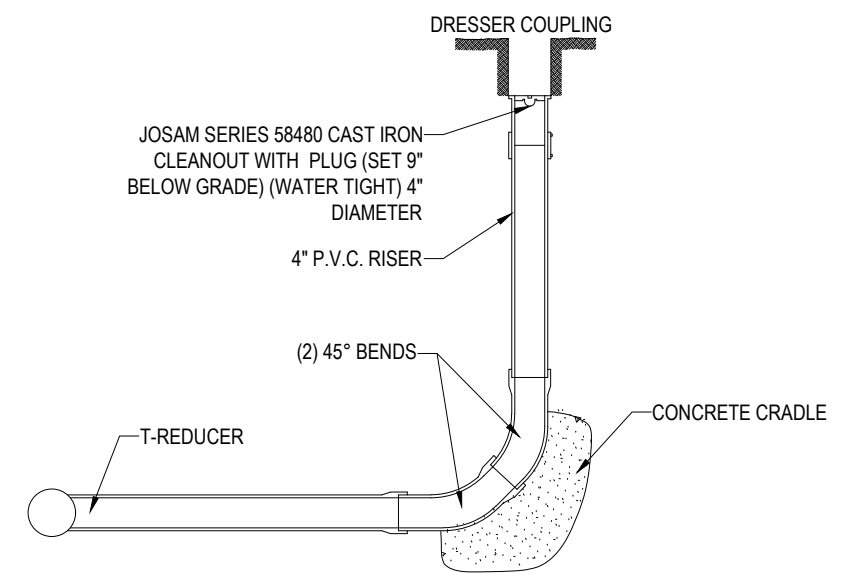
BOLLARD

N.T.S.



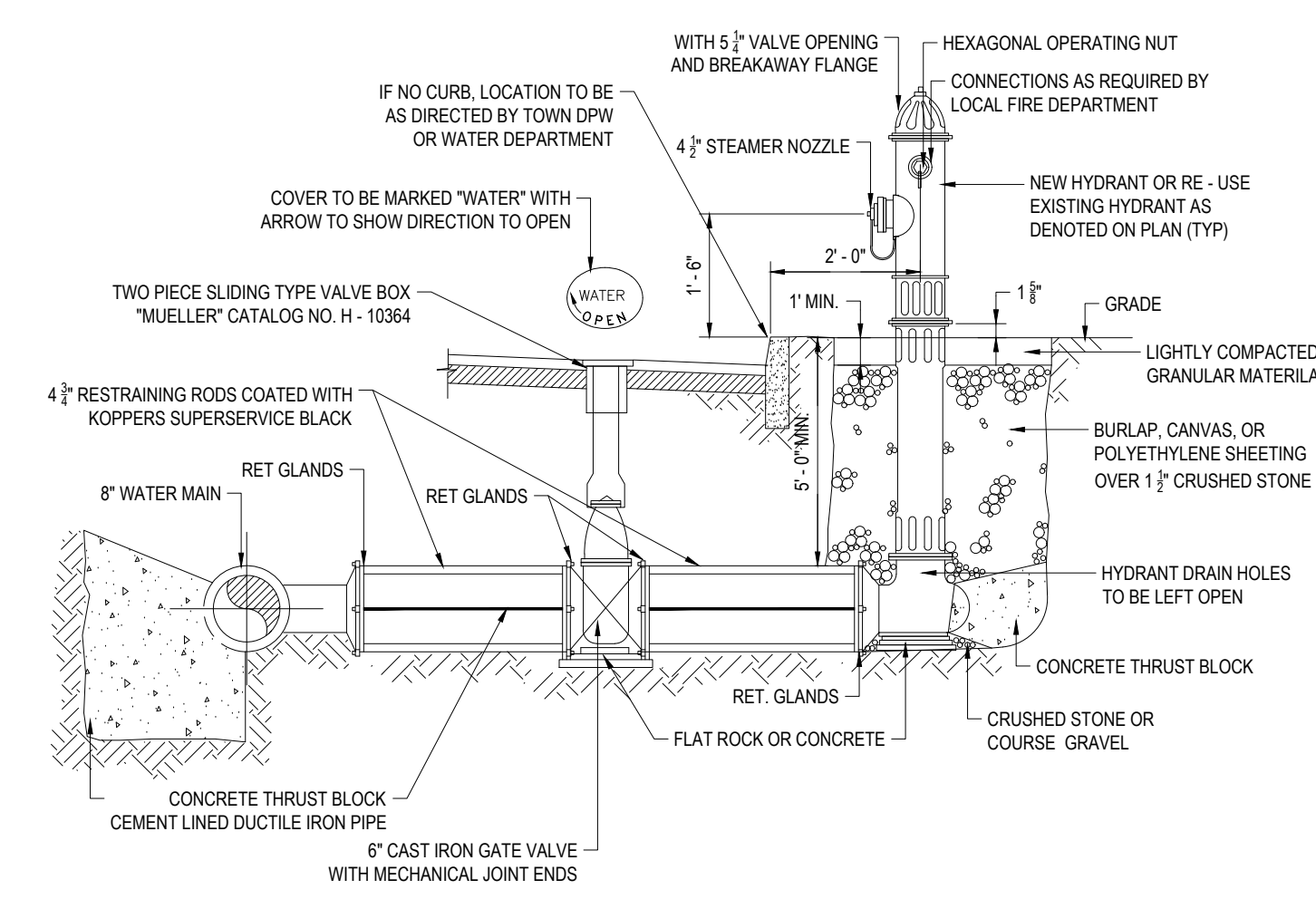
WATER SERVICE CONNECTION

N.T.S.



CLEANOUT

N.T.S.



HYDRANT AND VALVE INSTALLATION

N.T.S.

REVISIONS

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DRAWN BY: NPD
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CAD LID: W211057-CV-5

PROPOSED SITE PLAN DOCUMENTS

FOR

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PROPOSED INDUSTRIAL DEVELOPMENT
UNION STREET BUSINESS PARK II
MAP #314, BLOCK #20, LOT #1
839 UPPER UNION STREET
CITY OF FRANKLIN
NORFOLK COUNTY, MA

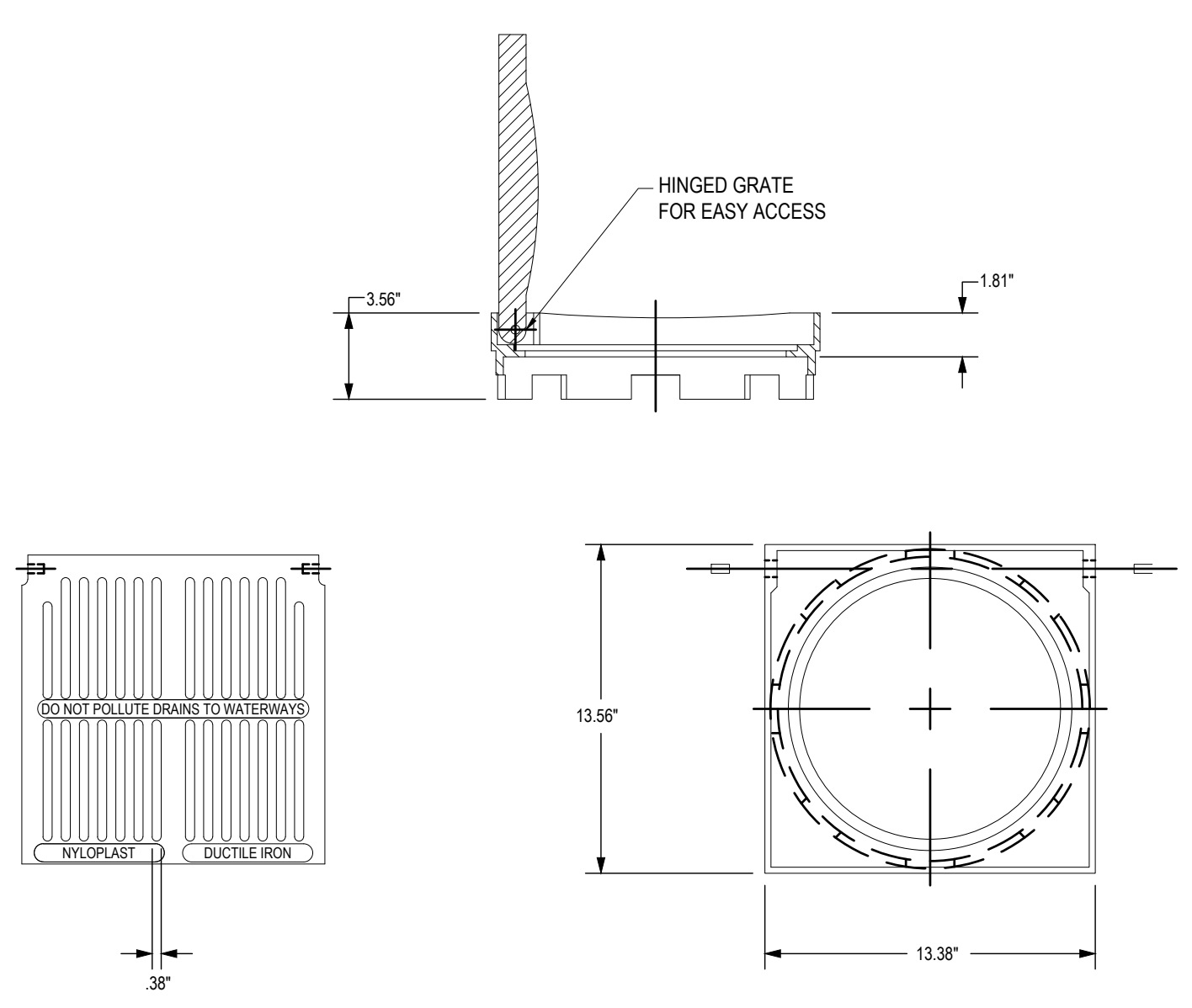
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DETAIL SHEET

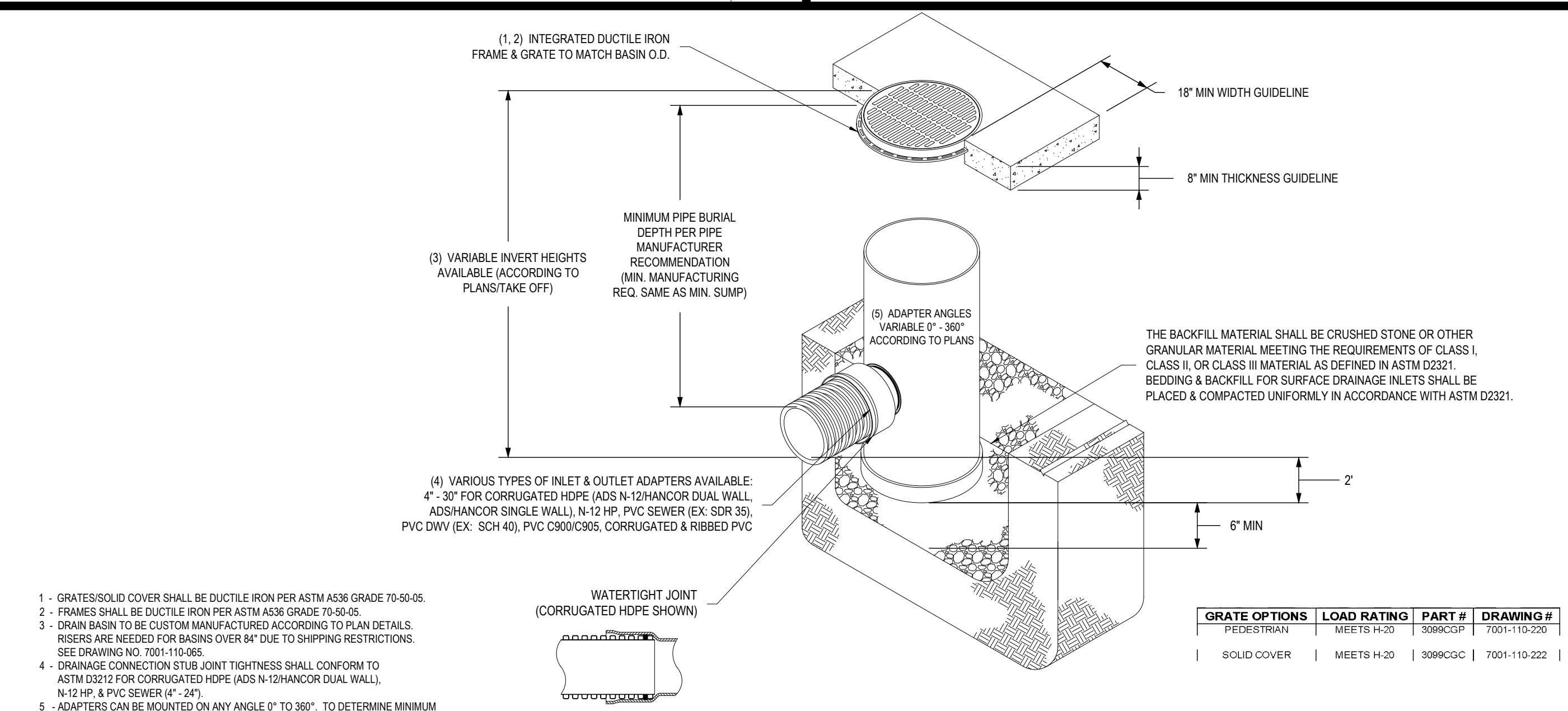
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C-902

REVISION 5 - 07/19/22



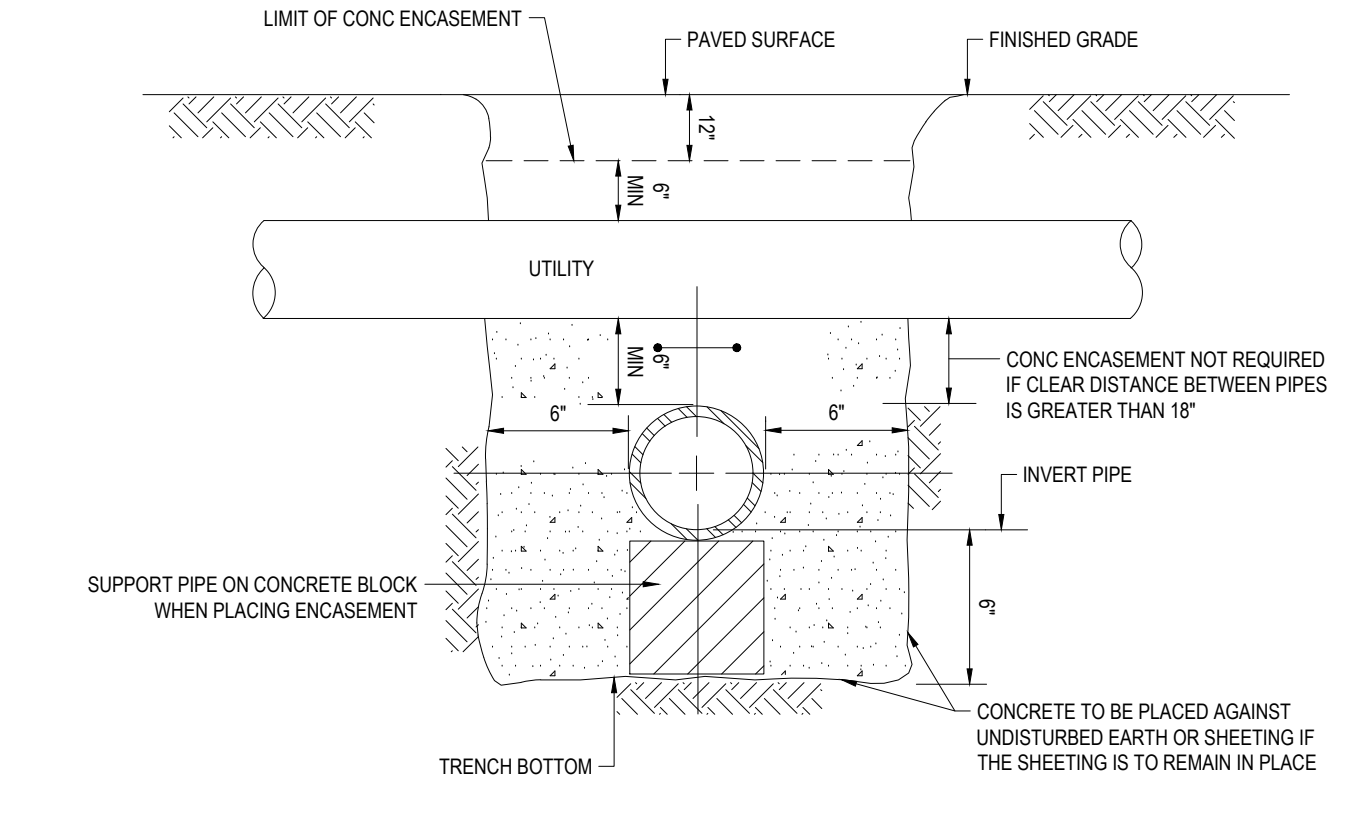
NYOPLAST 12" LOCKING PEDESTRIAN GRATE

N.T.S.



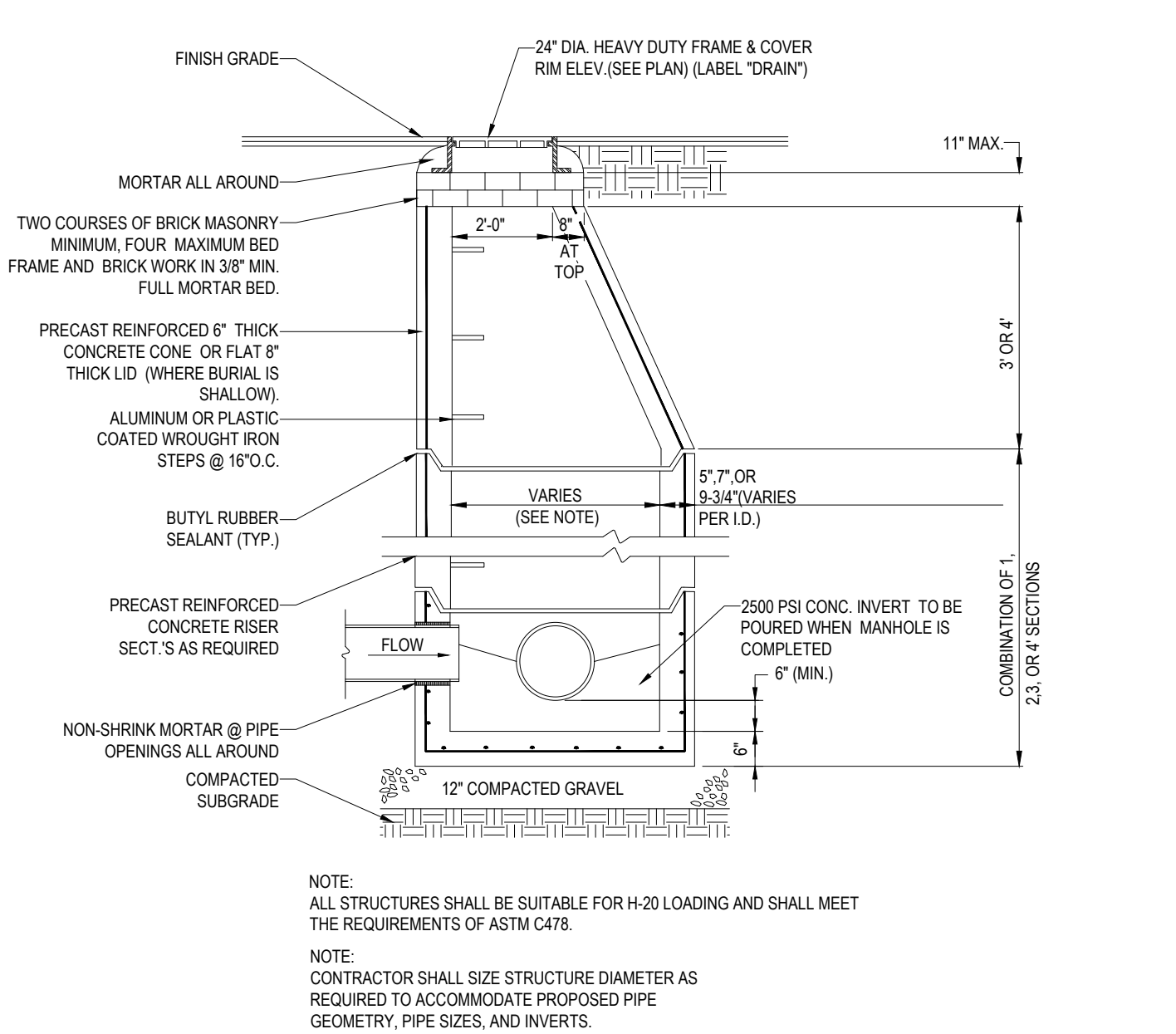
NYOPLAST 12" DRAIN BASIN (AREA DRAIN)

N.T.S.



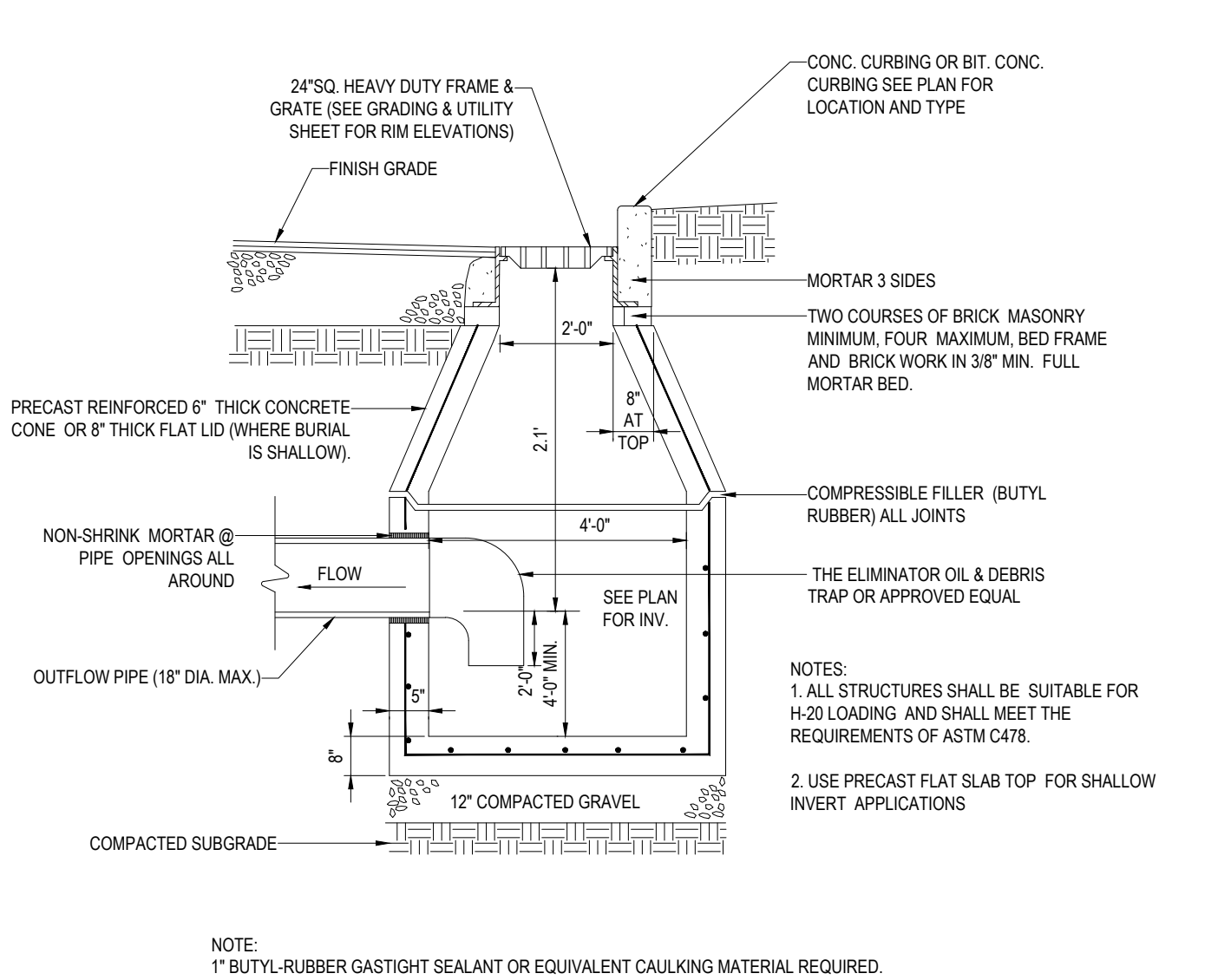
CONCRETE ENCASEMENT AT UTILITY CROSSING

N.T.S.



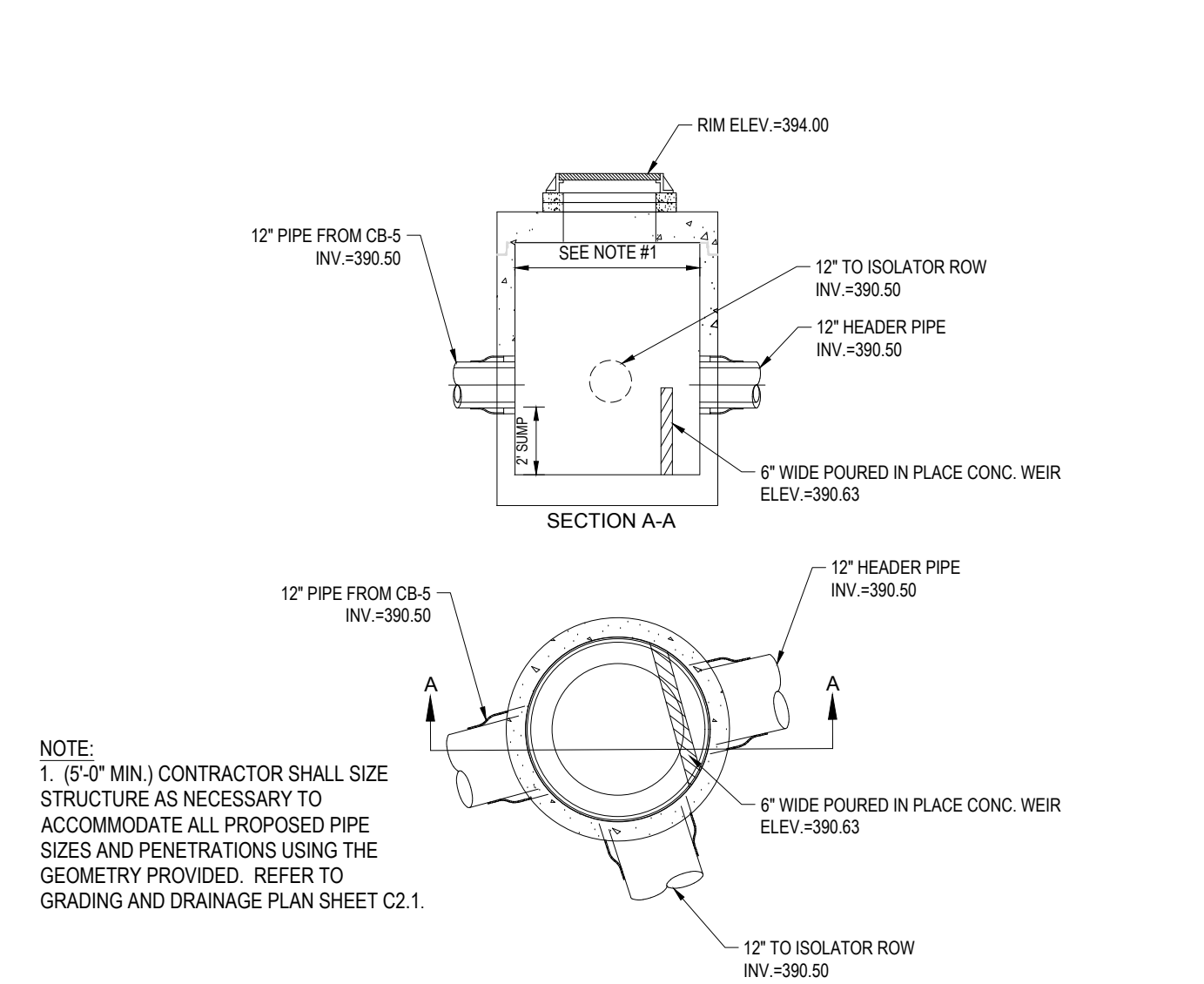
PRECAST CONCRETE DRAIN MANHOLE

N.T.S.



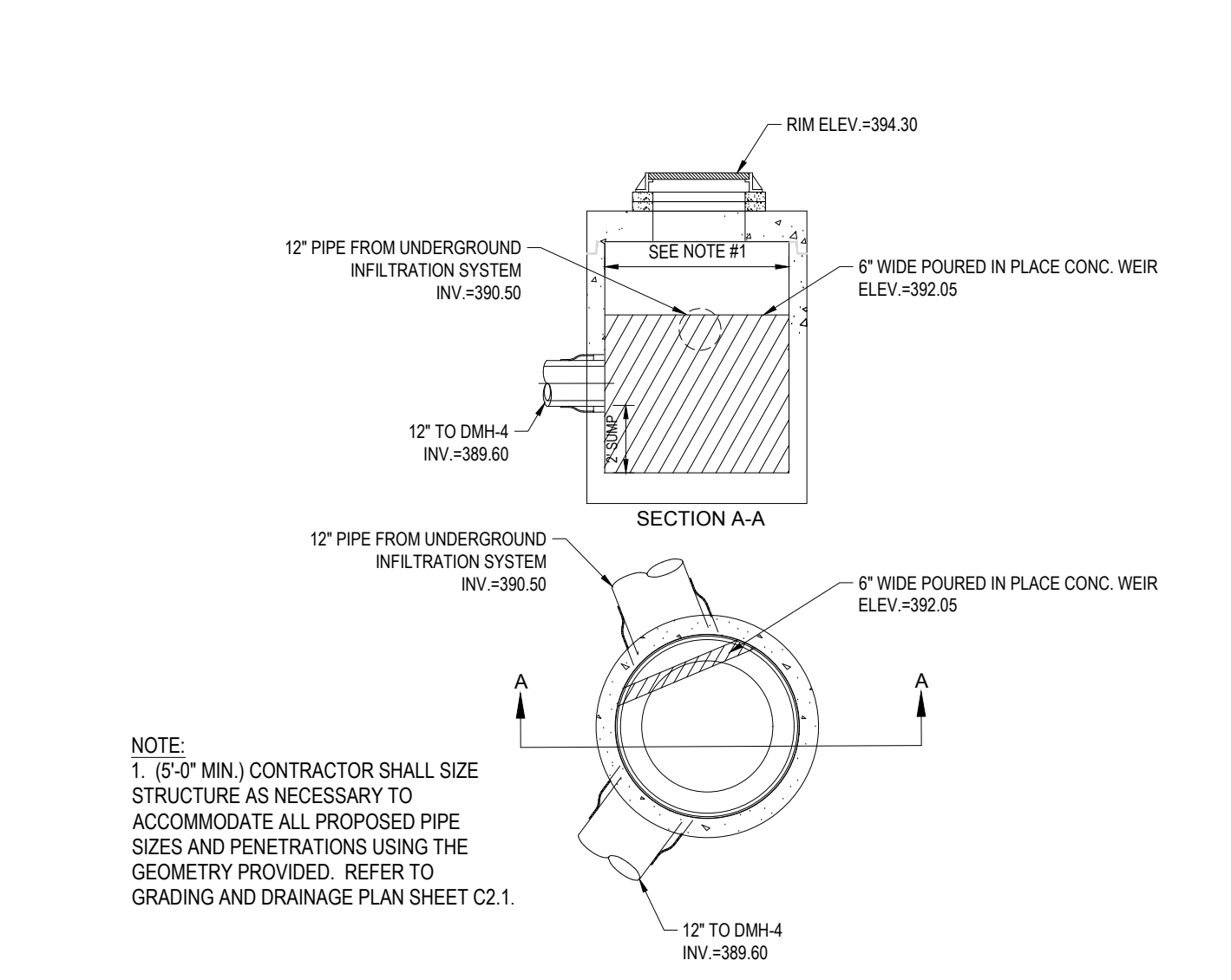
PRECAST CONCRETE DEEP SUMP CATCH BASIN

N.T.S.



INLET CONTROL STRUCTURE (ICS)

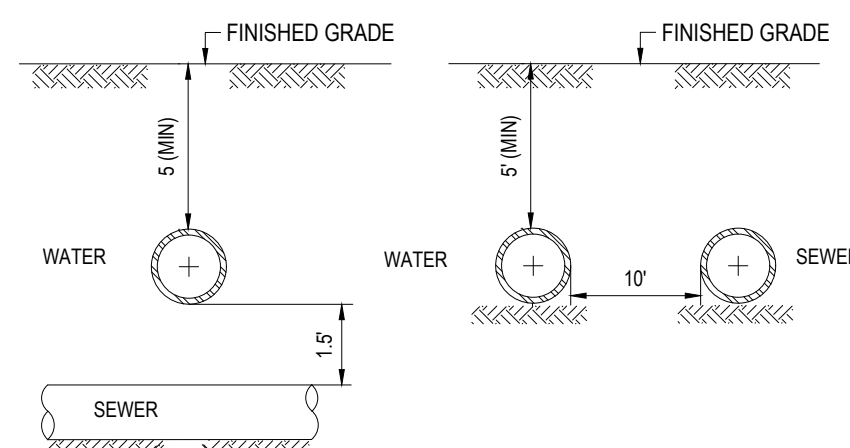
N.T.S.



OUTLET CONTROL STRUCTURE (OCS)

N.T.S.

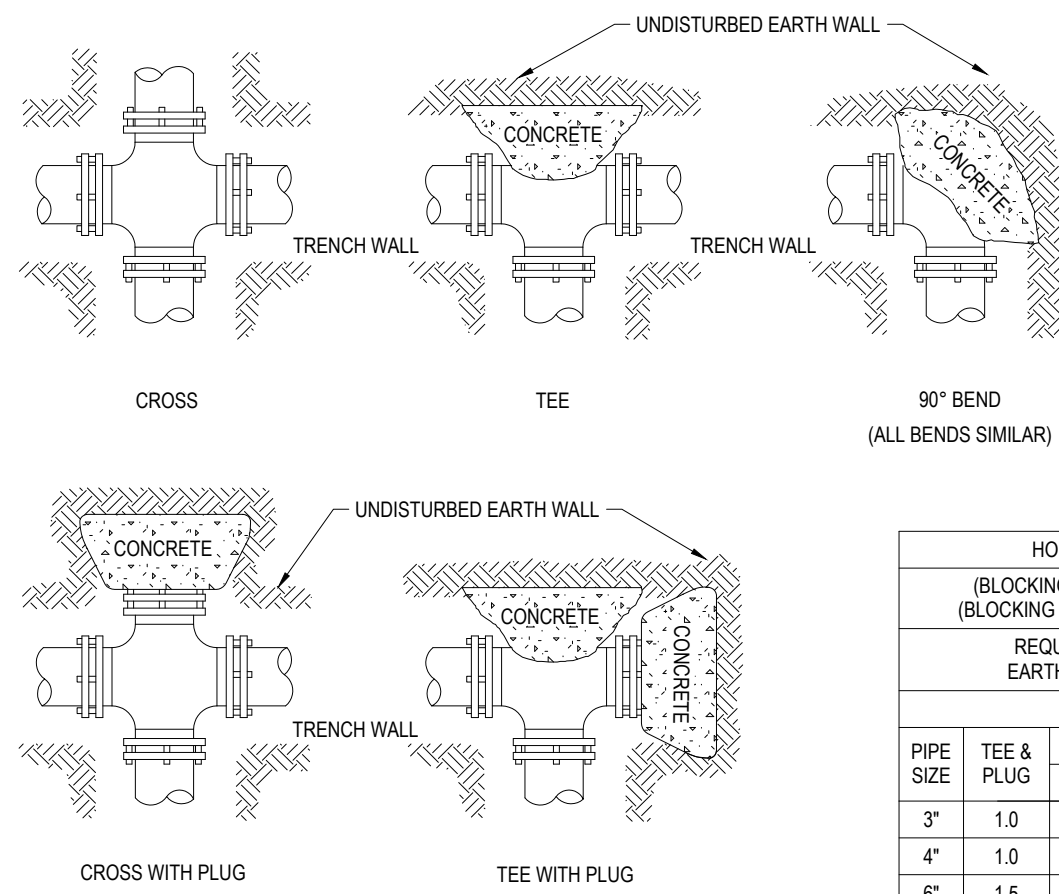
I:\BOHLER\NET\SHARES\BMAP\PROJECT\2107119\DRAWINGS\PLAN SET\REV\W211057-CV-5-LAYOUT-C-902-DET1



NOTE:
10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN WATER AND SEWER AS DEPICTED IN THIS DETAIL OR SEWER SHALL BE ENCASED IN CONCRETE (SEE "CONCRETE ENCASEMENT DETAIL AT UTILITY CROSSING" DETAIL SHEET) IN SECTIONS WHERE SEPARATIONS SHALL NOT BE ACHIEVED.

WATER / SEWER CROSSING

N.T.S.



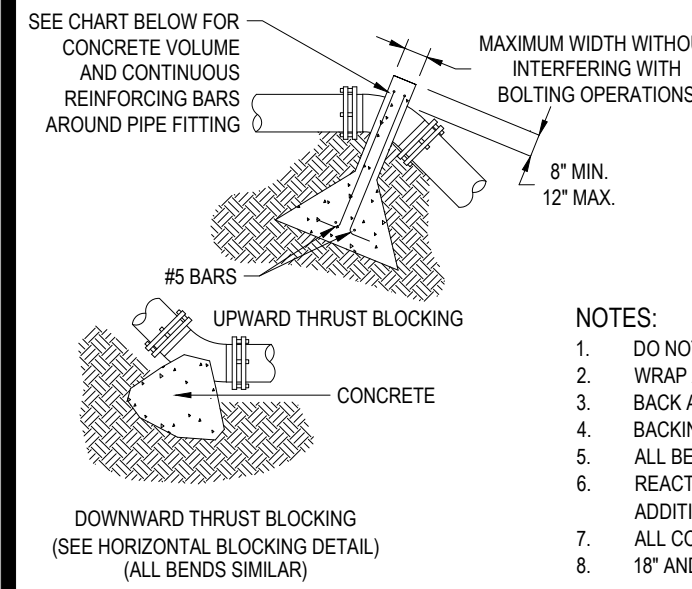
HORIZONTAL THRUST BLOCKING
(BLOCKING HEIGHT GREATER THAN PIPE O.D.)
(BLOCKING WIDTH BETWEEN 1 & 2 TIMES HEIGHT)
REQUIRED SQ. FT. OF UNDISTURBED EARTH WALL FOR REACTION BACKING

PIPE SIZE	TYPE OF FITTINGS				
	TEE & PLUG	BENDS			
		90°	45°	22 1/2°	11 1/4°
3"	1.0	1.0	1.0	1.0	1.0
4"	1.0	1.0	1.0	1.0	1.0
6"	1.5	2.0	1.0	1.0	1.0
8"	2.5	3.5	1.8	1.0	1.0
10"	4.0	5.5	2.8	1.5	1.0
12"	6.0	8.0	4.0	2.0	1.5

- NOTE:
1. DO NOT COVER BELLS OR FLANGES WITH CONCRETE
2. WRAP ALL FITTINGS WITH VISQUEEN
3. BACK ALL TEES ACCORDING TO SIZE OF BRANCH
4. BACKING FUTURE LINE EXTENSIONS SHALL BE SUCH THAT LATER REMOVAL IS POSSIBLE.
5. ALL BENDS WHERE FITTINGS ARE USED, BOTH HORIZONTAL OR VERTICAL SHALL BE BACKED.
6. REACTION BACKING TABLE IS BASED ON 100 P.S.I. AND SOIL BEARING PRESSURE OF 2000 LB./SQ.FT.
7. ALL CONCRETE SHALL BE 2500 P.S.I.
8. 18" AND LARGER REQUIRES SPECIFIC ANTI-THRUST DESIGN.

HORIZONTAL THRUST BLOCKING

N.T.S.



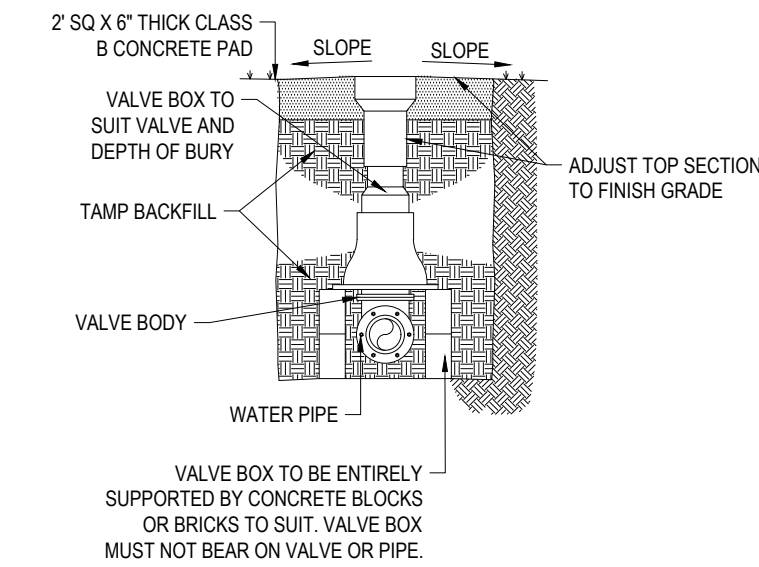
UPWARD THRUST BLOCKING
(REQUIRED REINFORCING BARS & CUBIC YARDS OF P.C. CONCRETE)

PIPE SIZE	90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	CONC. C.Y.	REIN. QTY.	CONC. C.Y.	REIN. QTY.	CONC. C.Y.	REIN. QTY.	CONC. C.Y.	REIN. QTY.
6"	1.5	3	1.5	3	1.25	2	1.25	2
8"	2	3	2	3	1.5	2	1.5	2
10"	2.5	3	2.5	3	2	3	2	3
12"	3	3	3	3	2.5	3	2.5	3

- NOTES:
1. DO NOT COVER BELLS OR FLANGES WITH CONCRETE
2. WRAP ALL FITTINGS WITH VISQUEEN
3. BACK ALL TEES ACCORDING TO SIZE OF BRANCH
4. BACKING FUTURE LINE EXTENSIONS SHALL BE SUCH THAT LATER REMOVAL IS POSSIBLE.
5. ALL BENDS WHERE FITTINGS ARE USED, BOTH HORIZONTAL OR VERTICAL SHALL BE BACKED.
6. REACTION BACKING TABLE IS BASED ON 100 P.S.I. AND SOIL BEARING PRESSURE OF 2000 LB./SQ.FT.
7. ALL CONCRETE SHALL BE 2500 P.S.I.
8. 18" AND LARGER REQUIRES SPECIFIC ANTI-THRUST DESIGN.

VERTICAL THRUST BLOCKING

N.T.S.



GATE VALVE

N.T.S.

REVISIONS

REV	DATE	COMMENT	CHECKED BY
1	03/23/22	NOTICE OF INTENT SUBMISSION	NPD RMM
2	05/06/22	PER TOWN / PEER REVIEW COMMENTS	NPD RMM
3	05/17/22	PER PEER REVIEW COMMENTS	NPD RMM
4	05/24/22	PER TOWN COMMENTS	NPD RMM
5	07/19/22	FOR PB ENDORSEMENT	NPD RMM



PERMIT SET

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: W211057
DRAWN BY: NPD
CHECKED BY: RMM
DATE: 02/01/2022
CAD ID: W211057-CVL-5

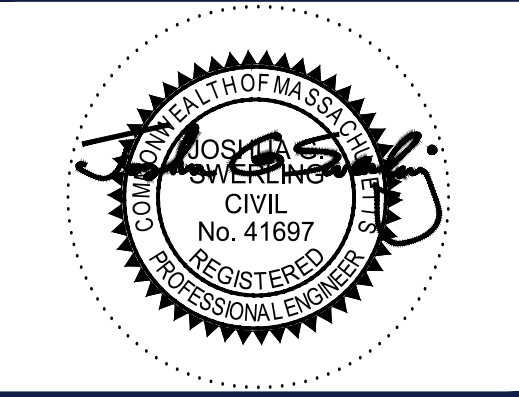
PROPOSED SITE PLAN DOCUMENTS

TMC HOLDINGS & DEVELOPMENT 2, LLC

PROPOSED INDUSTRIAL DEVELOPMENT
UNION STREET BUSINESS PARK II
MAP #314, BLOCK #20, LOT #1
839 UPPER UNION STREET
CITY OF FRANKLIN
NORFOLK COUNTY, MA

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com



SHEET TITLE:

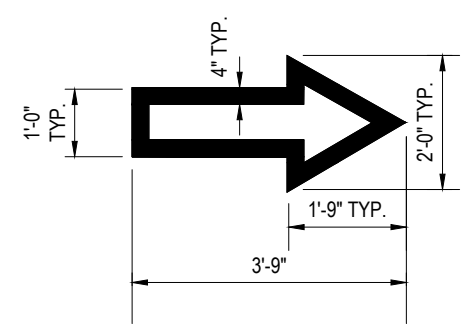
DETAIL SHEET

SHEET NUMBER:
C-903

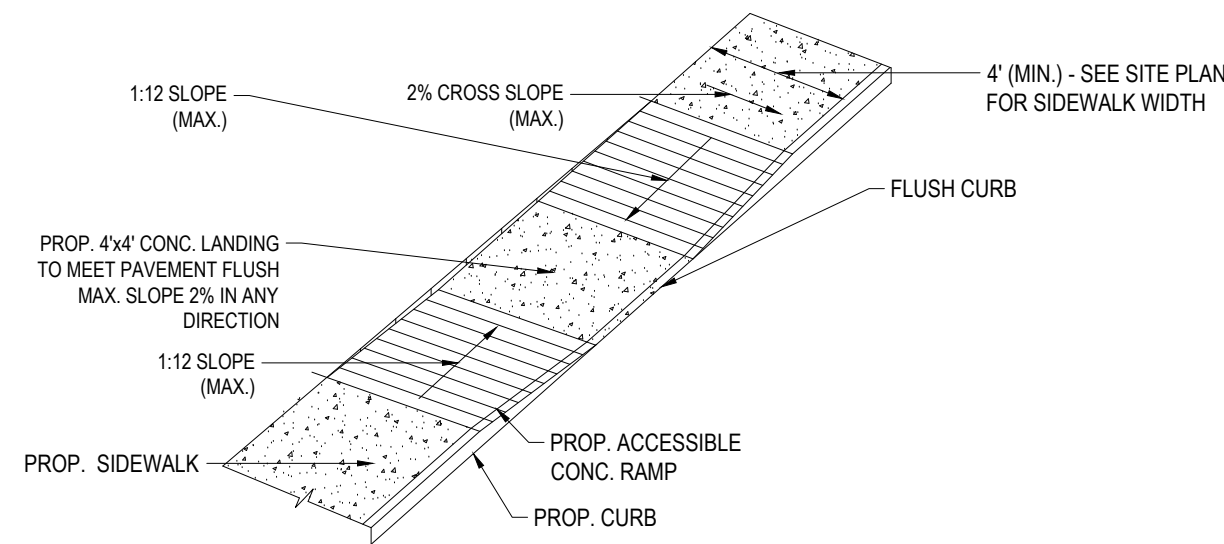
REVISION 5 - 07/19/22

TRAFFIC FLOW ARROW

N.T.S.

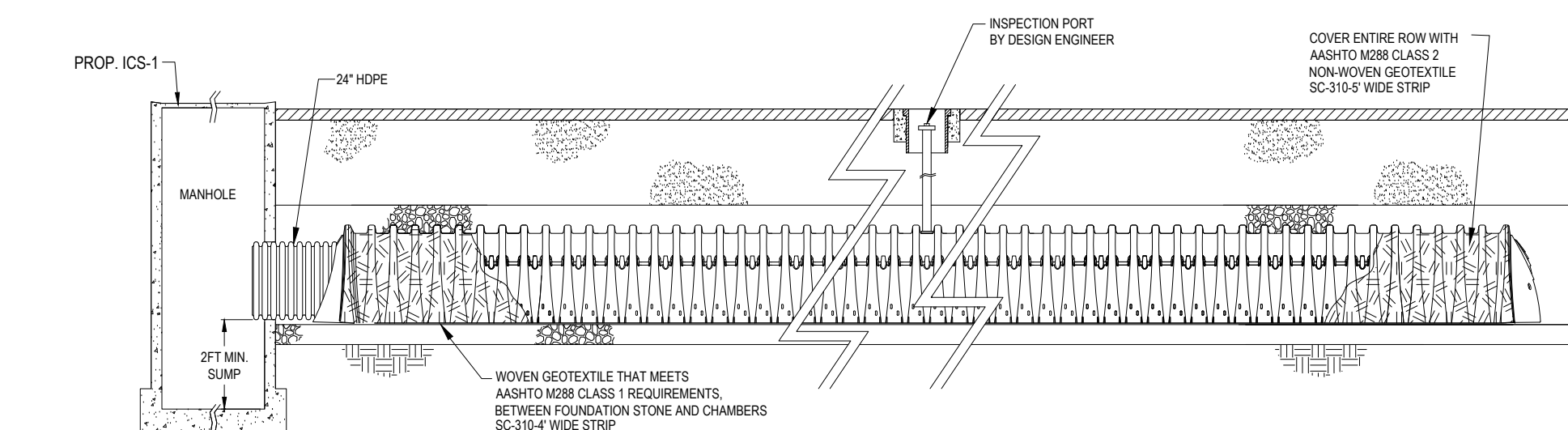


NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE WHITE PAINT PER SPECS.

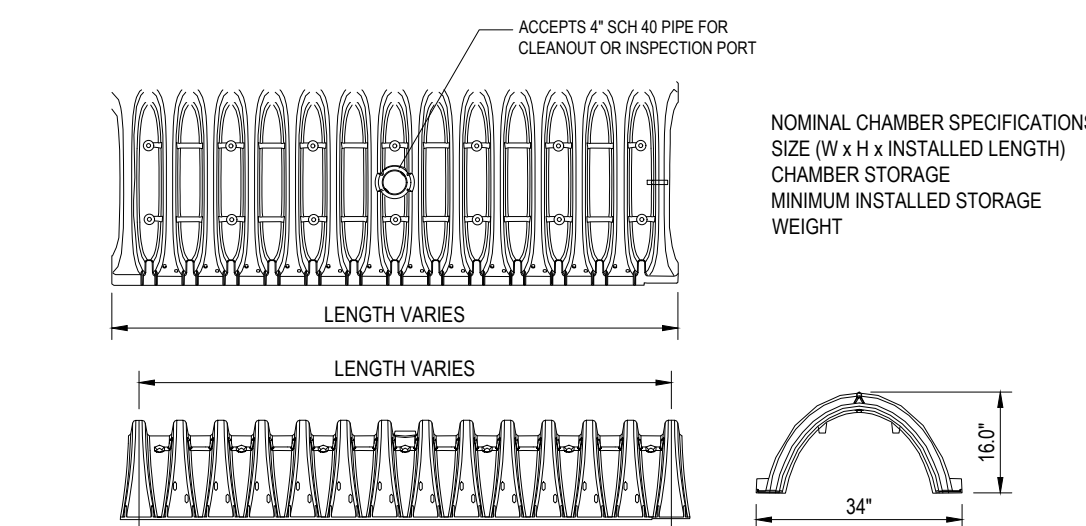


ACCESSIBLE RAMP

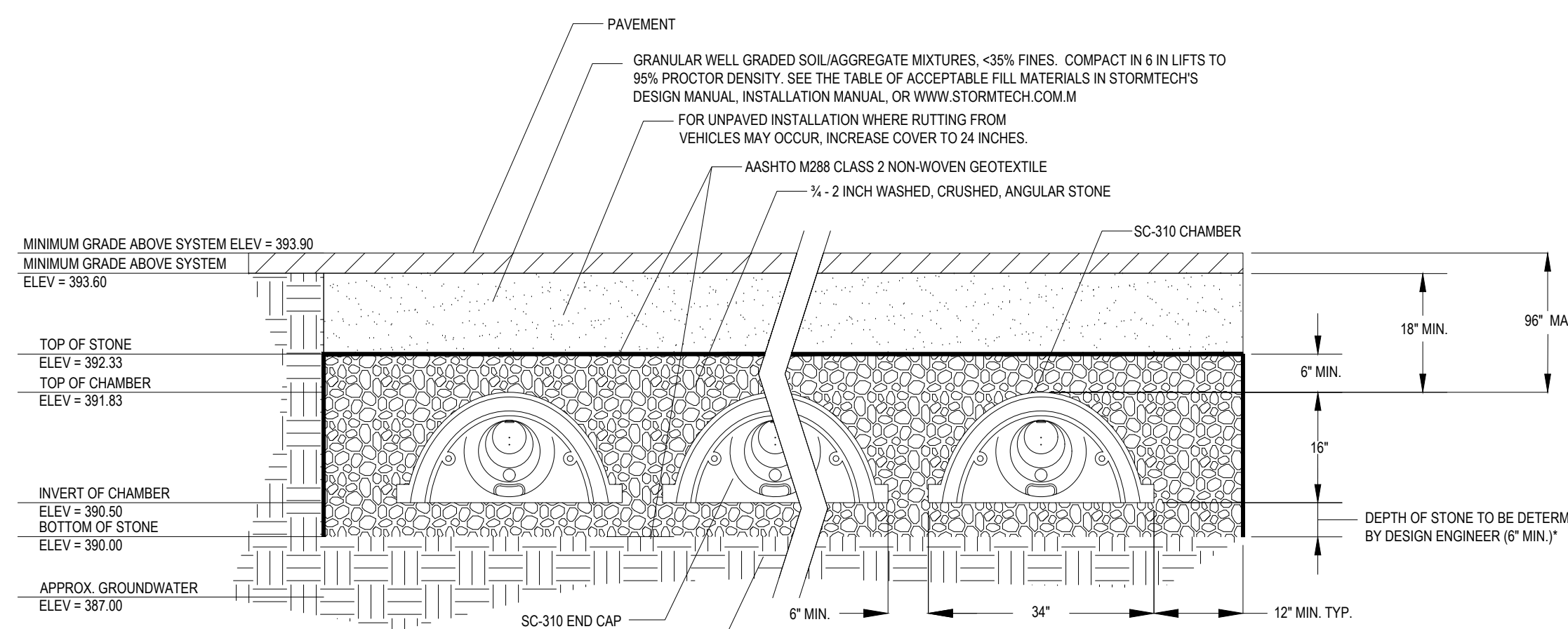
N.T.S.



STORMTECH SC-310 ISOLATOR ROW DETAIL

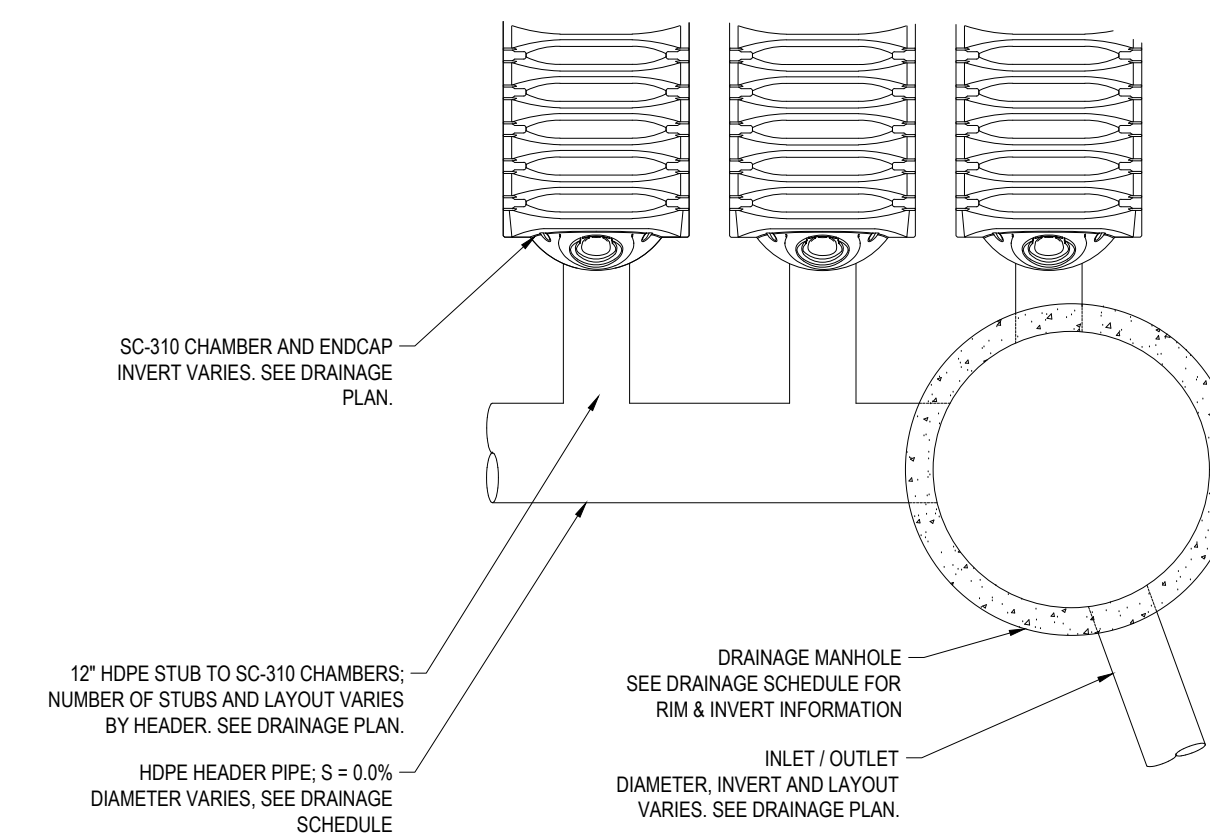


STORMTECH SC-310 CHAMBER SYSTEM INDIVIDUAL UNIT DETAIL

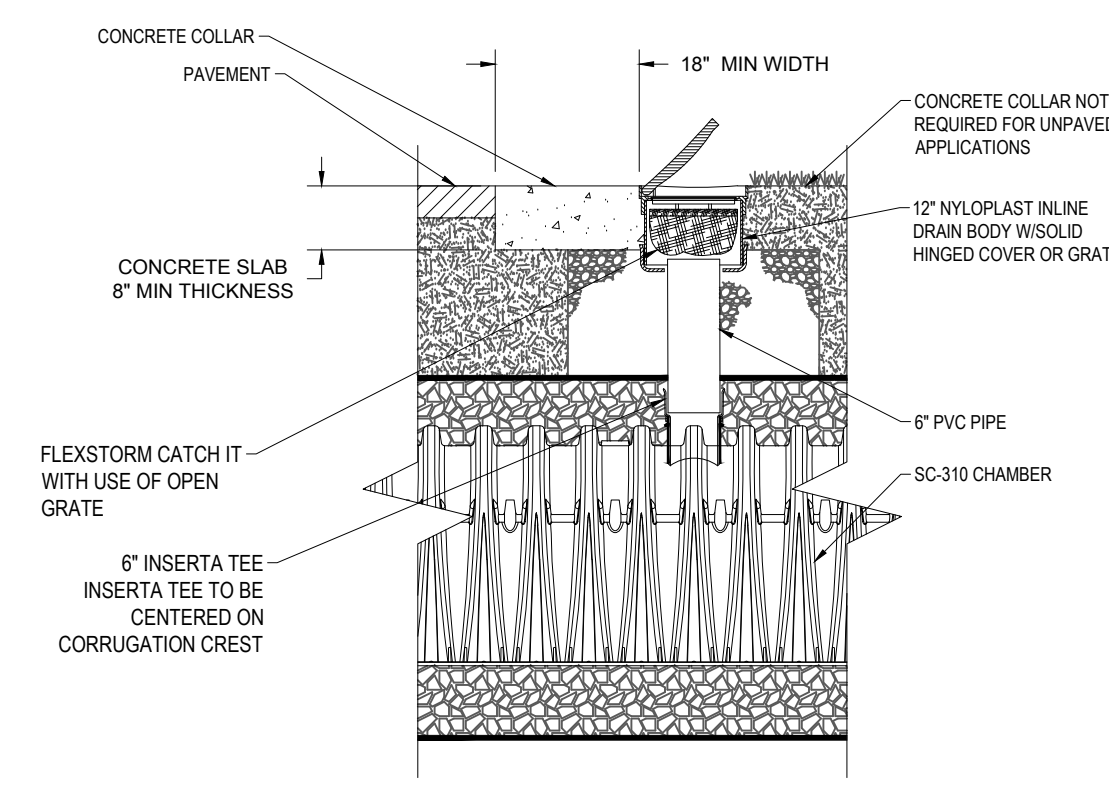


STORMTECH SC-310 UNDERGROUND INFILTRATION SYSTEM

STORMTECH SC-310 UNDERGROUND INFILTRATION SYSTEM



TYPICAL HEADER PIPE DETAIL



STORMTECH SC-310 CHAMBER SYSTEM INSPECTION PORT DETAIL

N.T.S.

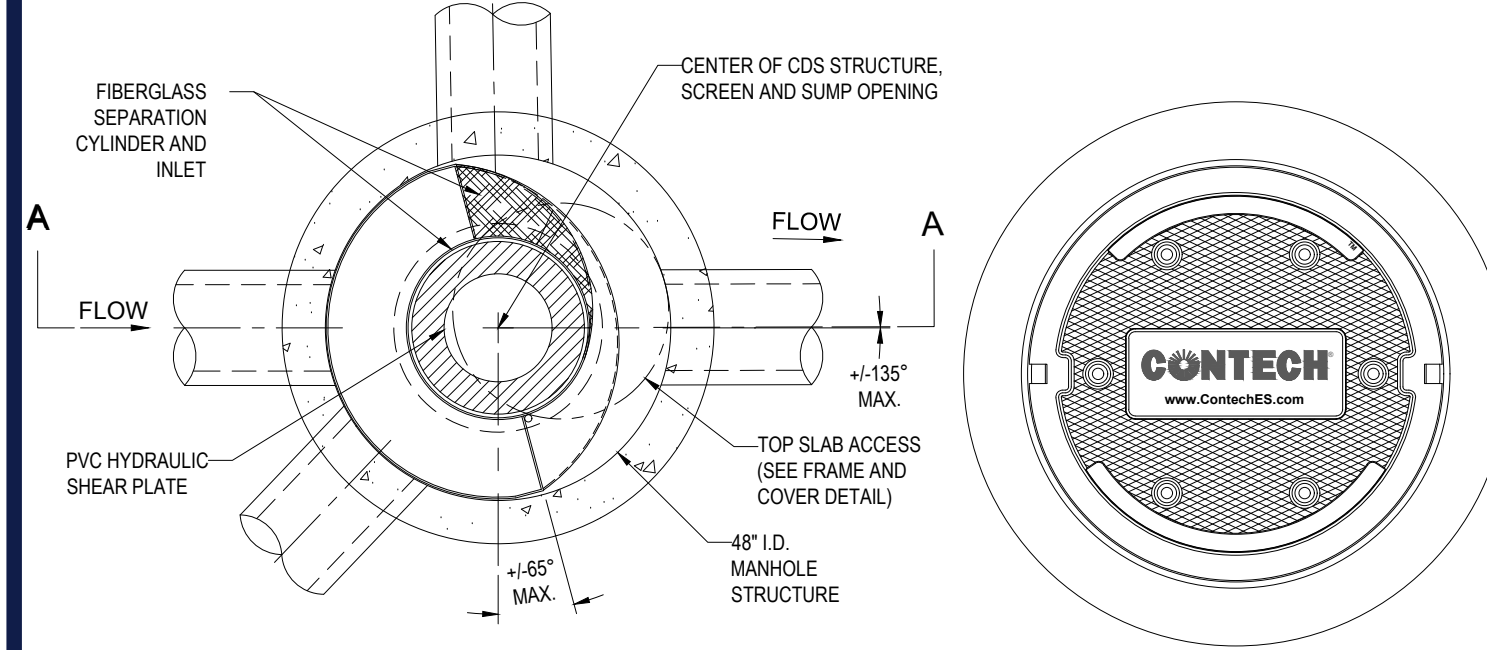
CDS2015-4-C DESIGN NOTES

CDS2015-4-C RATED TREATMENT CAPACITY IS 1.4 CFS, OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY IS 10.0 CFS. IF THE SITE CONDITIONS EXCEED 10.0 CFS, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

THE STANDARD CDS2015-4-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

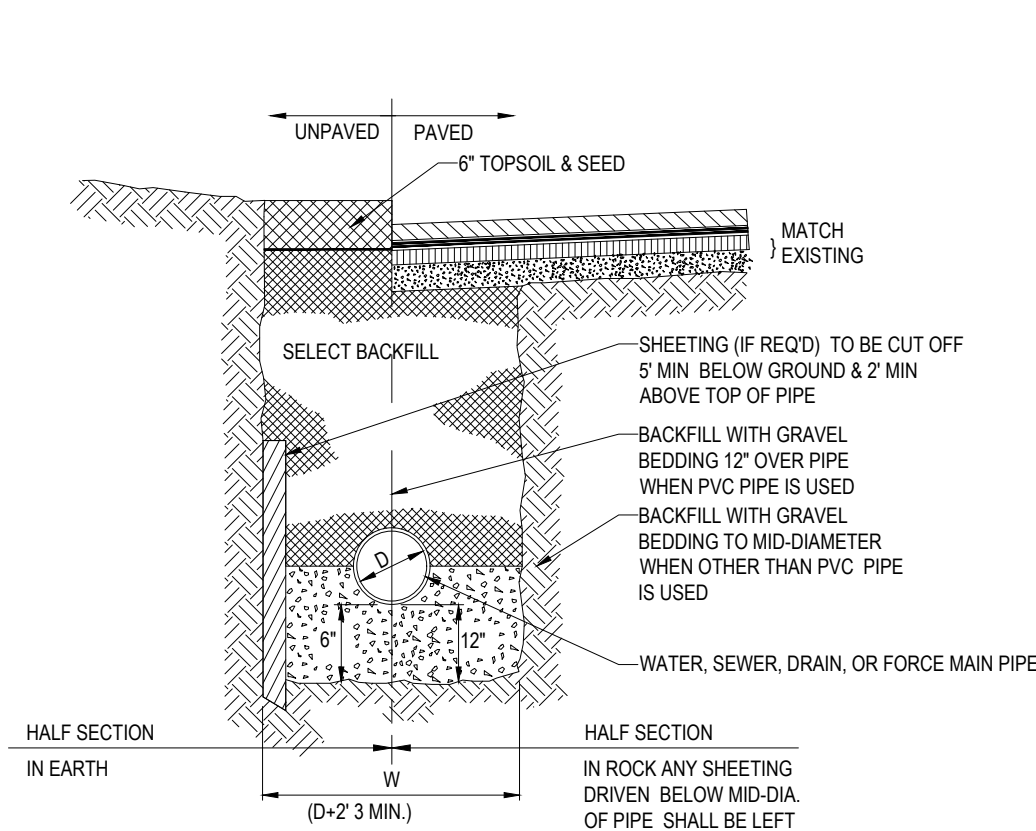
CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPE)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPE)
- CURB INLET WITH INLET PIPE OR PIPES
- SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)
- SEDIMENT WEIR FOR NJDEP / NACAT CONFORMING UNITS



PLAN VIEW B-B
N.T.S.

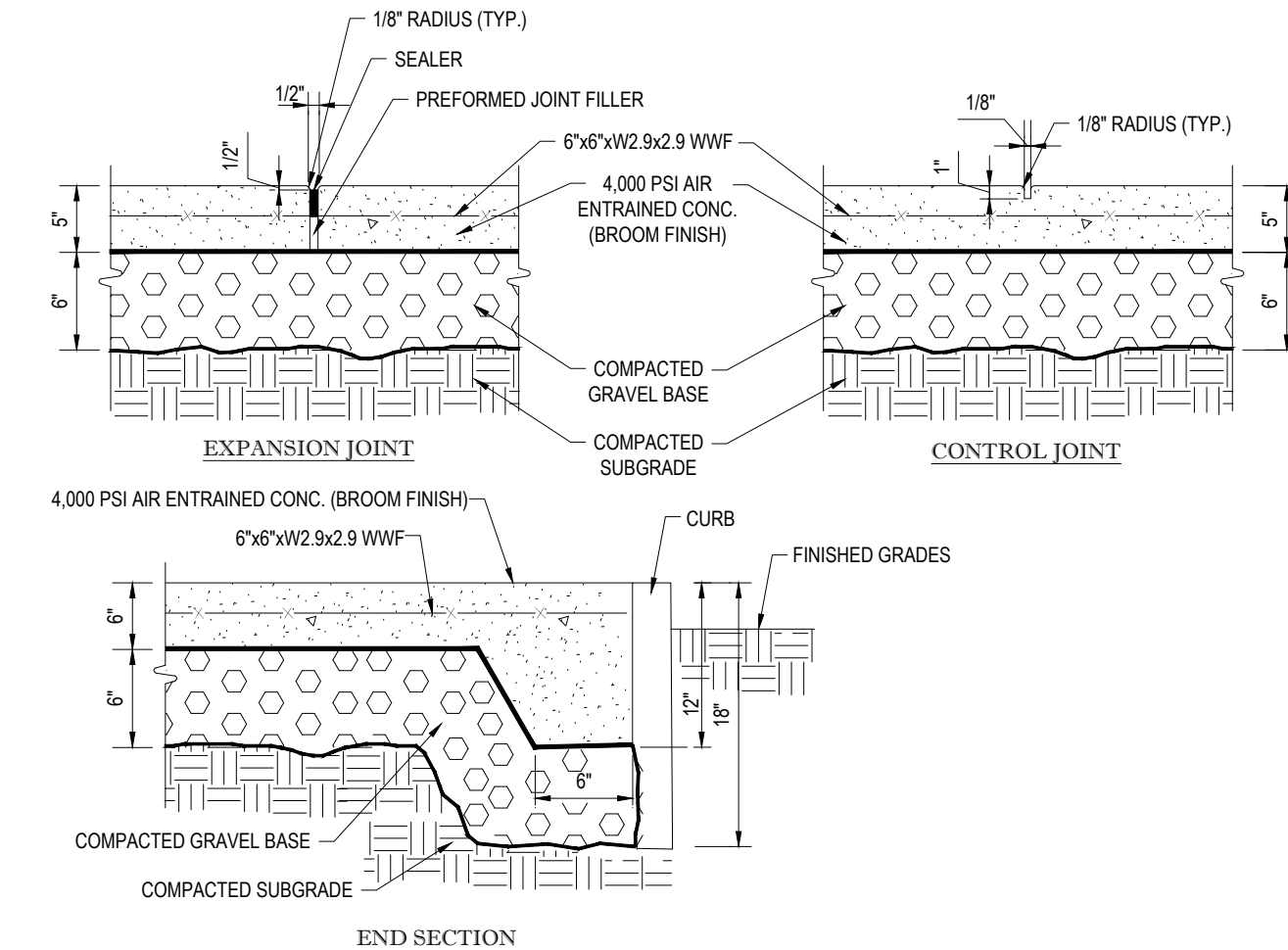
FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



NOTE: WATER AND SANITARY PIPES SHALL HAVE A MINIMUM DEPTH OF 4 FEET. WHEN 4-FOOT SANITARY DEPTH IS NOT ACHIEVED, SANITARY PIPE SHALL BE INSULATED PER TOWN ON ACTION DPW REQUIREMENTS.

TYPICAL UTILITY TRENCH

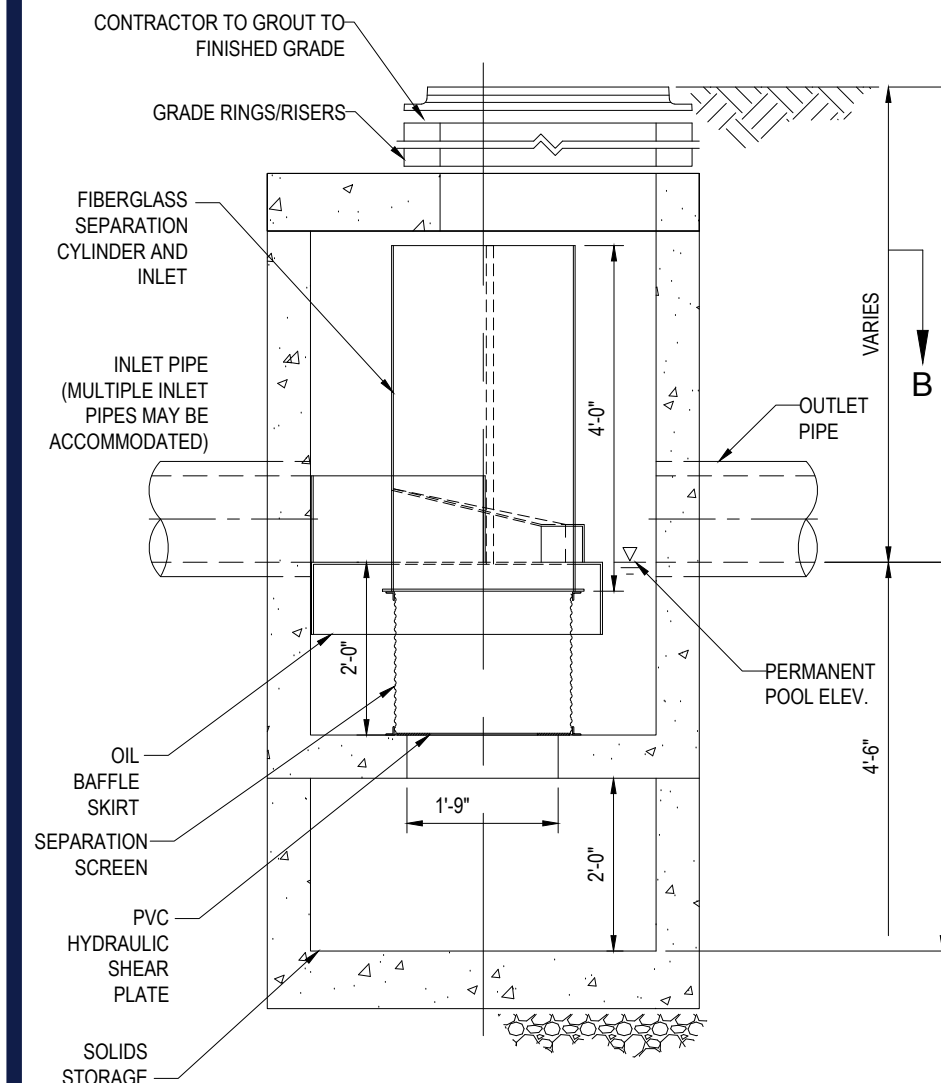
N.T.S.



NOTES: TO BE USED FOR BUILDING SURROUND AND OTHER CONCRETE WALKS. USE CHAIRS TO SUPPORT REINFORCING STEEL DURING POUR.
VARIES SEE PLAN
1. SEE SITE PLAN FOR WIDTH AND GRADES
2. PROVIDE MINIMUM 1/8" FT. CROSS-SLOPE
3. PROVIDE CONTROL JOINTS 5'-0" O.C. MIN.
4. PROVIDE EXPANSION JOINTS 20'-0" O.C. MIN.

TYPICAL CONCRETE SIDEWALK

N.T.S.



ELEVATION A-A
N.T.S.

CONTECH CDS2015-4-C
(WQU)

N.T.S.

- GENERAL NOTES:**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE.
 - WWW.CONTECHES.COM
 - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET AASHTO H2020 AND CASTINGS SHALL MEET H2020 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEV.
 - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES:**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT. HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

N.T.S.

N.T.S.

N.T.S.

N.T.S.

N.T.S.

REVISIONS

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1	03/23/22	NOTICE OF INTENT SUBMISSION	NPD RMM
2	05/09/22	PER TOWN / PEER REVIEW COMMENTS	NPD RMM
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4	05/24/22	PER TOWN COMMENTS	NPD RMM
5	07/19/22	FOR PB ENDORSEMENT	NPD RMM

811
Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

PERMIT SET

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PROJECT No.: W211057
DRAWN BY: NPD
CHECKED BY: RMM
DATE: 02/01/2022
CAD ID.: W211057-CVL-5

PROPOSED SITE PLAN DOCUMENTS

FOR

TMC HOLDINGS & DEVELOPMENT 2, LLC

PROPOSED INDUSTRIAL DEVELOPMENT
UNION STREET BUSINESS PARK II
MAP #314, BLOCK #20, LOT #1
839 UPPER UNION STREET
CITY OF FRANKLIN
NORFOLK COUNTY, MA

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

SHEET TITLE:
DETAIL SHEET

SHEET NUMBER:
C-904

REVISION 5 - 07/19/22

N.T.S.

REFERENCES:

- THE TAX ASSESSOR'S MAP OF CITY OF FRANKLIN, NORFOLK COUNTY, MAP 314.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 317 OF 430," COMMUNITY-PANEL NUMBER 250240 0317 E, EFFECTIVE DATE: JULY 17, 2012.
- MAP ENTITLED "PLAN OF LAND, UNION STREET BUSINESS PARK, FRANKLIN, MA (NORFOLK COUNTY), PREPARED FOR UNION STREET BUSINESS PARK, LLC," PREPARED BY WELCH ASSOCIATES LAND SURVEYORS, INC. DATED DECEMBER 7, 2007, UNRECORDED PLAN.
- MAP ENTITLED "PLAN OF LAND IN FRANKLIN, MA (NORFOLK COUNTY)," PREPARED BY ENGINEERING DESIGN CONSULTANTS, INC. DATED APRIL 15, 1999, RECORDED WITH THE NORFOLK COUNTY REGISTRY OF DEEDS AS PLAN 463 OF 1999.
- MAP ENTITLED "EXISTING CONDITIONS PLAN, UNION STREET BUSINESS PARK, 837, 839 & 841 UPPER UNION STREET, FRANKLIN, MASSACHUSETTS, PREPARED FOR "ABRAHAM PROPERTIES," PREPARED BY ENGINEERING DESIGN CONSULTANTS, INC., DATED APRIL 22, 2005, SHEET 1 OF 8.
- UNDERGROUND GAS FACILITY MAPPING PROVIDED BY EVERSOURCE GAS.
- MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF FRANKLIN, NORFOLK COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," PREPARED BY THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS, DATED SEPTEMBER 29, 1965, LAYOUT NO. 5495, SHEETS 9 THROUGH 11 OF 16.

NOTES (CONT'D):

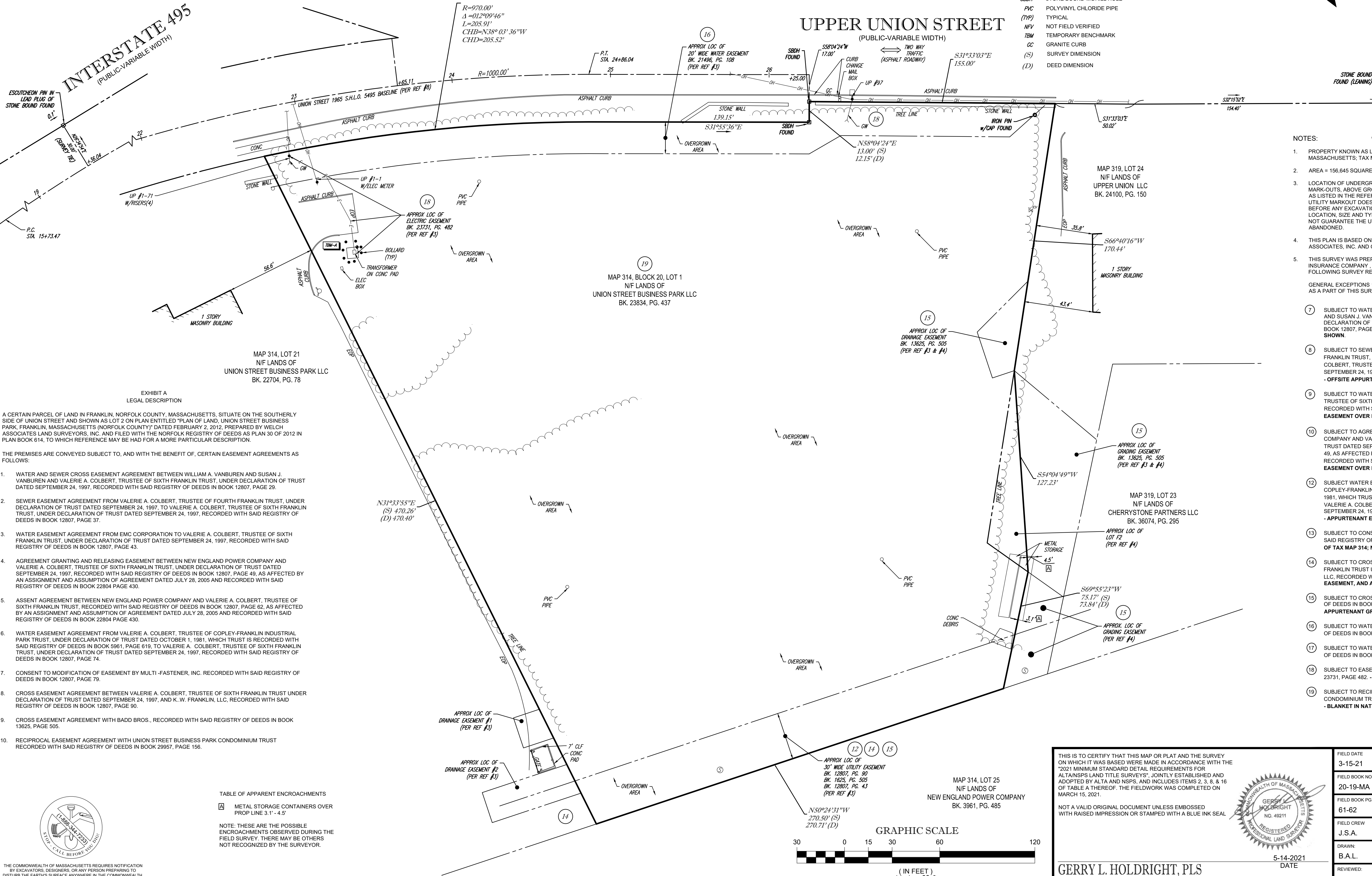
- PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:
TBM-A: X-CUT ON CORNER OF TRANSFORMER CONCRETE PAD. ELEVATION = 389.82'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- PROPERTY CURRENTLY DOES NOT HAVE DIRECT ACCESS TO UPPER UNION STREET.

LEGEND

- HYDRANT
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND GAS LINE
- APPROX. LOC. UNDERGROUND ELECTRIC LINE
- APPROX. LOC. UNDERGROUND WATER LINE
- UTILITY POLE
- GUY WIRE
- AREA LIGHT
- MAIL BOX
- BOLLARD
- POST
- CONCRETE
- CHAIN LINK FENCE
- EDGE OF PAVEMENT
- SANITARY/SEWER MANHOLE
- DRILL HOLE FOUND
- STONE BOUND W/DRILL HOLE
- POLYVINYL CHLORIDE PIPE
- TYPICAL
- NOT FIELD VERIFIED
- TEMPORARY BENCHMARK
- GRANITE CURB
- SURVEY DIMENSION
- DEED DIMENSION



LOCUS MAP
© 2015 ESRI WORLD STREET MAPS
NOT TO SCALE



NOTES:

- PROPERTY KNOWN AS LOT 1 AS SHOWN ON THE CITY OF FRANKLIN, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS; TAX MAP NO. 314.
- AREA = 156,645 SQUARE FEET OR 3.596 ACRES
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY WESTCOR LAND TITLE INSURANCE COMPANY, HAVING A COMMITMENT NO. -, WITH AN EFFECTIVE DATE OF -, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B - PART II:
GENERAL EXCEPTIONS 1 THRU 6, AND 11 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A PART OF THIS SURVEY.
- SUBJECT TO WATER AND SEWER CROSS EASEMENT AGREEMENT BETWEEN WILLIAM A. VANBUREN AND SUSAN J. VANBUREN AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 29. - OFFSITE APPURTENANT EASEMENT OVER LOT 24 OF TAX MAP 314; NOT SHOWN.
- SUBJECT TO SEWER EASEMENT AGREEMENT FROM VALERIE A. COLBERT, TRUSTEE OF FOURTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 37. - OFFSITE APPURTENANT EASEMENT OVER LOT 58 OF TAX MAP 313; NOT SHOWN.
- SUBJECT TO WATER EASEMENT AGREEMENT FROM EMC CORPORATION TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 43. - OFFSITE APPURTENANT EASEMENT OVER LOT 15 OF TAX MAP 313; NOT SHOWN.
- SUBJECT TO AGREEMENT GRANTING AND RELEASING EASEMENT BETWEEN NEW ENGLAND POWER COMPANY AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 49, AS AFFECTED BY AN ASSIGNMENT AND ASSUMPTION OF AGREEMENT DATED JULY 28, 2005 AND RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 22804 PAGE 430. - OFFSITE APPURTENANT EASEMENT OVER LOT 25 OF TAX MAP 314; NOT SHOWN.
- SUBJECT TO WATER EASEMENT AGREEMENT FROM VALERIE A. COLBERT, TRUSTEE OF COPLEY-FRANKLIN INDUSTRIAL PARK TRUST, UNDER DECLARATION OF TRUST DATED OCTOBER 1, 1981, WHICH TRUST IS RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 5961, PAGE 619, TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 74. - APPURTENANT EASEMENT OVER LOT 23 OF TAX MAP 313; AS SHOWN.
- SUBJECT TO CONSENT TO MODIFICATION OF EASEMENT BY MULTI-FASTENER, INC. RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 79. - OFFSITE APPURTENANT EASEMENT OVER LOT 25 OF TAX MAP 314; NOT SHOWN.
- SUBJECT TO CROSS EASEMENT AGREEMENT BETWEEN VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, AND K. W. FRANKLIN, LLC, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 90. - 30' WIDE UTILITY EASEMENT, AND APPURTENANT EASEMENT OVER LOT 21 OF TAX MAP 314; AS SHOWN.
- SUBJECT TO CROSS EASEMENT AGREEMENT WITH BADD BROS., RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 13625, PAGE 505. - 30' WIDE UTILITY EASEMENT, DRAINAGE EASEMENT, AND APPURTENANT GRADING EASEMENT OVER LOT 24 OF TAX MAP 313; AS SHOWN.
- SUBJECT TO WATER EASEMENT AGREEMENT TO UNION PLACE LLC RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 21496, PAGE 114. - NOT LOCUS.
- SUBJECT TO EASEMENT TO MASS. ELECTRIC RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 23731, PAGE 482. - ELECTRIC LINE EASEMENT SHOWN.
- SUBJECT TO RECIPROCAL EASEMENT AGREEMENT WITH UNION STREET BUSINESS PARK CONDOMINIUM TRUST RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 29957, PAGE 156. - BLANKET IN NATURE

EXHIBIT A
LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND IN FRANKLIN, NORFOLK COUNTY, MASSACHUSETTS, SITUATE ON THE SOUTHERLY SIDE OF UNION STREET AND SHOWN AS LOT 2 ON PLAN ENTITLED "PLAN OF LAND, UNION STREET BUSINESS PARK, FRANKLIN, MASSACHUSETTS (NORFOLK COUNTY)" DATED FEBRUARY 2, 2012, PREPARED BY WELCH ASSOCIATES LAND SURVEYORS, INC. AND FILED WITH THE NORFOLK REGISTRY OF DEEDS AS PLAN 30 OF 2012 IN PLAN BOOK 614, TO WHICH REFERENCE MAY BE HAD FOR A MORE PARTICULAR DESCRIPTION.

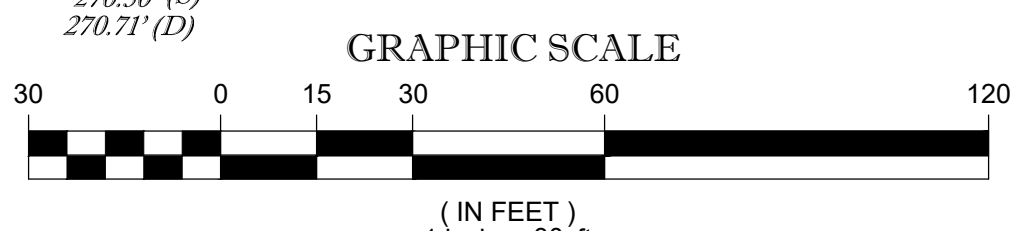
THE PREMISES ARE CONVEYED SUBJECT TO, AND WITH THE BENEFIT OF, CERTAIN EASEMENT AGREEMENTS AS FOLLOWS:

- WATER AND SEWER CROSS EASEMENT AGREEMENT BETWEEN WILLIAM A. VANBUREN AND SUSAN J. VANBUREN AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 29.
- SEWER EASEMENT AGREEMENT FROM VALERIE A. COLBERT, TRUSTEE OF FOURTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 37.
- WATER EASEMENT AGREEMENT FROM EMC CORPORATION TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 43.
- AGREEMENT GRANTING AND RELEASING EASEMENT BETWEEN NEW ENGLAND POWER COMPANY AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 49, AS AFFECTED BY AN ASSIGNMENT AND ASSUMPTION OF AGREEMENT DATED JULY 28, 2005 AND RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 22804 PAGE 430.
- ASSENT AGREEMENT BETWEEN NEW ENGLAND POWER COMPANY AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 62, AS AFFECTED BY AN ASSIGNMENT AND ASSUMPTION OF AGREEMENT DATED JULY 28, 2005 AND RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 22804 PAGE 430.
- WATER EASEMENT AGREEMENT FROM VALERIE A. COLBERT, TRUSTEE OF COPLEY-FRANKLIN INDUSTRIAL PARK TRUST, UNDER DECLARATION OF TRUST DATED OCTOBER 1, 1981, WHICH TRUST IS RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 5961, PAGE 619, TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 74.
- CONSENT TO MODIFICATION OF EASEMENT BY MULTI-FASTENER, INC. RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 79.
- CROSS EASEMENT AGREEMENT BETWEEN VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, AND K. W. FRANKLIN, LLC, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 90.
- CROSS EASEMENT AGREEMENT WITH BADD BROS., RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 13625, PAGE 505.
- RECIPROCAL EASEMENT AGREEMENT WITH UNION STREET BUSINESS PARK CONDOMINIUM TRUST RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 29957, PAGE 156.

TABLE OF APPARENT ENCROACHMENTS

	METAL STORAGE CONTAINERS OVER PROP LINE 3.1' - 4.5'
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NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.



THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 8, & 16 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 15, 2021.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

5-14-2021
DATE

FIELD DATE	3-15-21	ALTA/NSPS LAND TITLE SURVEY	
FIELD BOOK NO.	20-19-MA	UNION STREET BUSINESS PARK, LLC	
FIELD BOOK PGS.	61-62	837 UPPER UNION STREET MAP 314, BLOCK 20, LOT 1 CITY OF FRANKLIN, NORFOLK COUNTY COMMONWEALTH OF MASSACHUSETTS	
FIELD CREW	J.S.A.	CONTROL POINT ASSOCIATES, INC.	
DRAWN	B.A.L.	ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-8600 HAUPPAUGE, NY 631-890-2645 MANHATTAN, NY 609-780-0411 SOUTH BOKROUGH, MA 01772 SOUTH BOKROUGH, MA 01772 WARREN, NJ 908-857-2999	
REVIEWED:	R.J.K.	APPROVED:	G.L.H.
DATE	5-14-2021	SCALE	1"=30'
FILE NO.	03-210095	DWG. NO.	1 OF 1

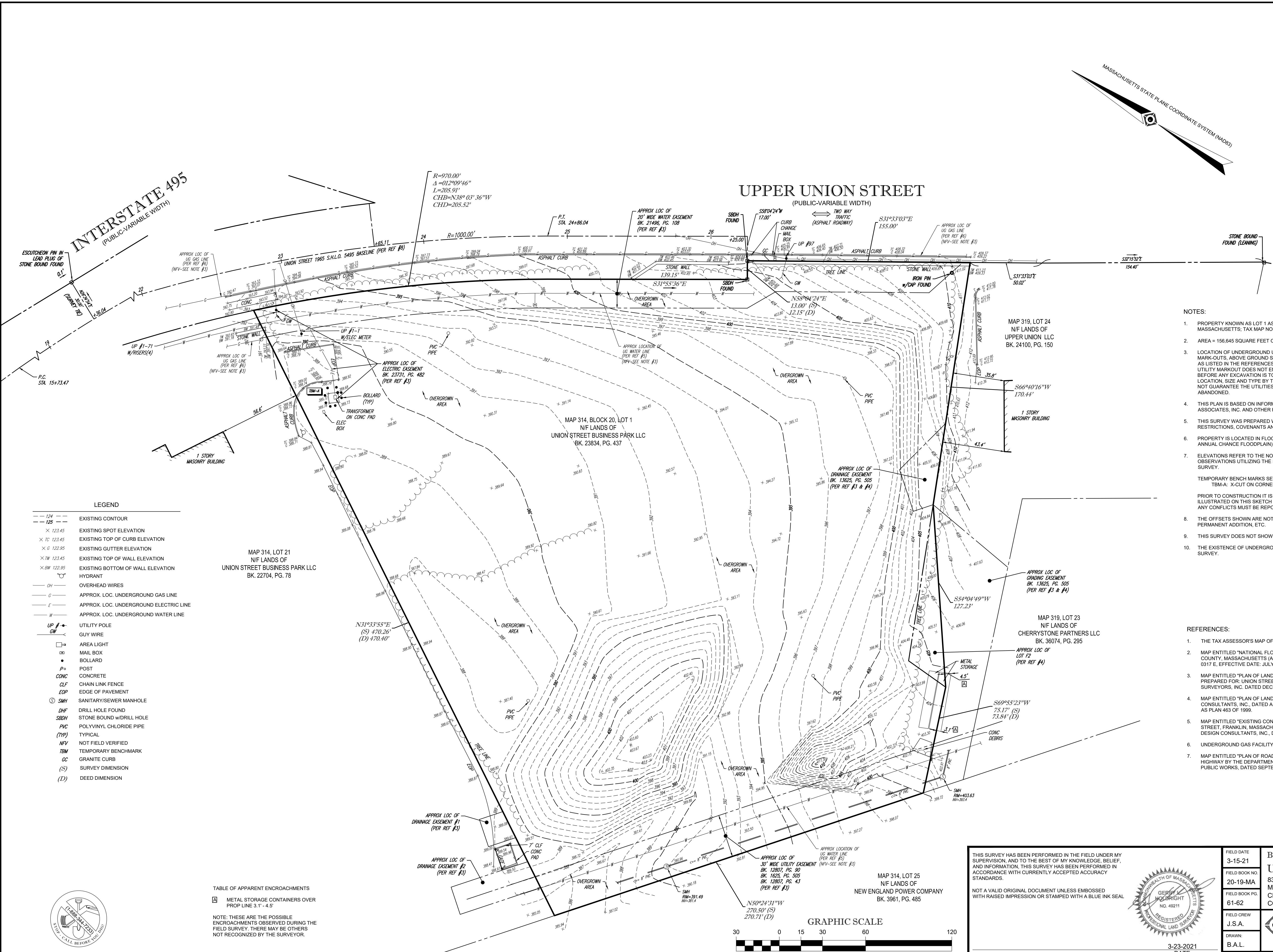
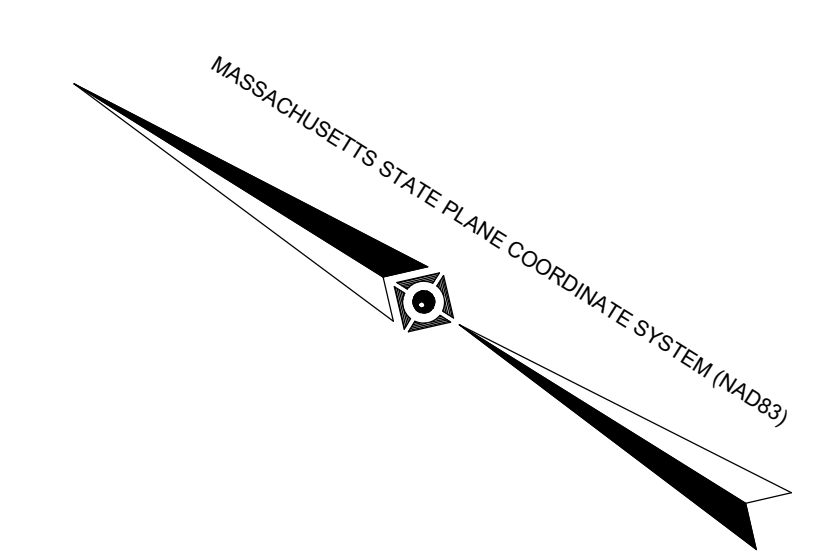


THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. ORIGINAL PROJECT OR THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
NOT TO SCALE



- NOTES:
- PROPERTY KNOWN AS LOT 1 AS SHOWN ON THE CITY OF FRANKLIN, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS, TAX MAP NO. 314.
 - AREA = 156,645 SQUARE FEET OR 3.596 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:
TBM-A: X-CUT ON CORNER OF TRANSFORMER CONCRETE PAD. ELEVATION = 389.82'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

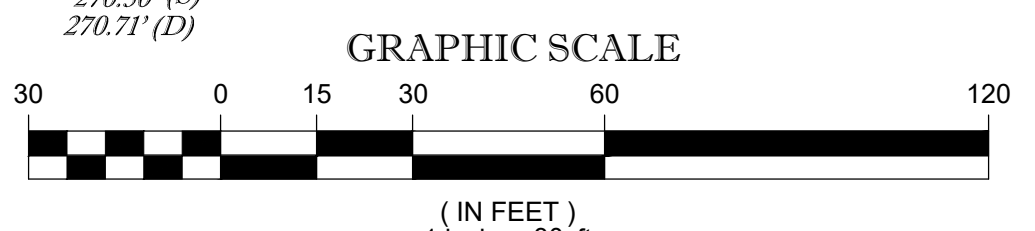
- REFERENCES:
- THE TAX ASSESSOR'S MAP OF CITY OF FRANKLIN, NORFOLK COUNTY, MAP 314.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 317 OF 430," COMMUNITY-PANEL NUMBER 250240 0317 E, EFFECTIVE DATE: JULY 17, 2012.
 - MAP ENTITLED "PLAN OF LAND, UNION STREET BUSINESS PARK, FRANKLIN, MA (NORFOLK COUNTY), PREPARED FOR: UNION STREET BUSINESS PARK, LLC," PREPARED BY WELCH ASSOCIATES LAND SURVEYORS, INC. DATED DECEMBER 1, 2007. UNRECORDED PLAN.
 - MAP ENTITLED "PLAN OF LAND IN FRANKLIN, MA (NORFOLK COUNTY)," PREPARED BY ENGINEERING DESIGN CONSULTANTS, INC. DATED APRIL 15, 1999. RECORDED WITH THE NORFOLK COUNTY REGISTER OF DEEDS AS PLAN 463 OF 1999.
 - MAP ENTITLED "EXISTING CONDITIONS PLAN, UNION STREET BUSINESS PARK, 837, 839 & 841 UPPER UNION STREET, FRANKLIN, MASSACHUSETTS, PREPARED FOR: ABRAHAM PROPERTIES," PREPARED BY ENGINEERING DESIGN CONSULTANTS, INC. DATED APRIL 22, 2005. SHEET 1 OF 8.
 - UNDERGROUND GAS FACILITY MAPPING PROVIDED BY EVERSOURCE GAS.
 - MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF FRANKLIN, NORFOLK COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," PREPARED BY THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS, DATED SEPTEMBER 29, 1965. LAYOUT NO. 5495, SHEETS 9 THROUGH 11 OF 16.

- LEGEND
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING SPOT ELEVATION
 - × 123.45 EXISTING TOP OF CURB ELEVATION
 - × 7C 122.95 EXISTING GUTTER ELEVATION
 - × 7M 123.45 EXISTING TOP OF WALL ELEVATION
 - × 6W 122.95 EXISTING BOTTOM OF WALL ELEVATION
 - HYDRANT
 - OH --- OVERHEAD WIRES
 - G --- APPROX. LOC. UNDERGROUND GAS LINE
 - E --- APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - W --- APPROX. LOC. UNDERGROUND WATER LINE
 - UP # --- UTILITY POLE
 - GW --- GUY WIRE
 - --- AREA LIGHT
 - --- MAIL BOX
 - --- BOLLARD
 - Po --- POST
 - CONC --- CONCRETE
 - CLF --- CHAIN LINK FENCE
 - EDP --- EDGE OF PAVEMENT
 - SMH --- SANITARY/SEWER MANHOLE
 - DHF --- DRILL HOLE FOUND
 - SBWH --- STONE BOUND W/DRILL HOLE
 - PVC --- POLYVINYL CHLORIDE PIPE
 - (TP) --- TYPICAL
 - NFV --- NOT FIELD VERIFIED
 - TBM --- TEMPORARY BENCHMARK
 - GC --- GRANITE CURB
 - (S) --- SURVEY DIMENSION
 - (D) --- DEED DIMENSION

TABLE OF APPARENT ENCROACHMENTS

☒ METAL STORAGE CONTAINERS OVER PROP LINE 3.1' - 4.5'

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

GERRY L. HOLDRIGHT, PLS
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE	3-15-21	BOUNDARY & TOPOGRAPHIC SURVEY	
FIELD BOOK NO.	20-19-MA	UNION STREET BUSINESS PARK, LLC	
FIELD BOOK PGS.	61-62	837 UPPER UNION STREET MAP 314, BLOCK 20, LOT 1 CITY OF FRANKLIN, NORFOLK COUNTY COMMONWEALTH OF MASSACHUSETTS	
FIELD CREW	J.S.A.	CONTROL POINT ASSOCIATES, INC.	
DRAWN	B.A.L.	ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-8800 HAUPPAUGE, NY 631-880-2845 MANHATTAN, NY 646-780-0411 SOUTH BOROUGHL, MA 01772 508.948.3000 - 508.948.3003 FAX MT LAUREL, NJ 609-857-2999 WARREN, NJ 908-668-0999	
REVIEWED	R.J.K.	APPROVED:	G.L.H.
DATE	3-23-2021	SCALE	1"=30'
FILE NO.	03-210095	DWG. NO.	1 OF 1

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Town of Franklin

355 East Central Street
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907
www.franklinma.gov

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MEMORANDUM

DATE: July 21, 2022
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 839 Upper Union Street
Site Plan - Endorsement

General:

1. The Planning Board voted to approve the Site Plan for 839 Upper Union Street on June 27, 2022.
2. The Certificate of Vote has been added to the Site Plans.

DPCD has no further comment.