

Zoning Summary

Zone: Industrial		
	Required	Proposed
Frontage:	175 ft	200.21 ft
Area:	40,000 ft ²	372,249 ft ²
Front Yard:	40 ft	80.8 ft
Side Yard:	30 ft	41.6 ft
Rear Yard:	30 ft	338.4 ft
Bldg. Coverage:	70%	28.5% of upland
Lot Coverage:	80%	57.0% of upland
Height:	3 Stories	3 Stories

Note: Portions of the locus is located within the Water Resource District.

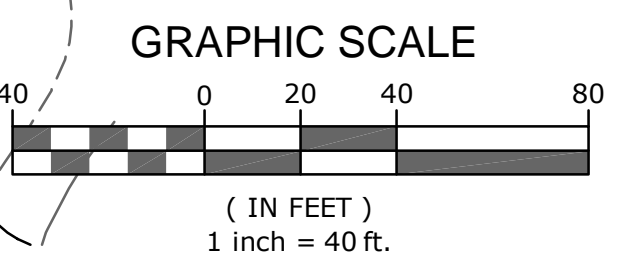
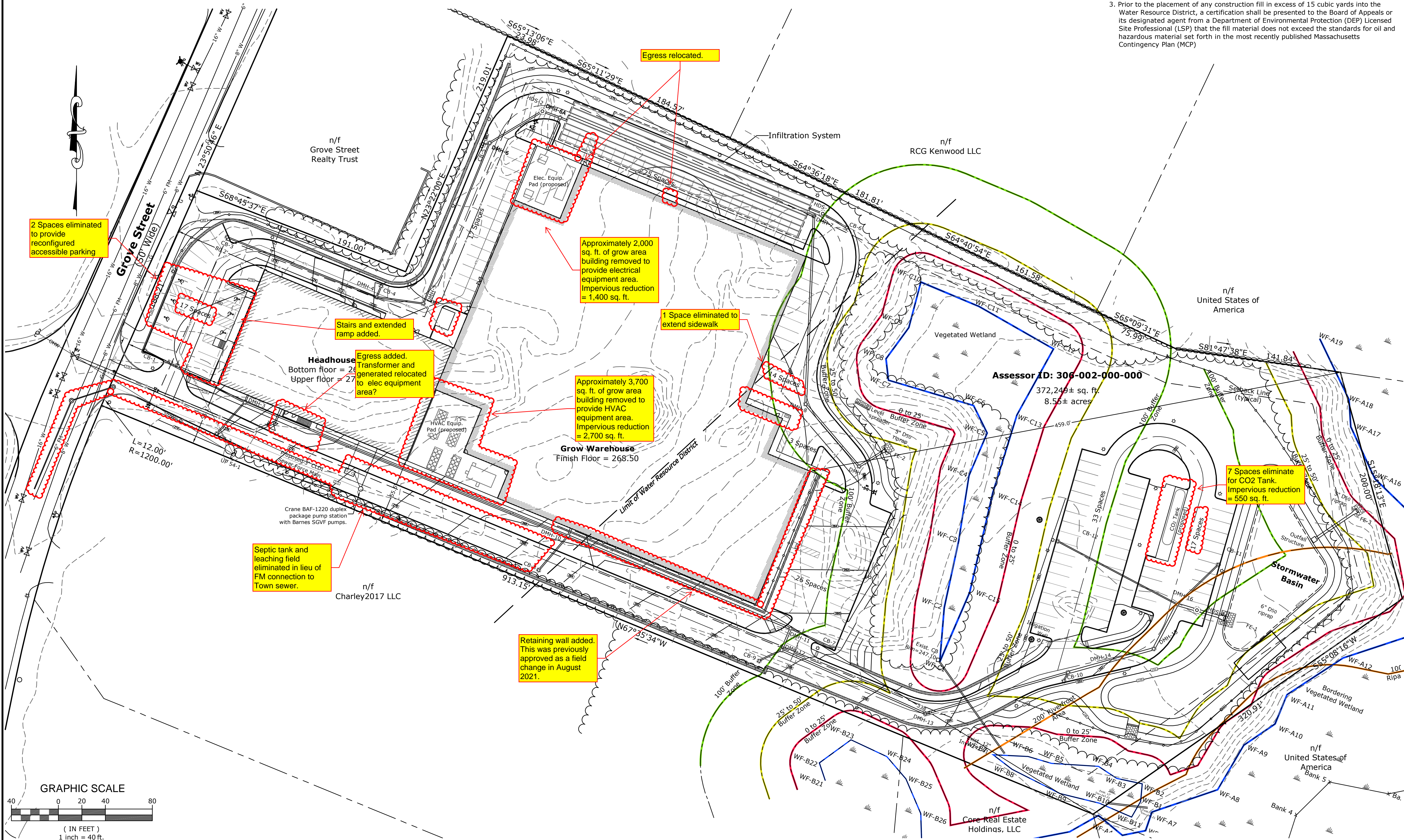
Parking Summary

Use	Regulation	Area	Required Spaces
Industrial	1 per 400 ft ²	14,581 ft ²	37 spaces
Warehouse	1 per 1000 ft ²	92,991 ft ²	93 spaces
Office	1 per 250 ft ²	4,586 ft ²	19 spaces
Total Parking Required =			149 spaces
Minimum parking per Special Permit Waiver =			138 spaces
Total parking provided =			152 spaces

Note: The proposed changes to the site development result in a 1167 ft² net reduction of impervious area in comparison to the approved plan.

- Utility Notes**
- Place 6" Loam and seed all disturbed areas of the project not otherwise improved.
 - All underground utility locations shown are based on field evidence and records provided to Land Planning, Inc.. These locations should be considered approximate. Other utilities may exist which are not evident or for which record information was not found. The contractor must contact all utility companies and "Dig Safe" before excavation begins. We assume no responsibility for damages incurred as a result of utilities omitted or inaccurately shown.
 - It is the responsibility of the contractor to review all of the drawings and specifications associated with this project work and project scope prior to the initiation of construction. Should the contractor find a conflict with the documents, relative to the specifications or applicable codes, it is the contractor's responsibility to notify the project engineer of record in writing prior to the start of construction. Failure by the contractor to notify the project engineer shall constitute acceptance of full responsibility by the contractor to complete the scope of work as defined by the drawings and in full conformance with local regulations and codes.
 - All work shall conform to Town of Franklin requirements and Massachusetts Highway Department construction standards as applicable.
 - Where any utility installation detail conflicts with the Town of Franklin Department of Public Works Standards for Sewer and Water Materials and Installation, the Town Standards shall govern.

- General Notes**
- All elevations refer to NAVD 1988 datum.
 - No portion of the site is located within the limits of the 100 yr flood zone as shown on the FIRM Map #25021C0308E dated 07/17/12
 - Prior to the placement of any construction fill in excess of 15 cubic yards into the Water Resource District, a certification shall be presented to the Board of Appeals or its designated agent from a Department of Environmental Protection (DEP) Licensed Site Professional (LSP) that the fill material does not exceed the standards for oil and hazardous material set forth in the most recently published Massachusetts Contingency Plan (MCP)



Site Index Plan

**AMENDED SITE PLAN
HENNEP CULTIVATION &
PRODUCTION FACILITY**

located at
**160 Grove Street
Franklin, MA**

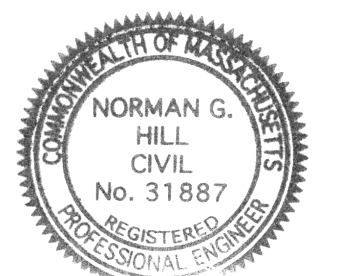
Owned By
Hennep Properties, LLC
200 Brookline Ave, #508
Boston, MA

Prepared for
HENNEP CULTIVATION LLC
1330 Boylston St Unit 202
Boston, MA 02215

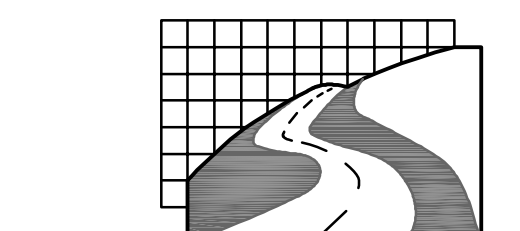
Scale: 1" = 40'
December 13, 2022

LEGEND

○	SW STONE WALL
●	IPF IRON PIN FOUND
⊙	DHF DRILL HOLE FOUND
⊖	BOUND TO BE SET
⊕	BOUND FOUND
⊗	DRAIN MANHOLE
⊘	CATCH BASIN
⊙	UTILITY POLE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT GRADE
---	LIGHT - WALL MOUNTED
---	LIGHT - POLE MOUNTED
---	SIGN
---	ELECT., TEL. & CABLE
---	WATER LINE
---	SEWER LINE
---	GAS LINE
---	OVERHEAD WIRE
---	FENCE
---	GUARD RAIL
x WF-#	WETLAND FLAG



Norman G. Hill, P.E.
Date: 12-14-2022
Norman G. Hill, PE #31887



Land Planning, Inc.
Civil Engineers • Land Surveyors
Environmental Consultants

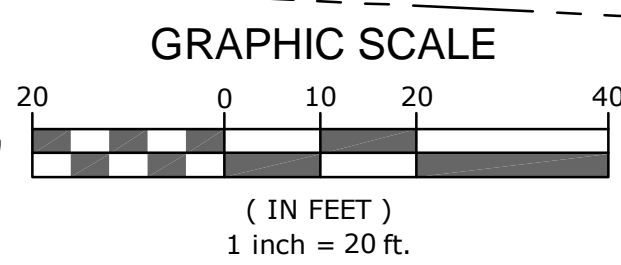
Bellingham
167 Hartord Ave.
Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144

www.landplanninginc.com

Scale	1" = 40'
Date	Dec. 13, 2022
Job No.	B2661
Sheet No.	3



Zoning Summary

Zone: Industrial		
	Required	Proposed
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Utility & Grading Plan

**AMENDED SITE PLAN
HENNEP CULTIVATION &
PRODUCTION FACILITY**

located at
**160 Grove Street
Franklin, MA**

Owned By
Hennep Properties, LLC
200 Brookline Ave, #508
Boston, MA

Prepared for
HENNEP CULTIVATION LLC
1330 Boylston St Unit 202
Boston, MA 02215

Scale: 1" = 20'
December 13, 2022

LEGEND

	SW STONE WALL
	IPF IRON PIN FOUND
	BOUND TO BE SET
	BOUND FOUND
	DRAIN MANHOLE
	CATCH BASIN
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	EXISTING CONTOUR
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Norman G. Hill, P.E.
Date: 12-14-2022
Norman G. Hill, PE #31887

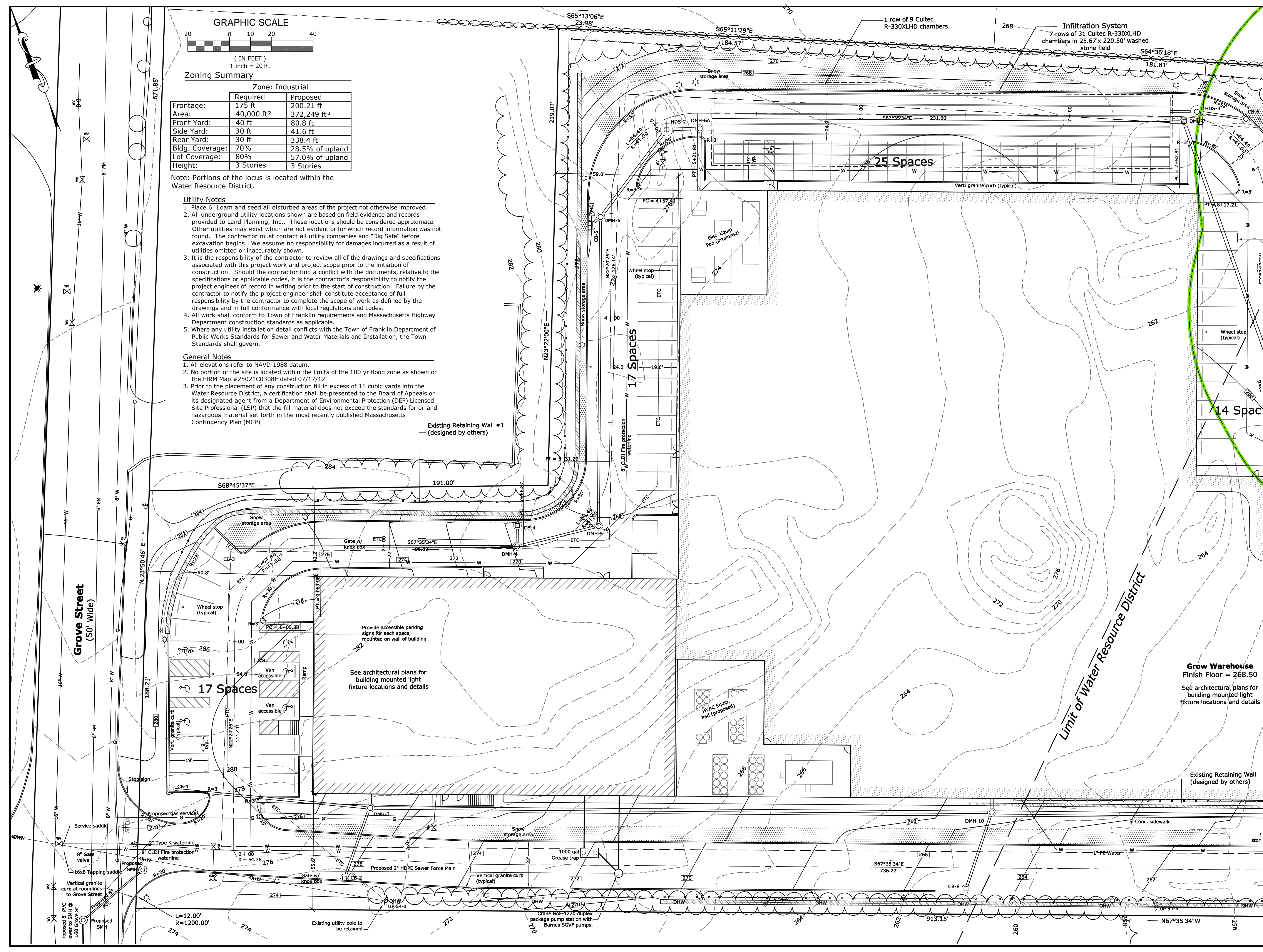
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167 Hartord Ave.
Bellingham, MA 02019
508-966-4130

North Grafton
214 Worcester St.
N. Grafton, MA 01536
508-839-9526

Hanson
1115 Main Street
Hanson, MA 02341
781-294-4144
www.landplanninginc.com

Scale	1" = 20'
Date	Dec. 13, 2022
Job No.	B2661
Sheet No.	4



Grow Warehouse
Finish Floor = 268.50
See architectural plans for building mounted light fixture locations and details

Existing Retaining Wall (designed by others)

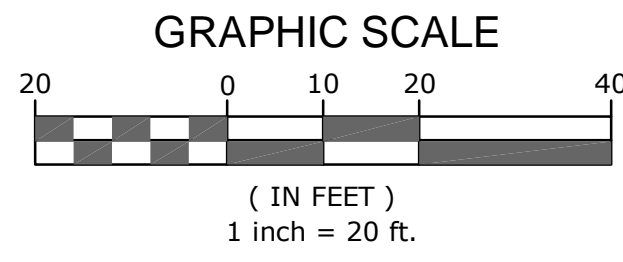
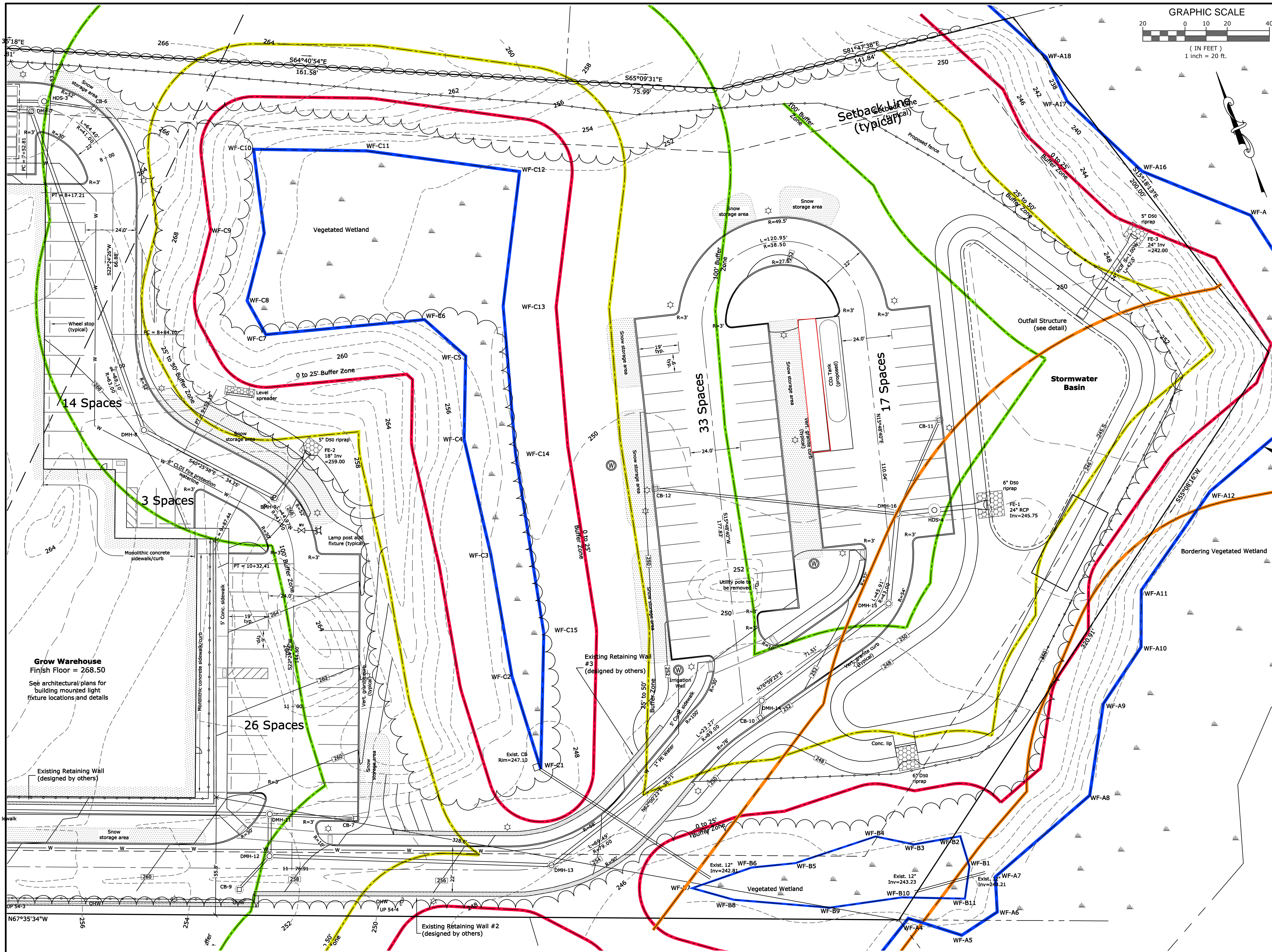
See architectural plans for building mounted light fixture locations and details

Existing Retaining Wall #1 (designed by others)

17 Spaces

25 Spaces

14 Spaces



Utility & Grading Plan

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located at
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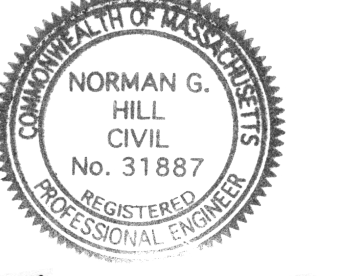
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- W WATER LINE
- S SEWER LINE
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Norman G. Hill, P.E.
Date: 12-14-2022
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Scale
1" = 20'
Date
Dec. 13, 2022
Job No.
B2661
Sheet No.
5

Grow Warehouse
Finish Floor = 268.50
See architectural plans for
building mounted light
fixture locations and details

Existing Retaining Wall
(designed by others)

Existing Retaining Wall
#3
(designed by others)

Existing Retaining Wall #2
(designed by others)

Hennep Plan Amendments, 160 Grove Street

1 message

mgates@landplanninginc.com <mgates@landplanninginc.com>

Thu, Dec 15, 2022 at 11:27 AM

To: alove@franklinma.gov

Cc: Marc Finch <mfinch@dagfacilities.com>, Dave Choplinski <djc@hudsonbuilds.com>, gbrown@franklinma.gov, Timothy Good <timothy@engelarch.com>

Amy,

The Amended Site Plan depicts the following changes to the site:

- The greenhouse footprint has been reduced (See Timothy Good's summary of architectural changes.)
- A retaining wall was added at the southeast corner of the greenhouse/inside corner of the intersection of driveways. During the approval process, it was assumed that the building foundation would serve as the retaining wall. The retaining wall allowed the site work to be completed while the building is constructed in phases.
- A stair and ramp have been added to the building's main entrance to accommodate additional height between the building's floors beyond what was assumed during the approval process. The accessible parking was reconfigured to provide the shortest distance between the parking and the ramp.
- The sidewalk has been shifted to accommodate the egress stair on the south side of the building.
- The dumpster pad was slightly shifted to the south to accommodate a door.
- The rear parking lot was reduced by 7 spaces to provide a pad for a proposed CO2 tank. The proposed tank and pad are located outside the 100-foot buffer zone.
- The sidewalk/pavement adjustments and the reduced building footprint results in a net reduction of impervious coverage of 1167 ft².
- The Parking Summary table has been revised per the current building layout. The required parking has been calculated to be 149 spaces. The minimum parking required by the Special Permit is 138 spaces. The total parking to be provided is 152 spaces, exceeding both the minimum and calculated requirements.
- The headhouse, retaining walls, and fence shown on the plan are as-built locations.
- The field change to the infiltration system layout, reviewed and approved in 2021, is also included.

Please let me know If you have any questions or require additional information.

Thank you,

Mark





Amy Love <alove@franklinma.gov>

RE: Hennep Properties, LLC Project - Frankling, MA - Updated Site Plan

1 message

Timothy Good <timothy@engelarch.com>

Thu, Dec 15, 2022 at 9:04 AM

To: Marc Finch <mfinch@dagfacilities.com>, Mark Gates <mgates@landplanninginc.com>

Cc: Justin Sloan <jsloan@dagfacilities.com>, Gus Brown <gbrown@franklinma.gov>, Mark Gemignani

<mgemignani@dagfacilities.com>, Dave Choplinski <djc@hudsonbuilds.com>, Amy Love <alove@franklinma.gov>

Hi Amy,

Below are the architectural changes to the site plan from the original approved plan (9/23/20). I defer to Mark Gates (Land Planning) to comment on civil/site changes.

Main building:

- Building height reduced to two stories (approved as three stories)
- Egress ramp added to the north side of the building
- Egress stair was added to the south side of the building
- Egress stair and ramp were added to the west side of the building

Greenhouse area:

- Original impervious footprint remained the same but greenhouse coverage reduced.
- Approximately 11,000 square feet of greenhouse coverage was reduced in leu of exterior mechanical/electrical equipment pads.

Please let me know if you have any questions.

Thank you,

Timothy Good

Engel
Architects &
Engineers, LLC

1854 Lincoln Highway East

Lancaster, PA 17602

(717) 392-8021 - phone

Date: December 19, 2022 Job No.: 4831
To: Mr. Greg Rondeau, Chairman
Cc:
From: Matt Crowley – BETA, Amy Love – Town Planner
Subject: **160 Grove Street Amended Site Plan**

Dear Mr. Rondeau:

In coordination with the Department of Planning and Community Development (DPCD), BETA has reviewed revised documents for the project located at 160 Grove Street in Franklin, MA. Proposed revisions to the Approved Plans have been documented by members of the development team via email on 12/15/22. Based upon the submission documents we offer the following comments:

BETA

1. Although the proposed revisions indicate there is a net reduction in impervious area, the Engineer of Record should confirm that there is no increase to any of the individual stormwater systems on the site.
2. Detailed grading should be provided for the proposed accessible routes (ramps) to ensure full compliance with Massachusetts Architectural Access Board Regulations. Handrails, if required, should be depicted on the plans and associated details provided.
3. Provide signage for all accessible parking spaces.
4. It is BETA's understanding the DPW will review the proposed sewer infrastructure upon receipt of a comprehensive sewer extension plan.

DPCD

5. Bollards should be provided to protect the proposed CO2 tank and equipment pads from vehicles.
6. The Zoning Summary Table should be revised to indicate that the building height is now proposed to be two stories.
7. Revised Architectural Elevations should be provided for the Board's consideration.

Town of Franklin

355 East Central Street
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907
www.franklinma.gov

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

DATE: December 29, 2022
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 160 Grove Street
Field Change

General:

1. It was brought to our attention that several changes are being proposed at 160 Grove Street.
2. Attached are the following documents for your review:
 - Revised Site Plans with detailed changes
 - Memo from Land Planning Engineering explaining the changes
 - Memo from Engel Architects and Engineers
 - Memo from BETA, along with comments from DPCD.
3. The Applicant will also be going in front of the Conservation Commission with the proposed changes.
4. Planning Board should review and determine if these changes qualify for a field change.

Town of Franklin

355 East Central Street
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907
www.franklinma.gov

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MEMORANDUM

DATE: December 29, 2022
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 175 East Central St
Special Permit & Site Plan Modification

General:

1. The Planning Board approved the Special Permit and Site Plan Modifications on October 3, 2022.
2. The Applicant has submitted final plans with the Certificate of vote on the front page.
3. DPCD recommends endorsing the Site Plans.

STANDARD CONDITIONS OF APPROVAL
175 East Central Street

1. This Special Permit shall not be construed to run with the land and shall run with the Site Plan as endorsed by the Planning Board. A new Special Permit shall be required from the Planning Board if any major change of use or major change to the site plan is proposed.
2. This Special Permit shall lapse if a substantial use or construction has not begun, except for good cause, within twenty four (24) months of approval, unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the Special Permit have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements and received approval by the Planning Board. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #4.
3. Construction or operations under this Special Permit shall conform to any subsequent amendment of the Town of Franklin Zoning Bylaw (§185) unless the use or construction is commenced within a period of six (6) months after the issuance of this Special Permit and, in cases involving construction, unless such construction is continued through to completion as continuously and expeditiously as is reasonable.
4. The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
5. Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form II). Said inspection is further outlined in condition #4.
6. No alteration of the Special Permit and the plans associated with it shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.
7. All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
8. Prior to the endorsement of the site plan, the following shall be done:
 - The owner/applicant shall make a notation on the site plan that references the Special Permit and the conditions and dates of this Certificate of Vote.
 - A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
 - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.

8

- The owner/applicant shall submit a minimum of six copies of the approved version of the plan.
9. Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.
 10. The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.
 11. Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant, and his contractor(s), the Department of Public Works and the Planning Board's Inspector.
 12. Prior to the endorsement, the Certificate of Vote and Order of Conditions shall be added to the Site Plans.

WAIVERS
SPECIAL PERMIT/SITE PLAN MODIFICATION
175 East Central Street

- To allow less than 42" of cover over the RCP drain pipe, proposed class V RCP
- To allow the use of HPDE pipe for the roof drain manifolds and pond 1.
- To allow minimal light spillage onto Chestnut Street right of way.

SPECIAL CONDITIONS OF APPROVAL
SPECIAL PERMIT/SITE PLAN MODIFICATION
175 East Central Street

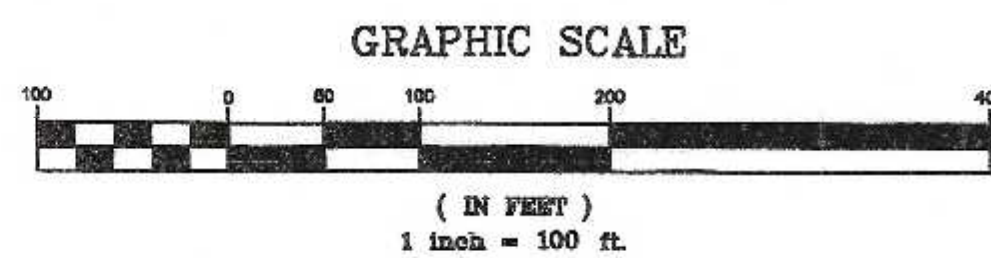
- Any lights remaining on overnight will be wall pack lights, all pole lights are to be turned off at 9:00pm.

9

SITE PLAN
CERTIFICATE OF VOTE - 2
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY
3	12/12/22	CONDITIONS OF APPROVAL	RRG
2	9/12/22	BETA REVIEW COMMENTS	RRG
1	8/4/22	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
8/21	BL	BL
BK#	FIELD BOOK	PG#
4/22	CALCS BY:	RRG
4/22	DESIGNED BY:	RRG
4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6560 FAX 508-384-6566

DATE
APRIL 14, 2022
SCALE
1" = 200'
PROJECT
UC1007
SHEET
2 of 12

SITE PLAN 175 EAST CENTRAL STREET FRANKLIN MASSACHUSETTS



LOCUS MAP
SCALE: 1" = 100'

- WAIVER REQUESTED:
1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE, PROPOSED CLASS V RCP.
 2. TO ALLOW THE USE OF HDPE PIPE FOR THE, ROOF DRAIN MANIFOLDS AND POND 1.
 3. TO ALLOW MINIMAL LIGHT SPILLAGE ONTO THE CHESTNUT STREET RIGHT OF WAY.

ZONING:

THE FRANKLIN FORD SITE IS LOCATED WITHIN A COMMERCIAL II ZONE.

	REQUIREMENTS:	EXISTING	PROPOSED
INDUSTRIAL ZONE			
AREA:	40,000 S.F.	226,697± S.F.	226,697± S.F.
FRONTAGE:	175'	243.21'	243.21'
DEPTH:	200'	759'±	759'±
HEIGHT:	3 STORIES 40'	21.1'	21.1' - 1 STORY
WIDTH:	157.5'	> 157.5'	> 157.5'
COVERAGE - STRUCTURES:	70%	12.1%	15.6%
STRUC. & PAVING:	80%	66.6%	76.3%
SETBACKS-			
FRONT:	40'	55.9'	55.9'
RIGHT SIDE:	30'	54.1'	37.2'
LEFT SIDE:	30'	20'	20'
REAR:	30'	37.8'	37.8'

LOT COVERAGE CALCULATION AREA BASED ON UPLAND AREA

THE ENTIRE PROPERTY IS LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT AND A DEP ZONE II. THE SITE AREA PROPOSED FOR DEVELOPMENT IS LOCATED IN A ZONE X BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.

AREA WITHIN THE WATER RESOURCE DISTRICT - 226,697± SQ. FT.
UPLAND AREA WITHIN THE WATER RESOURCE DISTRICT - 177,773± SQ. FT.
IMPERVIOUS AREA WITHIN THE WATER RESOURCE DISTRICT - 135,580± SQ. FT.
COVERAGE WITHIN THE WATER RESOURCE DISTRICT - = 76.3%

FRANKLIN FORD:
BUILDING USE - AUTOMOBILE DEALERSHIP.

REFERENCES:

- ASSESSORS MAP 285 PARCEL 090-000-000
- DEED BOOK 28674 PAGE 487
- ASSESSORS MAP 285 PARCEL 092-000-000
- DEED BOOK 3788 PAGE 197
- PLAN B26 OF 1987
- LIMITED SITE PLAN FRANKLIN FORD, LLC DATED SEPTEMBER 11, 2013 AND ENDORSED ON OCTOBER 21, 2013.

DRAWING INDEX:

1. CERTIFICATE OF VOTE AND DECISION - 1
 2. CERTIFICATE OF VOTE AND DECISION - 2
 3. COVER SHEET
 4. EXISTING CONDITIONS PLAN
 5. SITE LAYOUT PLAN
 6. SITE GRADING AND UTILITY PLAN
 7. SITE GRADING AND UTILITY PLAN RE-DEVELOPMENT AREA
 8. SITE PLANTING PLAN
 9. EROSION CONTROL PLAN
 10. CONSTRUCTION DETAILS - 1
 11. CONSTRUCTION DETAILS - 2
 12. CONSTRUCTION DETAILS - 3
- SITE LIGHTING-LIGHTING PLAN, PHOTOMETRICS AND SCHEDULES BY SK & ASSOCIATES

OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

- REFERENCE CERTIFICATE OF VOTE - SPECIAL PERMIT / SITE PLAN MODIFICATION 175 EAST CENTRAL STREET AS WELL AS THE STANDARD AND SPECIAL CONDITIONS OF APPROVAL. DATED OCTOBER 4, 2022 RECORDED WITH THE TOWN CLERK ON OCTOBER 6, 2022.

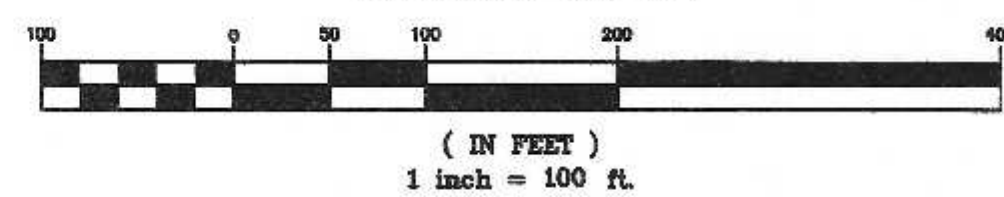
- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.

SITE PLAN
COVER SHEET
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY
3	12/12/22	CONDITIONS OF APPROVAL	RRG
2	9/12/22	BETA REVIEW COMMENTS	RRG
1	8/4/22	REVIEW COMMENTS	RRG



DATE	FIELD BY:	INT.
8/21	BL	BL
4/22	FIELD BOOK	PG#
4/22	CALCS BY:	RRG
4/22	DESIGNED BY:	RRG
4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8580 FAX 508-384-8586

DATE
APRIL 14, 2022

SCALE
1" = 200'

PROJECT
UC1007

SHEET
3 of 12

MARCH 25, 2022
 PERFORMED BY:
 CARLOS A. QUINTAL, P.E., SOIL EVALUATOR
 RICHARD GOODREAU

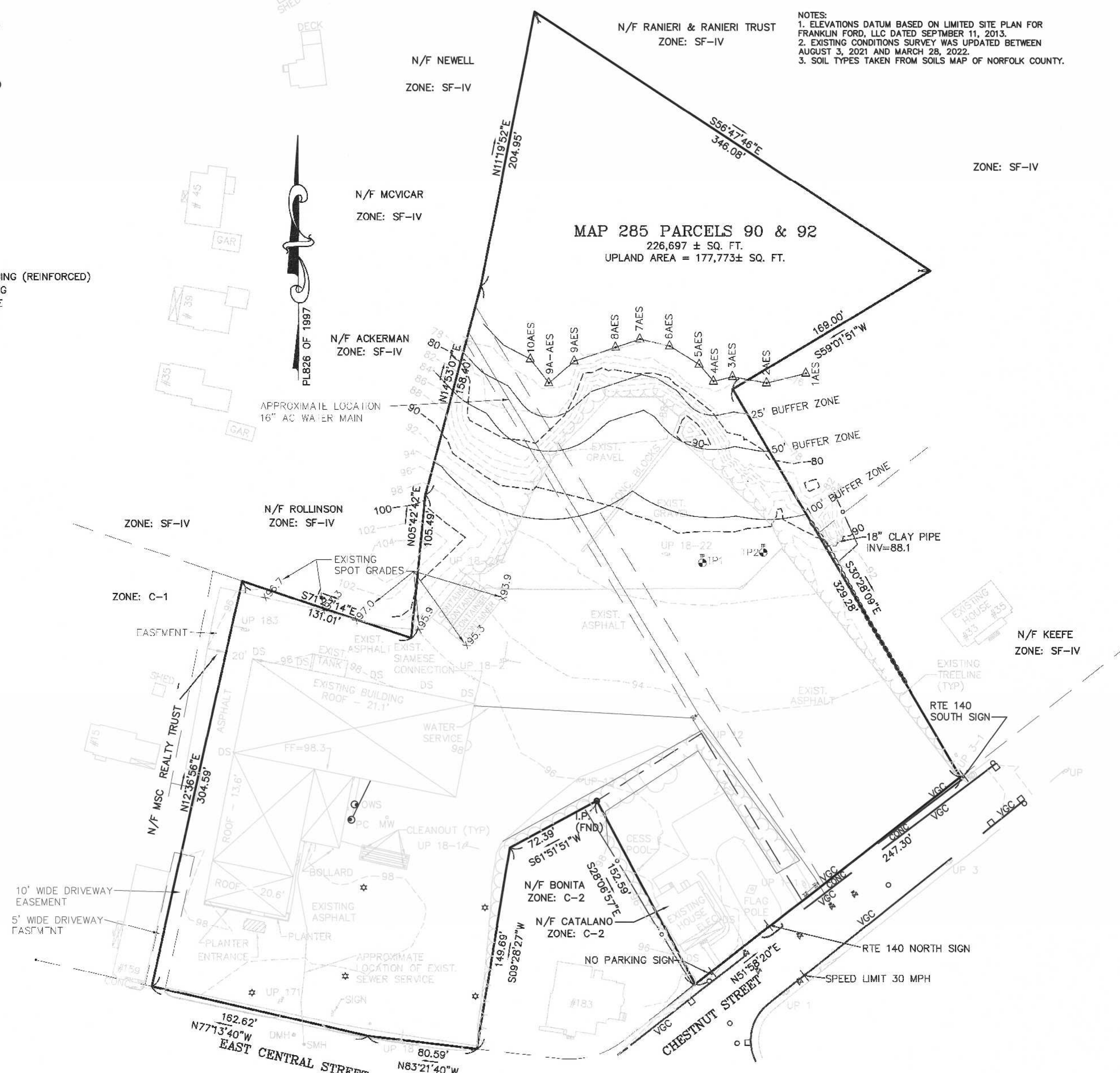
TP #1 ELEV. = 90.35
 0 - 76" MISCELLANEOUS FILL
 76" - 140" C - 2.5 YR 4/4 STRATIFIED
 SAND & GRAVEL
 ELEV = 78.68
 NO GROUNDWATER OR MOTTLING OBSERVED
 PT 1 ELEV. = 83.85
 PERMEABILITY RATE = 28.88 IN/HR

TP #2 ELEV. = 90.6
 0 - 36" MISCELLANEOUS FILL
 36" - 120" C - 2.5Y 6/4 MEDIUM SAND
 ELEV = 80.6
 NO GROUNDWATER OR MOTTLING OBSERVED
 PT 2 ELEV. = 90.43
 PERMEABILITY RATE = 11.16 IN/HR

LEGEND:

- SBDH DRILL HOLE STONE BOUND
- SSM STEEL SURVEY MARKER
- 297- EXISTING COUNTOUR
- 297- PROPOSED COUNTOUR
- x274.3 SPOT GRADE - PROPOSED
- EXIST. TREE LINE
- U-P-262 UTILITY POLE
- OHW- OVERHEAD WIRES
- ⊗ GAS GATE
- ⊗ WATER CURB STOP
- ⊗ WATER GATE
- ⊗ FIRE HYDRANT
- ⊗ DRAIN MANHOLE
- ⊗ CATCH BASIN
- ⊗ SEWER MANHOLE
- CO CLEANOUT
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING (REINFORCED)
- VGC VERTICAL GRANITE CURBING
- ⊗ HANDICAP PARKING SPACE
- ⊗ BUILDING MOUNTED LIGHT
- ⊗ POLE MOUNTED LIGHT
- R=5' CURB RADIUS
- ⊗ PARKING SPACE COUNT
- ⊗ SIGN
- ⊗ BOLLARD

NOTES:
 1. ELEVATIONS DATUM BASED ON LIMITED SITE PLAN FOR FRANKLIN FORD, LLC DATED SEPTEMBER 11, 2013.
 2. EXISTING CONDITIONS SURVEY WAS UPDATED BETWEEN AUGUST 3, 2021 AND MARCH 28, 2022.
 3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.



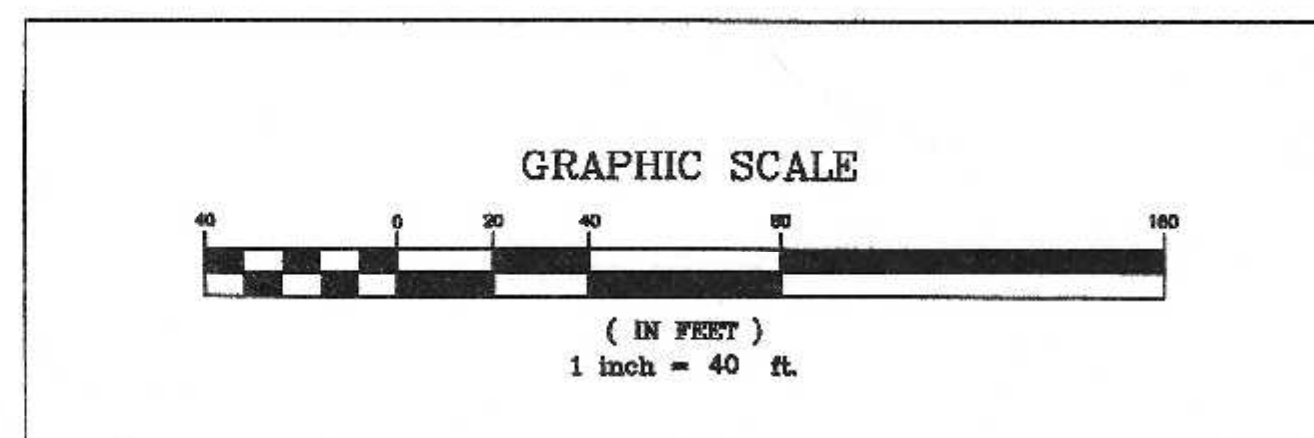
OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS

APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
 EXISTING CONDITIONS PLAN
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'

SITE PLAN APPROVAL REQUIRED	
FRANKLIN PLANNING BOARD	
DATE	_____
_____	_____
_____	_____



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1	8/4/2022	REVIEW COMMENTS	RRG
NO.	DATE	DESCRIPTION	BY

ANDREW C. MURPHY
 P.L.S. #35042
 12/14/22

DATE	FIELD BY:	INT.
8/21	BL	BL
BK#	FIELD BOOK	PG#
4/22	RRG	RRG
4/22	RRG	RRG
4/22	COMP	COMP
4/22	CAQ	CAQ

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6566

DATE	APRIL 14, 2022
SCALE	1" = 40'
PROJECT	UC1007
SHEET	4 of 12

PARKING CALCULATIONS:

ZONING BYLAW SECTION 185-21B.(3)(b)ii - RETAILING - 1 SPACE PER 200 SQUARE FEET OF GROSS FLOOR AREA.
 3,81 SQ. FT. / 200 = 16 SPACES

ZONING BYLAW SECTION 185-21B.(3)(b)iii - OTHER OFFICES AND BANKS - 1 SPACE PER 250 SQUARE FEET OF GROSS FLOOR AREA.
 2,548 SQ. FT. / 250 = 11 SPACES

ZONING BYLAW SECTION 185-21B.(3)(b)vi - WAREHOUSE - 1 SPACE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA.
 23,702 SQ. FT. / 1,000 = 24 SPACES

51 SPACES REQUIRED

192 SPACES PROPOSED INCLUDING 6 HANDICAP SPACES.

SPACES 9 THROUGH 20 ARE PROPOSED TO BE UTILIZED FOR VEHICLE DISPLAY AND DO NOT HAVE DIRECT ACCESS

180 SPACES ARE PROVIDED WITH DIRECT ACCESS.

DIMENSION NOTES:

1. ALL PARKING SPACES ARE TO BE 9' x 19'
2. ALL ACCESS AISLES ARE TO BE A MINIMUM OF 24' WIDE.

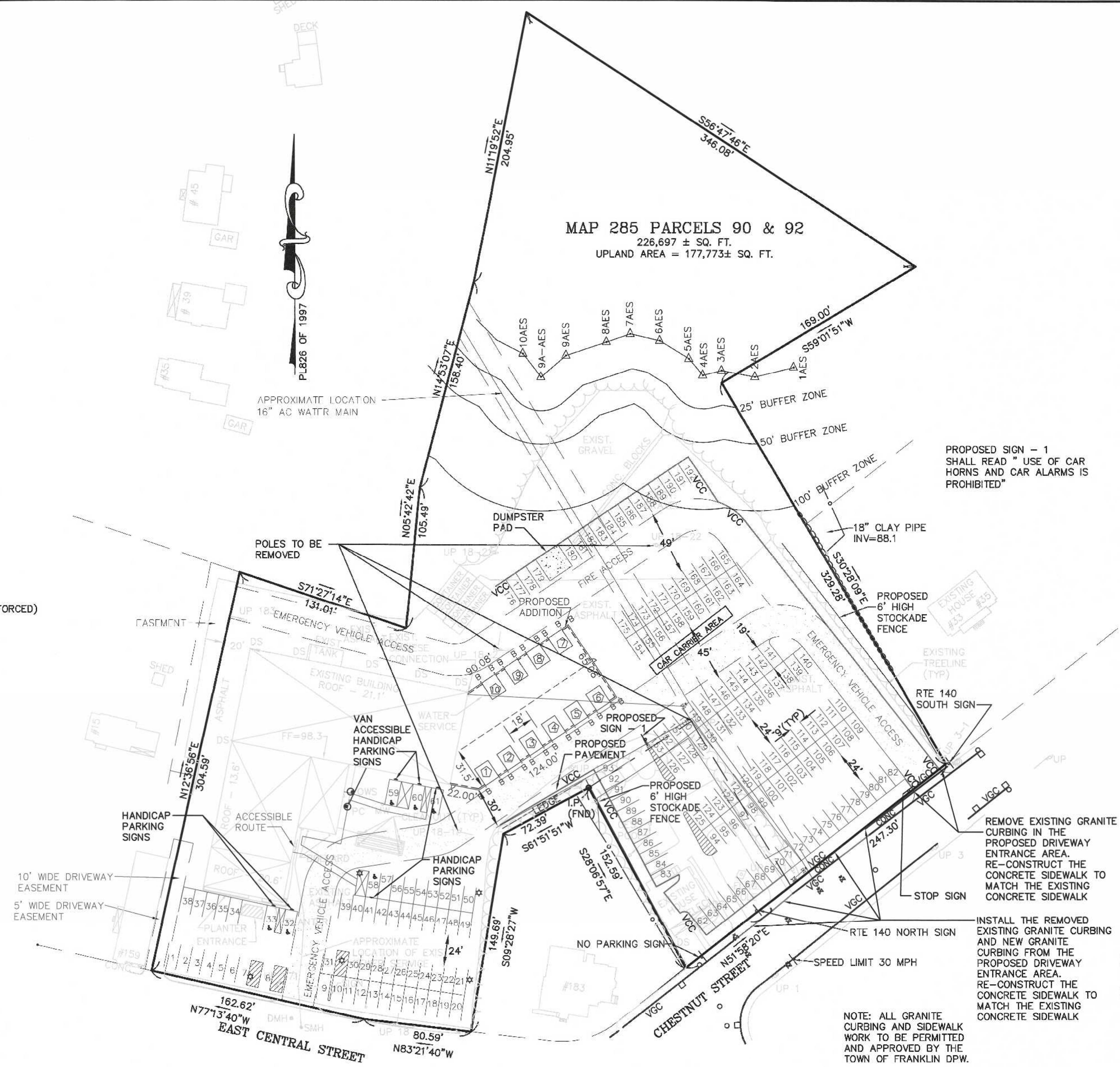
SPACES 1 - 31 AND 62 - 82 52 TOTAL SPACES ARE FOR VEHICLE DISPLAY.
 REMAINING SPACES ARE TO BE USED FOR EMPLOYEES AND VISITORS.

SNOW STORAGE TO BE ON PARKING SPACES 164 - 192.

TOTAL SPACES WITH DIRECT ACCESS, AND NOT USED FOR VEHICLE STORAGE WHEN SNOW STORAGE IS PROVIDED - 100 SPACES

LEGEND:

- | | | | |
|---------|------------------------|------|--|
| SBDH | DRILL HOLE STONE BOUND | □ | CATCH BASIN |
| SSM | STEEL SURVEY MARKER | ⊙ | SEWER MANHOLE |
| -297- | EXISTING COUNTOUR | CO | CLEANOUT |
| -297- | PROPOSED COUNTOUR | D | DUMPSTER |
| x274.3 | SPOT GRADE - PROPOSED | VCC | VERTICAL CONCRETE CURBING (REINFORCED) |
| --- | EXIST. TREE LINE | VGC | VERTICAL GRANITE CURBING |
| U-P-262 | UTILITY POLE | ⊕ | HANDICAP PARKING SPACE |
| OHW | OVERHEAD WIRES | ⊕ | BUILDING MOUNTED LIGHT |
| Xg | GAS GATE | ⊕ | POLE MOUNTED LIGHT |
| WCS | WATER CURB STOP | R=5' | CURB RADIUS |
| WGW | WATER GATE | ⊙ | PARKING SPACE COUNT |
| FH | FIRE HYDRANT | + | SIGN |
| ⊙ | DRAIN MANHOLE | OB | BOLLARD |



PROPOSED SIGN - 1 SHALL READ "USE OF CAR HORNS AND CAR ALARMS IS PROHIBITED"

OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

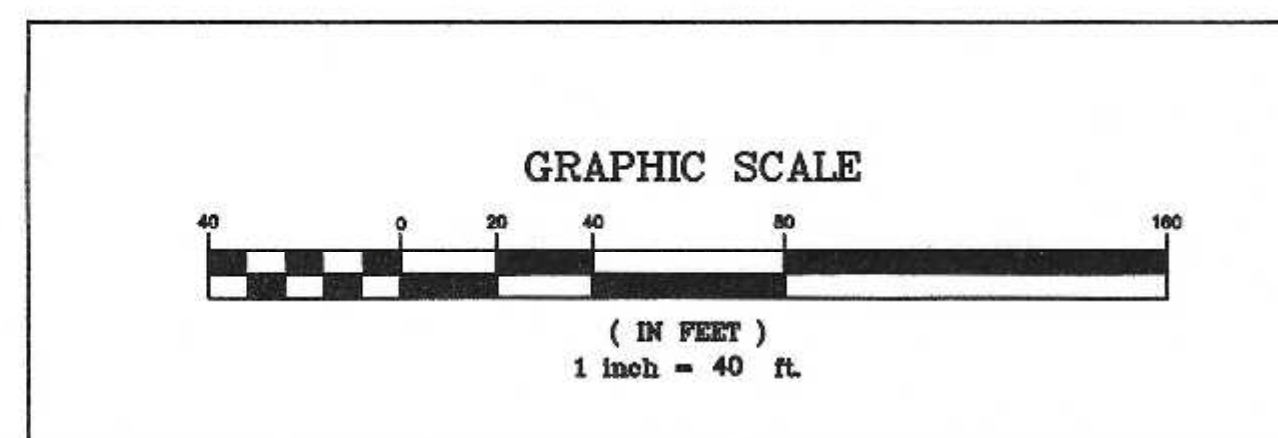
MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS

APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN LAYOUT & MATERIALS PLAN
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'

NOTE: ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.

SITE PLAN APPROVAL REQUIRED FRANKLIN PLANNING BOARD	
DATE	_____
_____	_____
_____	_____



NO.	DATE	DESCRIPTION	BY
3	12/12/22	CONDITIONS OF APPROVAL	RRG
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CARLOS A. QUINTAL P.E. #30812

DATE	FIELD BY:	INT.
8/21	BL	
4/22	FIELD BOOK	PG#
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4/22	DESIGNED BY:	RRG
4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-8580 FAX 508-384-8586

DATE: APRIL 14, 2022
 SCALE: 1" = 40'
 PROJECT: UC1007
 SHEET: 5 of 12

SECTION 185-40 WATER RESOURCE DISTRICT:
 1. THE APPLICANT WILL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATION WITH RESPECT TO STORAGE OR DISPOSAL OF TOXIC OR HAZARDOUS MATERIALS, INCLUDING STORAGE WITHIN THE INDUSTRIAL WASTE WATER HOLDING TANK.
 2. CONSTRUCTION FILL IN EXCESS OF 15 CUBIC YARDS MUST COMPLY WITH SECTION 185-40.E.(5).

NOTES:
 1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
 3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.

SNOW AND ICE NOTES:
 1. PARKING SPACES ABOVE THE REQUIRED NUMBER OF SPACES TO BE USED FOR ADDITIONAL SNOW STORAGE.
 2. NO DISPOSAL AND OR STOCKPILING OF SNOW AND ICE THAT CONTAINS DEICING CHEMICALS SHALL BE BROUGHT TO THE SITE FORM OUTSIDE THE DISTRICT. SEE ZONING BYLAW SECTION 185-40.D.(1)(f)

WETLAND BUFFER ZONE DISTURBANCES:
 0 - 25' BUFFER ZONE = 0 SQ. FT.
 25' - 50' BUFFER ZONE = 1,896 SQ. FT.
 50' - 100' BUFFER ZONE = 8,231 SQ. FT.
 IMPERVIOUS SURFACE WITHIN THE 50' - 100' BUFFER ZONE - 10%

THERE ARE NOT ANY VERNAL POOLS WITHIN 100 FEET OF ANY PROPOSED WORK.

UTILITY NOTES:
 1. DOMESTIC WATER SUPPLY SHOWN FOR LOCATION ONLY.
 2. ELECTRIC, TELEPHONE AND CABLE TV LOCATIONS TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES.
 3. THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE STORMWATER INFILTRATION POND PRIOR TO ANY FILL OR STONE BEING PLACED.

DRAINAGE PIPING NOTES:
 1. ALL RCP PIPE TO BE CLASS V.
 2. HDPE PIPE TO BE ADS OR APPROVED EQUAL.
 3. 8" ROOF DRAIN TO BE SCH 40 PVC
 4. WHERE HDPE PIPE CONNECTS TO RCP PIPE INSTALL A FERNCO LDC 10 37.00 X 32.00 COUPLING. (OR APPROVED EQUAL)

PROPOSED DRAINAGE STRUCTURE SCHEDULE:

CB 1 RIM = 94.55 INV OUT = 90.55 12" RCP	DMH 1 RIM = 91.7 INV IN = 87.57 12" RCP INV OUT = 87.47 12" RCP
CB 2 RIM = 92.5 INV OUT = 88.47 12" RCP	DMH 2 RIM = 92.5 INV IN = 86.55 12" RCP INV OUT = 86.05 18" RCP
CB 3 RIM = 89.90 INV OUT = 86.58 12" RCP	DMH 3 RIM = 89.3 INV IN = 86.17 12" RCP INV IN = 85.67 18" RCP INV OUT = 85.57 18" RCP
CB 4 RIM = 89.2 INV OUT = 86.19 12" RCP	WQU 4 RIM = 89.5 INV IN = 85.55 18" RCP INV OUT = 85.55 18" HDPE
CB 5 RIM = 89.7 INV OUT = 86.65 12" RCP	DMH 5 RIM = 94.4 INV IN = 90.35 12" RCP INV OUT = 90.25 12" RCP
	HW 1 INV = 82.96

WATER AND ELECTRIC SERVICES - TO BE VERIFIED IN THE FIELD AND REDIRECTED AS NECESSARY. FLOOR DRAINS TO DISCHARGE TO EXISTING FLOOR DRAIN INSIDE BUILDING. ROOF DRAINS TO BE COLLECTED AND DISCHARGED, AS SHOWN ON PLAN.

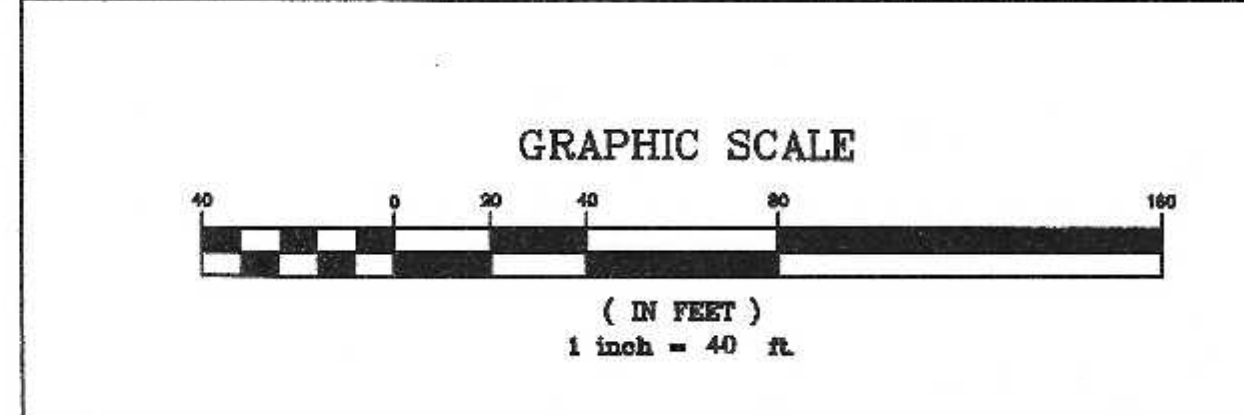
LEGEND:

SBDH	DRILL HOLE STONE BOUND	□	CATCH BASIN
SSM	STEEL SURVEY MARKER	⊙	SEWER MANHOLE
-297	EXISTING CONTOUR	CO	CLEANOUT
-297	PROPOSED CONTOUR	D	DUMPSTER
x274.3	SPOT GRADE - PROPOSED	VCC	VERTICAL CONCRETE CURBING (REINFORCED)
EXIST. TREE LINE		VGC	VERTICAL GRANITE CURBING
P-262	UTILITY POLE	▲	HANDICAP PARKING SPACE
OHW	OVERHEAD WIRES	★	BUILDING MOUNTED LIGHT
⊗	GAS GATE	☆	POLE MOUNTED LIGHT
⊗	WATER CURB STOP	R=5'	CURB RADIUS
⊗	WATER GATE	⊕	PARKING SPACE COUNT
⊗	FIRE HYDRANT	+	SIGN
⊗	DRAIN MANHOLE	⊙	BOLLARD

NOTE:
 ALL VERTICAL CONCRETE CURBING TO BE REINFORCED.

SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD

DATE _____

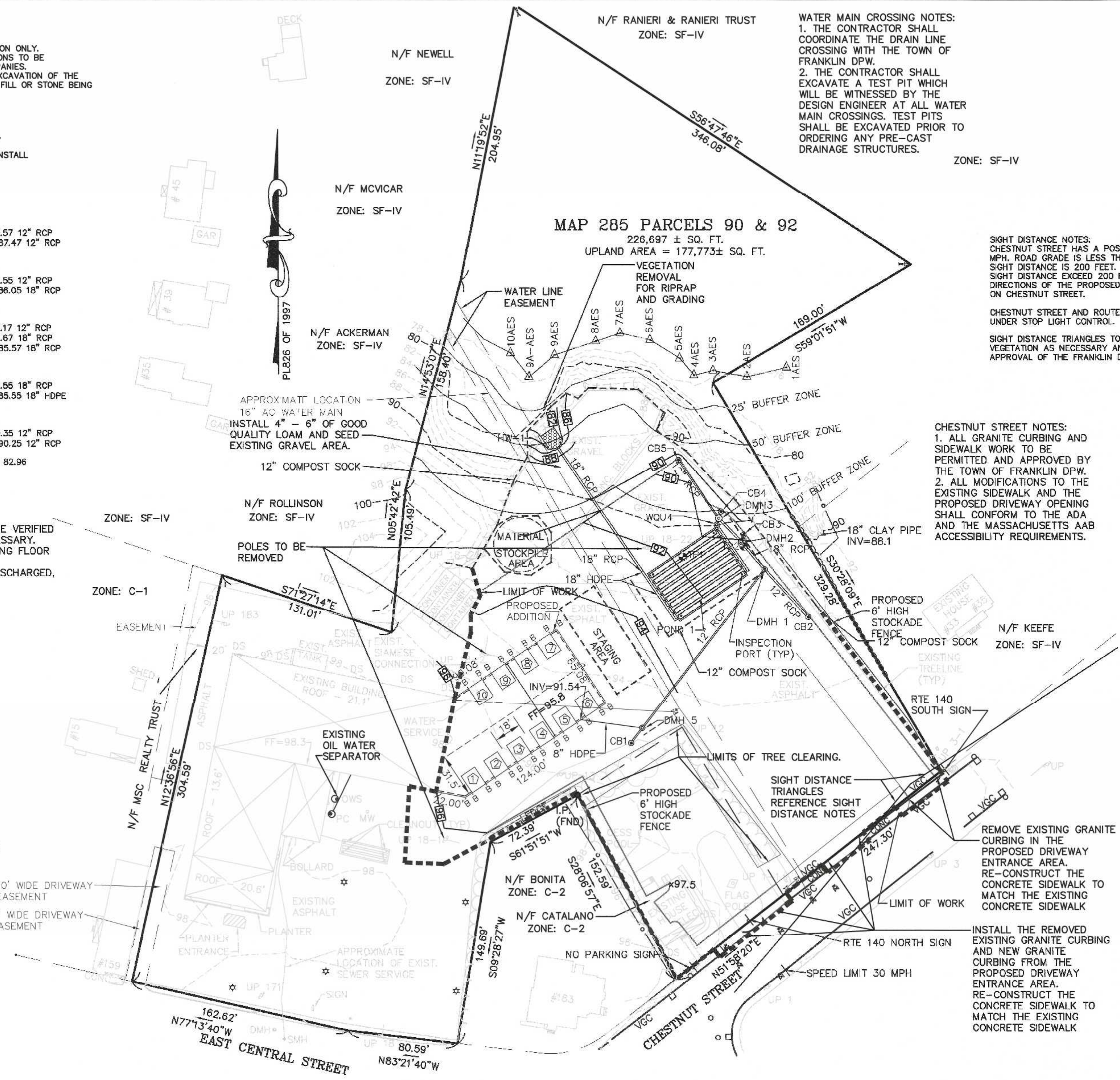


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UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6566

DATE	APRIL 14, 2022
SCALE	1" = 40'
PROJECT	UC1007
SHEET	6 of 12



WATER MAIN CROSSING NOTES:
 1. THE CONTRACTOR SHALL COORDINATE THE DRAIN LINE CROSSING WITH THE TOWN OF FRANKLIN DPW.
 2. THE CONTRACTOR SHALL EXCAVATE A TEST PIT WHICH WILL BE WITNESSED BY THE DESIGN ENGINEER AT ALL WATER MAIN CROSSINGS. TEST PITS SHALL BE EXCAVATED PRIOR TO ORDERING ANY PRE-CAST DRAINAGE STRUCTURES.

SIGHT DISTANCE NOTES:
 CHESTNUT STREET HAS A POSTED SPEED OF 30 MPH. ROAD GRADE IS LESS THAN 3% - STOPPING SIGHT DISTANCE IS 200 FEET. SIGHT DISTANCE EXCEED 200 FEET IN BOTH DIRECTIONS OF THE PROPOSED DRIVEWAY LOCATED ON CHESTNUT STREET.
 CHESTNUT STREET AND ROUTE 140 INTERSECTION UNDER STOP LIGHT CONTROL.
 SIGHT DISTANCE TRIANGLES TO BE CLEARED OF VEGETATION AS NECESSARY AND WITH THE APPROVAL OF THE FRANKLIN DPW.

CHESTNUT STREET NOTES:
 1. ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.
 2. ALL MODIFICATIONS TO THE EXISTING SIDEWALK AND THE PROPOSED DRIVEWAY OPENING SHALL CONFORM TO THE ADA AND THE MASSACHUSETTS AAB ACCESSIBILITY REQUIREMENTS.

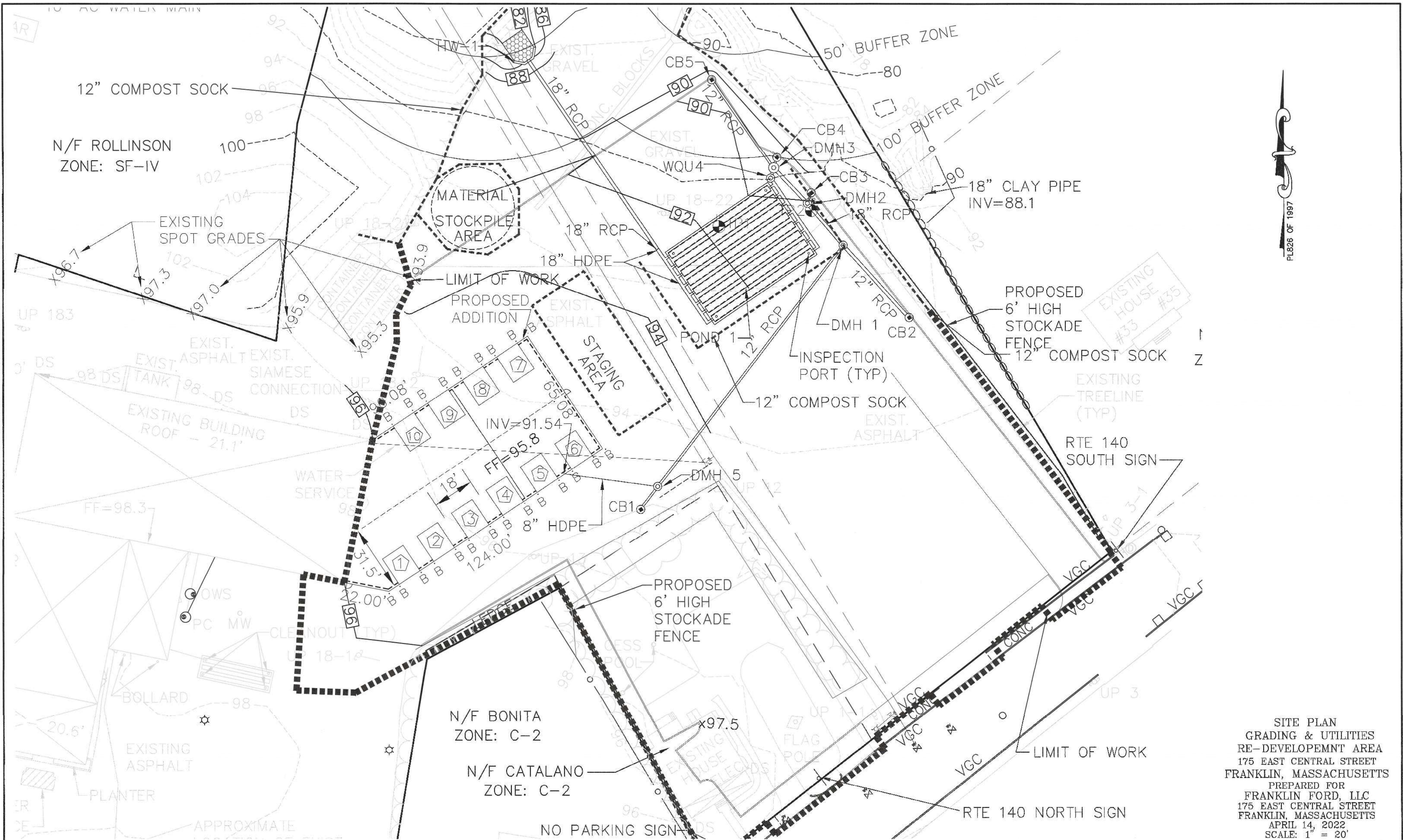
9 CHESTNUT STREET PROPERTY UTILITY ABANDONMENT:
 1. THE EXISTING ELECTRIC TELEPHONE AND CABLE TV SERVICES SHALL BE REMOVED AND REMOVAL SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
 2. THE EXISTING CESSPOOL SHALL BE PUMPED, CRUSHED AND FILLED WITH CLEAN SAND.
 3. THE EXILING WATER SERVICE SHALL BE REMOVED AND CUT AND CAPPED AS REQUIRED BY THE FRANKLIN DPW WATER DEPARTMENT.

OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS
 APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
 GRADING & UTILITIES
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'



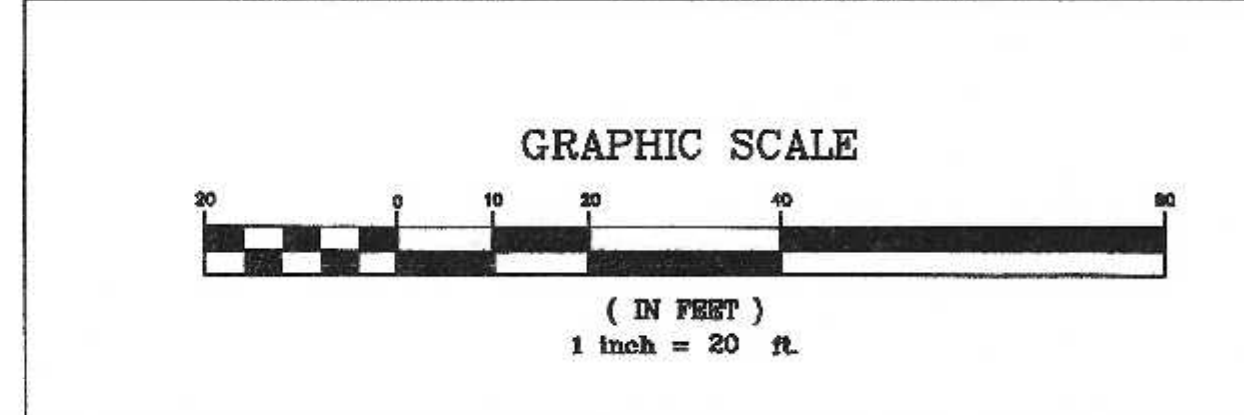
CARLOS A. QUINTAL P.E. #30812



PL826 OF 1997

SITE PLAN
 GRADING & UTILITIES
 RE-DEVELOPEMNT AREA
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 20'

SITE PLAN APPROVAL REQUIRED FRANKLIN PLANNING BOARD	
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CARLOS A. QUINTAL
 P.E. #30812
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF MASSACHUSETTS

DATE	FIELD BY:	INT.
8/21	BL	BL
4/22	RRG	RRG
4/22	RRG	RRG
4/22	COMP	COMP
4/22	CAQ	CAQ

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6566

DATE	APRIL 14, 2022
SCALE	1" = 20'
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SHEET	7 of 12

PLANTING SCHEDULE

NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
7	AMERICAN ELM - AE	ULMUS AMERICANA	3"	B&B
7	RED MAPLE - RM	ACER RUBRUM	3"	B&B
6	WHITE BIRCH - WB	BETULA PAPYRIFERA	4 - 6 FEET	B&B
8	INKBERRY - I	ILEX GLABRA	18" - 24"	#3 POT
10	CREeping JUNIPER - CJ	JUNIPERUS HORIZONTALIS		#3 POT
6	RUSSIAN SAGE - RS	PEROVSKIA ATRIPLICIFOLIA		#3 POT
5	SEDUM - S	HYLOTELEPHIUM TELEPHIODES		#1 POT

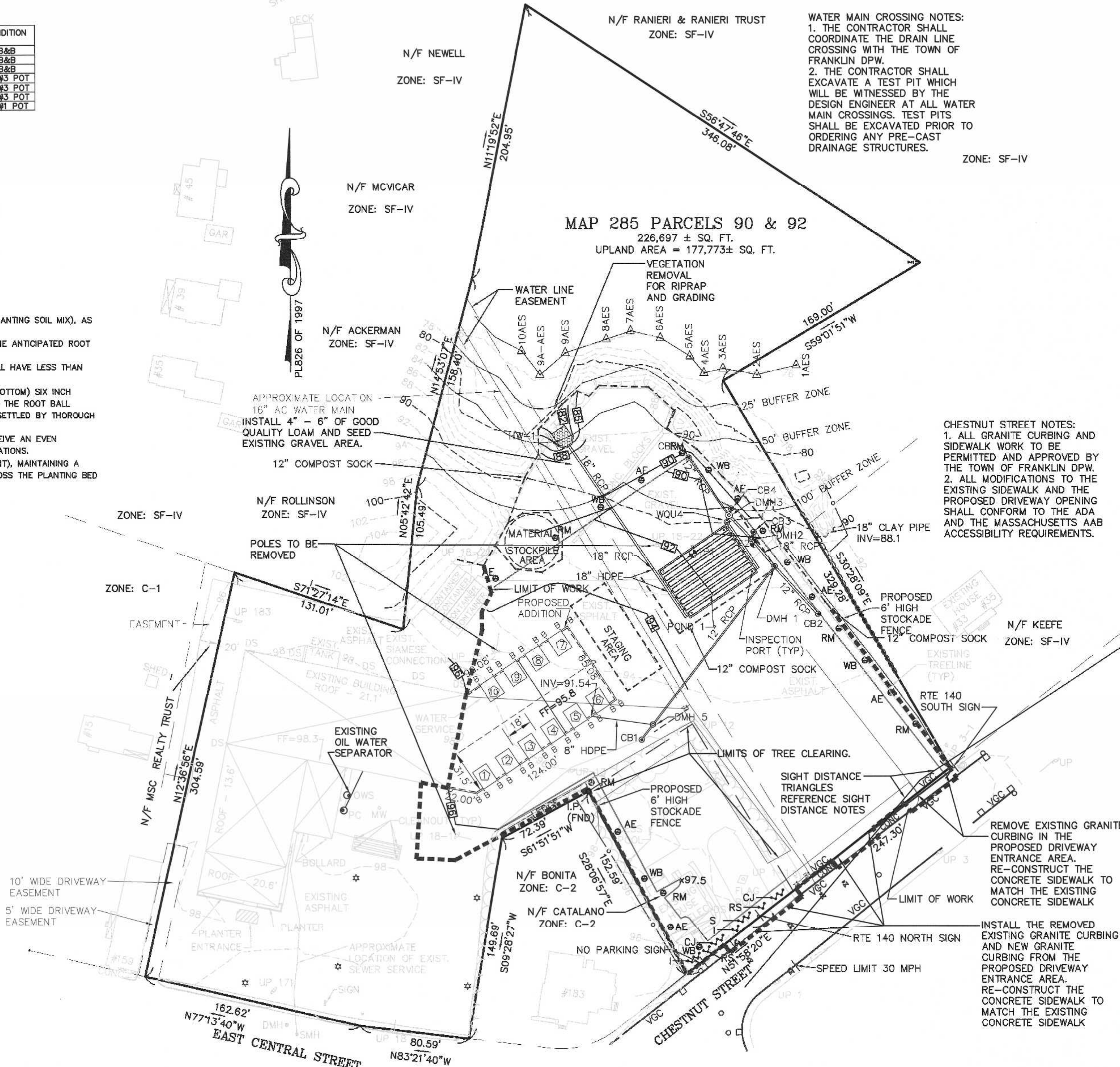
- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES.
 192 TOTAL PARKING SPACES / 10 = 20 TREES
 - 20 TREES PROVIDED.
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.

GENERAL SITE PLANTING NOTE:
 ALL DISTURBED AREAS NOT COVERED WITH BUILDING, ASPHALT PAVEMENT, CURBING, STONE, RIPRAP OR GEOWEB SHALL HAVE 4" TO 6" OF GOOD QUALITY LOAM COVERING THE AREAS AND SHALL BE HYDROSEEDDED.

GENERAL NOTES

1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURERS RECOMMENDATIONS.
7. COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)

WATER MAIN CROSSING NOTES:
 1. THE CONTRACTOR SHALL COORDINATE THE DRAIN LINE CROSSING WITH THE TOWN OF FRANKLIN DPW.
 2. THE CONTRACTOR SHALL EXCAVATE A TEST PIT WHICH WILL BE WITNESSED BY THE DESIGN ENGINEER AT ALL WATER MAIN CROSSINGS. TEST PITS SHALL BE EXCAVATED PRIOR TO ORDERING ANY PRE-CAST DRAINAGE STRUCTURES.



CHESTNUT STREET NOTES:
 1. ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.
 2. ALL MODIFICATIONS TO THE EXISTING SIDEWALK AND THE PROPOSED DRIVEWAY OPENING SHALL CONFORM TO THE ADA AND THE MASSACHUSETTS AAB ACCESSIBILITY REQUIREMENTS.

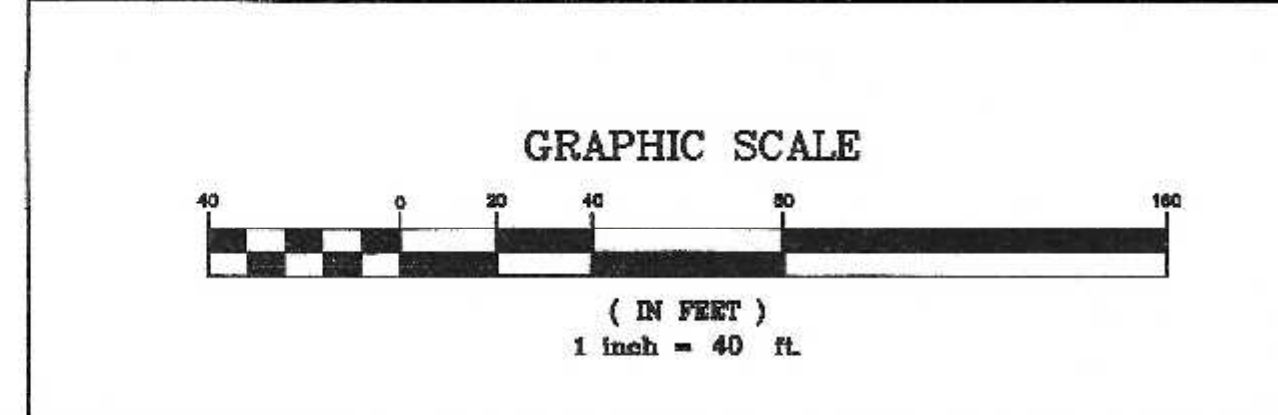
OWNERS:
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 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

 MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS

 APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
 PLANTING PLAN
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
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2	9/12/22	BETA REVIEW COMMENTS	RRG
1	8/4/22	REVIEW COMMENTS	RRG
			BY CARLOS A. QUINTAL P.E. #30812

DATE	FIELD BY:	INT.
8/21	BL	BL
4/22	FIELD BOOK PG#	
4/22	CALCS BY:	RRG
4/22	DESIGNED BY:	RRG
4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-8580 FAX 508-384-8588

DATE	SCALE	PROJECT	SHEET
APRIL 14, 2022	1" = 40'	UC1007	8 of 12

OPERATION AND MAINTENANCE PLAN

CONSTRUCTION PHASE

1. THE OWNERS REPRESENTATIVE, NAME AND PHONE NUMBER TO BE PROVIDED, SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS EXISTING AND PROPOSED AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.
9. THE CDS UNIT SHALL BE CLEANED WITH A VACUUM TRUCK.

INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENTS ARE TO BE REMOVED.
3. INSPECTIONS OF THE WATER QUALITY UNIT TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF THE PROPOSED CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
5. INSPECTION OF POND 1 TO DETERMINE IF CLEANING IS NECESSARY.

OPERATION AND MAINTENANCE SCHEDULE

CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. THE EXISTING PAVED PARKING AREAS AS WELL THE PROPOSED PARKING AREA ONCE PAVED WILL REQUIRE DAILY INSPECTIONS TO BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS. SILT SAKS, ONCE INSTALLED SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
4. THE WATER QUALITY UNIT SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"
5. THE POND SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.
6. IMMEDIATELY UPON COMPLETION OF SITE GRADING ACTIVITIES OF PROPOSED LANDSCAPED AREA, THE AREAS SHALL HAVE LOAM APPLIED AND SHALL BE SEEDDED.
7. ALL MATERIAL STOCKPILES THAT ARE NOT BEING ACTIVELY USED FOR A PERIOD OF 2 WEEKS SHALL BE COVERED WITH A TARP(S) OR VEGETATED.

ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.

LONG TERM:

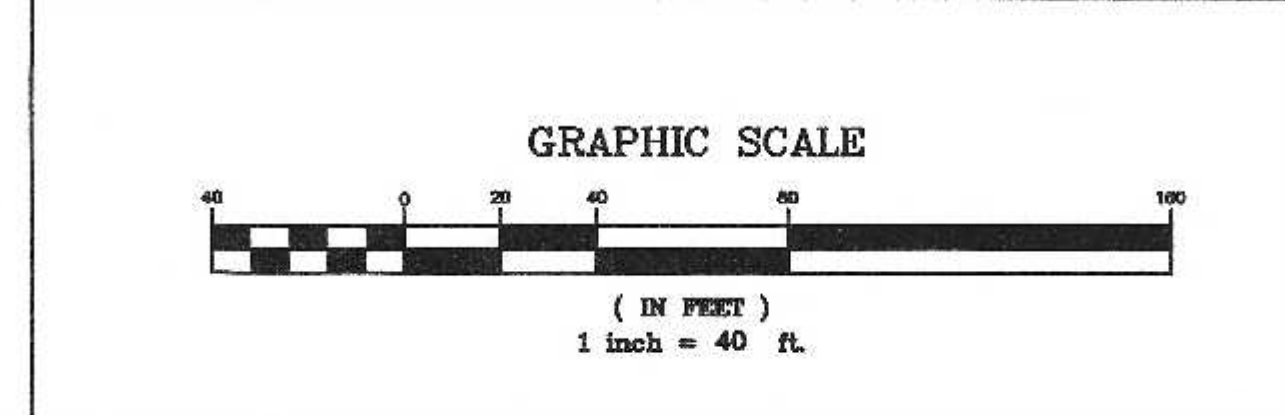
1. THE PARKING LOT SHALL BE SWEEPED FOUR TIMES PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
2. THE WATER QUALITY UNITS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 8 INCHES.
3. THE PONDS SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

EROSION CONTROL NOTES:

1. COMPOST SOCK SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. COMPOST SOCK TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
3. REFER TO CONSTRUCTION SEQUENCE FOR SLOPE GREATER THAN 3' HORIZONTAL TO 1' VERTICAL.
4. WATER QUALITY UNITS, CATCH BASINS, UNDERGROUND POND AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
5. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
7. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
9. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.

SITE PLAN APPROVAL REQUIRED
FRANKLIN PLANNING BOARD

DATE _____



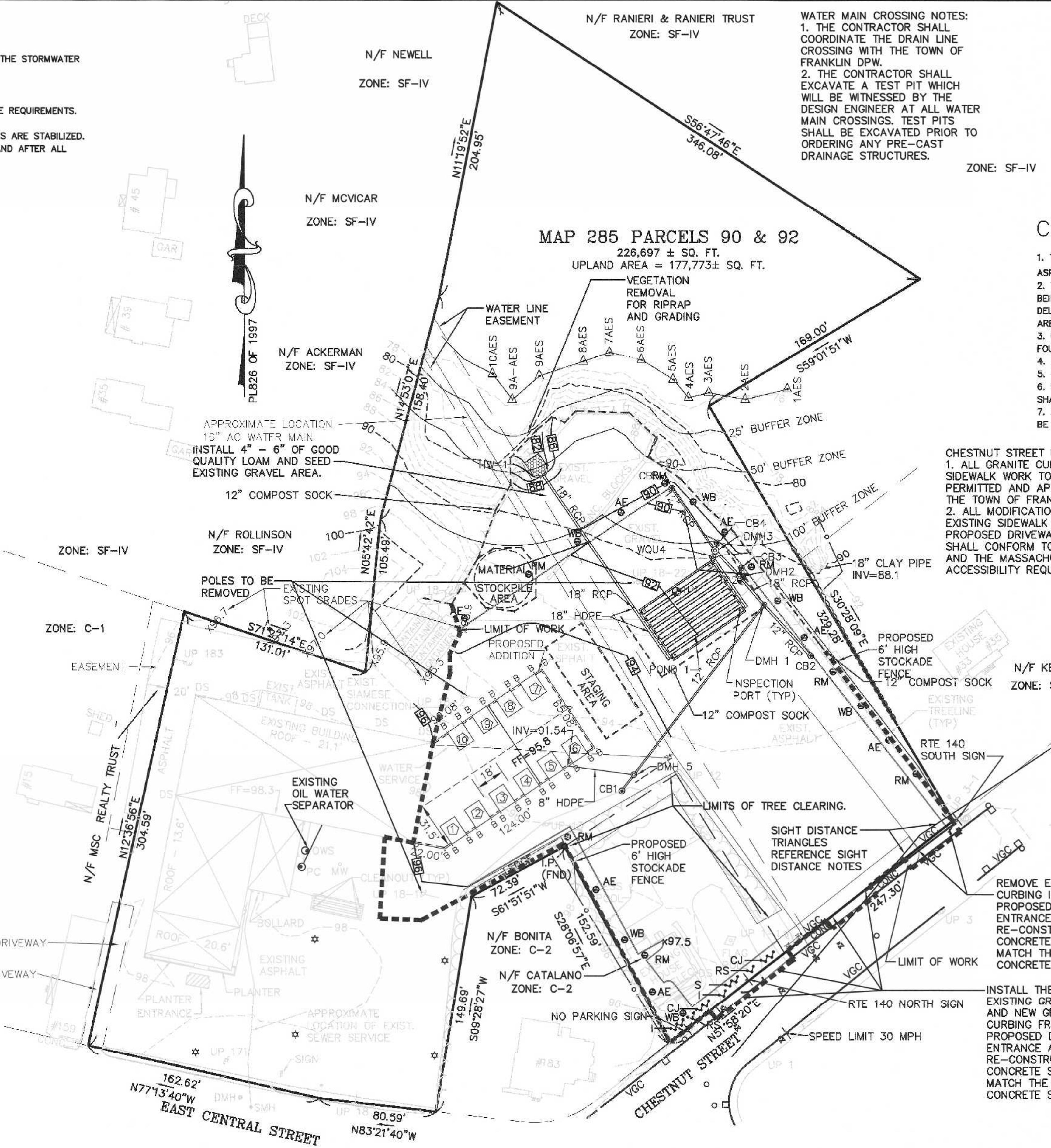
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CARLOS A. QUINTAL P.E. #30812

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UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8560 FAX 508-384-8566

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AUTOMOBILE REPAIR OPERATIONAL BMP'S

1. PREPARE AN EMERGENCY SPILL RESPONSE AND CLEANUP PLAN AND SHALL HAVE DESIGNATED TRAINED PERSON(S) AVAILABLE EITHER ON-SITE OR ON CALL AT ALL TIMES TO PROMPTLY AND PROPERLY IMPLEMENT THAT PLAN AND IMMEDIATELY CLEANUP ALL SPILLS. KEEP SUITABLE CLEANUP MATERIALS, SUCH AS DRY ABSORBENT MATERIALS, ON SITE TO ALLOW PROMPT CLEANUP OF A SPILL.
2. KEEP DRAINED OIL FILTERS IN A SUITABLE CONTAINER OR DRUM. DRUMS SHOULD BE CLOSED ON AN IMPERVIOUS PAD WITH ADEQUATE CONTAINMENT.

CONSTRUCTION SEQUENCE:

1. THE PROPOSED BUILDING FOUNDATION WILL BE EXCAVATED. EXISTING ASPHALT AND EARTH MATERIALS SHALL BE REMOVED FROM THE SITE.
2. THE STORMWATER SYSTEM SHALL BE INSTALLED WITH EXCESS MATERIAL BEING REMOVED FROM THE SITE AND NECESSARY CONSTRUCTION MATERIALS DELIVERED TO THE SITE. MINIMIZE THE USE OF THE MATERIAL STOCKPILE AREA.
3. UPON COMPLETION OF THE STORM WATER SYSTEM AND THE BUILDING FOUNDATION THE SITE SHALL BE BROUGHT TO FINAL SUB-GRADE.
4. ASPHALT BINDER SHALL BE INSTALLED AS REQUIRED.
5. CURBING SHALL BE INSTALLED.
6. LANDSCAPING SHALL BE PLANTED AND ALL REMAINING DISTURBED AREAS SHALL BE LOAMED AND SEEDDED.
7. AT ALL TIMES A PAVED DRIVEWAY FOR CONSTRUCTION VEHICLES SHALL BE MAINTAINED FROM CHESTNUT STREET TO THE SITE.

EROSION CONTROL BARRIERS:

1. EROSION CONTROL BARRIERS MUST BE INSTALLED, INSPECTED, AND APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OR LICENSED WETLAND SCIENTIST.
2. NO SEDIMENTATION BARRIER MAY BE REMOVED WITHOUT PRIOR APPROVAL OF THE COMMISSION OR ITS STAFF.

CHESTNUT STREET NOTES:

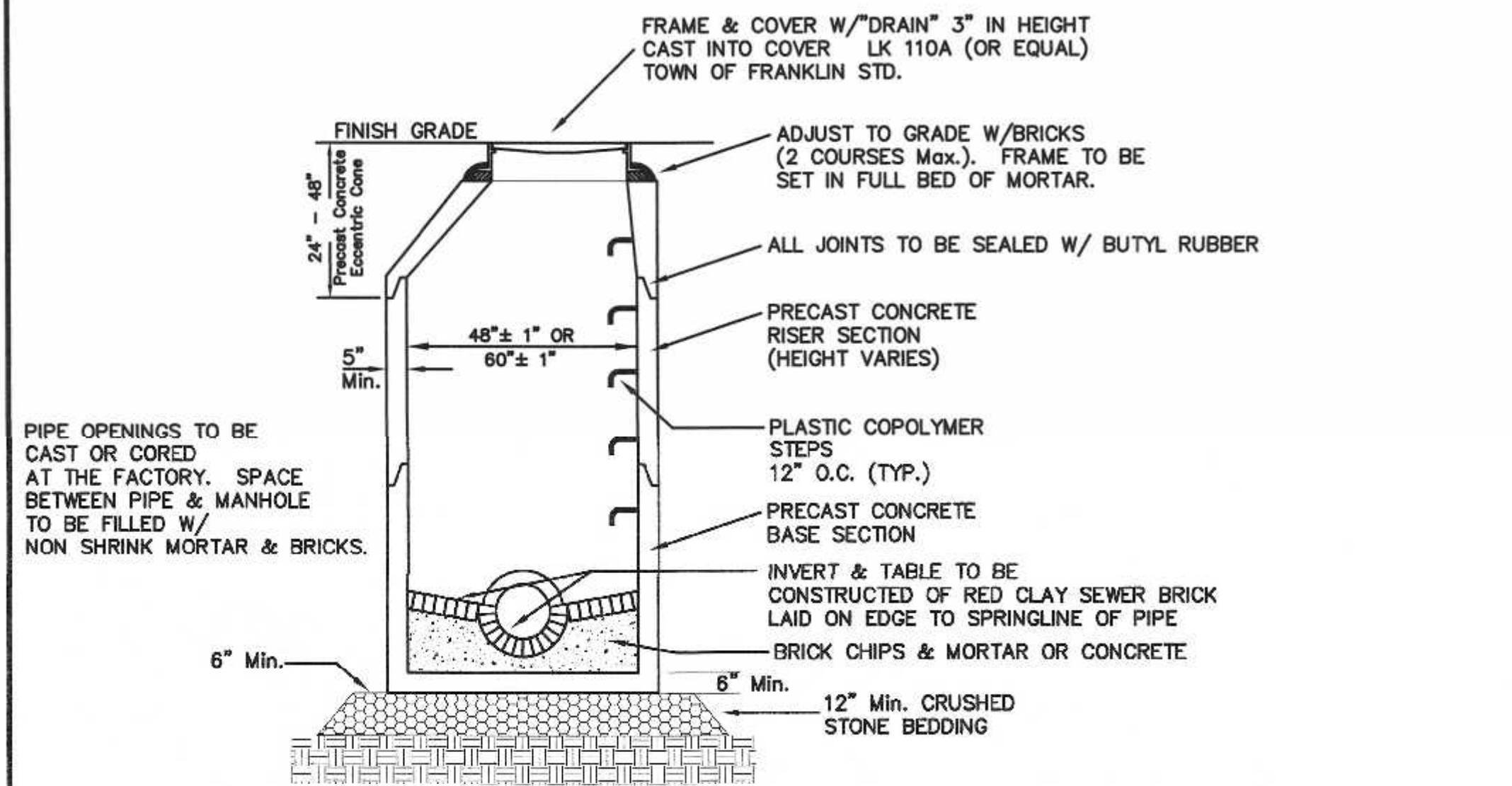
1. ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.
2. ALL MODIFICATIONS TO THE EXISTING SIDEWALK AND THE PROPOSED DRIVEWAY OPENING SHALL CONFORM TO THE ADA AND THE MASSACHUSETTS AAB ACCESSIBILITY REQUIREMENTS.

OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

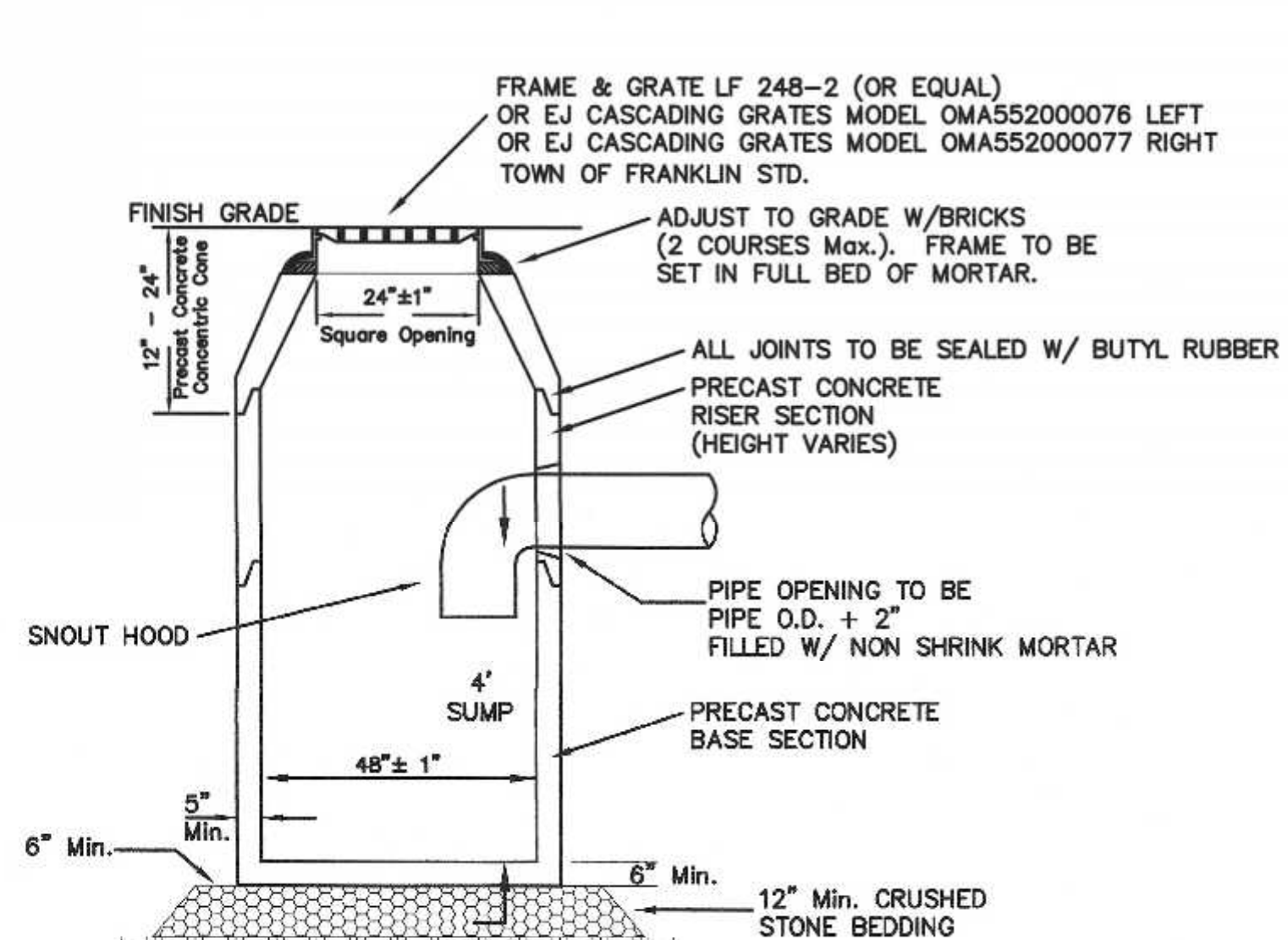
MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

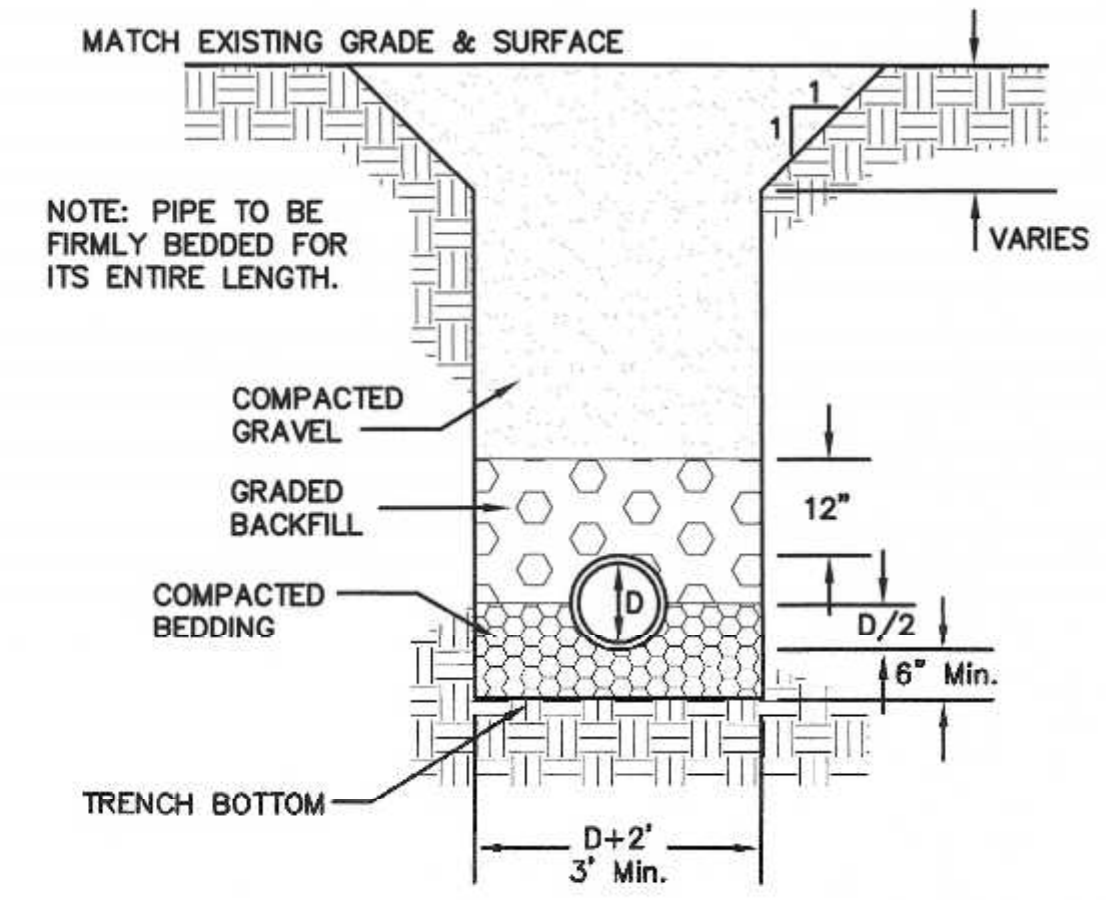
SITE PLAN
EROSION CONTROL PLAN
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'



PRECAST DRAIN MANHOLE

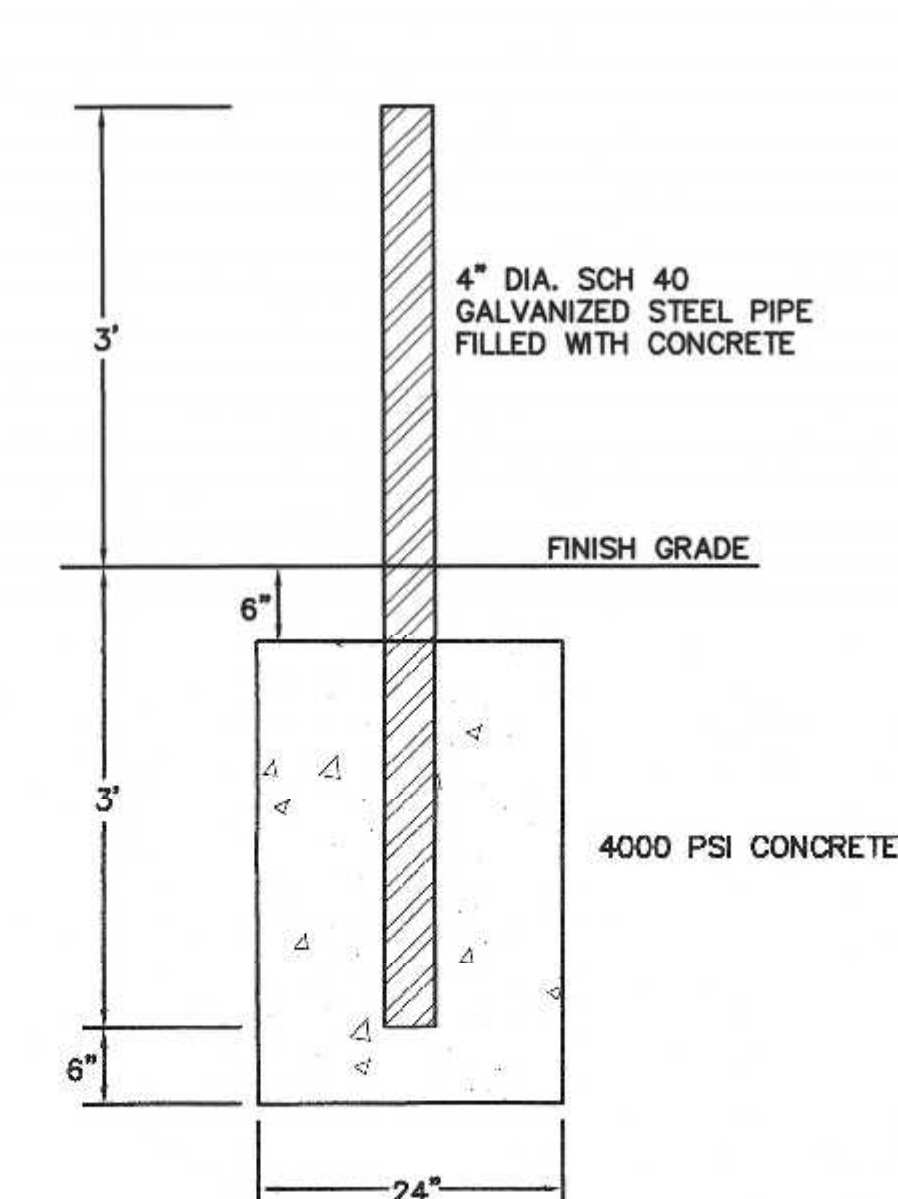


PRECAST CATCH BASIN



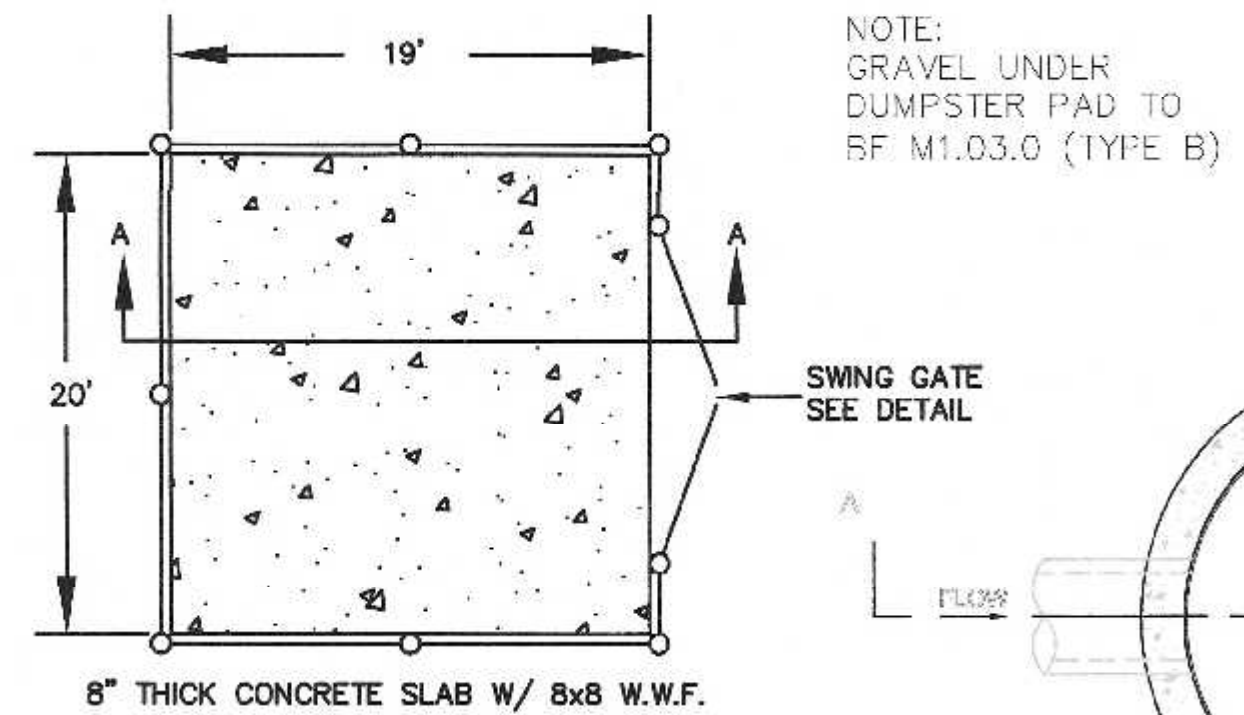
TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER	D.I. SEWER
BEDDING MATERIAL	PROC. GRAVEL	SAND	3/4" STONE	3/8" STONE
BACKFILL MATERIAL	ORD. FILL	SAND	3/4" STONE	3/8" STONE

UTILITY TRENCH DETAIL



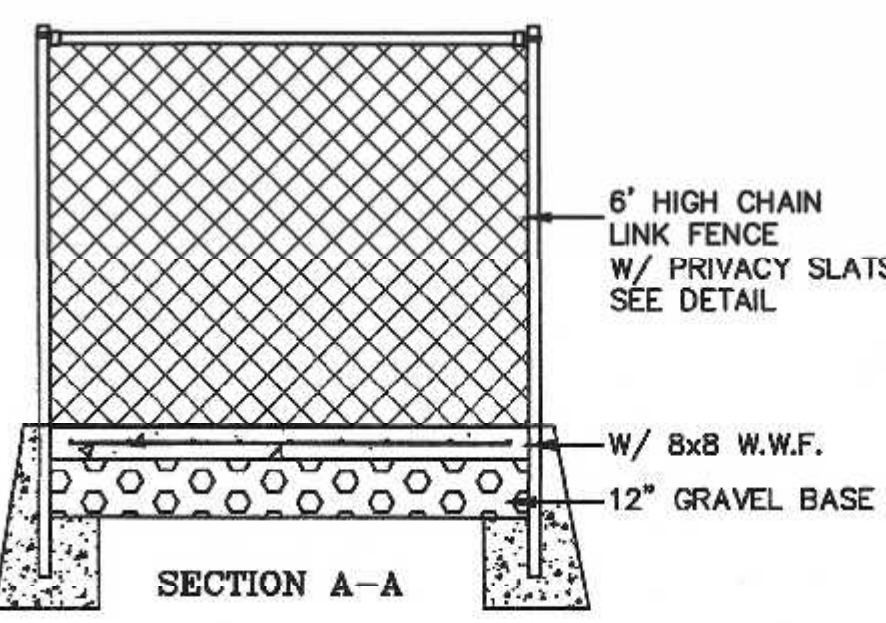
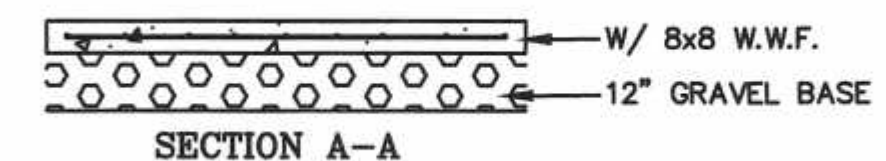
BOLLARD DETAIL

NOTE: BOLLARDS TO BE INSTALLED ON EACH SIDE OF THE OVERHEAD DOOR OPENINGS.

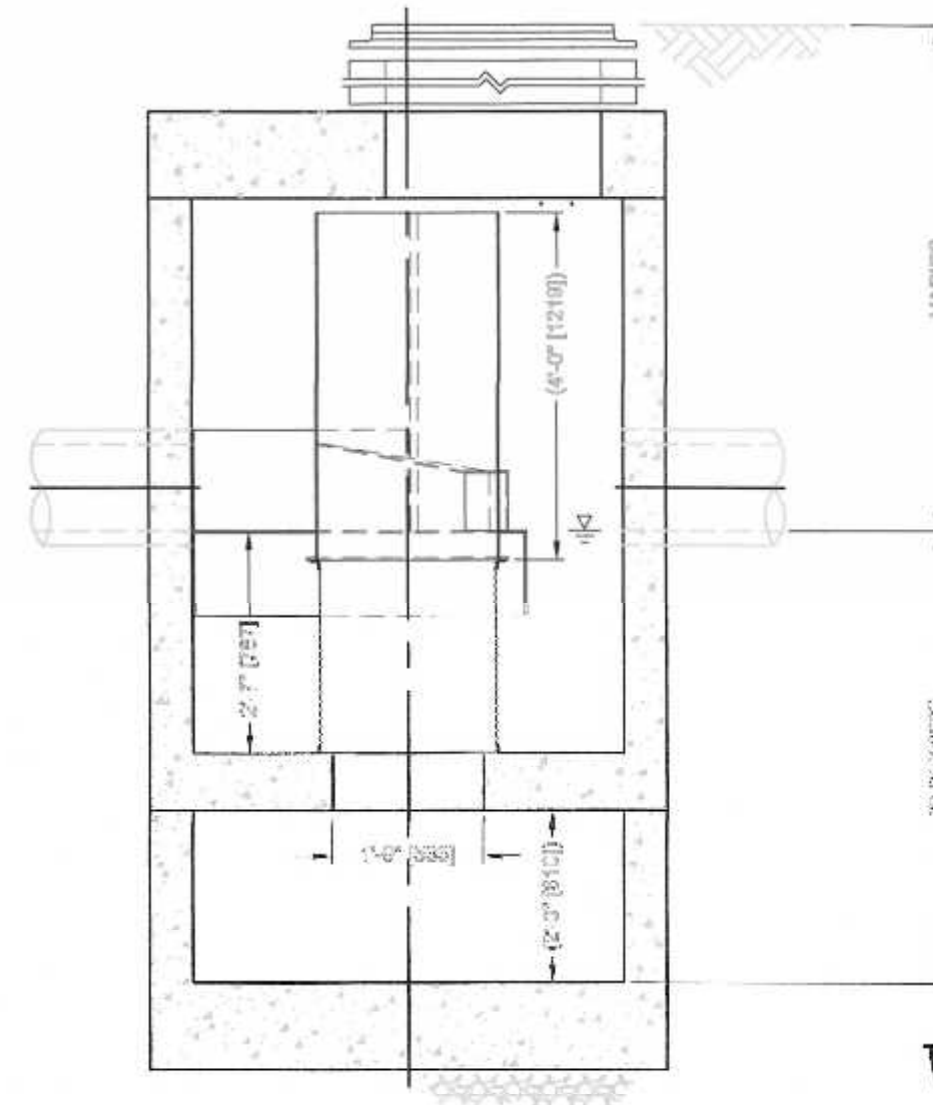
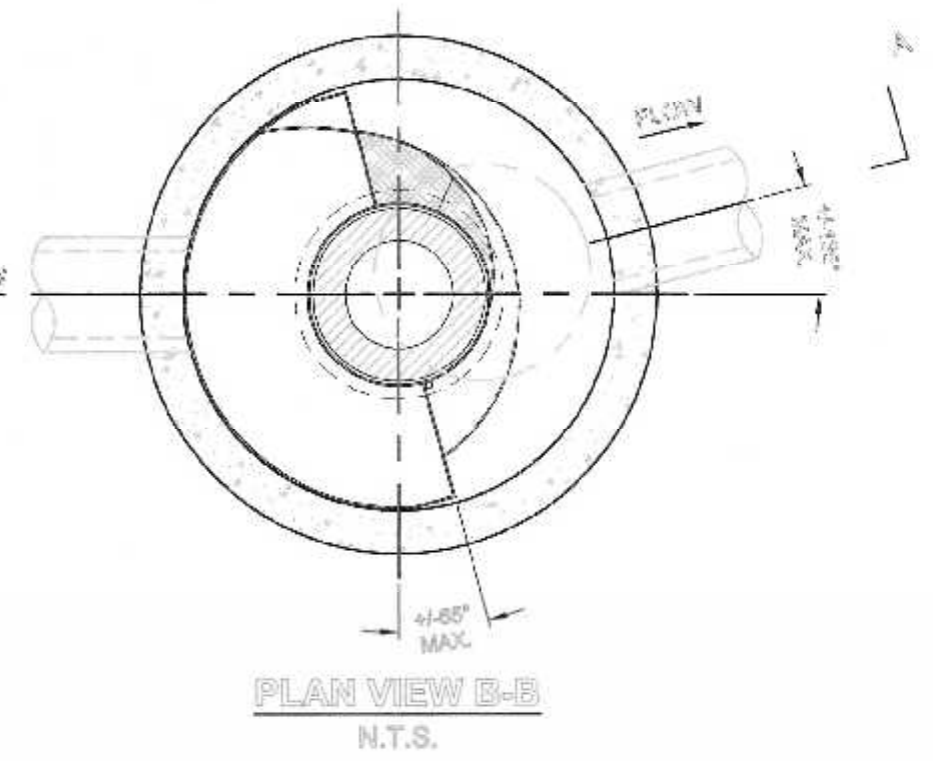


CONCRETE DUMPSTER PAD

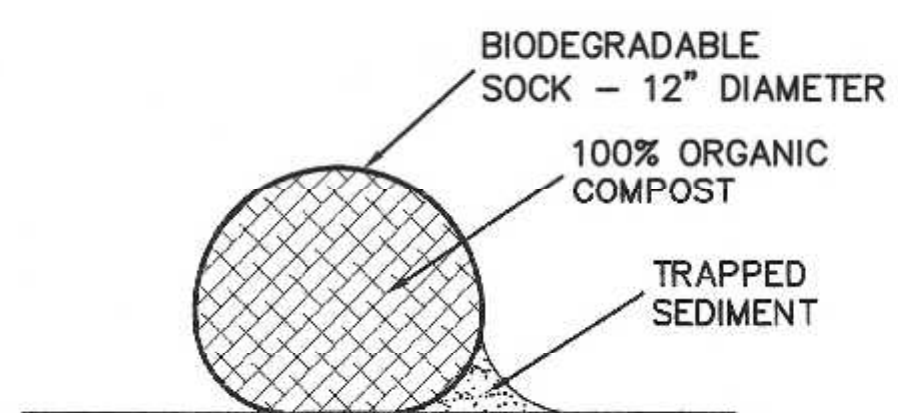
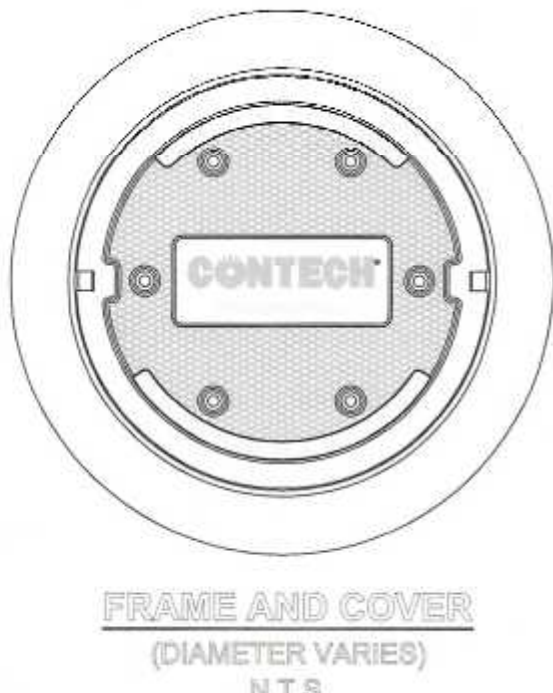
NOTE: DUMPSTER PAD AT BUILDING 1 WILL HAVE THE FENCE CONNECT TO THE RETAINING WALL. NO FENCE IS PROPOSED TO THE REAR OF THE DUMPSTER PAD.



DUMPSTER AREA FENCE



CDS 2020-5 WATER QUALITY UNIT

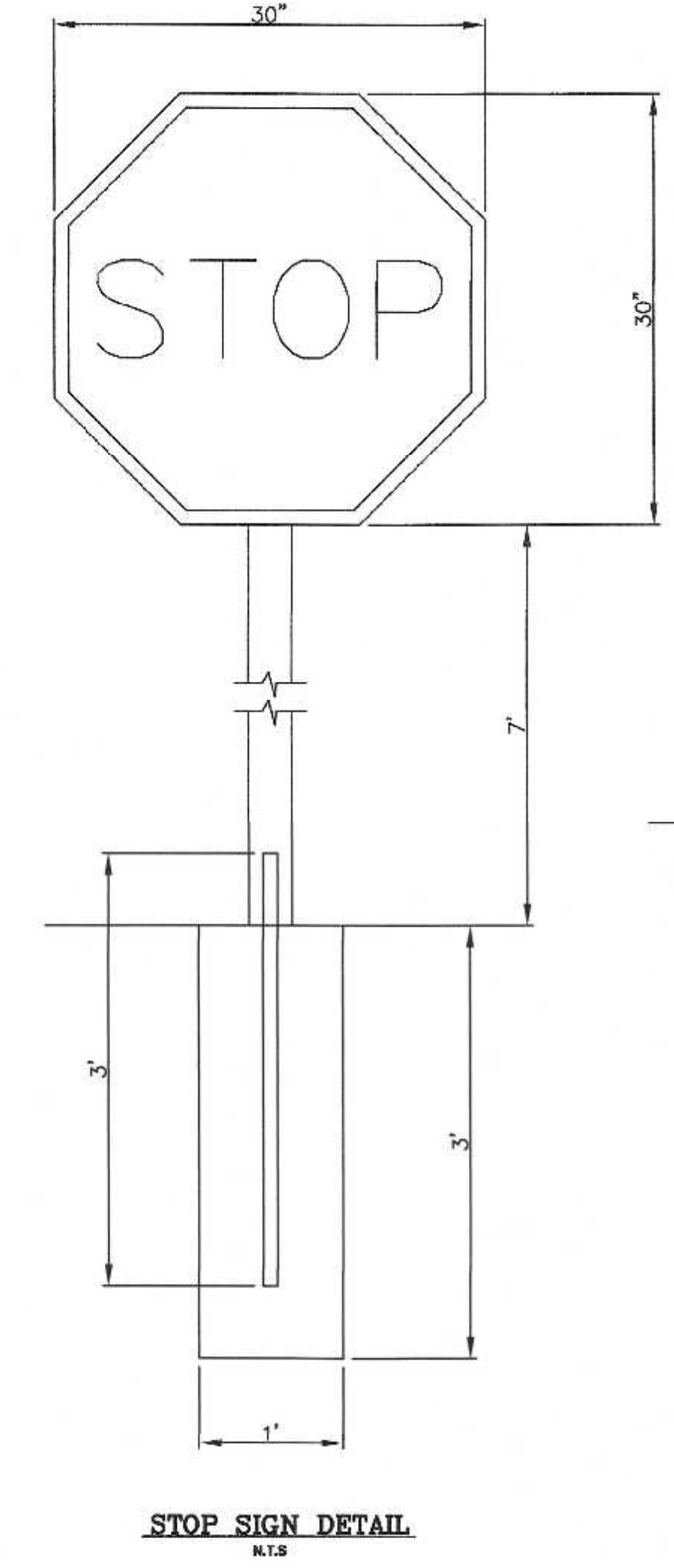


COMPOST SOCK DETAIL

OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS



HANDICAP SIGN DETAIL

VAN ACCESSIBLE HANDICAP SIGN DETAIL

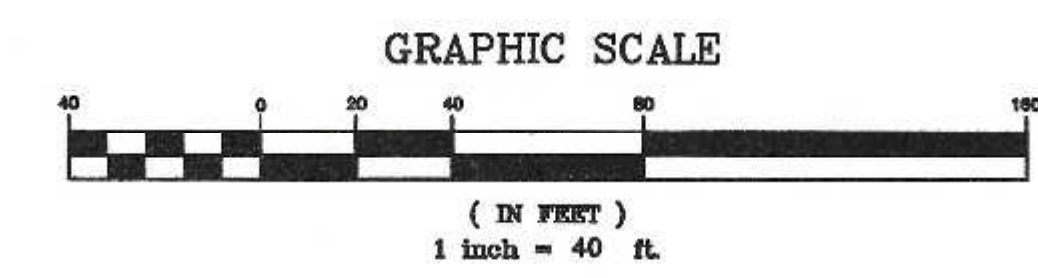


CARLOS A. QUINTAL P.E. #30812

SITE PLAN
CONSTRUCTION DETAILS - 1
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

SITE PLAN APPROVAL REQUIRED
FRANKLIN PLANNING BOARD

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UNITED CONSULTANTS INC.

850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-6580 FAX 508-384-6586

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EXCAVATION AND FILL NOTES:

SOIL REMOVAL AT INFILTRATION SYSTEM:
 ALL EXISTING TOP (A HORIZON) AND SUB-SOIL (B HORIZON) SOILS AND FILL SHALL BE REMOVED UNDER THE INFILTRATION SYSTEMS AND FIVE FEET FROM THE OUTER EDGE OF THE STONE ENVELOPE.

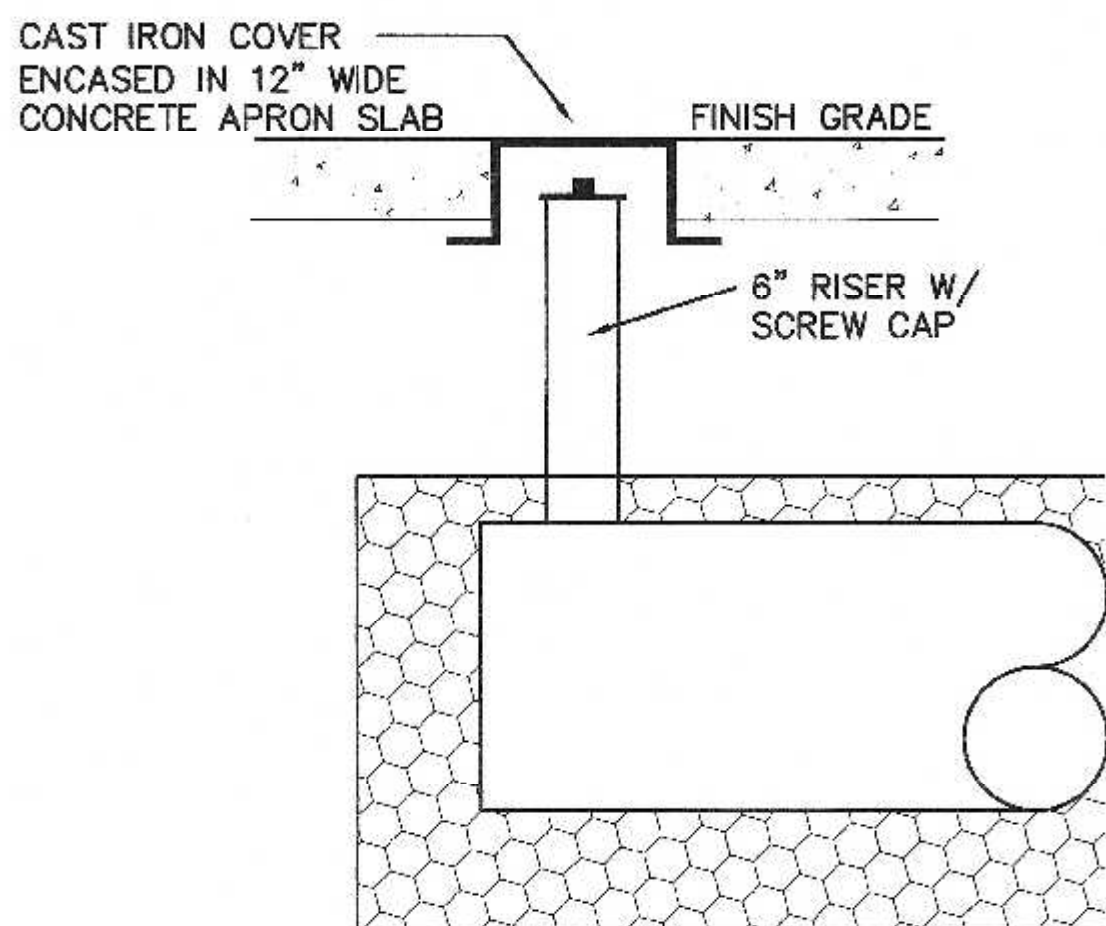
Fill material for drainage systems constructed in fill shall consist of select on-site or imported soil material. The fill shall be comprised of clean granular sand, free from organic matter and deleterious substances. Mixtures and layers of different classes of soil shall not be used. The fill shall not contain any material larger than two inches. A sieve analysis, using a #4 sieve, shall be performed on a representative sample of the fill. Up to 45% by weight of the fill sample may be retained on the #4 sieve. Sieve analyses also shall be performed on the fraction of the fill sample passing the #4 sieve, such analyses must demonstrate that the material meets each of the following specifications:

SIEVE SIZE	EFFECTIVE PARTICLE SIZE	% THAT MUST PASS SIEVE
# 4	4.75 mm	100%
# 50	0.30 mm	10% - 100%
#100	0.15 mm	0% - 20%
#200	0.075 mm	0% - 2%

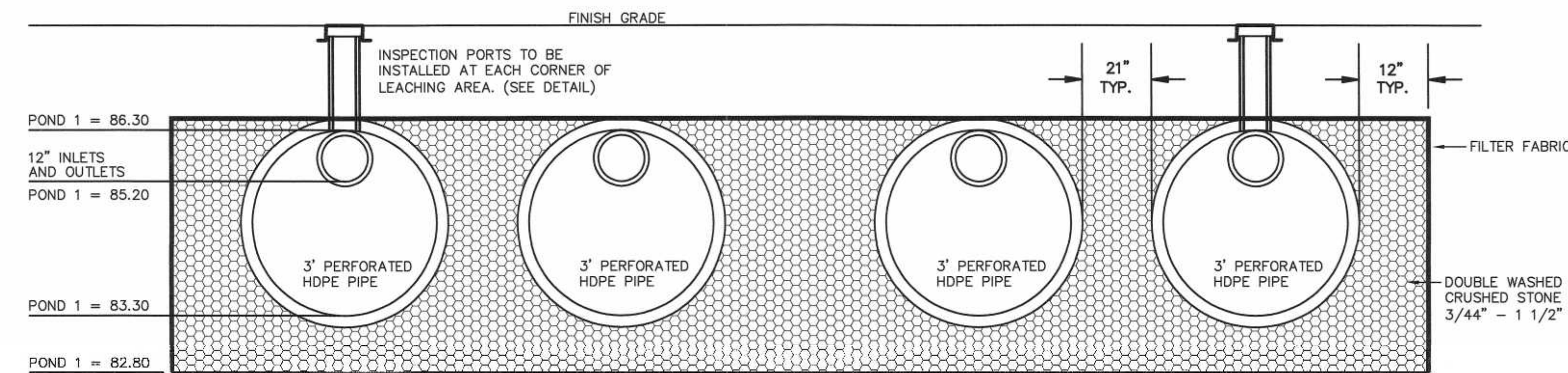
A minimum of two representative sample shall be taken from the in-place fill and tested for compliance with the grain size distribution specification. Where fill is required to replace unsuitable or impermeable soils, the excavation of the unsuitable material shall extend a minimum of five feet laterally in all directions beyond the outer perimeter of the soil drainage systems to the depth of naturally occurring pervious material and replaced with fill.

Prior to placement of the fill, the bottom surface of the excavation shall be scarified and relatively dry. Fill shall not be placed during rain or snow storms. If the water table elevation is above the elevation of the bottom of the excavation, the excavation shall be dewatered as necessary.

THE DESIGN ENGINEER SHALL INSPECT AND CERTIFY THE EXCAVATION OF THE SOIL INFILTRATION AREAS AND THE RAIN GARDEN AREA PRIOR TO ANY FILL BEING PLACED.



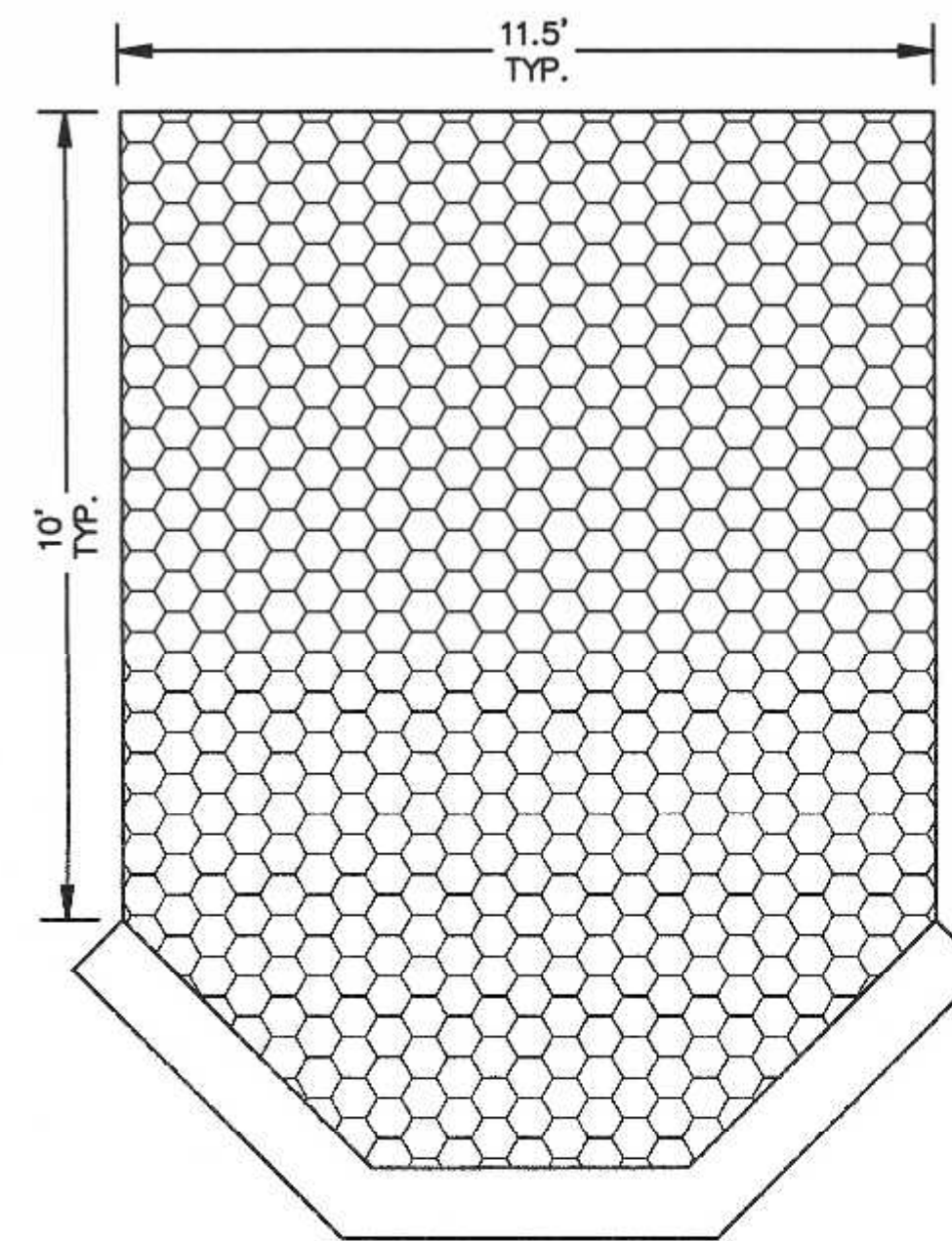
**INSPECTION PORT DETAIL
 DRAINAGE INFILTRATION AREAS
 N.T.S.**



INFILTRATION POND 1

NOTE:
 1. INFILTRATION POND 1 CONSISTS OF 7 ROWS OF 3' DIAMETER PERFORATED HDPE PIPE 56' IN LENGTH. STONE ENVELOPE IS 37.22' x 60'

ESHGW - POND 1 = 78.68 BOTTOM TEST PIT 1



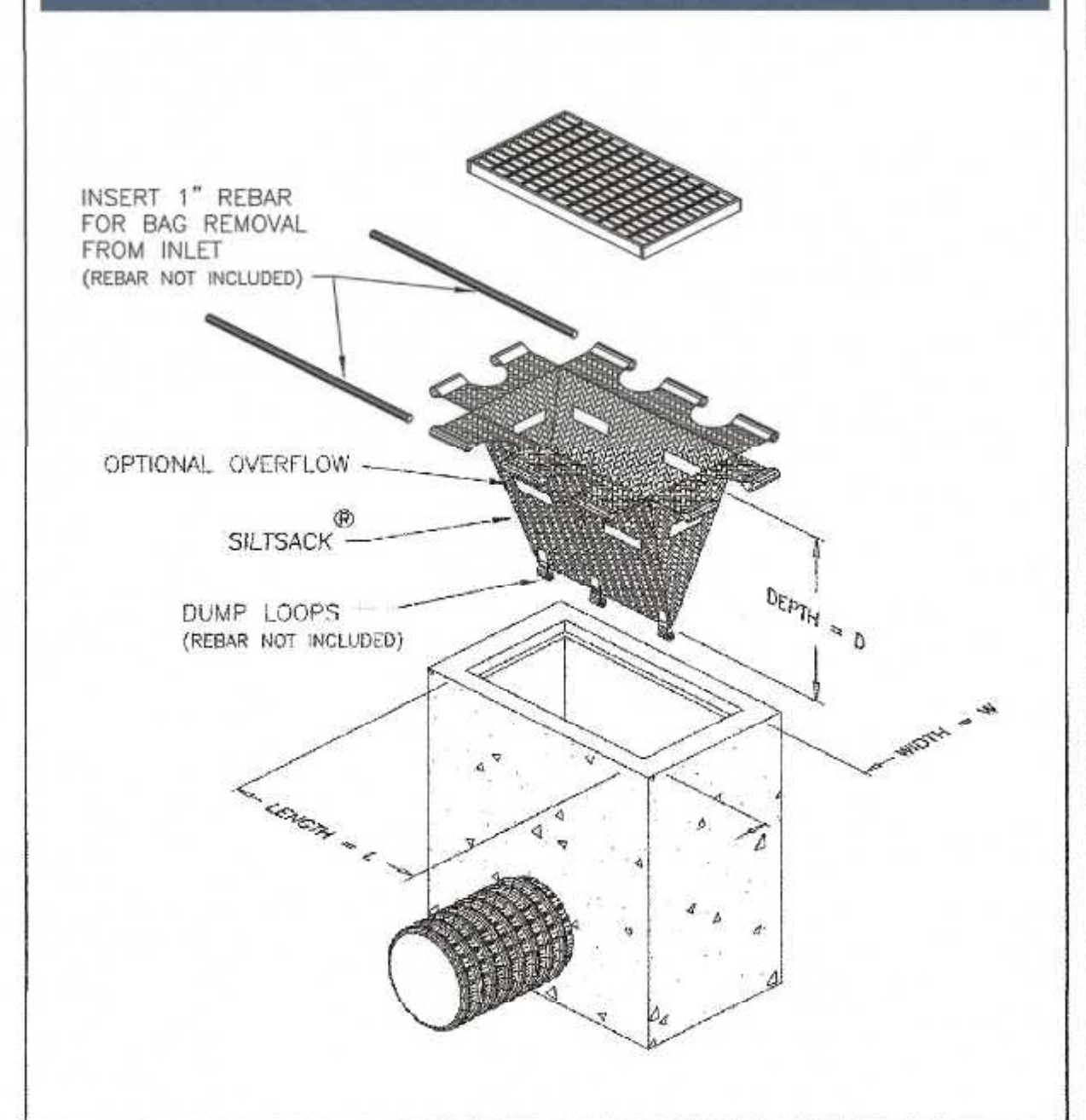
**RIP RAP AT HEADWALL
 N.T.S.**

CONSTRUCTION NOTES:
 1. RIP RAP TO BE MAXIMUM OF 21" AVERAGE OF 14" AND MINIMUM OF 8".
 2. RIP RAP TO BE PLACED OVER A FILTER FABRIC.
 3. RIP RAP MINIMUM DEPTH SHALL BE 28"

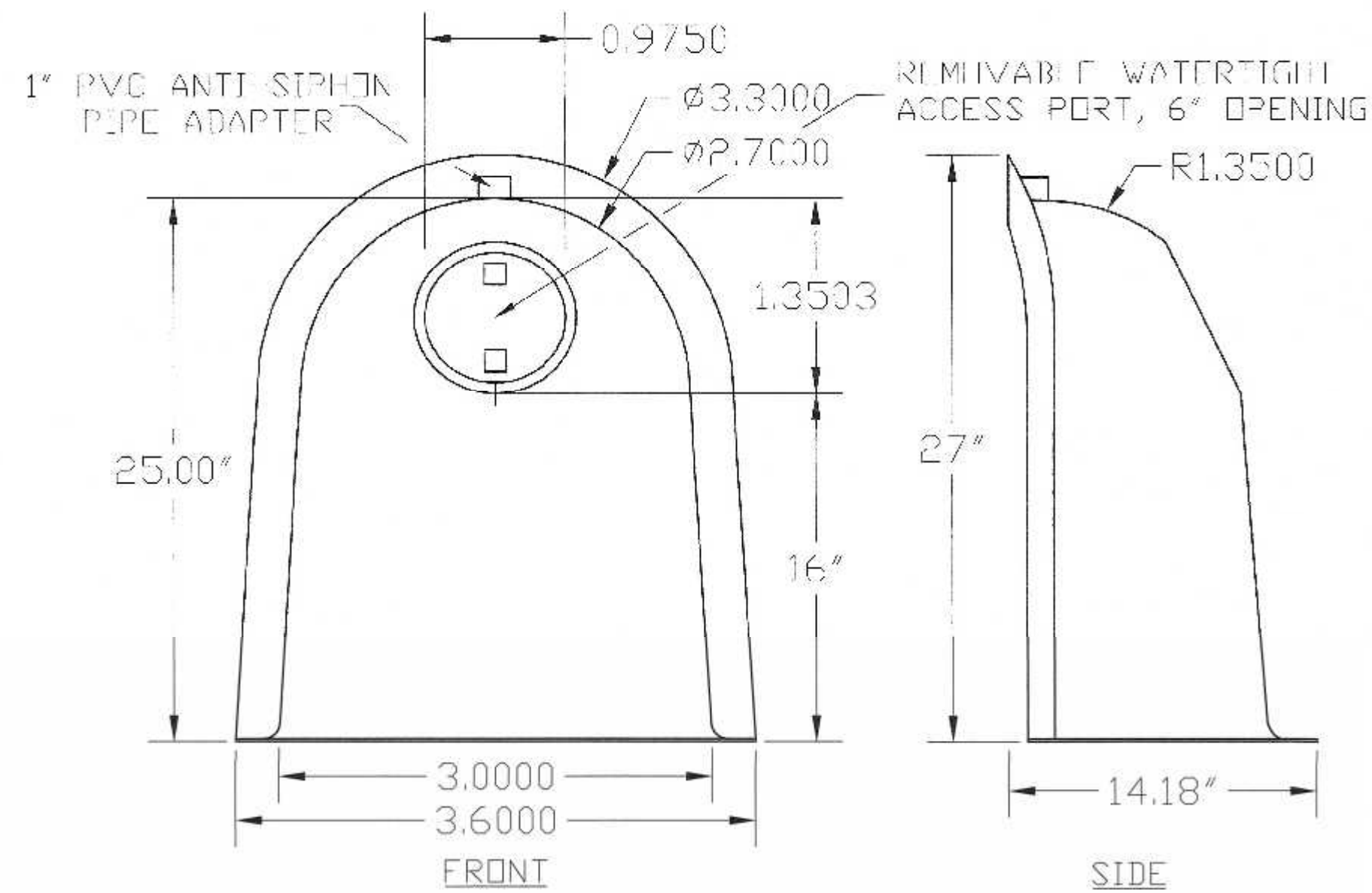
REFERENCE TECHNICAL SUPPLEMENT 14C - US BUREAU OF RECLAMATION METHOD.

$$D50 = 0.0122 \times \frac{2.06}{8.92} = 1.11$$

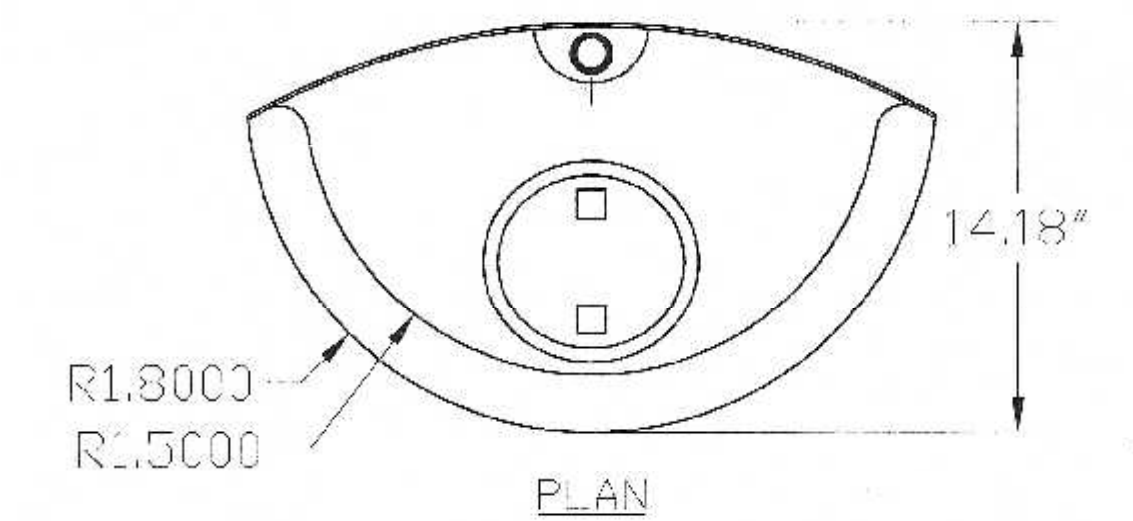
Typical Siltsack® Construction - Type B



**SILT SACK DETAIL
 NOT TO SCALE**



SNOUT DETAIL



DESIGNED TO FIT 48" DIA. STRUCTURES

US PATENT # 6126817
 ADDITIONAL PATENTS PENDING

BMP, INC. 53 MT. ARCHER ROAD, LYME, CT. 06371 (800) 504-8008 FAX: (860) 434-3195		
DESCRIPTION 18R SNOUT OIL & DEBRIS STOP	DATE 09/06/99	SCALE NONE
DRAWING NUMBER 18R		



Carlos A. Quintal
 CARLOS A. QUINTAL P.E. #30812

OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS

APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

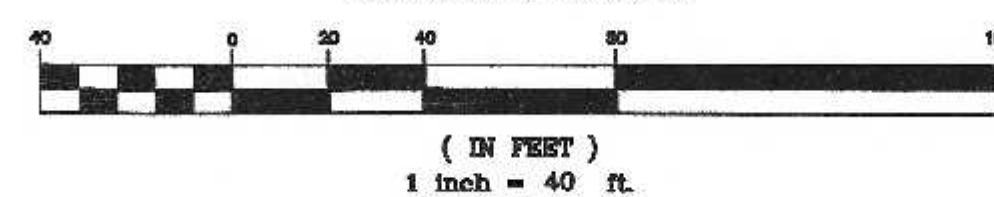
SITE PLAN

CONSTRUCTION DETAILS - 2
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'

SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE

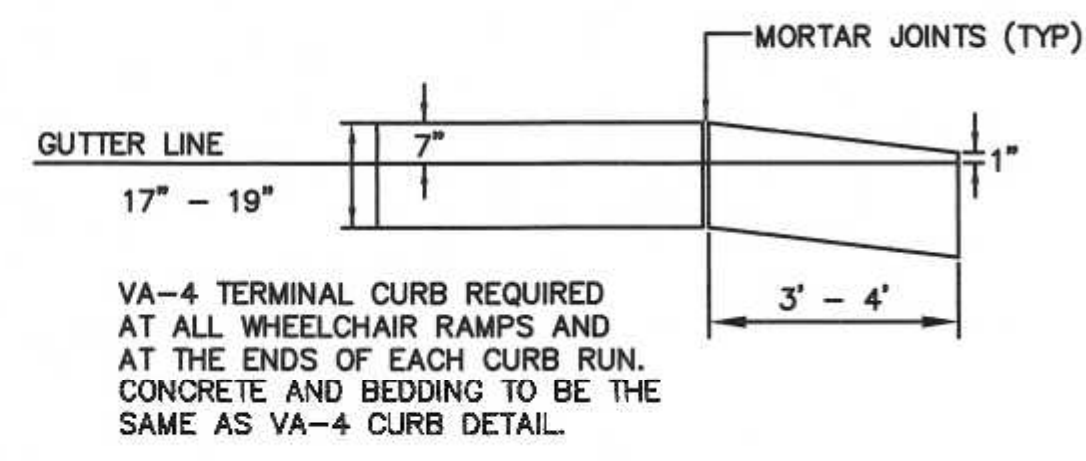


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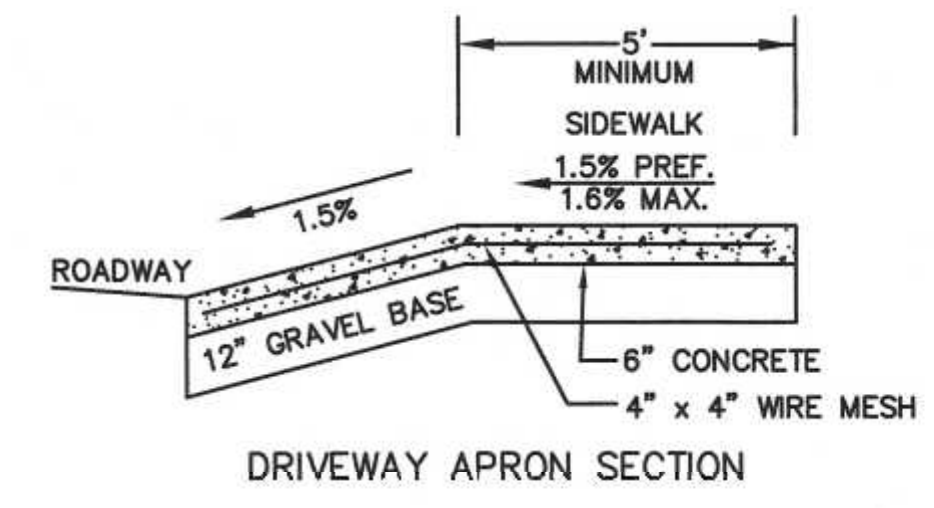
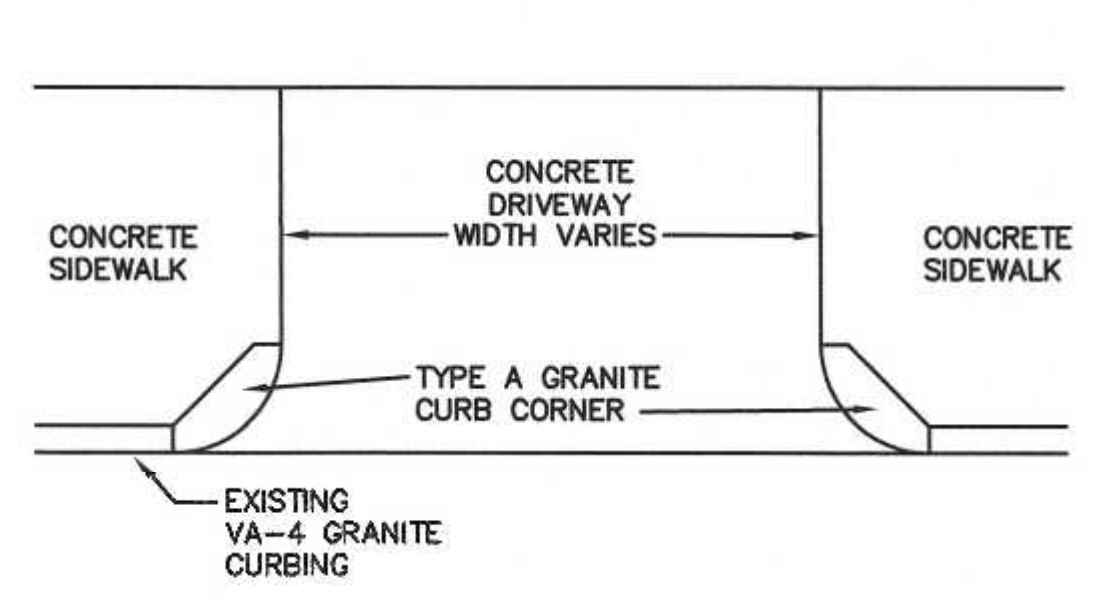
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 WRENTHAM, MASSACHUSETTS 02093
 508-384-8660 FAX 508-384-8586

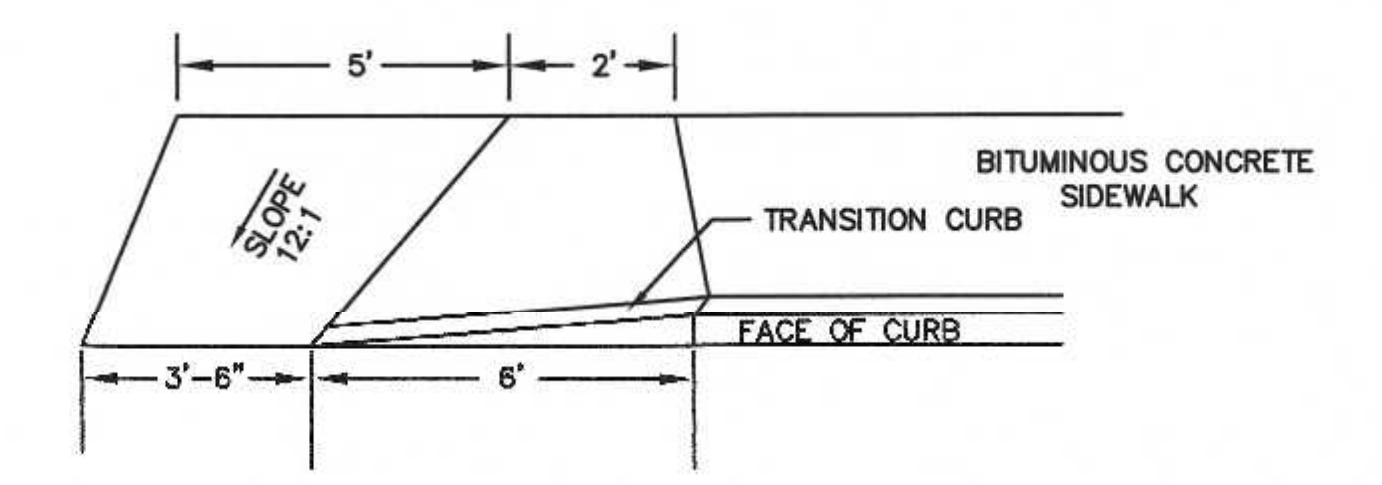
DATE	APRIL 14, 2022
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SHEET	11 of 12



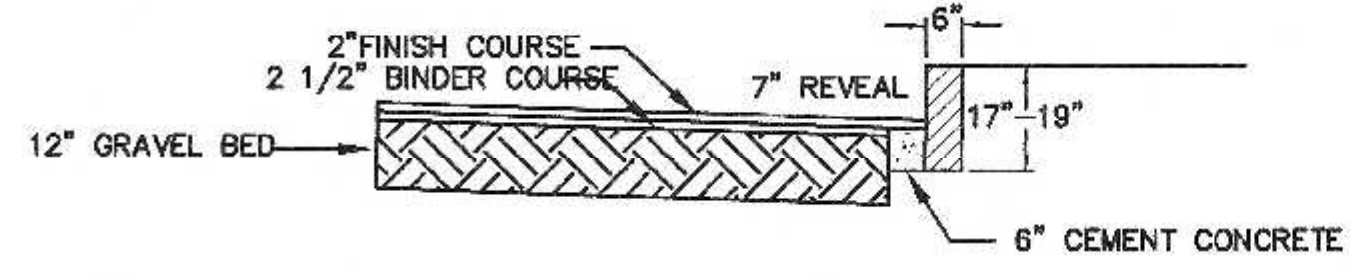
VA-4 TERMINAL AND TRANSITION CURB



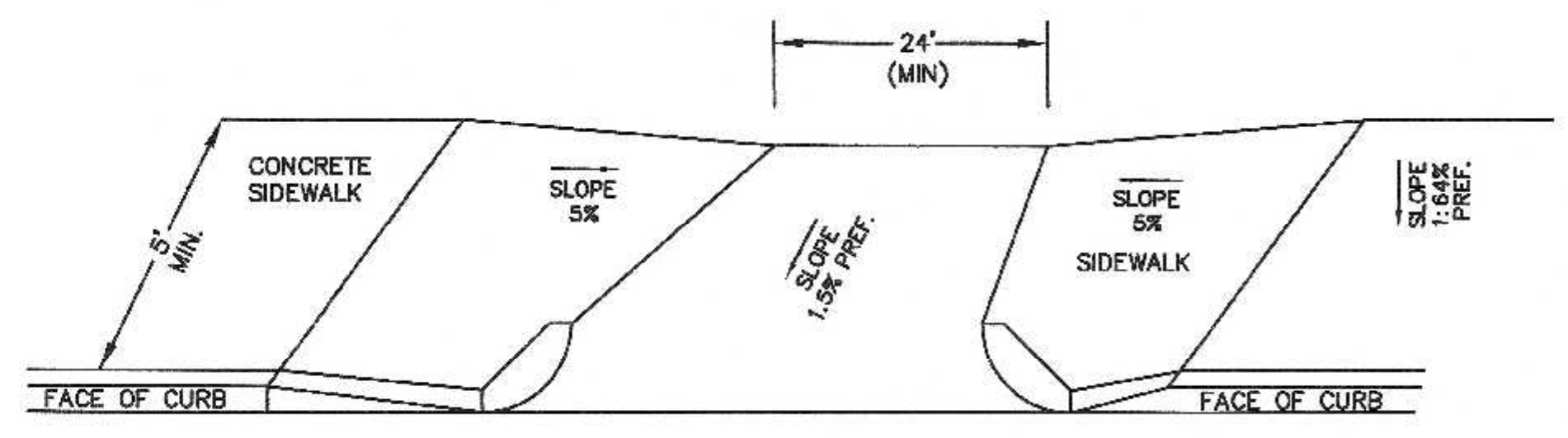
NOTES:
 1. CROSS SLOPE ON ANY RAMP, LANDING OR ACCESSIBLE ROUTE SHALL NOT EXCEED 3/16" PER FOOT.
 2. THE SIDEWALKS ARE 5' MINIMUM IN WIDTH.
 3. ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.
 4. GRAVEL UNDER SIDEWALK TO BE M1.03.0 (TYPE B)



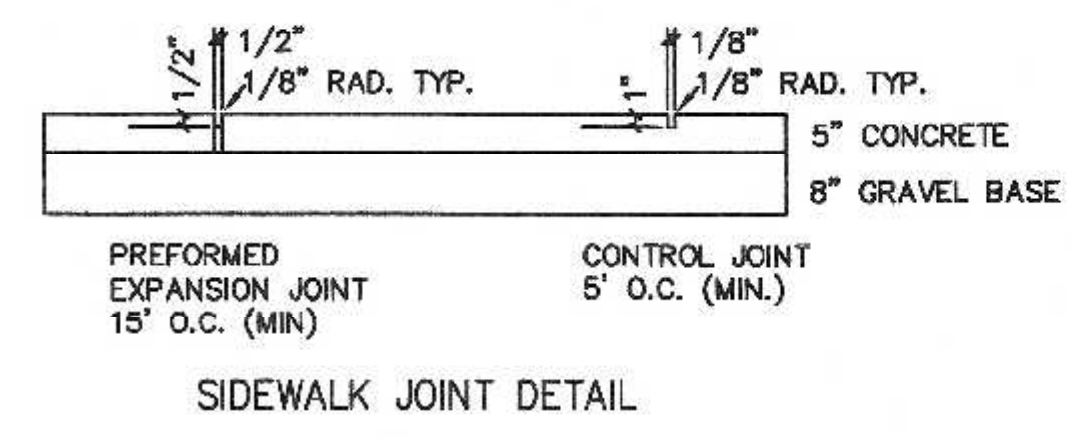
WHEELCHAIR RAMP



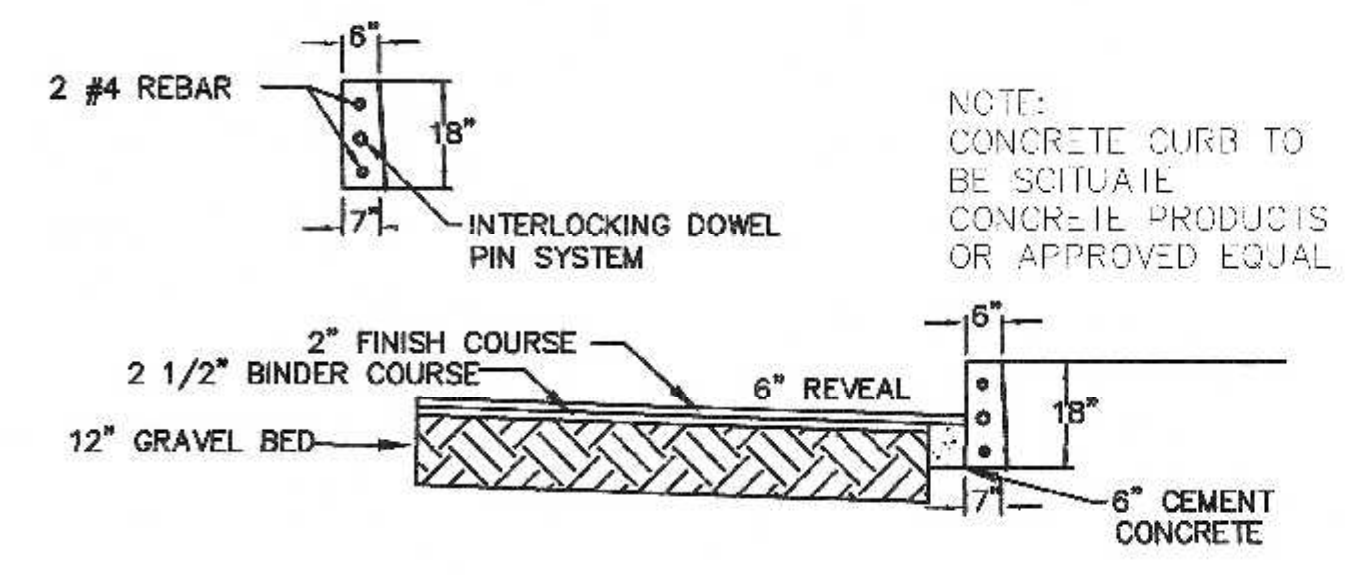
PAVEMENT AND VA-4 VERTICAL GRANITE CURBING



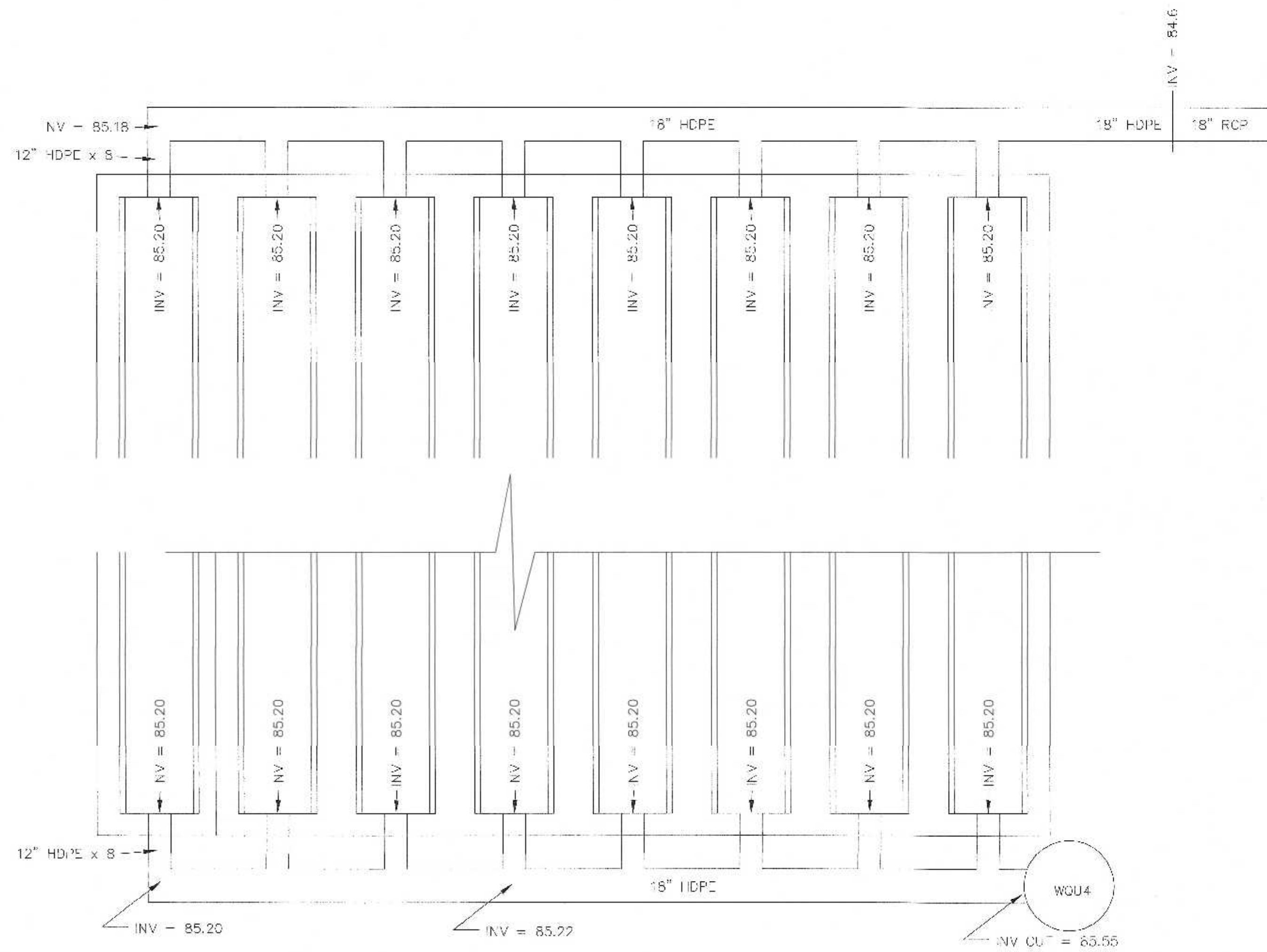
DRIVEWAY APRON



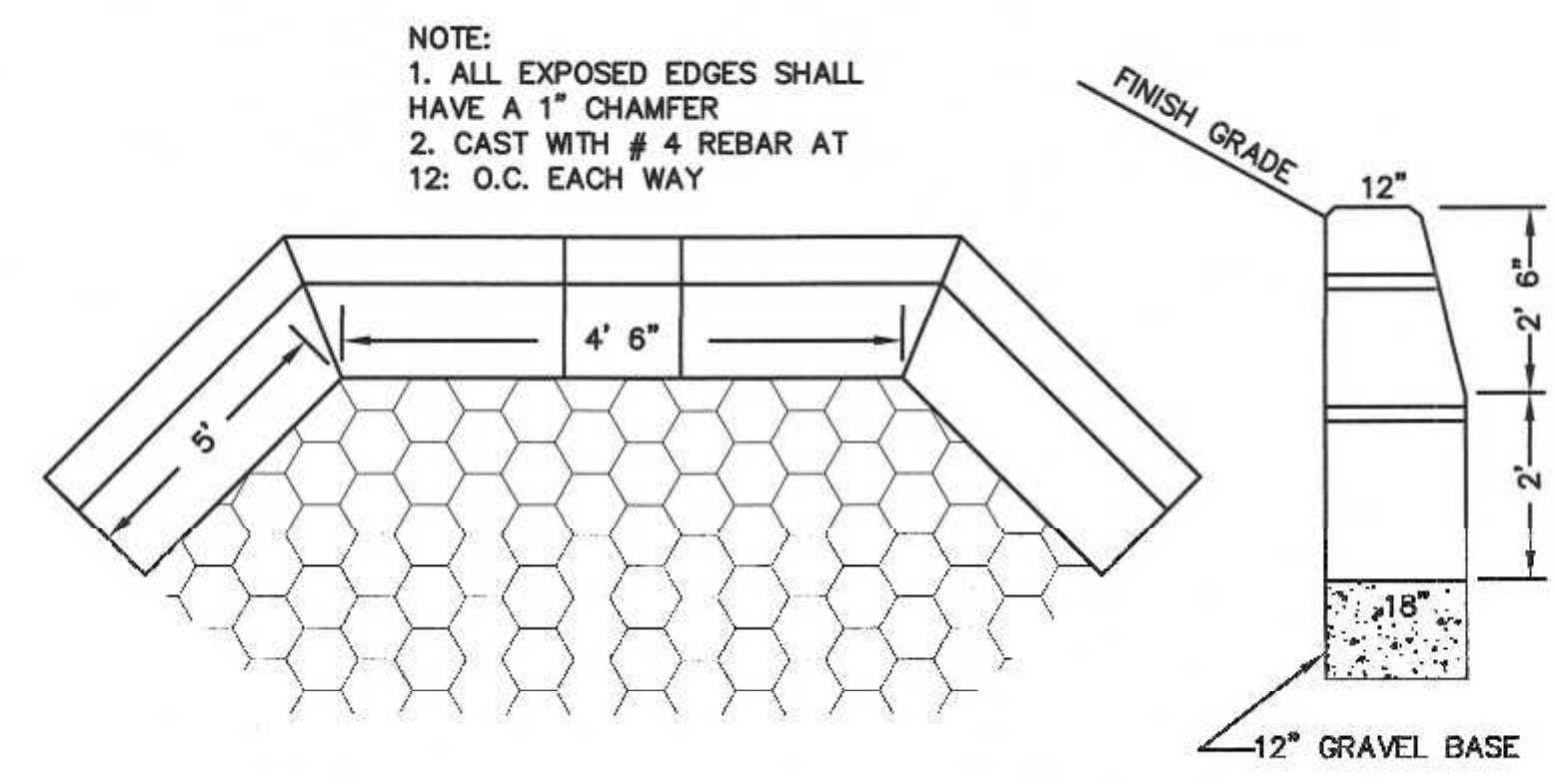
SIDEWALK JOINT DETAIL



PAVEMENT AND VERTICAL CONCRETE CURBING



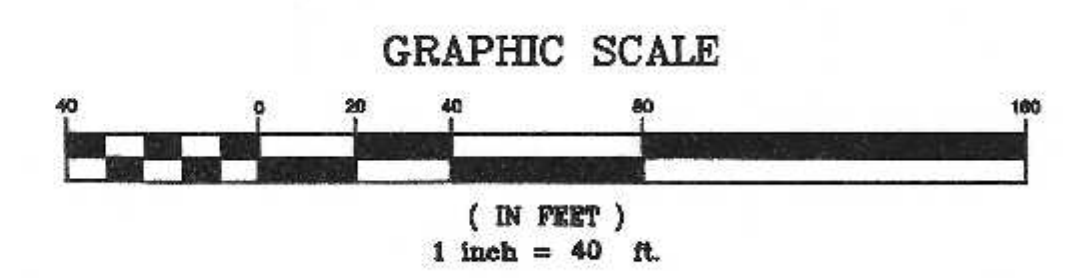
INFILTRATION POND 1 MANIFOLDS



TYPE "B" PRECAST HEADWALL

SITE PLAN
 CONSTRUCTION DETAILS - 3
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'

SITE PLAN APPROVAL
 REQUIRED
 FRANKLIN PLANNING BOARD
 DATE



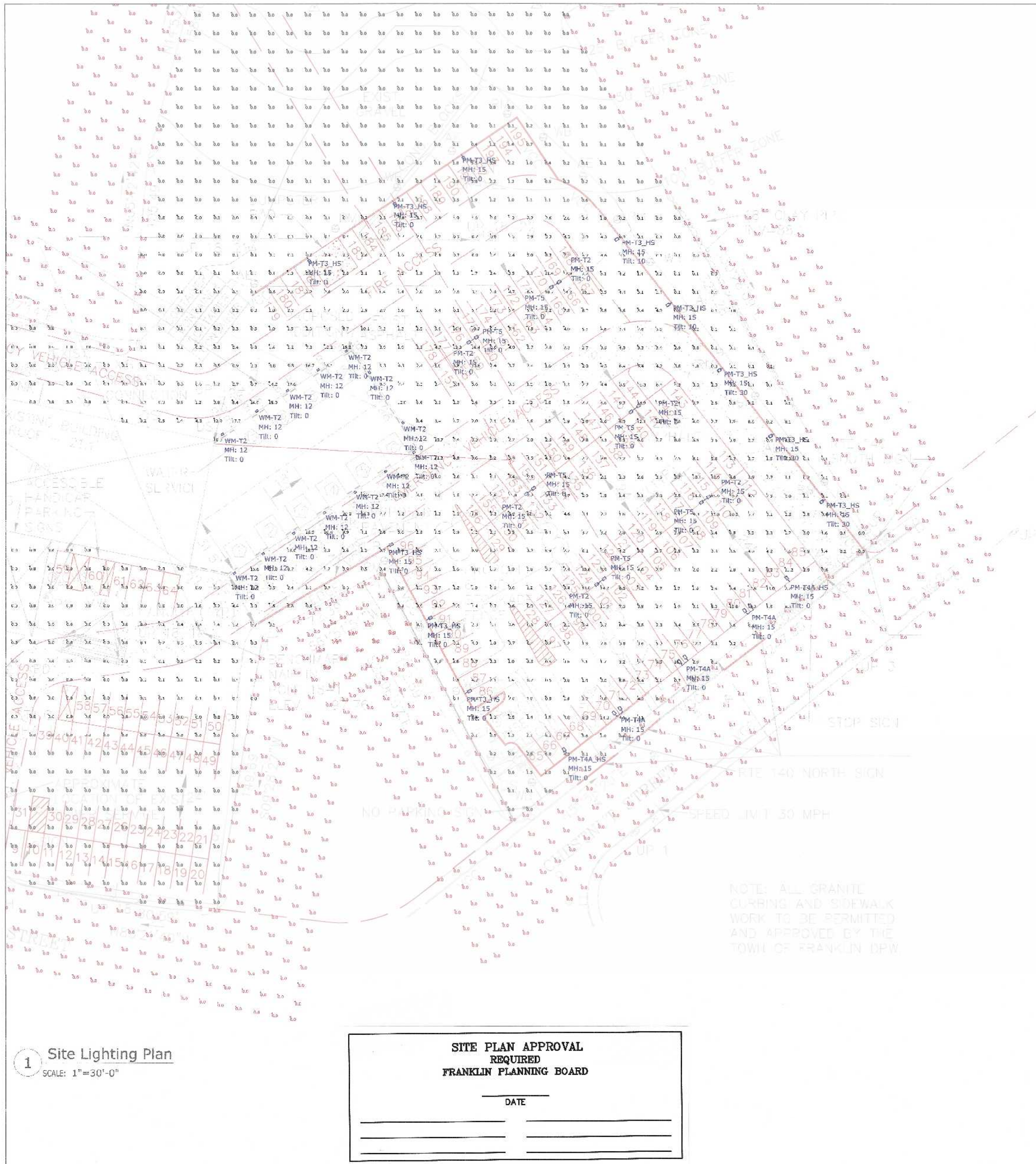
NO.	DATE	DESCRIPTION	BY
3	12/12/22	CONDITIONS OF APPROVAL	RRG
2	9/12/22	BETA REVIEW COMMENTS	RRG
1	8/4/22	REVIEW COMMENTS	RRG

CARLOS A. QUINTAL
 CIVIL
 No. 30812
 REGISTERED PROFESSIONAL ENGINEER

DATE	FIELD BY:	INT.
8/21	BL	
4/22	FIELD BOOK	PG#
4/22	CALCS BY:	RRG
4/22	DESIGNED BY:	RRG
4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-8580 FAX 508-384-8586

DATE
 APRIL 14, 2022
 SCALE
 1" = 40'
 PROJECT
 UC1007
 SHEET
 12 of 12



1 Site Lighting Plan
SCALE: 1"=30'-0"

**SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD**

DATE _____

Luminaire Schedule	Label	Qty	Part Number	LLF	Fixture Wattage	Fixture Lumens	BUG Rating
PM-T2	PM-T2_HS	6	Visionaire # VMX-II-T2-10L-4K-UNV-SAM-BK-HS	0.900	70	9620	B2-U0-G2
	PM-T3_HS	11	Visionaire # VMX-II-T3-15L-4K-UNV-SAM-BK / SNTS-4S-11-15'-9BC-343-S1-BK	0.900	102	4832	B0-U0-G1
	PM-T4A	3	Visionaire # VMX-II-T4A-15L-4K-UNV-SAM-BK-HS / SNTS-4S-11-15'-9BC-343-D2-BK	0.900	102	5073	B1-U0-G1
	PM-T4A_HS	2	Visionaire # VMX-II-T4A-15L-4K-UNV-SAM-BK-HS / SNTS-4S-11-15'-9BC-343-S1-BK	0.900	102	5073	B1-U0-G1
	PM-T5	6	VMX-II-T5SR-15L-4K-UNV-SAM-BK / SNTS-4S-11-15'-9BC-343-S1-BK	0.900	102	15441	B4-U0-G2
	WM-T2	14	Visionaire # VSC-1-T2-32LC-7-4K-UNV	0.900	74	8333	B2-U0-G3

Calculation Summary	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.01	0.5	0.0	N.A.	N.A.
Site Points	Illuminance	Fc	1.39	20.0	0.0	N.A.	N.A.

- NOTES:
- A. A LIGHT LOSS FACTOR OF 0.900 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.
 - B. SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORMATION.
 - C. CALCULATION POINTS ARE TAKEN AT GRADE.
 - D. CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.
 - E. FIXTURE TYPES PM-T2 & PM-T5 TO SHARE SAME POLE LOCATION WITH POLE PART NUMBER SNTS-4S-11-15'-9BC-343-D2-BK.

VMX-II Array LED Specifications

Ordering Information

MODEL	OFFCS	LUMENS	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
VMS2	11	4832	4000	120V	RM	SL	PC120	PC120
VMS3	11	9620	4000	120V	RM	SL	PC120	PC120
VMS4	11	15441	4000	120V	RM	SL	PC120	PC120

SNTS Specifications

Ordering Information

MODEL	OFFCS	ONCE	HEIGHT	DATE	ANCHORAGE	MOUNTING	FINISH	OPTIONS
SNTS	4S	11	15'	1500	1500	RM	SL	PC120
SNTS	4S	11	15'	1500	1500	RM	SL	PC120
SNTS	4S	11	15'	1500	1500	RM	SL	PC120

2 Fixture Specification - Visionaire VMX Series

VSC LED Specifications

Ordering Information

MODEL	OFFCS	SOURCE	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS
VSC-1	T1	18LC	3	2K	UNV	RM	SL	PC120
VSC-1	T2	18LC	3	2K	UNV	RM	SL	PC120
VSC-1	T3	48LC	3	4K	UNV	RM	SL	PC120
VSC-1	T4	48LC	3	4K	UNV	RM	SL	PC120
VSC-1	T5	48LC	3	4K	UNV	RM	SL	PC120

3 Fixture Specification - Visionaire VSC Series

DATE:	REVISIONS	DESCRIPTION	DATE
May 12, 2022	1		
PROJECT NUMBER:	2		
DRAWN BY: AD	3		
CHECKED BY: HD	4		
APPROVED BY: HD	5		
SCALE: AS NOTED	6		
	7		

Town of Franklin

355 East Central Street
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907
www.franklinma.gov

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MEMORANDUM

DATE: January 3, 2023
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 81-P ANR – Maplegate Country Club

General

1. The applicant has resubmitted a Form A application for 81-P Plan Review to accompany the plan of land for Maplegate Country Club dated April 11, 2022 and submitted to DPCD on December 22, 2022.
2. The site is located in the Industrial Zoning District, requiring 40,000 sq/ft lot size and 175' frontage.
3. The Applicant is proposing to combine several lots into 3 parcels.

ANR Summary

- Applicants meets all requirements for an 81-P Approval not required.

PLANNING BOARD
FRANKLIN, MASSACHUSETTS

FORM A
APPLICATION FOR ENDORSEMENT OF PLAN BELIEVED
NOT TO REQUIRE APPROVAL (81-p)

_____, 20_____

To the Planning Board of the Town of Franklin, Massachusetts:

The undersigned, believing that the accompanying plan of land in the Town of Franklin does not constitute a subdivision within the meaning of the Subdivision Control Law, for the reason outlined below, herewith submits said plan for a determination and endorsement that Planning Board approval under the Subdivision Control Law is not required.

1. Name of Applicant: NextGrid: Contact Aaron Culig
Address of Applicant: P.O. Box 775 #73069 San Francisco, CA 94120
Phone No.: 720.217.5939 Email: aaron@nextgrid.com
2. Name of Owner (if not the Applicant) Maplegate Realty Trust
Address of Owner: 160 Maple Street Bellingham, MA 02019
Phone No.: _____ Email: _____
3. Name of Engineer: Bohler Engineering
4. Deed of Property recorded in _____ with Norfolk Registry, Book 8626 Page 33-43
5. Location and Description of Property: Maplegate Country Club - 160 Maple Street Bellingham
6. Assessor's Map & Lot: Maplegate Country Club - 160 Maple Street Bellingham
7. Reasons approval is not required (check as applicable):
 - a) Every lot shown has the area and frontage required by the Zoning By-Law on a way as defined by the Subdivision Regulations _____
 - b) a public way or way which the Town Clerk certifies is maintained and used as a public way, namely Maple Street, or
 - c) a way shown on a plan theretofore approved and endorsed in accordance with the subdivision control law, namely _____ on _____, and subject to the following conditions _____; or
 - d) a private way in existence on March 12, 1954, the date when the subdivision control law became effective in the Town of Franklin having, in the opinion of the Planning Board, sufficient width, suitable grades, and adequate construction to provide for the needs of vehicular traffic in relation to the proposed use of the land abutting thereon or served thereby, and for the installation of municipal services to serve such land and the buildings erected or to be erected thereon, namely _____.
 - e) Other: _____

Daniel Serber

Signature of Applicant

Daniel Serber

Print Name of Applicant

Sally Winters

Signature Owner

Sally Winters

Print Name of Owner

CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:

Title of Plan: Proposed Site Plan Documents

Date of Plan: 8/19/2022 Assessor's Information: _____

Prepared by: Bohler Engineering

Type of Plan: 81-P; Prelim.; Def.; Site Plan

SECTION B:

Name of Record Owner(s): Maplegate Realty Trust

Address of Record Owner(s): 160 Maple Street

Bellingham, MA 02019

*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):

Sally Winters, Trustee

*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation: Maplegate Realty Associate

*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation: 10/22/81,

5938, 496

Executed as a sealed instrument this 28th day of August 2022

Daniel Serber

Signature of Applicant

Daniel Serber

Print name of Applicant

Sally Winters

Signature of Owner

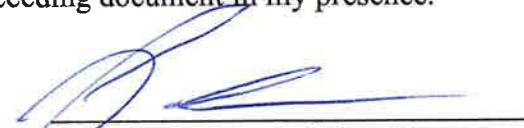
Sally Winters

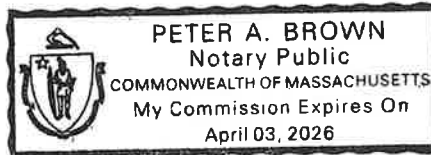
Print name of Owner

Worfolk ss.

2022

On this 28th day of August 2022, before me, the undersigned notary public, personally appeared Sally Winter (name of Applicant), proved to me through satisfactory evidence of identification, which were personal knowledge to be the person whose name is signed on the preceding document in my presence.


(Official signature and seal of notary)
Notary Public:
My Commission Expires: 4/3/26



CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:

Type of Plan (circle one) ANR 81-P; Preliminary Subdivision

Definitive Subdivision.; Site Plan; Special Permit

Title of Plan: Plan of Land

Date of Plan: 8/05/2022 Assessor's Information:

Prepared by: Feldman Geospatial

Applicant Name & Address: NextGrid P.O. Box 775 #73069 San Francisco, CA 94120
Contact: Aaron Culdig

SECTION B:

Name of Record Owner(s): Maplegate Realty Trust

Address of Record Owner(s): 160 Maple Street
Bellingham, MA 02019

**Attach Property Deed matching the owner name's listed above.

*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):

Sally Winters, Trustee, c/o Brown Legal PLLC, 10 Liberty Square, 6th Floor, Boston, MA 02109

*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation:

Maple Gate Realty Associates, c/o Brown Legal PLLC.

*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation:

10/22/81, BK 5938, P. 496

Executed as a sealed instrument this 28th day of August 20 22

Daniel Serber
Signature of Applicant

Daniel Serber
Print name of Applicant

Sally Winters
Signature of Owner

Sally Winters
Print name of Owner

COMMONWEALTH OF MASSACHUSETTS

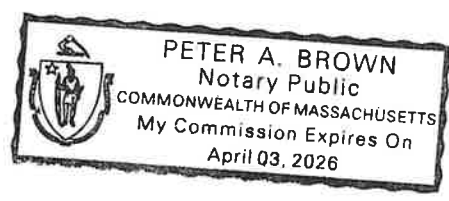
Worfolk ss.

20 22

On this 28 day of August 20 22, before me, the undersigned notary public, personally appeared Sally Winters (name of owner), proved to me through satisfactory evidence of identification, which were Drivers License to be the person whose name is signed on the preceding document in my presence.

[Signature]
(Official signature and seal of notary)
Notary Public:

My Commission Expires: 4/03/26



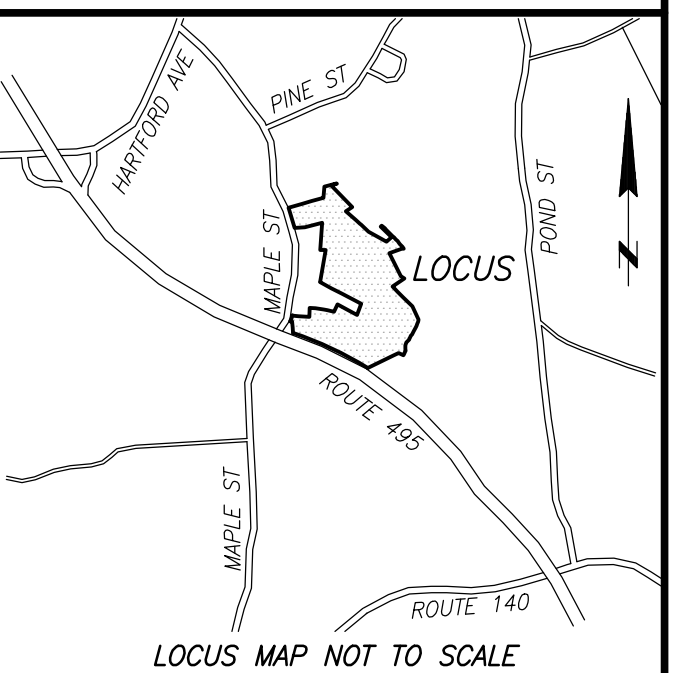
BOSTON HEADQUARTERS
152 HAMPDEN STREET
BOSTON, MA 02119

WORCESTER OFFICE
27 MECHANIC STREET
WORCESTER, MA 01608

(617)357-9740
www.feldmangeo.com



RESERVED FOR REGISTRY USE



LOCUS MAP NOT TO SCALE

ADDRESS:

MAPLEGATE
COUNTRY CLUB
FRANKLIN, MASS.

RESEARCH: SPP	FIELD CHIEF: EC
PROJ MGR: TRA	APPROVED: TRA
CALC: SPP	CADD: SPP
FIELD CHK:	CRD FILE: 220001

REVISIONS:

DRAWING NAME:

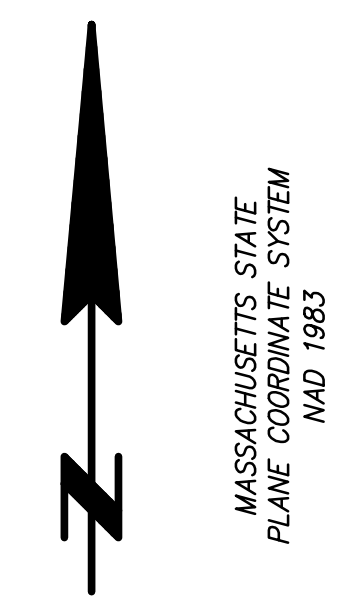
PLAN OF LAND

DATE: APRIL 11, 2022

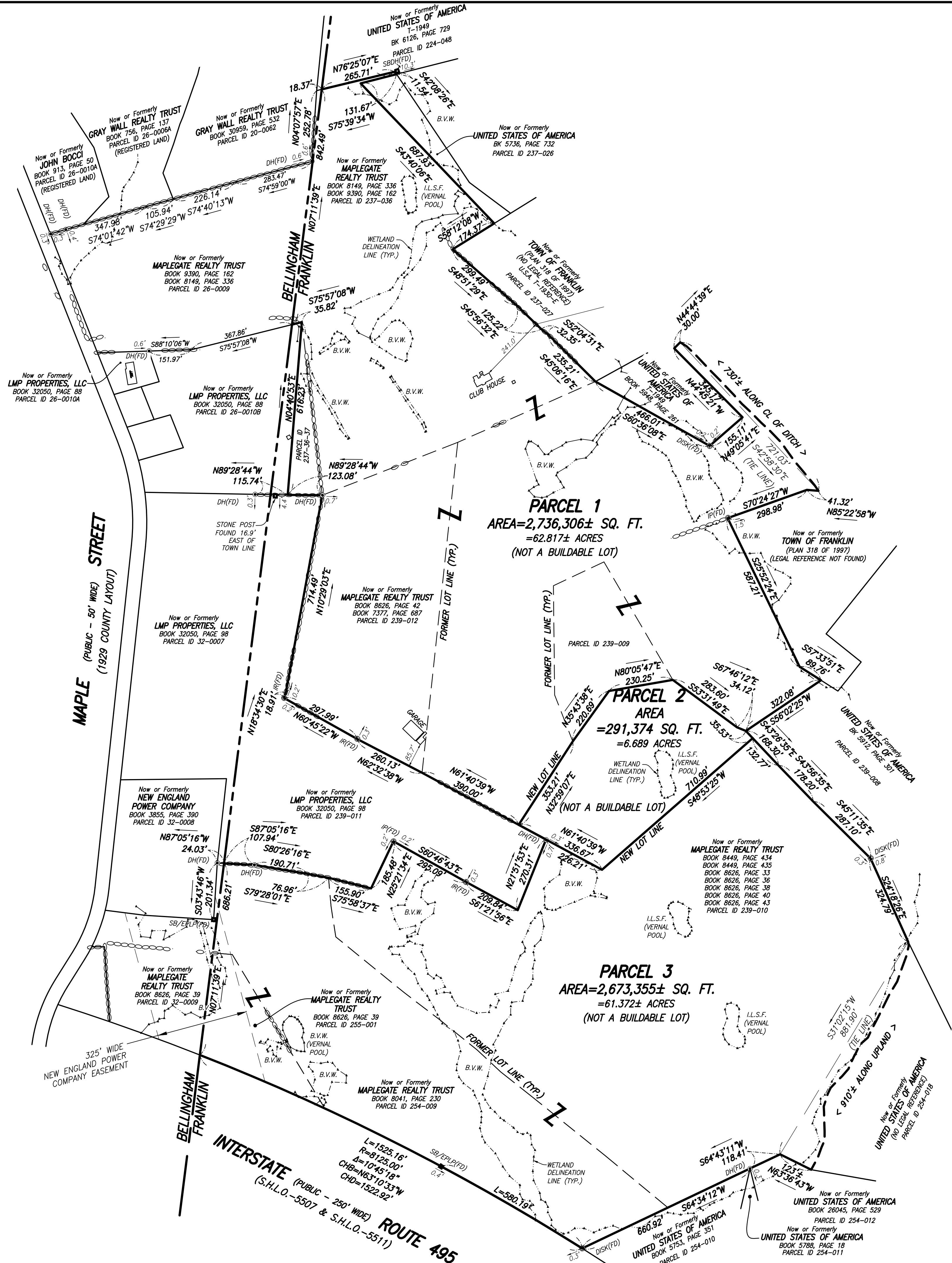


SCALE: 1"=200'

SHEET NO. 1 OF 1



MASSACHUSETTS STATE
PLANE COORDINATE SYSTEM
NAD 1983



RECORD OWNER
MAPLEGATE REALTY TRUST
160 MAPLE STREET
BELLINGHAM, MA 02019

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.
I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

TIMOTHY R. AGURKIS, PLS DATE
(MA# 52782)
TAGURKIS@FELDMANGEO.COM

- LEGEND**
- BOUND FOUND WITH DRILL HOLE
 - ⊙ IRON ROD
 - Δ DELTA ANGLE
 - B.V.W. BORDERING VEGETATED WETLAND
 - I.L.S.F. INTERMITTENT LAND SUBJECT TO FLOODING
 - DH DRILL HOLE
 - EPLP ESCUTCHEON PIN/LEAD PLUG
 - SB DH STONE BOUND DRILL HOLE
 - CB DH CONC BOUND DRILL HOLE
 - IP IRON PIPE
 - IR IRON ROD
 - FD FOUND
 - S.H.L.O. STATE HIGHWAY LAYOUT
 - L ARC LENGTH
 - R RADIUS
 - SQ. FT. SQUARE FEET
 - CHB CHORD BEARING
 - CHD CHORD DISTANCE
 - WETLAND DELINEATION LINE
 - STONE WALL

- ZONING CLASSIFICATION**
ZONING DISTRICT: INDUSTRIAL
OVERLAY: SIGN OVERLAY
- | | |
|--|----------------|
| MINIMUM CONTINUOUS FRONTAGE | 175 FEET |
| MINIMUM LOT SIZE | 40,000 SQ. FT. |
| MINIMUM LOT DEPTH | 200 |
| MINIMUM LOT WIDTH* | 157.5 FEET |
| MINIMUM FRONT YARD | 40 FEET |
| MINIMUM SIDE YARD | 30 FEET |
| MINIMUM REAR YARD | 30 FEET |
| MAXIMUM HEIGHT | 3 STORIES |
| MAXIMUM IMPERVIOUS COVERAGE OF EXISTING UPLAND | 70/80 |
- * SEE SECTION 185 ATTACHMENT 9 OF THE TOWN OF FRANKLIN ZONING ORDINANCE.

APPROVAL UNDER SUBDIVISION CONTROL LAW NOT REQUIRED.
TOWN OF FRANKLIN PLANNING BOARD

DATE: _____

PLANNING BOARD ENDORSEMENT IS NOT A DETERMINATION AS TO CONFORMANCE WITH THE ZONING BYLAW.

Town of Franklin

355 East Central Street
Franklin, Massachusetts 02038-1352



Phone: (508) 520-4907
www.franklinma.gov

DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

MEMORANDUM

DATE: December 29, 2022
TO: Franklin Planning Board
FROM: Department of Planning and Community Development
RE: 700 Union Street
Site Plan

General:

1. The Planning Board approved the Special Permit and Site Plan Modifications on November 21, 2022.
2. The Applicant has submitted final plans with the Certificate of vote on the front page.
3. The following Special Conditions were on the Certificate of Vote:
 - a. Provide long-term Prevention Plan or include as of the operation & Maintenance Plan.
 - b. Applicant is to provide the necessary agreements for the site utilizing the existing sewer and drain easements.
 - c. A revised Stormwater Pollution Plan is to be submitted prior to the start of construction.
 - d. A test pit is to be completed in the footprint of the new underground infiltration system prior to the start of construction to confirm soil suitability.
4. DPCD recommends endorsing the Site Plans.

STONEFIELD

December 27, 2022

Amy Love – Town Planner
Franklin Planning Board
355 East Central Street
Franklin, MA 02038

**RE: Primrose Schools Franchising, Co.
Map 303, Parcels 46 & 47
700-712 Union Street
Town of Franklin, Norfolk County, Massachusetts**

Dear Ms. Love,

Our office is submitting documents on behalf of the Applicant who is now submitting site plans for endorsement from the board. The site plans included as part of this submission have been revised to address the comments contained within the latest Board Professional's review letter and for compliance with the conditions and special conditions noted within the Board Certificate of Vote (Approval), dated November 22, 2022. Please find the following items enclosed for endorsement:

ITEM DESCRIPTION	DATED	COPIES	PREPARED BY
Site Plan Set (24" x 36")	12-22-2022	2	Stonefield Engineering & Design
Site Plan Set (11" x 17")	12-22-2022	5	Stonefield Engineering & Design
Stormwater Pollution Prevention Plan	12-22-2022	2	Stonefield Engineering & Design
Stormwater Management & Maintenance Report	12-22-2022	2	Stonefield Engineering & Design

The following is an itemized response to the comments contained within the BETA Group Inc. Site Plan and Special Permit Review Letter dated November 16, 2022. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:

Additional Design Comments:

SW36 – Provide Map showing the location of all stormwater BMP's in each treatment train along with the discharge point.

STONEFIELD: Plan sheets inclusive of the locations of all stormwater BMP's are provided in the appendices to the SWPPP included as part of this submission.

BETA2: Consider providing simplified stormwater BMP map for ease of operation and maintenance. The plan sheets include text and detail that may not be necessary for field crews performing maintenance. Issue resolved.

Stonefield Response: The SWPPP included as part of this revision includes a simplified BMP location map under Appendix-A.

STONEFIELDENG.COM

120 WASHINGTON STREET, SALEM, MA 01970 617.203.2076 T.201.340.4472 F.

SW41 – BETA3: Review the construction detail design of the above-ground basin outlet control structure (OS-3) on Sheet C-14. Correct the vertical reference between the bottom of the basin and the outlet pipe. In addition, show the low-flow orifice on the detail and provide a design detail for this inlet which documents that it will act as an emergency dewatering device only.

BETA4: Low level outlet has been removed from the detail. However, in accordance with the stormwater handbook, emergency dewatering capabilities are required and should be incorporated into the design of the outlet control structure.

Stonefield Response: Emergency dewatering functionality has been incorporated for the aboveground infiltration basin and the associated Outlet Control Structure OS-3. The proposed emergency dewatering consists of a 6” perforated pipe connected to proposed Outlet Control Structure OS-3 that can be unplugged for basin drawdown when needed in emergency situations. Please refer to the additional detailing on Stormwater Management Plan (Sheet C-6) and the additional detail for the emergency dewatering structure on Above-Ground Outlet Structure Detail – Detail 8, Sheet C-14.

SW44 – BETA3: BETA recommends a condition requiring a test pit to be completed in the footprint of the new underground infiltration system prior to the start of construction to confirm soil suitability.

BETA4: BETA defers to the Town regarding the proposed condition.

Stonefield Response: The Applicant is agreeable to conduct this test pit prior to construction and will provide to the results to the board and the board’s professionals upon receipt.

SW45 – BETA4: Because of the sidewalk extension up to Union Street from the front of the building, this impervious surface will require pretreatment prior to discharge into infiltration system B-2. BETA recommends that a hooded deep sump be provided at either DMH M-103 or M-104 to provide the pretreatment required for the discharge from the yard inlets into the subsurface infiltration system B-2. BETA notes the Board may consider including this minor revision as a condition of approval.

Stonefield Response: The site plans have been revised to specify that M-103 shall include a 4’ deep sump and hood. This ensures all the runoff from the sidewalk will receive pretreatment prior to entering the subsurface infiltration basin. Please refer to the callouts on Stormwater Management Plan (Sheet C-6) and the additional notation on Storm Manhole Detail – Detail 1, Sheet C-14.

The following is an itemized response to the special conditions contained within the Planning Board Certificate of Vote, dated November 22, 2022:

1. Provide long-term Prevention Plan or include as part of the Operation & Maintenance Plan.

Conditions for a long-term prevention plan are provided within the Stormwater Management & Maintenance Report included as part of this submission. These conditions addressed are aligned with the conditions outlined in Volume I, Chapter I of the Massachusetts Stormwater Management handbook as well as typical industry engineering practices.

2. Applicant is to provide the necessary agreements for the site utilizing the existing sewer and drain easements.

Applicant has provided this previously.

3. A revised Stormwater Pollution Plan is to be submitted prior to the start of construction.

A revised Stormwater Pollution Prevention Plan is provided as part of this submission. The provided SWPPP follows the EPA’s template and will be amended as needed in future if additional documentation is available.

4. *A test pit is to be completed in the footprint of the new underground infiltration system prior to the start of construction to confirm soil suitability.*

The Applicant has agreed to conduct a test pit in the area of the new underground infiltration basin prior to the start of construction to confirm soil suitability. The results will be forwarded to the board for review upon receipt.

Should you have any questions regarding the submission items or responses above please do not hesitate to contact our office.

Best Regards,



Joshua Kline, PE
Stonefield Engineering and Design, LLC

Via FedEx