

DESIGN REVIEW COMMISSION

AGENDA

July 12, 2022

7:00 PM

Virtual Meeting

Due to the growing concerns regarding the COVID-19 virus, we will be conducting a remote/virtual Design Review Commission Meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number (Cell phone or Landline Required) OR citizens can participate by copying the link (Phone, Computer, or Tablet required). Please click on <https://us02web.zoom.us/j/83884571514> or call on your phone at 1-929-205-6099, meeting ID is 83884571514

7:05 PM Franklin Ford – 175 East Central Street, 9 Chestnut Street
Add additional service bays and parking – Review Landscaping and Lighting plans

7:10 PM NETA, Franklin – 162 Grove Street
Update existing sign 8, adding additional one

General Matters:

Approval of Minutes: June 28, 2022

COMMENTS: These listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law. This agenda is subject to change. Last updated: 7-7-2022
Next meeting is 7/26/2022

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Franklin Ford

Property Address 175 E Central St ; 9 Chestnut St

Assessors' Map # 285 Parcel # 90:92

Zoning District (select applicable zone): C II

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Franklin Ford, LLC

Address: 175 E. Central St.
Franklin, MA 02038

Telephone Number: 508 735 8852

Contact Person: Ted Cannon

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Same Property Owner: Herbert ; Michael Catalano
Address: _____ 9 Chestnut 9 Chestnut St.
_____ Franklin, MA 02038

All of the information is submitted according to the best of my knowledge


Signature

5/20/22
Date Submitted

Print Name: Edward V. Cannon, J.
Atty for Franklin Ford, LLC

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: United Consultants, Inc.
Contact Person: Rick Goodreau
Address 850 Franklin St., Ste. 11D, Wrentham, MA 02093
Telephone Number: 508 384-0560

b. Architect/Engineer (when applicable)

Business Name: _____
Contact Person: _____
Address _____
Telephone Number: _____

E) Work Summary

Summary of work to be done: Add additional service bays
and parking.

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements.

The addition will be consistent with the existing structure.

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area.

The proportions and relationships between doors and windows will be consistent with the existing structure.

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible.

There will be no change to existing open space in the area. The home at 9 Chestnut St will be removed.

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings.

The roof design & pitch of the addition will be consistent with the existing building.

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings.

The scale of the addition will be the same as the existing building but the overall building size will increase.

6. **Facade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context:

The facade of the addition will be similar to the facade of the existing building.

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area.

The addition will be consistent with the existing structure.

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties.

The advertising features of the business will not detract from the use and enjoyment of surrounding properties.

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable.

None.

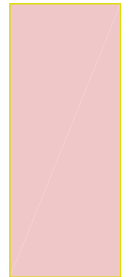
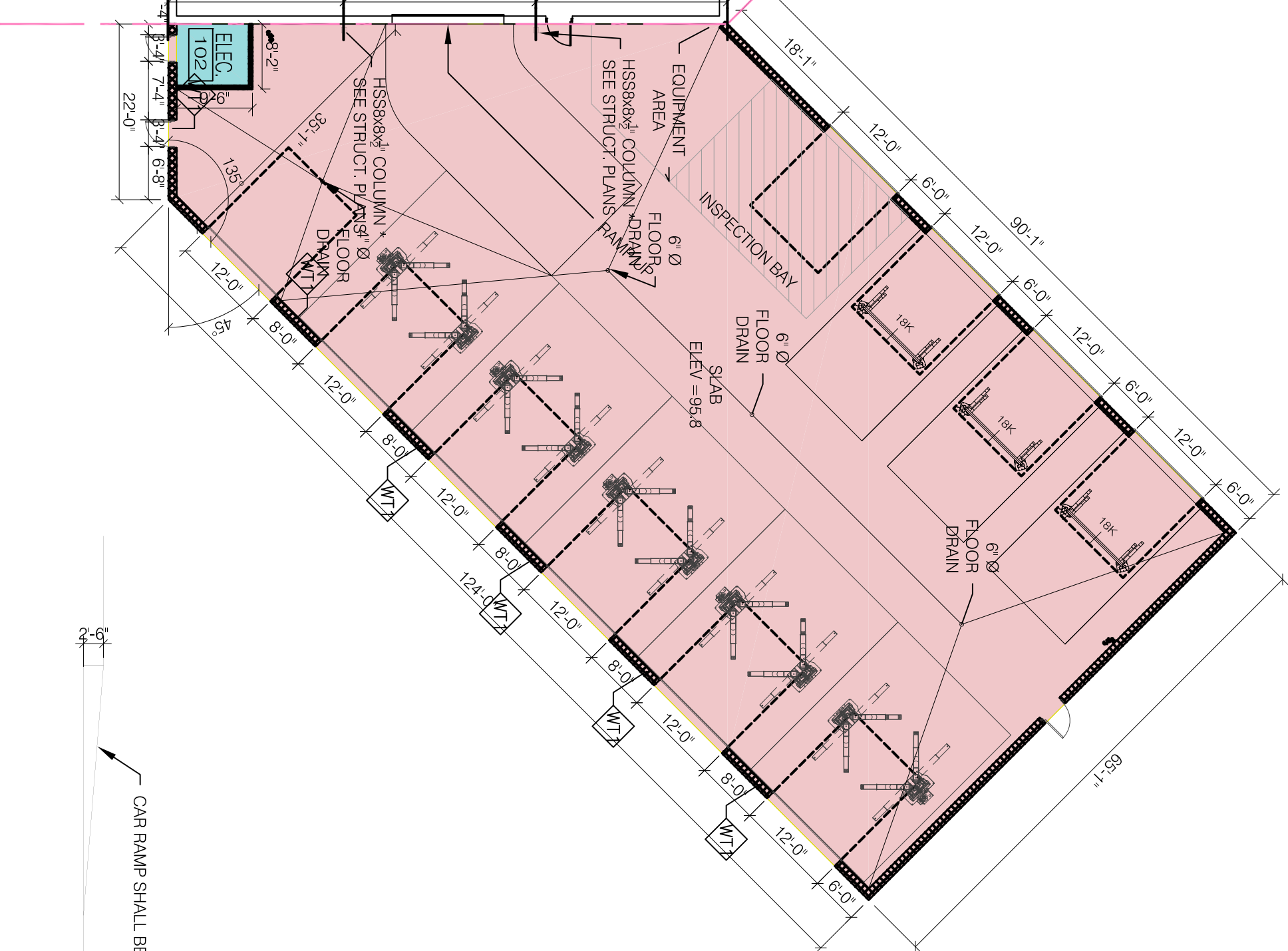
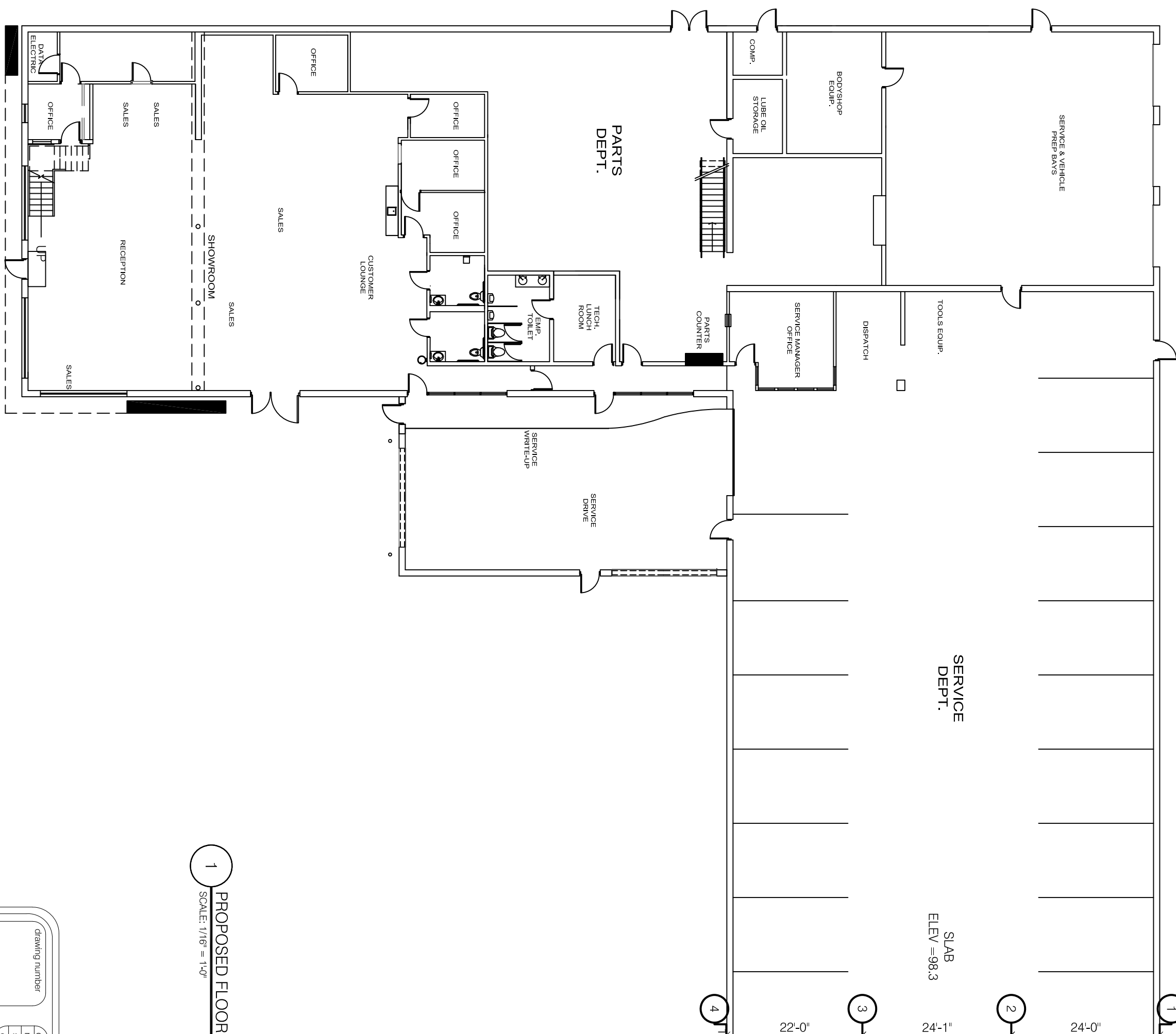
10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements.

The ~~additions~~ addition will include green building principles and technology.

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.

The landscaping will be tastefully completed so as to enhance the intersection.

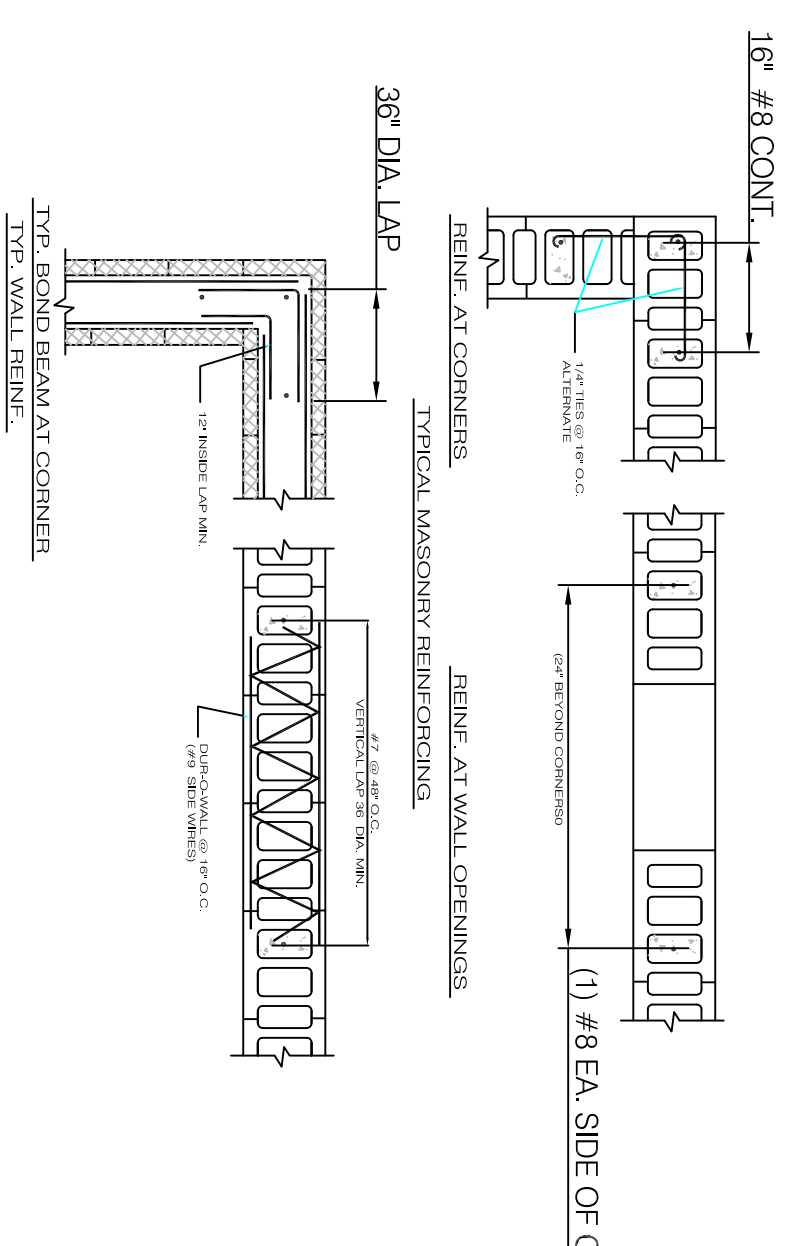
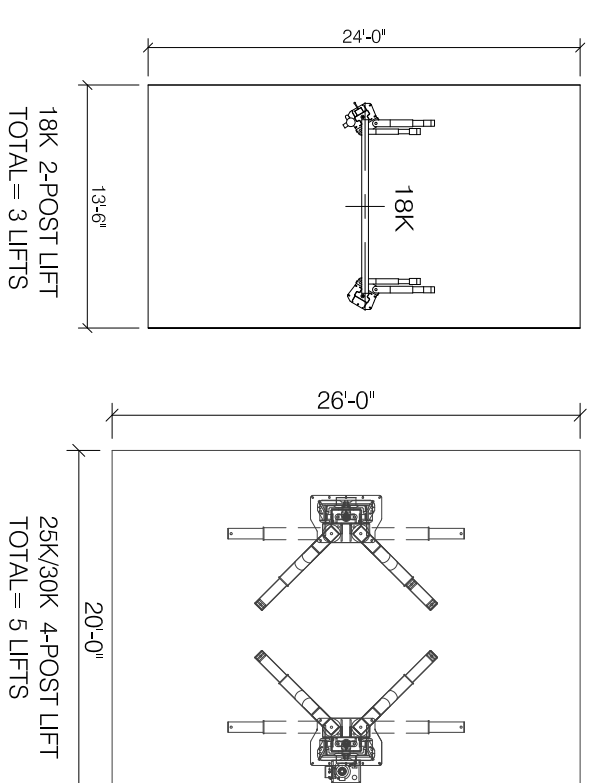
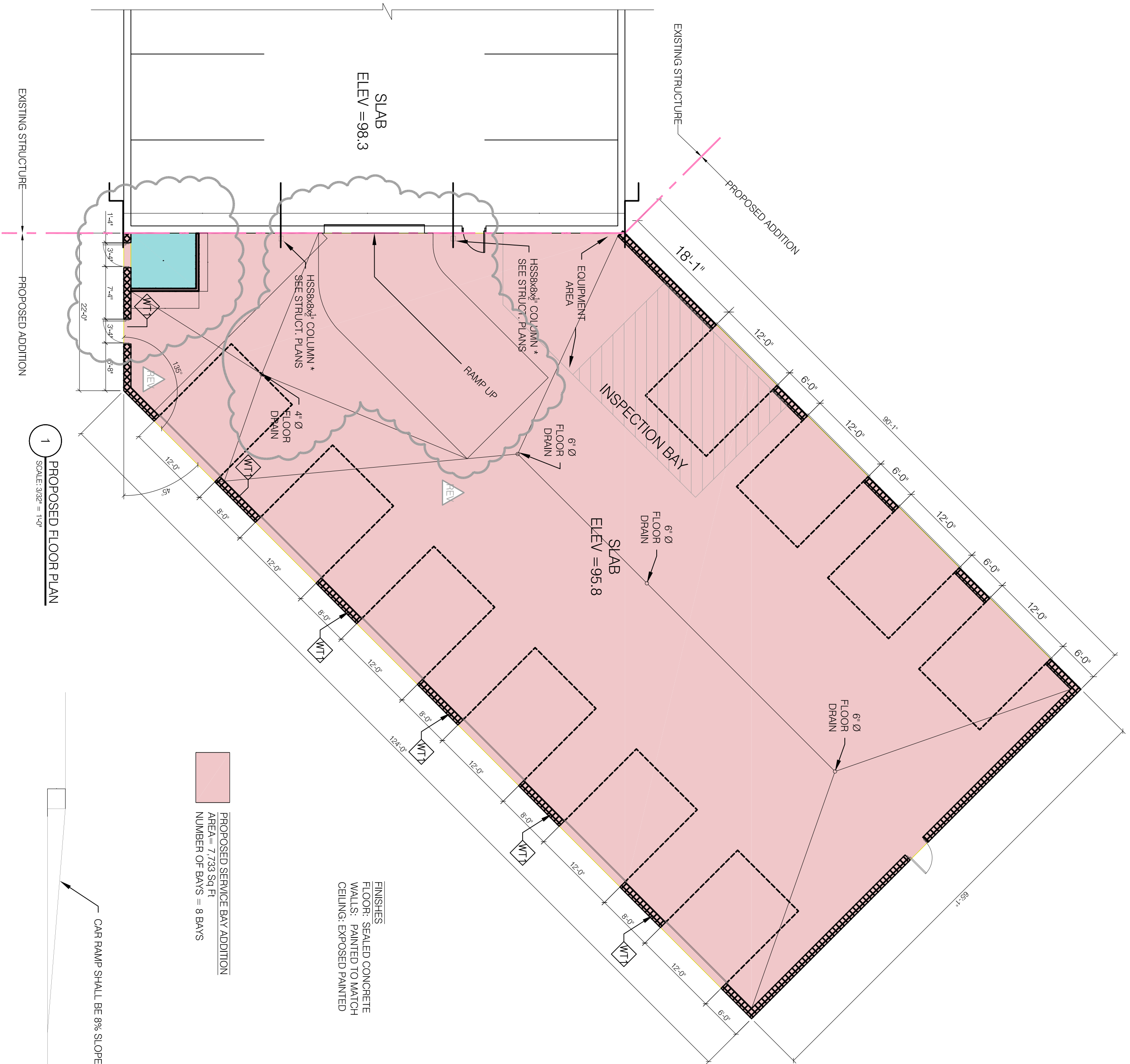
SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.



PROPOSED SERVICE BAY ADDITION
 AREA = 7,733 Sq Ft
 NUMBER OF BAYS = 8 BAYS

1 PROPOSED FLOOR PLAN
 SCALE: 1/16" = 1'-0"

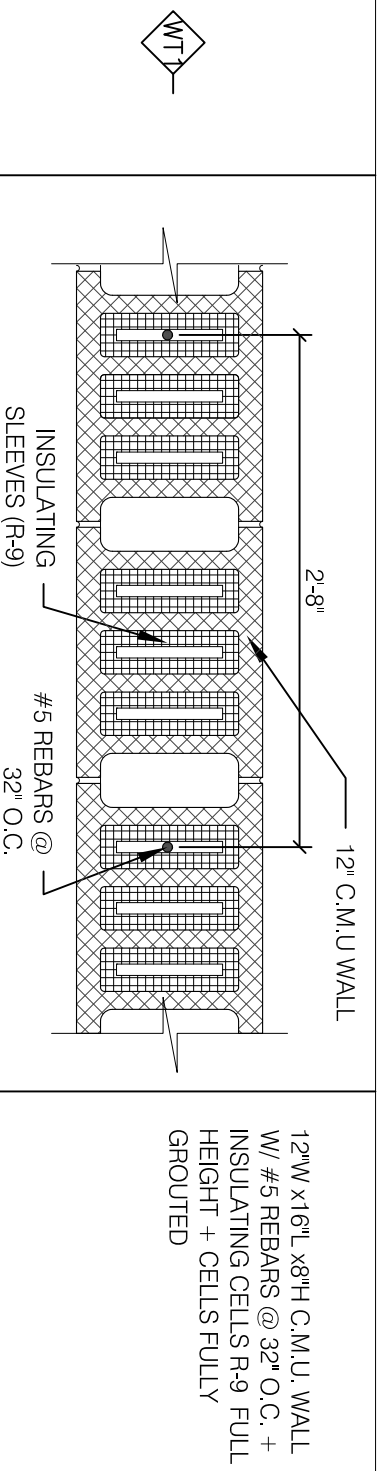
drawing number	date: 02-26-22	THIS DRAWING HAS BEEN PREPARED FOR THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD FROM OR WITHOUT WRITTEN AUTHORIZATION HM ARCHITECTURAL STUDIO	
A102	revision: AS NOTED owner: H&M ARCH progress bid only permit only construction	136 Old Colony Av Unit 24F Quincy, MA 02170 PHONE: 978-526-4333 • EMAIL: hughes@hmv.com	
PROPOSED FLOOR PLAN		PROPOSED NEW ADDITION 139 FRANKLIN FORD FRANKLIN, MA	



REV: 05-05-22
* CAR RAMP ADDED TO CONNECT EXISTING SLAB ELEV. @ 98.3 WITH NEW SLAB ELEV @ 95.8
* NEW ELECTRIC ROOM LOCATION FOR ENTIRE FACILITY

GENERAL NOTES:

1. ALL WORK TO CONFORM W/ THE FOLLOWING CODES:
 - 780 CMR MA BUILDING CODE 9th EDITION
 - 527 CMR MA FIRE PREVENTION AND ELECTRICAL REGULATIONS
 - 521 CMR MA ACCESSIBILITY REGULATIONS
 - 248 CMR MA PLUMBING REGULATIONS
 - THE TOWN OF FRANKLIN, MA ZONING BY-LAW REGULATIONS
 - ALL ADDITIONAL LOCAL & STATE LAWS REGULATING THE PROPER CONSTRUCTION STANDARDS & EXECUTION OF THIS PROJECT
2. GENERAL CONTRACTOR TO VERIFY IN FIELD ALL EXISTING CONDITIONS, DIMENSIONS & COORDINATE WITH ARCHITECTURAL PLANS
3. ALL DEMOLITION EXECUTION & DISPOSAL SHALL BE DONE ACCORDING TO LOCAL PERMITS & LAWS FOR DEBRIS REMOVAL
4. EXECUTION SHALL BE DONE MEETING ALL REQUIRED SAFETY STANDARDS ESTABLISHED BY STATE & LOCAL LAWS

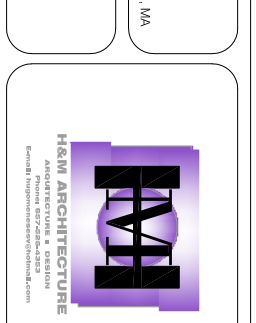


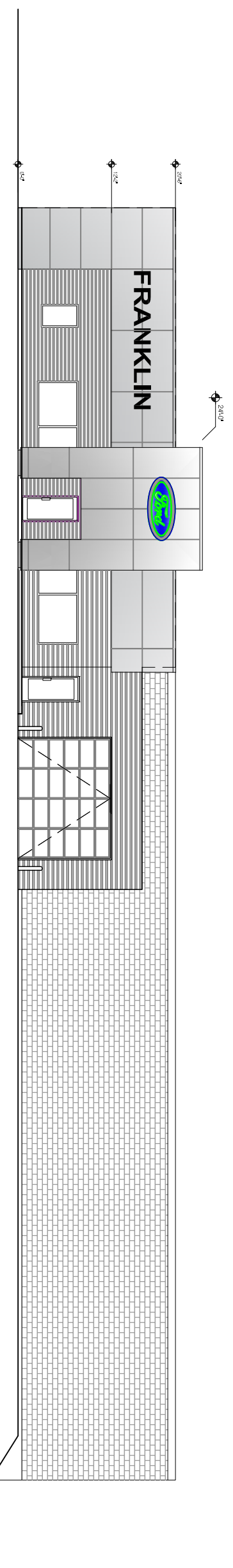
drawing number	date: 03-26-22
A102.2	revision: 05-05-22
	scale: AS NOTED
	owner: HW ARCH
	progress: H&M ARCH
	permit: cdf
	construction: sds

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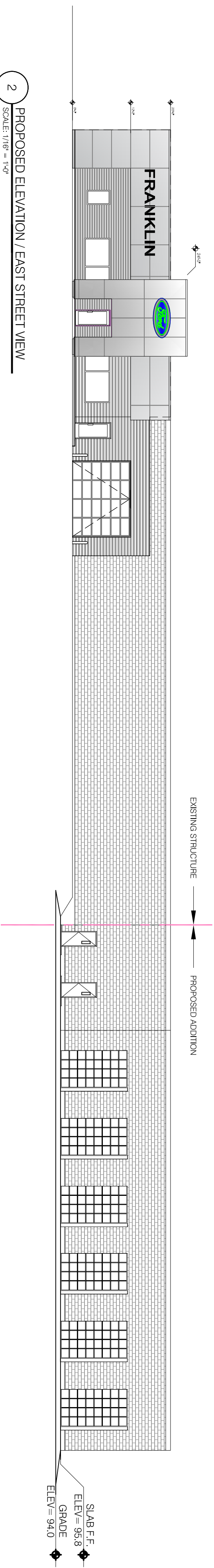
HW ARCHITECTURE
136 Old Colony Av
Quincy, MA 02170
PHONE: 978-586-4353 • EMAIL: hup@hwarch.com

PROPOSED NEW ADDITION FOR
FRANKLIN FORD
FRANKLIN, MA
175 EAST CENTRAL STREET
PROPOSED FLOOR PLAN

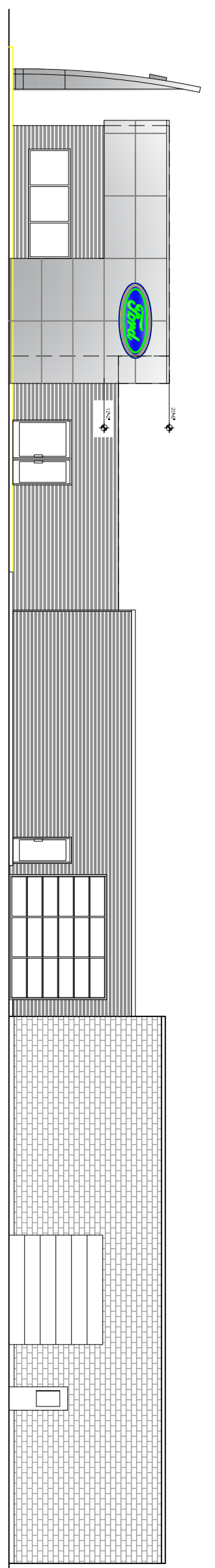




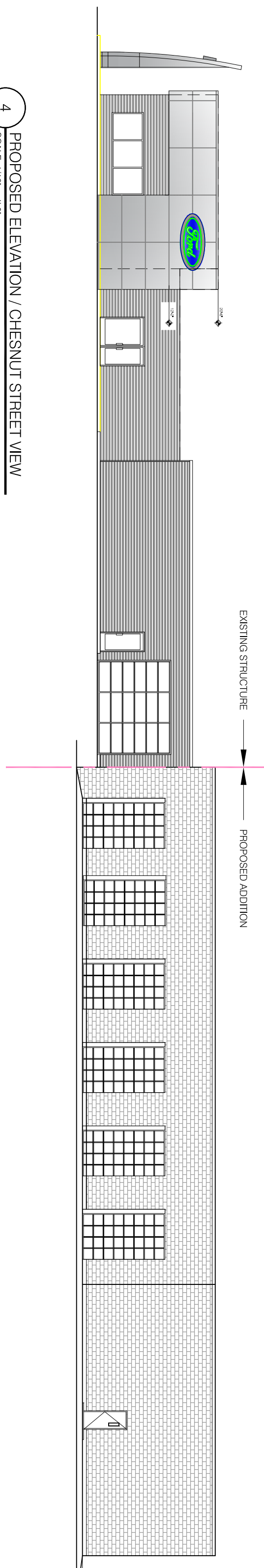
1 EXISTING ELEVATION / EAST STREET
SCALE: 1/16" = 1'-0"



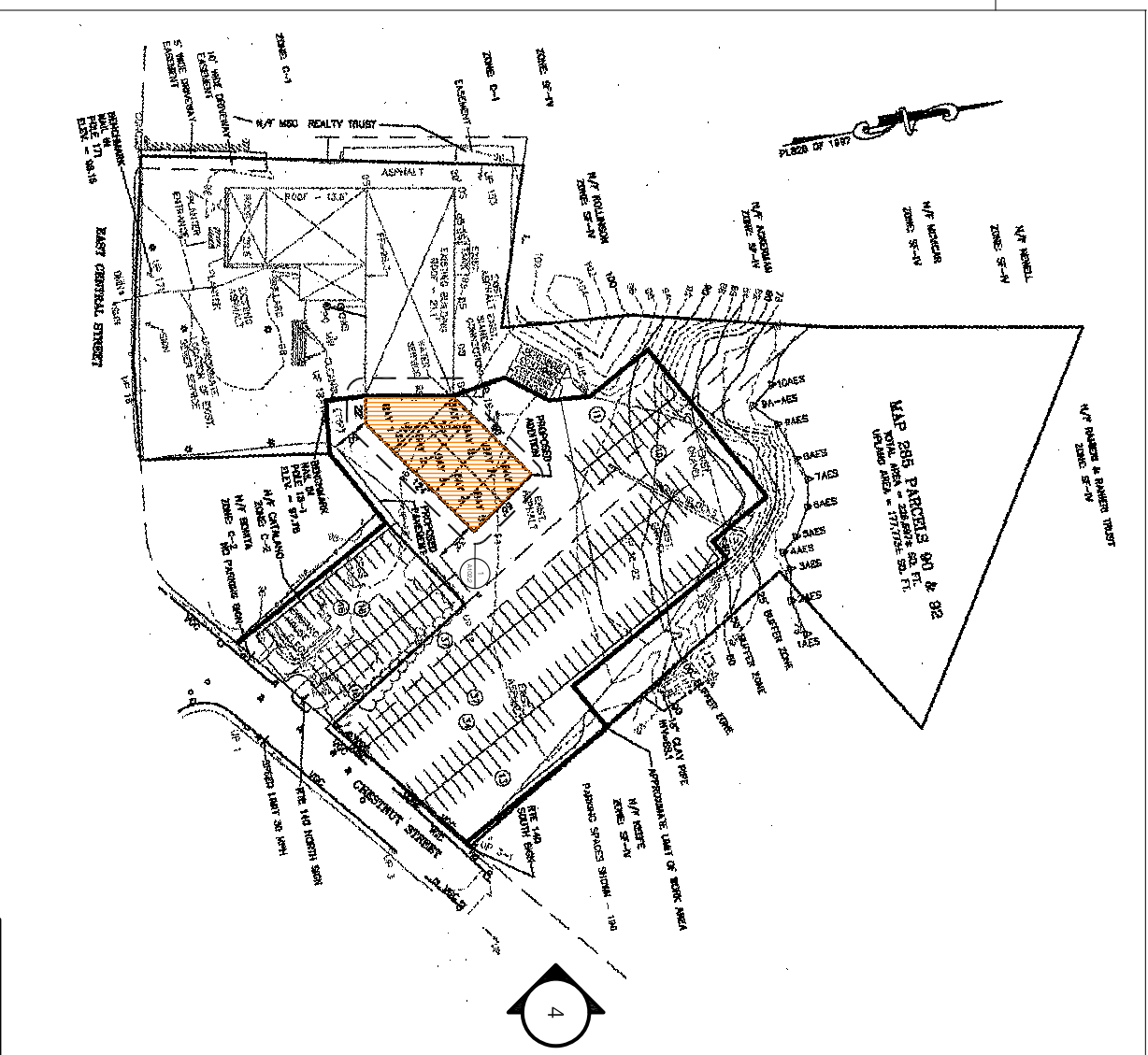
2 PROPOSED ELEVATION / EAST STREET VIEW
SCALE: 1/16" = 1'-0"



3 EXISTING ELEVATION / CHESTNUT STREET
SCALE: 1/16" = 1'-0"



4 PROPOSED ELEVATION / CHESTNUT STREET VIEW
SCALE: 1/16" = 1'-0"



2

4

KEYPLAN

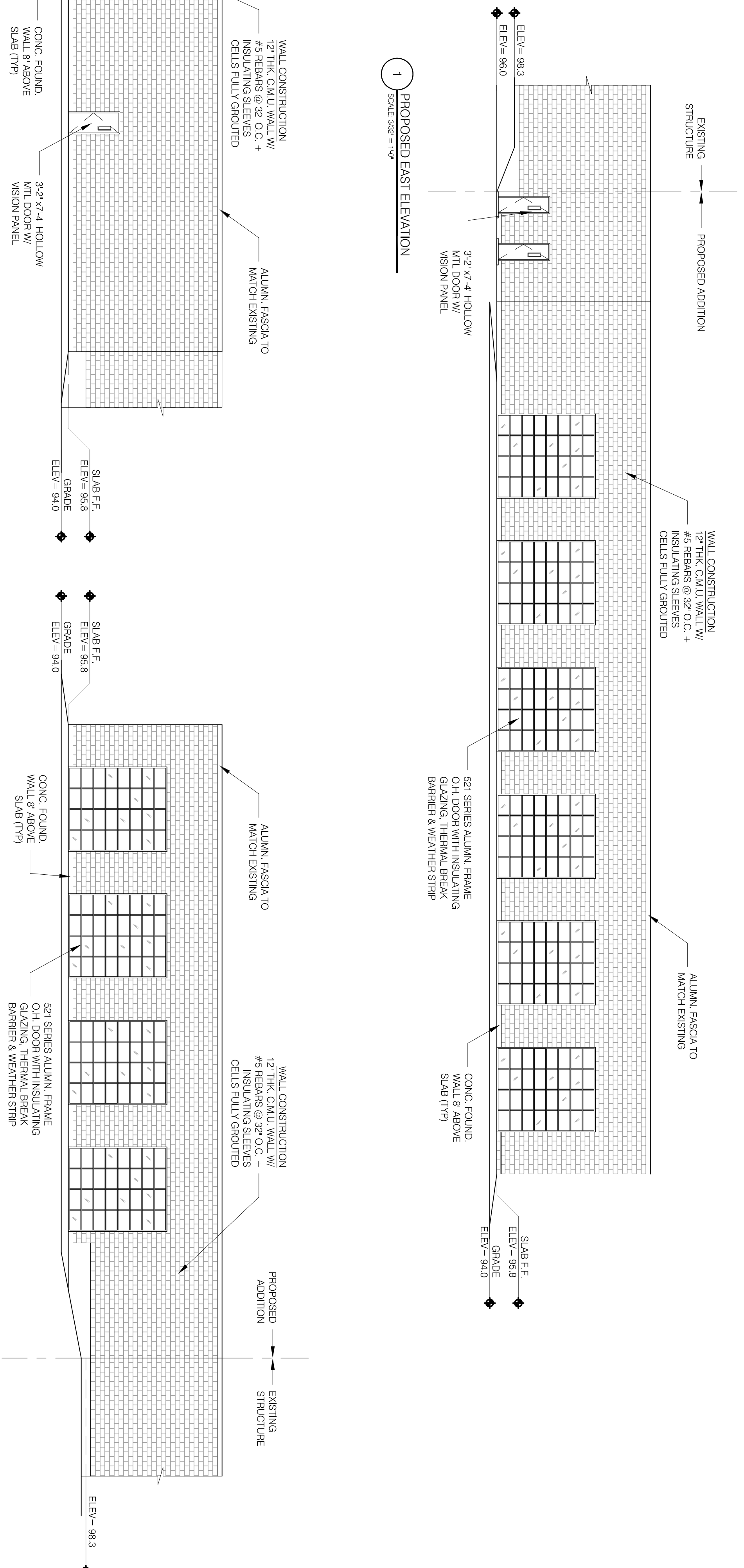
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A103.1	revision: AS NOTED
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owner: H&M ARCH	designer: H&M ARCH
progress: 100%	date: 02-26-22
permit: 04/11/22	date: 02-26-22
construction: 04/11/22	date: 02-26-22

THIS DRAWING HAS BEEN PREPARED FOR THE ARCHITECTURAL RECORD AND ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD WITHOUT WRITTEN AUTHORIZATION FROM ARCHITECTURAL STUDIO

H&M ARCHITECTURE
136 Old Colony Av
Unit 24F
Quincy, MA 02170
PHONE: 857-556-4333 • EMAIL: hughes@h&march.com

PROPOSED NEW ADDITION FOR
FRANKLIN FORD
FRANKLIN, MA
ELEVATIONS
EXISTING & PROPOSED





Drawing number	DATE: 02-26-22
A103.2	REVISION: AS NOTED
OWNER: H&M ARCH	SCALE: 3/32" = 1'-0"
DESIGNER: H&M ARCH	DATE: 02-26-22
DATE: 02-26-22	DATE: 02-26-22
DATE: 02-26-22	DATE: 02-26-22
DATE: 02-26-22	DATE: 02-26-22

THIS DRAWING HAS BEEN PREPARED FOR THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD WITHOUT WRITTEN ARCHITECTURAL STUDIO

H&M ARCHITECTURE
136 Old Colony Av
Quincy, MA 02170
PHONE: 978-526-4333 • EMAIL: hup@hmvusa.com

PROPOSED NEW ADDITION 139 FRANKLIN ST
FRANKLIN FORD
FRANKLIN, MA

PROPOSED ELEVATIONS

H&M ARCHITECTURE
HERM ARCHITECTURE
HERM ARCHITECTURE

&	AND	HOR.	HORIZONTAL
@	AT	HT.	HEIGHT
C	CENTERLINE	HM.	HOLLOW METAL
ACOUS.	ACOUSTICAL	I.D.	INSIDE DIAMETER
ADJ.	ADJACENT	I.G.	INSULATED GLASS
A.F.F.	ABOVE FINISH FLOOR	INSUL.	INSULATION
A.F.G.	ABOVE FINISH GRADE	INT.	INTERIOR
AL.	ALUMINUM	LAM.	LAMINATE
APPROX.	APPROXIMATE	LAV.	LAVATORY
ARCH.	ARCHITECTURAL	LT.	LIGHT
BD.	BOARD	K.E.C.	KITCHEN EQUIPMENT
BLDG.	BUILDING	MAX.	CONTRACTOR
BK.	BLOCK	M.C.	MAXIMUM
BLKG.	BLOCKING	MECH.	MECHANICAL CONTRACTOR
BM.	BEAM	M.E.P.	MECHANICAL
B.O.	BOTTOM OF	MFR.	MECHANICAL ELECTRICAL
C.B.	CATCH BASIN	MGR.	PLUMBING
CEM.	CEMENT	MIN.	MANUFACTURER
CER.	CERAMIC	MISC.	MANAGER
CL.	CLOSET	MTD.	MINIMUM
CLR.	CLEAR	MTL.	MISCELLANEOUS
CLG.	CEILING	N.I.C.	MOUNTED
COL.	COLUMN	N.I.K.E.C.	METAL
CONC.	CONCRETE	N.T.S.	NOT IN CONTRACT
CONN.	CONNECTION	O.C.	NOT IN KITCHEN EQUIP.
CONST.	CONSTRUCTION	O.D.	CONTRACT
CONT.	CONTINUOUS	OPP.	NOT TO SCALE
CONTR.	CONTRACTOR	P.C.	ON CENTER
CNTR.	COUNTER	PL.	OUTSIDE DIAMETER
CTR.	CENTER	PLAM.	OPPOSITE
D.F.	DOUGLAS FIR	PLAS.	PLUMBING CONTRACTOR
DBL.	DOUBLE	PLYWD.	PLATE
DEPT.	DEPARTMENT	PR.	PLASTIC LAMINATE
DET.	DETAIL	P.T.	PLASTER
DIA.	DIAMETER	PTD.	PLYWOOD
DIM.	DIMENSION	R.	PAIR
DISP.	DISPENSER	R.D.	PRESSURE TREATED
DN.	DOWN	REF.	PAINTED
D.S.	DOWN SPOUT	RM.	RADIUS
DWG.	DRAWING	RWD.	ROOF DRAIN
(E)	EXISTING	R.W.L.	REFRIGERATOR
EA.	EACH	S.A.	ROOM
E.C.	ELECTRICAL CONTRACTOR	S.C.	REDWOOD
EL.	ELEVATION	SCHED.	RAINWATER LEADER
ELEC.	ELECTRICAL	SECT.	SMOKE ALARM
ELEV.	ELEVATOR	SHT.	SOLID CORE
EMER.	EMERGENCY	SIM.	SCHEDULE
ENCL.	ENCLOSURE	SPEC.	SECTION
EQ.	EQUAL	SQ.	SHEET
EOP.	EQUIPMENT	S&R	SIMILAR
EXT.	EXTERIOR	S.S.	SPECIFICATION
F.A.	FIRE ALARM	STD.	SQUARE
F.D.	FLOOR DRAIN	STL.	SHELF AND ROD
F.F.	FINISH FACE	STR.	STAINLESS STEEL
F.R.P.	FIBER REINFORCED PANEL	SUSP.	STANDARD
F.T.	FIRE TREATED	T.V.	STEEL
FDN.	FOUNDATION	T.O.	STRUCTURE
FIN. FL.	FINISH FLOOR	TRAN.	SUSPENDED
FLUOR.	FLUORESCENT	TYP.	TELEVISION
FPRF.	FIRE PROOF	U.O.N.	TOP OF
FT.	FOOT/ FEET	V.I.F.	TRANSOM
FTG.	FOOTING	VERT.	TYPICAL
GA.	GAUGE	W/	UNLESS OTHERWISE NOTED
GALV.	GALVANIZED	W.C.	VERIFY IN FIELD
G.B.	GRAB BAR	WD.	VERTICAL
G.C.	GENERAL CONTRACTOR	W/O	WITH
GL.	GLASS	W.R.	WATER CLOSET
GND.	GROUND	WT.	WOOD
GYP.	GYPNUM	WWM	WITHOUT
			WATER RESISTANT
			WEIGHT
			WELDED WIRE MESH

ABBREVIATIONS

	DOOR NUMBER		REFERENCE TO LIGHT FIXTURE
	WINDOW NUMBER		REFERENCE TO FIXTURE / FURNITURE
	REFERENCE TO FINISH		DATUM POINT
	DETAIL REFERENCE		SECTION REFERENCE
	ELEVATION REFERENCE		REVISION
	SHEET NUMBER		DIMENSION TO FACE OF
	NOTATION		ALIGN FINISH SURFACES
	DISCONTINUITY		

SYMBOLS

1. SCOPE DOCUMENTS: THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE OVERALL CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL, ELECTRICAL SYSTEMS, ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS AND SPECIFICATIONS.

2. THE FOLLOWING NOTES AND TYPICAL DETAILS APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED, AND SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. SEE ALSO NOTES, ABBREVIATIONS, DRAWING LEGENDS AND SYMBOLS, STRUCTURAL DRAWINGS.

3. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO THE REVIEW AND APPROVAL OF THE ARCHITECT.

4. THE CONTRACTOR SHALL PERFORM IN A MANNER CONFORMING TO APPLICABLE REGULATIONS, AND REQUIREMENTS OF ALL GOVERNING AGENCIES AS WELL AS STANDARD INDUSTRY PRACTICES.

5. RESPONSIBILITY: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS THAT AFFECT ANY WORK, NOTIFY THE ARCHITECT AND OWNER IN WRITING AT ONCE FOR INSTRUCTIONS TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE OWNER WITH NO RESULTING COST TO THE OWNER. SHOULD A CONFLICT OCCUR IN OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON THE CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIAL AND CONSTRUCTION METHODS INVOLVED, UNLESS A WRITTEN DECISION FROM THE ARCHITECT / OWNER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS OR UNLESS THE ORIGINAL BID IS APPROPRIATELY QUALIFIED.

6. THE CONTRACTOR SHALL CONFINE HIS/HER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS/HER WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS/HER OPERATION.

7. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.

8. PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PANELS HVAC EQUIPMENT AND ALL OTHER ITEMS REQUIRING SAME.

9. ALL MATERIALS SHALL BE HANDLED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS

10. STORAGE & DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GASES AND HAZARDOUS CHEMICALS SHALL COMPLY WITH THE UNIFORM FIRE CODE REGULATIONS.

11. NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORK DEPARTMENT.

12. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS/HER WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL UPON COMPLETION MATCH SURROUNDING SIMILAR SURFACES.

13. DIMENSIONS:
 A. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
 B. ALL DIMENSIONS SHOWN ARE TO THE CENTER OF COLUMNS AND BEAMS, FACE OF CONCRETE / CONC. WALLS, EDGE OF SLAB, FACE OF FINISH UNLESS OTHERWISE NOTED.
 C. CEILING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR OR SLAB TO THE FINISHED FACE OF D. DIMENSIONS AND ELEVATIONS ARE TO THE TOP OF CONCRETE, BLOCK OR OTHER TO THE TOP OF FLOOR COVERINGS OR ROOFING. DO NOT SCALE DRAWINGS; FOLLOW DIMENSIONS

14. THE CONTRACTOR SHALL BE RESPONSIBLE COORDINATING THE WORK OF ALL THE TRADES

15. THE BUILDING INSPECTOR SHALL BE NOTIFIED PRIOR TO START OF CONSTRUCTION.

16. THE CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.

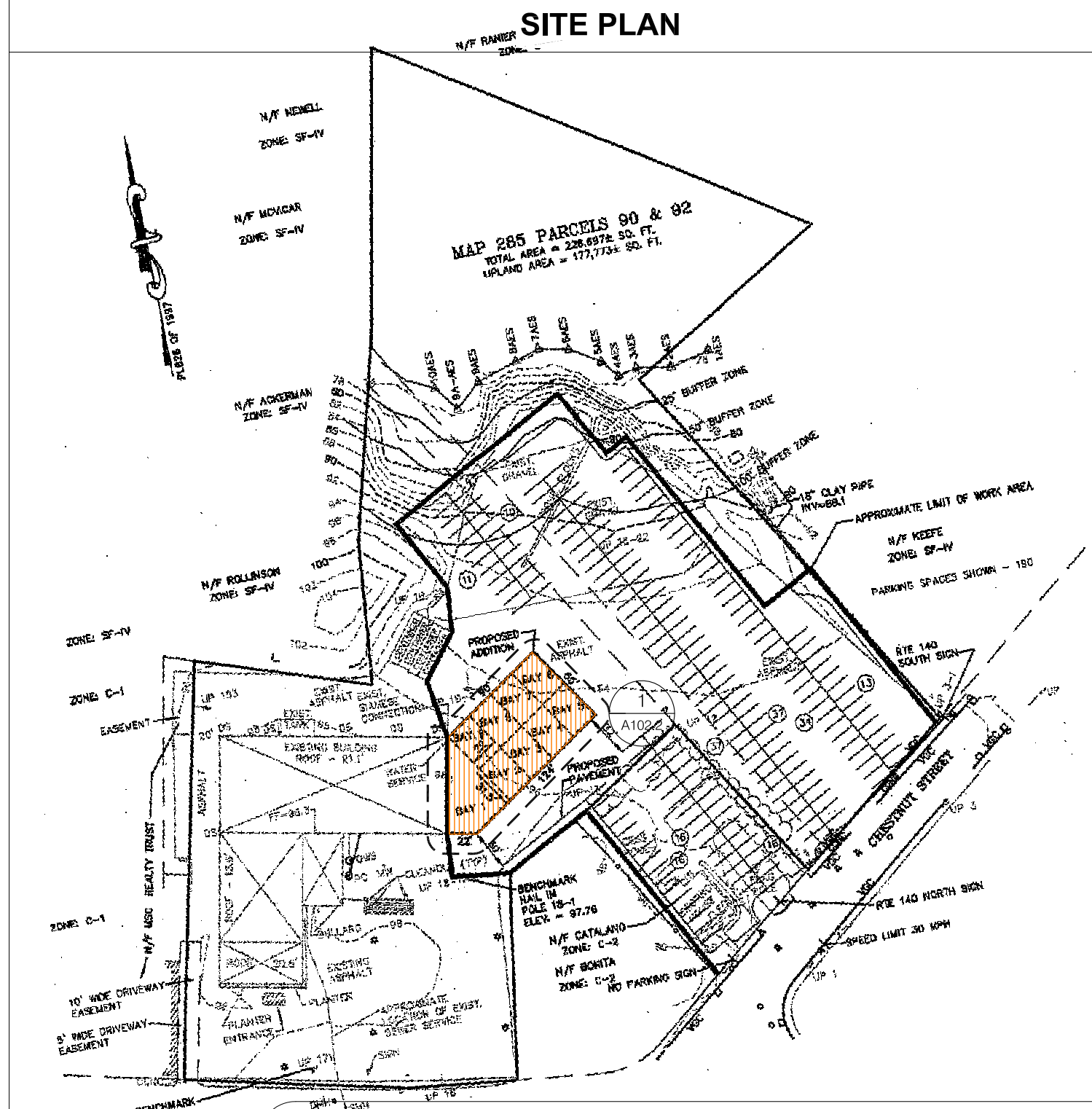
17. AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM OF 2-A-10B:C SHALL BE PROVIDED WITHIN 75 TRAVEL DISTANCE FOR EACH 6,000 SF OR PORTION THEREOF ON

PROPOSED SERVICE BAYS ADDITION FOR:
FRANKLIN FORD
 175 EAST CENTRAL STREET, FRANKLIN, MA



PROJECT INFORMATION		SHEET INDEX			
LOCATION:	175 EAST STREET, FRANKLIN, MA 0238	ARCHITECTURAL	CIVIL	M.E.P.	STRUCTURAL
LOT DIMENSIONS:	N/A	A100 TITLE PAGE			
LOT AREA:	5.20 ACRES	SP-1 EXISTING SITE PLAN			
ZONING DISTRICT:	COMMERCIAL II	SP-2 PROPOSED SITE PLAN			
OCCUPANCY GROUP:	"B" BUSINESS + "S1" VEHICLE STORAGE	A101 EXISTING FLR PLAN			
CONSTRUCTION TYPE:	2B	A102 PROPOSED FLR PLAN			
PARKING SPACES	195 SPACES TOTAL (65 NEW SPACES)	A102.1 FOUNDATION PLAN			
# OF STORIES:	SINGLE STORY + MEZZANINE	A102.2 PROPOSED FLR PLAN			
EXISTING BUILDING	19,997 Sq FT MAIN BLDG + 1,794 Sq FT MEZZ	A102.3 LIGHTING PLAN			
EXISTING AREA	21,791 Sq Ft.	A102.4 ROOF PLAN			
		A102.5 ROOF FRAMING PLAN			
		A103 ELEVATIONS			
		A104.1 SECTIONS			
		A104.2 WALL SECTIONS			

GENERAL NOTES	APPLICABLE CODES
1. GENERAL CONTRACTOR TO VERIFY IN FIELD ALL EXISTING CONDITIONS, DIMENSIONS & COORDINATE WITH ARCHITECTURAL PLANS 2. ALL DEMOLITION EXECUTION & DISPOSAL SHALL BE DONE ACCORDING TO LOCAL PERMITS & LAWS FOR DEBRIS REMOVAL 3. EXECUTION SHALL BE DONE MEETING ALL REQUIRED SAFETY STANDARDS ESTABLISHED BY STATE & LOCAL LAWS	ALL WORK TO CONFORM W/ THE FOLLOWING CODES: <ul style="list-style-type: none"> 780 CMR MA BUILDING CODE 9TH EDITION 2018 IECC ENERGY CODE 527 CMR MA FIRE PREVENTION AND ELECTRICAL REGULATIONS 521 CMR MA ACCESSIBILITY REGULATIONS 248 CMR MA PLUMBING REGULATIONS 524 CMR MA ELEVATOR REGULATIONS THE TOWN OF FRANKLIN ZONING BYLAW REGULATIONS ALL ADDITIONAL LOCAL & STATE LAWS REGULATING THE PROPER CONSTRUCTION STANDARDS & EXECUTION OF THIS PROJECT



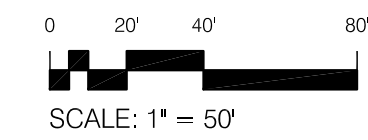
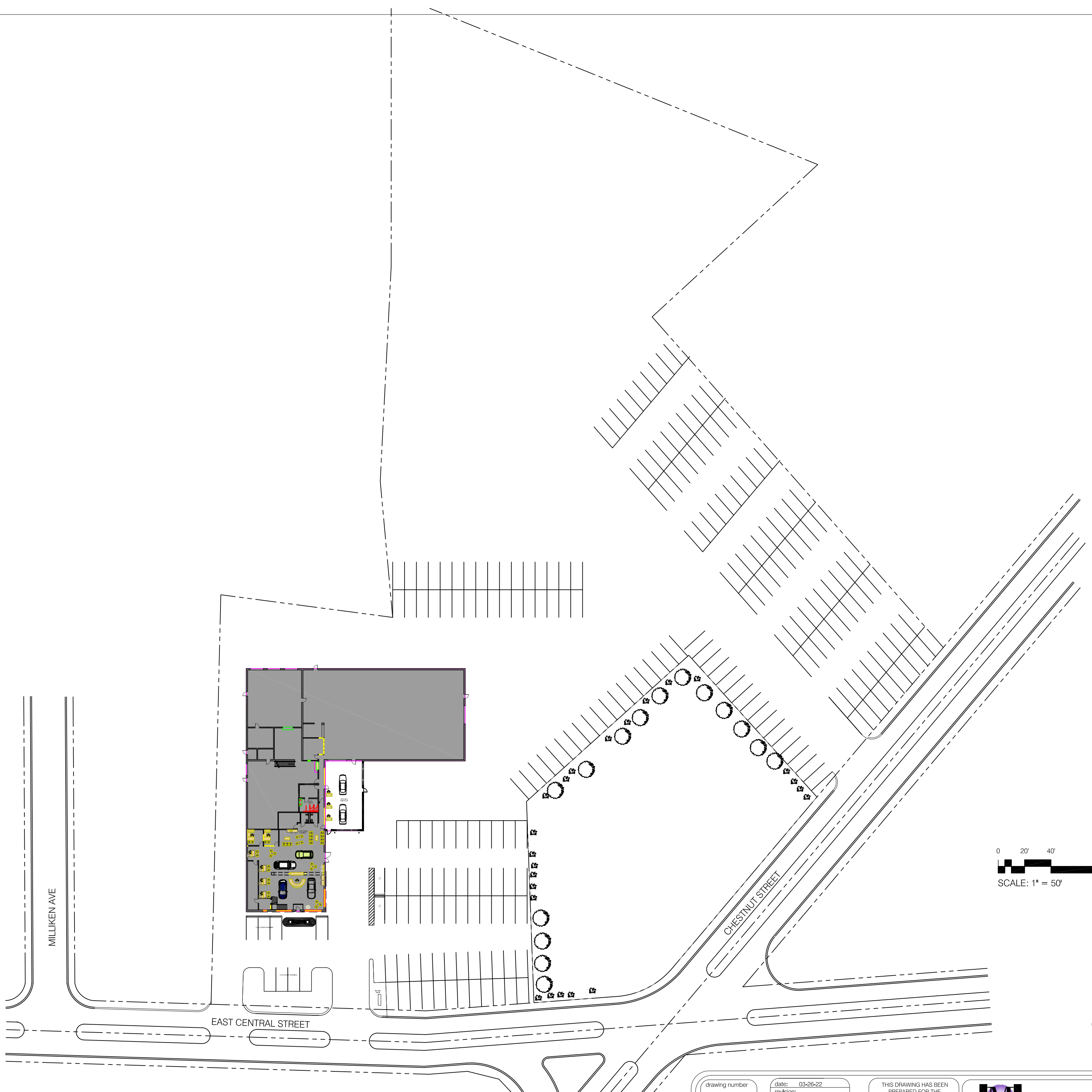
SCOPE OF WORK

PROVIDE NEW 7,733 Sq Ft SINGLE-STORY ADDITION TO EXISTING SERVICE BAYS AREA
 PROVIDE NEW VEHICLE SERVICE BAYS
 PROVIDE NEW PARKING *REFER TO CIVIL PLANS

SITE IMAGES

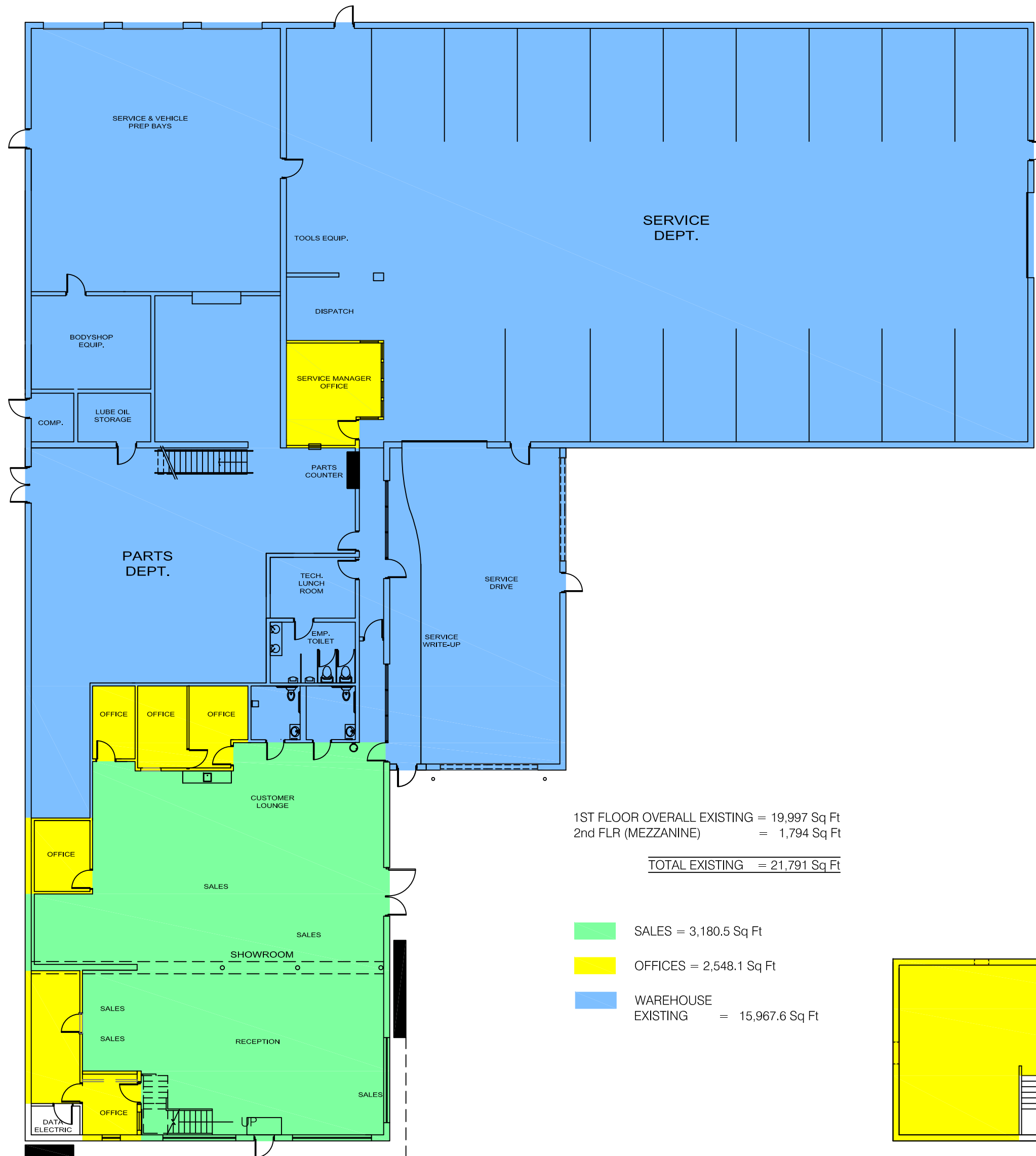


	date: 03-26-22 revision: scale: AS NOTED dwn by: H&M ARCH	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION HM ARCHITECTURAL STUDIO		PROPOSED NEW ADDITION FOR FRANKLIN FORD 175 EAST CENTRAL STREET FRANKLIN, MA
	progress: _____ date: _____ bid only: _____ permit only: _____ construction: _____			136 Old Colony Av unit 2-R Quincy, MA 02170 PHONE: 857-526-4353 • EMAIL: hugomeneesesv@hotmail.com

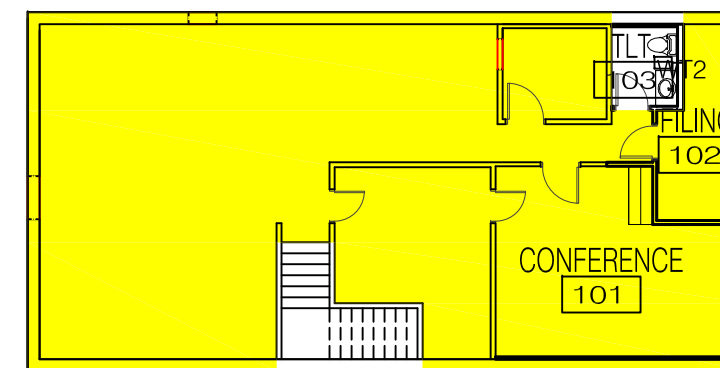


1 EXISTING SITE PLAN
SCALE: 1" = 50'

drawing number SP-1	date: 03-26-22 revision: AS NOTED dwn by: H&M ARCH	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION HM ARCHITECTURAL STUDIO	 H&M ARCHITECTURE 136 Old Colony Av unit 2-R Quincy, MA 02170 PHONE: 857-526-4353 • EMAIL: hugomeneesv@hotmail.com	PROPOSED NEW ADDITION FOR FRANKLIN FORD 175 EAST CENTRAL STREET FRANKLIN, MA	 H&M ARCHITECTURE ARCHITECTURE • DESIGN 175 EAST CENTRAL STREET FRANKLIN, MA 01701										
	<table border="1"> <tr> <th>progress</th> <th>date</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>			progress		date									EXISTING SITE PLAN
	progress			date											

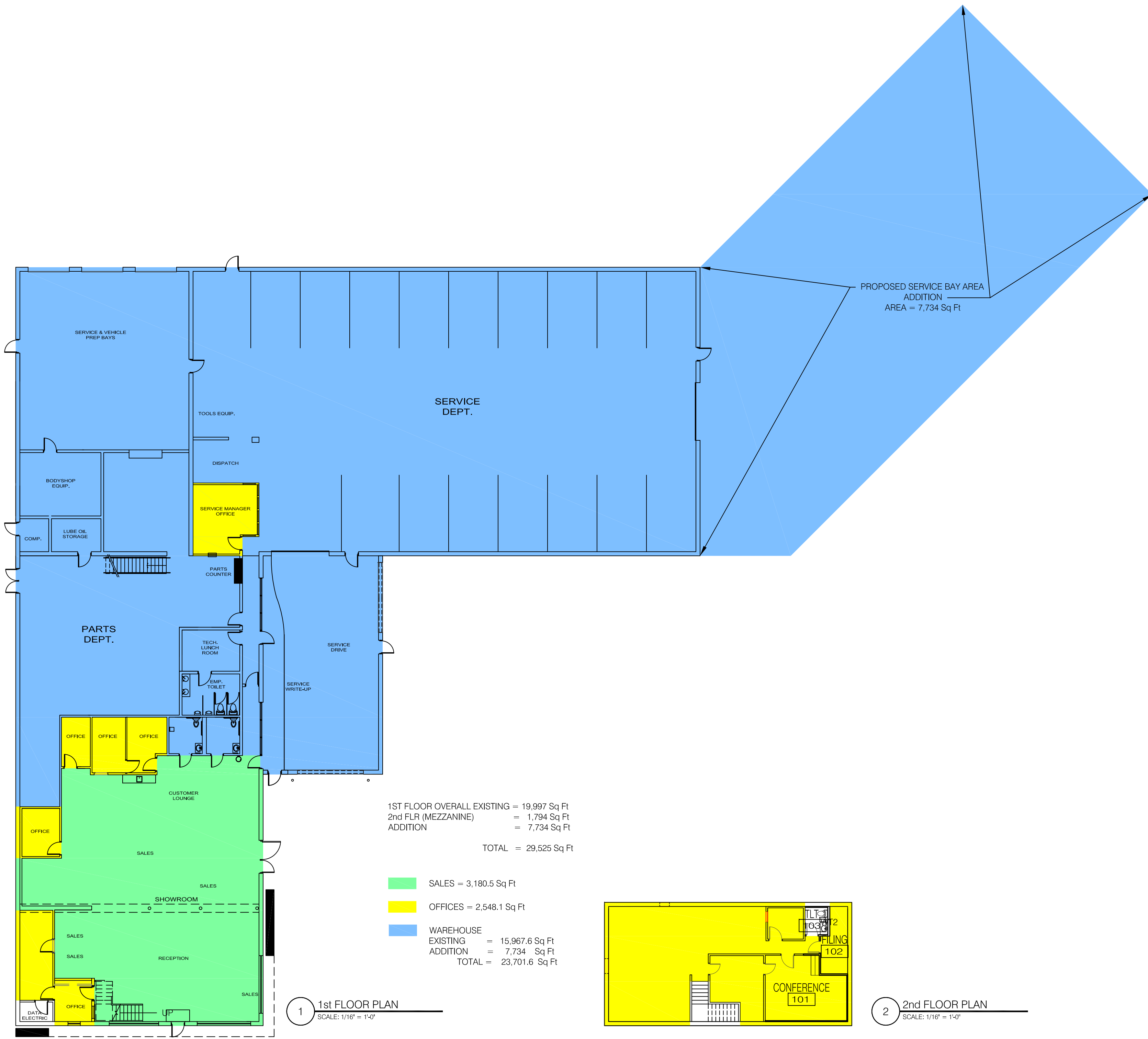


1 EXISTING MAIN FLOOR PLAN
 SCALE: 1/16" = 1'-0"



2 EXISTING MEZZANINE PLAN
 SCALE: 1/16" = 1'-0"

drawing number A101	date: 03-26-22	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION HM ARCHITECTURAL STUDIO	 H&M ARCHITECTURE 136 Old Colony Av unit 2-R Quincy, MA 02170 PHONE: 857-526-4353 • EMAIL: hugomeneesv@hotmail.com	PROPOSED NEW ADDITION FOR FRANKLIN FORD 175 EAST CENTRAL STREET FRANKLIN, MA						
	revision: scale: AS NOTED drawn by: H&M ARCH			<table border="1"> <tr><td>progress</td><td>date</td></tr> <tr><td>bid only</td><td></td></tr> <tr><td>permit only</td><td></td></tr> <tr><td>construction</td><td></td></tr> </table>	progress	date	bid only		permit only	
progress	date									
bid only										
permit only										
construction										



1ST FLOOR OVERALL EXISTING = 19,997 Sq Ft
 2nd FLR (MEZZANINE) = 1,794 Sq Ft
 ADDITION = 7,734 Sq Ft
 TOTAL = 29,525 Sq Ft

SALES = 3,180.5 Sq Ft
 OFFICES = 2,548.1 Sq Ft
 WAREHOUSE EXISTING = 15,967.6 Sq Ft
 ADDITION = 7,734 Sq Ft
 TOTAL = 23,701.6 Sq Ft

1 1st FLOOR PLAN
 SCALE: 1/16" = 1'-0"

2 2nd FLOOR PLAN
 SCALE: 1/16" = 1'-0"

drawing number A-SK1	date: 05-05-22	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION HM ARCHITECTURAL STUDIO	 H&M ARCHITECTURE 136 Old Colony Av unit 2-R Quincy, MA 02170 PHONE: 857-526-4353 • EMAIL: hugomenesesv@hotmail.com	PROPOSED NEW ADDITION FOR FRANKLIN FORD 175 EAST CENTRAL STREET FRANKLIN, MA
	revision: scale: AS NOTED dwn by: H&M ARCH			FLOOR AREAS PER USE
progress	date			
bid only				
permit only				
construction	date			



CAR RAMP SHALL BE 8% SLOPE MAX.

PROPOSED SERVICE BAY ADDITION
 AREA = 7,733 Sq Ft
 NUMBER OF BAYS = 8 BAYS

1 PROPOSED FLOOR PLAN
 SCALE: 1/16" = 1'-0"

drawing number A102	date: 03-26-22	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION HM ARCHITECTURAL STUDIO		PROPOSED NEW ADDITION FOR FRANKLIN FORD	
	revision: AS NOTED			175 EAST CENTRAL STREET FRANKLIN, MA	
	drawn by: H&M ARCH			PROPOSED FLOOR PLAN	
	progress				
bid only		136 Old Colony Av unit 2-R Quincy, MA 02170	PHONE: 857-526-4353 • EMAIL: hugomeneeses@hotmail.com		
permit only					
construction					

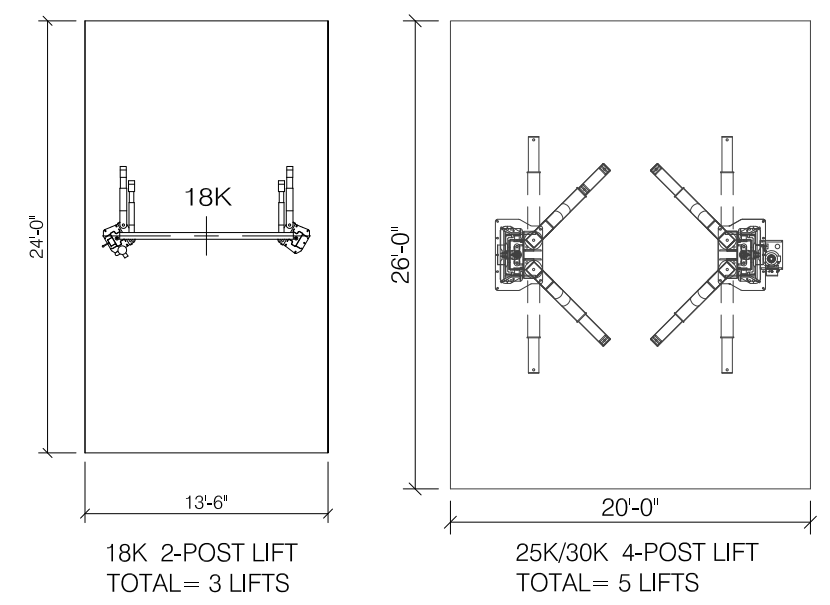


1 PROPOSED FLOOR PLAN
SCALE: 3/32" = 1'-0"

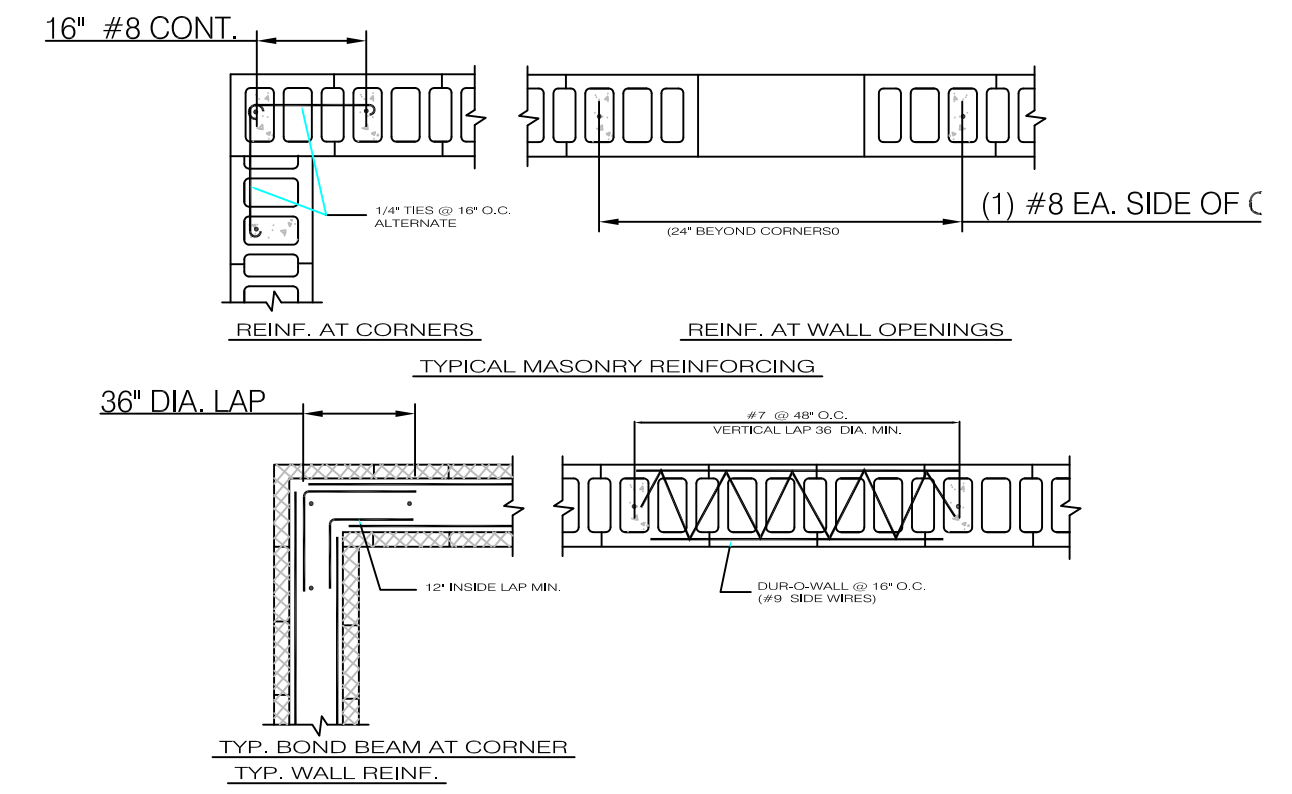
PROPOSED SERVICE BAY ADDITION
AREA = 7,733 Sq Ft
NUMBER OF BAYS = 8 BAYS

FINISHES
FLOOR: SEALED CONCRETE
WALLS: PAINTED TO MATCH
CEILING: EXPOSED PAINTED

CAR RAMP SHALL BE 8% SLOPE MAX.



2 LIFT TYPES + DIMENSIONS
SCALE: 3/32" = 1'-0"

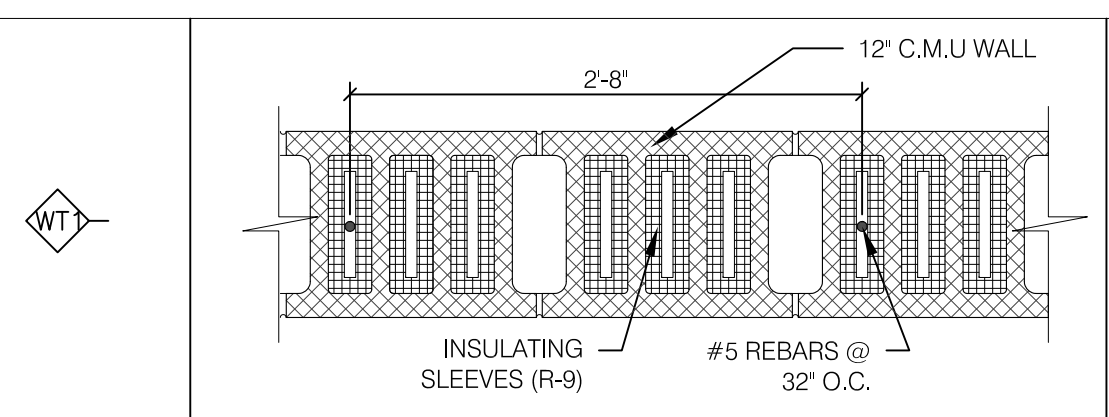


1 TYP. C.M.U. REINFORCING
SCALE: N.T.S.

REV: 05-05-22
* CAR RAMP ADDED TO CONNECT EXISTING SLAB ELEV. @ 98.3 WITH NEW SLAB ELEV. @ 95.8
* NEW ELECTRIC ROOM LOCATION FOR ENTIRE FACILITY

GENERAL NOTES:

- ALL WORK TO CONFORM W/ THE FOLLOWING CODES:
 - 780 CMR MA BUILDING CODE 9th EDITION
 - 527 CMR MA FIRE PREVENTION AND ELECTRICAL REGULATIONS
 - 521 CMR MA ACCESSIBILITY REGULATIONS
 - 248 CMR MA PLUMBING REGULATIONS
 - THE TOWN OF FRANKLIN, MA ZONING BYLAW REGULATIONS
 - ALL ADDITIONAL LOCAL & STATE LAWS REGULATING THE PROPER CONSTRUCTION STANDARDS & EXECUTION OF THIS PROJECT
- GENERAL CONTRACTOR TO VERIFY IN FIELD ALL EXISTING CONDITIONS, DIMENSIONS & COORDINATE WITH ARCHITECTURAL PLANS
- ALL DEMOLITION EXECUTION & DISPOSAL SHALL BE DONE ACCORDING TO LOCAL PERMITS & LAWS FOR DEBRIS REMOVAL
- EXECUTION SHALL BE DONE MEETING ALL REQUIRED SAFETY STANDARDS ESTABLISHED BY STATE & LOCAL LAWS



12"W x 16"L x 8"H C.M.U. WALL
W/ #5 REBARS @ 32" O.C. +
INSULATING CELLS R-9 FULL
HEIGHT + CELLS FULLY
GROUTED

drawing number: **A102.2**

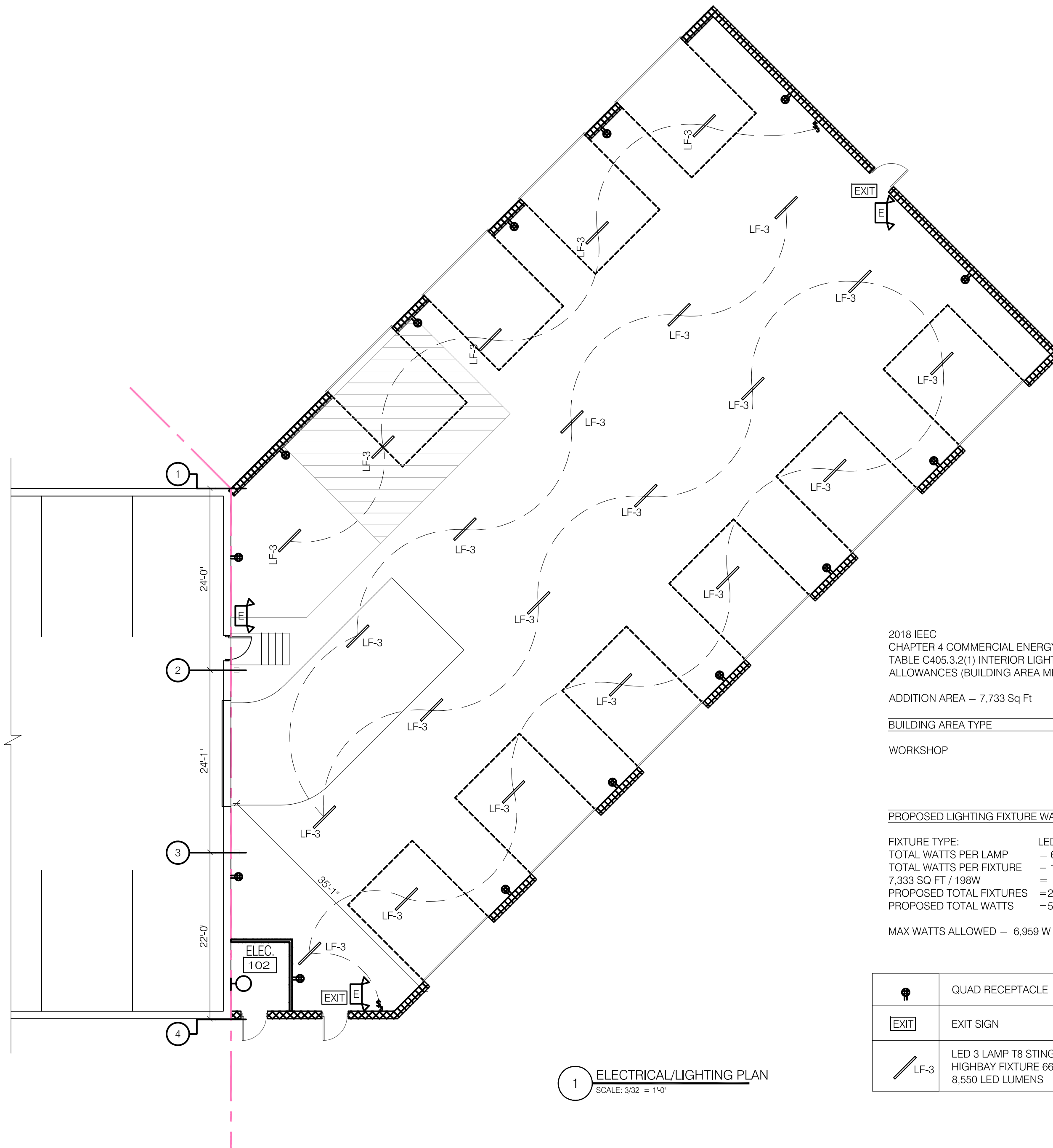
date:	03-26-22
revision:	05-05-22
scale:	AS NOTED
drawn by:	H&M ARCH
progress:	
bid only:	
permit only:	
construction:	

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H&M ARCHITECTURE
136 Old Colony Av
unit 2-R
Quincy, MA 02170
PHONE: 857-526-4353 • EMAIL: hugomenezesv@hotmail.com

PROPOSED NEW ADDITION FOR
FRANKLIN FORD
175 EAST CENTRAL STREET
FRANKLIN, MA
PROPOSED FLOOR PLAN





1 ELECTRICAL/LIGHTING PLAN
SCALE: 3/32" = 1'-0"

2018 IECC
CHAPTER 4 COMMERCIAL ENERGY EFFICIENCY
TABLE C405.3.2(1) INTERIOR LIGHTING POWER
ALLOWANCES (BUILDING AREA METHOD)

ADDITION AREA = 7,733 Sq Ft

BUILDING AREA TYPE	LDP (W/F12)
WORKSHOP	0.90 W

PROPOSED LIGHTING FIXTURE WATTAGE PER AREA:

FIXTURE TYPE:	LED 6 LAP T8
TOTAL WATTS PER LAMP	= 66W
TOTAL WATTS PER FIXTURE	= 198W
7,333 SQ FT / 198W	= 39 FIXTURES MAX
PROPOSED TOTAL FIXTURES	= 28 @ 198W EACH
PROPOSED TOTAL WATTS	= 5,544W

MAX WATTS ALLOWED = 6,959 W

	QUAD RECEPTACLE
	EXIT SIGN
	LED 3 LAMP T8 STINGRAY 4XL HIGHBAY FIXTURE 66 WATT, 110-277V, 8,550 LED LUMENS

GENERAL NOTES:

- ALL WORK TO CONFORM W/ THE FOLLOWING CODES:
 - 780 CMR MA BUILDING CODE 9th EDITION
 - 527 CMR MA FIRE PREVENTION AND ELECTRICAL REGULATIONS
 - 521 CMR MA ACCESSIBILITY REGULATIONS
 - 248 CMR MA PLUMBING REGULATIONS
 - 2018 IECC CODE
 - THE TOWN OF FRANKLIN, MA ZONING BYLAW REGULATIONS
 - ALL ADDITIONAL LOCAL & STATE LAWS REGULATING THE PROPER CONSTRUCTION STANDARDS & EXECUTION OF THIS PROJECT
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- EXECUTION SHALL BE DONE MEETING ALL REQUIRED SAFETY STANDARDS ESTABLISHED BY STATE & LOCAL LAWS

REFLECTED CEILING SCHEDULE

SYMBOL	ITEM LABEL	DESCRIPTION	SIZE	LOCATION	COLOR	SPECIFICATIONS	MANUFACTURER	CONTACT INFORMATION
	LF-3	LED 3 LAMP T8	48"L x 14"W x 3"D	SERVICE WRITE UP	WHITE	LED 3 LAMP T8 STINGRAY 4XL HIGHBAY FIXTURE 66 WATT, 110-277V, 8,550 LED LUMENS	PL-BLT66WCL	

drawing number
A102.3

date: 03-26-22
revision:
scale: AS NOTED
dwg by: H&M ARCH

progress	date
bid only	
permit only	
construction	

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H&M ARCHITECTURE

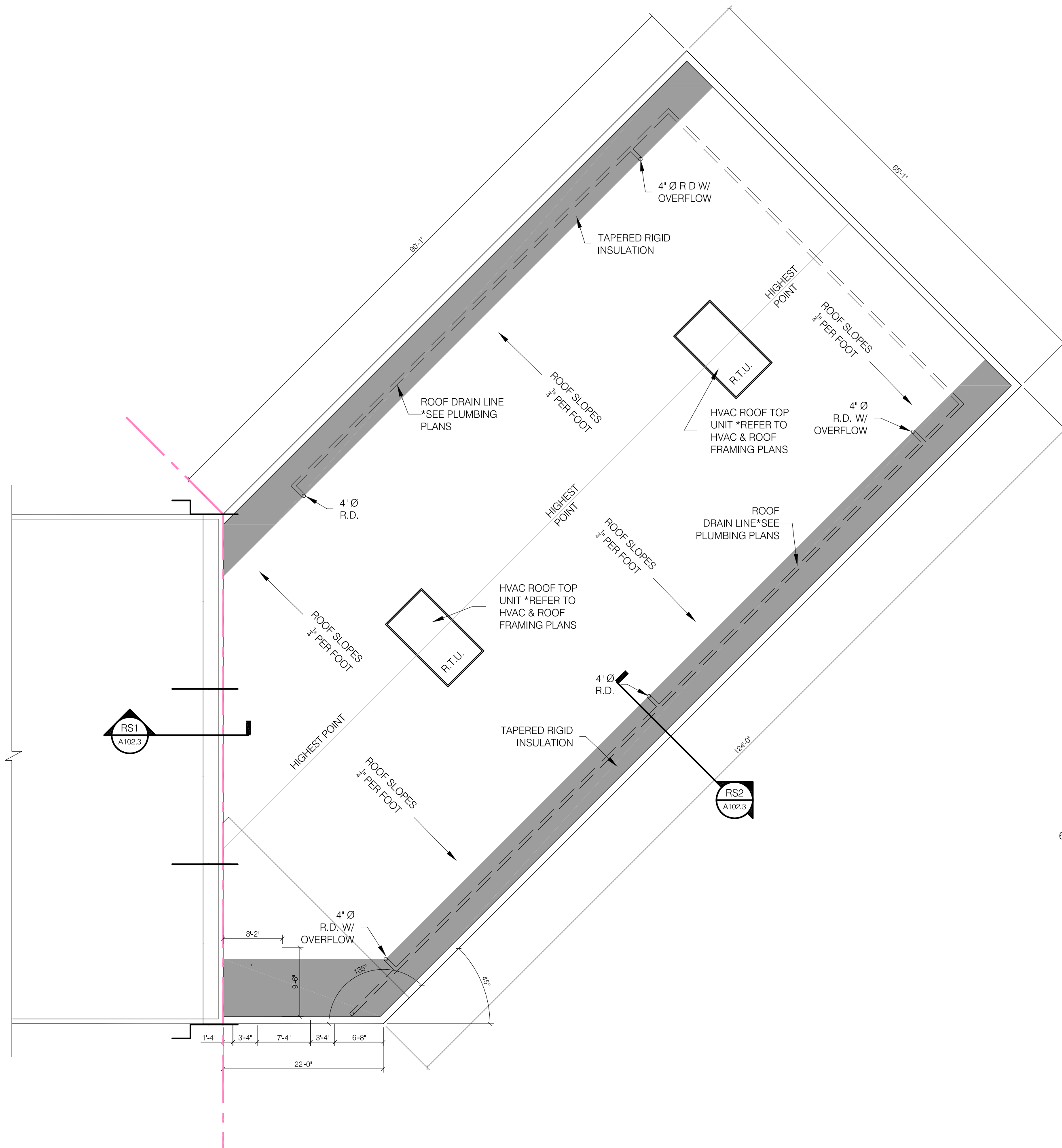
136 Old Colony Av
unit 2-R
Quincy, MA 02170

PHONE: 857-526-4353 • EMAIL: hugomenesesv@hotmail.com

PROPOSED NEW ADDITION FOR
FRANKLIN FORD
175 EAST CENTRAL STREET
FRANKLIN, MA

LIGHTING PLAN



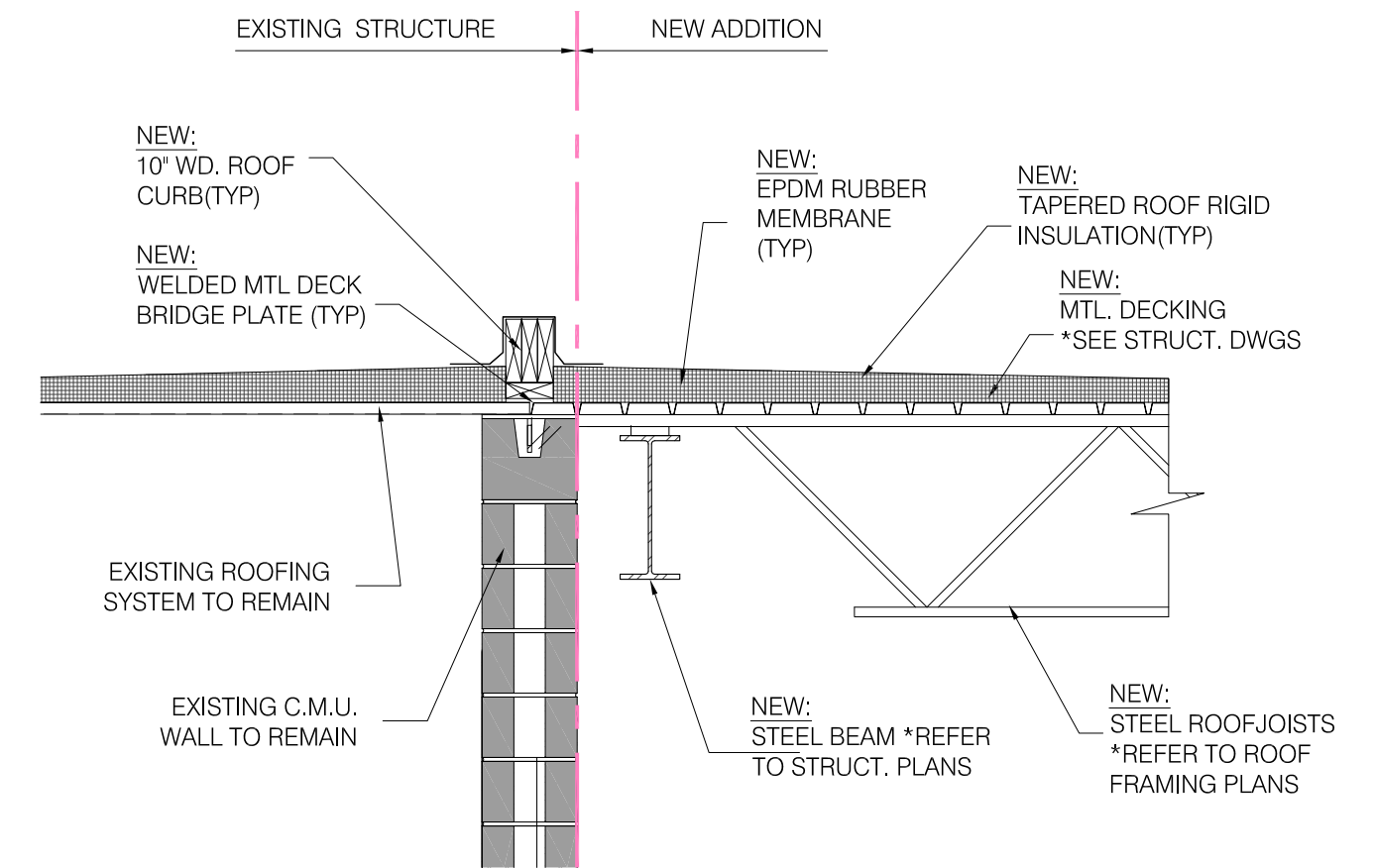


ROOF DESIGN LOADS

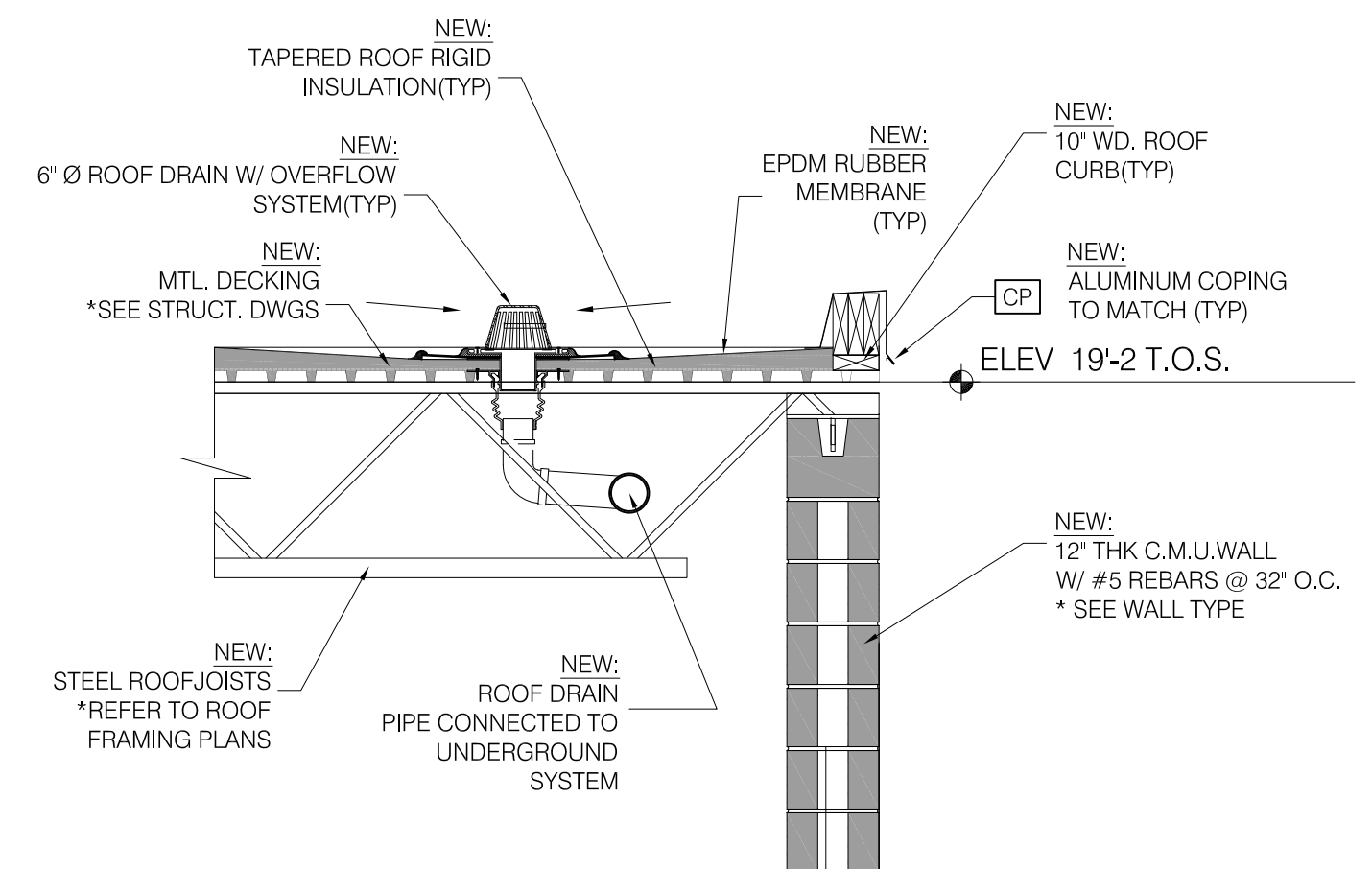
780 CMR MASS BLG CODE 9TH EDITION (2015 IBC)

CHAPTER 16 STRUCTURAL DESIGN
TABLE 1604.11 SNOW LOADS, WIND SPEEDS & SEISMIC PARAMETERS

CITY : FRANKLIN, MA
 GROUND SNOW LOAD = 40 PSF
 MIN. FLAT ROOF NOW LOADS = 35 PSF
 BASIC WIND SPEED
 *RISK CATEGORY I = 119 MPH
 *RISK CATEGORY II = 129 MPH
 *RISK CATEGORY III OR IV = 140 MPH



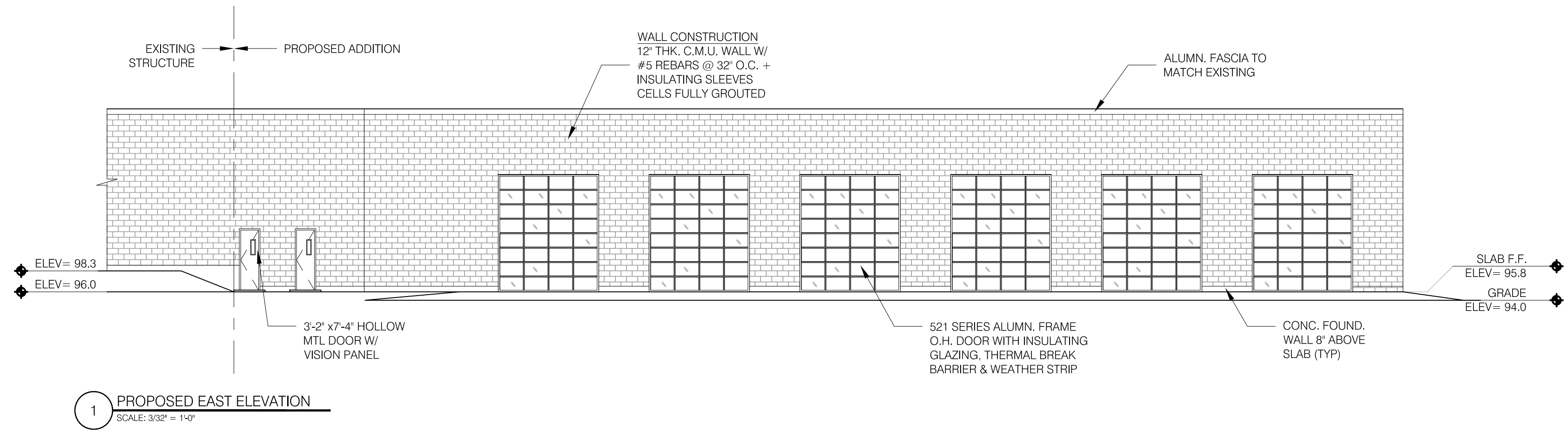
RS1 SECTION @ ROOF TRANSITION
SCALE: 1/2" = 1'-0"



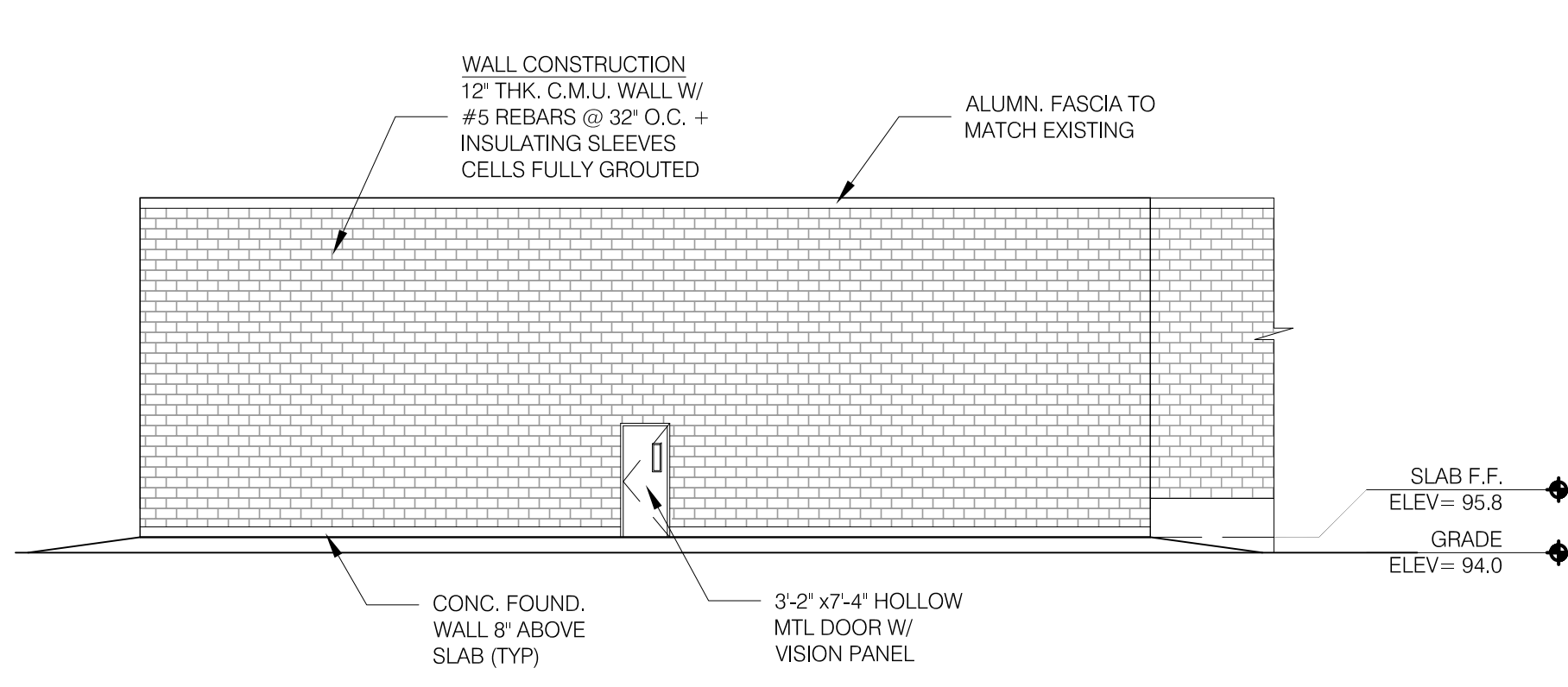
RS2 TYP. SECTION @ ROOF
SCALE: 1/2" = 1'-0"

1 ROOF PLAN
SCALE: 3/32" = 1'-0"

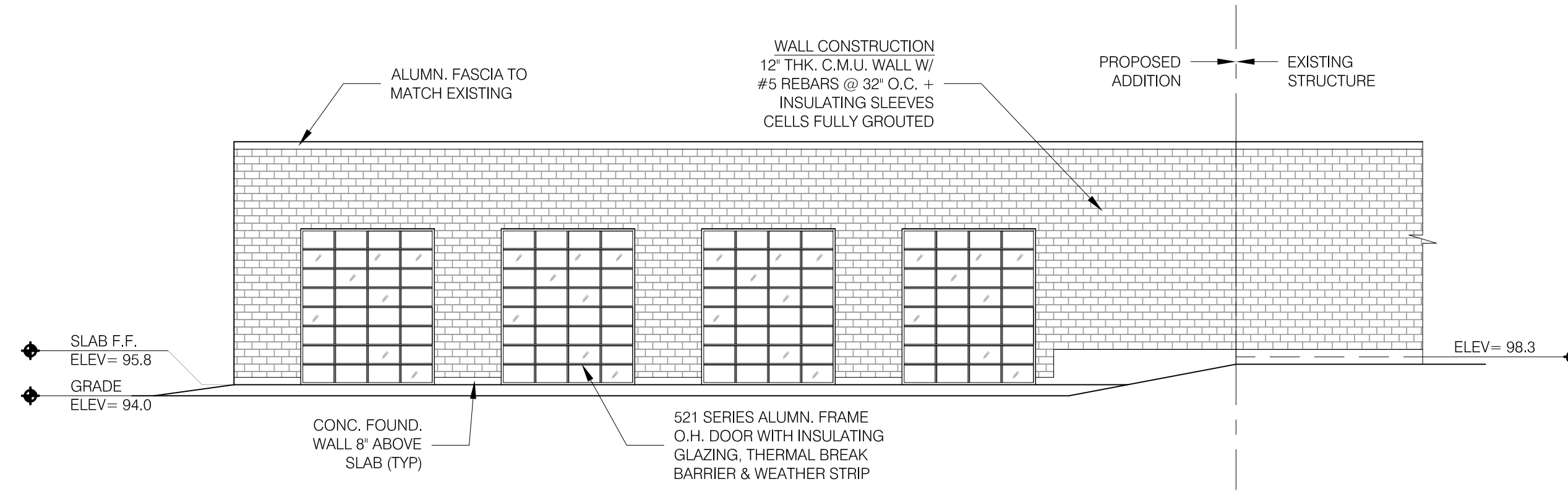
A102.4	drawing number	date: 03-26-22	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION H&M ARCHITECTURAL STUDIO	H&M ARCHITECTURE	136 Old Colony Av unit 2-R Quincy, MA 02170 PHONE: 857-526-4353 • EMAIL: hugomeneesesv@hotmail.com	PROPOSED NEW ADDITION FOR FRANKLIN FORD 175 EAST CENTRAL STREET FRANKLIN, MA	PROPOSED ROOF PLAN	
	revision:	scale: AS NOTED						
	drawn by: H&M ARCH							
	progress	date						
bid only								
permit only								
construction								



1 PROPOSED EAST ELEVATION
SCALE: 3/32" = 1'-0"

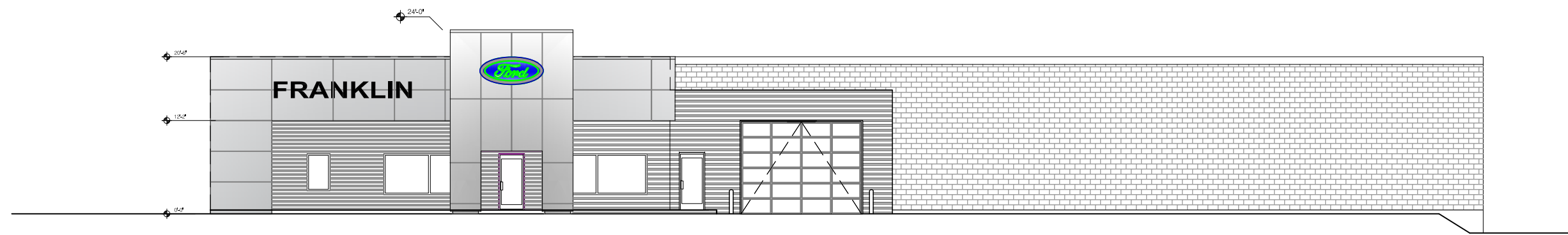


2 PROPOSED NORTH ELEVATION
SCALE: 3/32" = 1'-0"

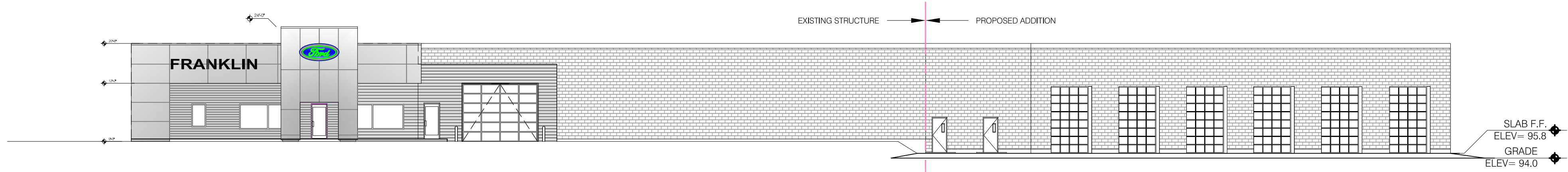


3 PROPOSED WEST ELEVATION
SCALE: 3/32" = 1'-0"

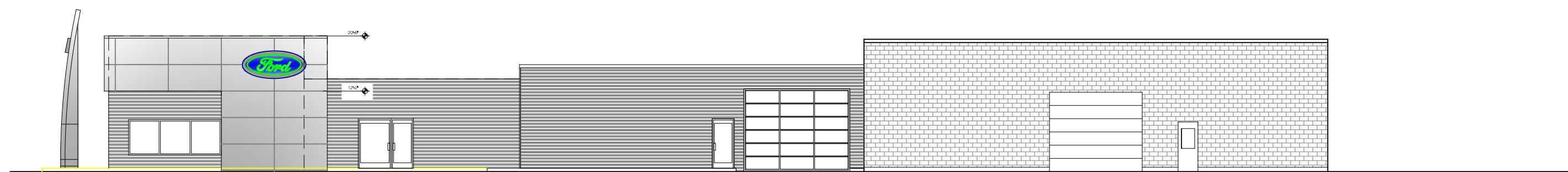
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	revision:	scale: AS NOTED			FRANKLIN FORD
	drawn by: H&M ARCH	progress			175 EAST CENTRAL STREET
	bid only	date			FRANKLIN, MA
	permit only	construction			PROPOSED ELEVATIONS
construction	date	136 Old Colony Av unit 2-R Quincy, MA 02170	PHONE: 857-526-4353 • EMAIL: hugomenesesv@hotmail.com	H&M ARCHITECTURE	



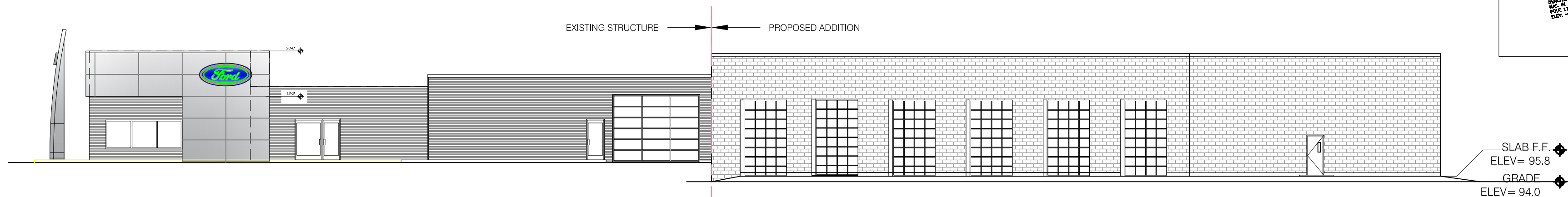
1 EXISTING ELEVATION / EAST STREET
SCALE: 1/16" = 1'-0"



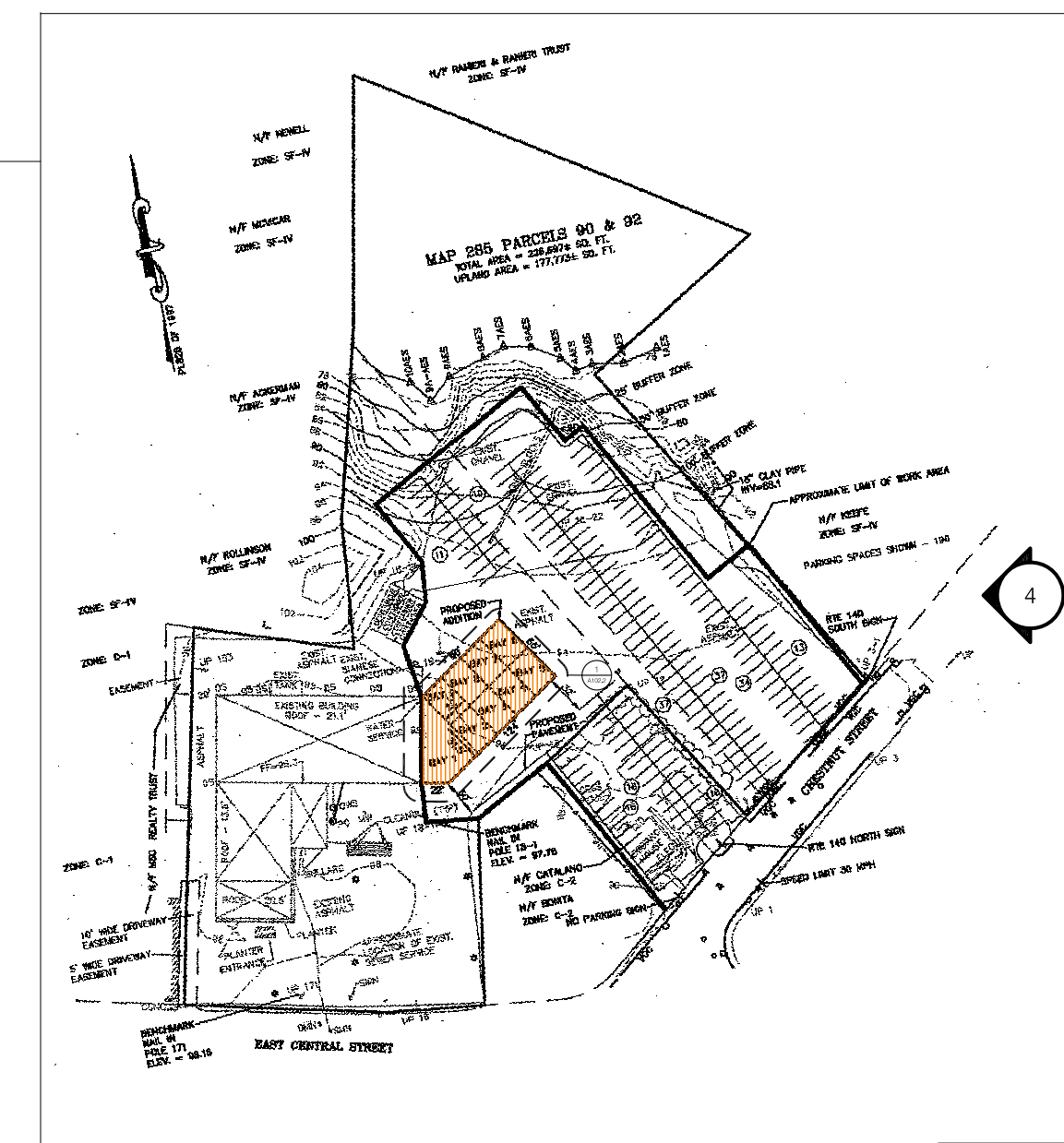
2 PROPOSED ELEVATION / EAST STREET VIEW
SCALE: 1/16" = 1'-0"



3 EXISTING ELEVATION / CHESTNUT STREET
SCALE: 1/16" = 1'-0"



4 PROPOSED ELEVATION / CHESNUT STREET VIEW
SCALE: 1/16" = 1'-0"



KEYPLAN

drawing number A103.1	date: 03-26-22	THIS DRAWING HAS BEEN PREPARED FOR THE EXCLUSIVE USE AT THE SITE ADDRESS INDICATED. REPRODUCTION OR REUSE OF ANY FORM OR METHOD, IN WHOLE OR PART, IS PROHIBITED WITHOUT WRITTEN AUTHORIZATION HM ARCHITECTURAL STUDIO		PROPOSED NEW ADDITION FOR FRANKLIN FORD 175 EAST CENTRAL STREET FRANKLIN, MA	
	revision: AS NOTED				
drawn by: H&M ARCH	progress				
	bid only				
	permit only				
	construction				

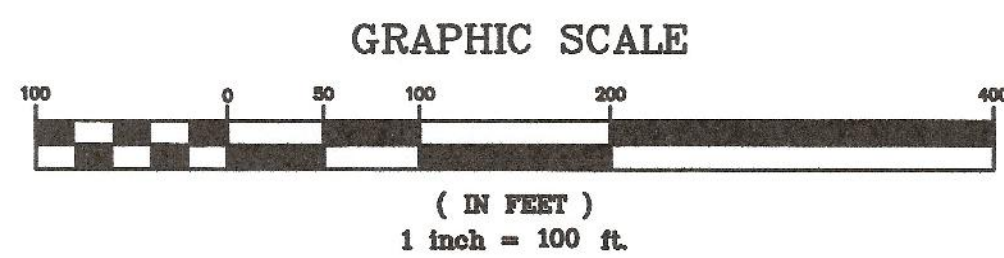
SITE PLAN

175 EAST CENTRAL STREET

FRANKLIN MASSACHUSETTS



LOCUS MAP
SCALE: 1" = 100'



ZONING:

THE FRANKLIN FORD SITE IS LOCATED WITHIN A COMMERCIAL II ZONE.

INDUSTRIAL ZONE	REQUIREMENTS:	EXISTING	PROPOSED
AREA:	40,000 S.F.	226,697± S.F.	226,697± S.F.
FRONTAGE:	175'	243.21'	243.21'
DEPTH:	200'	759'±	759'±
HEIGHT:	3 STORIES 40'	21.1'	21.1' - 1 STORY
WIDTH:	157.5'	> 157.5'	> 157.5'
COVERAGE - STRUCTURES:	70%	12.1%	15.6%
STRUC. & PAVING:	80%	66.6%	76.3%
SETBACKS-			
FRONT:	40'	55.9'	55.9'
RIGHT SIDE:	30'	54.1'	37.2'
LEFT SIDE:	30'	20'	20'
REAR:	30'	37.8'	37.8'

LOT COVERAGE CALCULATION AREA BASED ON UPLAND AREA

THE ENTIRE PROPERTY IS LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT AND A DEP ZONE II. THE SITE AREA PROPOSED FOR DEVELOPMENT IS LOCATED IN A ZONE X BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.

AREA WITHIN THE WATER RESOURCE DISTRICT - 226,697± SQ. FT.
UPLAND AREA WITHIN THE WATER RESOURCE DISTRICT - 177,773± SQ. FT.
IMPERVIOUS AREA WITHIN THE WATER RESOURCE DISTRICT - 135,580± SQ. FT.
COVERAGE WITHIN THE WATER RESOURCE DISTRICT - = 76.3%

FRANKLIN FORD:
BUILDING USE - AUTOMOBILE DEALERSHIP.

REFERENCES:
ASSESSORS MAP 285 PARCEL 090-000-000
DEED BOOK 28674 PAGE 487
ASSESSORS MAP 285 PARCEL 092-000-000
DEED BOOK 3788 PAGE 197
PLAN 826 OF 1997
LIMITED SITE PLAN FRANKLIN FORD, LLC DATED SEPTEMBER 11, 2013 AND ENDORSED ON OCTOBER 21, 2013.

DRAWING INDEX:

1. COVER SHEET
 2. EXISTING CONDITIONS PLAN
 3. SITE LAYOUT PLAN
 4. SITE GRADING AND UTILITY PLAN
 5. SITE PLANTING PLAN
 6. EROSION CONTROL PLAN
 7. CONSTRUCTION DETAILS - 1
 8. CONSTRUCTION DETAILS - 2
- SITE LIGHTING-LIGHTING PLAN,
PHOTOMETRICS AND SCHEDULES
BY SK & ASSOCIATES

OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

SITE PLAN
COVER SHEET
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

- WAIVER REQUESTED:
1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE. PROPOSED CLASS V RCP.
 2. TO ALLOW THE USE OF HDPE PIPE FOR THE MANIFOLDS AND POND 1.
 3. TO ALLOW MINIMAL LIGHT SPILLAGE ONTO THE CHESTNUT STREET RIGHT OF WAY.

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
8/21		BL
BK#	FIELD BOOK	PG#
4/22	CALCS BY:	RRG
4/22	DESIGNED BY:	RRG
4/22	DRAWN BY:	COMP
4/22	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-364-6560 FAX 508-364-6566

DATE	APRIL 14, 2022
SCALE	1" = 200'
PROJECT	UC1007
SHEET	1 of 8

PLANTING SCHEDULE

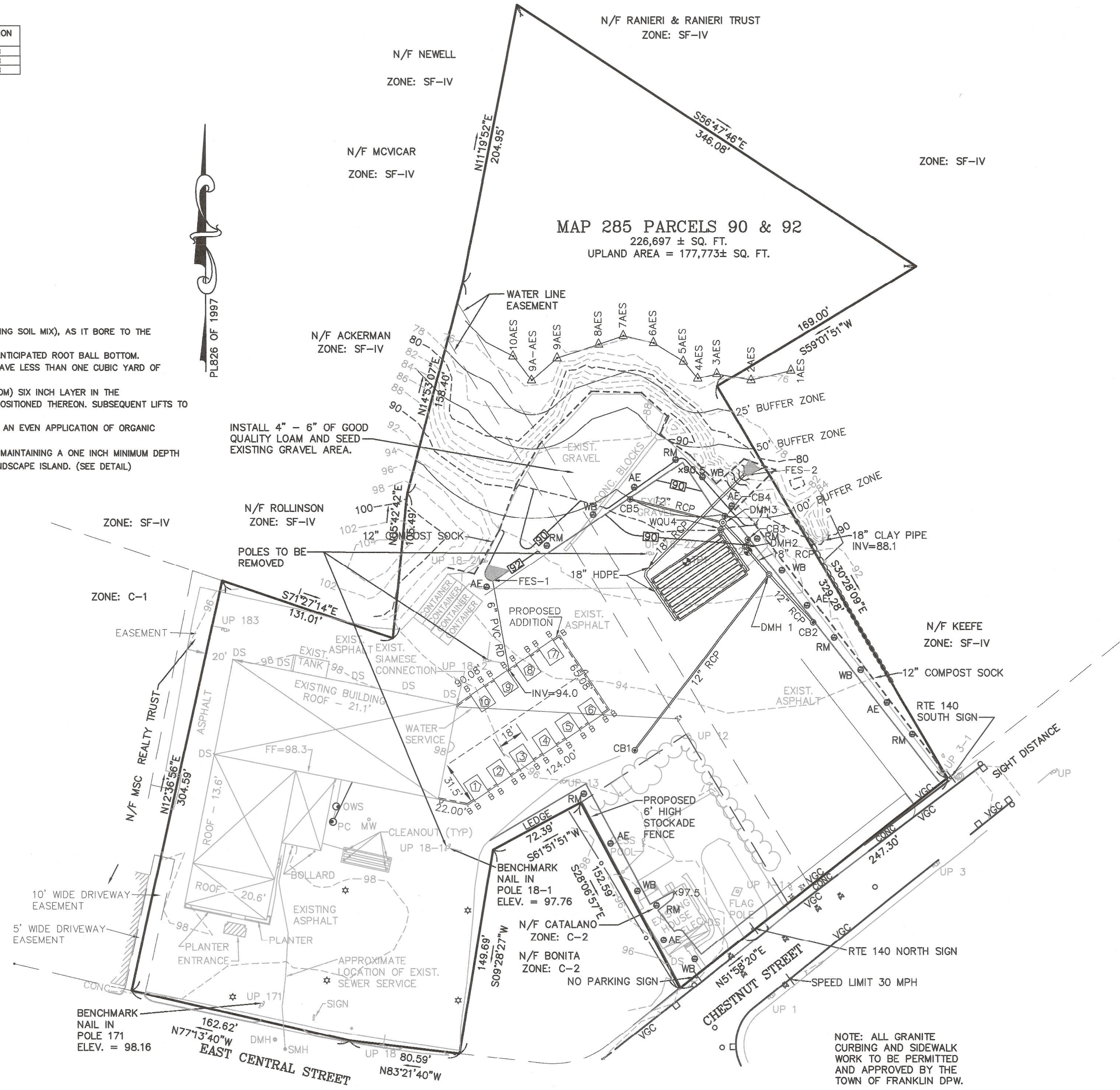
NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
7	AMERICAN ELM - AE	ULMUS AMERICANA	3"	B&B
7	RED MAPLE - RM	ACER RUBRUM	3"	B&B
6	WHITE BIRCH - WB	BETULA PAPYRIFERA	4 - 6 FEET	B&B

- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES.
 195 TOTAL PARKING SPACES / 10 = 20 TREES
 - 20 TREES PROVIDED.
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.

GENERAL SITE PLANTING NOTE:
 ALL DISTURBED AREAS NOT COVERED WITH BUILDING, ASPHALT PAVEMENT, CURBING, STONE, RIPRAP OR GEOWEB SHALL HAVE 4" TO 6" OF GOOD QUALITY LOAM COVERING THE AREAS AND SHALL BE HYDROSEEDED.

GENERAL NOTES

1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURERS RECOMENDATIONS.
7. COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)



OWNERS:
 MAP 285 PARCEL 090-000-000
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

MAP 285 PARCEL 092-000-000
 HERBERT CATALANO
 9 CHESTNUT STREET
 FRANKLIN, MASSACHUSETTS

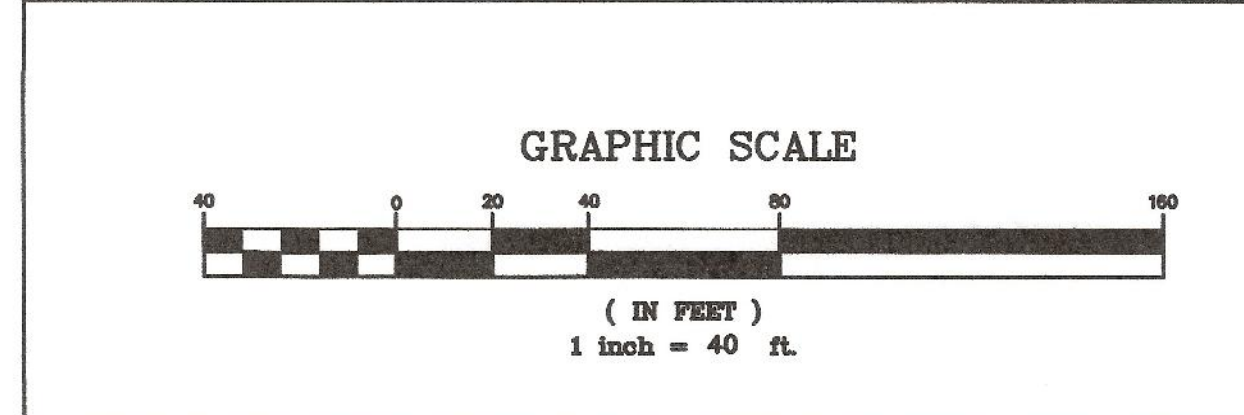
APPLICANT:
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS

SITE PLAN
 PLANTING PLAN
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 PREPARED FOR
 FRANKLIN FORD, LLC
 175 EAST CENTRAL STREET
 FRANKLIN, MASSACHUSETTS
 APRIL 14, 2022
 SCALE: 1" = 40'

NOTE: ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.

SITE PLAN APPROVAL REQUIRED
 FRANKLIN PLANNING BOARD

DATE _____



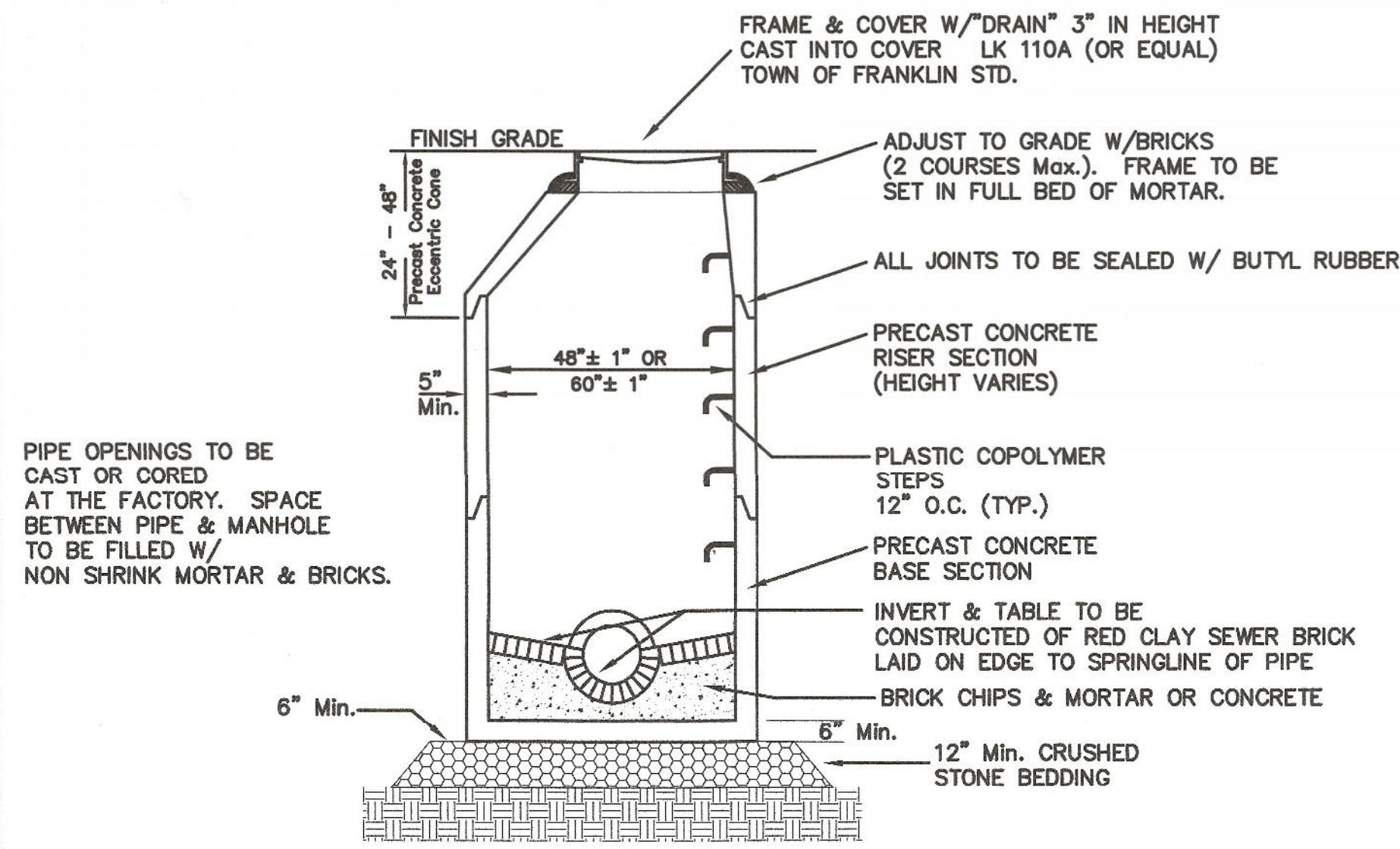
NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
8/21	BL	
BK#	FIELD BOOK	PG#
4/22	RRG	
DATE	DESIGNED BY:	
4/22	RRG	
DATE	DRAWN BY:	COMP
4/22	COMP	
DATE	CHECKED BY:	CAQ
4/22	CAQ	

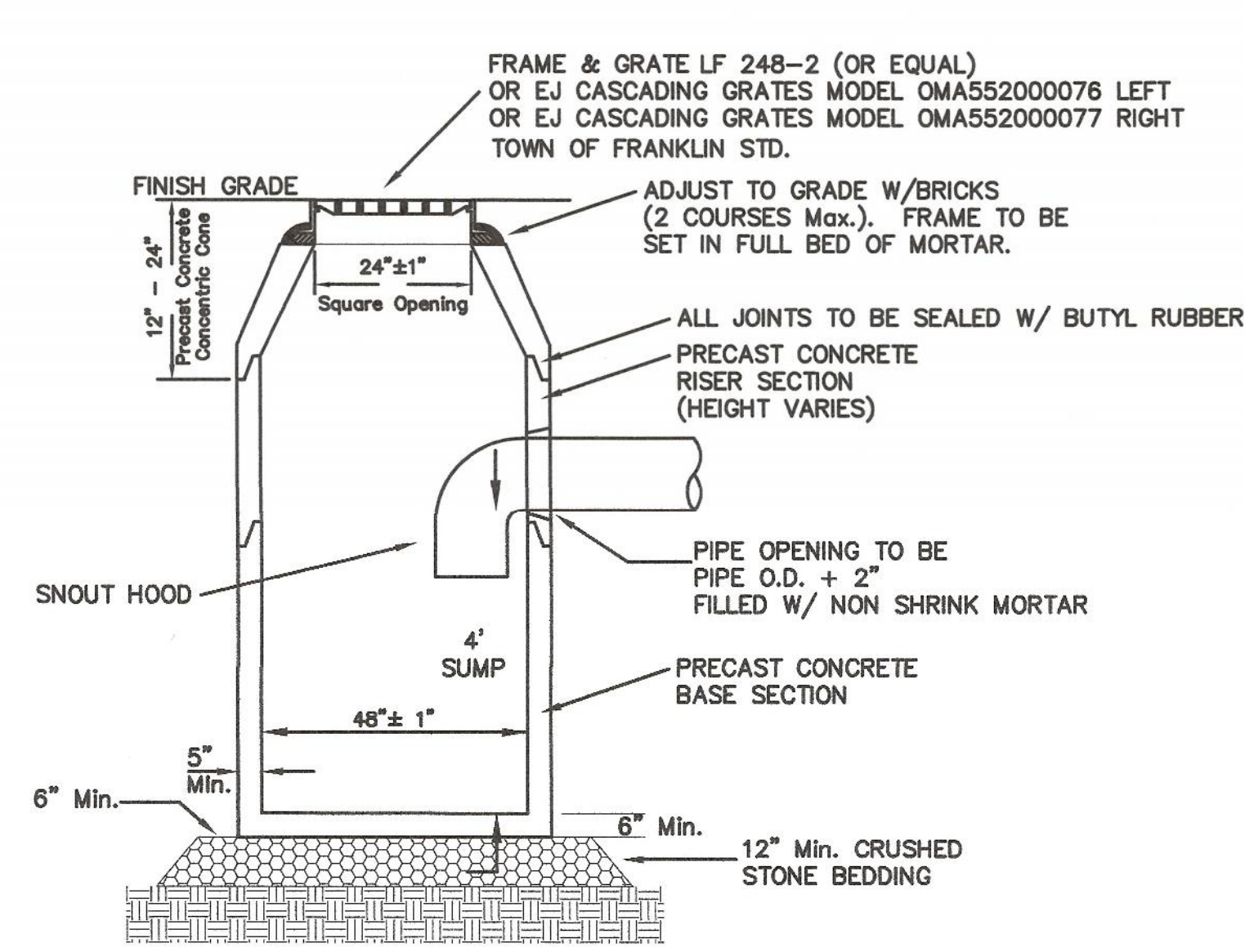
UNITED CONSULTANTS INC.

850 FRANKLIN STREET SUITE 11D
 WRENTHAM, MASSACHUSETTS 02093
 508-384-6560 FAX 508-384-6568

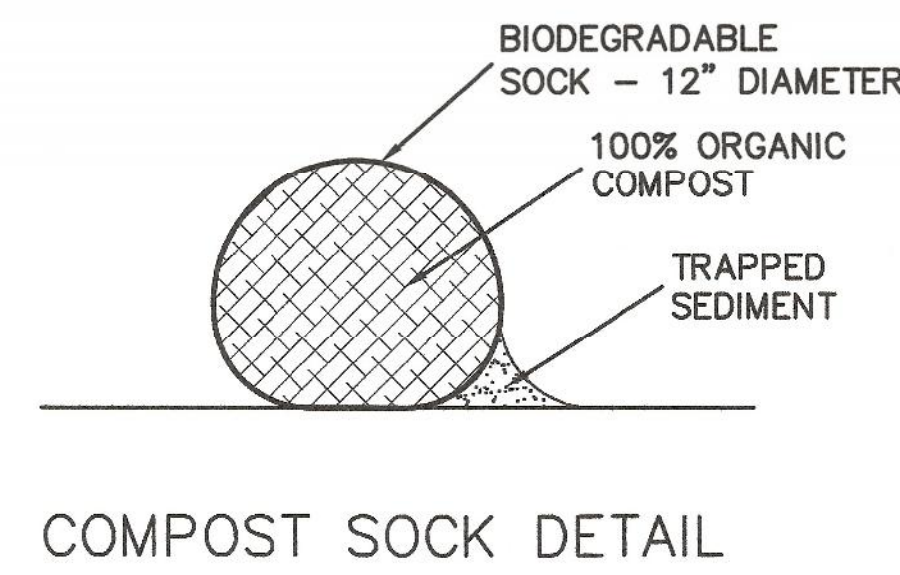
DATE
APRIL 14, 2022
SCALE
1" = 40'
PROJECT
UC1007
SHEET
5 of 9



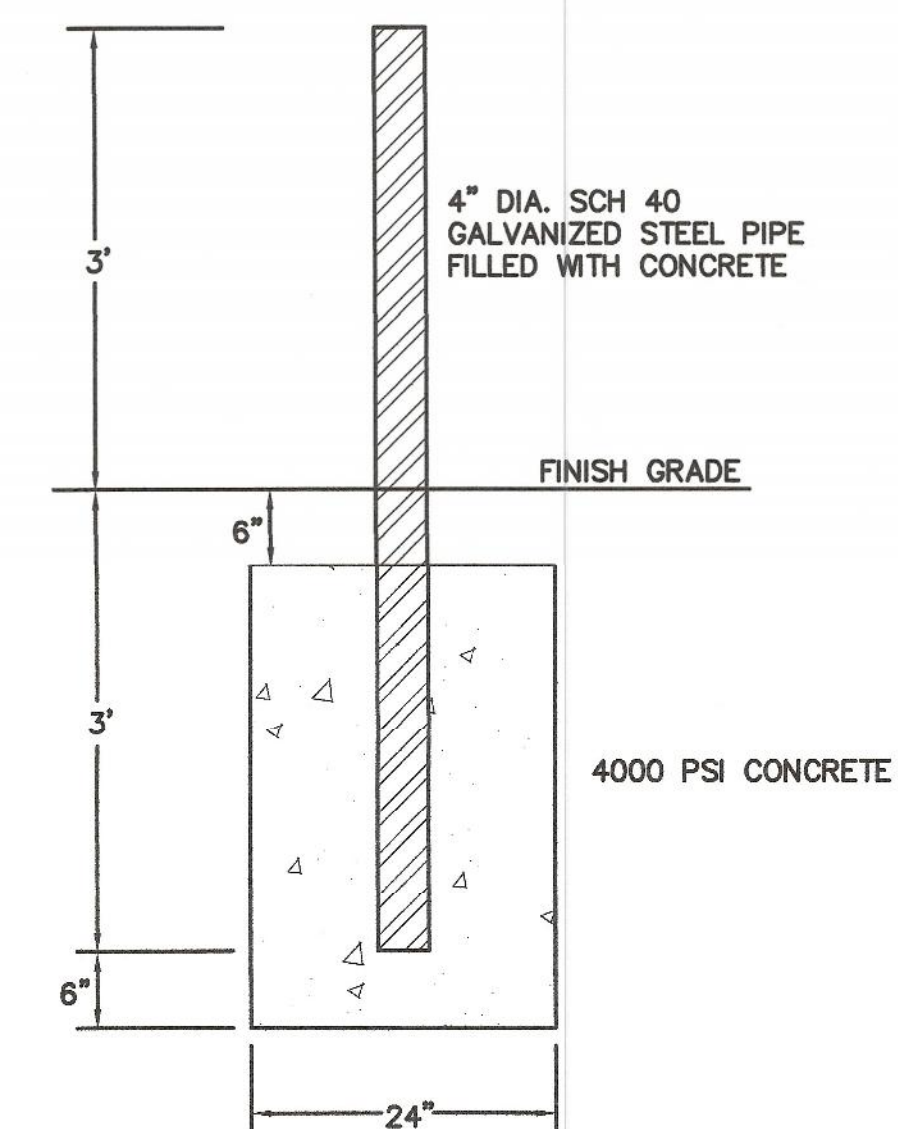
PRECAST DRAIN MANHOLE



PRECAST CATCH BASIN

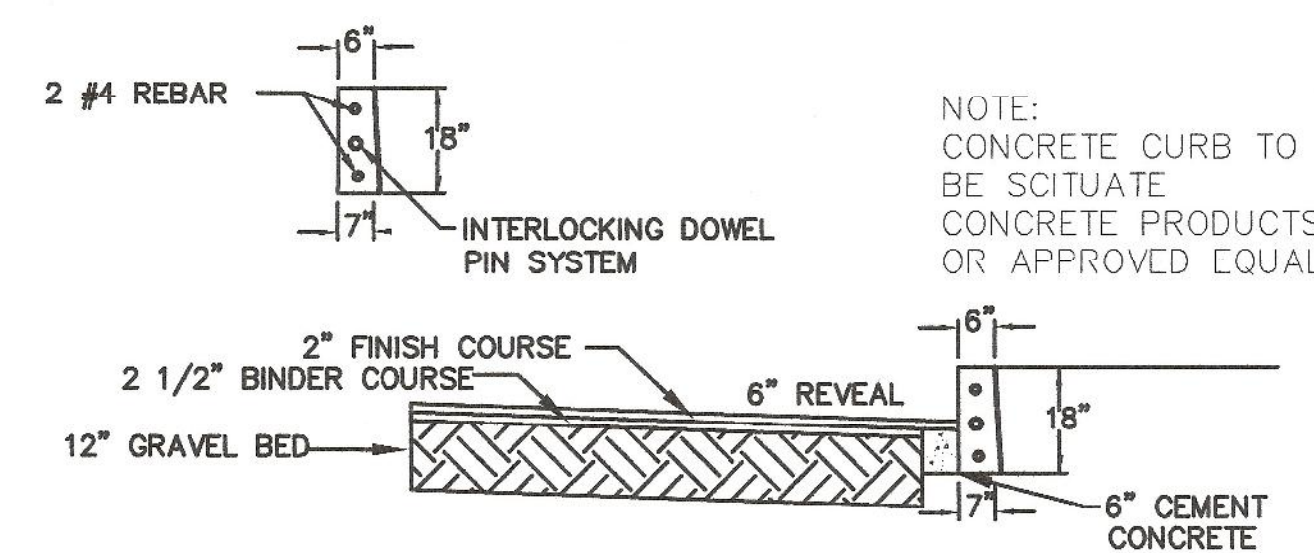


COMPOST SOCK DETAIL

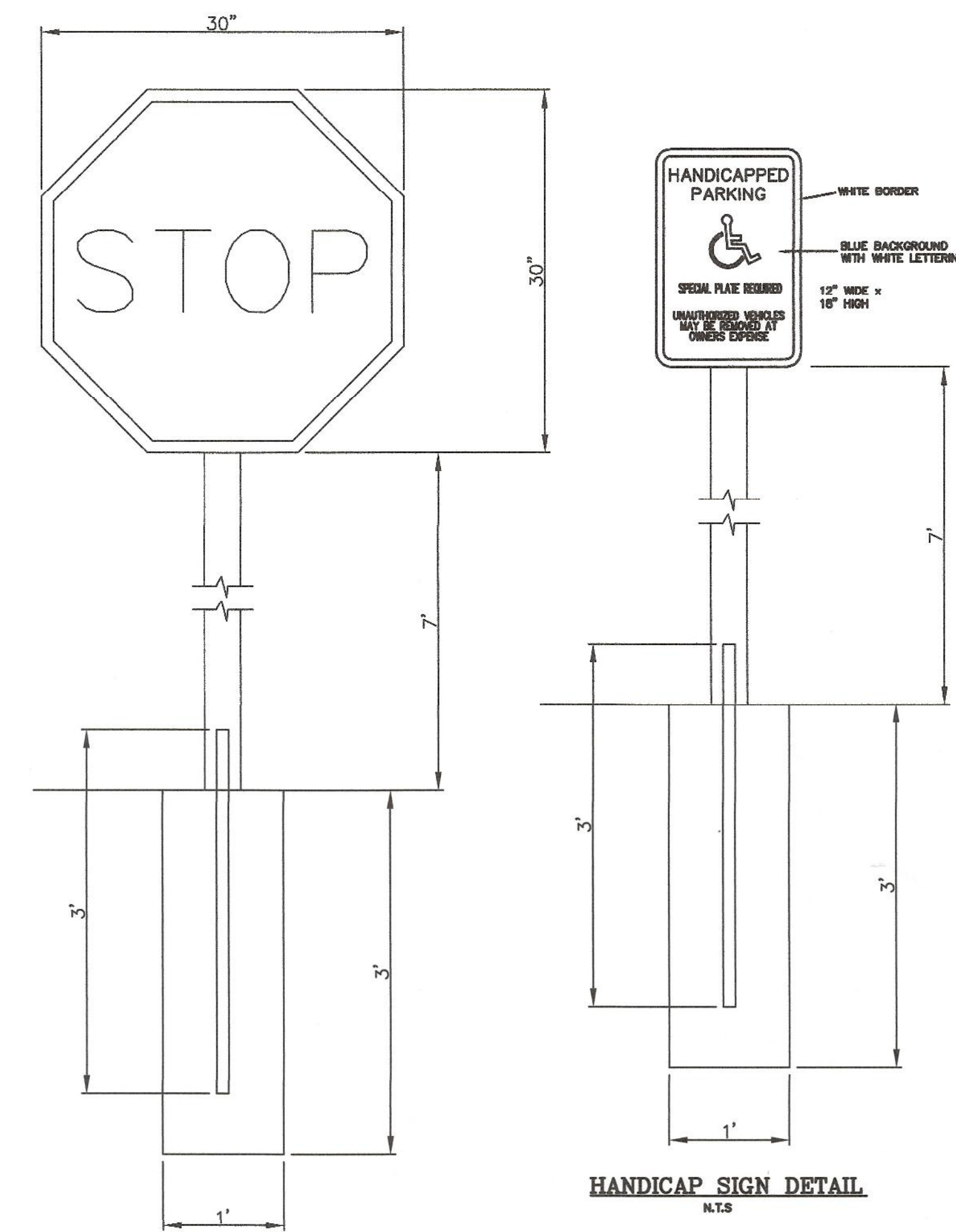


BOLLARD DETAIL

NOTE: BOLLARDS TO BE INSTALLED ON EACH SIDE OF THE OVERHEAD DOOR OPENINGS.



PAVEMENT AND VERTICAL CONCRETE CURBING



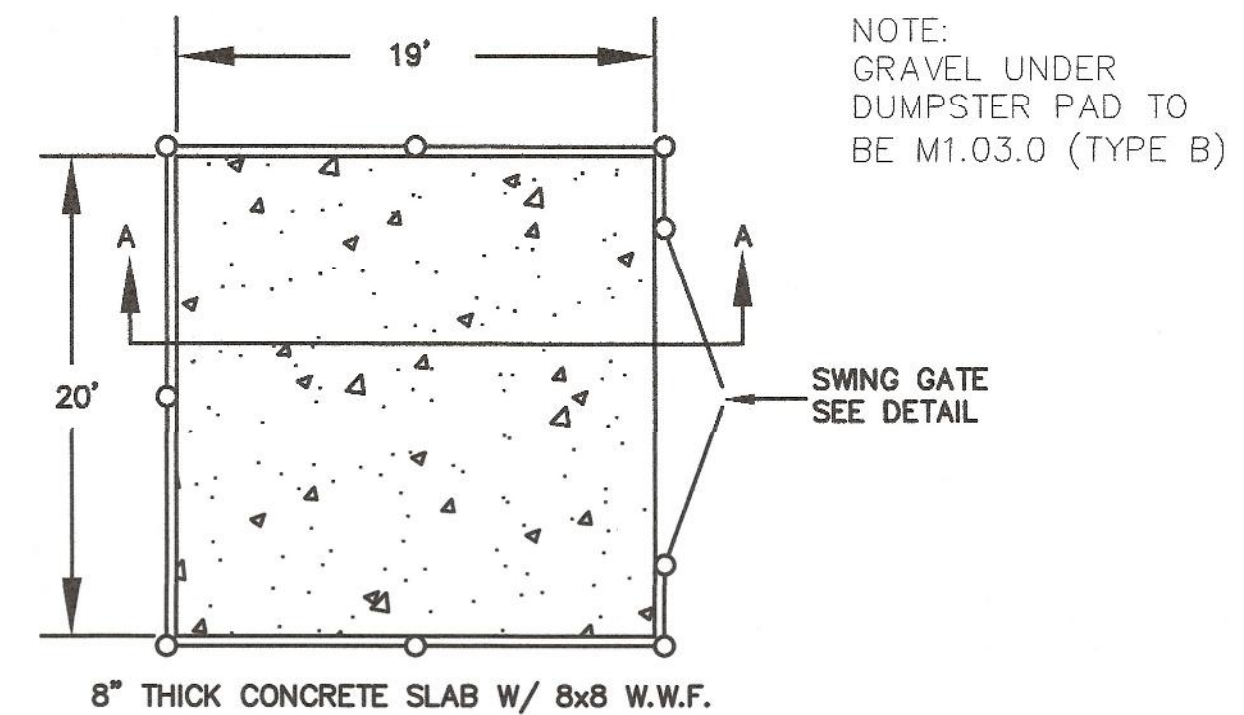
STOP SIGN DETAIL

HANDICAP SIGN DETAIL

OWNERS:
MAP 285 PARCEL 090-000-000
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

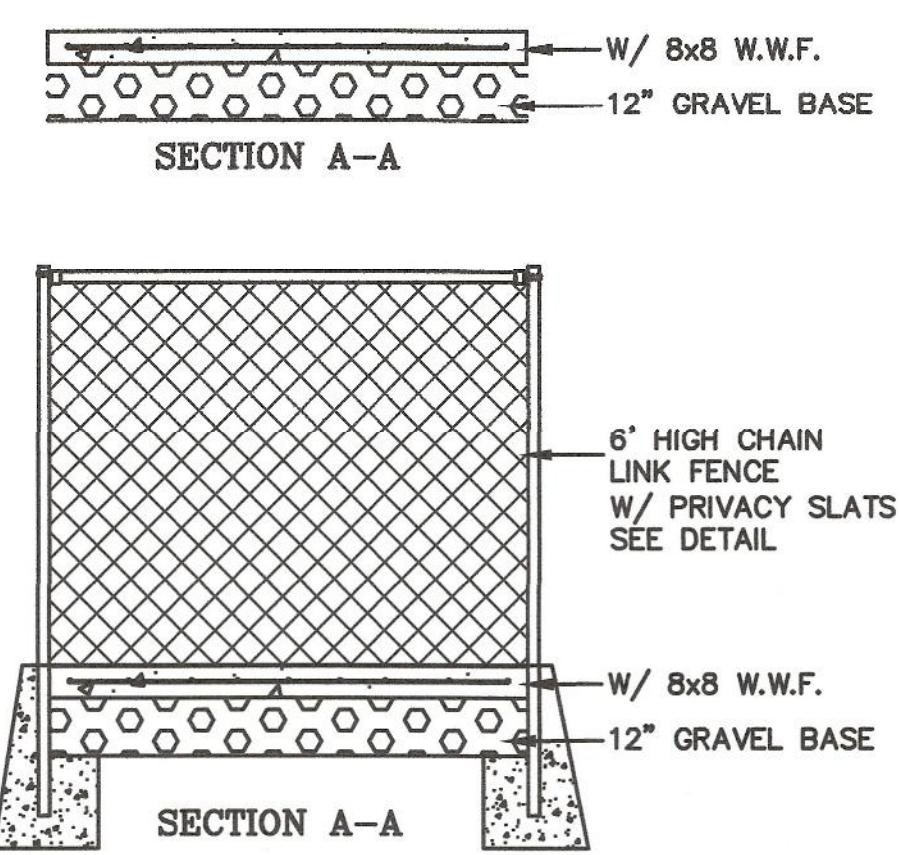
MAP 285 PARCEL 092-000-000
HERBERT CATALANO
9 CHESTNUT STREET
FRANKLIN, MASSACHUSETTS

APPLICANT:
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS

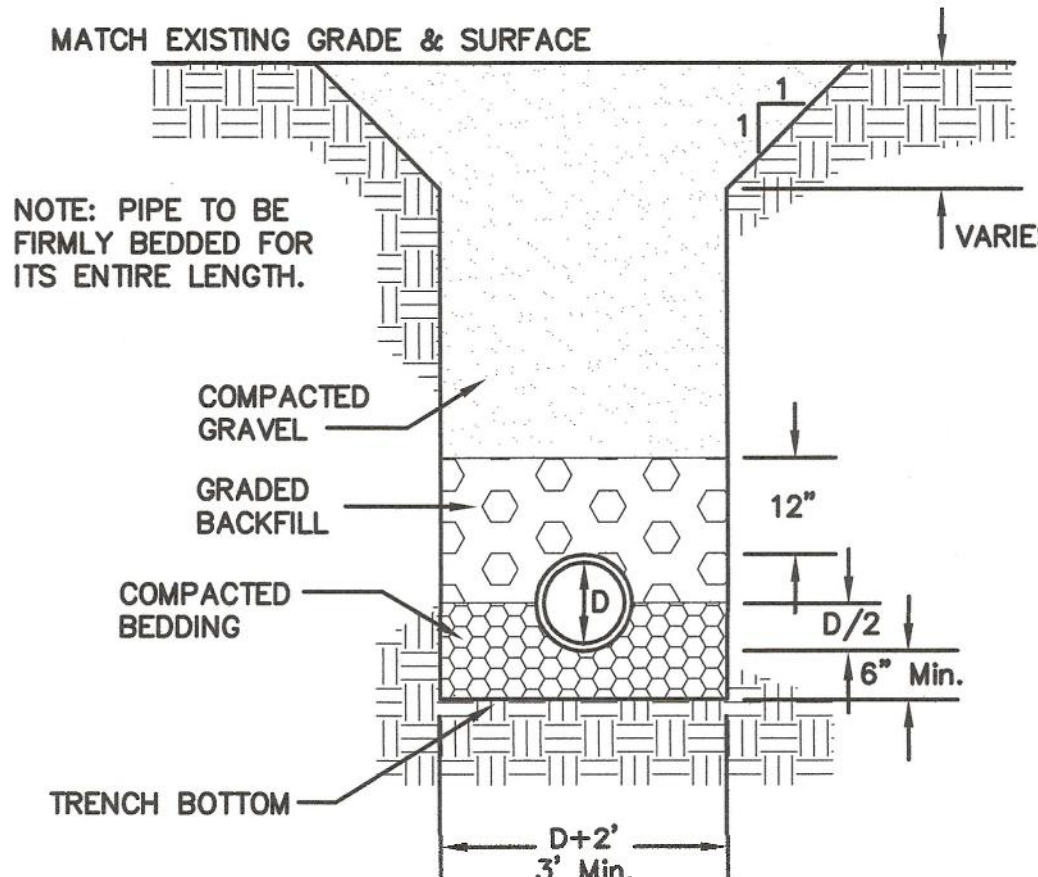


CONCRETE DUMPSTER PAD

NOTE: DUMPSTER PAD AT BUILDING 1 WILL HAVE THE FENCE CONNECT TO THE RETAINING WALL. NO FENCE IS PROPOSED TO THE REAR OF THE DUMPSTER PAD.



DUMPSTER AREA FENCE



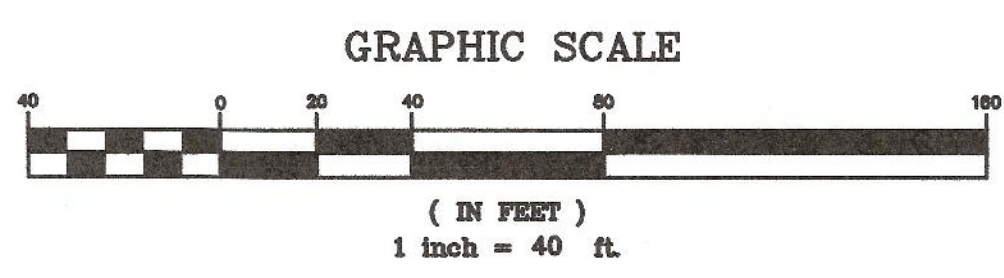
UTILITY TRENCH DETAIL

TYPE OF PIPE	RCP DRAIN	CLDI WATER	PVC SEWER	D.I. SEWER
BEDDING MATERIAL	PROC. GRAVEL	SAND	3/4" STONE	3/8" STONE
BACKFILL MATERIAL	ORD. FILL	SAND	3/4" STONE	3/8" STONE

SITE PLAN
CONSTRUCTION DETAILS - 1
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
PREPARED FOR
FRANKLIN FORD, LLC
175 EAST CENTRAL STREET
FRANKLIN, MASSACHUSETTS
APRIL 14, 2022
SCALE: 1" = 40'

SITE PLAN APPROVAL
REQUIRED
FRANKLIN PLANNING BOARD

DATE

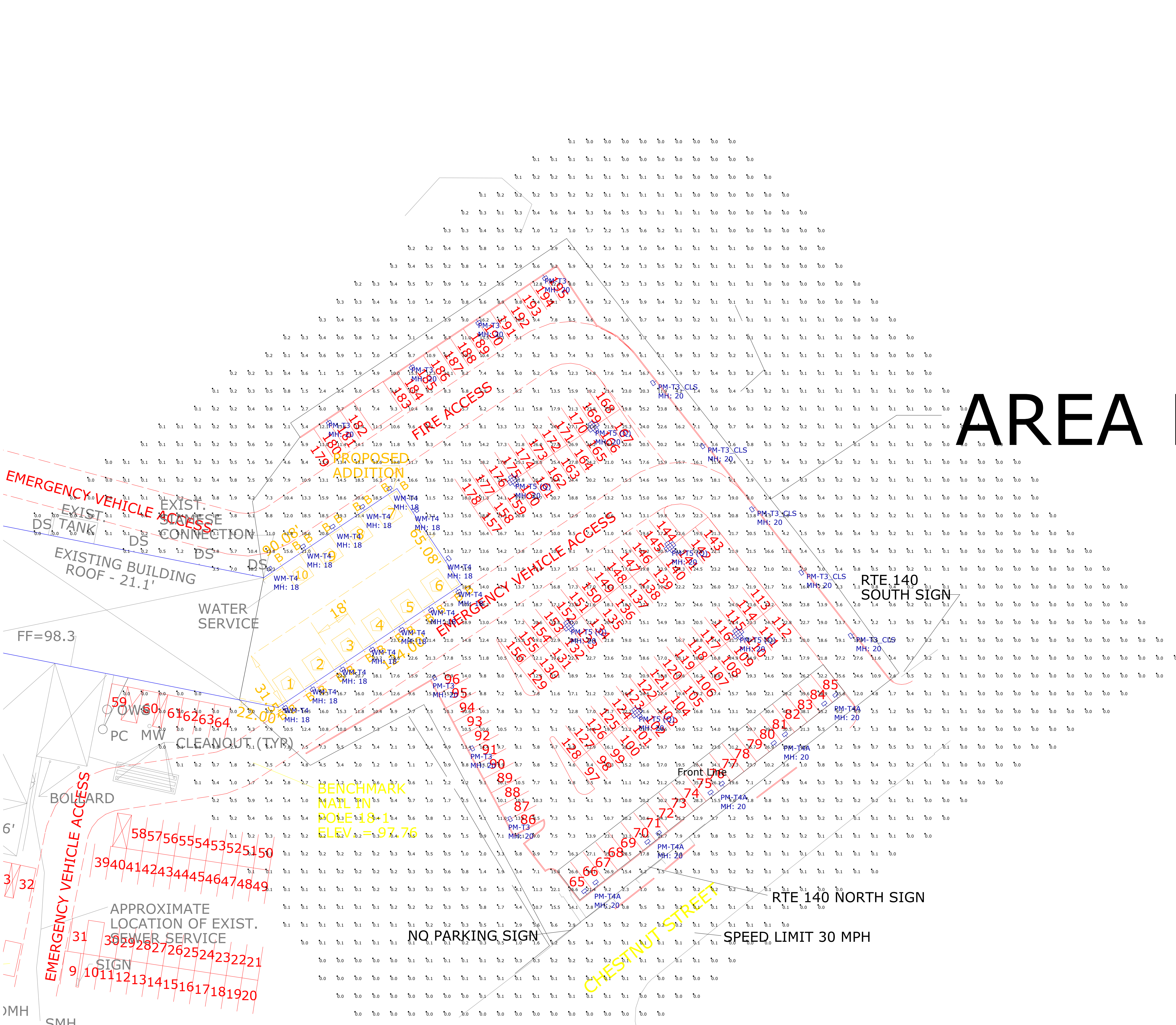


NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
8/21	BL	
BK#	FIELD BOOK	PG#
4/22		
DATE	DESIGNED BY:	
4/22	RRG	
DATE	DRAWN BY:	COMP
4/22		
DATE	CHECKED BY:	CAQ
4/22		

UNITED
CONSULTANTS
INC.
850 FRANKLIN STREET SUITE 11D
WRENTHAM, MASSACHUSETTS 02093
508-384-8580 FAX 508-384-8586

DATE
APRIL 14, 2022
SCALE
1" = 40'
PROJECT
UC1007
SHEET
7 of 8



AREA FOR LIGHTING

FORM Q

TOWN OF FRANKLIN
DESIGN REVIEW APPLICATION
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: NETA, franklin

Property Address 162 Grove St

Assessors' Map # 305 Parcel # 306-003-000-000

Zoning District (select applicable zone): Industrial

Zoning History: Use Variance _____
Non-Conforming Use _____

B) Applicant Information:

Applicant Name: Lauren Burm

Address: 5 Forke PKWY
Franklin, MA 02038

Telephone Number: 617-309-8730

Contact Person: Lauren Burm, Sr. Director - External Affairs

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: NETA Property Owner: Charley 2017 LLC
Address: 5 Forke Parkway Brian R. Holmes, MGR
Franklin, MA 7 Myrtle St.
Norfolk, MA 02056

All of the information is submitted according to the best of my knowledge
Executed as a sealed instrument this 28 day of June 2022

Lauren Burm
Signature of Applicant

B. R. H.
Signature of Owner

Lauren Burm
Print name of Applicant

Brian R. Holmes
Print name of Owner

***FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1-4

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

D) Architect/Engineer/Sign Company Information (if not the applicant)

a. Sign Company

Business Name: TBD

Contact Person: _____

Address _____

Telephone Number: _____

b. Architect/Engineer (when applicable) n/A

Business Name: _____

Contact Person: _____

Address _____

Telephone Number: _____

E) Work Summary

Summary of work to be done: updating of existing sign & adding an additional one.

F) Information & Materials to be Submitted with Application

a) FOR SIGN SUBMISSIONS ONLY:

THE FOLLOWING MUST BE SUBMITTED ELECTRONICALLY TO Mkinhart@franklinma.gov

1. Drawing of Proposed Sign which must also include
type of sign (wall, pylon etc.) colors
size/dimensions materials
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:

THE FOLLOWING MUST BE SUBMITTED W/APPLICATION to Mkinhart@franklinma.gov

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist



This signage will be: 177.5in W x 95in H.



The area of the white space on the existing exterior sign is 48.5in x 24in. The existing lettering is 6in x 4.5in, and the new lettering would match.

Town of Franklin



Design Review Commission

**Tuesday, June 28, 2022
Meeting Minutes**

Vice Chair Sam Williams called the above-captioned meeting to order this date at 7:00 PM, as a remote access virtual Zoom meeting. Members in attendance: Vice Chair Sam Williams, Gerald Wood, Venkata Sompally. Members absent: Chair James Bartro, Associate Chris Baryluk. Also present: Maxine Kinhart, Administrative Staff.

As stated on the agenda, due to the continued concerns regarding the COVID-19 virus, this meeting will be conducted as a remote/virtual Design Review Commission meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number, or citizens can participate by using the Zoom link provided on the agenda. This meeting was recorded.

1. Reilly’s Express/Service Solutions – 76 Grove Street – Install new sign faces.

Mr. Cam Afonso of Signs by Cam, Inc. addressed the Commission. He stated that this application is to install new sign faces on existing cabinets; it is lit.

Motion: To **Accept** the sign package as submitted. Motioned by G. Wood. Seconded by V. Sompally. Roll Call Vote: Williams-YES; Wood-YES; Sompally-YES. Voted 3-0-0.

2. UPS – 206 Grove Street – Illuminated S/F shield flush mount, non-illuminated “Customer Center” letters, non-illuminated aluminum plaque, customer center parking signs, and double-side illuminated directional sign.

Vice Chair Williams stated that this item was previously before the Commission. He stated that the applicant had some issues with sizes; they are presenting the item again at this meeting.

Mr. Andrew Serrato of Serrato Signs LLC addressed the Commission. He stated that they were asked to adjust the square footage of the signs. He stated that they downsized the two signs and removed the sign with the hours. Vice Chair Williams stated that everything looks in line with the suggestions made by the Commission. He stated that all the signage adds up to work within the guidelines. He noted that the Customer Center signage was determined to be directional, and there are some parking signs that are not branded.

Motion: To **Accept** the sign package as submitted. Motioned by V. Sompally. Seconded by G. Wood. Roll Call Vote: Williams-YES; Wood-YES; Sompally-YES. Voted 3-0-0.

Approval of Minutes: June 14, 2022

Motion: To **Approve** the June 14, 2022 Meeting Minutes as presented. Motioned by G. Wood. Seconded by V. Sompally. Roll Call Vote: Williams-YES; Wood-YES; Sompally-YES. Voted 3-0-0.

3. Franklin Ford – 175 East Central Street, 9 Chestnut Street – Add additional service bays and parking.

Attorney Edward Cannon on behalf of Franklin Ford and Mr. Bob Breen, General Manager of Franklin Ford, addressed the Commission. Mr. Cannon discussed the location of the Franklin Ford building as shown on the plans and reviewed the plan elevations and proposed addition to expand to six service bays. Vice Chair Williams stated that much of this is seen from Rt. 140 and it seems set back on the Chestnut Street side.

Mr. Cannon reviewed the site plan, lighting plan, and landscape plan. He explained the overall site as shown on the site plan with the existing building facing East Central Street and the proposed extension of the bays and proposed striped parking at 9 Chestnut Street. He stated that they are aware that BETA and the abutters were concerned about the lighting; he stated that the lighting will be upgraded. He stated that what is currently there is old-school, and the lights sit on telephone poles. Mr. Breen stated that National Grid is sending someone out as soon as possible to review; they are National Grid's poles. Mr. Cannon stated that either the poles will be replaced or repurposed and the lighting will be updated. He noted that currently, Franklin Ford does not control the lights; as National Grid controls the lights, they stay on longer than necessary. He stated that the proposed lighting should be a big improvement over what is there currently. Vice Chair Williams noted that there is lighting spillage on the photometric plan. He stated that before the Commission would approve a lighting plan, they would want to see it updated and the spillage eliminated. Mr. Cannon noted that Mr. Rick Goodreau of United Consultants could not be present at tonight's meeting; however, Mr. Goodreau has assured him that the photometric plan will show no light spillage onto the neighbors.

Mr. Cannon stated that on Chestnut Street there is a curb cut; its location is to improve the function of the intersection. Mr. Breen stated that the curb cut will allow for car carriers to enter; usually this occurs during the day. Vice Chair Williams questioned the possible noise as the curb cut is being located closer to the neighbors. Mr. Cannon stated that at last night's Planning Board meeting, Mr. Keith asked if they could examine the possibility of utilizing other areas of the site to off-load vehicles. Mr. Cannon stated that they told Mr. Keith they would do their best to accommodate that. Mr. Cannon stated that Mr. Goodreau did the planting plan/schedule.

Vice Chair Williams reviewed the planting plan/schedule. He asked if there was any thought given to doing anything along the street front such as for an improved pedestrian experience when walking down Chestnut Street. Mr. Cannon stated that he would make note of that for Mr. Goodreau to look at; however, he explained that the closer it is to the intersection, it is important to make sure sight lines are strong. Vice Chair Williams noted the drainage work in the back area. He noted the buffer between Franklin Ford and the abutters in that area. Mr. Wood reviewed the Chestnut Street curb cut and the busy area of Chestnut Street. He requested that they make it easier for pedestrians to delineate between the driveway for the parking space and the sidewalk as it gets very busy there. Mr. Sompally stated agreement with Mr. Wood.

Motion: To **Recommend** the facade as submitted. Motioned by S. Williams. Seconded by V. Sompally. Roll Call Vote: Williams-YES; Wood-YES; Sompally-YES. Voted 3-0-0.

Motion: To **Not Recommend** the lighting plan as submitted until the Commission sees an updated plan with the proper photometrics. Motioned by S. Williams. Seconded by G. Wood. Roll Call Vote: Williams-YES; Wood-YES; Sompally-YES. Voted 3-0-0.

Motion: To **Not Recommend** the landscape plan as submitted with the idea that the Commission would like to see a little more buffering on the Chestnut Street side. Motioned by S. Williams. Seconded by G. Wood. Roll Call Vote: Williams-YES; Wood-YES; Sompally-YES. Voted 3-0-0.

Mr. Cannon requested the public hearing be continued to the Commission's next available hearing date. Ms. Kinhart stated that the next Commission meeting is on July 12, 2022.

- 4. Primrose School Franchising Company – 700-712 Union Street** – Proposed 13,525 sq. ft. one-story child day care facility with a 10,242 sq. ft. turf playground area, off-street parking facilities, landscaping, utility services, site lighting, stormwater management facilities, and other related site improvements.

Mr. Joshua Kline of Stonefield Engineering and Design addressed the Commission. He stated that they have worked with Primrose schools across the northeast. He reviewed the project and stated that he would highlight the items he thought the Commission would be most interested in. He reviewed the aerial view provided in the meeting packet. He noted that there are two hotel projects across the street. He noted the significant grade change of 20 ft. to 30 ft. from Union Street; he stated that it is a challenging site to layout. He noted the grading challenges dictate how they can design the site. He reviewed the building, parking, and playground areas. He stated that they have already talked to the fire department regarding access. He discussed that they would be keeping the streetscaping area on Spruce Pond Road. He reviewed the landscaping plan. He stated that Primrose is a high-end product. He reviewed that there will be many new trees and plantings for this project; there will be plantings around the monument sign, flagpole, and retaining wall. He stated that the majority of the back of the site is for stormwater management. He reviewed the photometric plan and stated that they are LED downward facing fixtures. He stated that they are focused on having safe lighting in the parking lot, and there is no spillage on any abutting property. He stated that the playground does not have to be lit as children will not be playing on the playground when it is dark. He reviewed the color renderings and noted the architectural features and elevations. He stated that some of the key elements are the pitched roofs, cupola on the top, and more traditional materials on the front of the building. He noted that this is a one-story structure. He stated they are surrounded by two hotels that are under construction. He noted that this was a previously vacant property. He stated that a monument sign is proposed which is located by the driveway. He reviewed that there are two small signs associated with the project: one sign faces Union Street and one sign is over the door. He stated that they would like to go before the Planning Board and keep the application moving; therefore, if the Commission is looking for more specifics on signage, they would be happy to return to the Commission for that. He stated that the Primrose emblem on the monument sign will be illuminated, and the two emblems on the building will be illuminated as well. He stated that they were in the Commercial II district, and this was noted on the plans. He reviewed other locations of Primrose schools in Massachusetts.

Vice Chair Williams noted that this does attempt to fall within the New England aesthetic design guidelines. Mr. Kline noted that it is a metal awning. Vice Chair Williams asked for a sample board of the actual materials. Mr. Kline said that he would look for a sample; however, since they are meeting virtually, he could provide a photo. He showed on the screen a picture of a completed building. Vice Chair Williams asked about parking. He stated that he is worried that the driveway is multi-directional and day care drop off and pick up can be chaotic. He asked if it would be better to have the driveway one way; however, he noted that this may be more of an issue for the Planning

Board. He stated that he thinks the front of the building is nice enough for the minimal landscaping there.

Motion: To **Recommend** the facade package as submitted. Motioned by G. Wood. Seconded by V. Sompally. Roll Call Vote: Williams-YES; Wood-YES; Sompally-YES. Voted 3-0-0.

Motion: To **Recommend** the lighting package as submitted. Motioned by G. Wood. Seconded by V. Sompally. Roll Call Vote: Williams-YES; Wood-YES; Sompally-YES. Voted 3-0-0.

Motion: To **Recommend** the landscaping plan as submitted. Motioned by S. Williams. Seconded by G. Wood. Roll Call Vote: Williams-YES; Wood-YES; Sompally-YES. Voted 3-0-0.

Motion: To **Accept** the sign package as submitted. Motioned by S. Williams. Seconded by G. Wood. Roll Call Vote: Williams-YES; Wood-YES; Sompally-YES. Voted 3-0-0.

General Matters - New Business

None.

General Matters - Old Business

None.

Commission members thanked Mr. Sompally for his service on the Commission.

Motion to Adjourn by S. Williams. Seconded by G. Wood. Roll Call Vote: Williams-YES; Wood-YES; Sompally-YES. Voted 3-0-0.

Meeting adjourned at 8:09 PM.

Respectfully submitted,

Judith Lizardi
Recording Secretary