

## Town of Franklin



### Planning Board

Due to the growing concerns regarding the COVID-19 virus, we will be conducting a remote/virtual Planning Board Meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number (Cell phone or Landline Required) OR citizens can participate by copying the link (Phone, Computer, or Tablet required).

Please click on the link <https://us02web.zoom.us/j/88525270892> or call on your phone at 312-626-6799, meeting # 88525270892.

May 11, 2020

7:00 PM Commencement/General Business

7:05 PM **PUBLIC HEARING** – *Continued*  
**300 East Central Street**  
Site Plan - Change in Use

*Adv.: Sept. 23 2019 & Sept. 30, 2019*  
*Abut.: Sept. 19, 2019*

7:05 PM **PUBLIC HEARING** – *Continued*  
**70, 72 & 94 East Central St – Multi-Family**  
Special Permit & Site Plan Modification

*Adv.: Jan 27 & Feb 3, 2020*  
*Abuts: Jan. 22, 2020*

#### GENERAL BUSINESS:

A. **Decision:** 158 Grove Street – Brewery

B. **lot Release and Bond:** Mine Brook Estates – Margaret's Cove

**This agenda is subject to change. Last updated: May 5, 2020**

The next meeting of the Planning Board is scheduled for May 18, 2020.



**FRANKLIN PLANNING & COMMUNITY  
DEVELOPMENT**

355 EAST CENTRAL STREET, ROOM 120  
FRANKLIN, MA 02038-1352  
TELEPHONE: 508-520-4907

**MEMORANDUM**

**DATE:** May 7, 2020  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** 158 Grove Street  
Special Permit & Site Plan Modification

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The DPCD has reviewed the above referenced Site Plan application for the Monday, May 11, 2020 Planning Board meeting and offers the following commentary:

**General:**

- The applicant seeks a Special Permit and Site Plan Modification to expand the Brewery and Tasting room at 158 Grove Street.
- The following letters have been received:
  - Letter dated March 12, 2020 from the Town Engineer
- Special Permit findings are included in the application and are provided with the application in the notebook.

**Comments:**

1. The Applicant is proposing to expand the footprint by 1,440 sq/ft, giving the Brewery with Tasting area a total of 4,440 sq/ft. The tasting room allowed to be 25% of the total footprint. The Applicant is proposing a tasting room of 1,110, which is 25% of the total area.
2. The Applicant is requesting to allow live entertainment. The applicant has provided a proposal for the entertainment.
3. The Applicant is requesting to extend the hours of operation, by adding Tuesday evenings 4:30PM- 10:00PM.

## ROLE CALL VOTE:

This determination shall be in addition to the following specific findings:

- **Special Permit VOTE:** §185 Attachment 4 Use Regulation Schedule Part III 3.13:

- To amend the Special Permit at 158 Grove Street, and allow the following:

1. Expand the square footage from 3,000 sq/ft to a total of 4,400 sq/ft. The tasting room will be 1,100sq/ft of the 4,400 sq/ft.
2. Expand hours of operation to add Tuesday evenings from 4:30PM – 10:00PM.
3. Allow live entertainment

*If you vote NO on any of the following, please state reason why you are voting NO:*

(a) Proposed project addresses or is consistent with neighborhood or Town need.

Anthony Padula	YES	NO	Joseph Halligan	YES	NO
Gregory Rondeau	YES	NO	William David	YES	NO
Rick Power	YES	NO			

(b) Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.

Anthony Padula	YES	NO	Joseph Halligan	YES	NO
Gregory Rondeau	YES	NO	William David	YES	NO
Rick Power	YES	NO			

(c) Public roadways, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.

Anthony Padula	YES	NO	Joseph Halligan	YES	NO
Gregory Rondeau	YES	NO	William David	YES	NO
Rick Power	YES	NO			

(d) Neighborhood character and social structure will not be negatively impacted.

Anthony Padula	YES	NO	Joseph Halligan	YES	NO
Gregory Rondeau	YES	NO	William David	YES	NO
Rick Power	YES	NO			

(e) Project will not destroy or cause substantial damage to any environmentally-significant natural resource, habitat, or feature or, if it will, proposed mitigation, remediation, replication or compensatory measures are adequate.

Anthony Padula	YES	NO	Joseph Halligan	YES	NO
Gregory Rondeau	YES	NO	William David	YES	NO
Rick Power	YES	NO			

(f) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.

Anthony Padula	YES	NO	Joseph Halligan	YES	NO
Gregory Rondeau	YES	NO	William David	YES	NO
Rick Power	YES	NO			

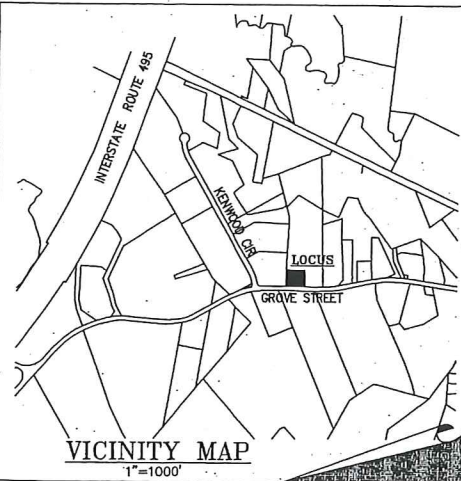
(g) Water consumption and sewer use, taking into consideration current and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.

Anthony Padula	YES	NO	Joseph Halligan	YES	NO
Gregory Rondeau	YES	NO	William David	YES	NO
Rick Power	YES	NO			

The proposed use will not have adverse effects which overbalance its beneficial effects on either the neighborhood or the Town, in view of the particular characteristics of the site and of the proposal in relation to that site.

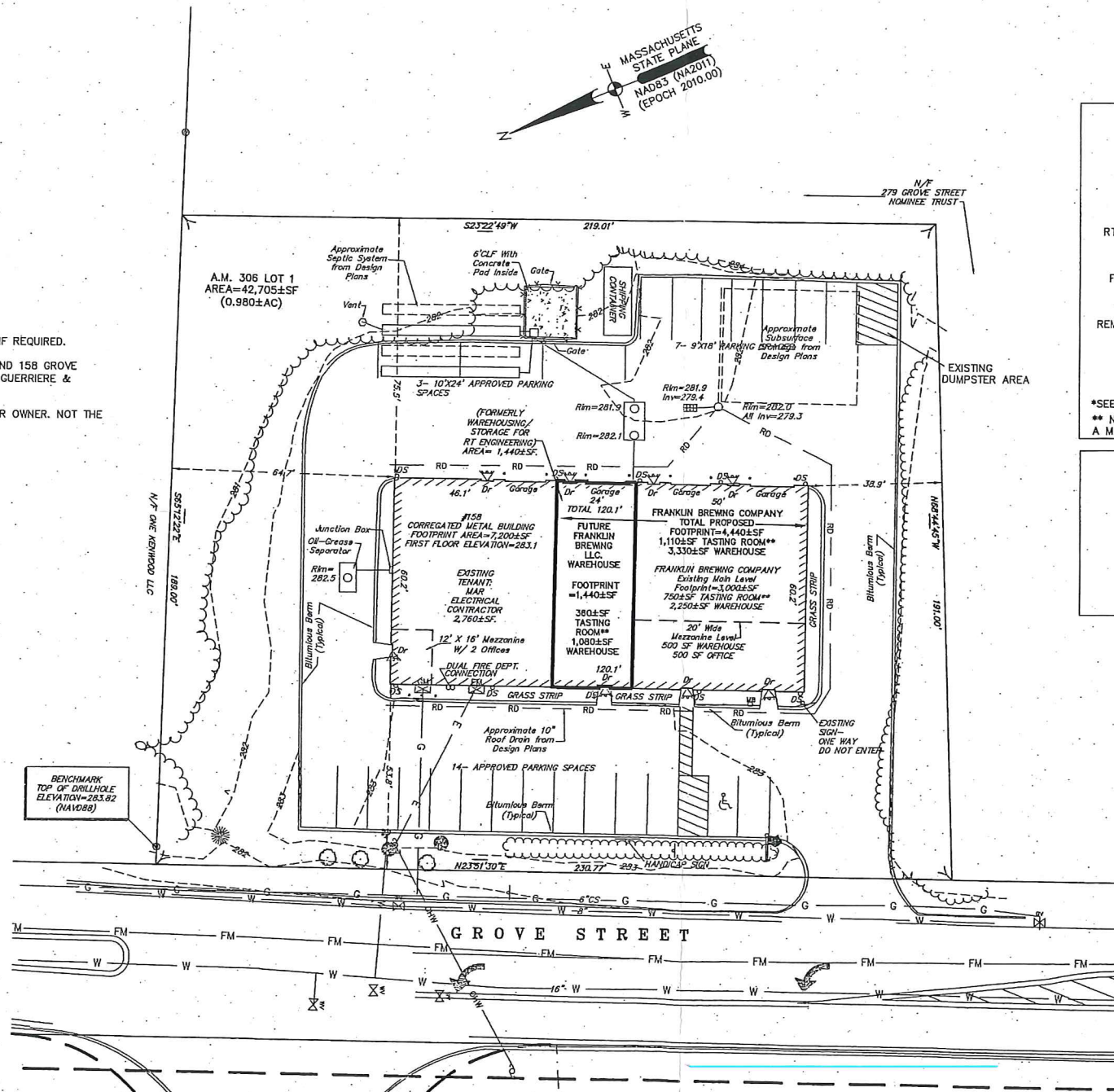
Anthony Padula	YES	NO	Joseph Halligan	YES	NO
Gregory Rondeau	YES	NO	William David	YES	NO
Rick Power	YES	NO			





### NOTES

1. THIS SITE IS NOT IN A FLOOD HAZARD ZONE.
2. REFER TO FRANKLIN ASSESSORS MAP 306 LOT 001.
3. THIS SITE IS NOT IN A WATER RESOURCE DISTRICT.
4. THE ARCHITECT WILL PROVIDE PLANS AND CALCULATIONS FOR FIRE PROTECTION IF REQUIRED.
5. SEE PLAN ENTITLED 'FRANKLIN BREWING COMPANY CHANGE IN USE PLAN OF LAND 158 GROVE STREET, FRANKLIN, MASS.' DATED APRIL 23, 2019, LAST REVISED JULY 8, 2019 BY GUERRIERE & HALNON AND ENDORSED BY THE PLANNING BOARD AUGUST 5, 2019.
6. EXISTING AND PROPOSED INTERIOR DIMENSIONS PROVIDED BY APPLICANT AND/OR OWNER. NOT THE RESULT OF THIS ON-GROUND SURVEY BY GUERRIERE & HALNON, INC.
7. THERE ARE CURRENTLY 24 PARKING SPACES WITH DIMENSIONS SHOWN HEREON.



RECEIVED  
MAR 3 2020  
PLANNING DEPT.

INDUSTRIAL		
FRANKLIN ZONING BYLAW SECTION 185		
ATTACHMENT 9, LAST AMENDED		
11-16-2016 BY AMENDMENT 16-771		
	REQUIRED	EXISTING
MINIMUM LOT AREA	40,000 SF	42,705 SF
MINIMUM LOT FRONTAGE	175'	230.77'
MINIMUM LOT DEPTH	200'	190.80'
MINIMUM LOT WIDTH	157.5'	189.80'
MINIMUM YARDS:		
FRONT	40'	53.8'
SIDE	30'	38.9'
REAR	30'	75.5'
% OF LOT UPLAND COVERED BY:		
STRUCTURES	70	16.9
STRUCTURES+PAVING	80	60.1

\*INCREASE BY THE COMMON BUILDING HEIGHT OF THE STRUCTURE WHEN ABUTTING A RESIDENTIAL DISTRICT OR USE.

### EXISTING REQUIRED PARKING AND USES NOTES

MAR ELECTRICAL CONTRACTORS AREA= 2760±SF.  
MAR ELECTRICAL CONTRACTORS- INDUSTRIAL 1 SPACE/400SF=7 SPACES  
OFFICE MEZZ.-16' X 12'=192±SF 1/250 =1 SPACE  
TOTAL FOR MAR ELECTRICAL=8 SPACES  
RT ENGINEERING AREA=1440±SF- WAREHOUSE 1 SPACE/1000SF= 2 SPACES  
TOTAL FOR RT ENGINEERING=2 SPACES

#### FRANKLIN BREWING COMPANY

EXISTING MAIN LEVEL (3,000±SF)  
TASTING ROOM-750± \*\*SEE NOTE BELOW = 13 SPACES  
REMAINING MAIN FLOOR SPACE-2,250±SF WAREHOUSE 1/1000 = 3 SPACES  
EXISTING MEZZANINE LEVEL (1,000±SF)  
500±SF OFFICE SPACE 1/250 = 2 SPACES  
500±SF WAREHOUSE 1/1000 = 1 SPACE  
TOTAL FOR FRANKLIN BREWING COMPANY = 19 SPACES  
\*SEE PARKING DETERMINATION ALLOWING 24 PARKING SPACES  
\*\* NOTE: PER THE BOARD OF HEALTH, THE TASTING ROOM IS RESTRICTED TO A MAXIMUM OF 39 SEATS.

### PROPOSED PARKING NOTES

FRANKLIN BREWING COMPANY  
(SPACE FORMERLY OCCUPIED BY RT ENGINEERING)  
(1,440±SF)

FUTURE FRANKLIN BREWING TOTAL WAREHOUSE AREA= 1,080±SF.  
FUTURE FRANKLIN BREWING TOTAL TASTING ROOM AREA=360± SF.  
TOTAL PROPOSED SPACES REQUIRED BY FRANKLIN BREWING 2 SPACES  
TOTAL PARKING APPROVED 2019 FOR EXISTING USES= 24 SPACES  
TOTAL PARKING PROVIDED= 24 SPACES

LEASE AGREEMENT FOR UP TO 13 SPACES FROM MONDAY - FRIDAY.  
ADDITIONAL SPACES AVAILABLE ON WEEKENDS.

#### PREVIOUSLY APPROVED BREWERY HOURS OF OPERATION:

MONDAY & TUESDAY - CLOSED  
WEDNESDAY THRU FRIDAY - 4:30PM TO 10:00PM  
SATURDAY - 12:00PM TO 10:00PM  
SUNDAY - 12:00PM TO 7:00PM

NOTE:  
A SPECIAL PERMIT FOR A BREWERY WITH TASTING ROOM UNDER 185 ATTACHMENT 4 USE REGULATIONS SCHEDULE PART III.13 WAS APPROVED BY THE PLANNING BOARD JULY 8, 2019.

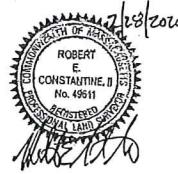
### PURPOSE OF THIS PLAN

REQUEST A CHANGE OF USE AND AMEND THE SPECIAL PERMIT FROM THE PLANNING BOARD:

1. TO EXPAND FOOTPRINT OF SPACE TO INCLUDE AN ADDITIONAL 1,440±SF., COMPLYING WITH A MAXIMUM SEAT LIMIT OF 39 PER THE BOARD OF HEALTH.
2. TO EXTEND THE HOURS OF OPERATIONS BY ADDING TUESDAY EVENINGS OPEN FROM 4:30PM-10:00PM.
3. TO ALLOW LIVE ENTERTAINMENT.

### LEGEND

⊗	CATCH BASIN	⊕	UTILITY POLE
⊙	DRAIN MANHOLE	—	GUY WIRE
⊗	ELECTRIC MANHOLE	—	SEWER LINE
⊗	SEWER MANHOLE	—	DRAIN LINE
—	GAS VALVE	—	WATER LINE
—	GAS SHUT OFF VALVE	—	GAS LINE
—	WATERGATE	—	UNDERGROUND ELECTRIC
—	WATER SHUT OFF VALVE	—	OVERHEAD WIRE
—	FIRE HYDRANT	—	ELECTRIC METER
⊗	SHRUB	Dr	DOOR
⊗	TREE		
—	EXISTING WALL/PAC		



APPROVED DATE:  
FRANKLIN PLANNING BOARD

BEING A MAJORITY

#### LEGAL NOTES

UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED DATA. IT IS THE VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DETERMINED BY RECORDS OR OBSERVED PHYSICAL EVIDENCE. CONTRACTORS (IN ACCORDANCE WITH MASS. G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

#### OWNER

GROVE STREET REALTY TRUST  
ALBERT G. LEWIS, TRUSTEE  
7 UNCAS BROOK ROW  
FRANKLIN, MA 02038

DEED BOOK 10619 PAGE 541  
PLAN NO. 495 OF 1994 PLAN BK. 423  
A.M. 306 LOT 1

#### APPLICANT

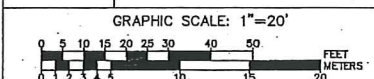
OLIVER EDUARD  
8 BRIAN ROAD  
FRANKLIN, MA 02038

FRANKLIN BREWING  
COMPANY  
LIMITED SITE AND  
SPECIAL PERMIT  
PLAN  
158 GROVE STREET  
FRANKLIN  
MASSACHUSETTS

FEBRUARY 21, 2020

DATE REVISION DESCRIPTION

DATE	REVISION	DESCRIPTION



Guerriere & Halnon, Inc.  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gandhengineering.com

SHEET 1 OF 1 JOB NO. F4280



## **FRANKLIN PLANNING & COMMUNITY DEVELOPMENT**

355 EAST CENTRAL STREET, ROOM 120  
FRANKLIN, MA 02038-1352  
TELEPHONE: 508-520-4907  
FAX: 508-520-4906

### **MEMORANDUM**

**DATE:** May 7, 2020  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** Bond – Tripartite Agreement  
Covenant Release – Form G  
Mine Brook Estates

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The DPCD has reviewed the above referenced Limited Site Plan Modification application for the Monday, May 11, 2020 Planning Board meeting and offers the following commentary:

#### **General:**

1. The Planning Board approved on October 7, 2019 a Definitive Subdivision Modification plan entitled "Mine Brook Estates – Margaret's Cove".
2. A Public Right away Covenant was recorded at the Registry of Deeds on December 2, 2019, as required per Condition #6 in the Certificate of Vote.
3. The applicant has submitted a Form G Covenant release requesting 6 lots and drainage lot of the Definitive subdivision be released.
4. Matt Crowley, BETA Group, has performed an on-site inspection and has estimated the cost of completion is \$267,887.
5. The applicant is proposing a Surety Bond which needs to be accepted by the Treasurer.

#### **Comments from May 4, 2020 Meeting:**

1. The Planning Board requested that the applicant install a berm or temporary curbing.
2. The Planning Board requested that the drainage be fully functional before releasing lots.



JOB Mine Brook Estates, Franklin, MA  
 CALC NO  
 CHKD MC  
**Order of Magnitude  
 Construction Cost**

NO. 4831 82  
 DATE 03/31/20  
 DATE 04/27/20  
 SHEET 1 of 1

Item Description	Unit	QTY	Unit Cost	Item Cost
TOP COURSE PAVEMENT (1.5")	TON	190	\$ 120	\$ 22,803
GRANITE EDGING TYPE SA	FT	1,200	\$ 35	\$ 42,000
INSTALL GAS UTILITIES (EXCAVATION AND BACKFILL)	LS	1	\$ 10,000	\$ 10,000
INSTALL ELECTRIC CONDUIT	FT	650	\$ 35	\$ 22,750
LIGHT STANDARD FOUNDATION SD 3.010	EA	3	\$ 1,200	\$ 3,600
LIGHT POLE	EA	3	\$ 5,000	\$ 15,000
LIGHTING LUMINAIRE	EA	3	\$ 2,000	\$ 6,000
GRAVEL BORROW FOR SIDEWALKS	CY	92	\$ 50	\$ 4,605
CEMENT CONCRETE WHEELCHAIR RAMPS	SY	19	\$ 105	\$ 1,972
HOT MIX ASPHALT WALK SURFACE	TON	90	\$ 240	\$ 21,600
DRAINAGE STRUCTURE ADJUSTED (DMH x 1 + CB x 1)	EA	11	\$ 450	\$ 4,950
SANITARY STRUCTURE ADJUSTED	EA	4	\$ 450	\$ 1,800
60 INCH CHAIN LINK FENCE - VINYL COATED	FT	150	\$ 50	\$ 7,500
STREET NAME SIGN	EA	1	\$ 100	\$ 100
WARNING-REGULATORY AND ROUTE MARKER - ALUMINUM PANEL (TYPE A)	SF	10	\$ 13	\$ 130
MAPLE - RED - 'OCTOBER GLORY' 2-2.5 INCH CALIPER	EA	7	\$ 650	\$ 4,550
MAPLE - SUGAR 2-2.5 INCHES CALIPER	EA	7	\$ 650	\$ 4,550
OAK - WHITE 2.5-3 INCH CALIPER	EA	8	\$ 800	\$ 6,400
CONCRETE BOUNDS	EA	13	\$ 520	\$ 6,760
LOAM BORROW (ROW & DRAIN EASEMENT)	CY	360	\$ 55	\$ 19,800
SEEDING (ROW & DRAIN EASEMENT)	SY	1720	\$ 2	\$ 3,440
AS-BUILT SURVEY	LS	1	\$ 4,000	\$ 4,000

Subtotal \$ 214,310

Contingency (Engineering Services & Bid Documents, etc) 25% \$ 53,577

**ORDER OF MAGNITUDE CONSTRUCTION COST \$ 267,887**

Unit Prices based on MassDOT current unit prices





# TOWN OF FRANKLIN - SITE OBSERVATION REPORT

## Mine Brook Estates

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Report No.:	<b>4831 19 – 023</b>	Date:	<b>April 24, 2020</b>	Arrive:	<b>11:00 AM</b>
Observer:	<b>Nick O’Connell</b>	Weather:	<b>Cloudy ~50°</b>	Leave:	<b>12:00 PM</b>
Applicant:	<b>Whitman Homes 1200 Turnpike Street Canton, MA 02038</b>	Contractor:	<b>Canesi Bros. Construction 801 Union Street Franklin, MA 02038</b>		

Items Observed: **Conformance Observation – Submitted in conjunction with Applicant’s request for acceptance of Form H – Certificate of Partial Completion**

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### **OBSERVATIONS**

**Observation Requested By:** Rich Whittington – Whitman Homes

**Met/walked site with:** Bill Canesi – Canesi Bros. Construction

**Current Activity on Site:** No current activity

**Observed Construction:** BETA arrived on site to perform a construction observation in conjunction with the Applicant’s request for acceptance of Form H – Certificate of Partial Completion. The required Form H, Subdivision Work Completion List, and interim As-built plan, all dated March 24, 2020, were provided by email.

BETA’s site walk and review of the Approved Plans confirmed the site to be constructed in general conformance with the Approved Plans, based upon construction completed to date. The HMA binder course has been installed on the roadway with a dribble berm along the edges for drainage. The infiltration basin has also been constructed, complete with rip rap and loam and seed. Remaining work items to be completed are as detailed on the attached Cost to Complete Estimate. Erosion control measures were observed to be properly installed and are functional. Installed drainage is also functioning. BETA notes the installed dribble berm will need to be periodically monitored to ensure continued function.

**SITE PHOTOS**



Infiltration Basin with Loam and Seed



Typical Catch Basin with Dribble Berm



Rip Rap at Detention Basin



Typical Section of Paved Roadway with Dribble Berm





**FRANKLIN PLANNING & COMMUNITY  
DEVELOPMENT**

355 EAST CENTRAL STREET, ROOM 120  
FRANKLIN, MA 02038-1352  
TELEPHONE: 508-520-4907

**MEMORANDUM**

**DATE:** May 7, 2020  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** 300 East Central Street  
Site Plan – Change In Use

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The DPCD has reviewed the above referenced Site Plan application for the Monday, May 11, 2020 Planning Board meeting and offers the following commentary:

**General:**

1. The site is approximately 7.6 acres and is located at 300 East Central Street in the Commercial II Zoning District; Assessor's Map 285 Lot 010.
2. The applicant has filed a Site Plan Modification for a change in use from a Bowladrome to religious use.
3. The Applicant has the indicated the use is solely for religious purposes only. The Planning Board may want to add a condition requiring a Limited Site Plan be for filed for any future use other than Religious purposes.

**Comments from the February 24, 2020 meeting:**

1. The Applicant has the indicated the use is solely for religious purposes only. The Planning Board may want to add a condition requiring a Limited Site Plan be for filed for any future use other than Religious purposes.
2. The Planning Board expressed the following concerns:
  - a. A complete Site Plan be submitted with drainage analysis.
  - b. Parking analysis to include offices and common areas
  - c. A photometric plan be submitted
  - d. A screening plan be submitted for the parking area

DPCD has reached out to the engineer and has not heard back regarding any new information.

# SITE PLAN MODIFICATION 70, 72, 88 AND 94 EAST CENTRAL STREET

PLAN 1079 OF 1988



LOCUS MAP  
SCALE: 1" = 100'

- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.

WAIVER REQUESTS:  
1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE. PROPOSED CLASS V RCP.  
2. TO ALLOW THE USE OF HPDE PIPE FROM CATCH BASIN 92 TO THE POND, FROM THE POND TO DRAIN MANHOLE 93, FROM THE TRENCH DRAIN TO DRAIN MANHOLE 91 AND THE ROOF LEADER COLLECTION SYSTEM TO THE POND.

94 EAST CENTRAL STREET PROPERTY IS LOCATED WITHIN A COMMERCIAL I ZONE.

REQUIREMENTS:	EXISTING	PROPOSED
DOWNTOWN COM. AREA:	5,000 S.F.	66,535± S.F.
FRONTAGE:	50'	186.07' & 49.02'
DEPTH:	50'	268'
HEIGHT:	3 STORIES - 40' *15	2 STORIES
WIDTH:	45'	>45'

COVERAGE - STRUCTURES:	80%	9.1%
STRUC. & PAVING:	90%	42.7%

SETBACKS-		
FRONT:	20' *1	161.2'
SIDE:	10' *14	24.6'
REAR:	15'	35.5'

\*1 - BUT NO NEW STRUCTURE SHALL BE REQUIRED TO PROVIDE A DEEPER YARD THAN EXISTED ON THAT PARCEL UPON ADOPTION OF THIS AMENDMENT.  
\*14 - THE 10-FOOT SIDE SETBACK IS ONLY REQUIRED ON ONE SIDE OF THE LOT; IF LOT ABUTS A RESIDENTIAL DISTRICT, A 20-FOOT SETBACK IS REQUIRED ON THE ABUTTING SIDE.  
\*15 - BUILDINGS UP TO 50 FEET IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES, MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

REQUIREMENTS FOR 94 EAST CENTRAL STREET ZONE COMMERCIAL I  
EXISTING AND PROPOSED LOT AREA, FRONTAGE, DEPTH, WIDTH AND COVERAGE BASED ON THE LOTS BEING COMBINED.  
BUILDING HEIGHT, AND SETBACKS BASED ON PROPOSED BUILDING LOCATED ON 94 EAST CENTRAL STREET.  
THE PROPERTY IS NOT LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT.  
THE PROPERTY IS LOCATED IN A ZONE C BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.

94 EAST CENTRAL STREET:  
EXISTING BUILDING USE RESIDENTIAL  
PROPOSED BUILDING USE MIXED WITH RESIDENTIAL

## DRAWING INDEX:

1. COVER SHEET
  2. EXISTING CONDITIONS PLAN
  3. SITE LAYOUT PLAN
  4. SITE GRADING AND UTILITY PLAN
  5. SITE PLANTING PLAN
  6. EROSION CONTROL PLAN
  7. CONSTRUCTION DETAILS
  8. CONSTRUCTION DETAILS
  9. CONSTRUCTION DETAILS
- SITE LIGHTING-LIGHTING PLAN,  
PHOTOMETRICS AND SCHEDULES  
BY SK & ASSOCIATES

MAP 286 PARCELS 32 AND 34  
ARE TO BE COMBINED.  
MAP 286 PARCEL 33 HAS A PROPOSED  
EASEMENT FOR ACCESS AND UTILITIES.

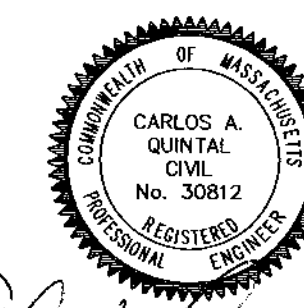
REFERENCES:  
ASSESSORS MAP 286 PARCEL 32  
DEED BOOK 36860 PAGE 516  
DEED BOOK 35983 PAGE 116  
DEED BOOK 24648 PAGE 492  
PLAN 108 OF 1908  
PLAN 576 OF 1900  
OWNERS PLAN OF LAND BY GUERRIERE AND HALNOR, INC  
DATED OCTOBER 22, 2018  
PLAN 3334 OF 1913  
PLAN 853 OF 1928

OWNER:  
MAP 286 PARCELS 32 AND 34  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33  
JOHN AND CARMEL SHERRY  
88 EAST CENTRAL STREET

APPLICANT:  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

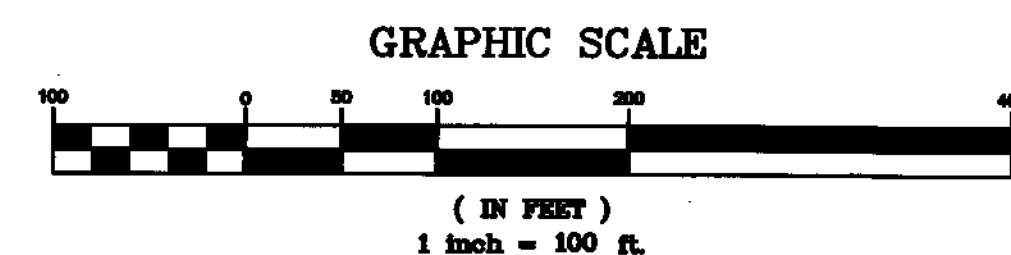
SITE PLAN MODIFICATION  
COVER SHEET  
70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
MARCH 4, 2020  
SCALE: 1" = 100'



Carlos A. Quintal P.E. #30812

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE



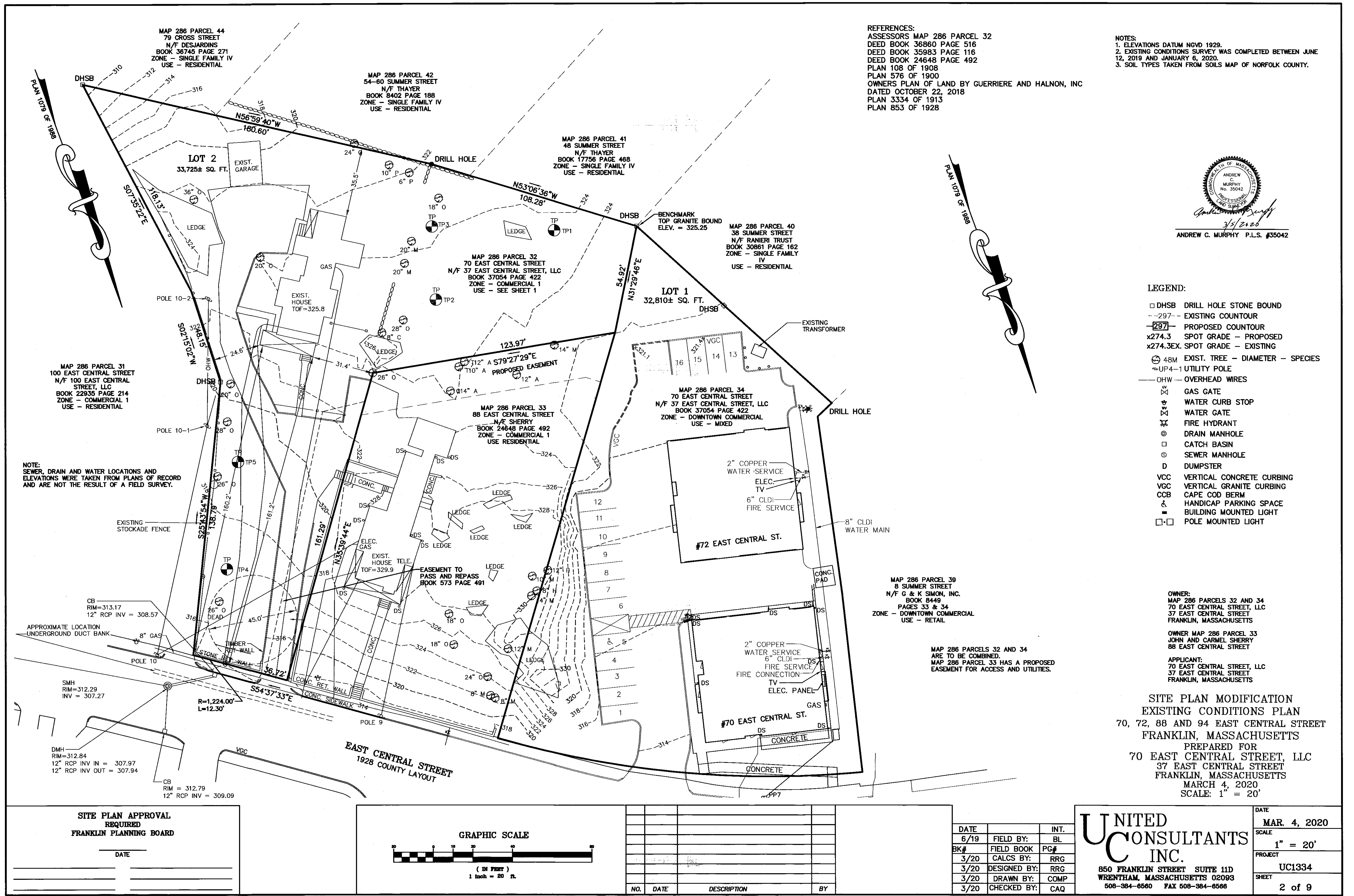
NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
6/19	BL	
BK#	CALCS BY:	PG#
3/20	RRG	
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

UNITED  
CONSULTANTS  
INC.  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6580 FAX 508-384-6586

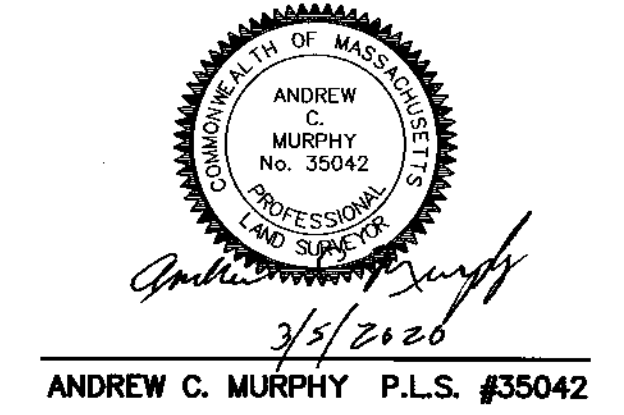
DATE	MAR. 4, 2020
SCALE	1" = 100'
PROJECT	UC1334
SHEET	1 of 9





REFERENCES:  
ASSESSORS MAP 286 PARCEL 32  
DEED BOOK 36860 PAGE 516  
DEED BOOK 35983 PAGE 116  
DEED BOOK 24648 PAGE 492  
PLAN 108 OF 1908  
PLAN 576 OF 1900  
OWNERS PLAN OF LAND BY GUERRIERE AND HALNOR, INC  
DATED OCTOBER 22, 2018  
PLAN 3334 OF 1913  
PLAN 853 OF 1928

NOTES:  
1. ELEVATIONS DATUM NGVD 1929.  
2. EXISTING CONDITIONS SURVEY WAS COMPLETED BETWEEN JUNE 12, 2019 AND JANUARY 6, 2020.  
3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.



- LEGEND:
- DHSB DRILL HOLE STONE BOUND
  - - - - - EXISTING COUNTOUR
  - - - - - PROPOSED COUNTOUR
  - x274.3 SPOT GRADE - PROPOSED
  - x274.3EX. SPOT GRADE - EXISTING
  - 48M EXIST. TREE - DIAMETER - SPECIES
  - UP4-1 UTILITY POLE
  - OHW OVERHEAD WIRES
  - GAS GATE
  - WATER CURB STOP
  - WATER GATE
  - FIRE HYDRANT
  - DRAIN MANHOLE
  - CATCH BASIN
  - SEWER MANHOLE
  - DUMPSTER
  - VCC VERTICAL CONCRETE CURBING
  - VGC VERTICAL GRANITE CURBING
  - CCB CAPE COD BERM
  - HANDICAP PARKING SPACE
  - BUILDING MOUNTED LIGHT
  - POLE MOUNTED LIGHT

OWNER:  
MAP 286 PARCELS 32 AND 34  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33  
JOHN AND CARMEL SHERRY  
88 EAST CENTRAL STREET

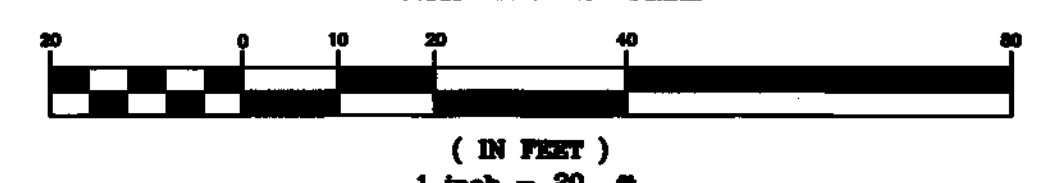
APPLICANT:  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

SITE PLAN MODIFICATION  
EXISTING CONDITIONS PLAN  
70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
MARCH 4, 2020  
SCALE: 1" = 20'

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
6/19	FIELD BOOK	BL
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3/20	RRG	
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3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

UNITED  
CONSULTANTS  
INC.  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6560 FAX 508-384-6566

DATE	MAR. 4, 2020
SCALE	1" = 20'
PROJECT	UC1334
SHEET	2 of 9

A SU-30 TRUCK (LARGEST DELIVERY VEHICLE TO ACCESS THE SITE) WILL BE ABLE TO ACCESS THE SITE AND WOULD BE ABLE TO TRAVEL THROUGH THE 70 EAST CENTRAL STREET SITE DRIVEWAY. THE TRUCK COULD OFF LOAD AT THE DRIVEWAY CONNECTING THE PARKING AREAS.

MAP 286 PARCEL 44  
79 CROSS STREET  
N/F DESJARDINS  
BOOK 36745 PAGE 271  
ZONE - SINGLE FAMILY IV  
USE - RESIDENTIAL

MAP 286 PARCEL 42  
54-60 SUMMER STREET  
N/F THAYER  
BOOK 8402 PAGE 188  
ZONE - SINGLE FAMILY IV  
USE - RESIDENTIAL

MAP 286 PARCEL 41  
48 SUMMER STREET  
N/F THAYER  
BOOK 17756 PAGE 468  
ZONE - SINGLE FAMILY IV  
USE - RESIDENTIAL

MAP 286 PARCEL 40  
38 SUMMER STREET  
N/F RANIERI TRUST  
BOOK 30861 PAGE 162  
ZONE - SINGLE FAMILY  
IV  
USE - RESIDENTIAL

MAP 286 PARCEL 31  
100 EAST CENTRAL STREET  
N/F 100 EAST CENTRAL  
STREET, LLC  
BOOK 22935 PAGE 214  
ZONE - COMMERCIAL 1  
USE - RESIDENTIAL

NOTES:  
- NO SITE SIGNS ARE PROPOSED AT THIS TIME. ONCE TENANTS ARE SECURED THE TENANT AND OR DEVELOPER WILL SUBMIT AND OBTAIN APPROVAL FOR SIGNS. AT THIS TIME THE DEVELOPER IS PLANNING TO UTILIZE BUILDING MOUNTED SIGNAGE THAT WILL COMPLY WITH THE TOWN OF FRANKLIN REQUIREMENTS

MAP 286 PARCELS 32 AND 34  
ARE TO BE COMBINED.  
MAP 286 PARCEL 33 HAS A PROPOSED  
EASEMENT FOR ACCESS AND UTILITIES.

NOTE:  
ALL SITE CURBING TO BE  
VERTICAL GRANITE.

LEGEND:

□ DHSB	DRILL HOLE STONE BOUND
--297--	EXISTING COUNTOUR
<u>297</u>	PROPOSED COUNTOUR
x274.3	SPOT GRADE - PROPOSED
x274.3EX.	SPOT GRADE - EXISTING
⊙ 48M	EXIST. TREE - DIAMETER - SPECIES
UP 4-1	UTILITY POLE
— OHW —	OVERHEAD WIRES
GV ⊗	GAS GATE
W ⊗	WATER CURB STOP
W ⊗	WATER GATE
⊗	FIRE HYDRANT
⊗	DRAIN MANHOLE
□	CATCH BASIN
⊙	SEWER MANHOLE
D	DUMPSTER
VCC	VERTICAL CONCRETE CURBING
VGC	VERTICAL GRANITE CURBING
CCB	CAPE COD BERM
♿	HANDICAP PARKING SPACE
■	BUILDING MOUNTED LIGHT
□ · □	POLE MOUNTED LIGHT

PARKING CALCULATIONS:  
COMMERCIAL 1 REQUIREMENTS (SECTIONS 185-21B.(2)(a)  
1.5 SPACES PER RESIDENTIAL DWELLING UNIT.  
13 RESIDENTIAL UNITS PROPOSED REQUIRES 19 SPACES  
20 GARAGE SPACES ARE PROPOSED FOR THE RESIDENTIAL  
UNITS  
COMMERCIAL SPACE (NON RESIDENTIAL USE) 1 SPACE PER 500  
SQ. FT. = 690 SQ. FT. / 500 = 2 SPACES REQUIRED  
21 TOTAL SPACES REQUIRED.  
28 SPACES PROPOSED INCLUDING 1 HANDICAP OUTSIDE SPACE.

PARKING CALCULATIONS 70 EAST CENTRAL STREET SITE PLAN  
APPROVAL:  
DOWNTOWN COMMERCIAL REQUIREMENTS (SECTIONS  
185-21(3)(c) & (b)  
1.5 SPACES PER RESIDENTIAL DWELLING UNIT.  
12 RESIDENTIAL UNITS PROPOSED REQUIRES 18 SPACES  
20 GARAGE SPACES ARE PROPOSED FOR THE RESIDENTIAL  
UNITS.  
14 SPACES PROPOSED INCLUDING 1 HANDICAP SPACE.  
TOTAL OF 34 SPACES ORIGINALLY PROPOSED

REVISIONS PROPOSED FOR 70-72 EAST CENTRAL STREET  
PARKING WITH THE SITE PLAN FOR 70, 72, 88 AND 94 EAST  
CENTRAL STREET  
ELIMINATE 4 GARAGE PARKING SPACES  
ADDED 2 SPACES TO PARKING AREA  
= 16 GARAGE SPACES AND 16 OUTDOOR SPACES  
32 SPACES PROVIDED WHERE 18 SPACES ARE REQUIRED

MAP 286 PARCEL 39  
8 SUMMER STREET  
N/F G & K SIMON, INC.  
BOOK 8449  
PAGES 33 & 34  
ONE - DOWNTOWN COMMERCIAL  
USE - RETAIL

RESIDENTIAL DENSITY:  
COMMERCIAL I REQUIREMENTS (185 ATTACHMENT 7 -  
6.1\*3)  
\*3 - NO MORE THAN ONE DWELLING UNIT PER 1,000  
SQUARE FEET OF LOT AREA MAY BE PERMITTED.  
LOT AREA - 33,307 SQ. FT. / 1,000 = 33 UNITS  
PERMITTABLE  
13 UNITS PROPOSED.

OWNER:  
MAP 286 PARCELS 32 AND 34  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33  
JOHN AND CARMEL SHERRY  
88 EAST CENTRAL STREET

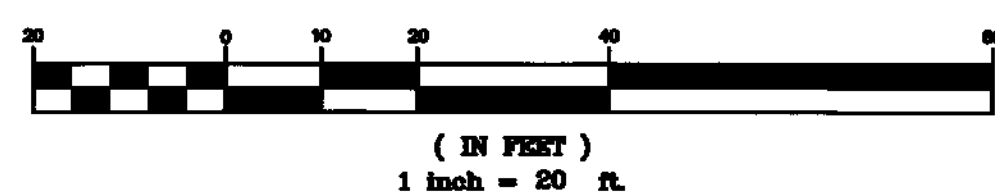
APPLICANT:  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

SITE PLAN MODIFICATION  
SITE LAYOUT PLAN  
70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET,  
FRANKLIN, MASSACHUSETTS  
MARCH 4, 2020  
SCALE: 1" = 20'

**SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD**

DATE \_\_\_\_\_

### GRAPHIC SCALE



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DATE	MAR. 4, 2020
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SHEET	3 of 9



LEGEND:

- DHSB DRILL HOLE STONE BOUND
- - - 297 - - EXISTING COUNTOUR
- 297 - - PROPOSED COUNTOUR
- x274.3 SPOT GRADE - PROPOSED
- x274.3EX SPOT GRADE - EXISTING
- ⊙ 48M EXIST. TREE - DIAMETER - SPECIES
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- ⊕ CATCH BASIN
- ⊕ SEWER MANHOLE
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING
- VGC VERTICAL GRANITE CURBING
- CCB CAPE COD BERM
- ⊕ HANDICAP PARKING SPACE
- ⊕ BUILDING MOUNTED LIGHT
- POLE MOUNTED LIGHT

MARCH 13, 2019

PERFORMED BY CARLOS A. QUINTAL, P.E., SOIL EVALUATOR

TP 1 ELEV. = 324.24 - ABANDONED

TP 2 ELEV. = 324.75

0 - 8" A 10YR 3/3 SANDY LOAM

8" - 24" B 10YR 6/6 SANDY LOAM

24" - 60" C 2.5Y 5/6 SANDY LOAM

TP 3 ELEV. = 323.85

0 - 8" A 10YR 3/3 SANDY LOAM

8" - 24" B 10YR 6/6 SANDY LOAM

24" - 60" C 2.5Y 5/6 SANDY LOAM

TP 4 ELEV. = 317.52

0 - 12" A 10YR 3/3 SANDY LOAM

12" - 36" B 10YR 6/6 SANDY LOAM

36" - 90" C 2.5Y 4/3 GRAVELLY SANDY LOAM

NO GROUNDWATER

NO MOTILES AT 90" ELEV. = 310.02

TP 5 ELEV. = 318.53

0 - 18" A 10YR 3/3 SANDY LOAM

18" - 42" B 10YR 6/6 SANDY LOAM

42" - 109" C 2.5Y 5/6 SANDY LOAM

GROUNDWATER AT 100" ELEV. = 310.20

NO MOTILES OBSERVED

TP 6 ELEV. = 318.03

0 - 10" A 10YR 3/3 SANDY LOAM

10" - 42" B 10YR 6/6 SANDY LOAM

42" - 97" C 2.5Y 5/6 SANDY LOAM

NO GROUNDWATER OBSERVED

NO MOTILES OBSERVED AT 97" ELEV. = 309.94

ALL TEST PITS WERE DUG TO REFUSAL

SIGHT DISTANCE BASED ON POSTED SPEED OF 25 MPH AT THE INTERSECTION OF EAST CENTRAL STREET AND ALPINE PLACE. PER MASDOT STOPPING SIGHT DISTANCE FOR 25 MPH AT 0% GRADE - 155 FEET. SIGHT DISTANCE WAS MEASURED 14.5 FEET FROM EDGE LINE. EXITING THE SITE: LOOKING WEST 200 + FEET. LOOKING EAST 300 + FEET.

REFERENCE MASS HIGHWAY EXHIBIT 3.8 200 FOOT SIGHT DISTANCE AT ZERO GRADE HAD A DESIGN SPEED OF 30 MPH.

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

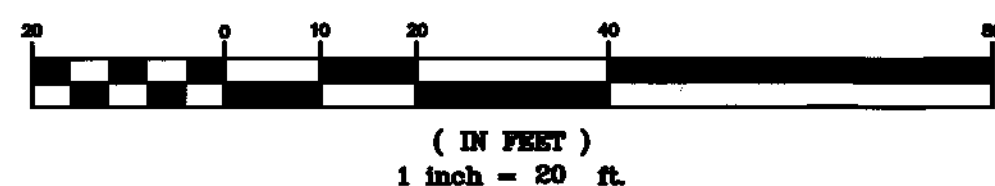
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ACCESSIBLE ROUTE SHALL NOT HAVE A CROSS SLOPE GREATER THAN 2% OR A RUNNING SLOPE GREATER THAN 5% SEE 521 CMR 20.9.

PAVEMENT RESTORATION WITHIN THE 140 RIGHT OF WAY SHALL MATCH THE EXISTING GRAVEL, DENSE GRADE, BINDER COURSE AND FINISH COURSE DEPTHS OF BITUMINOUS CONCRETE.

CONSTRUCT A NEW CONCRETE SIDEWALK AT THE DRIVEWAY AREA. MATCH EXISTING GRAVEL AND CONCRETE THICKNESSES.

GRAPHIC SCALE



NO.	DATE	DESCRIPTION	BY
1	4/23/20	REVIEW COMMENTS	RRG

1. POND 1 AND ALL ASSOCIATED PIPING TO BE HDPE PIPE.
2. ALL RCP DRAIN PIPE TO BE CLASS V.
3. ALL ROOF DRAIN PIPE WILL BE 6" PVC.
4. WHERE HDPE CONNECTS TO RCP INSTALL A FERNCO LDC 10 37.00 x 32.00 COUPLING.

PROPOSED DRAINAGE STRUCTURE SCHEDULE:

CB 91 RIM = 314.1 INV OUT = 310.74 12" RCP	DMH 91 - CDS WQU RIM = 315.1 INV IN = 310.68 12" RCP - CB 91 & 97 INV OUT = 310.58 12" RCP
CB 97 RIM = 314.2 INV OUT = 310.80 12" RCP	DMH 92 RIM 314.7 INV IN = 310.5 12" RCP - DMH 91 INV IN = 310.5 12" RCP - DMH 93 INV OUT = 308.5 12" RCP
CB 92 STORMCEPTOR 450I RIM = 317.75 INV OUT = 314.75 12" HDPE	DMH 93 RIM=317.9 INV IN =315.0 12" HDPE INV OUT = 312.45 12" RCP

UTILITY NOTES:

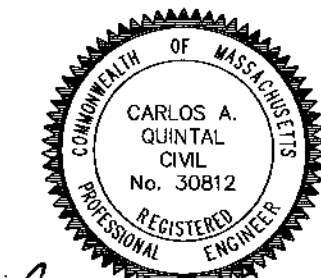
1. DOMESTIC WATER SUPPLY SHALL BE BASED ON PLUMBING ENGINEERS CALCULATIONS.
2. FIRE SUPPLY LINE TO BE CONNECTED TO EXISTING WATER MAIN IN STREET. LOCATION SHOWN APPROXIMATELY. FINAL SIZE AND LOCATION SHALL BE DETERMINED BY THE PLUMBING ENGINEER.
3. ELECTRIC, TELEPHONE AND CABLE TV LOCATIONS TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES. SERVICES ARE PROPOSED TO BE CONNECTED TO THE 70-72 EAST CENTRAL STREET SITE AND SHALL BE UNDERGROUND.
4. GAS SERVICE AND LOCATIONS TO BE DETERMINED BY THE GAS COMPANY.
5. PIV AND SIAMESE CONNECTIONS SHOWN APPROXIMATE. FINAL LOCATIONS TO BE DESIGNED BY PLUMBING ENGINEER AND APPROVED BY FIRE DEPARTMENT.
6. THE DRAINAGE INSTALLATION SHALL BE INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER PRIOR TO BACKFILLING.
7. EXISTING WATER SERVICE TO BE CUT AND CAPPED AT THE MAIN PER DPW REQUIREMENTS.
8. EXISTING SEWER SERVICE TO BE CUT AND CAPPED AT THE PROPERTY LINE.
9. EXISTING ELECTRIC, TELEPHONE AND CTV SERVICES TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANIES. POLE 10-2 TO BE REMOVED AS PERMITTED BY THE APPROPRIATE UTILITY COMPANY.

NOTES:

1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE SOIL INFILTRATION AREA PRIOR TO ANY FILL OR STONE MATERIAL BEING PLACED.

MAP 286 PARCELS 32 AND 34 ARE TO BE COMBINED.  
MAP 286 PARCEL 33 HAS A PROPOSED EASEMENT FOR ACCESS AND UTILITIES.



CARLOS A. QUINTAL P.E. #30812

OWNER:  
MAP 286 PARCELS 32 AND 34  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33  
JOHN AND CARMEL SHERRY  
88 EAST CENTRAL STREET

APPLICANT:  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

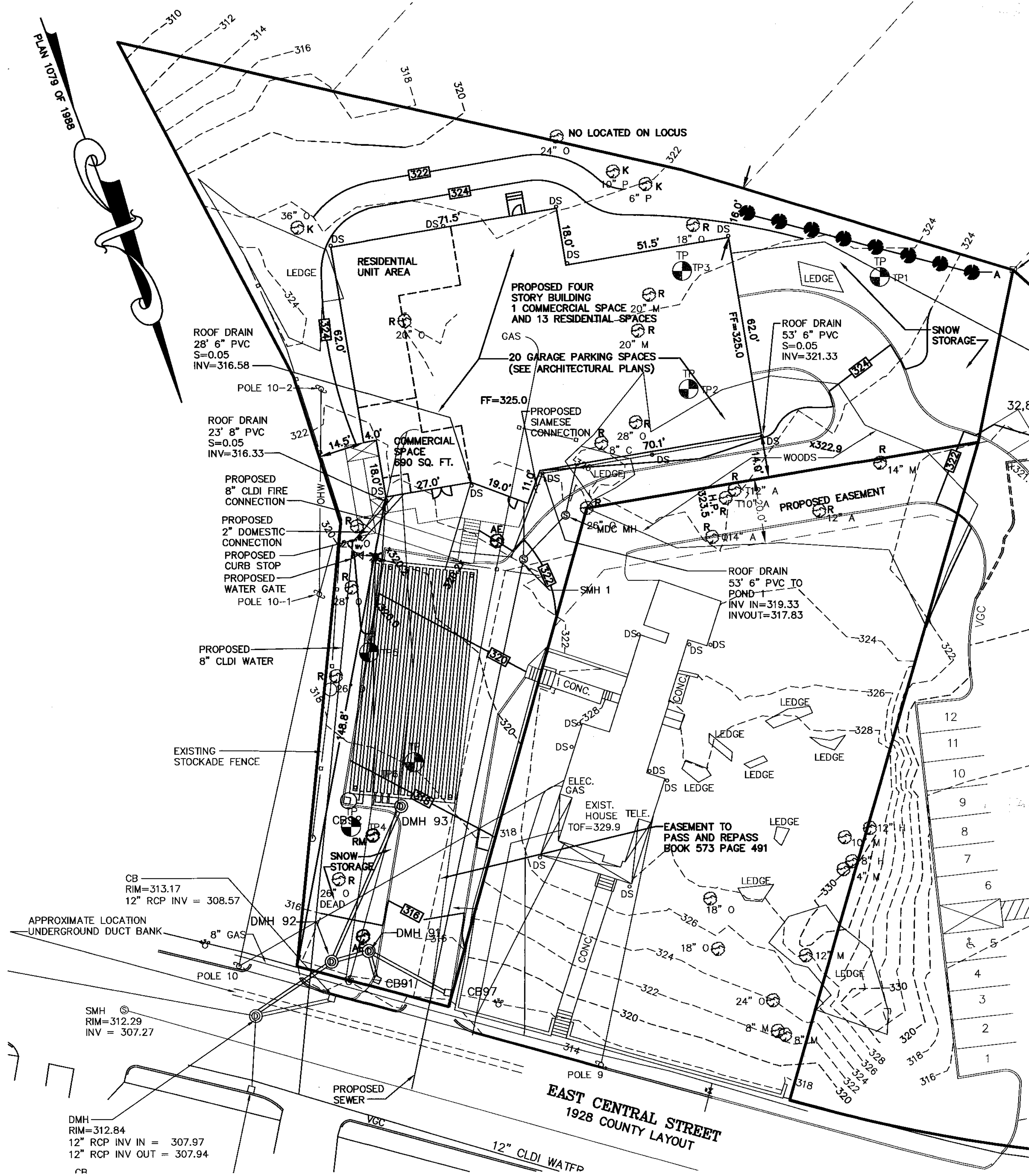
SITE PLAN MODIFICATION  
GRADING & UTILITY PLAN  
70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
MARCH 4, 2020  
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SHEET	4 of 9





- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES. 8 PARKING SPACES OUTSIDE OF BUILDING AND 28 SPACES TOTAL = 3 TREES PROVIDED.  
- ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.

## PLANTING SCHEDULE

NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
2	AMERICAN ELM - AE	ULMUS AMERICANA	2 - 2 1/2"	B&B
1	RED MAPLE - RM	ACER RUBRUM	2 - 2 1/2"	B&B
8	ARBORVITAE - A	THUJA PLICATA	4 - 6 FEET	B&B

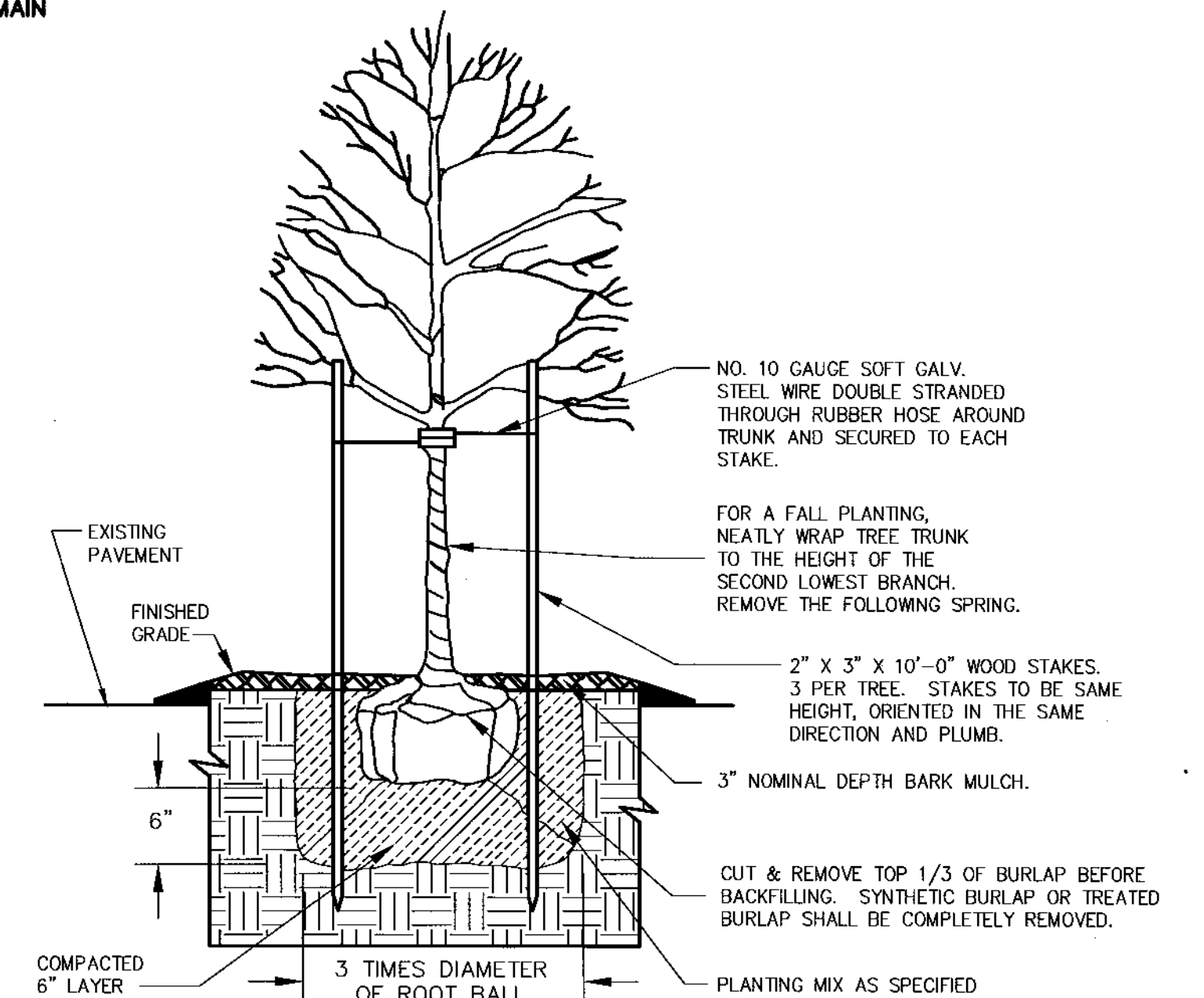
EXISTING TREE LEGEND:

R - TO BE REMOVED

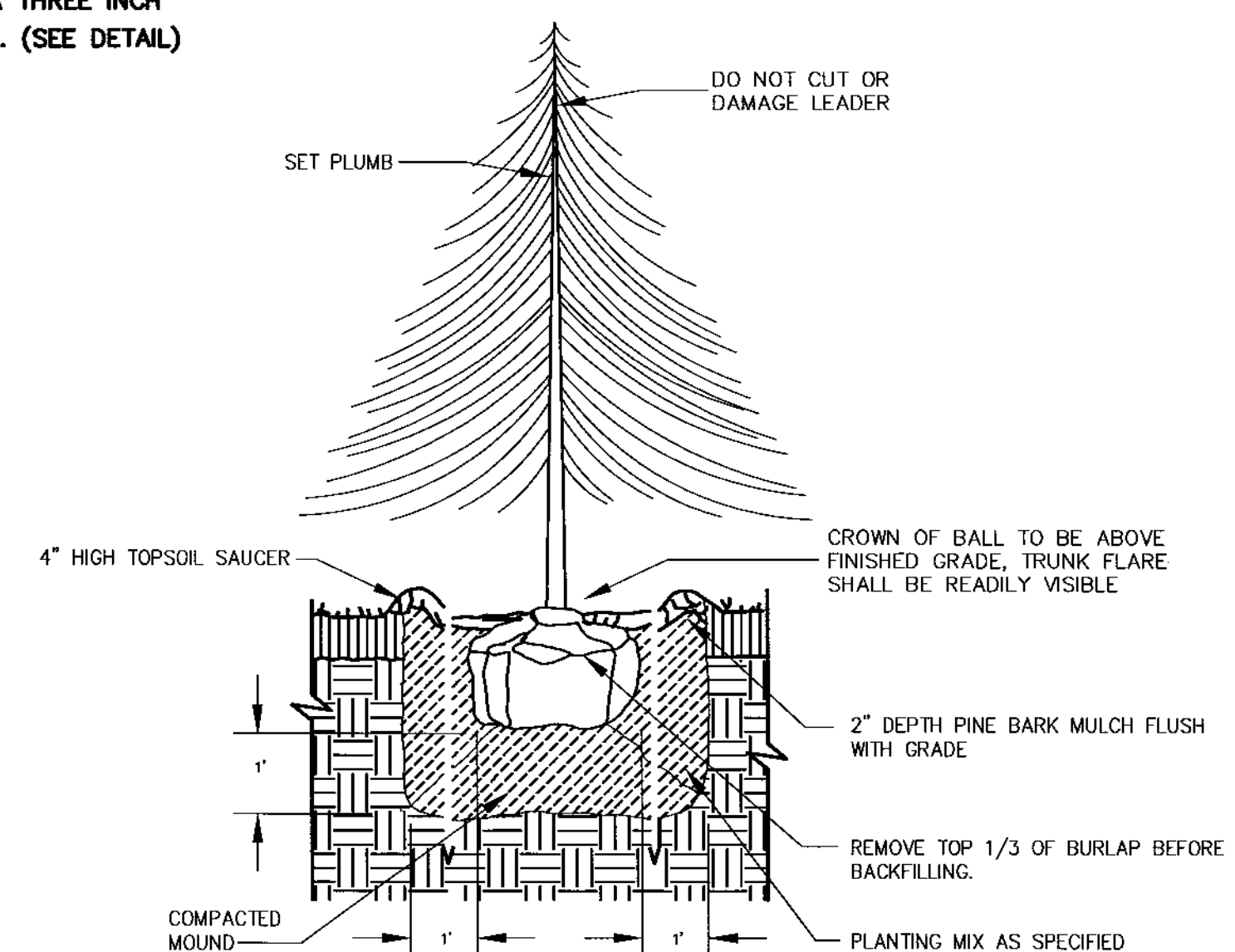
K - TO REMAIN

## GENERAL NOTES

1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURERS RECOMMENDATIONS.
7. COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)



## DECIDUOUS TREE PLANTING

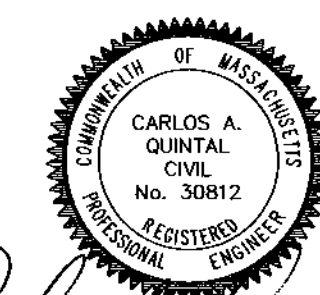


## EVERGREEN TREE PLANTING

### LEGEND:

- DHSB DRILL HOLE STONE BOUND
- -297- - EXISTING COUNTOUR
- 297- PROPOSED COUNTOUR
- x274.3 SPOT GRADE - PROPOSED
- x274.3EX. SPOT GRADE - EXISTING
- 48M EXIST. TREE - DIAMETER - SPECIES
- UP4-1 UTILITY POLE
- OHV OVERHEAD WIRES
- ⊗ GAS GATE
- ⊕ WATER CURB STOP
- ⊕ WATER GATE
- ⊕ FIRE HYDRANT
- ⊙ DRAIN MANHOLE
- CATCH BASIN
- ⊙ SEWER MANHOLE
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING
- VGC VERTICAL GRANITE CURBING
- CCB CAPE COD BERM
- ⊕ HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- POLE MOUNTED LIGHT

MAP 286 PARCELS 32 AND 34 ARE TO BE COMBINED.  
MAP 286 PARCEL 33 HAS A PROPOSED EASEMENT FOR ACCESS AND UTILITIES.



CARLOS A. QUNTAL P.E. #30812

**SITE PLAN MODIFICATION  
PLANTING PLAN**  
70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
MARCH 4, 2020  
SCALE: 1" = 20'

**UNITED  
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INC.**

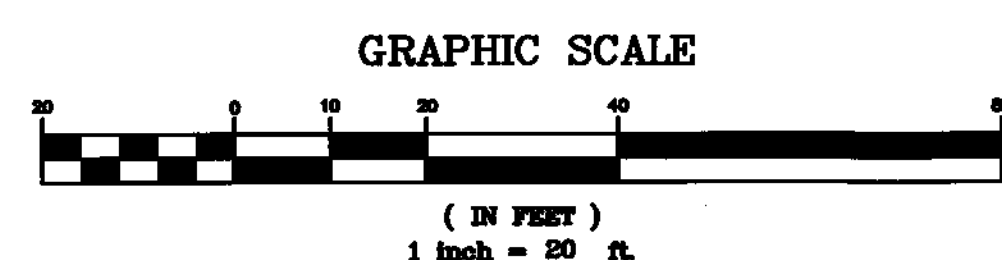
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DATE	MAR. 4, 2020
SCALE	1" = 20'
PROJECT	UC1334
SHEET	5 of 9

**SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD**

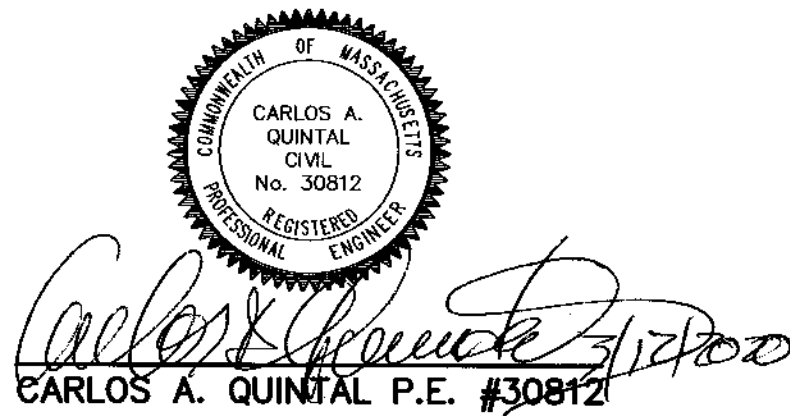
DATE



NO.	DATE	DESCRIPTION	BY
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OPERATION AND MAINTENANCE PLAN



CONSTRUCTION PHASE

1. THE OWNERS REPRESENTATIVE, BRAD CHAFFEE (1-508-331-8161), SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.
9. THE STORMCEPTOR UNITS SHALL BE CLEANED WITH A VACUUM TRUCK.

INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENT ARE TO BE REMOVED.
3. INSPECTIONS OF THE STORMCEPTOR UNITS TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF THE EXISTING CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
5. INSPECTION OF POND 1, THE EXISTING POND AND THE RAIN GARDEN TO DETERMINE IF CLEANING IS NECESSARY.

OPERATION AND MAINTENANCE SCHEDULE

CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. ONCE THE PARKING LOT HAS BEEN PAVED DAILY INSPECTIONS SHALL BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT SAKS SHALL BE INSTALLED AT THE STORMCEPTOR UNITS, CATCH BASIN 91 AND CB97 AND THE TWO CATCH BASINS ON 70 - 72 EAST CENTRAL STREET SITE.
4. THE STORMCEPTOR UNITS SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
5. THE POND SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.

ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.

LONG TERM:

1. THE PARKING LOT SHALL BE SWEEPED TWICE PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
2. THE STORMCEPTORS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 8 INCHES.
3. THE POND SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

NOTES:

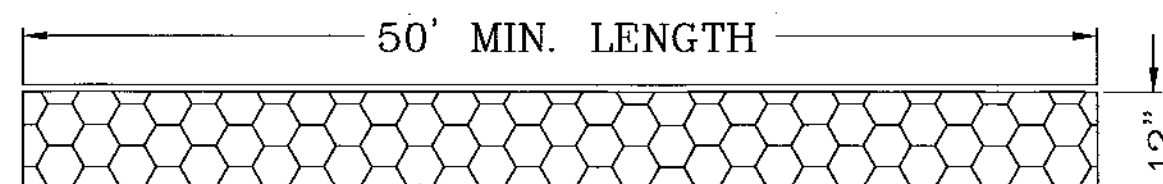
1. ANY AREA NOT BEING ACTIVELY WORKED FOR 14 DAYS SHALL BE TEMPORARILY STABILIZED.
2. UPON COMPLETION OF GRADING ACTIVITIES THE AREA SHALL BE STABILIZED OR PLANTED WITHIN 7 DAYS.
3. NON-PHOSPHORUS FERTILIZER SHALL BE APPLIED AS NECESSARY.
4. NON-HALOGENATED ICE MELT SHALL BE APPLIED AS NECESSARY.

PROJECT NARRATIVE:

THE PROJECT CONSISTS OF THE DEMOLITION OF AN EXISTING BUILDING AND IMPROVEMENTS. UPON RECEIPT OF ALL NECESSARY APPROVALS THE APPLICANT WILL FILE FOR AND OBTAIN THE NECESSARY ADDITIONAL PERMITS INCLUDING SEWER AND WATER CONNECTION PERMITS, STREET OPENING PERMITS AND BUILDING PERMIT. UPON SECURING ALL THE NECESSARY PERMITS THE PROJECT WILL MOVE TO THE CONSTRUCTION PHASE AND WILL BE COMPLETED BASED ON THE CONSTRUCTION SEQUENCE.

EROSION CONTROL NOTES:

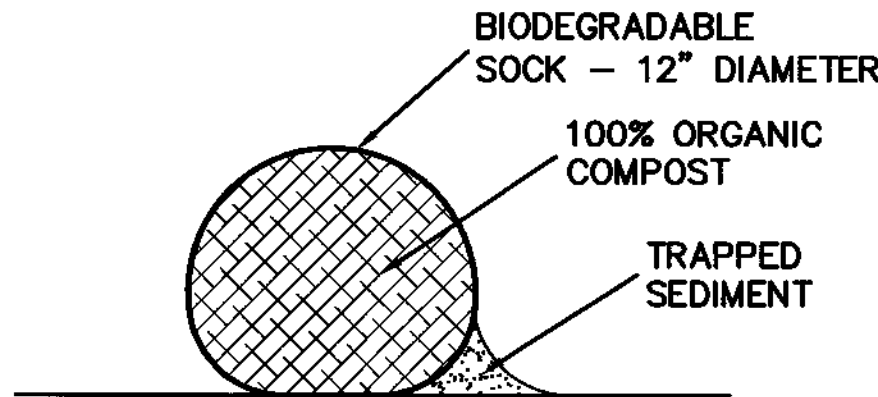
1. COMPOST SOCK SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. ENTRY MAT TO BE INSTALLED.
3. COMPOST SOCK TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
4. SLOPES GREATER THAN 3' HORIZONTAL TO 1' VERTICAL SHALL BE STABILIZED WITH HYDROSEED, SECURED GEOTEXTILE FABRIC OR RIPRAP AS REQUIRED TO PREVENT EROSION. ALL SLOPE FLATTER THAN 3' HORIZONTAL TO 1' VERTICAL SHALL BE HYDROSEED.
5. STORMCEPTOR UNITS, CATCH BASINS AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
6. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
8. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
10. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.



ENTRY SEDIMENTATION CONTROL  
MAT SECTION  
N.T.S.

NOTES:

1. PAD SHALL BE A MINIMUM OF 20 FEET IN WIDTH. EXISTING ASPHALT DRIVE TO REMAIN IN PLACE UNTIL FINAL PAVEMENT IS TO BE INSTALLED.
2. PAD SHALL CONSIST OF 4" STONE 8" MIN. DEPTH AND THEN TOP DRESSED WITH 4" OF 1" - 2" WASHED STONE.



COMPOST SOCK DETAIL

CONSTRUCTION SEQUENCE:

1. INSTALL COMPOST SOCK, SILT SAKS AND ENTRY MAT.
2. DEMOLISH EXISTING BUILDING
3. LEDGE REMOVAL TO SUBGRADE.
4. EXCAVATE FOR BUILDING FOUNDATION.
5. FORM AND POUR BUILDING FOOTINGS AND FOUNDATION.
6. UPON ADEQUATE CURING OF THE FOUNDATION CONCRETE THE FOUNDATION SHALL BE BACKFILLED TO SUBGRADE.
7. CONSTRUCT BUILDING SIMULTANEOUSLY WITH THE FOLLOWING SITE WORK.
8. BRING THE REMAINDER OF THE SITE TO SUBGRADE.
9. INSTALL THE UNDERGROUND UTILITIES - WATER, SEWER, ELECTRIC AND DRAINAGE.
10. UPON COMPLETION OF THE UNDERGROUND UTILITIES, BRING THE PARKING AREAS TO PROPER GRADES WITH GRAVEL.
11. PAVE THE PARKING AREAS WITH THE BINDER COURSE.
12. INSTALL THE CURBING, THE DUMPSTER PAD AND THE FENCE.
13. LOAM ALL DISTURBED AREAS.
14. PLANT SITE TREES.
15. PAVE THE PARKING AREA WITH THE TOP COURSE.
16. IF NECESSARY COMPLETE AN AS-BUILT PLAN AND SUBMIT A FORM H.

OWNER:  
MAP 286 PARCELS 32 AND 34  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33  
JOHN AND CARMEL SHERRY  
88 EAST CENTRAL STREET

APPLICANT:  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

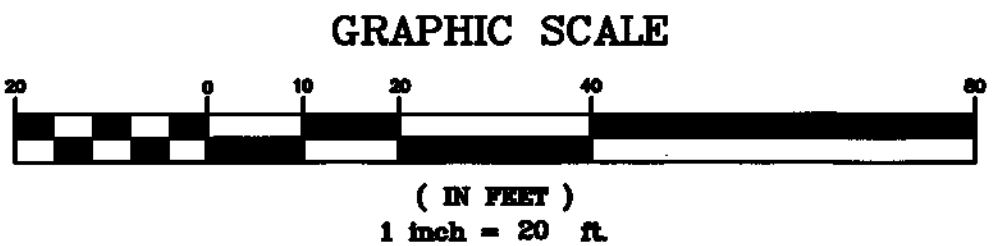
SITE PLAN MODIFICATION  
EROSION CONTROL PLAN  
70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
MARCH 4, 2020  
SCALE: 1" = 20'

UNITED  
CONSULTANTS  
INC.  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-8580 FAX 508-384-8586

DATE	MAR. 4, 2020
SCALE	1" = 20'
PROJECT	UC1334
SHEET	6 of 9

DATE	INT.
6/19	FIELD BY: BL
BK#	FIELD BOOK PG#
3/20	CALCS BY: RRG
3/20	DESIGNED BY: RRG
3/20	DRAWN BY: COMP
3/20	CHECKED BY: CAQ

NO.	DATE	DESCRIPTION	BY



GRAPHIC SCALE

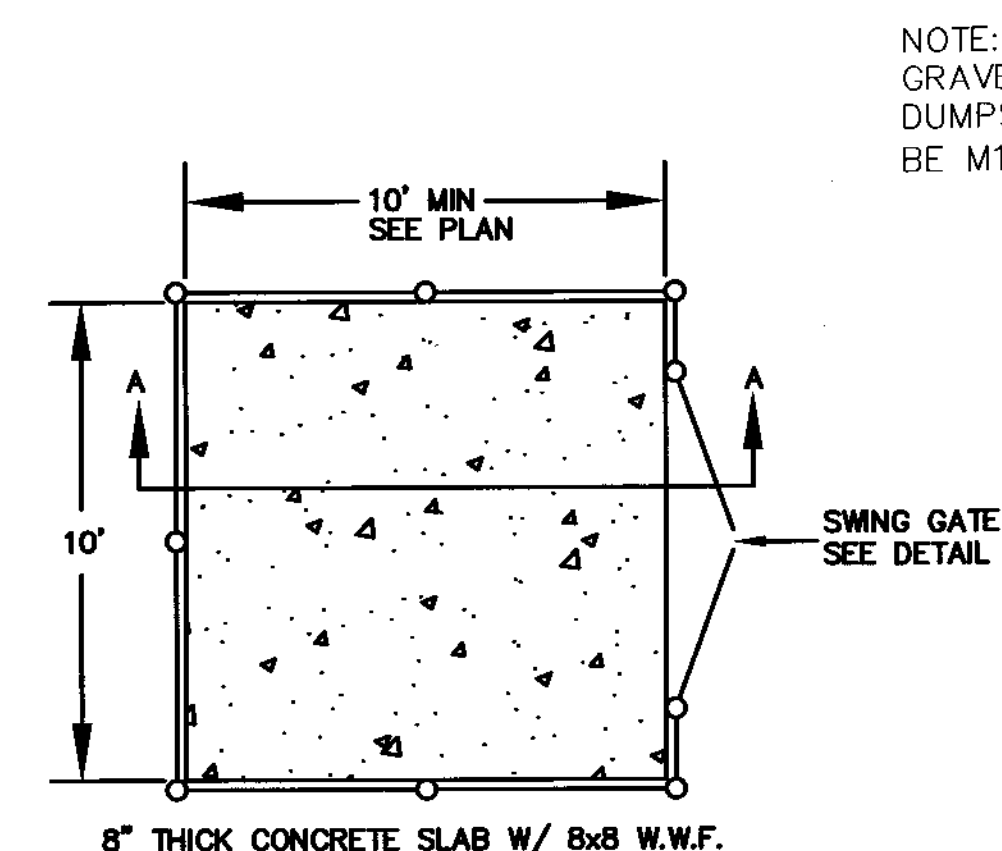
( IN FEET )  
1 inch = 20 ft.

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

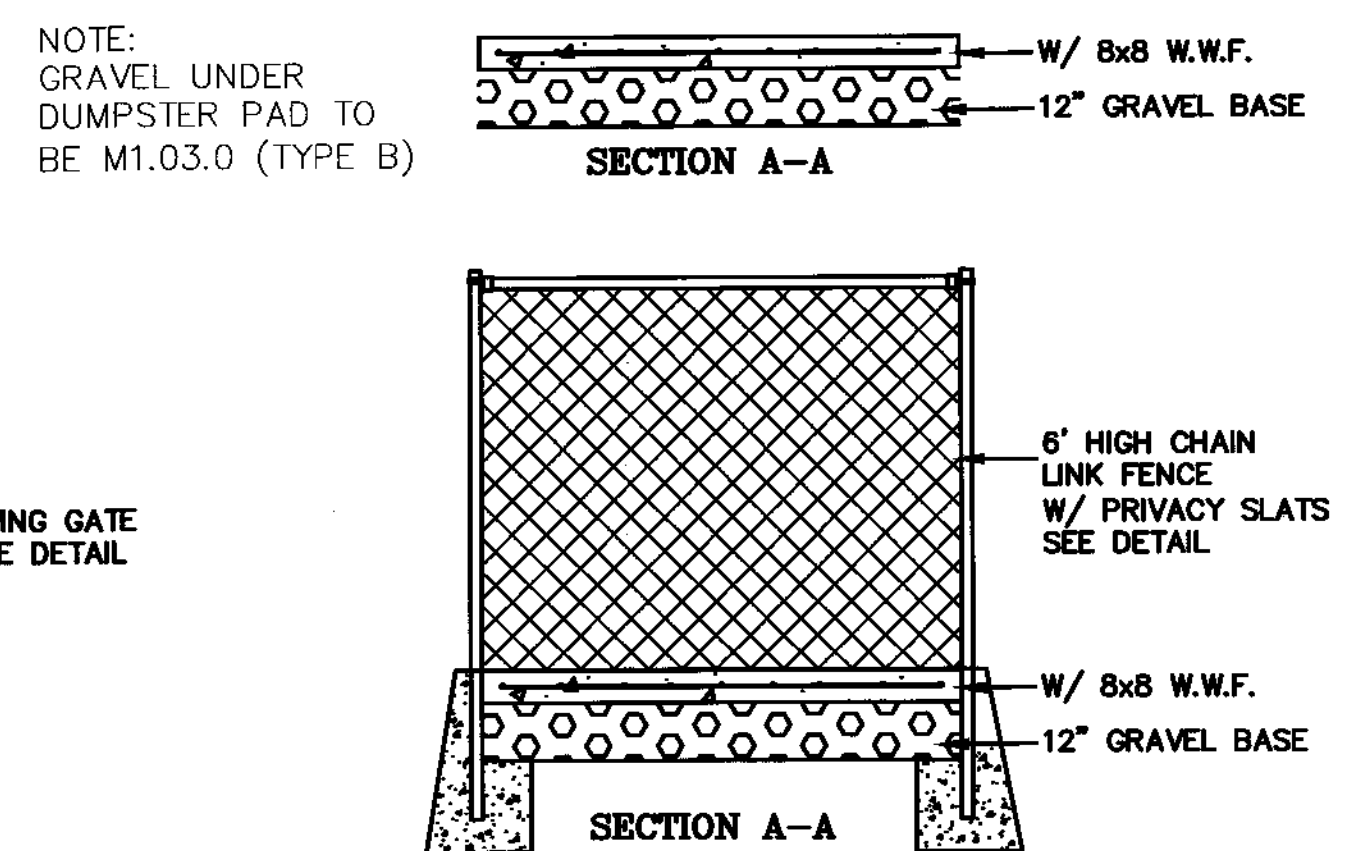
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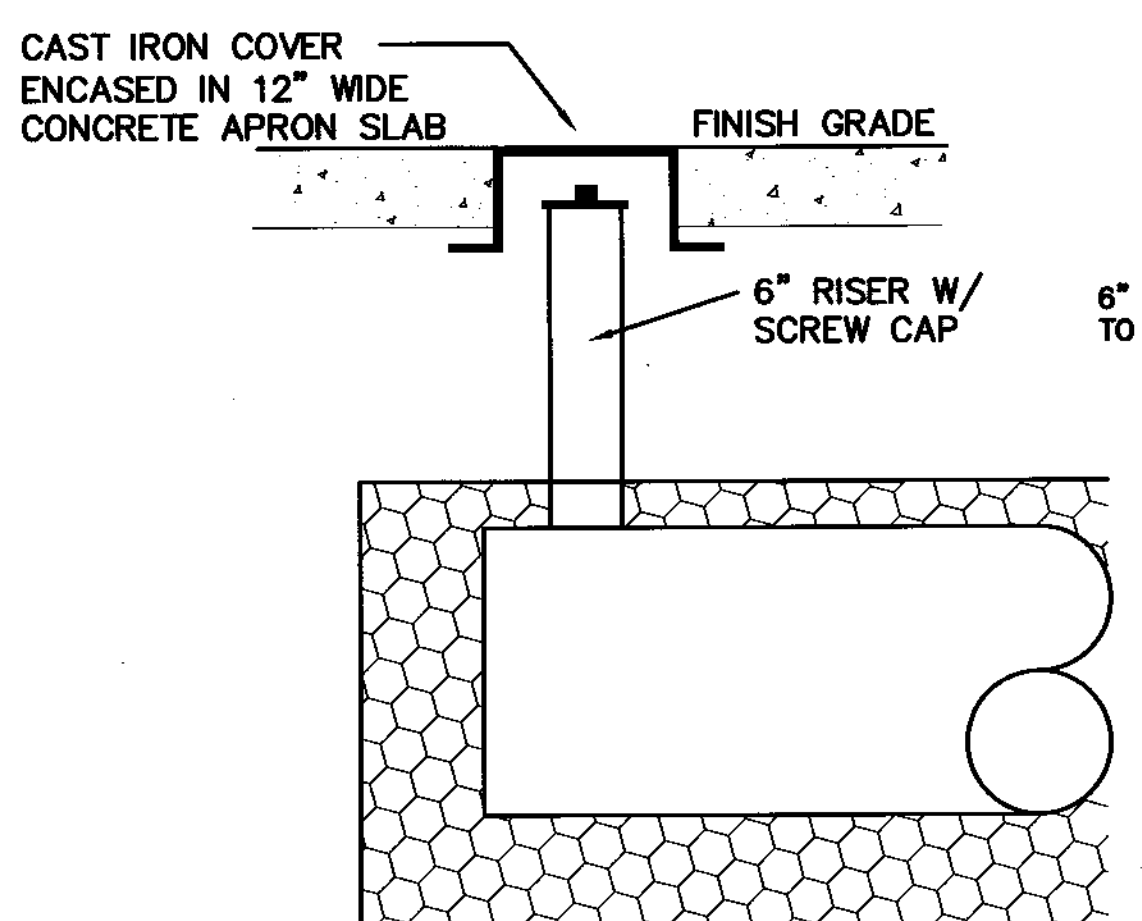


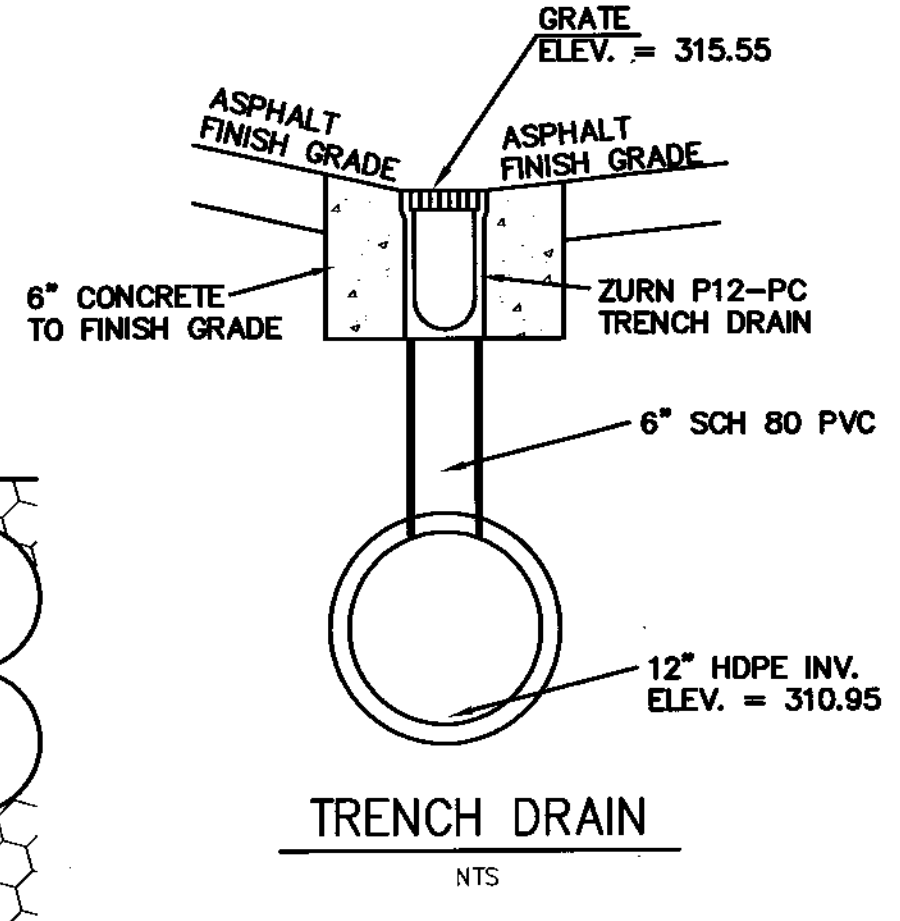
CONCRETE DUMPSTER PAD



DUMPSTER AREA FENCE

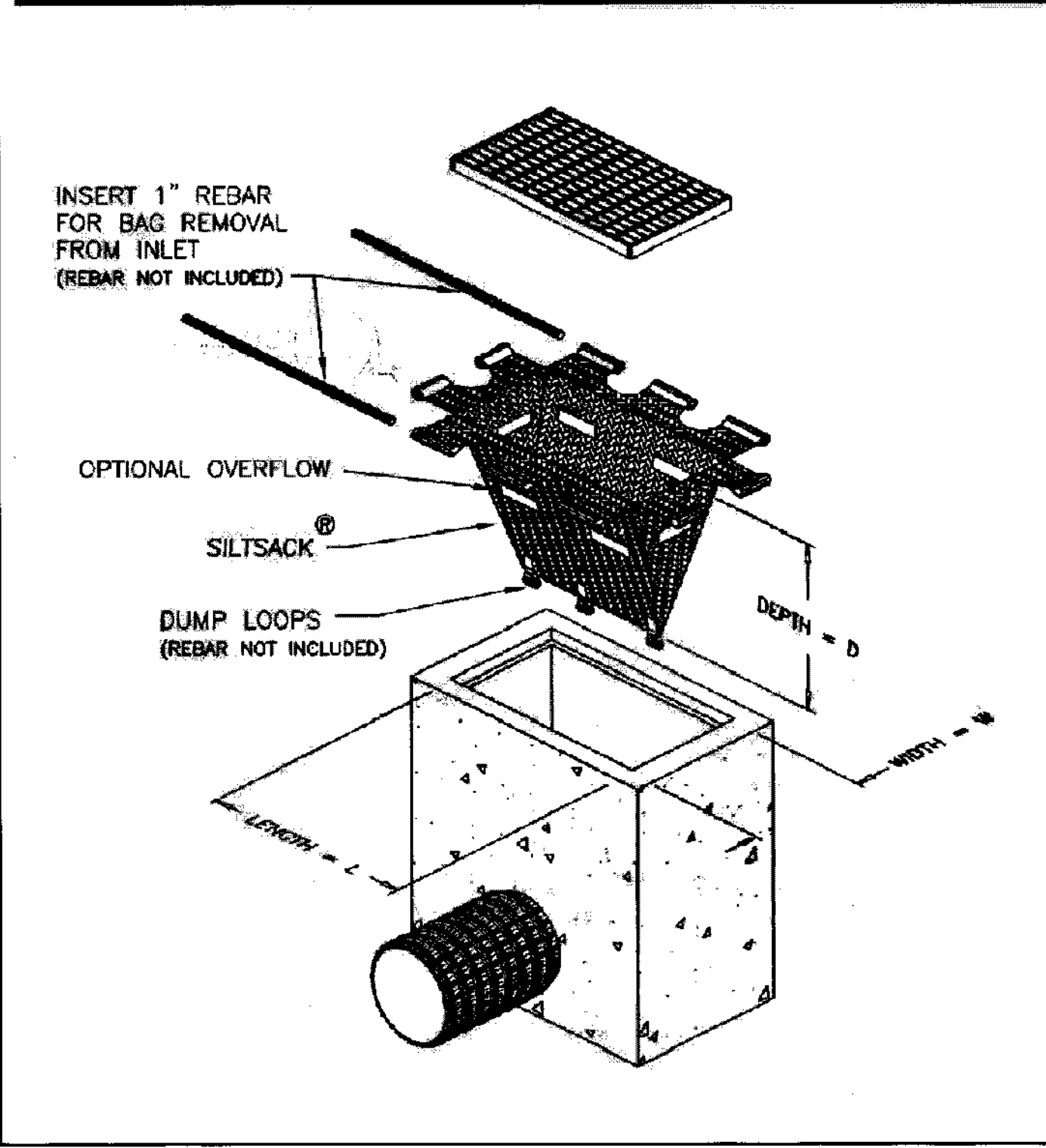


INSPECTION PORT DETAIL  
DRAINAGE INFILTRATION AREAS  
N.T.S.



TRENCH DRAIN  
N.T.S.

Typical Siltsack Construction - Type B



CSR	Hydro Conduit		DR. BY:
	STC 4501 Precast Concrete Stormceptor <sup>®</sup> (450 US Gallon Capacity)		CK. BY:
	PROJECT:		DATE:
	LOCATION:		SCALE: N.T.S.
			DWG.#

SECTION THRU CHAMBER

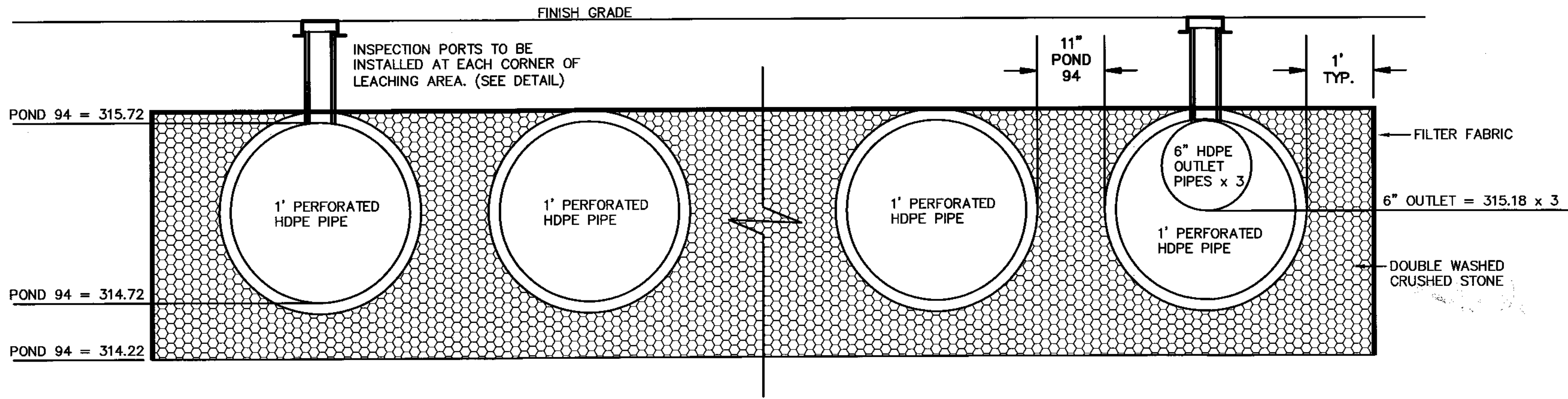
SECTION THRU PLAN VIEW

NOTE:

1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2. THE COVER SHOULD BE POSITIONED OVER THE CLEANOUT/VENT PIPE.
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.

- NOTES:
1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
  3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
  4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

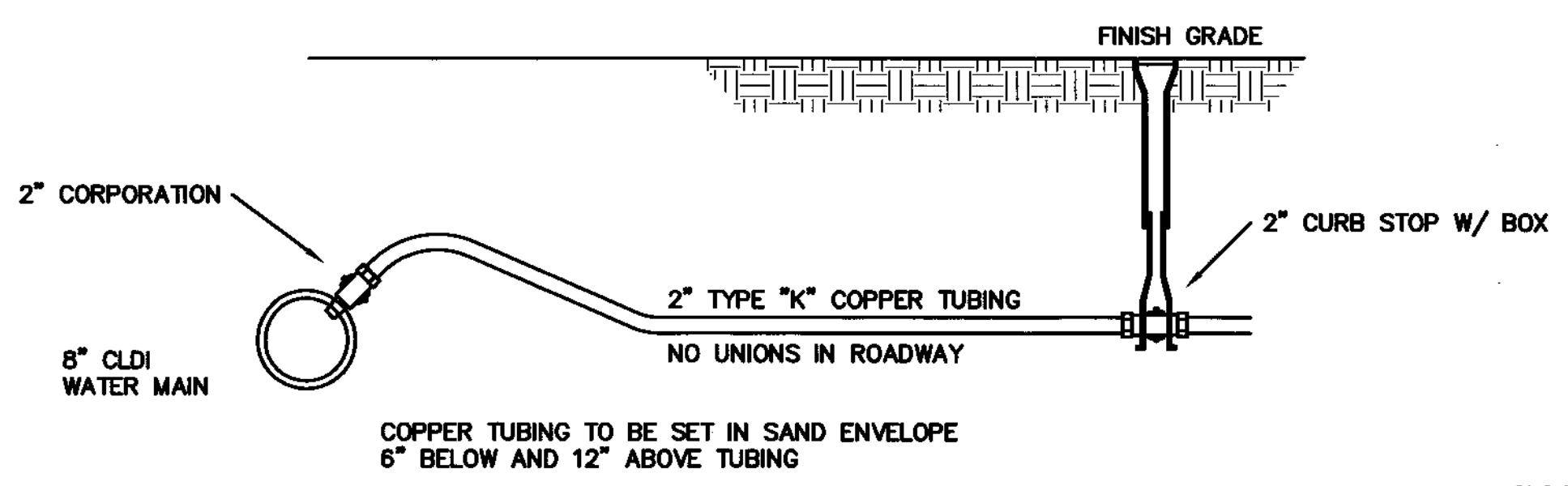
CARLOS A. QUINTAL  
REGISTERED PROFESSIONAL ENGINEER  
No. 30812  
MAR 4 2020



DRAINAGE INFILTRATION AREA

NOTE:  
INFILTRATION POND 94  
CONSISTS OF 15 ROWS OF 1\"/>

THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE SOIL INFILTRATION AREA PRIOR TO ANY FILL BEING PLACED.



2" DOMESTIC WATER SERVICE

OWNER:  
MAP 286 PARCELS 32 AND 34  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33  
JOHN AND CARMEL SHERRY  
88 EAST CENTRAL STREET

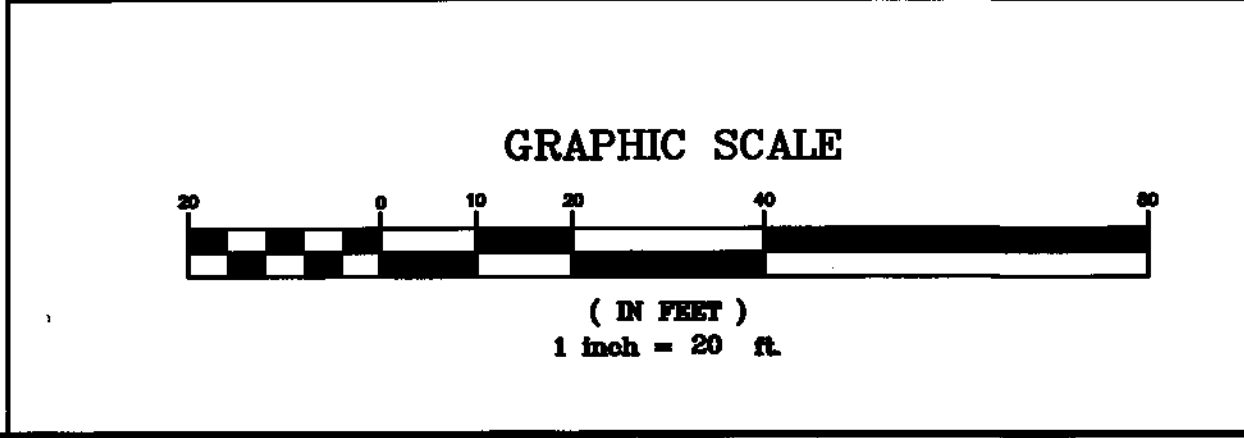
APPLICANT:  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

SITE PLAN MODIFICATION  
CONSTRUCTION DETAIL PLAN - 2  
70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
MARCH 4, 2020  
SCALE: 1" = 20'

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE

\_\_\_\_\_



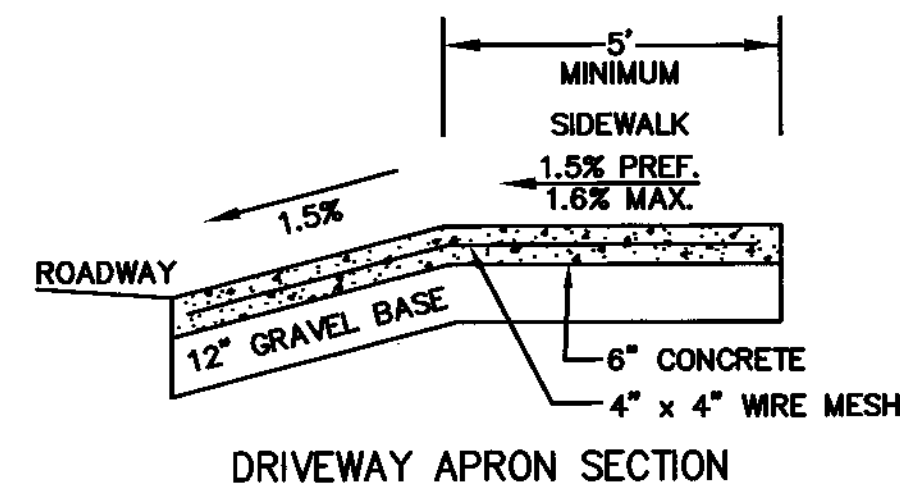
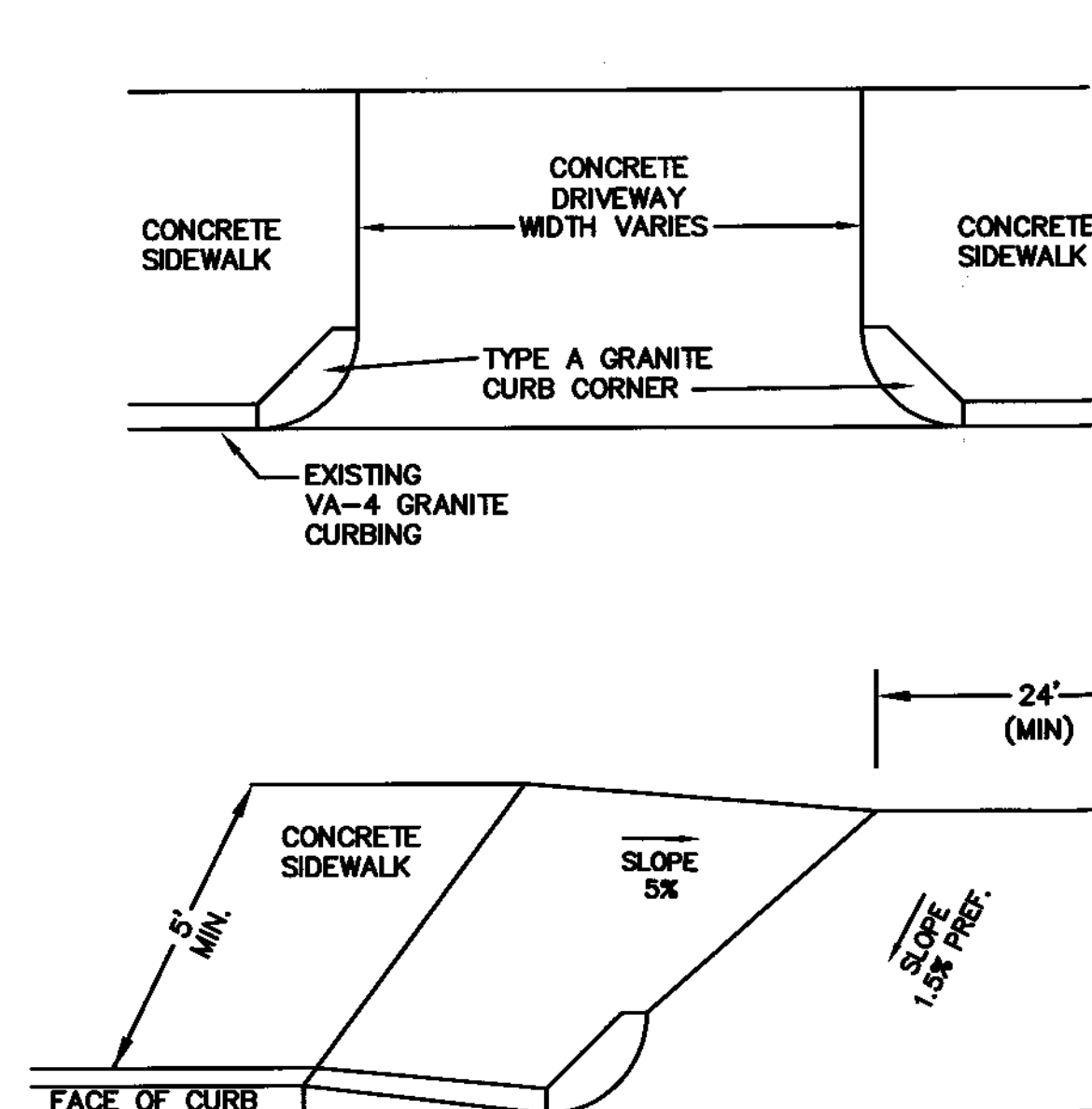
NO.	DATE	DESCRIPTION	BY

DATE	FIELD BY:	INT.
6/19	FIELD BOOK	BL
BK# 74	CALCS BY:	PG# 63
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

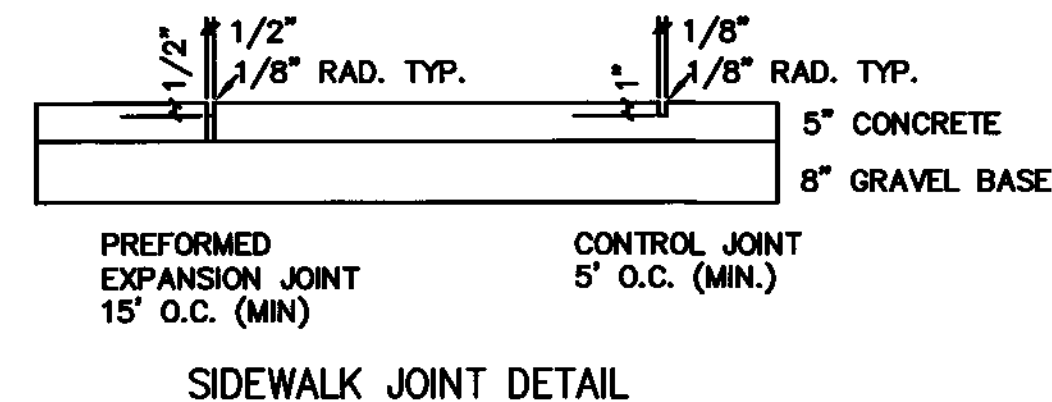
UNITED  
CONSULTANTS  
INC.

850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-8560 FAX 508-384-8568

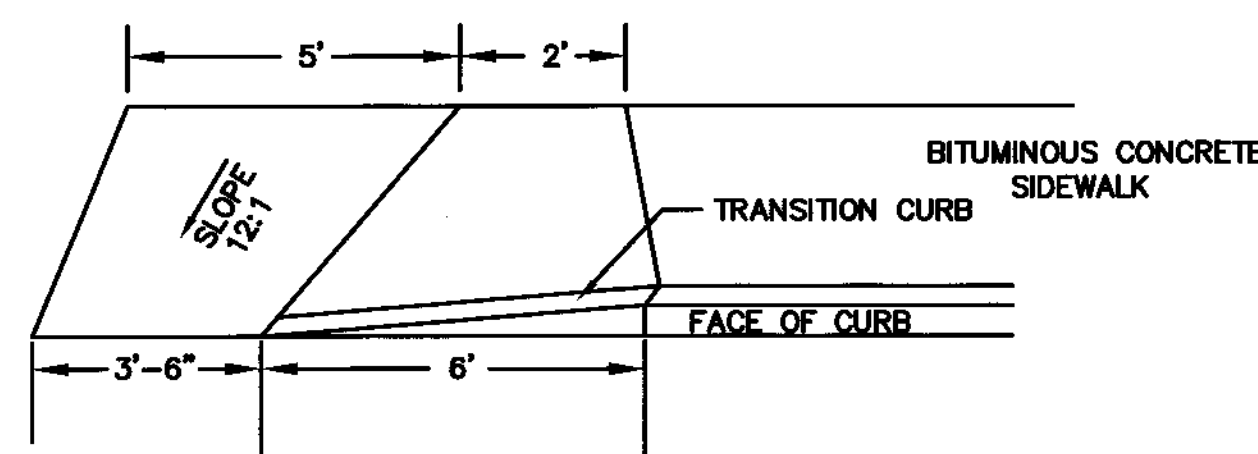
DATE	MAR. 4, 2020
SCALE	1" = 20'
PROJECT	UC1334
SHEET	8 of 9



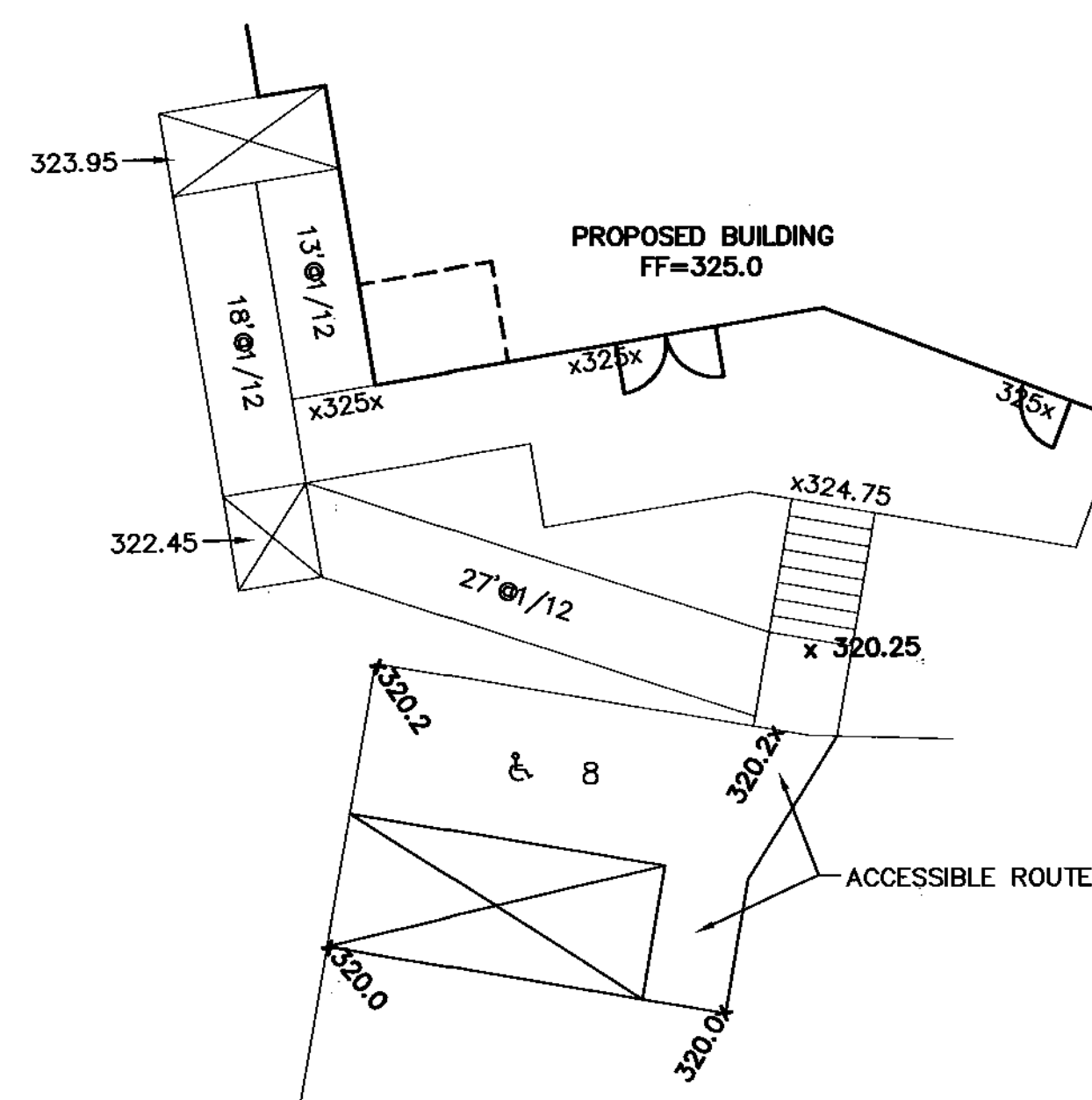
NOTES:  
1. CROSS SLOPE ON ANY RAMP, LANDING OR ACCESSIBLE ROUTE SHALL NOT EXCEED 3/16" PER FOOT.  
2. THE SIDEWALKS ARE 5' MINIMUM IN WIDTH.  
3. ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.  
4. GRAVEL UNDER SIDEWALK TO BE M1.03.0 (TYPE B)



DRIVEWAY APRON

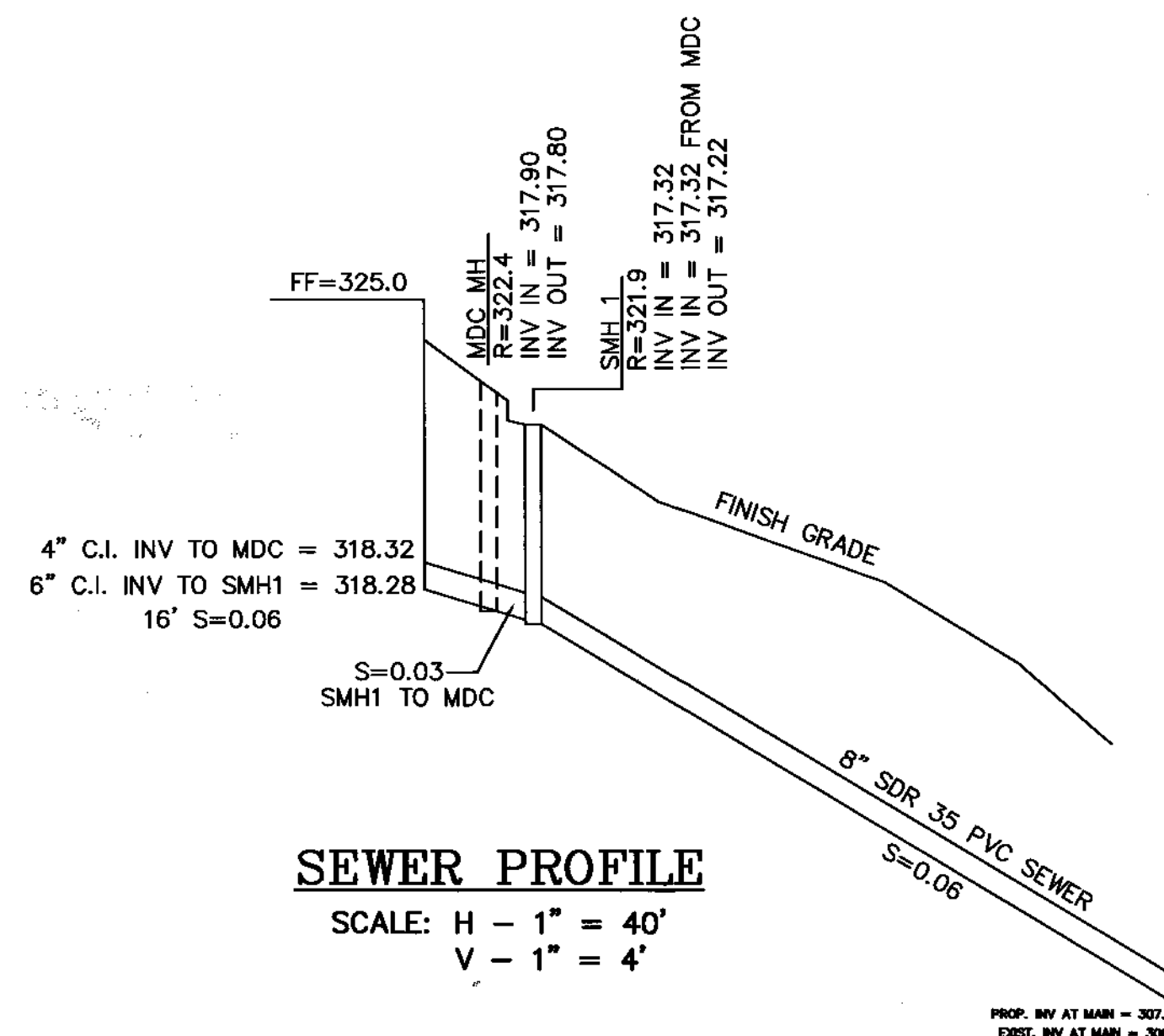


WHEELCHAIR RAMP



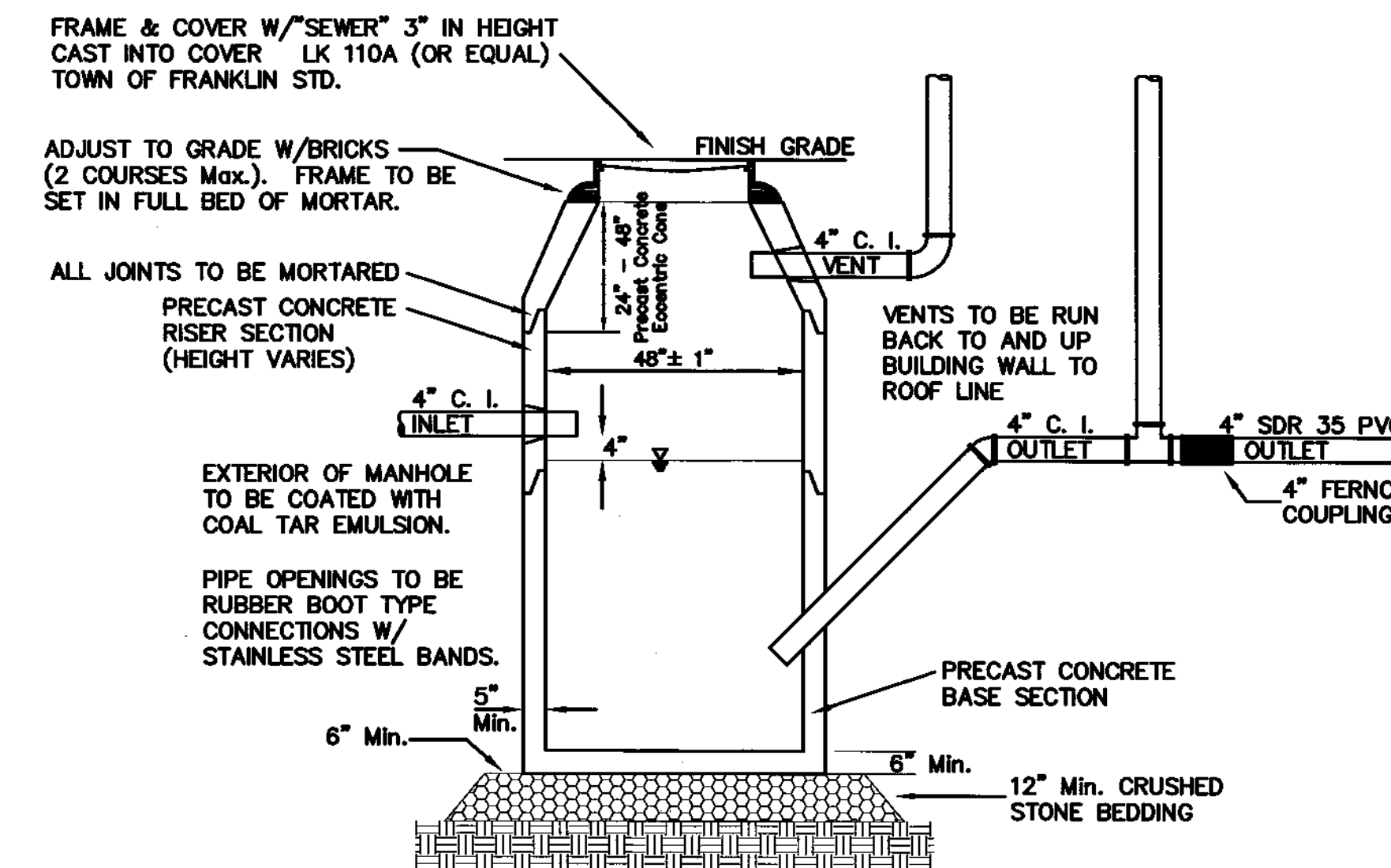
ACCESIBLE ROUTE

NOTES:  
1. RAMPS, LANDINGS AND ENTRANCE AREA SHOWN FOR GRADING OF THE ACCESSIBLE ROUTE ONLY.  
2. THE ARCHITECT SHALL PROVIDE CONSTRUCTION DETAILS FOR THE RAMP, LANDINGS AND ENTRANCE AREA.  
3. RAMPS TO INCLUDE HANDRAILS.



SEWER PROFILE

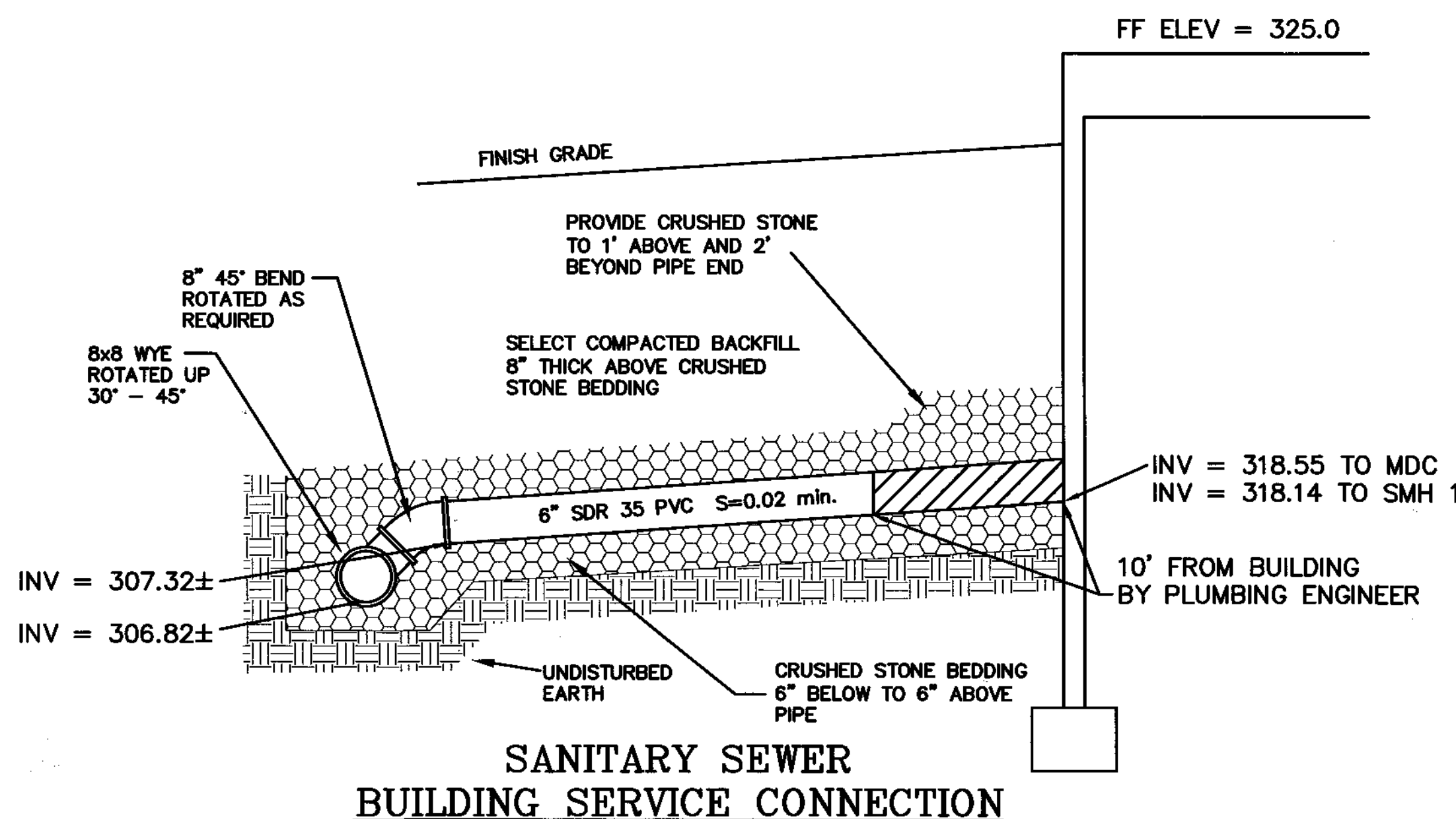
SCALE: H - 1" = 4'  
V - 1" = 4'



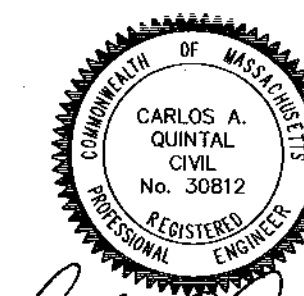
M.D.C. STYLE TRAP

CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AT CONNECTION POINT AND NOTIFY THE DESIGN ENGINEER.

SEWER PIPE TO BE 8" SDR 35. SEWER PIPE SIZE AND TYPE WITHIN 10 FEET OF THE BUILDING SHALL BE PROVIDED BY THE PLUMBING ENGINEER. SEWER PIPE TO MDC SHALL BE 4" CAST IRON INTO AND OUT OF MDC MANHOLE. REFER TO DETAIL FOR CONNECTION TO PVC.



SANITARY SEWER BUILDING SERVICE CONNECTION



CARLOS A. QUINTAL P.E. #30812

OWNER: MAP 286 PARCELS 32 AND 34 70 EAST CENTRAL STREET, LLC 37 EAST CENTRAL STREET FRANKLIN, MASSACHUSETTS

OWNER MAP 286 PARCEL 33 JOHN AND CARMEL SHERRY 88 EAST CENTRAL STREET

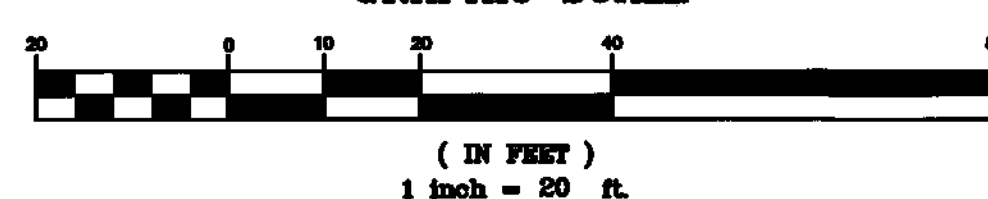
APPLICANT: 70 EAST CENTRAL STREET, LLC 37 EAST CENTRAL STREET FRANKLIN, MASSACHUSETTS

SITE PLAN MODIFICATION  
CONSTRUCTION DETAIL PLAN - 3  
70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
MARCH 4, 2020  
SCALE: 1" = 20'

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE

GRAPHIC SCALE



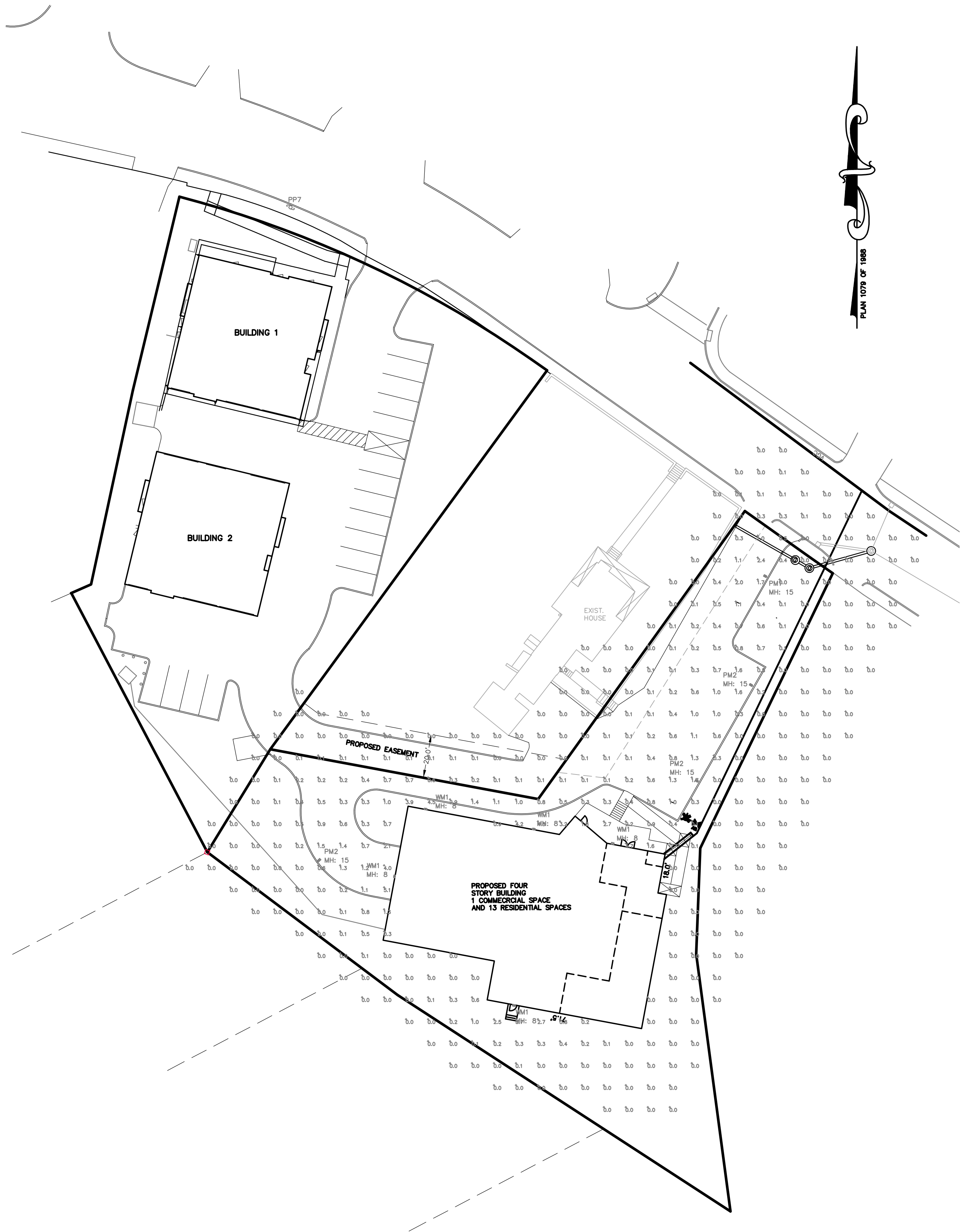
NO. DATE DESCRIPTION BY

DATE	FIELD BY:	INT.
6/19	FIELD BOOK	PG# 63
3/20	CALCS BY:	RRG
3/20	DESIGNED BY:	RRG
3/20	DRAWN BY:	COMP
3/20	CHECKED BY:	CAQ

UNITED CONSULTANTS INC.  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6560 FAX 508-384-6566

DATE  
MAR. 4, 2020  
SCALE  
1" = 20'  
PROJECT  
UC1334  
SHEET  
9 of 9





1 Site Lighting Plan  
SCALE: 1"=30'-0"

Luminaire Schedule						
Symbol	Label	Qty	Description	LLF	Lum. Watts	Lum. Lumens
	PM1	1	Visionaire # VSX-1-T2-16AR-5L-4K-HS	0.900	34	1636
	PM2	3	Visionaire # VSX-1-T2-16AR-5L-4K-HS	0.900	34	1599
	WM1	5	Visionaire # PGAS-1-T2-16LC-3-4K-UNV-WM	0.900	17	2235

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site Points	Illuminance	Fc	0.14	5.1	0.0	N.A.	N.A.

VSX ARRAY LED Specifications

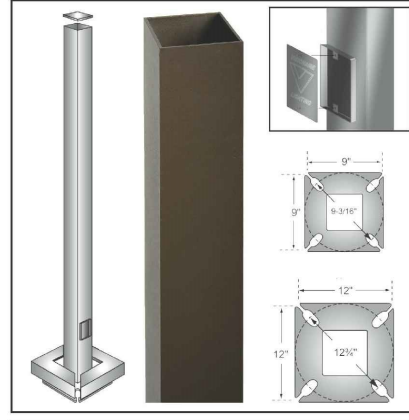


Ordering Information									
MODEL	OPTICS	LUMENS	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS	
VSX-1	T1	16L	3K	UNV	AM	BZ	PCB-102	APPD	
	T2	16L	4K	UNV	WM	SK	PCB-102	APPD	
	T3	16L	4K	8	WM	SK	PCB-102	APPD	
	T4	25L	6K	8	WM	SK	PCB-102	APPD	
	T5	25L	6K	8	WM	SK	PCB-102	APPD	
	T6	25L	6K	8	WM	SK	PCB-102	APPD	
	T7	25L	6K	8	WM	SK	PCB-102	APPD	
	T8	25L	6K	8	WM	SK	PCB-102	APPD	
	T9	25L	6K	8	WM	SK	PCB-102	APPD	
	T10	25L	6K	8	WM	SK	PCB-102	APPD	

VISIONAIRE LIGHTING

2 Fixture Specification- Visionaire VSX Array

SNTS Specifications



Ordering Information									
MODEL	SHAFT SIZE	GAUGE	HEIGHT	BASE	ANCHORAGE	MOUNTING	FINISH	OPTIONS	
SNTS	45	11	19"	RBC	343	S1	BZ	APPD	
	45	11	22"	RBC	343	S1	BZ	APPD	
	45	11	25"	RBC	343	S1	BZ	APPD	
	45	11	28"	RBC	343	S1	BZ	APPD	
	45	11	31"	RBC	343	S1	BZ	APPD	
	45	11	34"	RBC	343	S1	BZ	APPD	
	45	11	37"	RBC	343	S1	BZ	APPD	
	45	11	40"	RBC	343	S1	BZ	APPD	
	45	11	43"	RBC	343	S1	BZ	APPD	
	45	11	46"	RBC	343	S1	BZ	APPD	

VISIONAIRE LIGHTING

3 Pole Specification- Visionaire SNTS

PGAS-1 LED Specifications



Ordering Information									
MODEL	OPTICS	SOURCE	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	
PGAS-1	T2	16L	5	3K	UNV	WM	BZ	PCB-102	
	T3	16L	5	3K	UNV	WM	BZ	PCB-102	
	T4	25L	5	3K	UNV	WM	BZ	PCB-102	
	T5	25L	5	3K	UNV	WM	BZ	PCB-102	
	T6	25L	5	3K	UNV	WM	BZ	PCB-102	
	T7	25L	5	3K	UNV	WM	BZ	PCB-102	
	T8	25L	5	3K	UNV	WM	BZ	PCB-102	
	T9	25L	5	3K	UNV	WM	BZ	PCB-102	
	T10	25L	5	3K	UNV	WM	BZ	PCB-102	
	T11	25L	5	3K	UNV	WM	BZ	PCB-102	

VISIONAIRE LIGHTING

3 Fixture Specification- Visionaire PGAS

ABBREVIATIONS:  
Avg= Average  
AFG= Above Finished Grade  
CF = Compact Fluorescent  
CV= Coefficient of variation  
fc = Footcandles  
HPS = High Pressure Sodium  
LLF= Light Loss Factor  
MH = Mounting Height  
NTS = Not to Scale  
PSMH = Pulse Start Metal Halide  
SF = Square foot  
W = Watts

NOTES:  
A. CALCULATION POINTS INDICATED ARE BASED ON MAINTAINED FOOTCANDLE (FC) LEVELS AFTER A LIGHT LOSS FACTOR (LLF) IS APPLIED TO FIXTURE. REFER TO SCHEDULES FOR LLF AND LUMEN INFORMATION.  
B. REFER TO PLAN FOR FIXTURE MOUNTING HEIGHTS.  
C. CALCULATION POINTS TAKEN AT GRADE.

20/22 Carver Circle  
Canton, MA 02021

PROJECT NAME  
94 East Central  
Street- Franklin,  
MA

CLIENT  
Chaffe Power  
Group, LLC

SEAL

REVISIONS

No.	Description	Date
5.		
4.		
3.		
2.		
1.		

Issue Date: 01/21/20

Project #:

Drawn: AD

Checked: HD

Approved: HD

Scale: AS NOTED

DRAWING NAME

Site Lighting Plan,  
Schedules and  
Specifications

DRAWING NUMBER

SL1





EXISTING CONDITIONS AT SITE



SITE PLAN  
1/32" = 1'





**SITE SECTION THROUGH EAST CENTRAL STREET**  
SCALE: 1/16" = 1'



**SITE SECTION THROUGH PROPOSED DEVELOPMENT**  
SCALE: 1/16" = 1'





**VIEW OF PROPOSED DEVELOPMENT:  
APPROACHING FROM HORACE MANN PLAZA**



**VIEW OF PROPOSED DEVELOPMENT:  
FROM STREETSIDE**

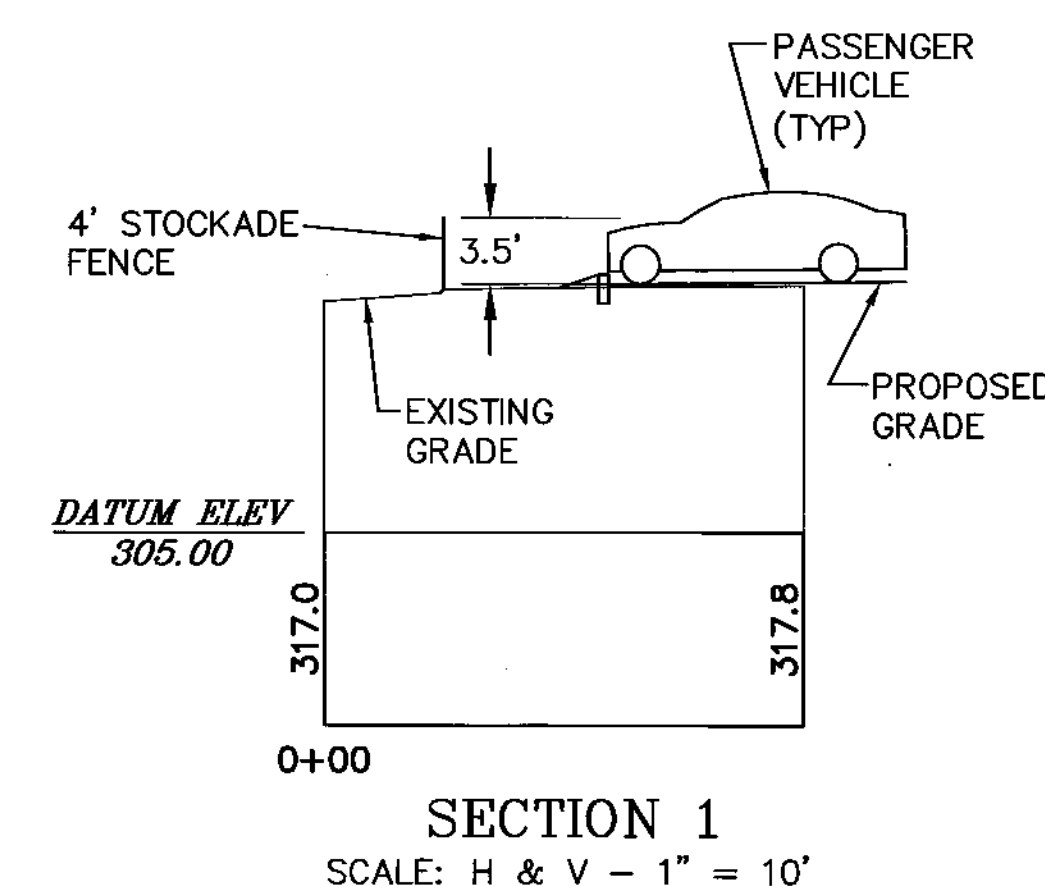
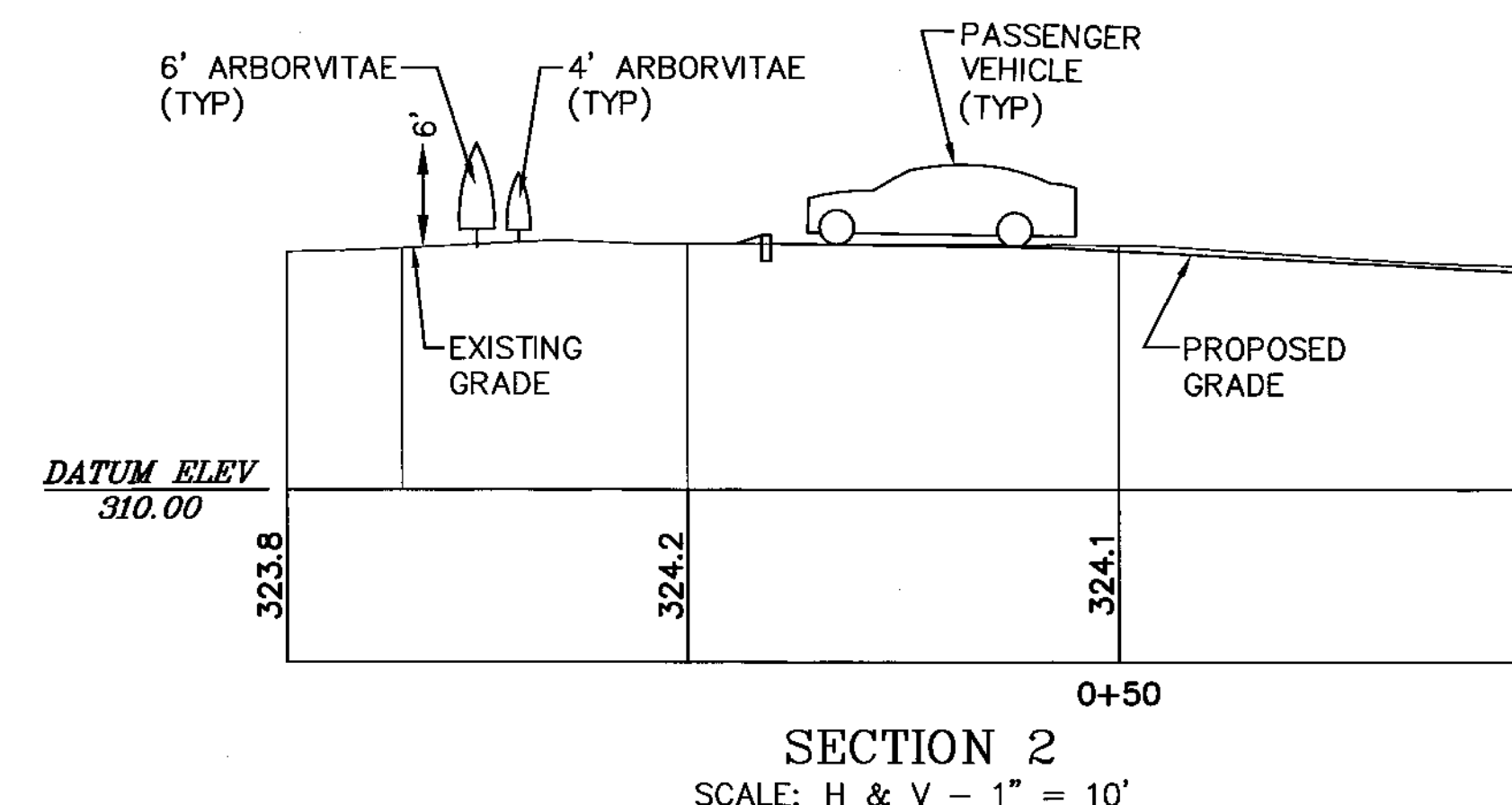
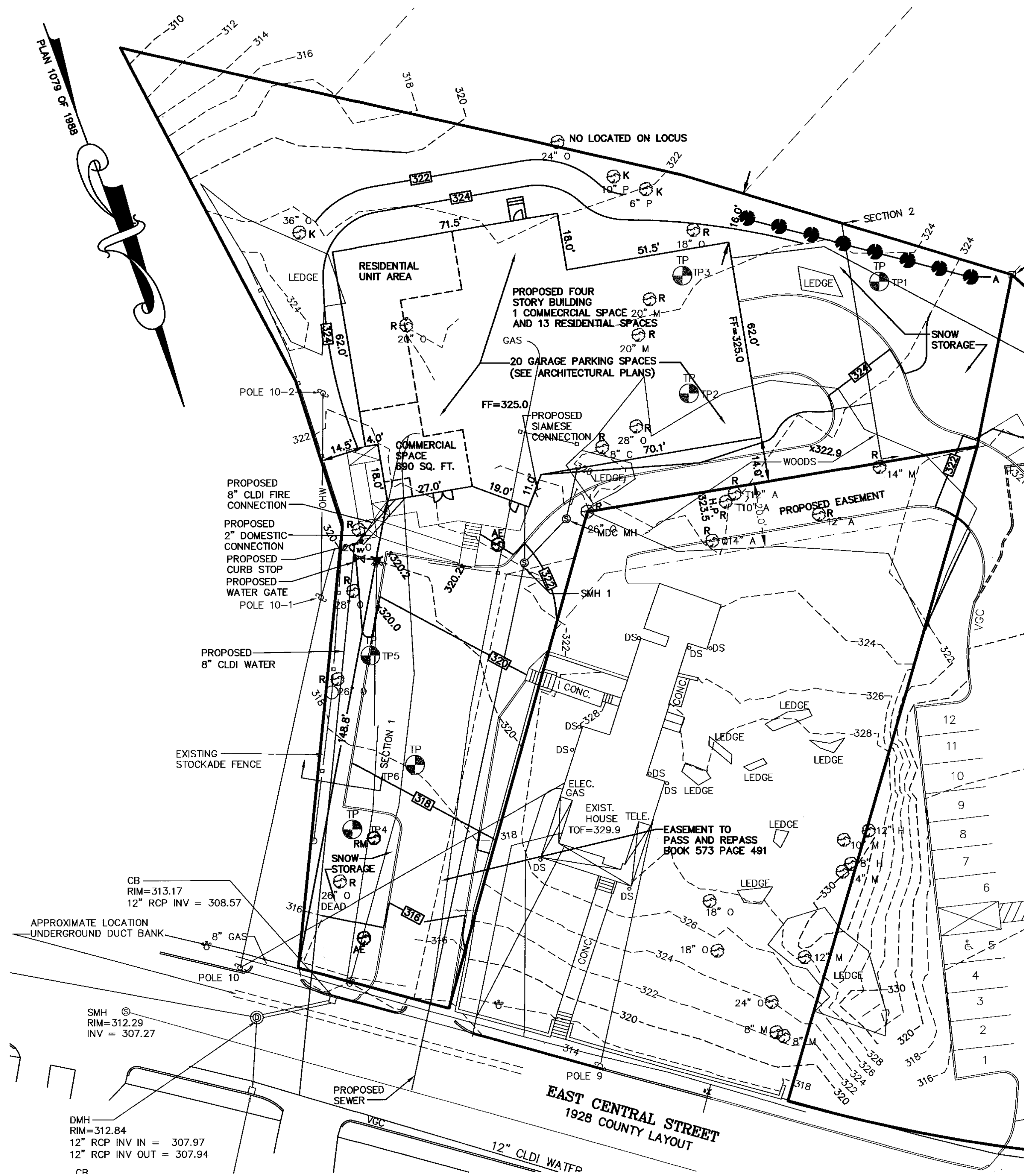


**VIEW OF PROPOSED DEVELOPMENT:  
ENTRY TO 70 EAST CENTRAL**

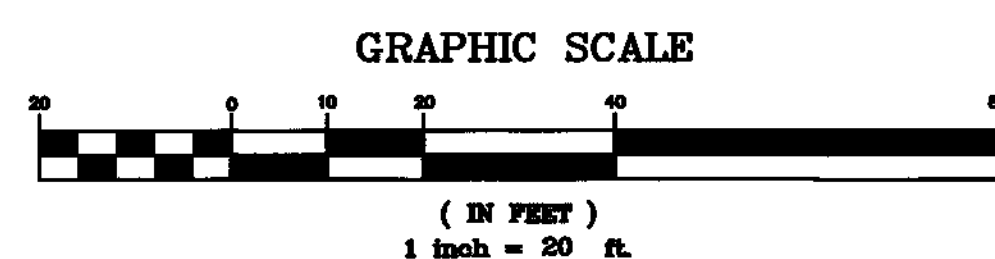


**VIEW OF PROPOSED DEVELOPMENT:  
CENTER OF TOWN**





SITE PLAN MODIFICATION  
PARKING SECTION ILLUSTRATION PLAN  
70, 72, 88 AND 94 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
70 EAST CENTRAL STREET, LLC  
37 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
APRIL 23, 2020  
SCALE: 1" = 20'



NO.	DATE	DESCRIPTION	BY
1	4/23/20	REVIEW COMMENTS	RRG

DATE	FIELD BY:	INT.
6/19	BL	
BK#	FIELD BOOK	PG#
4/20	RRG	
4/20	RRG	
4/20	COMP	
4/20	CAQ	

<b>UNITED CONSULTANTS INC.</b>  850 FRANKLIN STREET SUITE 11D WRENTHAM, MASSACHUSETTS 02093 508-384-6560 FAX 508-384-6566	DATE	APR. 23, 2020
	SCALE	1" = 20'
	PROJECT	UC1334
	SHEET	5 of 9



May 7, 2020

Mr. Anthony Padula, Chairman  
355 East Central Street  
Franklin, MA 02038

**Re: 70, 72, and 94 East Central Street  
Site Plan Peer Review Update**

Dear Mr. Padula:

BETA Group, Inc. has reviewed revised documents for the proposed Site Plan Approval application entitled “70, 72, and 94 East Central Street” located in Franklin, Massachusetts. This letter is provided to update findings, comments, and recommendations.

## **BASIS OF REVIEW**

The following documents were received by BETA and formed the basis of the review:

- Plans (10 Sheets) entitled **70, 72, and 94 East Central Street**, revised March 4, 2020 and April 23, 2020, prepared by United Consultants, Inc. of Wrentham, MA
- Drainage Analysis, revised March 4, 2020, prepared by United Consultants, Inc.
- Operation and Maintenance Plan, revised March 4, 2020, prepared by United Consultants, Inc.

Review by BETA included the above items along with the following, as applicable:

- Site Visit
- **Zoning Chapter 185 From the Code of the Town of Franklin**, current through October 2019.
- **Zoning Map of the Town of Franklin, Massachusetts**, attested to April 30, 2019
- **Stormwater Management Chapter 153 From the Code of the Town of Franklin**, Adopted May 2, 2007
- **Subdivision Regulations Chapter 300 From the Code of the Town of Franklin**, current through January 1, 2016.
- **Wetlands Protection Chapter 181 From the Code of the Town of Franklin**, dated August 20, 1997.
- **Town of Franklin Best Development Practices Guidebook**, dated September 2016.

## **COMPILED REVIEW LETTER KEY**

BETA reviewed this project previously and provided review comments in letters to the Board dated February 5, 2020 and March 27, 2020 (original comments in standard text), United Consultants Inc. (UCI) provided responses (responses in *italic text*), and BETA has provided comments on the status of each (status in **standard bold text**).

## INTRODUCTION

The project area includes three parcels located along East Central Street in the Town of Franklin. Parcel 286-34 includes #70 and #72 East Central Street and is located within the Downtown Commercial District. Parcels 286-33 and 286-32 include #88 and #94 East Central Street, respectively, and are located within the Commercial I zoning district. Surrounding zoning districts include the Downtown Commercial district to the west, the Commercial I district to the east and north, and the Single-Family IV district to the south. Except as noted otherwise, comments and descriptions in this report reference the parcel located at #94 East Central Street (the "Site").

Plans indicate the existing lots are developed with several structures. Numbers 70 and 72 East Central Street are mixed use buildings, with associated site improvements including parking areas, driveways, water, fire-service, electric, and telecommunications utilities, and landscaping. Numbers 88 and 94 East Central Street are each developed with a single-family residence with associated driveways and walkways.

Topography at the Site is moderate, sloping away from an elevated area within #88 East Central Street. Most of the Site is graded either towards East Central Street or off-site to the southeast. The project is not located within or in proximity to a DEP mapped wetland resource area, an estimated habitat of rare or endangered species, or any other critical area. The site is not located within the Water Resources District or a FEMA-Mapped 100-year flood zone. NRCS soil maps indicate the presence of Hollis-Rock outcrop-Charlton complex with a Hydrologic Soil Group (HSG) rating of D (very low infiltration potential) or Urban Land with no listed HSG rating.

The project proposes to remove the existing residential structure at #94 East Central Street to construct a four story, 8,940 +/- SF structure with mixed residential and commercial use. Access to the building will be provided through a reconstructed access driveway from East Central Street that is proposed to connect to the rear of the #72 East Central Street parking area. An access and utility easement is proposed to allow the driveway to be constructed partially within the #88 East Central Street lot. Associated site developments include new paved parking areas, grading, and lighting. Proposed utilities include domestic water, fire service, and sanitary sewer. Stormwater management is proposed through catch basin and roof leader conveyance to a subsurface infiltration system. No substantial alterations are proposed to the #88 East Central Street lot beyond a limited section of the proposed driveway.

## FINDINGS, COMMENTS AND RECOMMENDATIONS

### GENERAL COMMENTS

- G1. The existing easement to pass and repass (Book 573, Page 491) appears inadequate to provide vehicular access to the #88 East Central Street parcel due to the limits of existing pavement. Recommend revising the easement to coincide with the new driveway layout and installing curbing on the westerly side of the driveway. *UCI: The owners of 88 East Central Street have a deeded easement as referenced above. They currently utilize the existing driveway located on 94 East Central Street. The applicant will be revising the driveway and access to the properties which will continue to be utilized by the 94 East Central Street properties. Curbing has been proposed.*
- BETA2: Curbing provided at the existing limits of pavement, which will allow continued access**

**as it currently exists. Reconfiguration of the existing easement is considered a private property matter – no further comment.**

- G2. With the understanding that the lots associated with #94 East Central Street and #70/#72 East Central Street are to be combined, rights of passage and an easement to access the proposed dumpster are not required. If the lots are not combined, easements would be required. *UCI: The applicant agrees that the lots will be combine.* **BETA2: Information provided – issue dismissed.**
- G3. Clarify the disposition of existing site features, including but not limited to, trees, stone retaining walls, utility pole 10-2, and stockade fence. *UCI: The disposition of the stone retaining wall, existing utility services and pole 10-2 have been added to sheet 4. The existing fence along the 94 – 100 East Central Street property boundary is proposed to remain. The disposition of the existing site trees has been added to sheet 5.* **BETA2: Information provided – issue resolved.**
- G4. Evaluate if the proposed development will result in an adverse shading impact to the #88 East Central Street residence. *UCI: The applicant will address this comment separately.* **BETA2: Information not provided – issue remains outstanding.** *UCI2: The applicant's architect will address the shading issue with the Planning Board.* **BETA2: BETA defers to the Board on this issue.**

## ZONING

The site is located within the Commercial I (CI) District. The proposed use of the Site is multi-family residential (13 units) and commercial (1 unit). Multi-family use is permitted by Special Permit from the Planning Board, provided that no more than 1 unit per 1,000 sq. ft. of lot area is proposed. Based upon the proposed number of units and area of the lot, this threshold is not exceeded. Some commercial uses are permitted by right within the district, while others require Special Permits or are prohibited. No information has been provided for the specific use of the commercial space.

- Z1. Clarify the intended use of the commercial space, if known. *UCI: The commercial space use is not known. The applicant will address this issue with the Planning Board.* **BETA2: Information provided. BETA notes that depending on the proposed commercial use, a Special Permit may be required.** *UCI2: The applicant acknowledges that based on the future proposed use a special permit may be needed.* **BETA3: No further comment.**

## SCHEDULE OF LOT, AREA, FRONTAGE, YARD AND HEIGHT REQUIREMENTS (§185 ATTACHMENT 9)

The Zoning Legend notes that the parcels associated with #94 and #70/#72 East Central Street are to be combined. Based upon the information provided on the Zoning Legend the Site's proposed lot and building will comply with minimum lot area, depth, width, front, side, and rear yard dimensions, and maximum impervious coverage for structures and structures plus paving. The project will not comply with the maximum stories (3 permitted, 4 proposed) and maximum height (40 feet permitted, 49.5 feet proposed) permitted by right. Within the Commercial I District, buildings up to 50 feet in height, regardless of stories, are permitted by a Special Permit from the Planning Board. BETA notes the aforementioned parcels must be combined to comply the requirements for continuous frontage, as the parcel associated with #94 East Central Street does not meet subsections A.(1)(a) and (2) of Section §185-10 Nonconforming Lots.

- SCH1. Clarify the existing lot lines and lot areas for the parcels associated with #94 and #88 East Central Street, which differ from available online records. *UCI: Refer to deed 36860 page 516 for property description.* **BETA2: Information provided. BETA defers to the real estate attorneys for final**



**verification.** *UCI2: The applicant anticipates input from the Planning Board on this comment.*  
**BETA3: BETA recommends for the Board to discuss this issue.**

- SCH2. The parcels associated with #94 and #70/#72 East Central Street will need to be formerly combined (e.g ANR, etc.). Recommend providing a draft ANR plan as part of the proposed development package. *UCI: The applicant agrees that the lots will be combine and a draft ANR plan will be provided.* **BETA2: BETA defers to the preference of the Board to include the submission of a draft ANR as a condition of approval.** *UCI2: The applicant anticipates input from the Planning Board on this comment.* **BETA3: BETA recommends for the Board to discuss this issue.**
- SCH3. Provide BETA with a copy of architectural plans referenced the civil plan set. *UCI: The applicant will provide the architectural plan separately.* **BETA2: Plans not provided – issue remains outstanding.** *UCI2: The applicant's architect has prepared revised plans. The revised architectural document are being provided with this response letter.* **BETA3: Plans provided – issue resolved.**
- SCH4. Recommend removing the redundant Zoning Legend on Sheet 3. *UCI: Zoning legend has been removed.* **BETA2: Plan revised – issue resolved.**

## **PARKING, LOADING AND DRIVEWAY REQUIREMENTS (§185-21)**

Access to the Site will be provided through a 24' (minimum) wide paved driveway from a revised curb cut along East Central Street, which will continue across the rear of #88 East Central Street, partially within a proposed easement, and will connect to the rear of the existing parking area associated with the #70/#72 East Central Street property. Eight surface spaces are proposed along the eastern side of the reconstructed driveway and plans note that an additional 20 spaces will be provided in a garage within the footprint of the proposed building. Proposed surface parking spaces are 9' wide by 19' long. One surface parking space has been designed as accessible, with associated signing and striping, and is also van accessible.

Section §185-21.B.(2) describes the number of parking spaces required for uses in the Commercial I District. For residential buildings 1.5 spaces must be provided per each dwelling unit and 1 space must be provided for every 500 sq. ft. of commercial space. As 13 dwelling units and 640 sq. ft. of commercial space are proposed, a minimum of 21 parking spaces are required.

The project generally complies with Section §185-21.C.(5), providing three trees for the proposed 28 total spaces. Revising the location of the trees to be within five feet of the parking area is impracticable due to site/utility constraints.

- P1. Provide the proposed layout for the 20 garage spaces. *UCI: The applicant will provide the requested parking space layout within the building separately.* **BETA2: Layout provided. BETA notes that at least four of the proposed garage spaces do not meet the width required by the Bylaw. Also, access to the proposed accessible space and two spaces near the garage entrances will be restricted by the structural columns. Provide turning movements showing that spaces can be adequately accessed and eliminate any spaces that cannot.** *UCI2: The parking calculations on Sheet 3 outline the parking demand for the site which is 21 spaces. Eight spaces have been provided on the exterior of the building. A re-configuration of the interior parking spaces as suggested above would allow for the required additional 13 spaces. The four 8'-6" spaces located to the left of the garage entrance could be revised into 3 nine foot spaces with a 7 foot space adjacent to the door. The two spaces located to the rear of the garage could be revised into one handicap space and an off loading area. The existing handicap space could be changed to a*

*conventional space with the excess area be used to assist with turning movements. This will result in two to three spaces being eliminated which will still provide excess parking when comparing to the requirements. The applicant will finalize a building design which will provide column locations as well as wall locations so the final layout with dimensions and turning movements would be preliminary and subject to changes based on architectural and structural final design. BETA3: BETA recommends the Board consider a condition of approval that requires final interior parking layout to be reviewed for number, dimensions, and conformance with applicable Architectural Access Board requirements and good engineering practices.*

- P2. Revise the proposed easement across the #88 East Central Street property to maintain at least 24 feet continuously from the proposed southerly/easterly curb line. *UCI: The proposed easement has been revised on sheet 3. BETA2: Easement revised – issue resolved.*
- P3. Confirm an additional accessible parking space will be provided within the garage or provide an additional accessible parking space on the surface. The common use parking areas require two accessible spaces (521 CMR 10.1 and 23.2.1) one of which that must also be van accessible. Also, clarify if any of the dwelling units will be accessible. Per 521 CMR 10.3, parking spaces for dwelling unit occupants must be capable of complying with 521 CMR 23.2 through 521 CMR 23.8. Demonstrate that additional accessible spaces can be provided for occupants, if necessary. *UCI: Refer to building parking layout in the Architectural plan set. BETA2: Additional accessible parking space provided. Refer to Comment P1.*
- P4. Confirm the number of parking spaces at the existing adjacent parcel to the east. If found to serve 20 or more spaces, a Special Permit is required in accordance with Section §185-21.C.(7)(b). *UCI: The adjacent property to the east (100 East Central Street) has 14 marked parking spaces. BETA2: Information provided – issue resolved.*
- P5. The development proposes 8 outdoor parking spaces; however, if the #94 East Central Street and #70/#72 East Central Street lots are combined as anticipated, the total number of outdoor parking spaces will be greater than 10 and will be subject to the Screening requirements of §185-35.B. BETA also notes the existing stockade fence along the easterly property line appears to belong to the adjacent property and is not of sufficient height to block headlight glare. *UCI: Section 185-35.B provides screening requirement to include fences 12" or greater in height. The existing fence is to remain. BETA2: Site plan and Special Permit approval criteria include language indicating that abutting properties shall not be subjected to adverse impacts from excessive light or glare. BETA defers to the Board to determine if the existing 4-foot fence on the easterly property line and proposed plantings (arborvitae spaced approx. 10 on center) along the southerly property line are sufficient to mitigate headlight glare. Recommend providing sections for screening as requested by the Board at the initial public hearing. UCI2: A Parking Section Illustration Plan was prepared to depict the two areas suggested for sections of the parking area and fence and access driveway and plantings. Section 1 and Section 2 are provided on the plan. BETA3: Sections have been provided and depict the existing fence and proposed plantings in general alignment with anticipated headlight glare. BETA recommends for the Board to discuss this issue.*
- P6. Note that handrails will be required along the accessible ramps. *UCI: A note has been added to the Accessible route detail on sheet 9. BETA2: Note provided – issue resolved.*
- P7. Confirm the proposed grade at the westerly door, shown as 226.0 on the accessible route detail. *UCI: The spot grade has been revised. BETA2: Grade revised – issue resolved.*

- P8. Provide sight distance (required and provided) on plans §185-21.C.(7)(c). Based upon the initial site visit, BETA anticipates the existing retaining wall and vegetation on the #88 East Central Street property will significantly restrict sight distance to the west. *UCI: Sight distances have been added to sheet 4. BETA2: Confirm sight distance to the east is correctly noted at 30 feet. Also, recommend indicating the design speed the sight distance is adequate for as the 25 MPH posted speed is likely less than the 85<sup>th</sup> percentile speed of the roadway. UCI2: The sight distance to the east was revised to 300 + feet. PER MASS Highway Exhibit 3-8 a stopping sight distance for 200 feet at a level grade has a design speed of 30 MPH. BETA3: Information provided – issue resolved.*
- P9. The proposed development will result in the loss of two parking spaces on the adjacent #70/#72 East Central Street property. The designer should confirm the proposed number of spaces will comply with the current Bylaw. *UCI: Refer to parking schedule on sheet 3. BETA2: Information provided – issue resolved.*

### **SIDEWALKS (§185-28)**

The project is located within the Commercial I Zoning District and is required to provide concrete sidewalks along the street frontage unless the Board determines that site conditions preclude their usefulness. An existing sidewalk is located along the street frontage and is proposed to remain, except to accommodate the reconstructed driveway.

- SI1. New sidewalks are located from the downtown area to approximately halfway (UP 9) through the #88 East Central Street property. Recommend reconstructing the existing sidewalk from the limits of new sidewalk through the #94 East Central property line (~100 feet total). *UCI: Refer to Town Engineer comment 5 as well as UCI's response. BETA2: BETA defers to the DPW on this issue – no further comment.*

### **CURBING (§185-29)**

Vertical granite curbing is proposed throughout the project, except for the westerly side of the proposed driveway.

- C1. Refer to Comment G1 regarding the existing easement and limits of curbing. *UCI: Refer to response to comment G1. BETA2: No further comment.*

### **SITE PLAN REVIEW (§185-31)**

The proposed development is subject to Site Plan Review and must comply with the requirements of this section.

- S1. Provide general sound information for proposed HVAC equipment (§185-31.C.(3)(r)). *UCI: The applicant is proposing to utilize residential type HVAC equipment that is similar to the 70 and 72 East Central Street buildings. BETA2: Information provided. BETA does not anticipate adverse sound impacts to abutters – issue dismissed.*
- S2. Provide sight line information at the proposed driveway (§185-31.C.(3)(t)). *UCI: Sight distances have been added to sheet 4. BETA2: Information provided – issue resolved.*

### **UTILITIES**

The proposed development is shown to be serviced by water, sewer, gas and electric utilities. Detailed review of utilities is anticipated to be provided by the DPW.

- U1. Clarify the sewer and roof leader connections at the front of the building. Currently, it appears the roof drain may tie into the sewer line. *UCI: The building sewer connection has been revised. BETA2: Plan revised – issue resolved.*
- U2. Revise Utility Note 1 to be consistent with Existing Utility Note 1, as necessary. Recommend having a single compilation of utility notes. *UCI: Note has been revised. Existing utility notes were added to utility note section. BETA2: Revise Note 7 to indicate the existing water service will be cut and capped at the main per DPW requirements. UCI2: Note 7 has been revised on Sheet 4 of 9. BETA3: Note revised – issue resolved.*
- U3. Clarify if the existing overhead electric line servicing #88 East Central Street is to remain and if there is an easement in place for crossing the subject property. *UCI: The utility line is to remain. There is not an easement referenced in the property deed. BETA2: Information provided. BETA notes this is a private property matter – issue resolved.*
- U4. In contrast to Utility Note 5, confirm that a gas trap and floor drains are required for the 20-space parking garage in accordance with 248 CMR 10.09(1)(b). Clarify how the proposed MDC MH will be vented in accordance with the provided detail. *UCI: Refer to 248 CMR 10.09((1).(b)1.i Parking and Storage areas. MDC trap venting will be located at the building and will be designed by the plumbing engineer. BETA2: Information provided and note removed – issue resolved.*
- U5. Revise the lighting plan to eliminate the depiction of the infiltration system, which currently obscures illuminance information. BETA notes the proposed lighting, consisting of 4 pole-mounted luminaires (15' height), and five luminaires mounted to the building generally comply with the recommended Illuminance levels of the Illuminating Engineering Society. *UCI: The lighting plan has been revised. BETA2: Plan revised – issue resolved.*

## STORMWATER MANAGEMENT

The project proposes to direct runoff from impervious areas into a closed drainage system comprised of roof leaders, a trench drain, and stormwater quality units (Stormceptor 450i). The majority of runoff from impervious surfaces will be directed to a new subsurface infiltration system. Overflows from the proposed stormwater system will be directed to East Central Street through a direct connection to the Town drainage system.

### GENERAL

- SW1. Stormwater from a significant portion of the driveway and parking area will be directed to the proposed trench drain, which is more susceptible to clogging than a catch basin. Recommend minimizing the impervious area directed to the trench drain and to consider supplementing or replacing it with an additional catch basin(s). *UCI: The trench drain has been replaced with two catch basins. BETA2: Deep sump catch basins provided in place of trench drain – issue resolved.*
- SW2. Revise the rim and outlet elevation of CB 92, which are inconsistent with the proposed grading and depth of infiltration basin. *UCI: The rim and invert elevation have been revised. BETA2: Elevations revised – issue resolved.*
- SW3. Depict location of ponds and catchment structures associated with #70/#72 East Central Street on the post-development watershed plan. *UCI: The catchment structures and ponds have been provided on the post development watershed sheet. BETA2: Plans revised – issue resolved.*

## **MASSACHUSETTS STORMWATER MANAGEMENT STANDARDS:**

The project is not located in proximity to wetland resources and will not disturb greater than one acre; however, under Section §185-31C.(3)(m), the Board may require the project to comply with all federal and state requirements, including the Massachusetts Stormwater Management Standards, Town of Franklin's Subdivision of Land Stormwater Management Regulations, §300-11 as applicable, Chapter 153, Stormwater Management, of Franklin's Town Code, and the Town of Franklin Best Development Practices Guidebook.

**No untreated stormwater (Standard Number 1):** *No new stormwater conveyances (e.g., outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.*

The project does not propose any new untreated stormwater discharges to wetlands – **complies with standard.**

**Post-development peak discharge rates (Standard Number 2):** *Stormwater management systems must be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates.*

The project proposes an increase in impervious area and will use a subsurface infiltration system to mitigate increases in post-development peak discharge rates and total runoff volumes.

SW4. Based upon the site visit, the pervious ground cover within the site is primarily grass, as indicated in the HydroCAD analysis; however, there is an area of brush/mature trees located to the rear of #88 East Central Street, which should be accounted for in the analysis. *UCI: The pre-development and post-development drainage analysis has been revised to include the woods area.* **BETA2: HydroCAD revised – issue resolved.**

SW5. Clarify how sheet flow lengths were determined in time of concentration calculations. Typically, a length of 50 feet is utilized. *UCI: Sheet flow lengths for some drainage areas were as shown on the previously approved 70 and 72 Site Plan. The sheet flow lengths for the 94 East Central Street property were prepared using the same methodology which was to start the shallow concentrated flow at the locations where the flows to collect. Sheet flow lengths typically do not exceed 50 feet.* **BETA2: Information provided – issue dismissed.**

SW6. Revise exfiltration elevation of subsurface infiltration systems within HydroCAD models to be the bottom of each basin. *UCI: The elevation of the infiltration systems was added. The Hydrocad program would not allow exfiltration to occur when the pond bottom elevation was set at the exfiltration invert. To allow for the exfiltration to be recognized the exfiltration elevation was set at elevations slightly below the actual pond bottoms.* **BETA2: HydroCAD revised – issue resolved.**

SW7. Although minor in area, a comparison between subwatershed 5S (predevelopment) and 8S (post-development) should be provided for runoff rates and volumes. *UCI: The comparison has been added to Appendix B.* **BETA2: Information not provided – issue remains outstanding.** *UCI2: The information has been added to Appendix B.* **BETA3: Information provided – issue resolved.**

SW8. Revise Pond 3 to reflect original design details. Currently, it appears to be a copy of Pond 1. *UCI: Pond 3 label was revised. The data was reflective of pond 3.* **BETA2: Information provided – issue resolved.**

SW9a. Clarify revisions to subwatersheds 91S and 93S. There is a loss in overall and impervious area from the previous HydroCAD model. *UCI2: January 2020 report listed Sub-catchments 91, 93 and*



96 which were revised when the stormwater collection system at the driveway entrance was changed from a trench drain to catch basins 91 and catch basin 97. Catch basin 97 was created with areas from the original Sub-catchments 91S and 93S. The areas were also revised due to the crowning of the driveway to accommodate the catch basins with some bypass that was originally proposed to be captured in the trench drain. **BETA3: Information provided – issue resolved.**

**Recharge to groundwater (Standard Number 3):** *Loss of annual recharge to groundwater should be minimized through the use of infiltration measures to maximum extent practicable.*

NRCS soil maps indicate the presence of Hollis-Rock outcrop-Charlton complex with a Hydrologic Soil Group (HSG) rating of D (very low infiltration potential) or Urban Land with no listed HSG rating. Test pit logs indicate the presence of sandy loam in the vicinity of the proposed subsurface infiltration system and saturated hydraulic conductivity testing at these locates indicates exfiltration rates between 0.648 in/hr and 0.786 in/hr. The proponent proposes a subsurface infiltration system to provide groundwater recharge and has used an exfiltration rate of 0.324 in/hr (50% of the lowest measured value). The infiltration system has been designed to provide a recharge volume in excess of that required and will drain within 72 hrs.

SW9. Clarify if TP-4 (90") or TP-5 (102") were terminated due to the presence of ledge. Due to the presence of ledge outcroppings on the adjacent #88 East Central Street property, and assumed encounters in Test Pits 1-3, additional soil investigations should be conducted on the westerly side of the proposed infiltration basin. *UCI: Test pit 6 information was added and a note indicating the test pits were excavated to refusal were added to sheet 4.* **BETA2: Information provided indicating a minimum of 4 feet of separation from proposed infiltration system to ledge – issue resolved. BETA notes that an agent of the Town will confirm the subsurface soil conditions during construction.**

SW10. Revise notes on Drainage Infiltration Area detail to reference dimensions and quantities associated with Pond 94. *UCI: The notes for the drainage Infiltration Area have been revised on sheet 8.* **BETA2: Note revised – issue resolved.**

SW11. Provide a detail or relevant notes on the plan to identify the invert elevations of the infiltration basin outlet manifold. *UCI: The outlet pipes were added to the drainage infiltration area detail on sheet 8.* **BETA2: Detail revised – issue resolved.**

**80% TSS Removal (Standard Number 4):** *For new development, stormwater management systems must be designed to remove 80% of the annual load of Total Suspended Solids.*

The project proposes to direct runoff from roofs and a portion of the parking area to a new subsurface infiltration system. Pretreatment for pavement area is proposed in the form of a proprietary stormwater quality unit (Stormceptor 450i). The remainder of the parking/driveway areas are either directed to a trench drain and Stormceptor unit or to the existing stormwater system at the #70/#72 East Central Street site. A long-term pollution prevention plan was included as part of the Drainage Analysis.

SW12. A portion of the parking area is treated solely by the Stormceptor 450i (DMH 91). Previous documented removal rates through the MassSTEP program and NJCAT indicate removal rates of approximately 60% (SSC) and 75% TSS, respectively; therefore, this treatment train is not anticipated to meet the 80% TSS removal requirement. In conjunction with Comment SW1, consider providing a deep sump catch basin(s) in place of the trench drain to increase TSS removal to minimum requirements. Also, although the project is being designed as new development, the reconstruction of the existing impervious driveway can be considered a redevelopment. If the

designer can reduce the impervious area directed to DMH 92 to be equal to or below the area of the existing driveway, this will be considered an improvement to the existing conditions for the purposes of redevelopment and no additional TSS removal is required. *UCI: The trench drain has been removed. See revised TSS Removal calculations.* **BETA2: Deep sump catch basins provided – issue resolved.**

**Higher Potential Pollutant Loads (Standard Number 5):** *Stormwater discharges from Land Uses with Higher Potential Pollutant Loads require the use of specific stormwater management BMPs.*

The project does not propose any Land Uses with Higher Potential Pollutant Loads – **not applicable.**

**Critical Areas (Standard Number 6):** *Stormwater discharges to critical areas must utilize certain stormwater management BMPs approved for critical areas.*

The project does not propose any discharges to a critical area – **not applicable.**

**Redevelopment (Standard Number 7):** *Redevelopment of previously developed sites must meet the Stormwater Management Standards to the maximum extent practicable.*

The project is being designed as a new development – **not applicable.**

**Construction Period Erosion and Sediment Controls (Standard Number 8):** *Erosion and sediment controls must be implemented to prevent impacts during construction or land disturbance activities.*

The project as currently depicted will not disturb in excess of one acre of land; therefore, a Notice of Intent with EPA and a Stormwater Pollution Prevention Plan (SWPPP) are not required. The project proposes the use of erosion control barrier (compost sock) and a stabilized construction entrance. An Erosion Control Plan with notes, construction sequence, and details are included in the Plan Set.

SW14. If permitted by the Town of Franklin, provide catch basin inlet protection for the catch basin located immediately east of the site on East Central Street. *UCI: The applicant will provide inlet protection as necessary and as directed by the Department of Public Works at the time of obtaining a public way access permit.* **BETA2: BETA defers to the preference of the DPW on this issue.**

SW15. Provide erosion and sedimentation controls near the westerly property line and/or at the #70/#72 East Central Street property. *UCI: Additional erosion control barriers have been added to sheet 6.* **BETA2: Additional controls provided – issue resolved.**

SW16. Revise construction period stabilized construction entrance to a minimum width of 20 feet. *UCI: The stabilized construction entrance has been revised.* **BETA2: Width revised – issue resolved.**

**Operations/maintenance plan (Standard Number 9):** *A Long-Term Operation and Maintenance Plan shall be developed and implemented to ensure that stormwater management systems function as designed.*

A Long-Term Operation and Maintenance (O&M) Plan has been provided as part of the Erosion Control Plan and within the Drainage Analysis.

SW17. Revise the O&M log to indicate that parking lot sweeping is required twice per year. *UCI: The O&M Log has been revised.* **BETA2: O&M revised – issue resolved.**

**Illicit Discharges (Standard Number 10):** *All illicit discharges to the stormwater management systems are prohibited.*

An Illicit Discharge Compliance Statement was included in the Drainage Analysis.

Mr. Anthony Padula, Chairman

May 7, 2020

Page 11 of 11

SW18. Provide a signature on the Illicit Discharge Compliance Statement. *UCI: A signed illicit discharge statement has been included. To Appendix K. BETA2: Signature provided – issue resolved.*

If we can be of any further assistance regarding this matter, please contact us at our office.

Very truly yours,  
BETA Group, Inc.



Matthew J. Crowley, PE  
Project Manager



Stephen Borgatti  
Staff Engineer

cc: Amy Love, Planner





## **FRANKLIN PLANNING & COMMUNITY DEVELOPMENT**

355 EAST CENTRAL STREET  
FRANKLIN, MA 02038-1352  
TELEPHONE: 508-520-4907  
FAX: 508-520-4906

**DATE:** May 6, 2020  
**TO:** Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** 94 East Central Street  
Special Permit and Site Plan – Mixed Use

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The DPCD has reviewed the above reference Special Permit and Site Plan Application for a Mixed-Use development for the Monday, May 11, 2020 Planning Board meeting and offers the following commentary:

### **General**

1. The project is located at 70 East Central Street in the Commercial I Zoning District (Assessor's Map 286, Lot 032).
2. The applicant is proposing to construct a four (4) story, mixed used building with, Thirteen (13) residential apartments and, with retail/office on the first floor with drainage, grading, parking and other associated infrastructure. There is an existing single-family residential house which will be demolished.
3. Two Special Permits have been filed
  - Zoning By-Law §185 Attachment 9: Maximum Height of Building: (Note 9) – requires applicant to file a Special Permit for Stories and/or feet of the structure. The Applicant is proposing a four story, 49.5 foot building.
  - Zoning By-Law §185 Attachment 7: Multifamily authorized under Special Permit Planning Board for Commercial I zoning District.
5. The applicant has requested the following waivers:
  1. To allow less than 42" of cover over the RCP drain pipe
  2. To allow the use of HPDE pipe from catch basin 92 to the pond, from the pond to drain manhole 93, from the trench drain to drain manhole 91 and the roof leader collection system to the pond.

**Comments from the February 10, 2020 meeting:**

1. The Board expressed concerns about Fire access. *Deputy Fire Chief has submitted a letter and is satisfied with the fire access. See attached letter*
2. The Board expressed concerns about the height of the building. *The Applicant has provided color renderings showing the building height to be the same as the adjacent buildings previously approved by the Planning Board.*
3. The lot itself will need to be combined with 70 & 72 East Central Street to be a conforming lot. *The Applicant has revised the application as a modification to include 70, 72 & 94 East Central St.*
4. There was a question about the Certificate of Ownership. *DPCD can confirm a notarized copy of the Certificate of Ownership is on file. Due the office being closed, it is not included in this packet.*

DPCD has no further comments.

Special Permit findings are included in the Application and on record.

**Special Permit VOTE:**

This determination shall be in addition to the following specific findings:

*If you vote NO on any of the following, please state reason why you are voting NO:*

**(1) Special Permits:**

- a. To allow the Building height of 49.5 feet and/or 4 stories in the Downtown Commercial (DC) Zoning District as shown on the Plan.**
- b. Allow Multifamily in Commercial I Zoning District**

**ROLE CALL VOTE:**

(a) Proposed project addresses or is consistent with neighborhood or Town need.

Joseph Halligan, Jr.	YES	NO	Gregory Rondeau	YES	NO
William David	YES	NO	Rick Power	YES	NO

(b) Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.

Joseph Halligan, Jr.	YES	NO	Gregory Rondeau	YES	NO
William David	YES	NO	Rick Power	YES	NO

(c) Public roadways, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.

Joseph Halligan, Jr.	YES	NO	Gregory Rondeau	YES	NO
William David	YES	NO	Rick Power	YES	NO

(d) Neighborhood character and social structure will not be negatively impacted.

Joseph Halligan, Jr.	YES	NO	Gregory Rondeau	YES	NO
William David	YES	NO	Rick Power	YES	NO

(e) Project will not destroy or cause substantial damage to any environmentally-significant natural resource, habitat, or feature or, if it will, proposed mitigation, remediation, replication or compensatory measures are adequate.

Joseph Halligan, Jr.	YES	NO	Gregory Rondeau	YES	NO
William David	YES	NO	Rick Power	YES	NO

(f) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.

Joseph Halligan, Jr.	YES	NO	Gregory Rondeau	YES	NO
William David	YES	NO	Rick Power	YES	NO

(g) Water consumption and sewer use, taking into consideration current and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.

Joseph Halligan, Jr.	YES	NO	Gregory Rondeau	YES	NO
William David	YES	NO	Rick Power	YES	NO

**B. VOTE:**

**READ the Following to the Audience ROLE CALL VOTE:**

The proposed use will not have adverse effects which overbalance its beneficial effects on either the neighborhood or the Town, in view of the particular characteristics of the site and of the proposal in relation to that site.

Joseph Halligan, Jr.	YES	NO	Gregory Rondeau	YES	NO
William David	YES	NO	Rick Power	YES	NO

**C. WAIVERS:**

The Planning Board should vote on the following requested waivers:

1. To allow less than 42" of cover over the RCP drain pipe
2. To allow the use of HPDE pipe from catch basin 92 to the pond, from the pond to drain manhole 93, from the trench drain to drain manhole 91 and the roof leader collection system to the pond.

**D. SPECIAL CONDITIONS:**

The Planning Board should determine if the following Special Conditions will be added to the Certificate of Vote:

1. Applicant must file a Limited Site Plan for each tenant use in the commercial space.
2. Applicant must file an 81-P ANR to combine lots 70, 72 & 94 East Central Street prior to the start of construction.

**Suggested Standard Conditions of Approval:**

1. This Special Permit shall not be construed to run with the land and shall run with the Site Plan as endorsed by the Planning Board. A new Special Permit shall be required from the Planning Board if any major change of use or major change to the site plan is proposed.
2. This Special Permit shall lapse if a substantial use or construction has not begun, except for good cause, within twenty four (24) months of approval, unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the Special Permit have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #4.
3. Construction or operations under this Special Permit shall conform to any subsequent amendment of the Town of Franklin Zoning Bylaw (§185) unless the use or construction is commenced within a period of six (6) months after the issuance of this Special Permit and, in cases involving construction, unless such construction is continued through to completion as continuously and expeditiously as is reasonable.

4. The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
5. Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form H). Said inspection is further outlined in condition #4.
6. No alteration of the Special Permit and the plans associated with it shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.
7. All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
8. Prior to the endorsement of the site plan, the following shall be done:
  - The owner/applicant shall make a notation on the site plan that references the Special Permit and the conditions and dates of this Certificate of Vote.
  - A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
  - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.
  - The owner/applicant shall submit a minimum of six copies of the approved version of the plan.
9. Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.
10. The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.



Amy Love <alove@franklinma.gov>

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**Re: 94 East Central St**

1 message

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**Joseph Barbieri** <jbarbieri@franklinma.gov>  
To: Amy Love <alove@franklinma.gov>

Mon, Apr 27, 2020 at 9:12 AM

Hi Amy,

The letter is attached for [94 East Central St.](#). The Chief and myself spent some time with Brad Chaffee as well as Rick Goudreau from United Consultants going over these plans. The original proposal had no driveway in the front of the building. We worked with the developer to improve access to the property and the Chief was appreciative of the developer working with us. If anyone has any questions they can reach out to me for some more insight.

Thank you.

Joseph Barbieri, Deputy Fire Chief  
Franklin Fire Department  
[40 West Central St.](#)  
[Franklin, MA 02038](#)  
FD #: (508) 528-2323  
Fax: (508) 520-4912  
Direct Office Line (508) 553-5571

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**94 East Central St.pdf**  
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# FRANKLIN FIRE DEPARTMENT

To : DPCD

FROM : J. S. BARBIERI, DEPUTY FIRE CHIEF

DATE : 22 JANUARY 2020

RE : SPECIAL PERMIT & SITE PLAN – 94 EAST CENTRAL ST.

Thank you for the opportunity to review the above referenced plan.

We have met with the applicant on a number of occasions to make sure the Fire Department has adequate access to the proposed building. They have met our requirements and have provided sufficient access.

Please contact me should you have any question or require any additional information.

cc: file



# United Consultants, Inc.

850 Franklin Street Suite 11D  
Wrentham, MA 02093  
508-384-6560 FAX 508-384-6566

April 23, 2020

Mr. Anthony Padula, Chairman  
Franklin Planning Board  
355 East Central Street  
Franklin, MA 02038

**Re: 70, 72, 88 and 94 East Central Street  
Site Plan and Special Permit Application Peer Review**

Mr. Chairman and Board Members,

On behalf of the applicant 70 East Central Street, LLC we have provided responses to the following comments from the BETA Group, Inc. dated March 27, 2020. The below responses address the items that require additional information and comments that have been addressed or closed out have been included for the administrative record. These addressed or closed out comments have not received any additional responses. BETA Group, Inc. second responses are provided in bold text and the second UCI responses immediately following the comment and have been italicized and underlined. (See comments DR4, Z1, SCH1, SCH2, SCH3, P1, P5, P8, U2, SW7 and SW9a

## **BETA Group, Inc.**

### **General Comments**

- DR1. The existing easement to pass and repass (Book 573, Page 491) appears inadequate to provide vehicular access to the #88 East Central Street parcel due to the limits of existing pavement. Recommend revising the easement to coincide with the new driveway layout and installing curbing on the westerly side of the driveway. *UCI: The owners of 88 East Central Street have a deeded easement as referenced above. They currently utilize the existing driveway located on 94 East Central Street. The applicant will be revising the driveway and access to the properties which will continue to be utilized by the 94 East Central Street properties. Curbing has been proposed.* **BETA2: Curbing provided at the existing limits of pavement, which will allow continued access as it currently exists. Reconfiguration of the existing easement is considered a private property matter – no further comment.**
- DR2. With the understanding that the lots associated with #94 East Central Street and #70/#72 East Central Street are to be combined, rights of passage and an easement to access the proposed dumpster are not required. If the lots are not combined, easements would be required. *UCI: The applicant agrees that the lots will be combine.* **BETA2: Information provided – issue dismissed.**
- DR3. Clarify the disposition of existing site features, including but not limited to, trees, stone retaining walls, utility pole 10-2, and stockade fence. *UCI: The disposition of the stone retaining wall, existing utility services and pole 10-2 have been added to sheet 4. The existing fence along the 94 – 100 East Central Street property boundary is proposed to remain. The disposition of the existing site trees has been added to sheet 5.* **BETA2: Information provided – issue resolved.**

DR4. Evaluate if the proposed development will result in an adverse shading impact to the #88 East Central Street residence. *UCI: The applicant will address this comment separately. BETA2: Information not provided – issue remains outstanding. The applicant’s architect will address the shading issue with the Planning Board.*

## **Zoning**

The site is located within the Commercial I (CI) District. The proposed use of the Site is multi-family residential (13 units) and commercial (1 unit). Multi-family use is permitted by Special Permit from the Planning Board, provided that no more than 1 unit per 1,000 sq. ft. of lot area is proposed. Based upon the proposed number of units and area of the lot, this threshold is not exceeded. Some commercial uses are permitted by right within the district, while others require Special Permits or are prohibited. No information has been provided for the specific use of the commercial space.

Z1. Clarify the intended use of the commercial space, if known. *UCI: The commercial space use is not known. The applicant will address this issue with the Planning Board. BETA2: Information provided. BETA notes that depending on the proposed commercial use, a Special Permit may be required.*

*The applicant acknowledges that based on the future proposed use a special permit may be needed.*

## **Schedule of Lot, Area, Frontage, Yard and Height Requirements (§185 Attachment 9)**

The Zoning Legend notes that the parcels associated with #94 and #70/#72 East Central Street are to be combined. Based upon the information provided on the Zoning Legend the Site’s proposed lot and building will comply with minimum lot area, depth, width, front, side, and rear yard dimensions, and maximum impervious coverage for structures and structures plus paving. The project will not comply with the maximum stories (3 permitted, 4 proposed) and maximum height (40 feet permitted, 49.5 feet proposed) permitted by right. Within the Commercial I District, buildings up to 50 feet in height, regardless of stories, are permitted by a Special Permit from the Planning Board. BETA notes the aforementioned parcels must be combined to comply the requirements for continuous frontage, as the parcel associated with #94 East Central Street does not meet subsections A.(1)(a) and (2) of Section §185-10 Nonconforming Lots.

SCH1. Clarify the existing lot lines and lot areas for the parcels associated with #94 and #88 East Central Street, which differ from available online records. *UCI: Refer to deed 36860 page 516 for property description. BETA2: Information provided. BETA defers to the real estate attorneys for final verification. The applicant anticipates input from the Planning Board on this comment.*

SCH2. The parcels associated with #94 and #70/#72 East Central Street will need to be formerly combined (e.g ANR, etc.). Recommend providing a draft ANR plan as part of the proposed development package. *UCI: The applicant agrees that the lots will be combine and a draft ANR plan will be provided. BETA2: BETA defers to the preference of the Board to include the submission of a draft ANR as a condition of approval. The applicant anticipates input from the Planning Board on this comment.*

SCH3. Provide BETA with a copy of architectural plans referenced the civil plan set. *UCI: The applicant will provide the architectural plan separately. BETA2: Plans not provided – issue remains outstanding. The applicant’s architect has prepared revised plans. The revised architectural document are being provided with this response letter.*

SCH4. Recommend removing the redundant Zoning Legend on Sheet 3. *UCI: Zoning legend has been removed. BETA2: Plan revised – issue resolved.*

## **Parking, Loading and Driveway Requirements (§185-21)**

Access to the Site will be provided through a 24’ (minimum) wide paved driveway from a revised curb cut along East Central Street, which will continue across the rear of #88 East Central Street, partially within a proposed easement, and will connect to the rear of the existing parking area associated with the #70/#72 East

Central Street property. Eight surface spaces are proposed along the eastern side of the reconstructed driveway and plans note that an additional 20 spaces will be provided in a garage within the footprint of the proposed building. Proposed surface parking spaces are 9' wide by 19' long. One surface parking space has been designed as accessible, with associated signing and striping, and is also van accessible.

Section §185-21.B.(2) describes the number of parking spaces required for uses in the Commercial I District. For residential buildings 1.5 spaces must be provided per each dwelling unit and 1 space must be provided for every 500 sq. ft. of commercial space. As 13 dwelling units and 640 sq. ft. of commercial space are proposed, a minimum of 21 parking spaces are required.

The project generally complies with Section §185-21.C.(5), providing three trees for the proposed 28 total spaces. Revising the location of the trees to be within five feet of the parking area is impracticable due to site/utility constraints.

- P1. Provide the proposed layout for the 20 garage spaces. *UCI: The applicant will provide the requested parking space layout within the building separately.* **BETA2: Layout provided.** **BETA notes that at least four of the proposed garage spaces do not meet the width required by the Bylaw. Also, access to the proposed accessible space and two spaces near the garage entrances will be restricted by the structural columns. Provide turning movements showing that spaces can be adequately accessed and eliminate any spaces that cannot.** The parking calculations on Sheet 3 outline the parking demand for the site which is 21 spaces. Eight spaces have been provided on the exterior of the building. A re-configuration of the interior parking spaces as suggested above would allow for the required additional 13 spaces. The four 8'-6" spaces located to the left of the garage entrance could be revised into 3 nine foot spaces with a 7 foot space adjacent to the door. The two spaces located to the rear of the garage could be revised into one handicap space and an off loading area. The existing handicap space could be changed to a conventional space with the excess area be used to assist with turning movements. This will result in two to three spaces being eliminated which will still provide excess parking when comparing to the requirements. The applicant will finalize a building design which will provide column locations as well as wall locations so the final layout with dimensions and turning movements would be preliminary and subject to changes based on architectural and structural final design.
- P2. Revise the proposed easement across the #88 East Central Street property to maintain at least 24 feet continuously from the proposed southerly/easterly curb line. *UCI: The proposed easement has been revised on sheet 3.* **BETA2: Easement revised – issue resolved.**
- P3. Confirm an additional accessible parking space will be provided within the garage or provide an additional accessible parking space on the surface. The common use parking areas require two accessible spaces (521 CMR 10.1 and 23.2.1) one of which that must also be van accessible. Also, clarify if any of the dwelling units will be accessible. Per 521 CMR 10.3, parking spaces for dwelling unit occupants must be capable of complying with 521 CMR 23.2 through 521 CMR 23.8. Demonstrate that additional accessible spaces can be provided for occupants, if necessary. *UCI: Refer to building parking layout in the Architectural plan set.* **BETA2: Additional accessible parking space provided. Refer to Comment P1.**
- P4. Confirm the number of parking spaces at the existing adjacent parcel to the east. If found to serve 20 or more spaces, a Special Permit is required in accordance with Section §185-21.C.(7)(b). *UCI: The adjacent property to the east (100 East Central Street) has 14 marked parking spaces.* **BETA2: Information provided – issue resolved.**
- P5. The development proposes 8 outdoor parking spaces; however, if the #94 East Central Street and #70/#72 East Central Street lots are combined as anticipated, the total number of outdoor parking spaces will be greater than 10 and will be subject to the Screening requirements of §185-35.B. BETA also notes the existing stockade fence along the easterly property line appears to belong to the

adjacent property and is not of sufficient height to block headlight glare. *UCI: Section 185-35.B provides screening requirement to include fences 12" or greater in height. The existing fence is to remain. BETA2: Site plan and Special Permit approval criteria include language indicating that abutting properties shall not be subjected to adverse impacts from excessive light or glare. BETA defers to the Board to determine if the existing 4-foot fence on the easterly property line and proposed plantings (arborvitae spaced approx. 10 on center) along the southerly property line are sufficient to mitigate headlight glare. Recommend providing sections for screening as requested by the Board at the initial public hearing. A Parking Section Illustration Plan was prepared to depict the two areas suggested for sections of the parking area and fence and access driveway and plantings. Section 1 and Section 2 are provided on the plan.*

- P6. Note that handrails will be required along the accessible ramps. *UCI: A note has been added to the Accessible route detail on sheet 9. BETA2: Note provided – issue resolved.*
- P7. Confirm the proposed grade at the westerly door, shown as 226.0 on the accessible route detail. *UCI: The spot grade has been revised. BETA2: Grade revised – issue resolved.*
- P8. Provide sight distance (required and provided) on plans §185-21.C.(7)(c). Based upon the initial site visit, BETA anticipates the existing retaining wall and vegetation on the #88 East Central Street property will significantly restrict sight distance to the west. *UCI: Sight distances have been added to sheet 4. BETA2: Confirm sight distance to the east is correctly noted at 30 feet. Also, recommend indicating the design speed the sight distance is adequate for as the 25 MPH posted speed is likely less than the 85<sup>th</sup> percentile speed of the roadway. The sight distance to the east was revised to 300 + feet. PER MASS Highway Exhibit 3-8 a stopping sight distance for 200 feet at a level grade has a design speed of 30 MPH.*
- P9. The proposed development will result in the loss of two parking spaces on the adjacent #70/#72 East Central Street property. The designer should confirm the proposed number of spaces will comply with the current Bylaw. *UCI: Refer to parking schedule on sheet 3. BETA2: Information provided – issue resolved.*

### **Sidewalks (§185-28)**

The project is located within the Commercial I Zoning District and is required to provide concrete sidewalks along the street frontage unless the Board determines that site conditions preclude their usefulness. An existing sidewalk is located along the street frontage and is proposed to remain, except to accommodate the reconstructed driveway.

- SI1. New sidewalks are located from the downtown area to approximately halfway (UP 9) through the #88 East Central Street property. Recommend reconstructing the existing sidewalk from the limits of new sidewalk through the #94 East Central property line (~100 feet total). *UCI: Refer to Town Engineer comment 5 as well as UCI's response. BETA2: BETA defers to the DPW on this issue – no further comment.*

### **Curbing (§185-29)**

Vertical granite curbing is proposed throughout the project, except for the westerly side of the proposed driveway.

- C1. Refer to Comment G1 regarding the existing easement and limits of curbing. *UCI: Refer to response to comment G1. BETA2: No further comment.*

### **Site Plan Review (§185-31)**

The proposed development is subject to Site Plan Review and must comply with the requirements of this section.

- S1. Provide general sound information for proposed HVAC equipment (§185-31.C.(3)(r)). *UCI: The applicant is proposing to utilize residential type HVAC equipment that is similar to the 70 and 72 East Central Street buildings.* **BETA2: Information provided. BETA does not anticipate adverse sound impacts to abutters – issue dismissed.**
- S2. Provide sight line information at the proposed driveway (§185-31.C.(3)(t)). *UCI: Sight distances have been added to sheet 4.* **BETA2: Refer to comment P8.**

## Utilities

The proposed development is shown to be serviced by water, sewer, gas and electric utilities. Detailed review of utilities is anticipated to be provided by the DPW.

- U1. Clarify the sewer and roof leader connections at the front of the building. Currently, it appears the roof drain may tie into the sewer line. *UCI: The building sewer connection has been revised.* **BETA2: Plan revised – issue resolved.**
- U2. Revise Utility Note 1 to be consistent with Existing Utility Note 1, as necessary. Recommend having a single compilation of utility notes. *UCI: Note has been revised. Existing utility notes were added to utility note section.* **BETA2: Revise Note 7 to indicate the existing water service will be cut and capped at the main per DPW requirements. Note 7 has been revised on Sheet 4 of 9.**
- U3. Clarify if the existing overhead electric line servicing #88 East Central Street is to remain and if there is an easement in place for crossing the subject property. *UCI: The utility line is to remain. There is not an easement referenced in the property deed.* **BETA2: Information provided. BETA notes this is a private property matter – issue resolved.**
- U4. In contrast to Utility Note 5, confirm that a gas trap and floor drains are required for the 20-space parking garage in accordance with 248 CMR 10.09(1)(b). Clarify how the proposed MDC MH will be vented in accordance with the provided detail. *UCI: Refer to 248 CMR 10.09((1).(b)1.i Parking and Storage areas. MDC trap venting will be located at the building and will be designed by the plumbing engineer.* **BETA2: Information provided and note removed – issue resolved.**
- U5. Revise the lighting plan to eliminate the depiction of the infiltration system, which currently obscures illuminance information. BETA notes the proposed lighting, consisting of 4 pole-mounted luminaires (15' height), and five luminaires mounted to the building generally comply with the recommended Illuminance levels of the Illuminating Engineering Society. *UCI: The lighting plan has been revised.* **BETA2: Plan revised – issue resolved.**

## Stormwater Management

The project proposes to direct runoff from impervious areas into a closed drainage system comprised of roof leaders, a trench drain, and stormwater quality units (Stormceptor 450i). The majority of runoff from impervious surfaces will be directed to a new subsurface infiltration system. Overflows from the proposed stormwater system will be directed to East Central Street through a direct connection to the Town drainage system.

### General

- SW1. Stormwater from a significant portion of the driveway and parking area will be directed to the proposed trench drain, which is more susceptible to clogging than a catch basin. Recommend minimizing the impervious area directed to the trench drain and to consider supplementing or replacing it with an additional catch basin(s). *UCI: The trench drain has been replaced with two catch basins.* **BETA2: Deep sump catch basins provided in place of trench drain – issue resolved.**



- SW2. Revise the rim and outlet elevation of CB 92, which are inconsistent with the proposed grading and depth of infiltration basin. *UCI: The rim and invert elevation have been revised. BETA2: Elevations revised – issue resolved.*
- SW3. Depict location of ponds and catchment structures associated with #70/#72 East Central Street on the post-development watershed plan. *UCI: The catchment structures and ponds have been provided on the post development watershed sheet. BETA2: Plans revised – issue resolved.*

### **Massachusetts Stormwater Management Standards:**

The project is not located in proximity to wetland resources and will not disturb greater than one acre; however, under Section §185-31C.(3)(m), the Board may require the project to comply with all federal and state requirements, including the Massachusetts Stormwater Management Standards, Town of Franklin's Subdivision of Land Stormwater Management Regulations, §300-11 as applicable, Chapter 153, Stormwater Management, of Franklin's Town Code, and the Town of Franklin Best Development Practices Guidebook.

**No untreated stormwater (Standard Number 1):** *No new stormwater conveyances (e.g., outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.*

The project does not propose any new untreated stormwater discharges to wetlands – **complies with standard.**

**Post-development peak discharge rates (Standard Number 2):** *Stormwater management systems must be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates.*

The project proposes an increase in impervious area and will use a subsurface infiltration system to mitigate increases in post-development peak discharge rates and total runoff volumes.

- SW4. Based upon the site visit, the pervious ground cover within the site is primarily grass, as indicated in the HydroCAD analysis; however, there is an area of brush/mature trees located to the rear of #88 East Central Street, which should be accounted for in the analysis. *UCI: The pre-development and post-development drainage analysis has been revised to include the woods area. BETA2: HydroCAD revised – issue resolved.*
- SW5. Clarify how sheet flow lengths were determined in time of concentration calculations. Typically, a length of 50 feet is utilized. *UCI: Sheet flow lengths for some drainage areas were as shown on the previously approved 70 and 72 Site Plan. The sheet flow lengths for the 94 East Central Street property were prepared using the same methodology which was to start the shallow concentrated flow at the locations where the flows to collect. Sheet flow lengths typically do not exceed 50 feet. BETA2: Information provided – issue dismissed.*
- SW6. Revise exfiltration elevation of subsurface infiltration systems within HydroCAD models to be the bottom of each basin. *UCI: The elevation of the infiltration systems was added. The Hydrocad program would not allow exfiltration to occur when the pond bottom elevation was set at the exfiltration invert. To allow for the exfiltration to be recognized the exfiltration elevation was set at elevations slightly below the actual pond bottoms. BETA2: HydroCAD revised – issue resolved.*
- SW7. Although minor in area, a comparison between subwatershed 5S (predevelopment) and 8S (post-development) should be provided for runoff rates and volumes. *UCI: The comparison has been added to Appendix B. BETA2: Information not provided – issue remains outstanding. The information has been added to Appendix B*
- SW8. Revise Pond 3 to reflect original design details. Currently, it appears to be a copy of Pond 1. *UCI: Pond 3 label was revised. The data was reflective of pond 3. BETA2: Information provided – issue resolved.*
- SW9a. Clarify revisions to subwatersheds 91S and 93S. There is a loss in overall and impervious area from the previous HydroCAD model.

January 2020 report listed Sub-catchments 91, 93 and 96 which were revised when the stormwater collection system at the driveway entrance was changed from a trench drain to catch basins 91 and catch basin 97. Catch basin 97 was created with areas from the original Sub-catchments 91S and 93S. The areas were also revised due to the crowning of the driveway to accommodate the catch basins with some bypass that was originally proposed to be captured in the trench drain.

**Recharge to groundwater (Standard Number 3):** *Loss of annual recharge to groundwater should be minimized through the use of infiltration measures to maximum extent practicable.*

NRCS soil maps indicate the presence of Hollis-Rock outcrop-Charlton complex with a Hydrologic Soil Group (HSG) rating of D (very low infiltration potential) or Urban Land with no listed HSG rating. Test pit logs indicate the presence of sandy loam in the vicinity of the proposed subsurface infiltration system and saturated hydraulic conductivity testing at these locates indicates exfiltration rates between 0.648 in/hr and 0.786 in/hr. The proponent proposes a subsurface infiltration system to provide groundwater recharge and has used an exfiltration rate of 0.324 in/hr (50% of the lowest measured value). The infiltration system has been designed to provide a recharge volume in excess of that required and will drain within 72 hrs.

SW9. Clarify if TP-4 (90") or TP-5 (102") were terminated due to the presence of ledge. Due to the presence of ledge outcroppings on the adjacent #88 East Central Street property, and assumed encounters in Test Pits 1-3, additional soil investigations should be conducted on the westerly side of the proposed infiltration basin. *UCI: Test pit 6 information was added and a note indicating the test pits were excavated to refusal were added to sheet 4. BETA2: Information provided indicating a minimum of 4 feet of separation from proposed infiltration system to ledge – issue resolved. BETA notes that an agent of the Town will confirm the subsurface soil conditions during construction.*

SW10. Revise notes on Drainage Infiltration Area detail to reference dimensions and quantities associated with Pond 94. *UCI: The notes for the drainage Infiltration Area have been revised on sheet 8. BETA2: Note revised – issue resolved.*

SW11. Provide a detail or relevant notes on the plan to identify the invert elevations of the infiltration basin outlet manifold. *UCI: The outlet pipes were added to the drainage infiltration area detail on sheet 8. BETA2: Detail revised – issue resolved.*

**80% TSS Removal (Standard Number 4):** *For new development, stormwater management systems must be designed to remove 80% of the annual load of Total Suspended Solids.*

The project proposes to direct runoff from roofs and a portion of the parking area to a new subsurface infiltration system. Pretreatment for pavement area is proposed in the form of a proprietary stormwater quality unit (Stormceptor 450i). The remainder of the parking/driveway areas are either directed to a trench drain and Stormceptor unit or to the existing stormwater system at the #70/#72 East Central Street site. A long-term pollution prevention plan was included as part of the Drainage Analysis.

SW12. A portion of the parking area is treated solely by the Stormceptor 450i (DMH 91). Previous documented removal rates through the MassSTEP program and NJCAT indicate removal rates of approximately 60% (SSC) and 75% TSS, respectively; therefore, this treatment train is not anticipated to meet the 80% TSS removal requirement. In conjunction with Comment SW1, consider providing a deep sump catch basin(s) in place of the trench drain to increase TSS removal to minimum requirements. Also, although the project is being designed as new development, the reconstruction of the existing impervious driveway can be considered a redevelopment. If the designer can reduce the impervious area directed to DMH 92 to be equal to or below the area of the existing driveway, this will be considered an improvement to the existing conditions for the purposes of redevelopment and no additional TSS removal is required. *UCI: The trench drain has been removed. See revised TSS Removal calculations. BETA2: Deep sump catch basins provided – issue resolved.*

**Higher Potential Pollutant Loads (Standard Number 5):** *Stormwater discharges from Land Uses with Higher Potential Pollutant Loads require the use of specific stormwater management BMPs.*

The project does not propose any Land Uses with Higher Potential Pollutant Loads – **not applicable.**

**Critical Areas (Standard Number 6):** *Stormwater discharges to critical areas must utilize certain stormwater management BMPs approved for critical areas.*

The project does not propose any discharges to a critical area – **not applicable.**

**Redevelopment (Standard Number 7):** *Redevelopment of previously developed sites must meet the Stormwater Management Standards to the maximum extent practicable.*

The project is being designed as a new development – **not applicable.**

**Construction Period Erosion and Sediment Controls (Standard Number 8):** *Erosion and sediment controls must be implemented to prevent impacts during construction or land disturbance activities.*

The project as currently depicted will not disturb in excess of one acre of land; therefore, a Notice of Intent with EPA and a Stormwater Pollution Prevention Plan (SWPPP) are not required. The project proposes the use of erosion control barrier (compost sock) and a stabilized construction entrance. An Erosion Control Plan with notes, construction sequence, and details are included in the Plan Set.

SW14. If permitted by the Town of Franklin, provide catch basin inlet protection for the catch basin located immediately east of the site on East Central Street. *UCI: The applicant will provide inlet protection as necessary and as directed by the Department of Public Works at the time of obtaining a public way access permit.* **BETA2: BETA defers to the preference of the DPW on this issue.**

SW15. Provide erosion and sedimentation controls near the westerly property line and/or at the #70/#72 East Central Street property. *UCI: Additional erosion control barriers have been added to sheet 6.* **BETA2: Additional controls provided – issue resolved.**

SW16. Revise construction period stabilized construction entrance to a minimum width of 20 feet. *UCI: The stabilized construction entrance has been revised.* **BETA2: Width revised – issue resolved.**

**Operations/maintenance plan (Standard Number 9):** *A Long-Term Operation and Maintenance Plan shall be developed and implemented to ensure that stormwater management systems function as designed.*

A Long-Term Operation and Maintenance (O&M) Plan has been provided as part of the Erosion Control Plan and within the Drainage Analysis.

SW17. Revise the O&M log to indicate that parking lot sweeping is required twice per year. *UCI: The O&M Log has been revised.* **BETA2: O&M revised – issue resolved.**

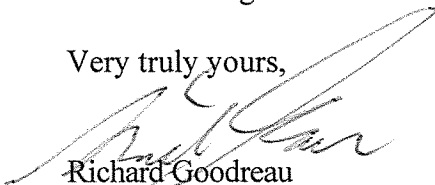
**Illicit Discharges (Standard Number 10):** *All illicit discharges to the stormwater management systems are prohibited.*

An Illicit Discharge Compliance Statement was included in the Drainage Analysis.

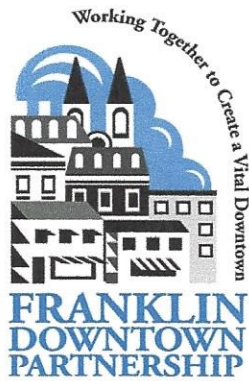
SW18. Provide a signature on the Illicit Discharge Compliance Statement. *UCI: A signed illicit discharge statement has been included. To Appendix K.* **BETA2: Signature provided – issue resolved.**

We are looking forward to meeting with the Planning Board to discuss this project further.

Very truly yours,



Richard Goodreau  
Project Manager



March 12, 2020

Franklin Planning Board  
355 East Central Street  
Franklin, MA 02038

Re: Housing in downtown Franklin

Dear Members of the Planning Board,

The Franklin Downtown Partnership is honored to recognize the work of its members who are building housing in Franklin's downtown residential neighborhoods. We have a number of members who are involved in real estate and marketing, financing, landscaping, residential furnishings and decor, and development and construction.

These businesses and others are helping Franklin to realize some of its housing goals from the 2013 Master Plan including:

- Goal 1: Provide the appropriate mix of housing alternatives that meets the needs of Franklin based employment.
- Goal 5: Encourage future housing developments to take advantage of public transportation resources, including the MBTA commuter rail, and GATRA bus service.

These goals are further enhanced through two objectives:

- Objective 5.1: Promote mixed-use, Transit-Oriented Development in appropriate areas.
- Objective 5.2: Encourage development of housing near public transportation, including the MBTA stations in Downtown Franklin and the Forge Park Station.

One example of new residential construction in downtown Franklin is The Residences Downtown, a luxury condominium development. This condo project was developed and constructed by Brad Chaffee, CEO, Camford Property Group Inc.

This property and others are contributing to the vitality of Franklin's downtown. People living downtown shop in its stores and dine in its restaurants. They provide a sense of robust energy after the end of the traditional business day. They extend the life of the downtown neighborhood.

We look forward to seeing more residential construction advancing economic development in Downtown Franklin.

Sincerely,

Lisa Piana, Executive Director  
Franklin Downtown Partnership Board of Directors