

## Town of Franklin



### Planning Board

Due to the growing concerns regarding the COVID-19 virus, we will be conducting a remote/virtual Planning Board Meeting. In an effort to ensure citizen engagement and comply with open meeting law regulations, citizens will be able to dial into the meeting using the provided phone number (Cell phone or Landline Required) OR citizens can participate by copying the link (Phone, Computer, or Tablet required).

Please click on the link <https://us02web.zoom.us/j/87927277562> or call on your phone at 312-626-6799, meeting # 87927277562.

**May 4, 2020**

- |                |   |   |
|----------------|---|---|
| <b>7:00 PM</b> | <b>Commencement/General Business</b>  |   |
| <b>7:05 PM</b> | <b><u>PUBLIC HEARING</u> – Continued</b><br><b>300 East Central Street</b><br>Site Plan - Change in Use<br><b>Continue to May 11</b>            | <i>Adv.: Sept. 23 2019 &amp; Sept. 30, 2019</i><br><i>Abut.: Sept. 19, 2019</i> |
| <b>7:05 PM</b> | <b><u>PUBLIC HEARING</u> – Continued</b><br><b>12 Forge Parkway</b><br>Site Plan Modification   | <i>Adv.: March 23 &amp; March 30, 2019</i><br><i>Abut.: March 23, 2020</i>      |
| <b>7:05 PM</b> | <b><u>PUBLIC HEARING</u> –Continued</b><br><b>158 Grove Street</b><br>Special Permit & Site Plan Modification                                   | <i>Adv.: March 23 &amp; March 30, 2019</i><br><i>Abut.: March 23, 2020</i>      |
| <b>7:05 PM</b> | <b><u>PUBLIC HEARING</u> –Continued</b><br><b>Panther Way</b><br>Special Permit & Site Plan<br><b>Continue to May 18</b>                        | <i>Adv.: March 23 &amp; March 30, 2019</i><br><i>Abut.: March 23, 2020</i>      |
| <b>7:10 PM</b> | <b><u>PUBLIC HEARING</u> – Continued</b><br><b>94 East Central St – Multi-Family</b><br>Special Permit & Site Plan<br><b>Continue to May 11</b> | <i>Adv.: Jan 27 &amp; Feb 3, 2020</i><br><i>Abuts: Jan. 22, 2020</i>            |
| <b>7:10 PM</b> | <b><u>PUBLIC HEARING</u> – Continued</b><br><b>176-210 Grove Street</b><br>Site Plan  | <i>Adv.: March 9 &amp; March 16, 2020</i><br><i>Abuts: March 9, 2020</i>        |



Tel: (508) 520-4907

Fax: (508) 520 4906

**7:10 PM**      **PUBLIC HEARING** – *Continued*  
**160 Grove St**  
Special Permit & Site Plan  
**Continue to May 18**

*Adv.: Dec. 2 & Dec. 9, 2019*

*Abuts: Nov. 26, 2019*

**GENERAL BUSINESS:**

**A. Lot Release & Bond:** Mine Brook Estates

**This agenda is subject to change. Last updated: April 29, 2020**

The next meeting of the Planning Board is scheduled for May 11, 2020.





## **FRANKLIN PLANNING & COMMUNITY DEVELOPMENT**

355 EAST CENTRAL STREET  
FRANKLIN, MA 02038-1352  
TELEPHONE: 508-520-4907  
FAX: 508-520-4906

### **MEMORANDUM**

**DATE:** April 29, 2020  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** Bond – Tripartite Agreement  
Covenant Release - Form G  
Mine Brook Estates

- 
1. The Planning Board approved on October 7, 2019 a Definitive Subdivision Modification plan entitled "Mine Brook Estates – Margaret's Cove".
  2. A Public Right away Covenant was recorded at the Registry of Deeds on December 2, 2019, as required per Condition #6 in the Certificate of Vote.
  3. The applicant has submitted a Form G Covenant release requesting 6 lots and the drainage lot of the Definitive Subdivision plan be released.
  4. Matt Crowley, BETA Group, has performed an on-site inspection and has estimated the cost for completion is \$267,887.
  5. The applicant is proposing a Surety Bond which needs to be accepted by the Treasurer.

#### **Summary**

- Planning Board will need to vote to accept the Bond amount of \$267,887 and release 6 lots.
- Signatures will not be obtained until the State of Emergency is lifted.



FORM H - Partial  
CERTIFICATE OF PARTIAL RELEASE

WHEREAS, on May 4, 2020, the Town of Franklin, a Massachusetts municipal corporation, acting through its Planning Board, with an address of Municipal Building, 355 E. Central Street, Franklin, Massachusetts 02038 [hereinafter "board"] received a request for a Certificate of Partial Release concerning the construction of ways and installation of municipal services in a subdivision owned by WHITMAN HOMES, INC. with an address of 1200 TURNPIKE ST. CANTON, MA 02021, [hereinafter "owner"];

WHEREAS, on OCTOBER 7, 2019, based on the owner's application dated JUNE 21 2019, and after duly noticed public hearing(s), the board approved a definitive subdivision plan showing SIX (6) lots, which is entitled: DEFINITIVE SUBDIVISION MODIFICATION "MINEBROOK ESTATES" by: GUERRIERE AND HALLON, INC. and recorded or registered at the Norfolk County Registry of Deeds as Plan # 1946-222; PLAN BOOK 685 PAGE 4, 12

WHEREAS, the approved definitive subdivision plan shows the division of a parcel of land located at MARGARETS COVE [hereinafter "subdivision"] and further described in a deed or deeds dated DECEMBER 3, 2019 and recorded at the Norfolk Registry of Deeds in Book(s) 37493, Page(s) 424; or is registered in Norfolk County Land Registry as Document No. \_\_\_\_\_, and noted on certificate of title no. \_\_\_\_\_, in Registration Book \_\_\_\_\_, Page \_\_\_\_\_;

NOW THEREFOR, the board has determined that the construction of ways and installation of municipal services have been partially completed to the satisfaction of the board, as set forth in a vote attached hereto; and that:

X the following enumerated lots are hereby released from the covenant dated: DECEMBER 2, 2019: LOTS 73A, 74A, 75A, 76B, 77B, 78A AND PARCELA

\_\_\_\_\_ the performance guarantee, which secures the construction of ways and installation of municipal services, as provided in the \_\_\_\_\_ agreement dated \_\_\_\_\_, may be reduced in the amount of \_\_\_\_\_, and the Treasurer of the town of Franklin is hereby directed to release such sum as provided in the agreement.



Duly executed as a sealed instrument this \_\_\_\_\_ day of \_\_\_\_\_, by a majority of the members of the Planning Board of the Town of Franklin.

PLANNING BOARD OF THE TOWN OF FRANKLIN

\_\_\_\_\_  
Planning Board member

\_\_\_\_\_  
Planning Board member

\_\_\_\_\_  
Planning Board member

\_\_\_\_\_  
Planning Board member

\_\_\_\_\_  
Planning Board member

COMMONWEALTH OF MASSACHUSETTS

\_\_\_\_\_, SS. \_\_\_\_\_, 20\_\_\_\_

On this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_, before me, the undersigned notary public, personally appeared \_\_\_\_\_ (name of document signer), proved to me through satisfactory evidence of identification, which were \_\_\_\_\_ to be the person whose name is signed on the preceding document in my presence.

\_\_\_\_\_  
(Official signature and seal of notary)

Notary Public:

My Commission Expires: \_\_\_\_\_

cc: Town Clerk, Town of Franklin  
Treasurer, Town of Franklin  
Building Department



## Subdivision Work Completion List

(To accompany Form H- Engineer's and Owner's Certificate of Partial Completion)

**Subdivision Name:** Definitive Subdivision Modification - Mine Brook Estates

**Owner Name:** Whitman Homes

**Owner's Engineer:** Strong Point Engineering Solutions, Inc.

**Date of Partial Certificate of Completion:** March 27, 2020

### Outstanding Items:

### Required Date of Completion:

Install Roadway Base and Pavement

Oct. 11, 2023 (All)

Install Curbing

Install Gas Util.

Install E-T-C Util.

Install Street Lights

Install Sidewalks and Ramps (2)

Reset Structure Rims

Finalize Stormwater Basin

Install Northwest Retaining Wall @ Basin

Install Chainlink Fence @ Basin

Install Street/Stop Sign (1)

Install Street Trees (22)

Install Right of Way Monuments (13)

Loam and Seed Right of Way

Final Site Stabilization/Clean up

Approved by: \_\_\_\_\_, Town Engineer Date: \_\_\_\_\_

Signed by: \_\_\_\_\_, Engineer Date: \_\_\_\_\_

Signed by: \_\_\_\_\_, Owner Date: \_\_\_\_\_

\* A Notarized Form H- Engineer's and Owner's Certificate of Partial Completion Part 1 and 2 must accompany this form prior to acceptance by the Planning Board.



FORM G

CERTIFICATE OF RELEASE

The undersigned, being a majority of the Planning Board of the Town of Franklin, hereby certify that the requirements for work called for in the Covenant dated DECEMBER 2, 2019 and recorded with Norfolk County Registry of Deeds in Book 37493, Page 413 (or registered with the Land Registry District of Norfolk County as Document No. \_\_\_\_\_ and noted on Certificate of Title No. \_\_\_\_\_ in Registration Book \_\_\_\_\_ have been completed to the satisfaction of the Planning Board OR a security instrument in the form of a Lender's Agreement (FORM K) SURETY BOND with INTERNATIONAL FIDELITY INSURANCE CO. (name of Lender), a Tripartite Agreement with the Town of Franklin and \_\_\_\_\_ (name of Bank) or a Passbook Agreement with \_\_\_\_\_ (name of Bank), being Account No. \_\_\_\_\_ which is satisfactory to the Planning Board of the Town of Franklin in accordance with M.G.L. Chapter 41, Section 81K et. seq., has been posted as to the following enumerated lots shown on the plan entitled "\*" and recorded with the said Registry of Deeds as Plan No. 1946-222 in Plan Book 688-4-12 (or registered with the Land Registry District of Norfolk County as Land Court Plan No. \_\_\_\_\_ and noted on Certificate of Title No. \_\_\_\_\_ in Registration Book \_\_\_\_\_) and said lots are hereby released from the restrictions as to sale and building specified thereon. The lots designated on said Plan which are hereby released are as follows: 73A, 74A, 75A, 76B, 77B, 78A AND PARCEL A

shown on MARGARET'S COVE (Name of Streets)

Executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by a majority of the Planning Board of the Town of Franklin.

Majority of the Planning Board  
Town of Franklin

\* DEFINITIVE SUBDIVISION MODIFICATION  
"MINE BROOK ESTATES"  
FRANKLIN, MASSACHUSETTS

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

COMMONWEALTH OF MASSACHUSETTS

\_\_\_\_\_, SS. \_\_\_\_\_, 20\_\_\_\_

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned notary public, personally appeared the Franklin Planning Board, proved to me through satisfactory evidence of identification, which were \_\_\_\_\_ to be the person whose name is signed on the preceding document in my presence.

(Official signature and seal of notary)  
Notary Public:  
My Commission Expires: \_\_\_\_\_





# TOWN OF FRANKLIN - SITE OBSERVATION REPORT

## Mine Brook Estates

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Report No.:	<b>4831 19 – 023</b>	Date:	<b>April 24, 2020</b>	Arrive:	<b>11:00 AM</b>
Observer:	<b>Nick O’Connell</b>	Weather:	<b>Cloudy ~50°</b>	Leave:	<b>12:00 PM</b>
Applicant:	<b>Whitman Homes 1200 Turnpike Street Canton, MA 02038</b>	Contractor:	<b>Canesi Bros. Construction 801 Union Street Franklin, MA 02038</b>		

Items Observed: **Conformance Observation – Submitted in conjunction with Applicant’s request for acceptance of Form H – Certificate of Partial Completion**

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### **OBSERVATIONS**

**Observation Requested By:** Rich Whittington – Whitman Homes

**Met/walked site with:** Bill Canesi – Canesi Bros. Construction

**Current Activity on Site:** No current activity

**Observed Construction:** BETA arrived on site to perform a construction observation in conjunction with the Applicant’s request for acceptance of Form H – Certificate of Partial Completion. The required Form H, Subdivision Work Completion List, and interim As-built plan, all dated March 24, 2020, were provided by email.

BETA’s site walk and review of the Approved Plans confirmed the site to be constructed in general conformance with the Approved Plans, based upon construction completed to date. The HMA binder course has been installed on the roadway with a dribble berm along the edges for drainage. The infiltration basin has also been constructed, complete with rip rap and loam and seed. Remaining work items to be completed are as detailed on the attached Cost to Complete Estimate. Erosion control measures were observed to be properly installed and are functional. Installed drainage is also functioning. BETA notes the installed dribble berm will need to be periodically monitored to ensure continued function.



**SITE PHOTOS**



Infiltration Basin with Loam and Seed



Typical Catch Basin with Dribble Berm





Rip Rap at Detention Basin



Typical Section of Paved Roadway with Dribble Berm



Item Description	Unit	QTY	Unit Cost	Item Cost
TOP COURSE PAVEMENT (1.5")	TON	190	\$ 120	\$ 22,803
GRANITE EDGING TYPE SA	FT	1,200	\$ 35	\$ 42,000
INSTALL GAS UTILITIES (EXCAVATION AND BACKFILL)	LS	1	\$ 10,000	\$ 10,000
INSTALL ELECTRIC CONDUIT	FT	650	\$ 35	\$ 22,750
LIGHT STANDARD FOUNDATION SD 3.010	EA	3	\$ 1,200	\$ 3,600
LIGHT POLE	EA	3	\$ 5,000	\$ 15,000
LIGHTING LUMINAIRE	EA	3	\$ 2,000	\$ 6,000
GRAVEL BORROW FOR SIDEWALKS	CY	92	\$ 50	\$ 4,605
CEMENT CONCRETE WHEELCHAIR RAMPS	SY	19	\$ 105	\$ 1,972
HOT MIX ASPHALT WALK SURFACE	TON	90	\$ 240	\$ 21,600
DRAINAGE STRUCTURE ADJUSTED (DMH x 1 + CB x 1)	EA	11	\$ 450	\$ 4,950
SANITARY STRUCTURE ADJUSTED	EA	4	\$ 450	\$ 1,800
60 INCH CHAIN LINK FENCE - VINYL COATED	FT	150	\$ 50	\$ 7,500
STREET NAME SIGN	EA	1	\$ 100	\$ 100
WARNING-REGULATORY AND ROUTE MARKER - ALUMINUM PANEL (TYPE A)	SF	10	\$ 13	\$ 130
MAPLE - RED - 'OCTOBER GLORY' 2-2.5 INCH CALIPER	EA	7	\$ 650	\$ 4,550
MAPLE - SUGAR 2-2.5 INCHES CALIPER	EA	7	\$ 650	\$ 4,550
OAK - WHITE 2.5-3 INCH CALIPER	EA	8	\$ 800	\$ 6,400
CONCRETE BOUNDS	EA	13	\$ 520	\$ 6,760
LOAM BORROW (ROW & DRAIN EASEMENT)	CY	360	\$ 55	\$ 19,800
SEEDING (ROW & DRAIN EASEMENT)	SY	1720	\$ 2	\$ 3,440
AS-BUILT SURVEY	LS	1	\$ 4,000	\$ 4,000

Subtotal \$ 214,310

Contingency (Engineering Services & Bid Documents, etc) 25% \$ 53,577

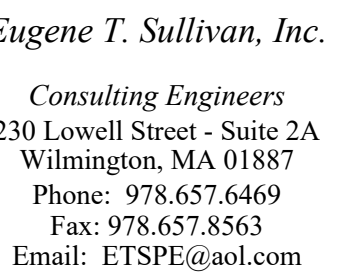
**ORDER OF MAGNITUDE CONSTRUCTION COST \$ 267,887**

Unit Prices based on MassDOT current unit prices

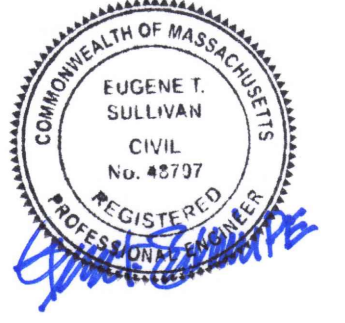








1 STONE RIDGE ROAD  
N/F JUDITH M. HARRIGAN  
PARCEL ID: 276-017



**PREPARED FOR:**

P8/GFI 12 FORGE  
PARK, LLC  
133 PEARL STREET  
BOSTON, MA

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**PROJECT:**

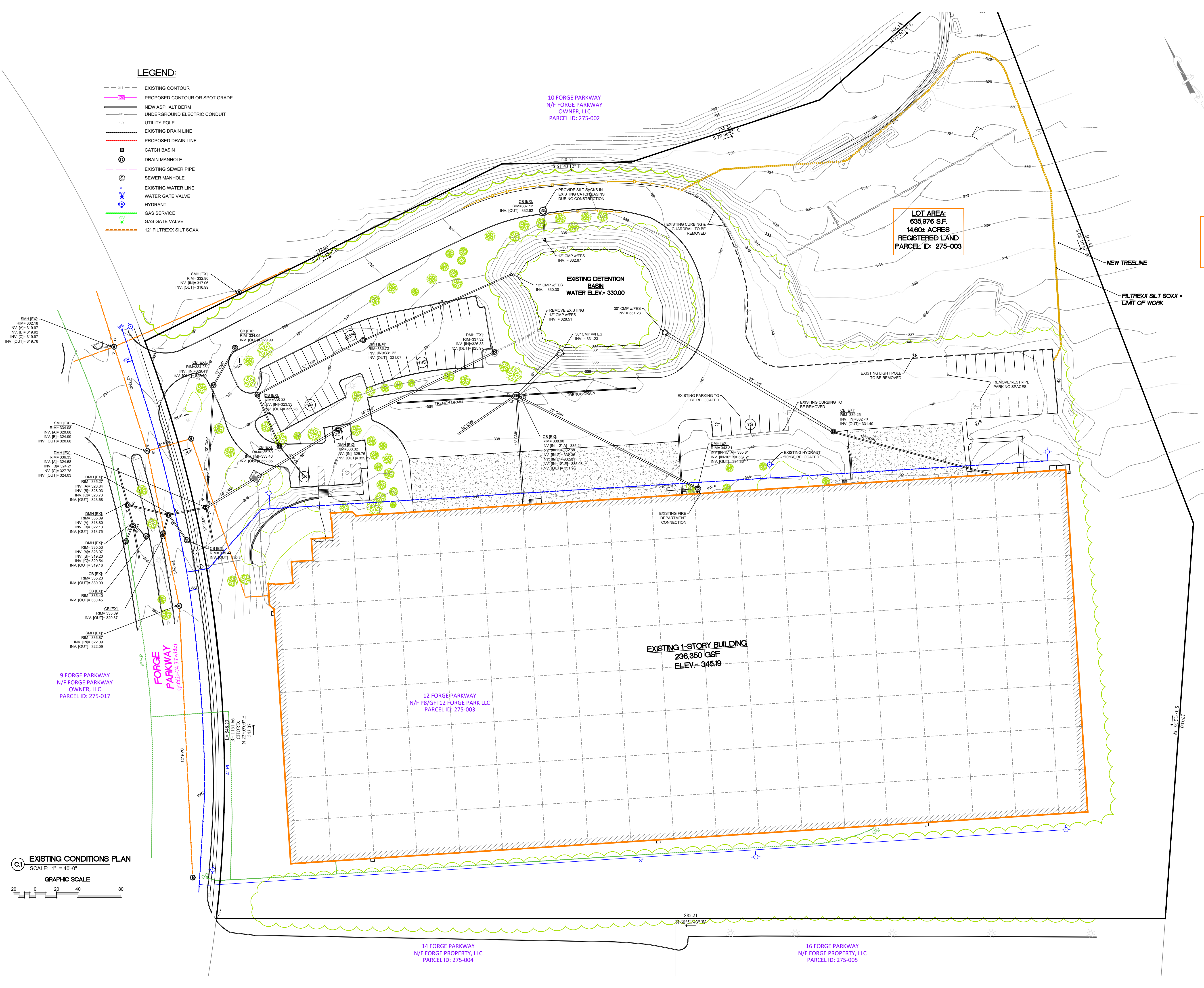
PARKING EXPANSION  
FORGE PARKWAY  
FRANKLIN, MA

**DRAWING:**

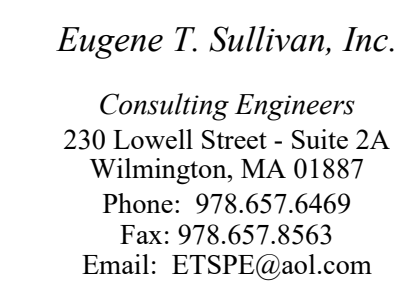
**EXISTING  
CONDITIONS PLAN**

SCALE:	1" = 40'-0"
DATE:	02/28/2020
DRAWING NUMBER	

## C.1





[illegible]

THIS PROJECT DOES NOT INCLUDE ANY ADDITIONS OR CHANGES TO THE EXISTING BUILDING FOOTPRINT. THE PROJECT ONLY EXPANDS PARKING AREAS TO ACCOMMODATE POTENTIAL TENANT NEEDS.

<b>ZONING REQUIREMENTS</b>			
<b>INDUSTRIAL ZONING DISTRICT</b>			
	<b>REQUIRED</b>	<b>EXISTING</b>	<b>PROPOSED</b>
MINIMUM LOT AREA	40,000 SF	635,976 SF	---
MINIMUM LOT FRONTAGE	176 FEET	543 FEET	---
MINIMUM LOT DEPTH	200 FEET	885 FEET	---
MINIMUM LOT WIDTH	157.5 FEET	660 FEET	---
MINIMUM FRONT YARD	35 FEET	54 FEET	---
MINIMUM SIDE YARD	50 FEET	51 FEET	---
MINIMUM REAR YARD	60.81 FEET	79 FEET	---
MAXIMUM BUILDING HEIGHT	---	31 FEET	---
MAXIMUM NUMBER OF STOREYS	3 STOREYS	1 STORY	---
MAXIMUM BUILDING COVERAGE	70 %	37.2 %	---
MAXIMUM IMPERVIOUS AREA	---	52.6 %	81.1 %

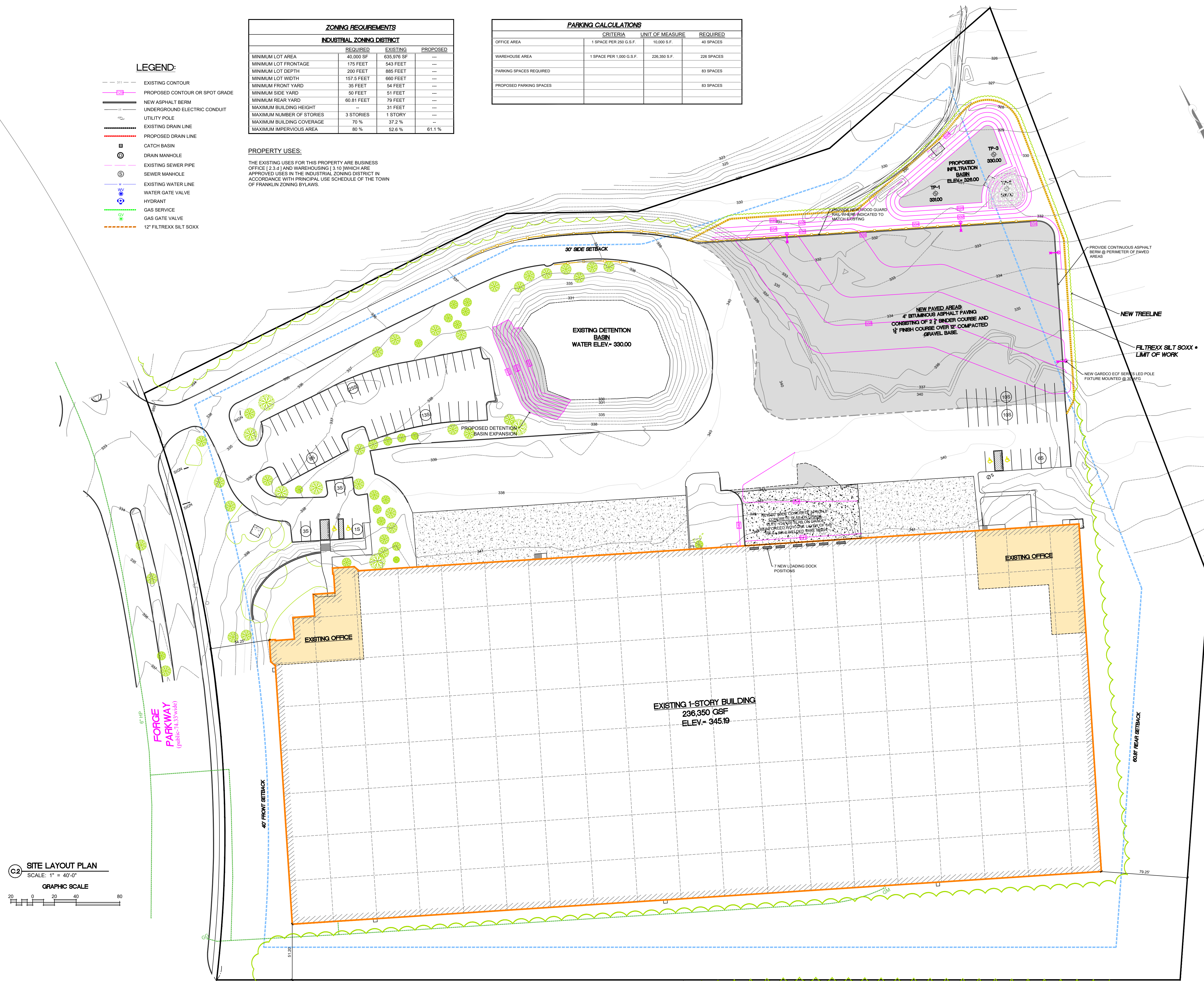
<b><u>PARKING CALCULATIONS</u></b>			
	<b><u>CRITERIA</u></b>	<b><u>UNIT OF MEASURE</u></b>	<b><u>REQUIRED</u></b>
OFFICE AREA	1 SPACE PER 250 G.S.F.	10,000 S.F.	40 SPACES
WAREHOUSE AREA	1 SPACE PER 1,000 G.S.F.	226,350 S.F.	226 SPACES
PARKING SPACES REQUIRED			83 SPACES
PROPOSED PARKING SPACES			83 SPACES

LEGEND:

- |           |                                |
|-----------|--------------------------------|
| — 311 —   | EXISTING CONTOUR               |
| — 24 —    | PROPOSED CONTOUR OR SPOT GRADE |
| ————      | NEW ASPHALT BERM               |
| — — — — — | UNDERGROUND ELECTRIC CONDUIT   |
| — U —     | UTILITY POLE                   |
| ————      | EXISTING DRAIN LINE            |
| ————      | PROPOSED DRAIN LINE            |
| ■         | CATCH BASIN                    |
| ⊕         | DRAIN MANHOLE                  |
| — — — — — | EXISTING SEWER PIPE            |
| ⊕         | SEWER MANHOLE                  |
| — — — — — | EXISTING WATER LINE            |
| W         | WATER GATE VALVE               |
| ⊕         | HYDRANT                        |
| — — — — — | GAS SERVICE                    |
| — — — — — | GAS GATE VALVE                 |
| — — — — — | 12" FILTEREY SILT SOXX         |

PROPERTY USES:

THE EXISTING USES FOR THIS PROPERTY ARE BUSINESS OFFICE [2.3.d] AND WAREHOUSING [3.10] WHICH ARE APPROVED USES IN THE INDUSTRIAL ZONING DISTRICT IN ACCORDANCE WITH PRINCIPAL USE SCHEDULE OF THE TOWN OF FRANKLIN ZONING BYLAW.



**C2 SITE LAYOUT PLAN**  
SCALE: 1" = 40'-0"

**GRAPHIC SCALE**

20 0 20 40 80

**PREPARED FOR:**

P8/GFI 12 FORGE  
PARK, LLC  
133 PEARL STREET  
BOSTON, MA

**PROJECT:**

PARKING EXPANSION  
12 FORGE PARKWAY  
FRANKLIN, MA

**DRAWING:**

## SITE PLAN LAYOUT

APPROVED BY THE TOWN OF  
FRANKLIN PLANNING BOARD:

DATE: \_\_\_\_\_

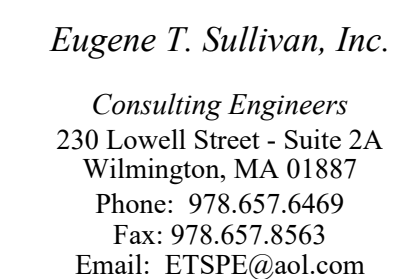
SCALE: 1" = 40'-0"

DATE: 02/28/2020

DRAWING NUMBER

## C.2





**PREPARED FOR:**  
P8/GFI 12 FORGE  
PARK, LLC  
133 PEARL STREET  
BOSTON, MA

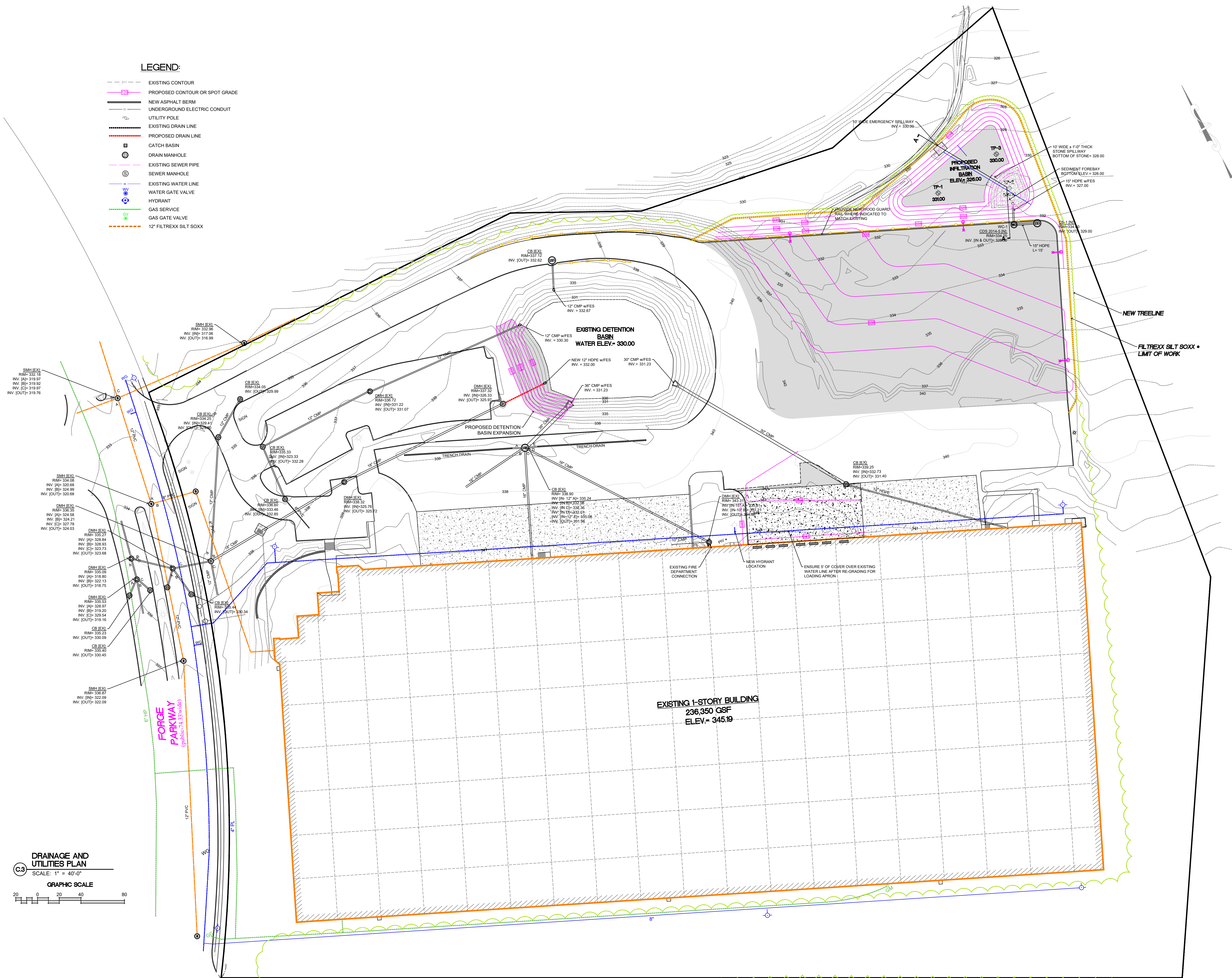
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**PROJECT:**  
PARKING EXPANSION  
12 FORGE PARKWAY  
FRANKLIN, MA

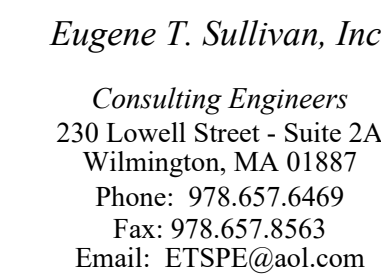


SCALE:	1" = 40'-0"
DATE:	02/28/2020
<b>DRAWING NUMBER</b>	

### C.3



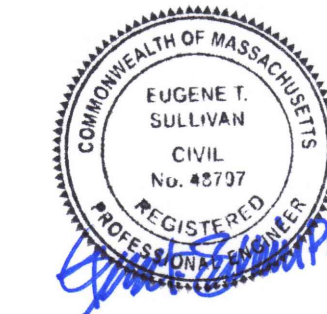
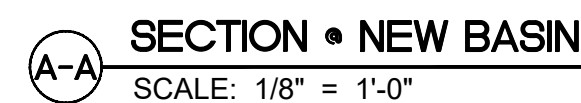


[illegible]

1. SANDY LOAM AND/OR LOAMY SAND TOPSOIL MATERIALS SHALL BE EXCAVATED FROM ALL PAVED AREAS PRIOR TO SUB-BASE INSTALLATION.
2. SUB-GRADE [EXISTING MATERIALS] SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND/OR COARSE SAND, FREE FROM LOAM AND CLAY TO A DEPTH NOT LESS THAN 4 FEET BELOW THE FINISH PAVEMENT SURFACE.
3. SUBGRADE FILL SHALL BE COMPACTED TO 95% COMPACTION.
4. PRIOR TO INSTALLING THE FINISH COURSE THE BINDER COURSE SURFACE SHALL BE SWEEP CLEAN BY A STREET SWEEPING MACHINE AND A TACK COAT SHALL BE INSTALLED TO A LEVEL APPROVED BY THE ENGINEER.



1. BERM TO BE CONSTRUCTED OF BITUMINOUS CONCRETE WEARING SURFACE COURSE.
2. THE BITUMINOUS BERM MUST BE FOUNDED ENTIRELY ON THE BASE COURSE.



PREPARED FOR:

P8/GFI 12 FORGE  
PARK, LLC  
133 PEARL STREET  
BOSTON, MA

**PROJECT:**

PARKING EXPANSION  
12 FORGE PARKWAY  
FRANKLIN, MA

**DRAWING:**

## CONSTRUCTION DETAILS

APPROVED BY THE TOWN OF  
FRANKLIN PLANNING BOARD:

SCALE: AS NOTED

DATE: 02/28/2020

DRAWING NUMBER

DATE: \_\_\_\_\_

## C.4



March 25, 2020

Mr. Anthony Padula, Chairman  
355 East Central Street  
Franklin, MA 02038

**Re: 12 Forge Parkway  
Site Plan Peer Review**

Dear Mr. Padula:

BETA Group, Inc. is pleased to provide engineering peer review services for the proposed Site Plan Approval application, "Proposed Parking Expansion 12 Forge Parkway" in Franklin, Massachusetts. This letter is provided to outline findings, comments, and recommendations.

## **BASIS OF REVIEW**

The following documents were received by BETA and form the basis of the review:

- Application for Approval of a Site Plan including the following:
  - Cover letter
  - Form P Site Plan Application Form
  - Certificate of Ownership
  - Plans (5 Sheets) entitled **Proposed Parking Expansion 12 Forge Parkway**, dated February 28, 2020, prepared by Eugene T. Sullivan, Inc., Wilmington, MA
  - Stormwater Drainage Management Report, dated February 28, 2020, prepared by Eugene T. Sullivan, Inc.

Review by BETA included the above items along with the following, as applicable:

- Site Visit
- **Zoning Chapter 185 From the Code of the Town of Franklin**, current through October 2019
- **Zoning Map of the Town of Franklin, Massachusetts**, attested to April 30, 2019
- **Stormwater Management Chapter 153 From the Code of the Town of Franklin**, Adopted May 2, 2007
- **Subdivision Regulations Chapter 300 From the Code of the Town of Franklin**, current through January 1, 2016
- **Wetlands Protection Chapter 181 From the Code of the Town of Franklin**, dated August 20, 1997
- **Town of Franklin Best Development Practices Guidebook**, dated September 2016

## **INTRODUCTION**

The project site is a 14.6 +/- acre parcel located at 12 Forge Parkway in the Town of Franklin (the "Site"). The Town of Franklin Assessor's office identifies the parcel as Lot 275-003. The Site is located within the Industrial zoning district but is not located within any overlay district or the Water Resources District.



Parcels to the south, north, and west are also located in the Industrial district. Parcels to the east are within the General Residential VI district and Senior Village Overlay district.

The project is not located in proximity to a DEP mapped Wetland resource area, an estimated habitat of rare or endangered species, or a critical area. The Site is also not located within a regulatory FEMA-Mapped 100-year flood zone. NRCS soil maps indicate the presence of Woodbridge Fine Sandy Loam with a Hydrologic Soil Group (HSG) rating of C/D (low to very low infiltration potential) and Ridgebury fine sandy loam, rated in HSG D (very low infiltration potential).

Plans indicate the existing lot is currently developed with a 236,350± sq. ft. building, driveway, parking/loading areas, and a stormwater detention basin. The remainder of the site consists of woods and lawn areas.

The project proposes to construct 54,400± sq. ft. of new impervious surfaces (concrete pad and bituminous parking area) with associated bituminous curbing, four light poles, and timber guardrail. The project proposes to direct most runoff from new parking areas to a proposed treatment train consisting of a deep sump catch basin with hood, proprietary stormwater unit (Contech), and an infiltration basin. A portion of the new pavement area will be directed to the existing drainage system.

## **FINDINGS, COMMENTS AND RECOMMENDATIONS**

### **GENERAL COMMENTS**

- G1. Revise existing conditions plan to remove proposed features such as erosion control barrier and restriped parking spaces.
- G2. Provide details for the proposed concrete pad, timber guardrail, and typical drainage pipe installation.
- G3. Resolve proposed pavement depth discrepancy between Site Plan Layout plan and Details.
- G4. Clarify if any pavement rehabilitation is proposed for the existing parking areas.

### **ZONING**

The site is located within the Industrial District. The project does not propose any new uses and the existing uses of office (clerical or administrative) and warehouse are permitted by right within the district.

### **SCHEDULE OF LOT, AREA, FRONTAGE, YARD AND HEIGHT REQUIREMENTS (§185 ATTACHMENT 9)**

The project does not propose any new structures or lot changes and it is assumed that the existing site was previously approved for area, frontage, depth, width, minimum yard dimensions, building height and impervious coverage. The project will result in an increase of approximately 54,400 sq. ft. of impervious surface. The post-development pavement plus structures coverage will remain in compliance with requirements of the zoning bylaw.

- SCH1. Revise required front and side yard setbacks in Zoning Requirements Table to match §185 Attachment 9.



## **PARKING, LOADING AND DRIVEWAY REQUIREMENTS (§185-21)**

Access to the Site will continue to be provided through an existing 24'± wide paved driveway from Forge Parkway. The project proposes to relocate and reconfigure a limited number of parking spaces and to restripe existing parking spaces. Relocated parking spaces are 9' wide by 19' long. Four parking spaces have been designed as accessible, as required by the Massachusetts Architectural Board, with associated striping. Three of the accessible spaces are also van accessible.

Section §185-21.B.(2) describes the number of parking spaces required for uses in the Industrial District. For warehouses 1 space must be provided per every 1,000 sq. ft. of area and for other offices, one space must be provided per every 250 sq. ft. of area. Based upon the calculations provided on the plans, a total of 266 spaces are required where 83 are proposed.

- P1. Provide typical dimensions for the proposed parking spaces.
- P2. Provide striping separating the 10 proposed parking spaces in the new pavement area from the 10 spaces in the existing pavement area. The plans appear to show 10 oversized parking spaces.
- P3. Revise parking number labels to match the number of existing/proposed spaces.
- P4. Confirm the total number of existing parking spaces. Based on the plans, it appears there are 82 existing spaces.
- P5. Revise the parking schedule to indicate the total number of spaces required per the calculations.
- P6. Clarify if any interior modifications or uses will affect the number of parking spaces used at the site. At the time of BETA's site walk, a portion of the building appears vacant.
- P7. Revise the parking aisle width at the northeast corner of the building to 24 feet (§185-21.C.(8)).
- P8. The project proposes to relocate an accessible space at the northwest corner of the building, which will result in a longer accessible route to the building than necessary. The two accessible spaces should be shifted to the east to minimize the accessible route path in accordance with MAAB regulations. Notwithstanding any site-specific need for a van accessible space at this location, the van accessible spaces proposed at the northeast corner of the building fulfill the number required by MAAB.
- P9. Based on existing survey information (slope >5%), additional handrails or regrading will be required along a portion of the accessible ramp at the northeast corner of the building.
- P10. Clarify how the new impervious area will be used. If the new impervious area may be used for future employee parking the designer should indicate the total number of new spaces that can be provided and a sketch provided. The addition of parking spaces may also require additional plantings in accordance with §185-21.C.(5).

## **SIDEWALKS (§185-28)**

The project is located within the Industrial Zoning District and is not required to provide sidewalks along the street frontage. BETA notes there are already existing bituminous sidewalks along the frontage, however.



## **CURBING (§185-29)**

The project proposes the use of asphalt curb adjacent to new impervious areas. BETA notes the existing site has a mixture of vertical granite curb (site entrance only), cape cod berm, bituminous curb, or pavement edges with no treatment.

- C1. The Bylaw does not include any provisions for the installation of bituminous curb. At the discretion of the Board revise bituminous curb to be vertical granite or reinforced concrete curbing adjacent to parking areas.

## **SITE PLAN REVIEW (§185-31)**

The proposed development is subject to Site Plan Review and must comply with the requirements of this section.

- S1. Clarify if subject parcel has an existing Site Plan on record. If no plan is on record the applicant should update the plans to include all information required per (§185-31.C.(3)), including topography for the entire site (§185-31.C.(3)(f)), location of existing water and sewer (§185-31.C.(3)(m)), and sight line information at entrance/exit (§185-31.C.(3)(t)).
- S2. Revise the locus map to indicate abutting land uses and zoning information (§185-31.C.(3)(d)).
- S3. Indicate proposed snow storage locations on the plans (§185-31.C.(3)(i)).
- S4. Provide signing for proposed accessible parking spaces (§185-31.C.(3)(j)).
- S5. If plantings are provided in conjunction with other comments, provide a planting schedule and a note that all plantings shall come from the Best Development Practices Guidebook (§185-31.C.(3)(k)).
- S6. Provide a photometric plan (§185-31.C.(3)(l)).
- S7. Determine if the existing site operations have resulted in any adverse noise or odor impacts to abutters (§185-31.C.(3)(r)).
- S8. Provide reference datum for existing survey information.

## **SCREENING (§185-35)**

The project proposes outdoor parking for 10 or more cars, abuts a residential use, and has an existing industrial use.

- SC1. Based upon BETA's site visit, mature vegetation proposed to remain along the easterly property line may not provide adequate screening for the adjacent residential use. Recommend supplemental plantings or a fence (§185-35.B.).
- SC2. Provide a greenbelt along the easterly property line where the project abuts a residential use (§185-35.C.).

## **STORMWATER MANAGEMENT**

The project proposes to direct most runoff from new parking areas to a proposed treatment train consisting of a deep sump catch basin with hood, proprietary stormwater unit (Contech), and an infiltration basin. A portion of the new pavement area will be directed to the existing drainage system.



## GENERAL

- SW1. Revise proposed HDPE pipe within areas subject to traffic loads to be RCP. Where cover is less than 42" provide Class V RCP (§300-11.B.(2)(a)).
- SW2. Provide a summary table for peak runoff rates and runoff volumes for each design point. Due to the increase in impervious area directed to the existing detention basin, it is anticipated that additional recharge will be required to mitigate runoff volumes to the Forge Parkway system.
- SW3. Provide a summary of compliance with the Stormwater Management Standards and a stamped Stormwater Management Checklist.
- SW4. Revise line type of 340 and 335 contours. Currently, they are not legible.
- SW5. Correct mislabeled 338 contour, depicted approximately 40 feet south of the existing trench drain.
- SW6. Grading is proposed within the existing detention basin at the elevation of the existing water elevation. Confirm with the Conservation Agent that the existing basin is not considered a wetland resource area under the Wetlands Protection Act or Franklin Bylaw.
- SW7. Resolve discrepancy of emergency spillway elevation in proposed detention basin between plans and HydroCAD model.
- SW8. Recommend placing a layer of filter fabric for permanent erosion control between rip rap and gravel at outlets to prevent scour.

## MASSACHUSETTS STORMWATER MANAGEMENT STANDARDS:

The proposed development will disturb greater than one acre; therefore, the project is subject to Chapter 153: Stormwater Management of the Town of Franklin Bylaws and MassDEP Stormwater Management Standards.

**No untreated stormwater (Standard Number 1):** *No new stormwater conveyances (e.g., outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.*

The project does not propose any new untreated stormwater discharges to wetlands – **complies with standard.**

**Post-development peak discharge rates (Standard Number 2):** *Stormwater management systems must be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates.*

The project proposes an increase in impervious area and will use a new infiltration basin and an existing detention basin to mitigate increases in post-development peak discharge rates and total runoff volumes.

- SW9. Revise cover type in subwatershed 4S: Woods from "grass" to "woods."
- SW10. Based upon the site visit and aerial photography there is a full tree canopy in subwatershed 6S: Woods. Revise cover type from "woods/grass comb., poor" to "woods, good."
- SW11. Revise the elevation and pipe material for the existing detention basin outlet in the HydroCAD model to 328.51 and CMP, respectively, to match the existing conditions plan.
- SW12. Revise the pipe lengths and downstream invert elevations for the existing detention basin outlet in the existing and proposed conditions in the HydroCAD model to be consistent with plans.



- SW13. Clarify if the existing 12" CMP overflow pipe in the existing detention basin is functional. The existing water elevation is noted to be approximately 1.5 feet above the outlet elevation.
- SW14. Review 100-year calculations in the existing and proposed conditions for the existing detention basin. The peak elevations are noted to be elev. 500+ (pond berm at elev. 338±). Include the basin berm as a weir if overtopping cannot be eliminated.
- SW15. Provide calculated time of concentration (TOC) for subwatershed 6S in existing and proposed conditions. Assuming a TOC of 6 minutes may underestimate the change in hydrology for the new impervious area. Depict TOC flow path on the plans.
- SW16. Include overland flow from grass areas and the basin area in the contributing subwatershed to the proposed infiltration basin. This area is currently modeled as "woods" in subwatershed 6S. The surface area of the basin should be modeled as impervious to avoid double counting the area's infiltration potential.

**Recharge to groundwater (Standard Number 3):** *Loss of annual recharge to groundwater should be minimized through the use of infiltration measures to maximum extent practicable.*

NRCS soil maps indicate the presence of Woodbridge Fine Sandy Loam with a Hydrologic Soil Group (HSG) rating of C/D (low to very low infiltration potential) and Ridgebury fine sandy loam, rated in HSG D (very low infiltration potential). Test pit logs indicate the presence of loamy sand at the proposed bottom elevation of the infiltration basin. Mottles were observed in the test pits within the proposed basin at approximate elevation 328.7; however, weeping was observed significantly deeper at approximate elevation 319. The infiltration system has been designed to provide a recharge volume in excess of that required and will drain within 72 hrs.

- SW17. Clarify the estimated seasonal high groundwater elevation. Test pits indicate mottling above the proposed bottom elevation of the infiltration basin.
- SW18. Based upon NRCS mapped soil information (HSG C/D or D) there is concern that the proposed infiltration basin may not meet the performance of the exfiltration rate used in the HydroCAD report. Soil textures will need to be verified by an agent of the Town during construction to ensure that any restrictive layers are fully removed.

**80% TSS Removal (Standard Number 4):** *For new development, stormwater management systems must be designed to remove 80% of the annual load of Total Suspended Solids.*

The project proposes to direct most runoff from new parking areas to a proposed treatment train consisting of a deep sump catch basin with hood, proprietary stormwater unit (Contech), and an infiltration basin. The new treatment train will provide the required 80% TSS removal and 44% TSS pretreatment for infiltration proposed in soils with rapid infiltration rates. A portion of the new pavement area will be directed to the existing drainage system.

- SW19. Approximately 6,100 sq. ft. of new impervious parking area will be directed to the existing detention basin, which will not provide the required 80% TSS removal. BETA notes the existing catch basins in the main parking areas do not receive any TSS removal credit as they are not end of line devices. Provide required 80% TSS removal for all new pavement areas.
- SW20. Given the strict requirements to receive a TSS removal credit for street sweeping, recommend removing this component from the calculations.



SW21. Provide a Long-Term Pollution Prevention Plan (LTPPP) including the provisions outlined in Standard 4. Recommend for the LTPPP to be combined with the O&M Plan. Snow storage should be prohibited from stormwater management basins.

**Higher Potential Pollutant Loads (Standard Number 5):** *Stormwater discharges from Land Uses with Higher Potential Pollutant Loads require the use of specific stormwater management BMPs.*

SW22. Clarify if the project meets the definition of a land use with higher potential pollutant load (LUHPPL).

**Critical Areas (Standard Number 6):** *Stormwater discharges to critical areas must utilize certain stormwater management BMPs approved for critical areas.*

The project does not propose any discharges to a critical area – **not applicable**.

**Redevelopment (Standard Number 7):** *Redevelopment of previously developed sites must meet the Stormwater Management Standards to the maximum extent practicable.*

The project is primarily considered a new development; however, in conjunction with comment SW19, consider providing a proprietary treatment device on an existing system, eliminating catch basin to catch basin connections, or separating roof flows from parking areas flows. Redevelopment areas are required to improve existing conditions to the maximum extent practicable.

**Construction Period Erosion and Sediment Controls (Standard Number 8):** *Erosion and sediment controls must be implemented to prevent impacts during construction or land disturbance activities.*

The project as currently depicted will disturb in excess of one acre of land; therefore, a Notice of Intent with EPA and a Stormwater Pollution Prevention Plan (SWPPP) are required. The project proposes the use of erosion control barrier (Filtrexx Silt Soxx).

SW23. Provide erosion control barrier at the limits of grading in the existing detention basin.

SW24. Recommend using erosion control matting, jute mesh, or another method to stabilize disturbed slopes that are 3:1 or steeper.

SW25. Provide a stabilized construction entrance, depicting location and associated detail on the plans. Recommend for entrance to be a minimum of 50' long and 20' wide.

SW26. Provide catch basin inlet protection for any basin in proximity to an area of disturbance or adjacent to the traveled way of construction vehicles.

SW27. Remove references to silt fence and hay bales in Erosion and Sedimentation Control Notes, which are not permitted in the Town of Franklin.

**Operations/maintenance plan (Standard Number 9):** *A Long-Term Operation and Maintenance Plan shall be developed and implemented to ensure that stormwater management systems function as designed.*

A Long-Term Operation and Maintenance (O&M) Plan has been provided.

SW28. Provide the stormwater management system owners, responsible party, plan showing all stormwater management features (existing and proposed), and estimated budget in the O&M Plan. The O&M map should also designate snow storage areas.

SW29. Provide adequate access around and into the proposed infiltration basin and sediment forebay. The basin is proposed behind guardrail and with side slopes of 2:1.



Mr. Anthony Padula, Chairman

March 25, 2020

Page 8 of 8

SW30. Based on the proposed use of the site and anticipated frequent truck traffic, a spill kit should be kept on site at all times.

**Illicit Discharges (Standard Number 10):** *All illicit discharges to the stormwater management systems are prohibited.*

SW31. Provide a signed Illicit Discharge Compliance Statement.

If we can be of any further assistance regarding this matter, please contact us at our office.

Very truly yours,  
BETA Group, Inc.



Matthew J. Crowley, PE  
Project Manager

cc: Amy Love, Planner





# TOWN OF FRANKLIN

## DEPARTMENT OF PUBLIC WORKS

Franklin Municipal Building  
257 Fisher Street  
Franklin, MA 02038-3026

March 16, 2020

Mr. Anthony Padula, Chairman  
Members of the Franklin Planning Board  
355 East Central Street  
Franklin, MA 02038

**RE: Site Plan Modification – #12 Forge Parkway Parking Expansion**

Dear Mr. Chairman and Members:

We have reviewed the submitted materials for the subject project and offer the following comments:

1. Due to the disturbance of more than one acre, a Soil Erosion and Sediment Control Permit will be required from the Franklin Department of Public Works.
2. We note that the proposed parking lot expansion calls out for asphalt berm around the outer perimeter, the Board has typically required vertical curb for this type of application.
3. The proposed drainage pipe is called out as HDPE, however reinforced concrete pipe is required. Pipes with less than 42" of cover are required to be class 5.
4. It is unclear what the expanded pavement area is to be used for. If it is for additional parking or trailer storage, pavement markings should be shown to provide some delineation.
5. From the test pit information, it appears that the bottom of the infiltration basin is below the high groundwater table, rather being the required minimum two feet above high groundwater.

Should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

Michael Maglio, P.E.  
Town Engineer





## **FRANKLIN PLANNING & COMMUNITY DEVELOPMENT**

355 EAST CENTRAL STREET  
FRANKLIN, MA 02038-1352  
TELEPHONE: 508-520-4907  
FAX: 508-520-4906

### **MEMORANDUM**

**DATE:** April 29, 2020  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** 12 Forge Parkway  
Site Plan Modification

---

The DPCD has reviewed the above referenced Site Plan Modification application for the Monday, May 4, 2020 Planning Board meeting and offers the following commentary:

#### **General:**

1. The site is located at 12 Forge Parkway in the Industrial Zoning District (Assessors Map 275 Lot 003).
2. The applicant is proposing to construct 54,400 sq/ft of paved area to include parking spaces, with drainage and landscaping.
3. The following letters have been received from other Town Departments and outside Peer Review;
  - Letter dated March 4, 2020 from Conservation Agent
  - Letter dated March 16, 2020 from J.S. Barbieri, Deputy Fire Chief
  - Letter dated March 16, 2020 from Mike Maglio, Town Engineer
  - Letter dated March 25, 2020 from Matt Crowley, BETA

#### **Comments:**

1. The Applicant should show on the plans the layout of the additional parking spaces.
2. If there will be a dumpster located on the property, it should be shown, located on a concrete pad and enclosed with a fence.
3. Per Zoning By-Law §185-31 C(3) (l), the applicant needs to submit a photometric plan with sufficient illuminance values, to determine compliance with §185-31 C(4)(e), Site plan, Review Criteria
4. Per Zoning By-Law §185-31 C (3)(k), the applicant has not provided a Landscaping Plan. The Planning Board will need to determine if a landscaping plan is required for this project.



5. The applicant is proposing Bituminous concrete throughout the site. The Board should determine if the site should be reinforced concrete or granite curbing
6. Per Zoning By-Law §185-31 Section 3.1.C (s), the applicant has not provided a traffic study. The Planning Board should determine if a traffic study is required.
7. Applicant should provide areas for snow storage on the plans.
8. DPCD defers to DPW/Engineering and BETA Group, Inc. to address drainage issues.

**Recommendation:**

DPCD recommends continuing the public hearing until all outstanding issues are addressed.





# *FRANKLIN FIRE DEPARTMENT*

To : DPCD

FROM : J. S. BARBIERI, DEPUTY FIRE CHIEF

DATE : 16 MARCH 2020

RE : SITE PLAN MODIFICATION -12 FORGE PARK

Thank you for the opportunity to review the above referenced plan.

The proposed project offers sufficient access to the site and the one relocated fire hydrant is not an issue as it is being brought closer to the fire department connection on the building.

Accordingly we have no other comments. Please feel free to contact me with any questions.

cc: file



## Town of Franklin



## Conservation Commission

### MEMORANDUM

To: Franklin Planning Board  
From: Jennifer Delmore, Conservation Agent  
Re: 12 Forge Parkway Site Plan Modification  
Date: March 4, 2020

---

There doesn't appear to be any wetlands or buffer zone to a wetland within 100' of the site, therefore Conservation does not have jurisdiction over this activity. Please let me know if you have any questions.



**EUGENE T. SULLIVAN INC.**  
*Consulting Engineers & Construction Managers*



February 28, 2020

**TOWN OF FRANKLIN**

Town Hall- Planning Department  
355 East Central Street  
Franklin, Massachusetts 02038

RE: *Proposed Parking Expansion  
12 Forge Parkway  
Parcel ID: 275-003*

**PROJECT DESCRIPTION**

We herein submit, on behalf of **P8/GFI 12 Forge Park, LLC**, an application for Site Plan Review to allow the expansion of the existing loading dock areas to the existing Industrial Building located at 12 Forge Parkway. Please find attached the following documents:

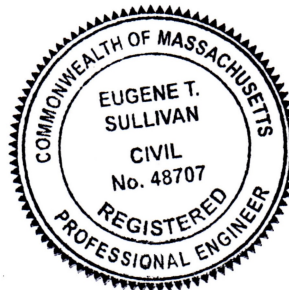
- Site Plan Review Application and Filing Fee
- Certificate of Ownership
- Certified Abutters List
- Civil Engineering plans prepared by ETS Inc.
- Stormwater Management Report prepared by ETS Inc.

The existing and proposed uses of the property [business office, manufacturing and warehousing] are permitted uses in accordance with the Table of Use Regulations. This proposal is in conformance with the Dimensional Regulations of the Town of Franklin Zoning Bylaw.

If you have any questions regarding this matter, please contact me

Sincerely,

C:\SPR Project Description.doc





## FORM P

### APPLICATION FOR APPROVAL OF A SITE PLAN

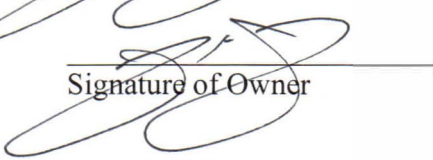
To the Franklin Planning Board:

The undersigned, herewith, submits the accompanying Site Plan entitled  
“ Proposed Parking Expansion ” for approval under the provisions of the Zoning By-  
Laws of the Town of Franklin covering Site Plans.

1. Name of Applicant: P8/GFI 12 FORGE PARK LLC  
Address of Applicant: 133 Pearl Street, Boston, MA 02110  
Phone No.: 617.292.0101 Email: \_\_\_\_\_
2. Name of Owner (if not the Applicant): same as Applicant  
Address of Owner: \_\_\_\_\_  
Phone No.: \_\_\_\_\_ Email: \_\_\_\_\_
3. Name of Engineer: Eugene T. Sullivan Inc.  
Address of Engineer: 230 Lowell Street, Wilmington, MA 01887  
Phone No.: 978.657.6469 Email: etspe@outlook.com
4. Deed of Property recorded with Norfolk Registry of Deeds in  
Book 60758 , Page 394 , (or Certificate of Title No. 71958 )
5. Location and Description of Property:  
12 Forge Parkway  
\_\_\_\_\_  
\_\_\_\_\_  
  
Square Footage of Building(s) 236,350 SF  
Assessor's Map 275 Lot 003
6. Purpose of Site Plan: We are requesting to construction approximately 54,400  
square feet of paved area.
7. List of Waivers Requested (if any): Attach Form R for each waiver

  
Signature of Applicant

Steven Goodman, manager of P8/GFI 12 Forge Park, LLC  
Print Name of Applicant

  
Signature of Owner

same as applicant  
Print Name of Owner



## CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

### SECTION A:

Type of Plan (circle one)      ANR 81-P;      Preliminary Subdivision

Definitive Subdivision.;      Site Plan;      Special Permit

Title of Plan: PROPOSED PARKING EXPANSION

Date of Plan: 2/26/2020      Assessor's Information: MAP 275/ PARCEL 003

Prepared by: EUGENE T. O'NEILL/INC.

Applicant Name & Address: PO/OFI 12 FORCE PARK LLC  
133 PEARL STREET, BOSTON, MA

### SECTION B:

Name of Record Owner(s): PO/OFI 12 FORCE PARK LLC

Address of Record Owner(s): 133 PEARL STREET  
BOSTON, MA 02110.

**\*\*Attach Property Deed matching the owner name's listed above.**

\*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):  
\_\_\_\_\_

\*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation:  
\_\_\_\_\_

\*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation:  
\_\_\_\_\_



Executed as a sealed instrument this

day of 20

Signature of Applicant

Steven Goodman, Manager of PG/6FI 12 Forge Park LLC

Print name of Applicant

Signature of Owner

same as applicant

Print name of Owner

COMMONWEALTH OF MASSACHUSETTS

Suffolk

ss.

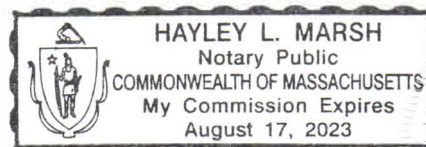
2020

On this 20<sup>th</sup> day of February 2020, before me, the undersigned notary public, personally appeared Steven Goodman, Manager of PG/6FI 12 Forge Park LLC (name of owner), proved to me through satisfactory evidence of identification, which were personal knowledge to be the person whose name is signed on the preceding document in my presence.

(Official signature and seal of notary)

Notary Public:

My Commission Expires: August 17, 2023





# Town of Franklin



TOWN OF FRANKLIN  
TOWN CLERK

2020 MAR -2 A 8:59

RECEIVED

## Planning Board

The following notice will be published in the Milford Daily Newspaper once on Monday, March 23, 2020 and again on March 30, 2020

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### FRANKLIN PLANNING BOARD PUBLIC HEARING NOTICE

In accordance with the Town of Franklin Zoning By-Laws, the Franklin Planning Board will hold a public hearing on **Monday, April 6, 2020 at 7:10 PM** in the Town Council Chambers of the Franklin Municipal Building, 355 East Central Street, for a Site Plan application at 12 Forge Parkway in Franklin, MA prepared by Eugene Sullivan Inc. Wilmington, MA, Inc. and submitted to the Department of Planning & Community Development on February 27, 2020, by P8/GFI 12 forge Park LLC, 133 Pearl St, Boston, MA.

The property is located in the Industrial Zoning District (Assessors Map 275 Lot 003) on Forge Parkway. The applicant is proposing construction of 54,400 sq.ft of pavement with parking, drainage and landscaping.

**Please note: This will be your only written notice of this public hearing. All future Public Hearings on this matter, will be posted on the Planning Board's website under Agendas.**

Please contact the Department of Planning & Community Development at (508) 520-4907 if you require further information or if you need to make arrangements to provide translation services for the hearing impaired, or for persons with language barriers.

Copies of the plan and supporting documentation may be reviewed in the Department of Planning & Community Development during regular office hours.

Anthony Padula, Chairman



FORGE PARKWAY OWNER LLC  
C/O GOLDMAN SACHS & CO.  
200 WEST ST 35TH FLOOR  
NEW YORK, NY 10282

STONERIDGE EAST CONDOMINI  
C/O ADVANCED CONDOMINIUM  
40 MECHANIC ST - SUITE 301  
FOXBORO, MA 02035

DRISCOLL CHRISTINE  
162 STONE RIDGE RD  
FRANKLIN, MA 02038

P8/GFI 12 FORGE PARK LLC  
133 PEARL ST  
BOSTON, MA 02110-2499

MACRI JOSEPH D  
42 STONE RIDGE RD  
FRANKLIN, MA 02038

CIAVARINI MICHAEL D  
CIAVARINI DIANE A  
103 STONE RIDGE RD  
FRANKLIN, MA 02038

FORGE PROPERTY LLC  
C/O CONDYNE  
100 GRANDVIEW RD SUITE 312  
BRAINTREE, MA 02184

GILPATRICK CARLENE  
48 STONE RIDGE RD  
FRANKLIN, MA 02038

NGUYEN DAN H  
90 STONE RIDGE RD  
FRANKLIN, MA 02038

FORGE PARKWAY OWNER LLC  
C/O GOLDMAN SACHS & CO.  
200 WEST ST, 35TH FLOOR  
NEW YORK, NY 10282

BURNS AMANDA  
163 STONE RIDGE RD  
FRANKLIN, MA 02038

CAPOBIANCO-WOLF CAROL  
108 STONE RIDGE RD UNIT 108  
FRANKLIN, MA 02038

JJ&K ENTERPRISES LLC  
C/O HAPPY TAILS DOGGY DAY  
7 FORGE PKWY  
FRANKLIN, MA 02038

50 STONERIDGE ROAD LLC  
164 FENSVIEW DRIVE  
WESTWOOD, MA 02090

COUSAR MAURA E  
153 STONE RIDGE RD  
FRANKLIN, MA 02038

DISKIN DOROTHY A  
158 STONE RIDGE RD  
FRANKLIN, MA 02038

LOGAN GAYLE F TR  
LOGAN NOMINEE TRUST OF 20  
85 STONE RIDGE RD  
FRANKLIN, MA 02038

BEKSHA EDWARD D  
45 STONE RIDGE ROAD  
FRANKLIN, MA 02038

ARNOLD STEPHEN JOHN & MAR  
ARNOLD REVOCABLE TRUST  
40 STONE RIDGE RD  
FRANKLIN, MA 02038

MCCLELLAN DONNA M  
101 STONE RIDGE RD  
FRANKLIN, MA 02038

AO QI  
52 STONE RIDGE RD  
FRANKLIN, MA 02038

CRISAFULLI JOSEPH M L/E  
JOSEPH M CRISAFULLI IR TR  
161 STONE RIDGE RD  
FRANKLIN, MA 02038

HOLT SHAUNA  
53 STONERIDGE ROAD  
FRANKLIN, MA 02038

GRACI RANDE M TR  
RANDE M GRACI REVOCABLE T  
92 STONE RIDGE RD  
FRANKLIN, MA 02038

LOUGHLIN PATRICIA  
35 STONE RIDGE RD  
FRANKLIN, MA 02038

HEWITT JAMES  
HEWITT LARISSA L  
17 EVERGREEN RD  
NORFOLK, MA 02056

REGAN BARRY N & KERRIN M  
REGAN FAMILY LIVING TRUST  
44 STONE RIDGE RD  
FRANKLIN, MA 02038

SCHLECTER MITCHELL J TR  
MITCHELL J SCHLECTER FAM  
2301 LUCAYA LN APT M1  
COCONUT CREEK, FL 33066-1124

NARUM M LYNNE  
PO BOX 126  
FRANKLIN, MA 02038

BERTSCHMANN ASHLEY  
5 HIGH OAKS COURT  
WALPOLE, MA 02081



BURNARD EILEEN B  
152 STONE RIDGE RD  
FRANKLIN, MA 02038

NURNBERG STEVEN  
NURNBERG SUZANNE  
148 STONE RIDGE RD  
FRANKLIN, MA 02038

O'HAGAN CATHERINE  
57 STONE RIDGE RD  
FRANKLIN, MA 02038

WATKINS EILEEN M TR  
EILEEN M WATKINS 2012 TRU  
160 STONE RIDGE RD  
FRANKLIN, MA 02038

HIRSCH LOUIS M  
HIRSCH LOIS M  
100 STONE RIDGE RD  
FRANKLIN, MA 02038

SIDOLI MICHAEL D  
83 STONE RIDGE RD  
FRANKLIN, MA 02038

YOUNIS SUSAN L  
47 STONE RIDGE RD  
FRANKLIN, MA 02038

FONTANA MEREDITH L  
55 STONE RIDGE RD  
FRANKLIN, MA 02038

COLANTONI JULIANA  
56 STONE RIDGE RD  
FRANKLIN, MA 02038

MORGAN JAYNE M  
38 STONE RIDGE RD  
FRANKLIN, MA 02038

LAPLANTE BETTY JANE TR  
LAPLANTE IRREVOCABLE TRUS  
104 STONE RIDGE RD  
FRANKLIN, MA 02038

WILSON WILLIAM G  
HALL JOANNA M  
110 STONE RIDGE RD  
FRANKLIN, MA 02038

CORDARO NICOLINA M TR  
CORDARO DAVIS FAMILY TRUS  
41 STONE RIDGE RD  
FRANKLIN, MA 02038

PARKINSON GRACE P  
156 STONE RIDGE RD  
FRANKLIN, MA 02038

BRYSON HENRY M  
154 STONE RIDGE RD  
FRANKLIN, MA 02038

FINN JACQUELINE F  
38 PARK ST  
BELLINGHAM, MA 02019

CLIFF DUDLEY  
CLIFF MARY  
43 STONE RIDGE RD  
FRANKLIN, MA 02038

SAWYER TRACY  
7 CEDAR PARK RD  
SHARON, MA 02067

ROSCOE STEVEN M TR  
SJR REALTY TRUST  
67 MEETINGHOUSE ROAD  
NORFOLK, MA 02056

FREEMAN GIN  
2842 EMELDI LN  
MELBOURNE, FL 32940-8664

CHAMBERS CAROL  
91 STONE RIDGE RD  
FRANKLIN, MA 02038

BIANCHI SCOTT E  
BIANCHI EILEEN M  
98 STONE RIDGE RD  
FRANKLIN, MA 02038

MORETTI BRIANA J  
157 STONE RIDGE RD  
FRANKLIN, MA 02038

MCLAUGHLIN AMY  
106 STONE RIDGE RD  
FRANKLIN, MA 02038

FALZONE-MOST BEVERLY A TR  
BEVERLY A FALZONE-MOST TR  
29 LONGFELLOW DR  
FRANKLIN, MA 02038

FLAKSMAN RACHEL  
151 STONE RIDGE RD  
FRANKLIN, MA 02038

GRIFFIN KATHLEEN  
109 STONE RIDGE ROAD  
FRANKLIN, MA 02038

DEBENEDICTIS GENE E  
GENE E  
81 STONE RIDGE RD  
FRANKLIN, MA 02038

BALEST RICHARD P & MAXINE  
BALEST REALTY TRUST  
PO BOX 136  
NORFOLK, MA 02056

COLLINS LINDA TR  
LINDA COLLINS REVOCABLE T  
39 STONE RIDGE RD  
FRANKLIN, MA 02038



ST CYR PAUL  
ST CYR SCOTT  
54 STONE RIDGE RD  
FRANKLIN, MA 02038

KEARNS KEVIN W  
KEARNS KAREN E  
36 STONE RIDGE RD  
FRANKLIN, MA 02038

DUNNE MICHAEL E TR  
DUNNE FAMILY TRUST  
68 STONE RIDGE RD  
FRANKLIN, MA 02038

RAWLINSON VICTORIA F TR L  
RAWLINSON REALTY TRUST  
150 STONE RIDGE RD  
FRANKLIN, MA 02038

RICHARD JOYCE M TR  
JMR REALTY TRUST  
93 STONE RIDGE RD  
FRANKLIN, MA 02038

BYERS JEAN  
141 STONE RIDGE RD  
FRANKLIN, MA 02038

SIMS DAVID  
88 STONE RIDGE RD  
FRANKLIN, MA 02038

LEONE DONATO L  
LEONE VALERIE A  
155 STONE RIDGE RD  
FRANKLIN, MA 02038

BURNS MAUREEN E  
137 STONE RIDGE RD  
FRANKLIN, MA 02038

BRANCA RITA M  
107 STONE RIDGE RD  
FRANKLIN, MA 02038

MILLER WAYNE M  
46 STONE RIDGE RD  
FRANKLIN, MA 02038

OWEN CHARLES R  
72 STONE RIDGE RD  
FRANKLIN, MA 02038

GURGANUS JAMES JR  
99 STONE RIDGE RD  
FRANKLIN, MA 02038

PRINCE ROGER F  
PRINCE CAROLINE A  
95 STONE RIDGE RD  
FRANKLIN, MA 02038

BRADIE GERALD I TR  
THE BRADIE FAMILY TRUST  
61 STONE RIDGE RD  
FRANKLIN, MA 02038

GREENBLATT JENNA R  
BLYUM VYACHESLAV J  
81 CHASE RUN  
STOUGHTON, MA 02072

PROTZE SANDRA S TR  
SANDRA S PROTZE REV TRUST  
159 STONE RIDGE RD  
FRANKLIN, MA 02038

TOLLAND ALAN M  
122 STONE RIDGE RD  
FRANKLIN, MA 02038

BOWLES SHARON K  
105 STONE RIDGE RD  
FRANKLIN, MA 02038

COLACE AMANDA  
111 STONE RIDGE RD  
FRANKLIN, MA 02038

BARROW LESLIE  
YOUNG ROBERT P  
12 STONE RIDGE RD  
FRANKLIN, MA 02038

LEDWITH MARY C  
82 STONE RIDGE RD  
FRANKLIN, MA 02038

SILVIA JOSEPH C  
SILVIA LORRAINE  
34 STONE RIDGE RD  
FRANKLIN, MA 02038

ENNIS BARBARA L  
18 STONE RIDGE RD  
FRANKLIN, MA 02038

PELLAND STEVE  
PELLAND CANDICE F  
51 STONE RIDGE ROAD  
FRANKLIN, MA 02038

MELLOR EILEEN F  
366 MUCCIARONE RD  
FRANKLIN, MA 02038

GUYETTE LESLIE A  
125 STONE RIDGE RD  
FRANKLIN, MA 02038

BURKE NANCY E  
87 STONE RIDGE RD  
FRANKLIN, MA 02038

DOZOIS JOANN  
79 STONE RIDGE RD  
FRANKLIN, MA 02038

PAI RATNAKAR  
PAI VIDYA  
15 STONE RIDGE RD  
FRANKLIN, MA 02038



SANFORD PAMELA J TR  
PAMELA J SANFORD LIV TRUS  
146 STONE RIDGE RD  
FRANKLIN, MA 02038

SAWYER JASON C  
SAWYER LISA  
63 STONE RIDGE RD  
FRANKLIN, MA 02038

EGAN DENNIS M  
EGAN KATHLEEN A  
7 STONE RIDGE RD  
FRANKLIN, MA 02038

SCHWARTZ JEFFREY L  
73 STONE RIDGE RD  
FRANKLIN, MA 02038

LAUGHRAN KATHLEEN  
74 STONE RIDGE RD  
FRANKLIN, MA 02038

DAMORE LISA  
SHELDON LAURA  
13 IRIS CIR  
MANALAPAN, NJ 07726

OPPENHEIM ESTATE OF SARA  
C/O BARBARA E GILLMEISTER  
25 BOYDEN RD  
WRENTHAM, MA 02093

SPIEGEL DANIEL B  
59 STONE RIDGE RD  
FRANKLIN, MA 02038

GORDON STEVEN J  
135 STONE RIDGE RD  
FRANKLIN, MA 02038

SWEENEY PHILIP T  
SWEENEY JENNIFER ANDERSEN  
131 STONE RIDGE RD  
FRANKLIN, MA 02038

STEWART HELEN L  
STEWART DAVID H JR  
147 STONE RIDGE RD  
FRANKLIN, MA 02038

WARD MAUREEN A  
127 STONE RIDGE RD  
FRANKLIN, MA 02038

BISHOP JOSEPH  
HADLEY MARGARET  
118 STONE RIDGE RD  
FRANKLIN, MA 02038

SAPORETTI BARBARA A  
33 STONE RIDGE RD  
FRANKLIN, MA 02038

KOWALCZYK VIRGINIA  
121 STONE RIDGE ROAD  
FRANKLIN, MA 02038

LOVETT THOMAS  
LOVETT PAULA  
128 STONE RIDGE RD  
FRANKLIN, MA 02038

PRENTICE JANICE K  
126 STONE RIDGE RD  
FRANKLIN, MA 02038

BONNER STEPHEN D  
16 STONE RIDGE RD  
FRANKLIN, MA 02038

MCBRIDE-WENDELL AMY TR  
AMY MCBRIDE-WENDELL TRUST  
41 OCTOBER DR  
FRANKLIN, MA 02038

WILSON DIANNE M  
77 STONE RIDGE RD  
FRANKLIN, MA 02038

MCNIFF CATHERINE ANN TRS  
THE MCNIFF FRANKLIN REALT  
134 STONE RIDGE RD  
FRANKLIN, MA 02038

WINTERS CAROL A  
28 STONE RIDGE RD  
FRANKLIN, MA 02038

MICCILE SCOTT  
MICCILE KIMBERLY  
70 STONE RIDGE RD  
FRANKLIN, MA 02038

LOCONZOLO DEBRA  
117 STONE RIDGE RD  
FRANKLIN, MA 02038

COFFMAN JOANNE K  
114 STONE RIDGE RD  
FRANKLIN, MA 02038

PORTMANN MEGHAN K  
80 STONE RIDGE RD  
FRANKLIN, MA 02038

COAKLEY PATRICIA B  
116 STONE RIDGE RD  
FRANKLIN, MA 02038

DEMICHELE VANESSA J  
67 STONE RIDGE RD  
FRANKLIN, MA 02038

CENTOLA DANIEL H  
9 NORTH MAIN ST UNITB  
MEDWAY, MA 02053

GEPHARDT BETTY ANN  
9 STONE RIDGE RD  
FRANKLIN, MA 02038



IACOVELLI CAROLYN M  
47 MADDEN AVE  
MILFORD, MA 01757

FARROW DENISE E  
FARROW KELLIE N  
21 STONE RIDGE RD  
FRANKLIN, MA 02038

ROSINE CAROL  
119 STONE RIDGE RD  
FRANKLIN, MA 02038

MARCUS JOSEPH A  
MARCUS JUNE M  
145 STONE RIDGE RD  
FRANKLIN, MA 02038

MEYERS LAURA R  
BIBBO RUTH  
140 STONE RIDGE RD  
FRANKLIN, MA 02038

PERKINS JAMES C  
PERKINS GERALDINE E  
10 STONE RIDGE RD  
FRANKLIN, MA 02038

YORRA SAMANTHA  
123 STONE RIDGE RD  
FRANKLIN, MA 02038

BRIGGS DAVID J  
BRIGGS EILEEN M  
78 STONE RIDGE RD  
FRANKLIN, MA 02038

AWTANI JAYESH  
113 STONE RIDGE RD  
FRANKLIN, MA 02038

COHEN SHARON L  
WEILANDT DANIEL J  
25 STONE RIDGE RD  
FRANKLIN, MA 02038

EVANS ROBERT J & JOY A TR  
ROBERT J EVANS REVOC TRUS  
17 DRIVER LN  
MASHPEE, MA 02649

LERCH ERICA  
130 STONE RIDGE RD  
FRANKLIN, MA 02038

GORDON JOHN A  
17 STONE RIDGE RD  
FRANKLIN, MA 02038

MCMANUS DONNA S  
64 STONE RIDGE RD  
FRANKLIN, MA 02038

ALCAREZ AGNES G  
124 STONE RIDGE RD  
FRANKLIN, MA 02038

KNOWLES MARCIA A  
115 STONE RIDGE RD  
FRANKLIN, MA 02038

MAHONEY MARY B  
62 STONE RIDGE RD  
FRANKLIN, MA 02038

BOUTROS AMANI  
24 STONE RIDGE RD  
FRANKLIN, MA 02038

IGO DANIEL J  
KRAMER KIMBERLY  
71 STONE RIDGE RD  
FRANKLIN, MA 02038

HALL DEBORAH BAKIN  
HALL, KELLY C & RYAN J HA  
139 STONE RIDGE RD  
FRANKLIN, MA 02038

SPINA LUCAS J  
SPINA KAITLINE E  
136 STONE RIDGE RD  
FRANKLIN, MA 02038

KNOX ERIC R  
139 KING ST #302  
FRANKLIN, MA 02038

MATTAR CHERYL  
6 STONE RIDGE RD  
FRANKLIN, MA 02038

DAVIS TRACY  
75 STONE RIDGE RD  
FRANKLIN, MA 02038

REGAN NORMA ANN  
5 STONE RIDGE RD  
FRANKLIN, MA 02038

RITTER JOHN J  
29 STONE RIDGE  
FRANKLIN, MA 02038

CAPUTO THOMAS J  
8 STONE RIDGE RD  
FRANKLIN, MA 02038

DAVIDSON JACK T  
DAVIDSON TAMARA REID  
4 STONE RIDGE RD  
FRANKLIN, MA 02038

GALVIN PETER L  
133 STONE RIDGE RD  
FRANKLIN, MA 02038

LYONS MAUREEN L  
112 STONE RIDGE RD  
FRANKLIN, MA 02038



HALPERN RICHARD  
HALPERN ARLYN  
129 STONE RIDGE RD  
FRANKLIN, MA 02038

RODEGHIERO J SCOTT J/T  
RODEGHIERO AISLYNN E J/T  
27 STONE RIDGE RD  
FRANKLIN, MA 02038

FRANKLIN LIMITED PARTNERS  
C/O IRON MOUNTAIN  
ONE FEDERAL ST  
BOSTON, MA 02110

HENDERSON MARY A  
144 STONE RIDGE RD  
FRANKLIN, MA 02038

TREANOR NEAL J  
TREANOR GRETCHEN K  
60 STONE RIDGE RD  
FRANKLIN, MA 02038

KLAWSON RACHEL H  
19 STONE RIDGE RD  
FRANKLIN, MA 02038-3103

STONE RIDGE WEST CONDOMIN  
C/O ADVANCED CONDOMINIUM  
40 MECHANIC ST  
FOXBORO, MA 02035

SCHWARTZ RONNI  
58 STONE RIDGE RD  
FRANKLIN, MA 02038

HUGHES MINNE S  
3 STONE RIDGE RD  
FRANKLIN, MA 02038

SMITH RITA L/E  
SCUDERI KELLY ANN  
120 STONE RIDGE RD  
FRANKLIN, MA 02038

CARMODY ANN  
143 STONE RIDGE RD  
FRANKLIN, MA 02038

APEIRON PROPERTIES LLC  
33 BROAD ST, STE 1100  
BOSTON, MA 02109

SELLARS KARA L  
76 STONE RIDGE RD  
FRANKLIN, MA 02038

BIDNER CAROL J  
30 STONE RIDGE RD - UNIT 30  
FRANKLIN, MA 02038-3105

HARRIGAN JUDITH M  
1 STONE RIDGE RD  
FRANKLIN, MA 02038

GOLDMAN LEONARD E  
GOLDMAN CAROL G  
26 STONE RIDGE RD  
FRANKLIN, MA 02038

CAPACHIN ALICE W  
138 STONE RIDGE RD  
FRANKLIN, MA 02038

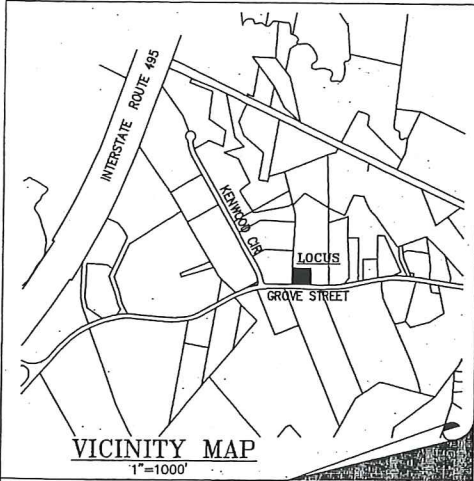
FIORAVANTE LINDA M  
142 STONE RIDGE RD  
FRANKLIN, MA 02038

OROURKE RYAN  
32 STONE RIDGE RD  
FRANKLIN, MA 02038

BETTS JONATHAN A  
2 STONE RIDGE RD  
FRANKLIN, MA 02038

CLINTON MARK C  
20 STONE RIDGE RD  
FRANKLIN, MA 02038





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MAR 3 2020  
PLANNING DEPT.

INDUSTRIAL		
FRANKLIN ZONING BYLAW SECTION 185		
ATTACHMENT 9, LAST AMENDED		
11-16-2016 BY AMENDMENT 16-771		
MINIMUM LOT AREA	REQUIRED 40,000 SF	EXISTING 42,705 SF
MINIMUM LOT FRONTAGE	175'	230.77'
MINIMUM LOT DEPTH	200'	190.80'
MINIMUM LOT WIDTH	157.5'	189.80'
MINIMUM YARDS:		
FRONT	40'	53.8'
SIDE	30'	38.9'
REAR	30'	75.5'
% OF LOT UPLAND COVERED BY:		
STRUCTURES	70	16.9
STRUCTURES+PAVING	80	60.1

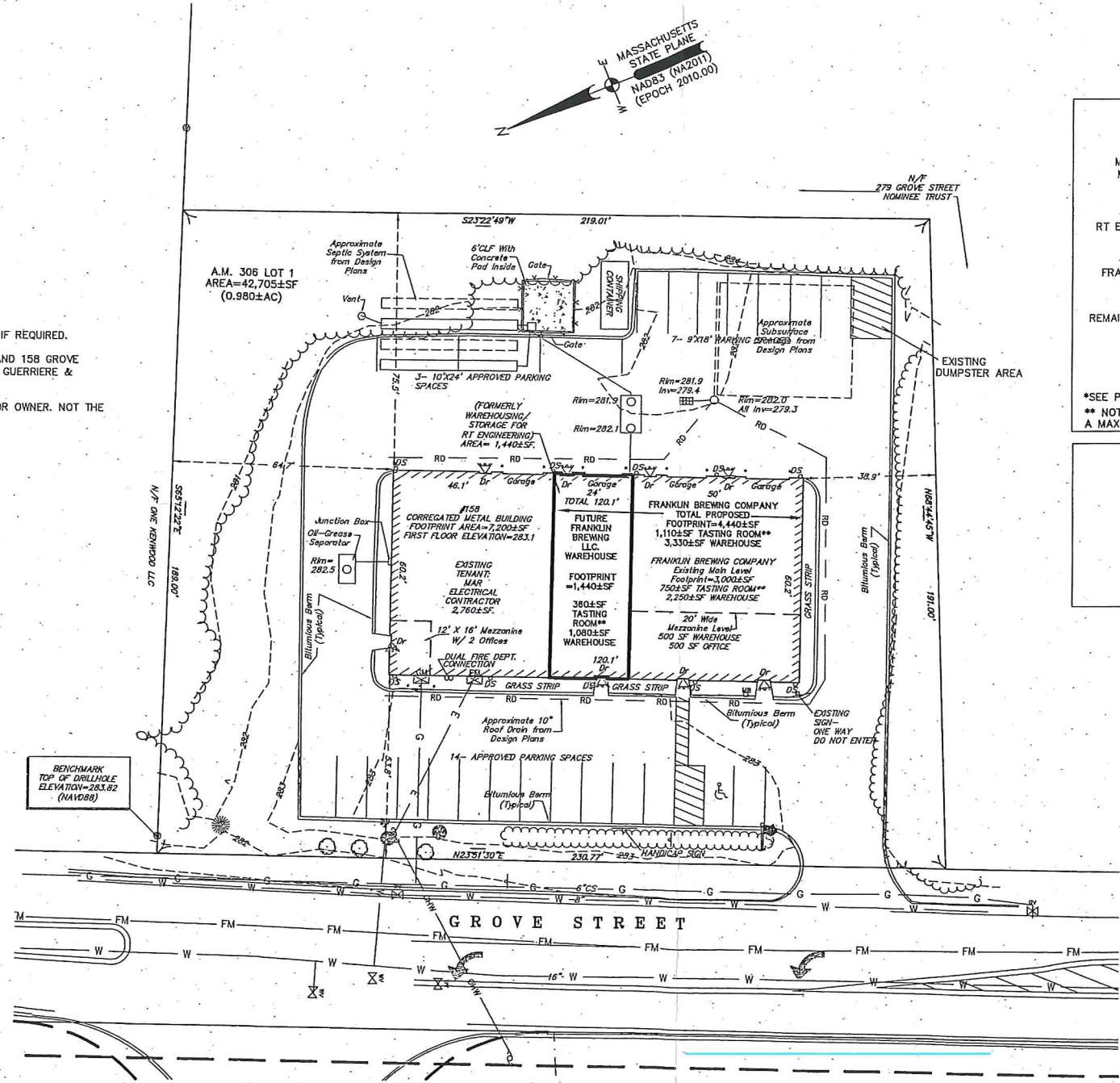
\*INCREASE BY THE COMMON BUILDING HEIGHT OF THE STRUCTURE WHEN ABUTTING A RESIDENTIAL DISTRICT OR USE.



APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
BEING A MAJORITY

NOTES

1. THIS SITE IS NOT IN A FLOOD HAZARD ZONE.
2. REFER TO FRANKLIN ASSESSORS MAP 306 LOT 001.
3. THIS SITE IS NOT IN A WATER RESOURCE DISTRICT.
4. THE ARCHITECT WILL PROVIDE PLANS AND CALCULATIONS FOR FIRE PROTECTION IF REQUIRED.
5. SEE PLAN ENTITLED 'FRANKLIN BREWING COMPANY CHANGE IN USE PLAN OF LAND 158 GROVE STREET, FRANKLIN, MASS.' DATED APRIL 23, 2019, LAST REVISED JULY 8, 2019 BY GUERRIERE & HALNON AND ENDORSED BY THE PLANNING BOARD AUGUST 5, 2019.
6. EXISTING AND PROPOSED INTERIOR DIMENSIONS PROVIDED BY APPLICANT AND/ OR OWNER. NOT THE RESULT OF THIS ON-GROUND SURVEY BY GUERRIERE & HALNON, INC.
7. THERE ARE CURRENTLY 24 PARKING SPACES WITH DIMENSIONS SHOWN HEREON.



EXISTING REQUIRED PARKING AND USES NOTES

MAR ELECTRICAL CONTRACTORS AREA= 2760±SF.  
MAR ELECTRICAL CONTRACTORS- INDUSTRIAL 1 SPACE/400SF=7 SPACES  
OFFICE MEZZ.-16' X 12'=192±SF 1/250 =1 SPACE  
TOTAL FOR MAR ELECTRICAL=8 SPACES  
RT ENGINEERING AREA=1440±SF- WAREHOUSE 1 SPACE/1000SF= 2 SPACES  
TOTAL FOR RT ENGINEERING=2 SPACES

FRANKLIN BREWING COMPANY  
EXISTING MAIN LEVEL (3,000±SF)  
TASTING ROOM-750± \*\*SEE NOTE BELOW = 13 SPACES  
REMAINING MAIN FLOOR SPACE-2,250±SF WAREHOUSE 1/1000 = 3 SPACES  
EXISTING MEZZANINE LEVEL (1,000±SF)  
500±SF OFFICE SPACE 1/250 = 2 SPACES  
500±SF WAREHOUSE 1/1000 = 1 SPACE  
TOTAL FOR FRANKLIN BREWING COMPANY = 19 SPACES  
\*SEE PARKING DETERMINATION ALLOWING 24 PARKING SPACES  
\*\* NOTE: PER THE BOARD OF HEALTH, THE TASTING ROOM IS RESTRICTED TO A MAXIMUM OF 39 SEATS.

PROPOSED PARKING NOTES

FRANKLIN BREWING COMPANY  
(SPACE FORMERLY OCCUPIED BY RT ENGINEERING)  
(1,440±SF)  
FUTURE FRANKLIN BREWING TOTAL WAREHOUSE AREA= 1,080±SF.  
FUTURE FRANKLIN BREWING TOTAL TASTING ROOM AREA=360± SF.  
TOTAL PROPOSED SPACES REQUIRED BY FRANKLIN BREWING 2 SPACES  
TOTAL PARKING APPROVED 2019 FOR EXISTING USES= 24 SPACES  
TOTAL PARKING PROVIDED= 24 SPACES

LEASE AGREEMENT FOR UP TO 13 SPACES FROM MONDAY - FRIDAY.  
ADDITIONAL SPACES AVAILABLE ON WEEKENDS.  
PREVIOUSLY APPROVED BREWERY HOURS OF OPERATION:  
MONDAY & TUESDAY - CLOSED  
WEDNESDAY THRU FRIDAY - 4:30PM TO 10:00PM  
SATURDAY - 12:00PM TO 10:00PM  
SUNDAY - 12:00PM TO 7:00PM

NOTE:  
A SPECIAL PERMIT FOR A BREWERY WITH TASTING ROOM UNDER 185 ATTACHMENT 4 USE REGULATIONS SCHEDULE PART III.13 WAS APPROVED BY THE PLANNING BOARD JULY 8, 2019.

PURPOSE OF THIS PLAN

- REQUEST A CHANGE OF USE AND AMEND THE SPECIAL PERMIT FROM THE PLANNING BOARD:
1. TO EXPAND FOOTPRINT OF SPACE TO INCLUDE AN ADDITIONAL 1,440±SF., COMPLYING WITH A MAXIMUM SEAT LIMIT OF 39 PER THE BOARD OF HEALTH.
  2. TO EXTEND THE HOURS OF OPERATIONS BY ADDING TUESDAY EVENINGS OPEN FROM 4:30PM-10:00PM.
  3. TO ALLOW LIVE ENTERTAINMENT.

LEGEND

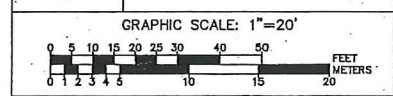
⊗	CATCH BASIN	⊕	UTILITY POLE
⊙	DRAIN MANHOLE	—	GUY WIRE
⊖	ELECTRIC MANHOLE	—	SEWER LINE
⊗	SEWER MANHOLE	—	DRAIN LINE
—	GAS VALVE	—	WATER LINE
—	GAS SHUT OFF VALVE	—	GAS LINE
—	WATERGATE	—	UNDERGROUND ELECTRIC
—	WATER SHUT OFF VALVE	—	OVERHEAD WIRE
—	FIRE HYDRANT	—	ELECTRIC METER
⊗	SHRUB	Dr	DOOR
⊗	TREE		
—	EXISTING WALL PAC		

LEGAL NOTES  
UTILITIES ARE PLOTTED AS A COMPILATION OF RECORD DOCUMENTS, MARKINGS AND OTHER OBSERVED EVIDENCE. IT IS THE VIEW OF THE UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED APPROXIMATE. ANY EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY COMPLETELY AND RELIABLY DETERMINED. ADDITIONAL UTILITIES, NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS (IN ACCORDANCE WITH MASS.G.S. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DIGSAFE AT 1(888)DIG-SAFE(7233).

OWNER  
GROVE STREET REALTY TRUST  
ALBERT G. LEWIS, TRUSTEE  
7 UNCAS BROOK ROW  
FRANKLIN, MA 02038  
DEED BOOK 10619 PAGE 541  
PLAN NO. 495 OF 1994 PLAN BK. 423  
A.M. 306 LOT 1

APPLICANT  
OLIVER EDUARD  
8 BRIAN ROAD  
FRANKLIN, MA 02038  
FRANKLIN BREWING COMPANY  
LIMITED SITE AND SPECIAL PERMIT PLAN  
158 GROVE STREET  
FRANKLIN MASSACHUSETTS

FEBRUARY 21, 2020	
DATE	REVISION DESCRIPTION



Guerriere & Halnon, Inc.  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gandhengineering.com





# TOWN OF FRANKLIN

## DEPARTMENT OF PUBLIC WORKS

Franklin Municipal Building  
257 Fisher Street  
Franklin, MA 02038-3026

March 12, 2020

Mr. Anthony Padula, Chairman  
Members of the Franklin Planning Board  
355 East Central Street  
Franklin, MA 02038

**RE: Limited Site Plan Modification/Special Permit Modification – #158 Grove St**

Dear Mr. Chairman and Members:

We have reviewed the submitted materials for the subject project and do not have any comments as the proposal is limited to interior work only and there is no exterior site work proposed at this time.

Should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

Michael Maglio, P.E.  
Town Engineer





**FRANKLIN PLANNING & COMMUNITY  
DEVELOPMENT**

355 EAST CENTRAL STREET, ROOM 120  
FRANKLIN, MA 02038-1352  
TELEPHONE: 508-520-4907

**MEMORANDUM**

**DATE:** April 29, 2020  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** 158 Grove Street  
Special Permit & Site Plan Modification

---

The DPCD has reviewed the above referenced Site Plan application for the Monday, May 4, 2020 Planning Board meeting and offers the following commentary:

**General:**

- The applicant seeks a Special Permit and Site Plan Modification to expand the Brewery and Tasting room at 158 Grove Street.
- The following letters have been received:
  - Letter dated March 12, 2020 from the Town Engineer
- Special Permit findings are included in the application and are provided with the application in the notebook.

**Comments:**

1. The Applicant is proposing to expand the footprint by 1,440 sq/ft, giving the Brewery with Tasting area a total of 4,440 sq/ft. The tasting room allowed to be 25% of the total footprint. The Applicant is proposing a tasting room of 1,110, which is 25% of the total area.
2. The Applicant is requesting to allow live entertainment. The applicant has provided a proposal for the entertainment.
3. The Applicant is requesting to extend the hours of operation, by adding Tuesday evenings 4:30PM- 10:00PM.



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MAR 3 2020

PLANNING DEPT.

# APPLICATION FOR APPROVAL OF A SITE PLAN (LIMITED) AND SPECIAL PERMIT(S)

To the Franklin Planning Board:

The undersigned, herewith, submits the accompanying Site Plan entitled "FRANKLIN BREWING COMPANY LIMITED SITE & SPECIAL PERMIT" and Special Permit(s) for 158 GROVE STREET 46 OLIVIER EDOUARD and requests approval for under the provisions of the Zoning By-Laws of the Town of Franklin covering Site Plans and Special Permits.

1. Name of Applicant: Franklin Brewing Company LLC, c/o Olivier Edouard  
Address of Applicant: 8 Brian Road Franklin, MA. 02038  
Phone No.: 617.650.5914 Email: Olivier.l.edouard@gmail.com

2. Name of Owner (if not the Applicant): Grove Street Realty Trust  
Address of Owner: 7 Uncas Brook Row, Franklin, MA.  
Phone No.: 781.551.8888 ex.16 Email: dl@athenticre.com

3. Name of Engineer: Guerriere & Halnon, Inc.  
Address of Engineer: 55 West Central St. Franklin, MA. 02038  
Phone No.: 508.528.3221 Email: acavaliere@gandhengineering.com

1. Deed of Property recorded with Norfolk Registry of Deeds in Book 10619, Page 514, (or Certificate of Title No.                     )

2. Location and Description of Property:  
Existing building located on Grove Street. Stand alone single story industrial/flex property situated on approx. 1 acre built in 1997.

Zoning District: Industrial Zone

Assessor's Map: 306 Lot: 1

Square Footage of Building(s): 7200

Impervious Coverage of Existing Upland: 25,901 sf. (60.1%)

3. Purpose of Site Plan:  
Change in Use- Expanding leased area an additional 1,440 sf. (formerly RT Engineering Warehouse)

4. Special Permit(s) Requested:  
To expand the square footage of the Tasting Room., complying with the Certificate of Vote allowing a maximum seating of 39 seats per the Board of Health

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2020 MAR -4 A 9:03

TOWN OF FRANKLIN  
TOWN CLERK



5. Special Permit Criteria: please provide on a separate document, written findings for special permit criteria a-g for each special permit being requested. Criteria are listed below. Applications will not be accepted until findings are submitted.

Chapter 185, Section 45.E

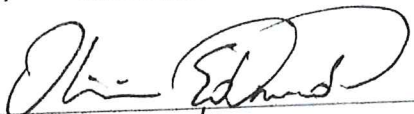
(3). Findings. Special permits shall be granted by the special permit granting authority only upon its written determination that the proposed use will not have adverse effects which overbalance its beneficial effects on either the neighborhood or the Town, in view of the particular characteristics of the site and of the proposal in relation to that site. This determination shall be in addition to the following specific findings:


- (a) Proposed project addresses or is consistent with neighborhood or Town need.
- (b) Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.
- (c) Public roadways, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.
- (d) Neighborhood character and social structure will not be negatively impacted.
- (e) Project will not destroy or cause substantial damage to any environmentally significant natural resource, habitat, or feature or, if it will, proposed mitigation, remediation, replication, or compensatory measures are adequate.
- (f) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.
- (g) Water consumption and sewer use, taking into consideration current and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.

6. Other issues requiring Planning Board Consideration: \_\_\_\_\_

7. A certified list (by Office of the Assessors) of abutters within 300 feet of the site is also submitted with the application.

8. Certificate of Ownership.

  
\_\_\_\_\_  
Signature of Applicant

  
\_\_\_\_\_  
Signature of Owner

Olivier Edouard

Print Name of Applicant



Print Name of Owner



CERTIFICATE OF OWNERSHIP

RECEIVED  
MAR 3 2020  
PLANNING DEPT.

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:

Type of Plan (circle one)      ANR 81-P; Preliminary Subdivision

Definitive Subdivision.; Limited  
Site Plan;      Special Permit

Title of Plan: FRANKLIN BREWING COMPANY LIMITED SITE PLAN  
AND SPECIAL PERMIT PLAN 150 GROVE STREET FRANKLIN, MA.

Date of Plan: FEB. 21, 2020      Assessor's Information: A.M. 306 Lot 1

Prepared by: Guerriere & Halnon, Inc.

Applicant Name & Address: Franklin Brewing Company LLC  
8 Brian Road  
Franklin, MA 02038

SECTION B:

Name of Record Owner(s): Grove Street Realty Trust

Address of Record Owner(s): 7 Uncas Brook Row

Franklin, MA 02038

**\*\*Attach Property Deed matching the owner name's listed above.**

\*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):  
Albert Lewis and Dee Lewis

\*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation:

Al Dee Lewis

\*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation:




Executed as a sealed instrument this 18<sup>th</sup> day of February 2020  
Signature of Applicant [Signature] Print name of Applicant Olivier Edouard  
Signature of Owner [Signature] Print name of Owner AL Lewis

COMMONWEALTH OF MASSACHUSETTS

Norfolk ss. 2020

On this 18<sup>th</sup> day of February 2020, before me, the undersigned notary public, personally appeared Olivier Edouard / Albert Lewis (name of owner), proved to me through satisfactory evidence of identification, which were MOL to be the person whose name is signed on the preceding document in my presence.

[Signature]  
(Official signature and seal of notary)  
Notary Public:  
My Commission Expires: \_\_\_\_\_

 JOANNE M. TALAMINI  
Notary Public  
Commonwealth of Massachusetts  
My Commission Expires February 13, 2026



Chapter 185, Section 45E Special Permit Criteria  
Limited Site Plan Modification and Special Permit  
Franklin Brewing Company, LLC  
158 Grove Street  
Franklin, Massachusetts

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MAR 3 2020  
PLANNING DEPT.

Chapter 185, Section 45.E

(3). Findings. Special permits shall be granted by the special permit granting authority only upon its written determination that the proposed use will not have adverse effects which overbalance its beneficial effects on either the neighborhood or the Town, in view of the particular characteristics of the site and of the proposal in relation to that site. This determination shall be in addition to the following specific findings:

- (a) Proposed project addresses or is consistent with neighborhood or Town need.

*A Special Permit and Site Plan for 158 Grove Street with a proposed use to operate a brewery with a tasting room was approved by the Planning Board on July 8, 2019. The intent of the proposed project is consistent with the neighborhood. The intent is to expand the Franklin Brewing Company footprint to the abutting area consisting of approximately 1,440 +/- sf.*

- (b) Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.

*Vehicular traffic flow, access and parking and pedestrian safety have been properly addressed under the previous approval and no exterior improvements are proposed with the expansion.*

- (c) Public roadways, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.

*No improvements proposed with expansion as the space will be utilized for additional warehouse and production space. Public roadways, drainage, utilities and other infrastructure are adequate to accommodate the proposed expansion.*

- (d) Neighborhood character and social structure will not be negatively impacted.

*Neighborhood character and social structure will not be negatively impacted. The additional footprint will be utilized for storage/warehouse for the brewery.*

- (e) Project will not destroy or cause substantial damage to any environmentally significant natural resource, habitat, or feature or, if it will, proposed mitigation, remediation, replication, or compensatory measures are adequate.

*Not anticipated*

- (f) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.

*Not anticipated. See live music proposal attached.*

- (g) Water consumption and sewer use, taking into consideration current and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.

*Increase to water consumption or wastewater use is not anticipated.*



F-4280-1  
**Special Permit Modification Application**  
**Operate a Brewery with Tasting Room**  
**For**  
**Franklin Brewing Company, LLC – 158 Grove Street**  
**February 27, 2020**

***Applicant:*** Franklin Brewing Company, LLC, 8 Brian Road Franklin, Massachusetts  
***Owner:*** Grove Street Realty Trust, c/o Albert Lewis, 7 Uncas Brook Row, Franklin  
Massachusetts

**Request for Special Permit approval: §185-Use Regulation Schedule Part III 3.13.**

To allow by Special Permit Modification to amend the Certificate of Vote that was approved July 8, 2019 by the Planning Board for the Franklin Brewing Company, LLC. On behalf of the Applicant, we are proposing to amend the project description and hours of operation, as well as Special Condition of Approval No. 5 to allow live entertainment under the Amended Special Permit as shown on the Plan entitled: **"Franklin Brewing Company Special Permit and Limited Site Plan for Change In Use Plan of Land 158 Grove Street Franklin Massachusetts dated February 21, 2020"** prepared by Guerriere & Halnon, Inc, 55 West Central Street Franklin, MA 02038.

**SPECIAL PERMIT APPROVAL**

1. **Special Permit Approval Requirements under §185-45(E) of the Zoning By-Laws,**  
**states in part:**

*Criteria: Special Permits shall be granted by the special permit granting authority only upon its written determination that the proposed use will not have adverse effects which overbalance its beneficial effects on either the neighborhood or the Town, in view of particular characteristics of the site and of the proposal in relation to that site. This determination shall be in addition to the following specific findings:*

- (a) *Proposed project addresses or is consistent with neighborhood or Town need.*  
*See Attached*  
*See Attached Findings – Separate Document*
- (b) *Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.*  
*See Attached Findings – Separate Document*
- (c) *Public roadways, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.*  
*See Attached Findings – Separate Document*
- (d) *Neighborhood character and social structure will not be negatively impacted.*  
*See Attached Findings – Separate Document*



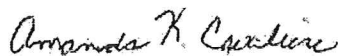
(e) Project will not destroy or cause substantial damage to any environmentally significant natural resource, habitat, or feature or, if it will, proposed mitigation, remediation, replication, or compensatory measures are adequate.  
***See Attached Findings – Separate Document***

(f) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.  
***See Attached Findings – Separate Document***

(g) Water consumption and sewer use, taking into consideration current and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.  
***See Attached Findings – Separate Document***

**WHEREFORE,** The Applicant respectfully requests that the Planning Board grant to amend the SPECIAL PERMIT to allow revisions to the project description and hours of operation, as well as Special Condition of Approval No. 5 to allow live entertainment under the Amended Special Permit as shown on the Plan entitled: "Franklin Brewing Company Special Permit and Limited Site Plan for Change In Use Plan of Land 158 Grove Street Franklin Massachusetts dated February 21, 2020" prepared by Guerriere & Halnon, Inc. 55 West Central Street Franklin, MA 02038.  
Dated: **February 27, 2020**

Respectfully Submitted,



Amanda K. Cavaliere  
Office Manager, Franklin  
Guerriere & Halnon, Inc  
55 West Central Street  
Franklin, MA 02038

(508) 528-3221





## **Proposal for Live Music Entertainment**

### **Introduction**

67 Degrees Brewing is seeking to offer live musical entertainment in its taproom. Musical entertainment at 67 Degrees Brewing taproom will enhance the experience of our patrons which has become a staple of breweries across New England and around the country. The light instruments that will be used will produce minimal noise impact to abutters due to 67 Degrees Brewing's: 1) location; 2) hours of operation; and 3) instituting noise management policies and procedures.

### **Location**

67 Degrees Brewing is located on a major roadway in the Industrial District where there are no abutting residences in the area but only industrial properties. The nearest residential property is located more than 2600 feet in either direction from 67 Degrees Brewing. As such, noise emanating from 67 Degrees Brewing will not have detrimental impacts on abutters.

Sound from a non-amplified acoustic guitar is 80 decibel (DB) which is similar to a telephone dial tone, hence it is very unlikely anyone would be able to hear or discern sound coming from the brewery.

### **Hours of Operation**

67 Degrees Brewing's peak business hours will take place outside of the ordinary business hours of the surrounding businesses. 67 Degrees Brewing's business hours are the following:

Tuesday -Friday: 4:30pm - 10pm

Saturday: 12pm – 10pm

Sunday: 12pm – 7pm

Weekday performances will typically begin after 5pm, further reducing the impact of noise emanating from the property.

### **Noise Management Policies and Procedures**

Though 67 Degrees Brewing is not located in close proximity to other residential properties, 67 Degrees Brewing will take measures to ensure that the noise level at the facility is reasonable. The maximum noise level for a modern acoustic guitar is around 80 decibels (dB) (Robinson, 2008). The noise level of a singer singing loudly is 70dB, a piano approximately 70dB, and violin around 72dB (Eastern Kentucky University, 2018).

Multiple sound sources may increase the noise level created, depending on the number of sources, their relative volume, and the ambient area. (Engineering Toolbox, 2003).

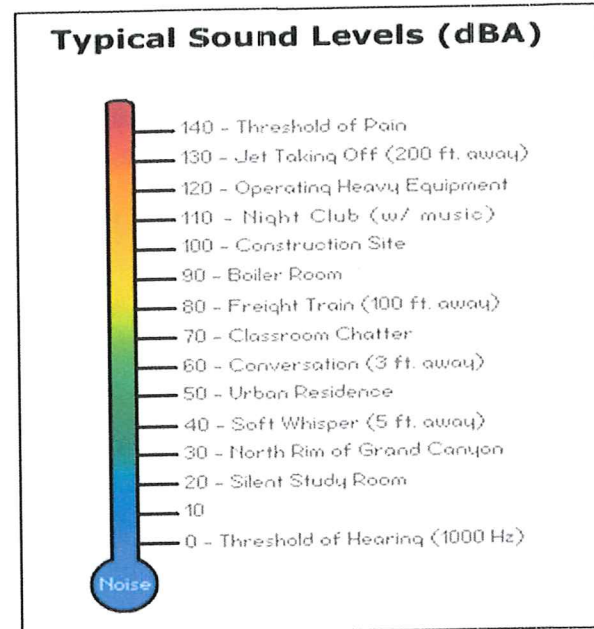
For example, music or sound in a metropolitan or downtown area are amplified at a greater level due to vehicular traffic, wind, surrounding activities, etc. than in a contained venue like a brewery, restaurant, or warehouse.

The figures below illustrate typical noise levels and demonstrate how the noise level of multiple sound sources is calculated (Engineering Toolbox, 2003).





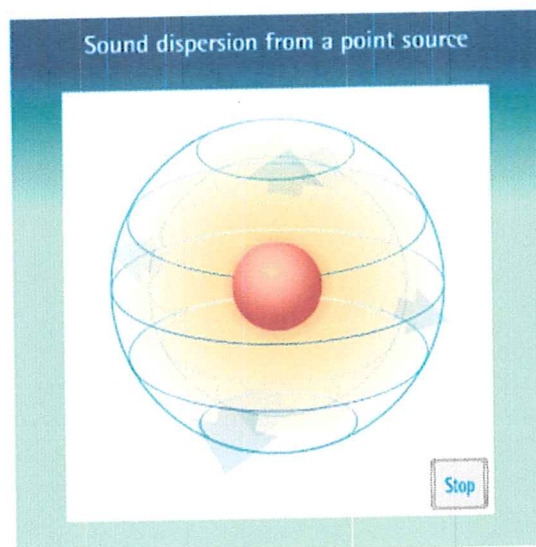
Number of Sources	Increase in sound Power Level
2	3
3	4.8
4	6
5	7
10	10
15	11.8



For example:

Adding the noise level of a piano (70 dB), a singer (70 dB) and an acoustic guitar (80 dB) would yield a total noise level of 80.8 dB.

Sound level decreases with distance meaning the decibel level decreases as the sound travels away from its source; this reduction is called attenuation (See figure below). A noise level emanating from a point source decreases by 6 dB per doubling of a distance away from its source. Hence a 80.8 noise level would decrease 3 dB every 100 feet from its source.



Further, the Massachusetts Department of Environmental Protection by code requires all commercial buildings mitigate a noise source by 10 dB at the nearest residence or building.





To put it simply, it would be nearly impossible for light live entertainment to cause any noise nuisance to nearby businesses or neighbors.

67 Degrees Brewing proposes to implement the following policies pertaining to live musical performances:

- All musical acts will stop performing by 9:30, 30 minutes before the proposed closing hour of 10:00pm.
- All necessary permits for live entertainment will be obtained through Town Administration and all live musical performances will abide by the Town's noise ordinance.

In conclusion, we kindly ask the Planning Board to allow live musical entertainment because it will produce minimal impact on abutters due to 67 Degrees Brewing's: 1) location; 2) hours of operation; and 3) noise management policies and procedures.





FRANKLIN BREWING  
COMPANY

## **REFERENCES**

Massachusetts Department of Environmental Protection; Local Regulation of Dust, Noise, Odor, Smoke; <https://www.mass.gov/lists/massdep-air-quality-policies-guidance#local-regulation-of-dust-noise-odor-&-smoke->

Noise Sources and Their Measurement

<https://www.who.int/docstore/peh/noise/Comnoise-2.pdf>

OSHA; How loud is too loud; <https://www.osha.gov/SLTC/noisehearingconservation/loud.html>

Yale University; Decibel level comparison Chart; <https://ehs.yale.edu/sites/default/files/files/decibel-level-chart.pdf>

Robinson, Jacob. "Good Vibrations: A Study of Sound Pressure as a Function of Strum Force in Acoustic Guitars." Brigham Young University, 2008

School of Music, Eastern Kentucky University. "EKU Music Health and Safety Manual." Eastern Kentucky University, 2018

Engineering Toolbox. (2003). *Adding Decibels*. [https://www.engineeringtoolbox.com/adding-decibel-d\\_63.html](https://www.engineeringtoolbox.com/adding-decibel-d_63.html)

Center for Hearing and Communication. (2018). *Common Environmental Noise Levels* <https://chchearing.org/noise/common-environmental-noise-levels/>



## Town of Franklin

TOWN OF FRANKLIN  
TOWN CLERK

2020 MAR 11 A 10:12

RECEIVED



## Planning Board

The following notice will be published in the Milford Daily Newspaper on  
Monday, March 23, 2020 and again on Monday, March 30, 2020

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### FRANKLIN PLANNING BOARD PUBLIC HEARING NOTICE

In accordance with the Town of Franklin Zoning By-Laws, the Franklin Planning Board will hold a public hearing on **Monday, April 6, 2020 at 7:15 PM** in the Town Council Chambers of the Franklin Municipal Building, 355 East Central Street, for a Special Permit & Site Plan Modification application titled "Franklin Brewing Company, LLC" prepared and submitted to the Franklin Department of Planning & Community Development on March 3, 2020 by Franklin Brewing Company, 8 Brian Road, Franklin, MA 02038.

The site is located at 158 Grove Street in the Industrial Zoning District (Assessors Map 306, Lot 001). The purpose of the Site Plan Modification and Special Permit is to increase the square footage by 1,440 sq/ft under §185 Attachment 4, Use Regulations Schedule Part III, Section 3.13 – Brewery with Tasting Room.

Copies of the plan and supporting documentation may be reviewed in the Department of Planning & Community Development during regular office hours.

**Please note:** This will be your only written notice of this public hearing. Should the Planning Board vote to continue this Public Hearing, the date and time will be posted on the Planning Board's website under Agendas.

Please contact the Department of Planning & Community Development at (508) 520-4907 if you require further information or if you need to make arrangements to provide translation services for the hearing impaired, or for persons with language barriers.

Anthony Padula, Chairman



SIDHU KANWARJIT S  
SIDHU SURINDERPAL  
1411 MILLER RD  
CORAL GABLES, FL 33146-2307

RCG KENWOOD LLC  
C/O REGENCY WAREHOUSE  
5 KENWOOD CIR  
FRANKLIN, MA 02038

KENWOOD PROPERTIES LLC  
63 CENTRE ST  
DOVER, MA 02030

LEWIS ALBERT G, TR  
GROVE STREET REALTY TRUST  
7 UNCAS BROOK ROW  
FRANKLIN, MA 02038

HENNEP PROPERTIES LLC  
200 BROOKLINE AVE #508  
BOSTON, MA 02215

CHARLEY2017 LLC  
7 MYRTLE ST  
NORFOLK, MA 02056

TRPF 157 165 GROVE ST LLC  
C/O TH REAL ESTATE  
730 THIRD AVE 4TH FLOOR  
NEW YORK, NY 10017

161 GROVE LLC  
13 WHEELING AVE  
WOBURN, MA 01801

TRPF 157 165 GROVE STREET  
C/O TH REAL ESTATE  
730 THIRD AVE 4TH FLOOR  
NEW YORK, NY 10017



# SITE DEVELOPMENT PLANS

FOR

## 176– 210 GROVE STREET FRANKLIN, MA

FEBRUARY 14, 2020

SHEET INDEX						
SHEET No.	DESCRIPTION	LATEST REVISED DATE	CONSTRUCTION	REVISIONS		
1	COVER SHEET					
2	OVERALL LAYOUT PLAN					
3	EXISTING CONDITIONS PLAN					
4	LAYOUT PLAN					
5	GRADING PLAN					
6	SEWER, DRAIN PLAN					
7	UTILITY PLAN					
8	DETAIL SHEET					
9	DETAIL SHEET					
10	DETAIL SHEET					

### OWNER/APPLICANT:

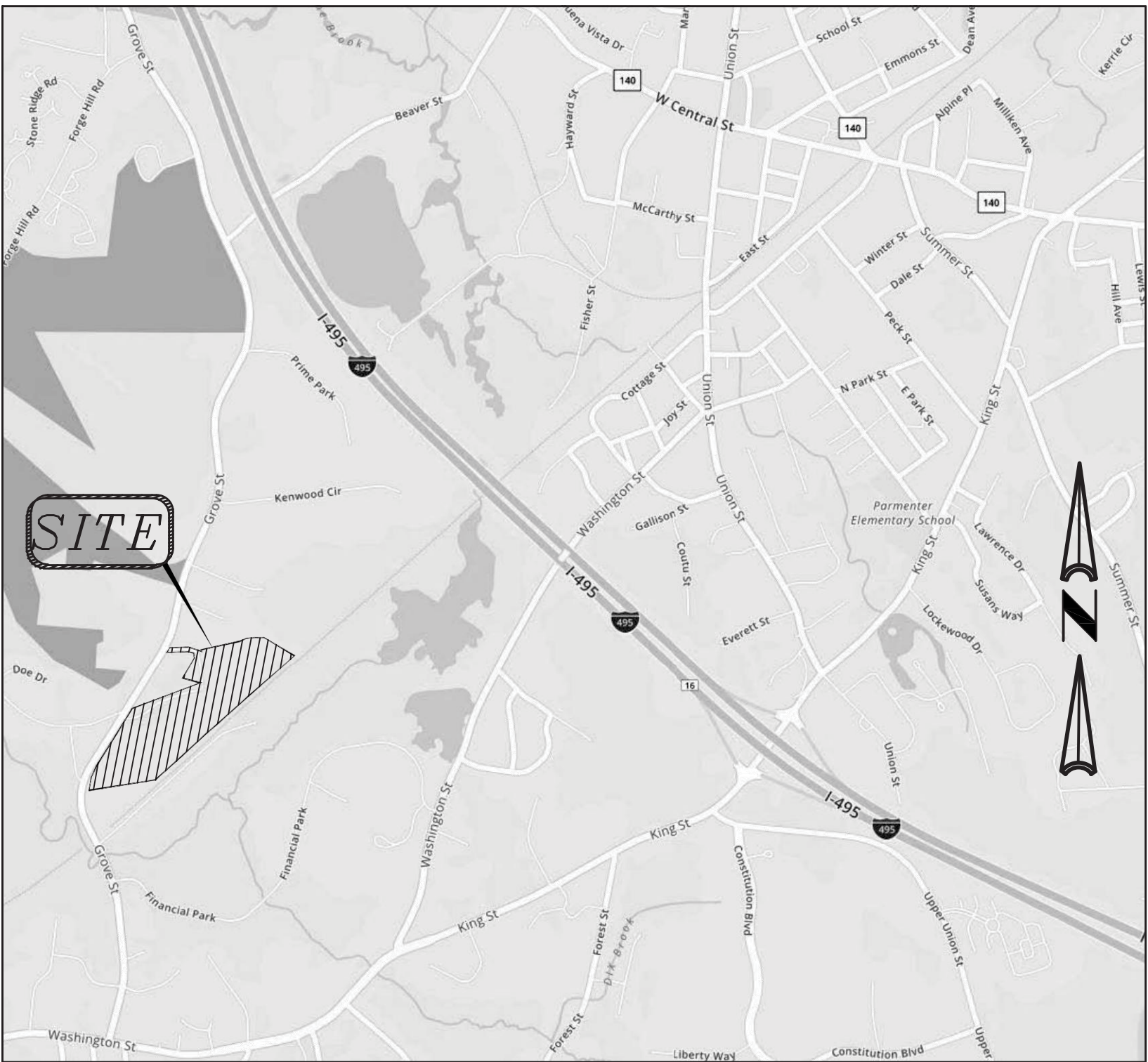
MCP III 176 GROVE LLC & MCP III 210 GROVE LLC  
260 FRANKLIN STREET, STE 620  
BOSTON, MA 02110

### CIVIL ENGINEERS:

KELLY ENGINEERING GROUP, INC.  
0 CAMPANELLI DRIVE  
BRAINTREE, MA 02184

### LANDSCAPE ARCHITECT:

HAWK DESIGN INC.  
P.O. BOX 1309  
SANDWICH, MA 02563



LOCATION MAP

KELLY ENGINEERING GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
THE EXTENT OF KELLY ENGINEERING GROUP'S LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST

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Digitally signed by David Noel Kelly  
P.E.  
DN: cn=David Noel Kelly P.E., o=Kelly Engineering Group, Inc., ou, email=dkelly@kellyengineeringgroup.com, c=US  
Date: 2020.02.14 13:05:06 -0500

	SCALE NA	JOB # F:\P\2019-127	176– 210 GROVE STREET FRANKLIN, MA			KELLY ENGINEERING GROUP civil engineering consultants 0 Campanelli Drive, Braintree, MA 02184 Phone: 781-843-4333 www.kellyengineeringgroup.com	SHEET NO. <b>1</b>
	DATE 02/14/20	DRAWN BY C.L.					
	SHEET 1 OF 10	CHKD BY DAM					
	FILE # 2019-127-TS00	APPD BY DNK					



ZONE: INDUSTRIAL, WATER RESOURCE DISTRICT

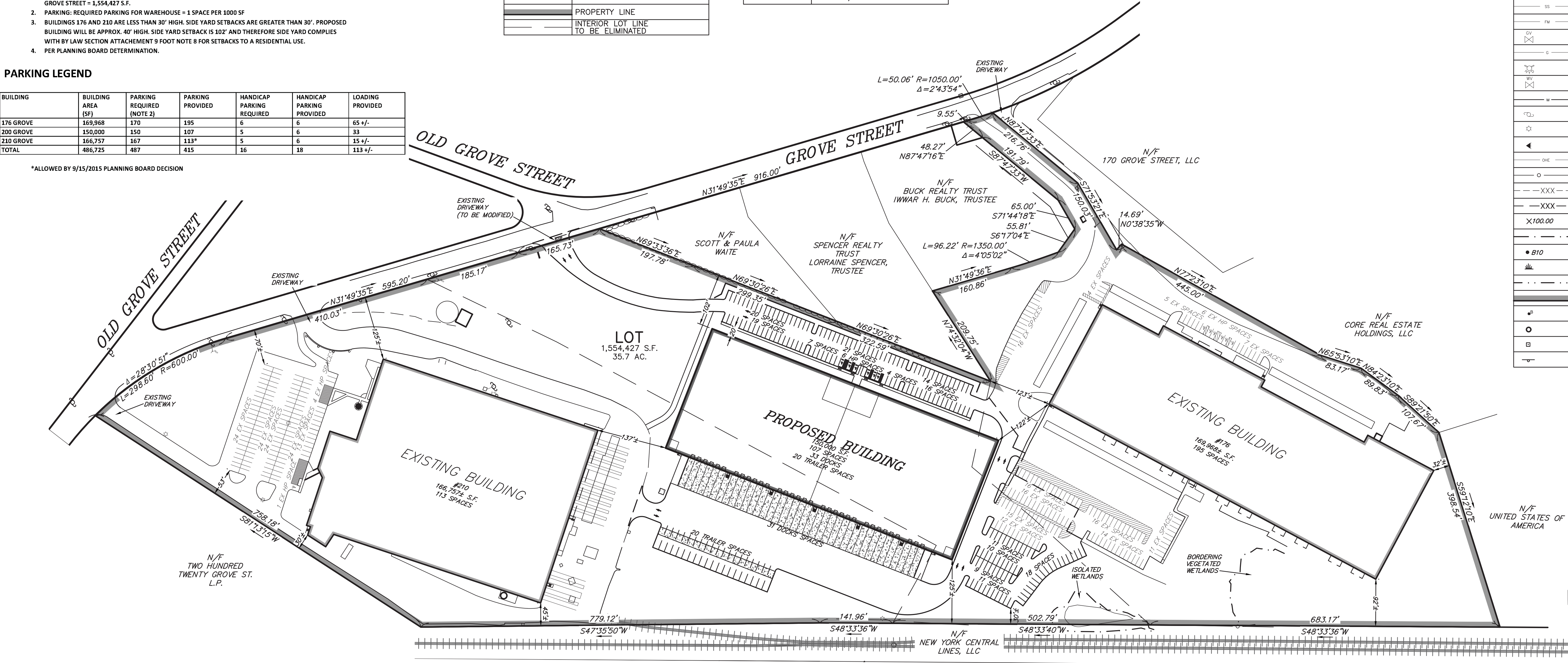
		REQUIRED	PROVIDED	COMPLIANCE
MIN LOT AREA		40,000 S.F.	1,554,427 S.F.	YES
MIN. FRONTAGE		175'	>175'	YES
MIN. DEPTH		200'	>200'	YES
MIN. Width		157.5' DIA. CIRCLE	> 157.5'	YES
MIN YARD	FRONT	40'	125'+/-	YES
	SIDE	30'	30' +/- (NOTE 3)	YES
	REAR	30'	45' +/-	YES
MAX STORIES		3	1	YES
MAX HEIGHT		NA	<40'	N/A
LOT COVERAGE		80%	63.8%	YES
BUILDING COVERAGE		70%	31.2%	YES
PARKING	TOTAL	487	417	(NOTE 4)
	SIZE	9'X19'	9'X19'	YES
	HAISLE	24'	24'	YES
HANDICAP		16	18	YES
PARKING SETBACKS	FRONT	10'	70'+/-	YES
	SIDE	N/A	53'+/-	N/A
	REAR	N/A	30'+/-	N/A
	BUILDING	N/A	20'	N/A

- NOTES:
- TOTAL LOT AREA INCLUDING EXISTING 176 AND 210 GROVE STREET AND PROPOSED 200 GROVE STREET = 1,554,427 S.F.
  - PARKING: REQUIRED PARKING FOR WAREHOUSE = 1 SPACE PER 1000 SF
  - BUILDINGS 176 AND 210 ARE LESS THAN 30' HIGH. SIDE YARD SETBACKS ARE GREATER THAN 30'. PROPOSED BUILDING WILL BE APPROX. 40' HIGH. SIDE YARD SETBACK IS 102' AND THEREFORE SIDE YARD COMPLIES WITH BY LAW SECTION ATTACHMENT 9 FOOT NOTE 8 FOR SETBACKS TO A RESIDENTIAL USE.
  - PER PLANNING BOARD DETERMINATION.

PARKING LEGEND

BUILDING	BUILDING AREA (SF)	PARKING REQUIRED (NOTE 2)	PARKING PROVIDED	HANDICAP PARKING REQUIRED	HANDICAP PARKING PROVIDED	LOADING PROVIDED
176 GROVE	169,968	170	195	6	6	65 +/-
200 GROVE	150,000	150	107	5	6	33
210 GROVE	166,757	167	113*	5	6	15 +/-
TOTAL	486,725	487	415	16	18	113 +/-

\*ALLOWED BY 9/15/2015 PLANNING BOARD DECISION



EXISTING LEGEND

	HANDICAP SPACE
	UTILITY POLE
	PROPERTY LINE
	INTERIOR LOT LINE TO BE ELIMINATED

PROPOSED LEGEND

	HANDICAP SPACE
	SAW CUT/ MATCH PAVEMENT LINE

SHEET 2 LEGEND

CCB	CAPE COD BERM
VGC	VERTICAL GRANITE CURB
CONC.	CONCRETE
BCC	BITUMINOUS CONCRETE CURB
	HANDICAP SPACE
L.S	LANDSCAPED AREA
	CATCH BASIN
	DOUBLE CATCH BASIN
	AREA DRAIN
	TRENCH DRAIN
	DRAIN MANHOLE
	STORM CEPTOR
SD	DRAIN LINE
RD	ROOF DRAIN LINE
AD	AREA DRAIN LINE
	SEWER MANHOLE
SS	SEWER LINE
FM	SEWER FORCE MAIN
	GAS VALVE
G	GAS LINE
	HYDRANT
WV	WATER VALVE
W	WATER LINE
	UTILITY POLE
	LIGHT POLE
	FLOOD LIGHT
OE	OVERHEAD ELECTRIC LINE
	CHAIN LINK FENCE
XXX	CONTOUR LINE (MNR)
XXX	CONTOUR LINE (MUR)
X100.00	SPOT GRADE
- - -	EDGE OF WETLANDS
B10	WETLANDS FLAG
	WETLANDS
- - -	FLOOD PLAIN
	PROPERTY LINE
	BOLLARD
	IRON PIPE
	BOUND
	SIGN

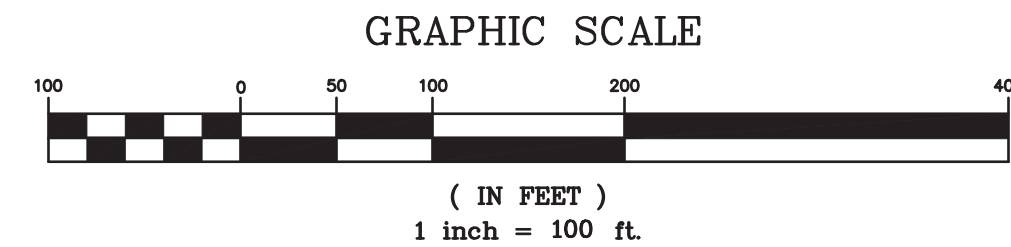
NOTES: (FOR SHEET 2)

- UNDERGROUND FEATURES HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND KELLY ENGINEERING GROUP, INC. DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO KELLY ENGINEERING GROUP, INC. THE SIZE, LOCATION, AND EXISTENCE OF ALL SUCH FEATURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
- THE LOCATION OF ALL UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED USING ASCE 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA) QUALITY LEVEL C.
- THE SITE DETAIL AND SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN ON THE GROUND SURVEY PERFORMED BY KELLY ENGINEERING GROUP IN NOVEMBER AND DECEMBER OF 2019.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED BY RTK GPS CONNECTED TO MoCORS. CONTOURS SHOWN WERE OBTAINED FROM ON THE GROUND SURVEY AND LIDAR DATA OBTAINED FROM NOAA AND CONFIRMED BY KELLY ENGINEERING GROUP, INC.
- WETLAND FLAGS SHOWN WERE FLAGGED BY ECOTEC, INC AND WERE LOCATED BY KELLY ENGINEERING GROUP, INC.



SCALE 1"= 100'				
DATE 02/14/20	REV	DATE	REVISION	BY
SHEET 2 of 10				
FILE # 2019-127-LA00				
JOB # F:\P\2019-127				
DRAWN BY CUL				
CHKD BY DAM				
APPD BY DNK				
<div> <div> <div>MARCUS PARTNERS</div> <div>176- 210 GROVE STREET</div> <div>FRANKLIN, MA</div> </div> <div> <div>OVERALL LAYOUT</div> <div>PLAN</div> </div> </div>				
<div> <div> <div> <div>KELLY ENGINEERING GROUP</div> <div>civil engineering consultants</div> <div>0 Campanelli Drive, Braintree, MA 02184</div> <div>Phone: 781-843-4333 www.kellyengineeringgroup.com</div> </div> </div> </div>				

<div> <div> <div>DAVID NOEL KELLY</div> <div>CIVIL</div> <div>NO. 37542</div> <div>REGISTERED PROFESSIONAL ENGINEER</div> </div> <div> <div>Digitally signed by David Noel Kelly, DN: cn=David Noel Kelly, o=Kelly Engineering Group, Inc., email=dkelly@kellyeng.com, c=US, Date: 2020.02.14 15:13:25 -0500</div> </div> </div>	SHEET NO. <b>2</b>
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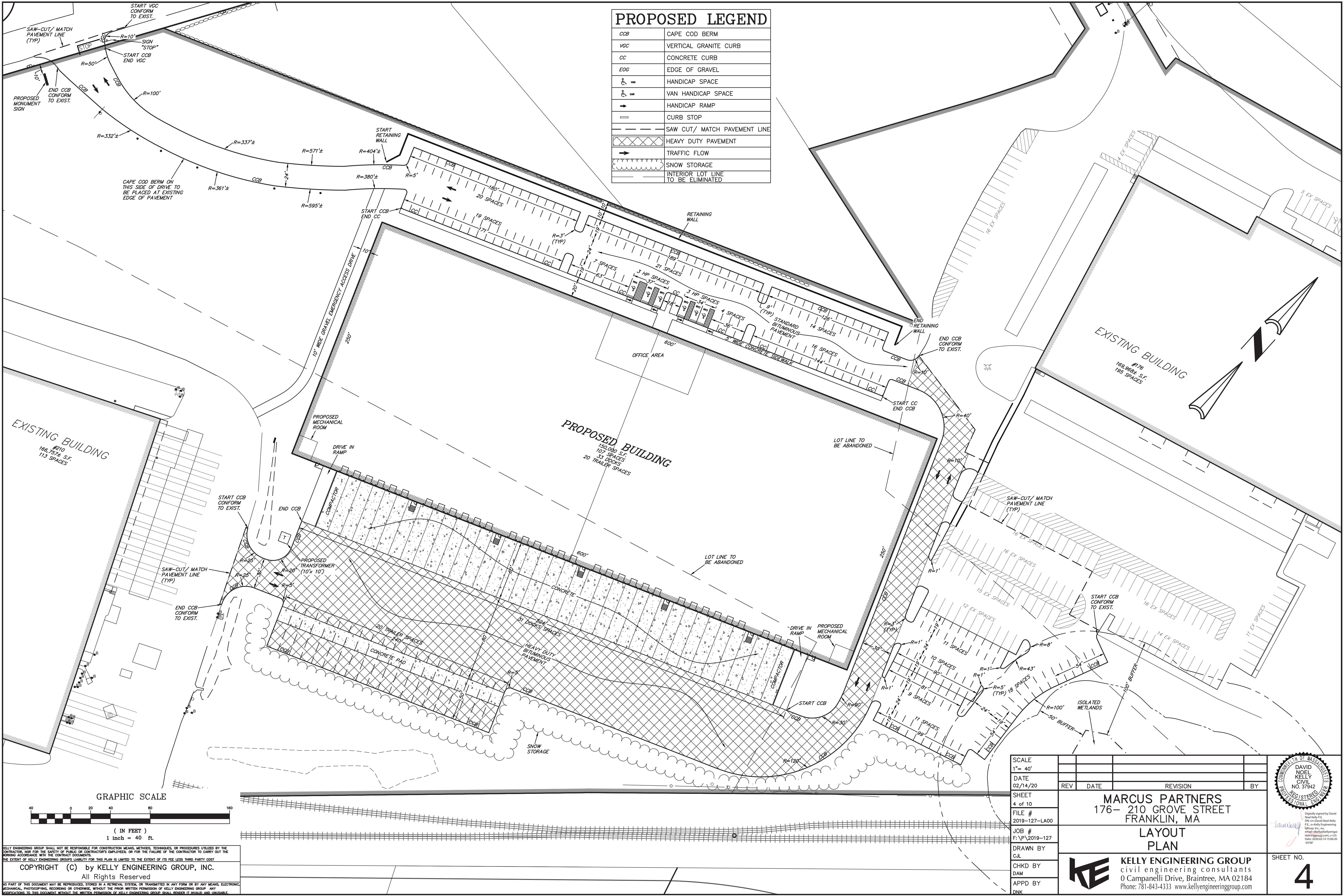
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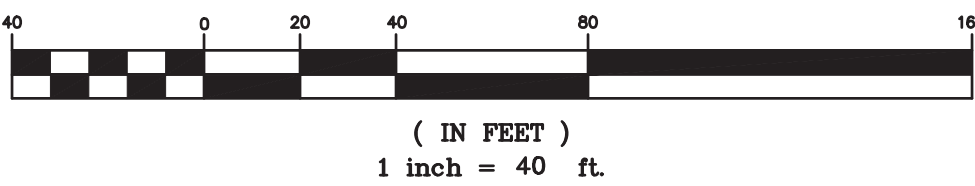






PROPOSED LEGEND	
CCB	CAPE COD BERM
VGC	VERTICAL GRANITE CURB
CC	CONCRETE CURB
EOG	EDGE OF GRAVEL
	HANDICAP SPACE
	VAN HANDICAP SPACE
	HANDICAP RAMP
	CURB STOP
	SAW CUT/ MATCH PAVEMENT LINE
	HEAVY DUTY PAVEMENT
	TRAFFIC FLOW
	SNOW STORAGE
	INTERIOR LOT LINE TO BE ELIMINATED

GRAPHIC SCALE



KELLY ENGINEERING GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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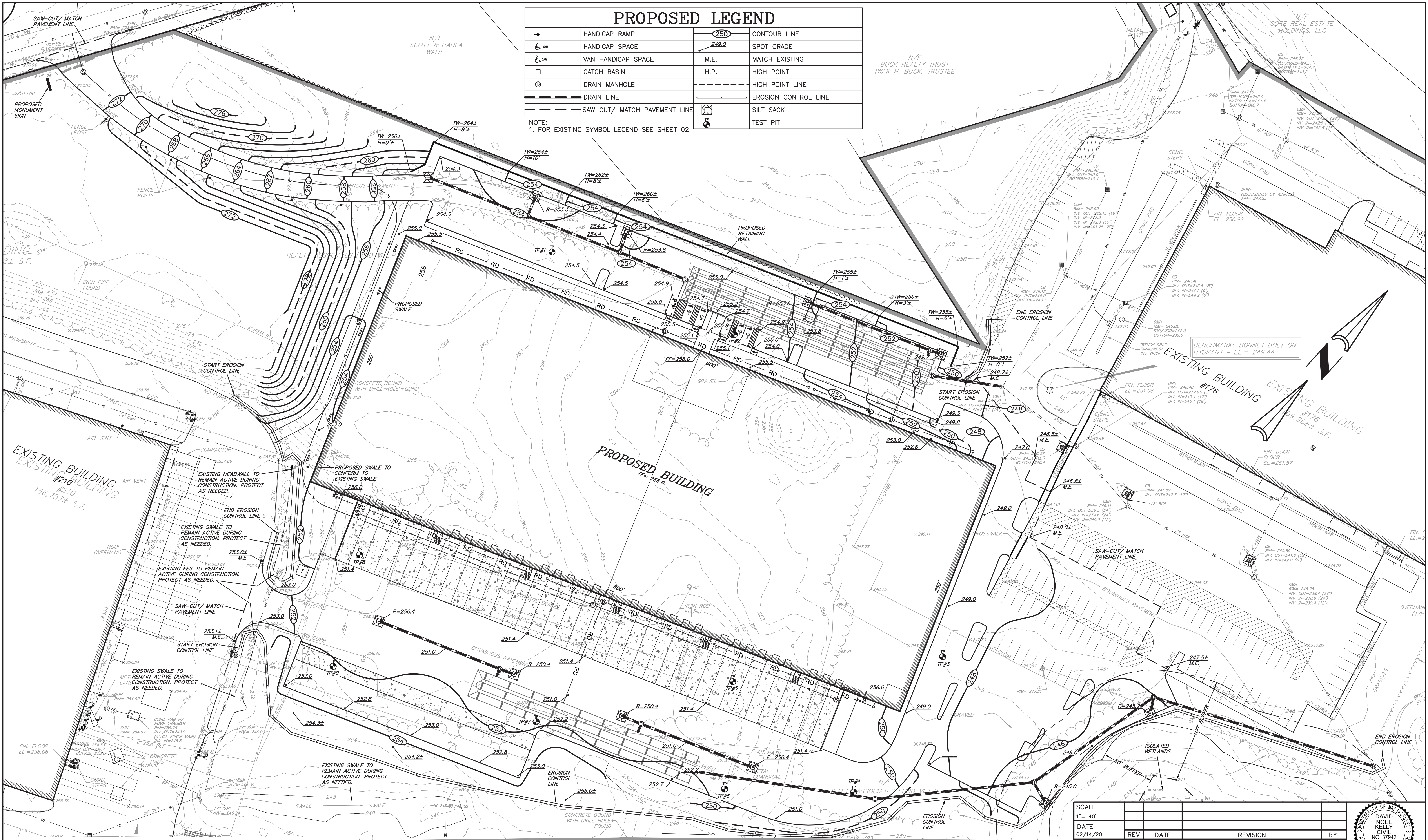
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DATE 02/14/20				
SHEET 4 of 10				
FILE # 2019-127-LA00				
JOB # F:\P\2019-127				
DRAWN BY CUL				
CHKD BY DAM				
APPD BY DNK				
<b>MARCUS PARTNERS</b> 176- 210 GROVE STREET FRANKLIN, MA <b>LAYOUT PLAN</b>				
<b>KELLY ENGINEERING GROUP</b> civil engineering consultants 0 Campanelli Drive, Braintree, MA 02184 Phone: 781-843-4333 www.kellyengineeringgroup.com				

	SHEET NO.
	<b>4</b>

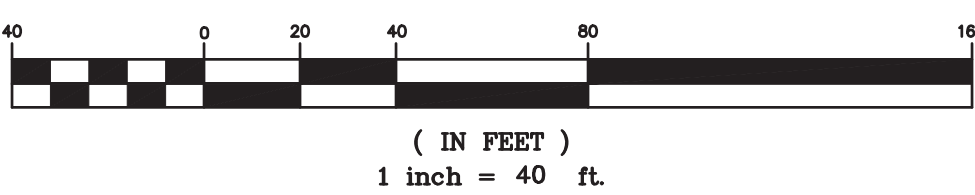


PROPOSED LEGEND			
	HANDICAP RAMP		CONTOUR LINE
	HANDICAP SPACE		SPOT GRADE
	VAN HANDICAP SPACE		MATCH EXISTING
	CATCH BASIN		HIGH POINT
	DRAIN MANHOLE		HIGH POINT LINE
	DRAIN LINE		EROSION CONTROL LINE
	SAW CUT/ MATCH PAVEMENT LINE		SILT SACK
			TEST PIT

NOTE:  
1. FOR EXISTING SYMBOL LEGEND SEE SHEET 02



GRAPHIC SCALE



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THE EXTENT OF KELLY ENGINEERING GROUPS LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST

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MARCUS PARTNERS  
176- 210 GROVE STREET  
FRANKLIN, MA

GRADING  
PLAN

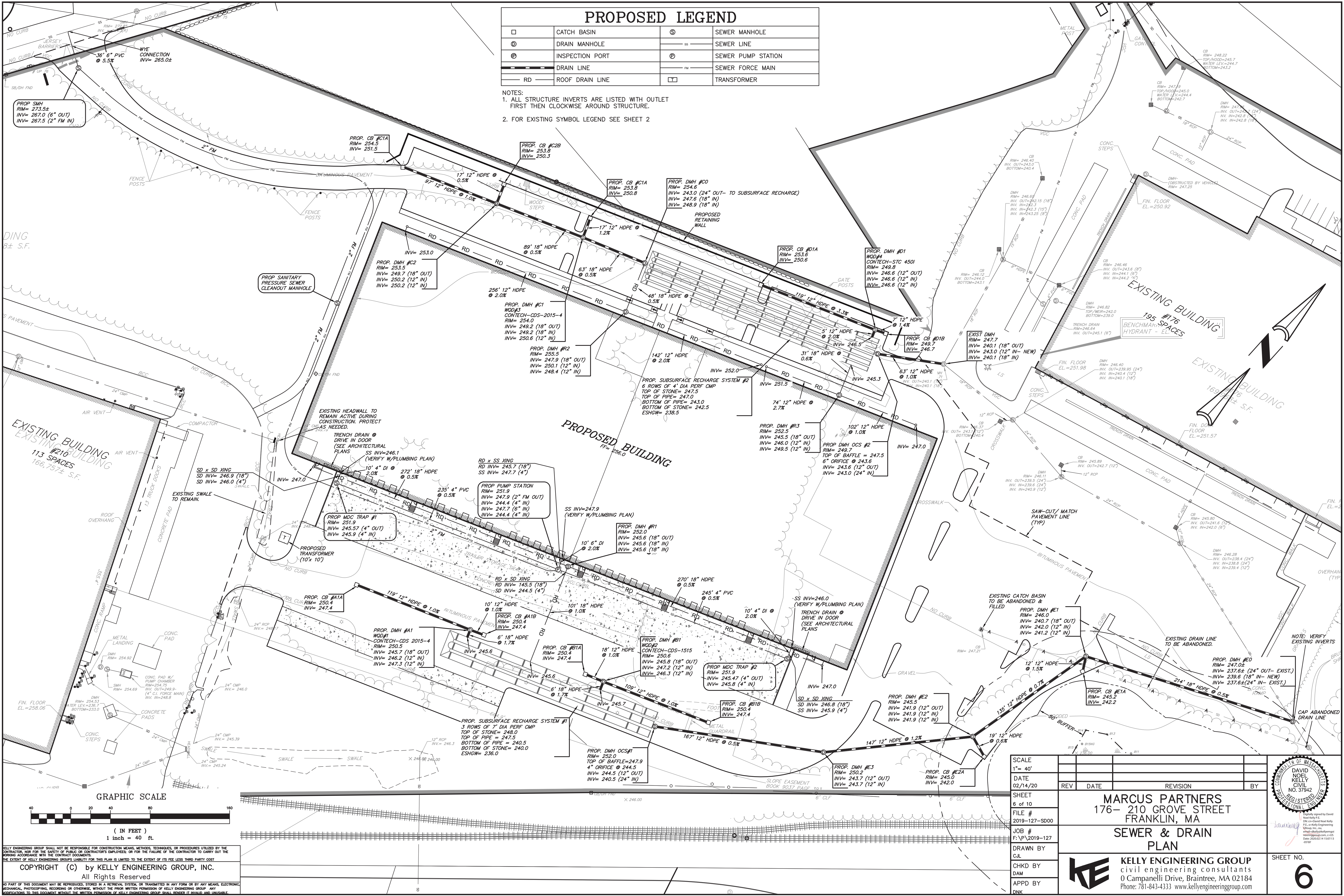
**KE** KELLY ENGINEERING GROUP  
civil engineering consultants  
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Phone: 781-843-4333 www.kellyengineeringgroup.com

PROFESSIONAL SEAL OF MASSACHUSETTS  
DAVID NOEL KELLY  
CIVIL  
NO. 37942  
REGISTERED PROFESSIONAL ENGINEER

Digitally signed by David Noel Kelly  
DN: cn=David Noel Kelly, o=Kelly Engineering Group, Inc., email=dkelly@kellyengr.com, c=US  
Date: 2020.02.14 15:00:49 -0500

SHEET NO.  
**5**





PROPOSED LEGEND			
□	CATCH BASIN	⊙	SEWER MANHOLE
⊖	DRAIN MANHOLE	— SS —	SEWER LINE
⊕	INSPECTION PORT	⊕	SEWER PUMP STATION
— RD —	DRAIN LINE	— FM —	SEWER FORCE MAIN
— RD —	ROOF DRAIN LINE	□	TRANSFORMER

- NOTES:  
1. ALL STRUCTURE INVERTS ARE LISTED WITH OUTLET FIRST THEN CLOCKWISE AROUND STRUCTURE.  
2. FOR EXISTING SYMBOL LEGEND SEE SHEET 2

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176- 210 GROVE STREET  
FRANKLIN, MA

SEWER & DRAIN  
PLAN

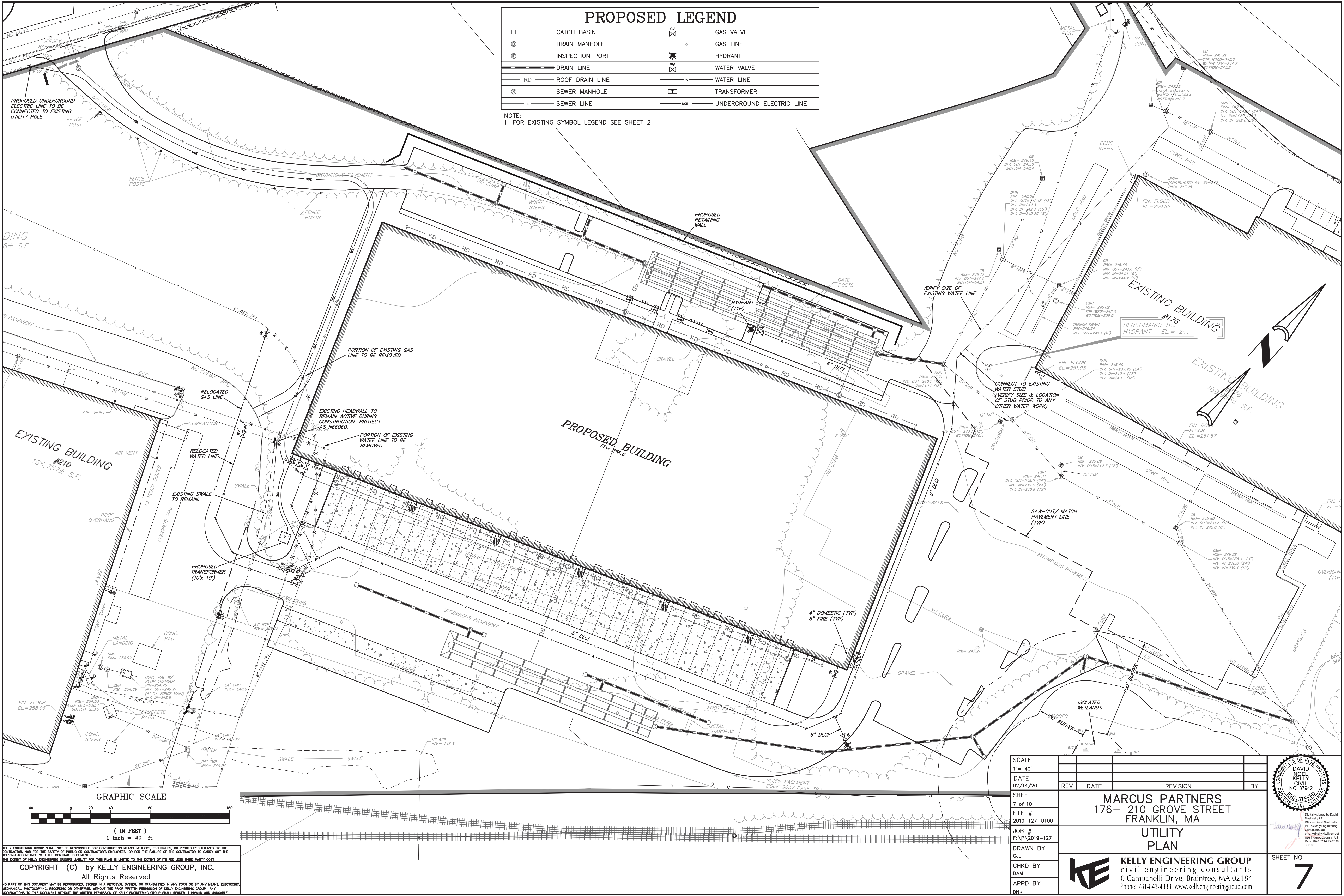
COMMONWEALTH OF MASSACHUSETTS  
DAVID  
KELLY  
CIVIL  
NO. 37942  
REGISTERED PROFESSIONAL ENGINEER

Digitally signed by David  
David Kelly  
DN: c=US, o=Kelly Engineering  
Group, Inc., email=dkelly@kellyengr  
group.com, cn=David Kelly  
Date: 2020.02.14 15:07:53  
+01'00'

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Phone: 781-843-4333 www.kellyengineeringgroup.com

SHEET NO.  
**6**





PROPOSED LEGEND			
	CATCH BASIN		GAS VALVE
	DRAIN MANHOLE		GAS LINE
	INSPECTION PORT		HYDRANT
	DRAIN LINE		WATER VALVE
	ROOF DRAIN LINE		WATER LINE
	SEWER MANHOLE		TRANSFORMER
	SEWER LINE		UNDERGROUND ELECTRIC LINE

NOTE:  
1. FOR EXISTING SYMBOL LEGEND SEE SHEET 2

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**MARCUS PARTNERS**  
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FRANKLIN, MA

**UTILITY PLAN**

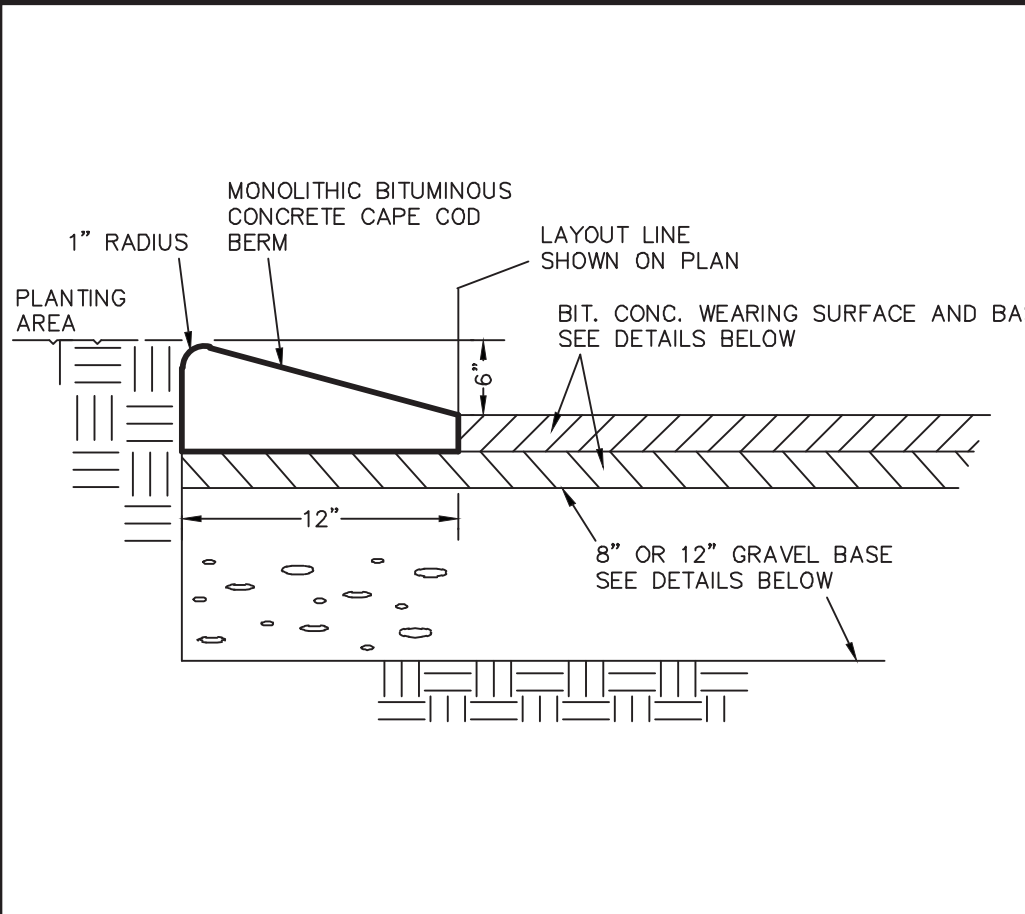
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DN: cn=David Noel Kelly  
c=US, email=dkelly@kellyeng.com, o=Kelly Engineering Group, Inc., ou=Professional Engineer  
Date: 2020.02.14 15:03:38 -0500

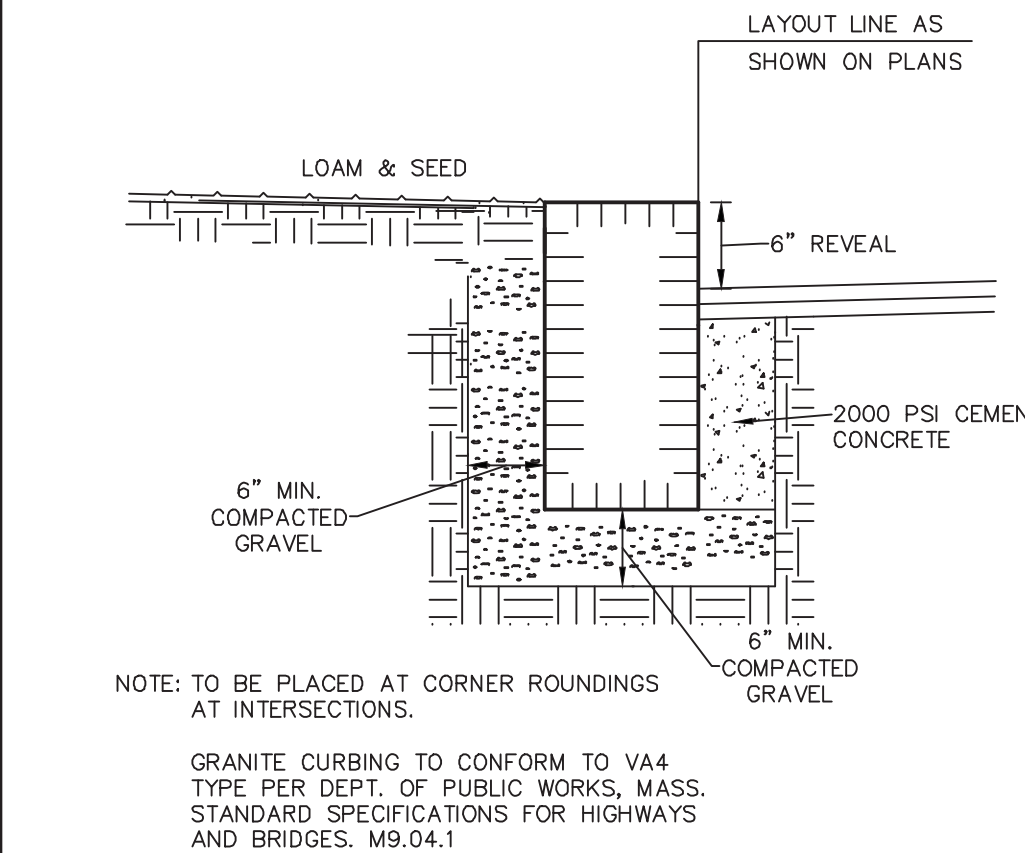
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**7**

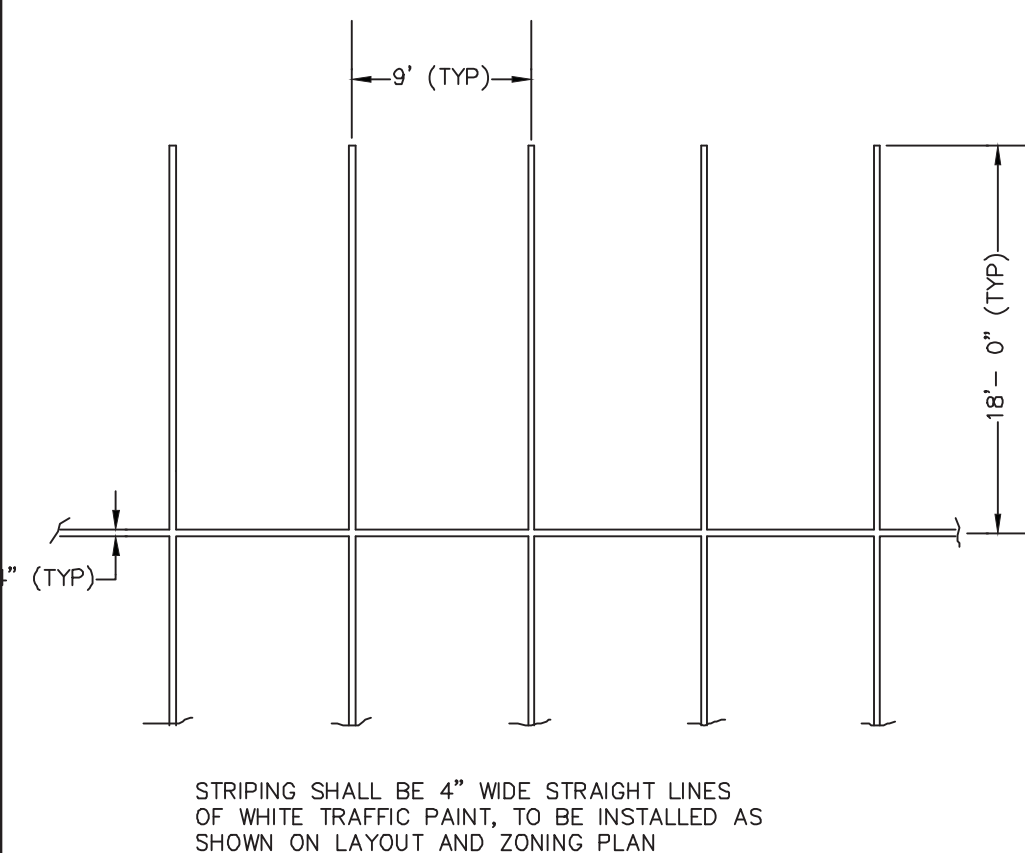




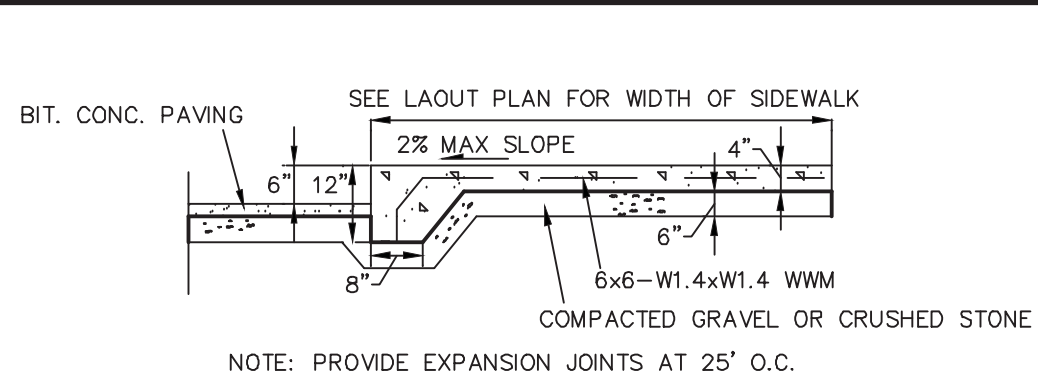
**CAPE COD BERM DETAIL**  
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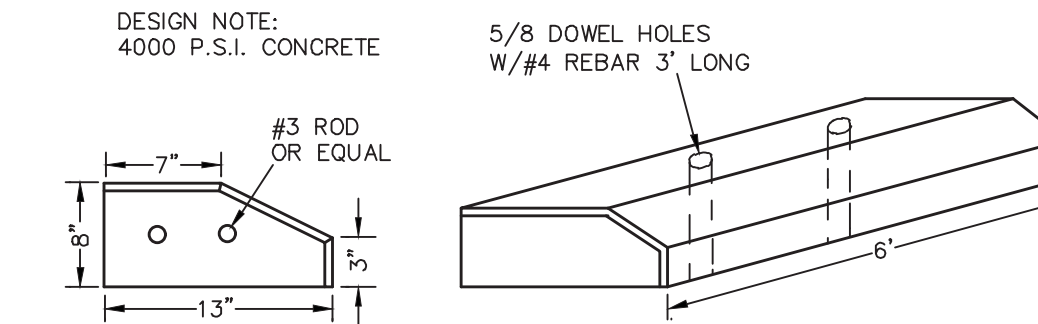
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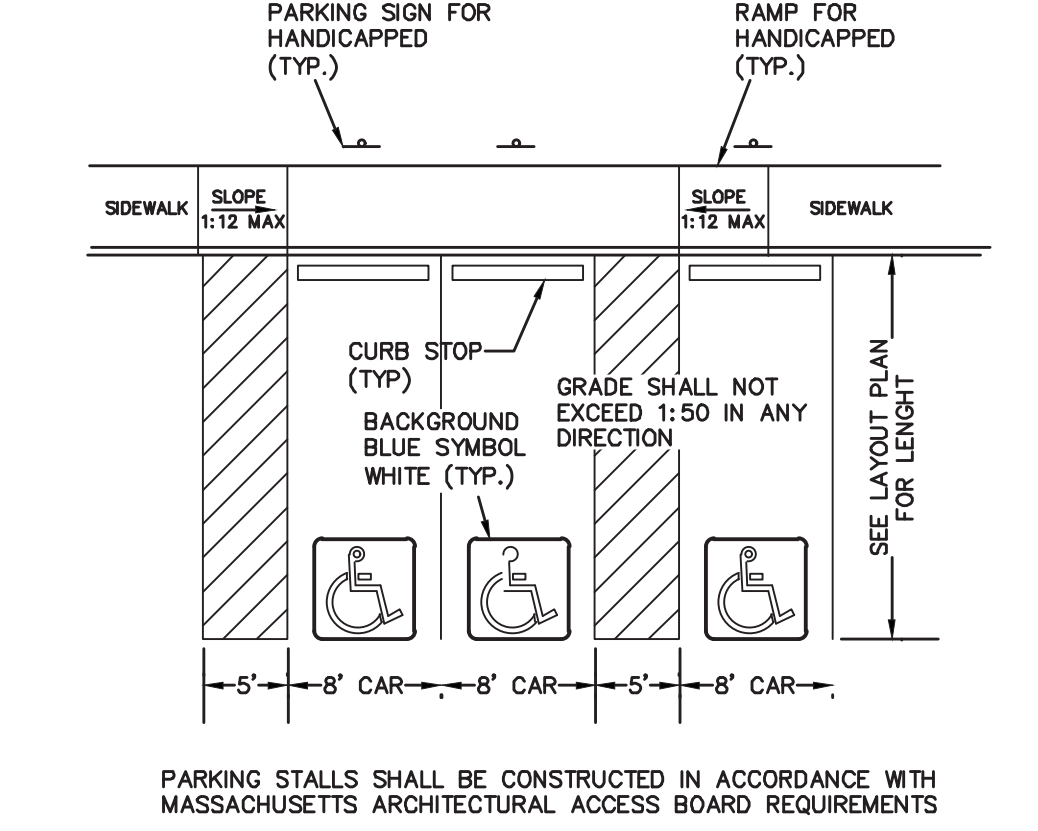
**TYPICAL STRIPING DETAIL**  
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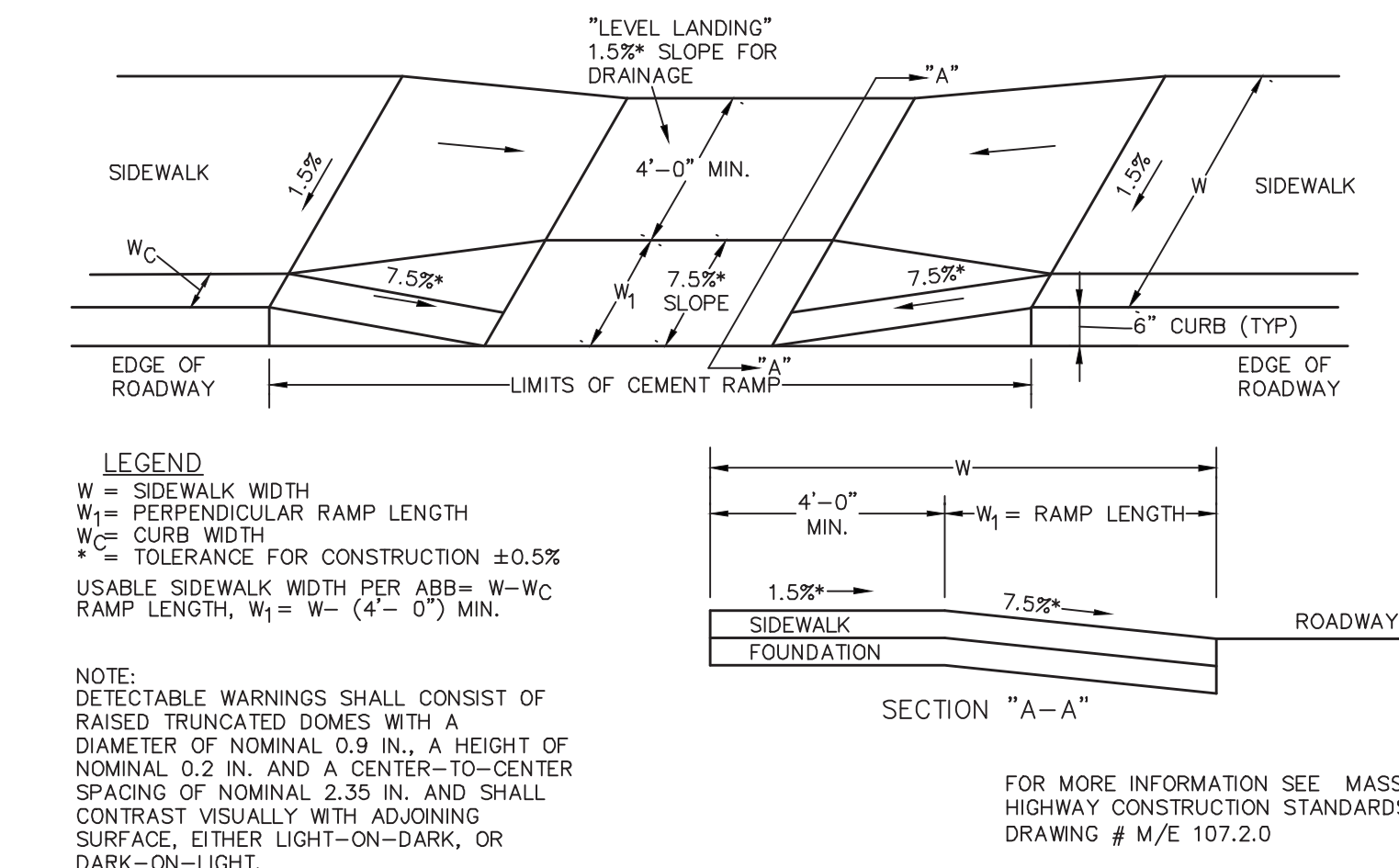
**INTEGRAL SIDEWALK/ CURB DETAIL**  
NOT TO SCALE  
KELLY ENGINEERING GROUP, INC.



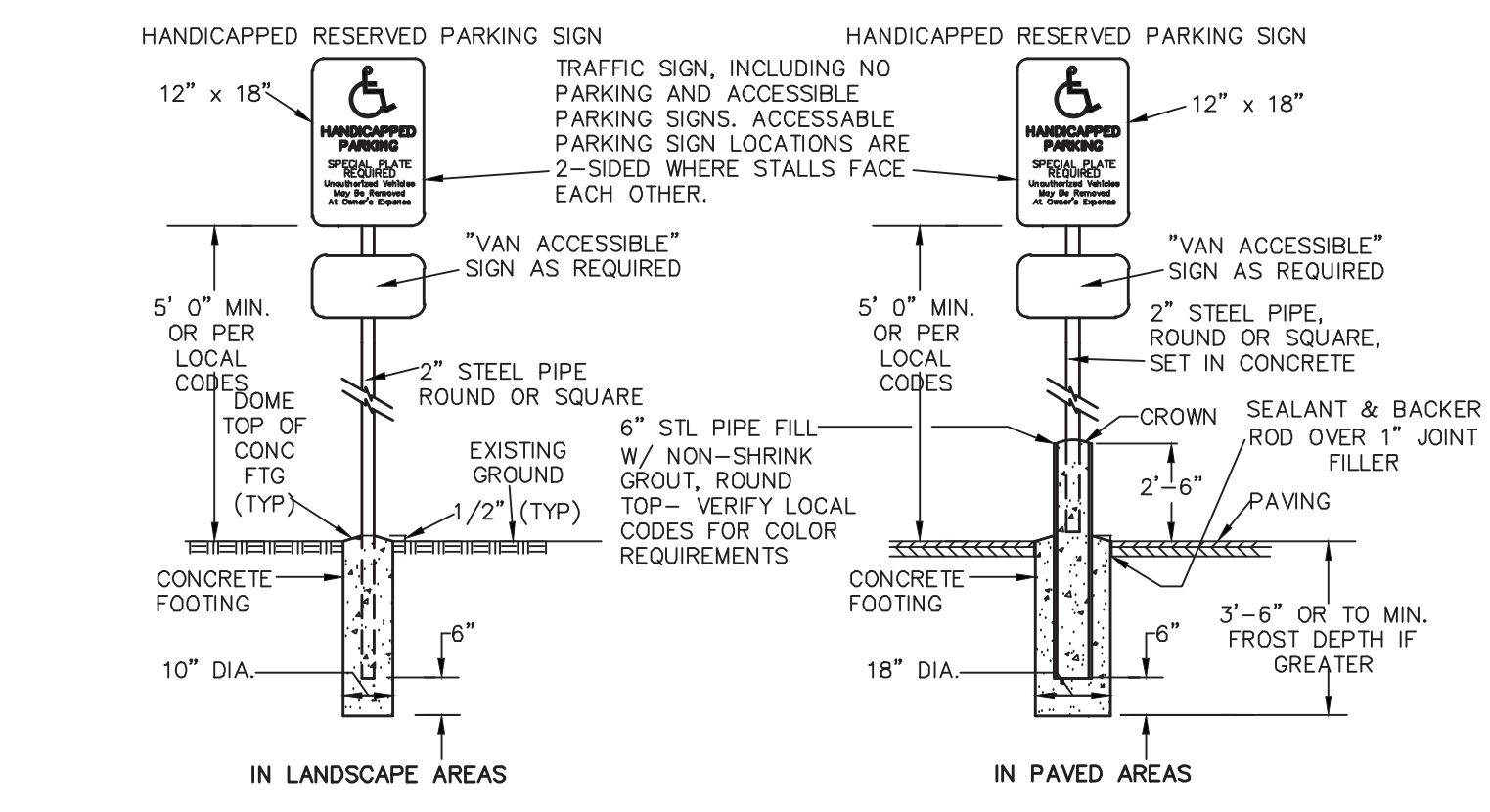
**CURB STOP DETAIL**  
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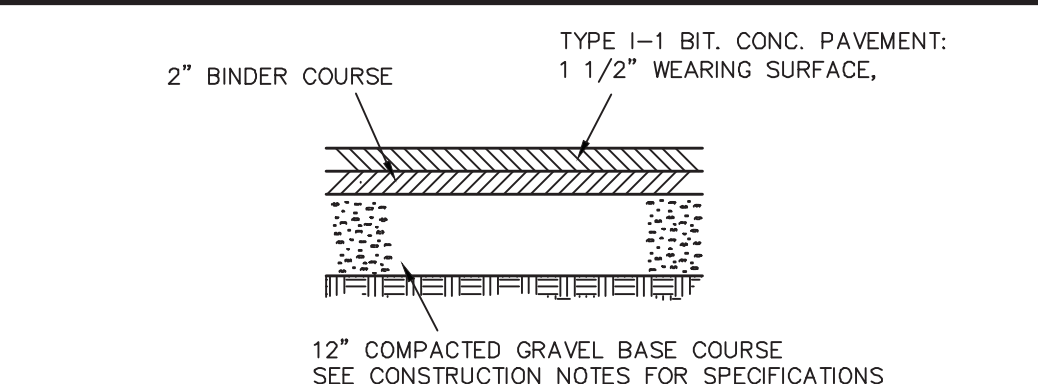
**HANDICAP PARKING DETAIL**  
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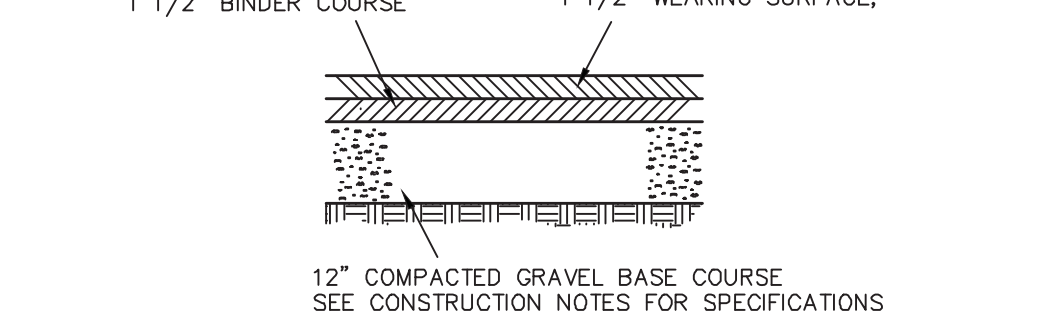
**WHEELCHAIR RAMPS**  
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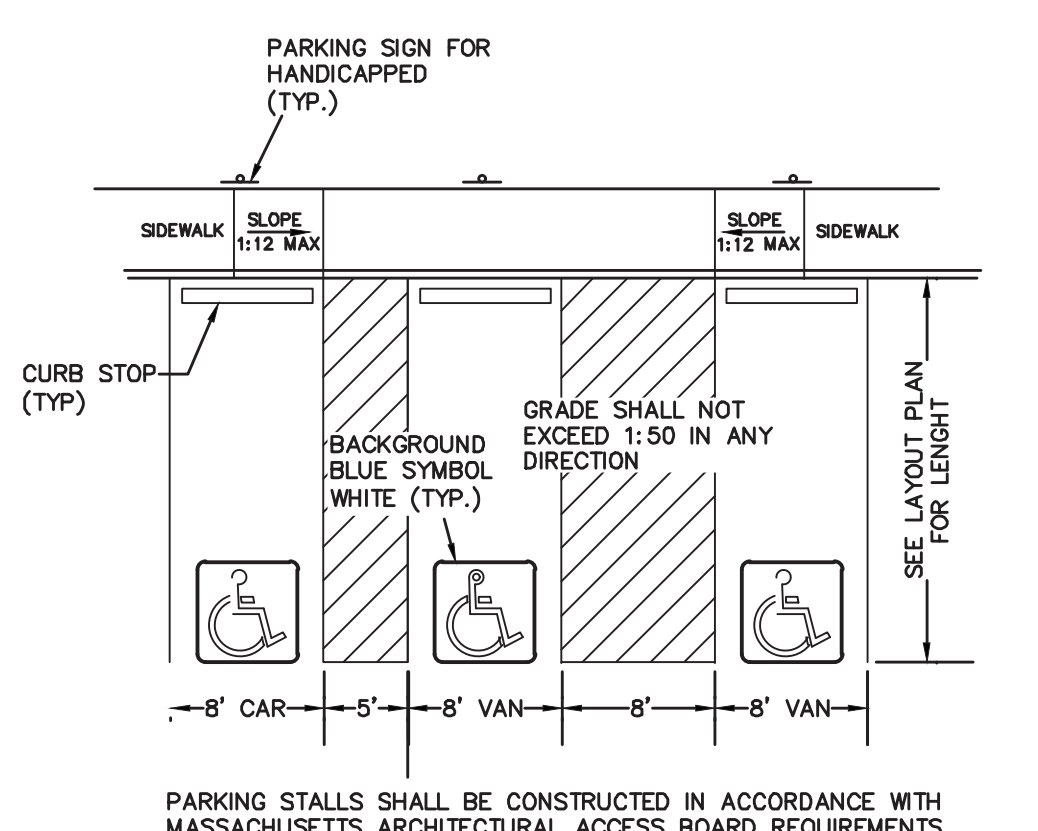
**HANDICAP SIGN DETAIL**  
NOT TO SCALE  
KELLY ENGINEERING GROUP, INC.



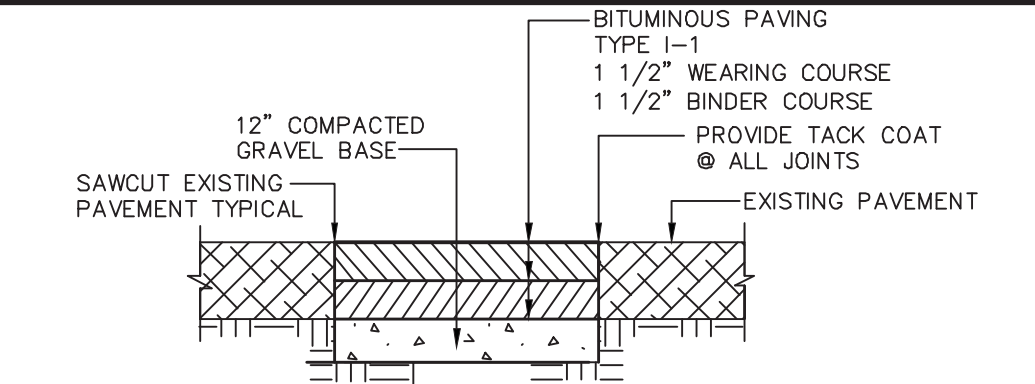
**BITUMINOUS CONCRETE PAVEMENT (HEAVY DUTY)**  
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KELLY ENGINEERING GROUP, INC.



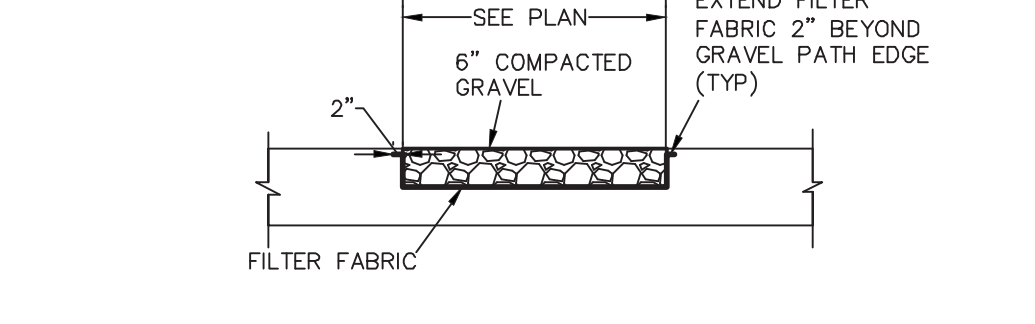
**BITUMINOUS CONCRETE PAVEMENT (STANDARD)**  
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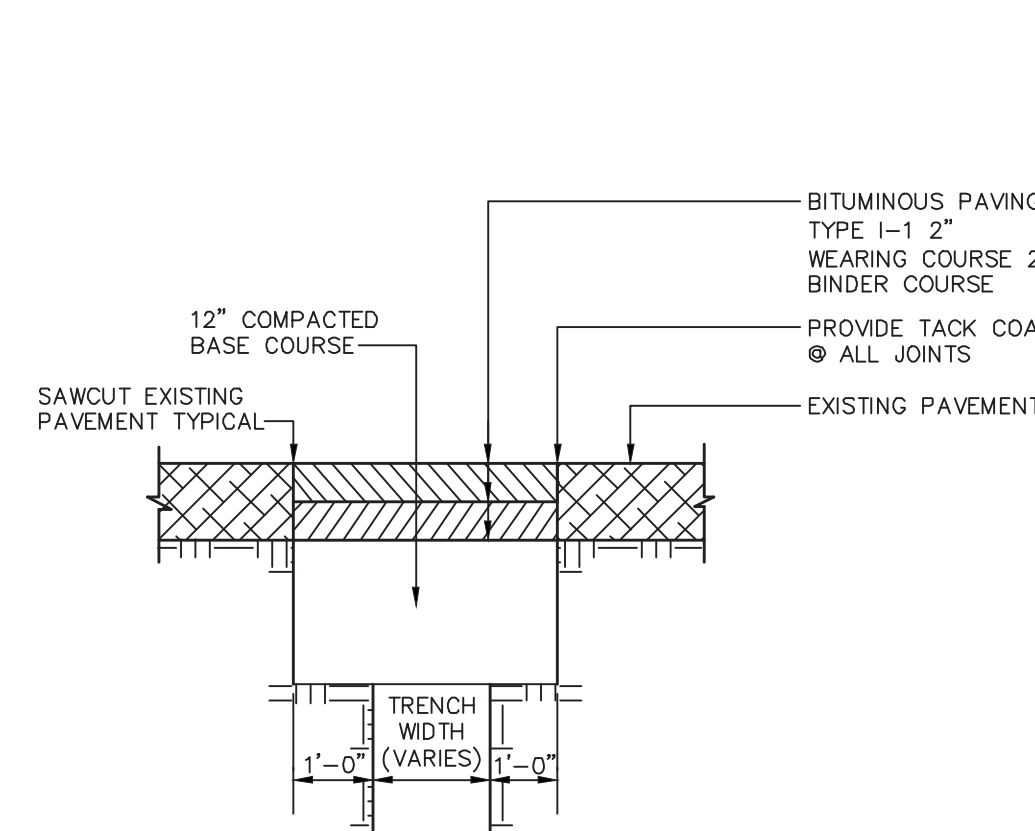
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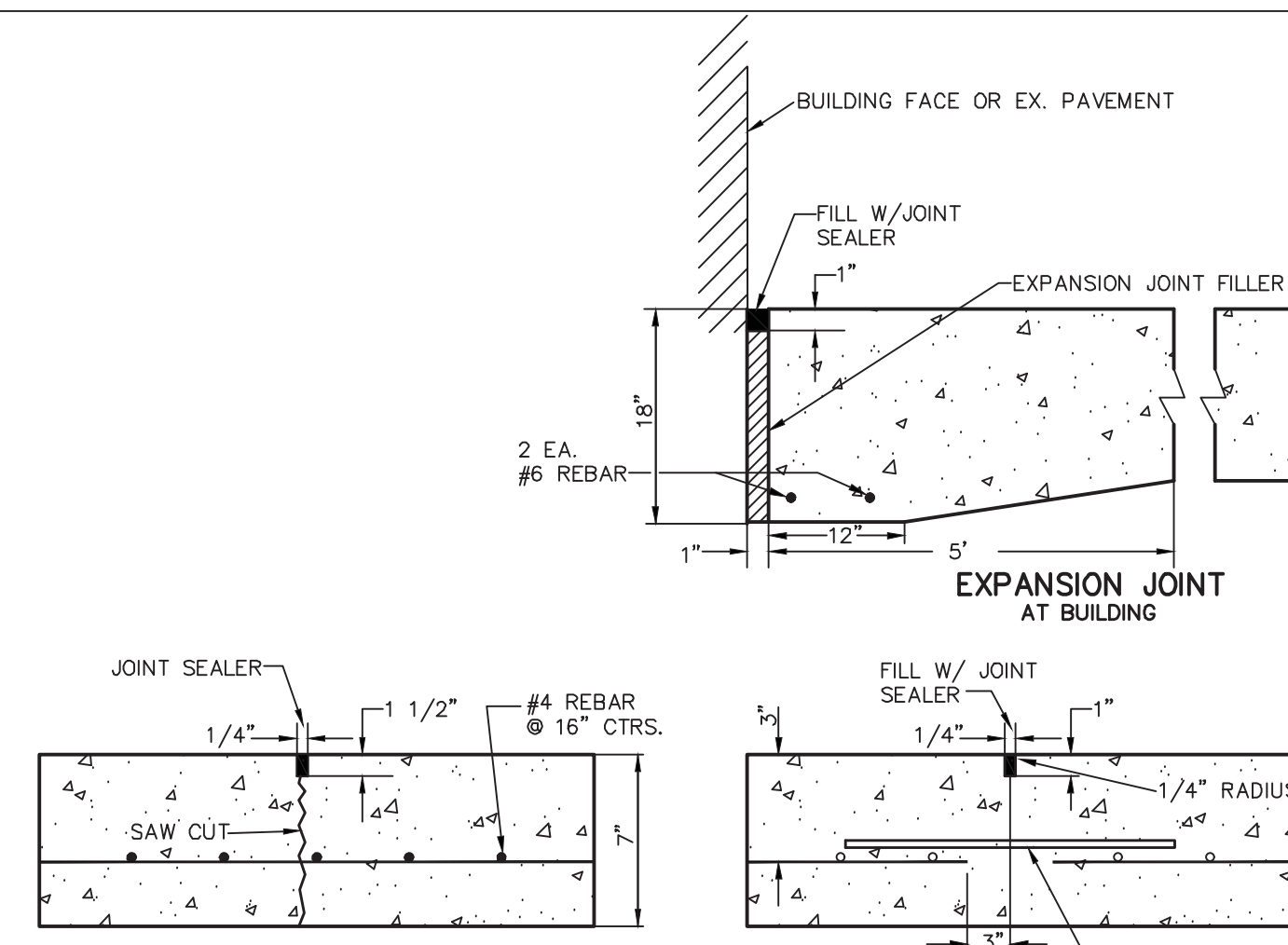
**PAVEMENT MATCH/ SAW-CUT DETAIL**  
NOT TO SCALE  
KELLY ENGINEERING GROUP, INC.



**GRAVEL ACCESS DRIVE DETAIL**  
NOT TO SCALE  
KELLY ENGINEERING GROUP, INC.



**TRENCH PATCHING DETAIL**  
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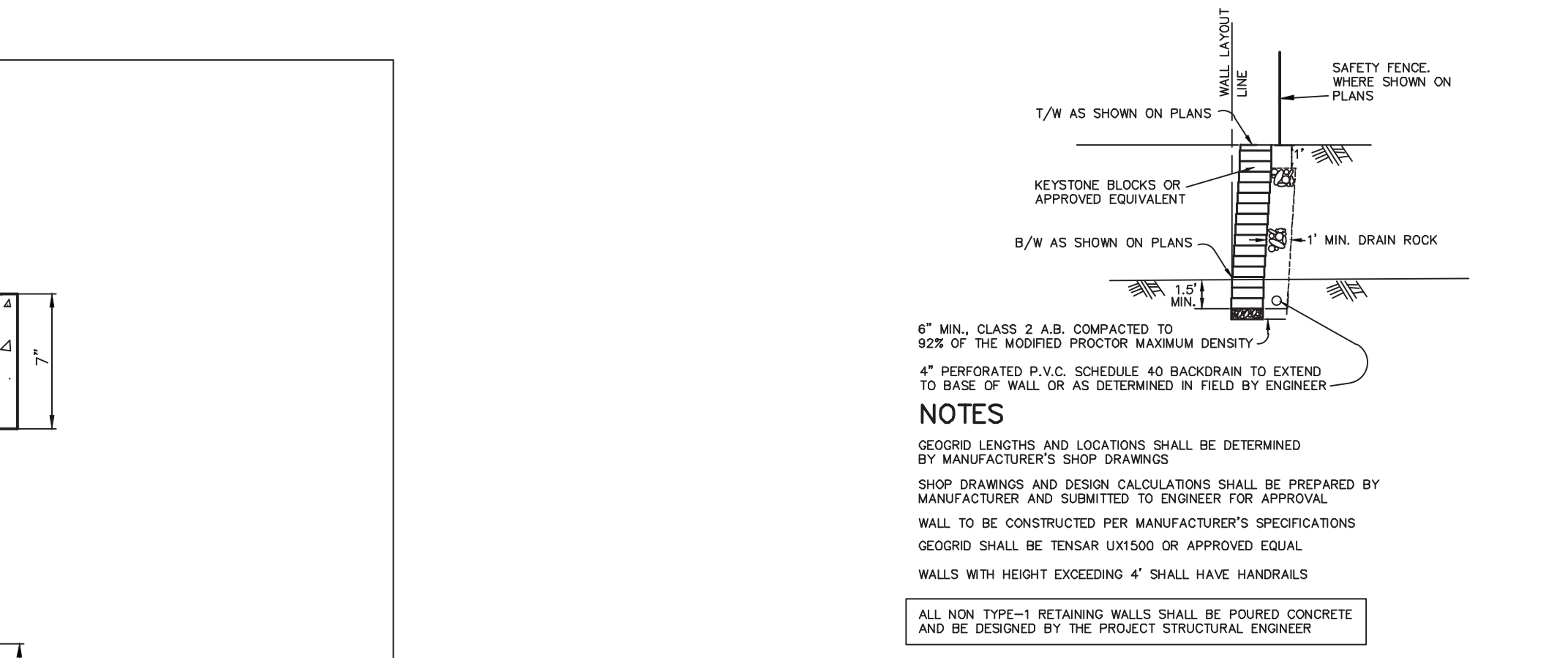


**CONCRETE PAD DETAIL**  
NOT TO SCALE  
KELLY ENGINEERING GROUP, INC.

## CONSTRUCTION NOTES

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
2. THE CONTRACTOR SHALL NOTIFY THE TOWN OF \_\_\_\_\_ DEPARTMENT OF PUBLIC WORKS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.
3. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
4. ALL WORK SHALL CONFORM TO A SPECIAL PERMIT TO BE ISSUED BY THE TOWN OF \_\_\_\_\_
5. FOR ANY PROJECT THAT INVOLVES 1 ACRE OR MORE OF DISTURBANCE, CONTRACTOR SHALL SECURE A NPDES PERMIT PRIOR TO BEGINNING ANY GRADING ACTIVITIES.
6. ALL WORK SHALL CONFORM TO AN ORDER OF CONDITIONS TO BE ISSUED BY THE TOWN OF \_\_\_\_\_
7. ALL WORK SHALL CONFORM TO THE GEOTECHNICAL REPORT BY \_\_\_\_\_ DATED \_\_\_\_\_
8. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTRAL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-888-344-7233.
9. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
10. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSION AND DOOR LOCATIONS.
11. BENCHMARK ELEVATION IS \_\_\_\_\_ LOCATED AT \_\_\_\_\_ DATUM IS NGVD.
12. ALL PROPOSED SITE GAS, ELECTRIC, TELEPHONE, CATV FEATURES SHOWN ON SITE DEVELOPMENT PLANS ARE INTENDED AS A GENERAL GUIDE. THE FINAL CONFIGURATION TO BE CONFIRMED WITH PROJECT MEP ENGINEER AND UTILITY PROVIDER.
13. REFER TO PLUMBING PLANS FOR EXACT SIZE AND LOCATION OF SANITARY AND WATER CONNECTIONS.
14. REFER TO ELECTRICAL PLANS FOR THE LIGHTING CIRCUITS, FIXTURE DETAIL AND BUILDING CONNECTION LOCATION.
15. ALL H.D.P.E. HIGH DENSITY POLYETHYLENE PIPE SHALL BE ADS N-12 OR APPROVED EQUAL. SEWER SHALL BE SDR 35 WITH RUBBER RING JOINTS. WATER LINES SHALL BE CL 52 D.I.P. (DUCTILE IRON PIPE), REINFORCED CONCRETE PIPE RCP SHALL BE CLASS III.
16. NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE SEWER IN THE TRENCH, NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.
17. WALKS SHALL BE 4" THICK AND SHALL BE CONSTRUCTED ON 6" OF COMPACTED BANK GRAVEL. CONCRETE FOR WALKS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 4,000 PSI. WALKS SHALL BE REINFORCED WITH WMM 6x 6 W1.4/W1.4 CONFORMING TO ASTM A184.
18. BASE MATERIAL SHALL BE CLEAN BANK RUN GRAVEL, CONFORMING TO M.D.P.W. M1.03.1, WITH NO STONES LARGER THAN THREE (3) INCHES IN DIAMETER AND SHALL BE PLACED AND ROLLED WITH AT LEAST A TEN TON ROLLER. THE SURFACES SHALL BE WET DURING ROLLING TO BIND THE MATERIAL. ALL STONES OF 4" DIAMETER OR LARGER SHALL BE REMOVED FROM THE SUB-BASE PRIOR TO PLACING BASE MATERIAL. PULVERIZED MATERIAL MAY BE USED AS BASE MATERIAL PROVIDING IT MEETS THIS SPECIFICATIONS. AREAS TO BE REPAVED SHALL BE PULVERIZED AND REGRADED TO PROVIDE POSITIVE FLOW TO DRAINAGE AND AWAY FROM BUILDING. PAVE WITH 1 1/2" WEARING COURSE ON 1 1/2" BINDER COURSE. ALL VALVES BOXES, MANHOLES AND OTHER UTILITIES APPURTENANCES SHALL BE ADJUSTED TO CONFORM TO FINAL GRADE.
19. TRANSFORMER PAD SHALL BE INSTALLED PER PROVIDERS SPECIFICATIONS. GENERATOR PADS SHALL BE INSTALLED PER MANUFACTURING SPECIFICATIONS.
20. PAVEMENT AREA SHALL BE PAVED TO A THICKNESS AS SHOWN ON THE PLANS MEASURED AFTER COMPACTION, WITH A BINDER COURSE AND TOP COURSE OF CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1.
21. THE AGGREGATE SHALL BE COMPOSED, MIXED AND LAID HOT IN TWO COURSES AS SPECIFIED IN THE "COMMONWEALTH OF MASSACHUSETTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGE", 1988 EDITION. SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, AS SPECIFICALLY SET FORTH IN SECTION 460.20 AND 460.82.
22. DUMPSTER PAD SHALL BE 8" THICK REINFORCED CONCRETE SLAB WITH CONTROL JOINTS EVERY 10'. THE PAD SHALL BE CONSTRUCTED OVER 6" OF GRAVEL BASE, COMPACT TO 95% REINFORCEMENT SHALL BE WMF 6x6-W1.4 x W1.4 PLACED AT THE CENTER OF THE SLAB. THE FRONT END OF COMPACTOR PAD SHALL HAVE EMBEDDED A 6"x 6"x 3/8" STEEL ANGLE.
23. THE DOLLY PADS SHALL BE 6" THICK REINFORCED CONCRETE SLABS WITH CONTROL JOINTS EVERY 10' AND ISOLATION JOINTS WHERE SLAB ABUTS BUILDING. THE PADS SHALL BE CONSTRUCTED OVER 12" OF GRAVEL BASE COMPACTED TO 95% REINFORCEMENT SHALL BE WMF 6 x 6- 2 W1.4 x W1.4 PLACED AT CENTER OF SLAB.
24. ALL EXISTING PAVING TO BE DISTURBED SHALL BE CUT ALONG A STRAIGHT LINE THROUGH ITS ENTIRE THICKNESS, BUTT NEW PAVING INTO THE EXISTING PAVEMENT TO REMAIN AND TACK COAT THE JOINT.
25. ANY PAVEMENT REMOVED FOR UTILITY TRENCH EXCAVATION OR OTHERWISE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH A PAVEMENT SECTION CONSISTING OF 1 1/2" WEARING COURSE OVERLAYING A 1 1/2" BINDER COURSE OVERLAYING A 12" COMPACTED GRAVEL BASE COURSE.
26. ALL AREAS TO BE PLANTED WITH GRASS SHALL BE TREATED WITH 100 POUNDS OF GROUND LIMESTONE PER 1,000 S.F. OF AREA PLANTED. ALL AREAS TO BE PLANTED WITH GRASS SHALL BE FERTILIZED WITH 10-10-10 AT THE RATE OF 1,000 POUNDS PER ACRE OR AS REQUIRED BY SOIL TEST. 40% OF THE NITROGEN SHALL BE ORGANIC FORM.
27. ALL LANDSCAPED AREAS TO BE LOAMED AND SEEDED SHALL HAVE THE FOLLOWING MIX:

PERENNIAL RYE	25%
KENTUCKY BLUE	25%
CREeping RED FESCUE OR	
PENNLAWN FESCUE	50%
SEED AT THE RATE OF 5#/1,000 S.F.	
28. ALL DISTURBED AREAS TO BE LOAMED AND SEEDED SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL SPREAD EVENLY THROUGHOUT. PROVIDE EROSION CONTROL MEASURES AS NECESSARY TO PROVIDE SLOPE STABILITY UNTIL VEGETATION IS ESTABLISHED. (NOTE: IF THERE IS A CONFLICT BETWEEN THESE PLANS AND LANDSCAPE PLANS THE LANDSCAPE PLANS SHALL DICTATE.
29. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEANUP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE. ALL DEMOLITION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE SITE TO A LEGAL DUMP SITE. ALL TRUCKS LEAVING THE SITE SHALL BE COVERED.
30. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR. MEASURES SHALL INCLUDE SILT SACKS IN DRAINAGE INLETS, MULCHING AND PLANTING OF DISTURBED AREAS.
31. PRIOR TO THE COMMENCEMENT OF ANY OTHER WORK A SILT SACK SHALL BE INSTALLED IN EACH EXISTING DRAINAGE INLET.
32. AFTER INSTALLATION OF EACH DRAINAGE INLET A SILT SACK SHALL BE INSTALLED IN EACH INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.
33. AT THE END OF CONSTRUCTION ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS.
34. DURING CONSTRUCTION THE EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAINFALL. THE EROSION CONTROL MEASURES SHALL BE CLEANED REGULARLY AND ADJUSTED IF NECESSARY TO ENSURE THAT NO SILT OR DEBRIS LEAVES THE SITE.
35. STABILIZATION MEASURES (SEEDING OR PLANTING, APPLYING MULCH OR OTHER NON-VEGETATIVE PRODUCT) OF EXPOSED SOILS SHALL BEGIN AS SOON AS PRACTICABLE AND IMMEDIATELY AFTER EARTH-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED. STABILIZATION TO BE COMPLETED WITHIN 14 DAYS.
36. SILT SOCKS SHALL BE INSTALLED ON THE DOWNSTREAM SIDE OF ALL STOCK PILES.
37. SPARE EROSION/SEDIMENT CONTROL MATERIALS SHALL BE AVAILABLE ON SITE FOR USE IN CONTINGENCY CONDITIONS OR AT THE DIRECTION OF \_\_\_\_\_ CODE ENFORCEMENT PERSONNEL.
38. ALL STORM DRAIN INLETS SHOWN TO BE ABANDONED SHALL BE ABANDONED AS FOLLOWS SUCH THAT THE TOPS ARE NO LESS THAN 3' FROM FINISHED GRADE: (A) PRECAST DRAINAGE INLETS SHALL HAVE THE GRATE, FRAME AND CONE SECTION REMOVED. THE STORM DRAIN PIPE SHALL BE PLUGGED USING BRICK AND MORTAR AND THE REMAINING STRUCTURE SHALL BE BACK FILLED AND COMPACTED, OR THE ENTIRE STRUCTURE SHALL BE REMOVED AND REMAINING VOID SHALL BE BACKFILLED AND COMPACTED. (B) BLOCK DRAINAGE INLETS SHALL BE GRATE AND FRAMED REMOVED AND THE STORM DRAIN PLUGGED AS IN (A) ABOVE. THE STRUCTURE SHALL THEN BE CRUSHED, BACKFILLED AND COMPACTED.
39. ALL STORM DRAINS TO BE ABANDONED WHICH ARE WITHIN 3' OF FINISHED GRADE SHALL BE REMOVED. ALL OTHERS SHALL BE PLUGGED AT EACH END.



**RETAINING WALL DETAIL TYPE-1**  
NOT TO SCALE  
KELLY ENGINEERING GROUP, INC.

SCALE		REV		DATE		REVISION		BY	
NA									
DATE	02/14/20	REV		DATE		REVISION		BY	
SHEET	8 of 10								
FILE #	2019-027-DT00								
JOB #	F:\P\2019-127								
DRAWN BY	CUL								
CHKD BY	GSN								
APPD BY	DNK								

**MARCUS PARTNERS**  
176- 210 GROVE STREET  
FRANKLIN, MA

**DETAIL SHEET**

**KELLY ENGINEERING GROUP**  
civil engineering consultants  
0 Campanelli Drive, Braintree, MA 02184  
Phone: 781-843-4333 www.kellyengineeringgroup.com

DAVID KELLY  
CIVIL  
NO. 37942  
REGISTERED PROFESSIONAL ENGINEER

Digitally signed by David Kelly  
DN: cn=David Kelly, o=Kelly Engineering Group, Inc., email=dkelly@kellyengr.com, c=US  
Date: 2020.02.14 15:00:01 -0500

SHEET NO. **8**

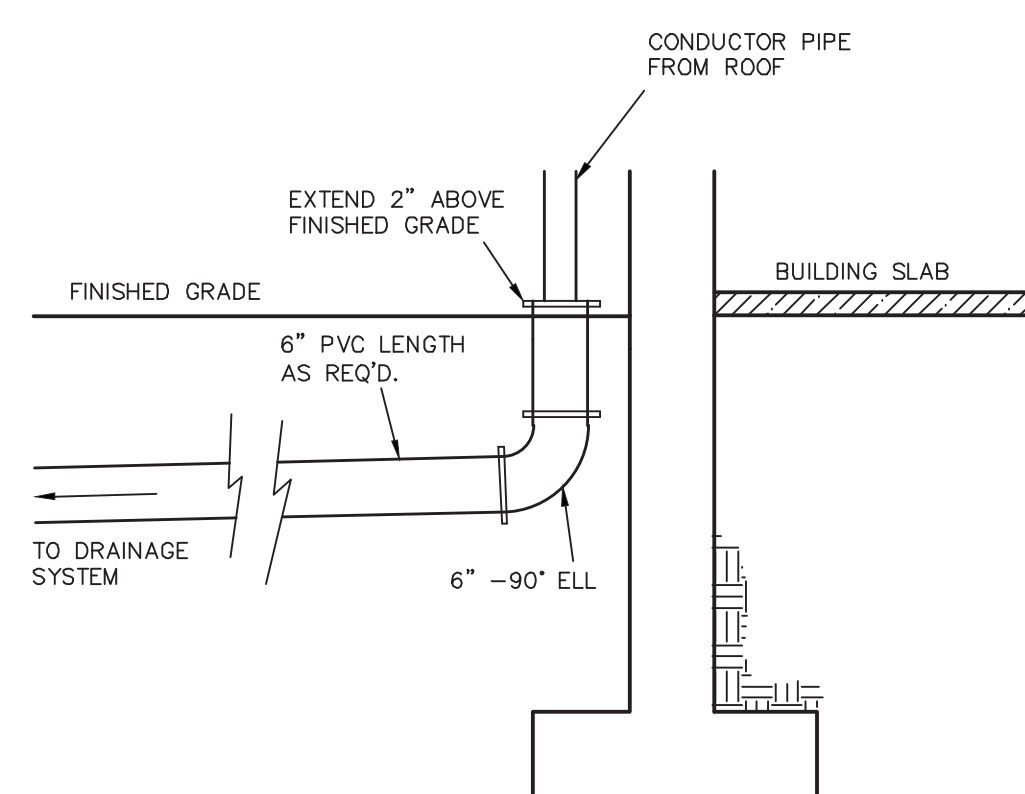
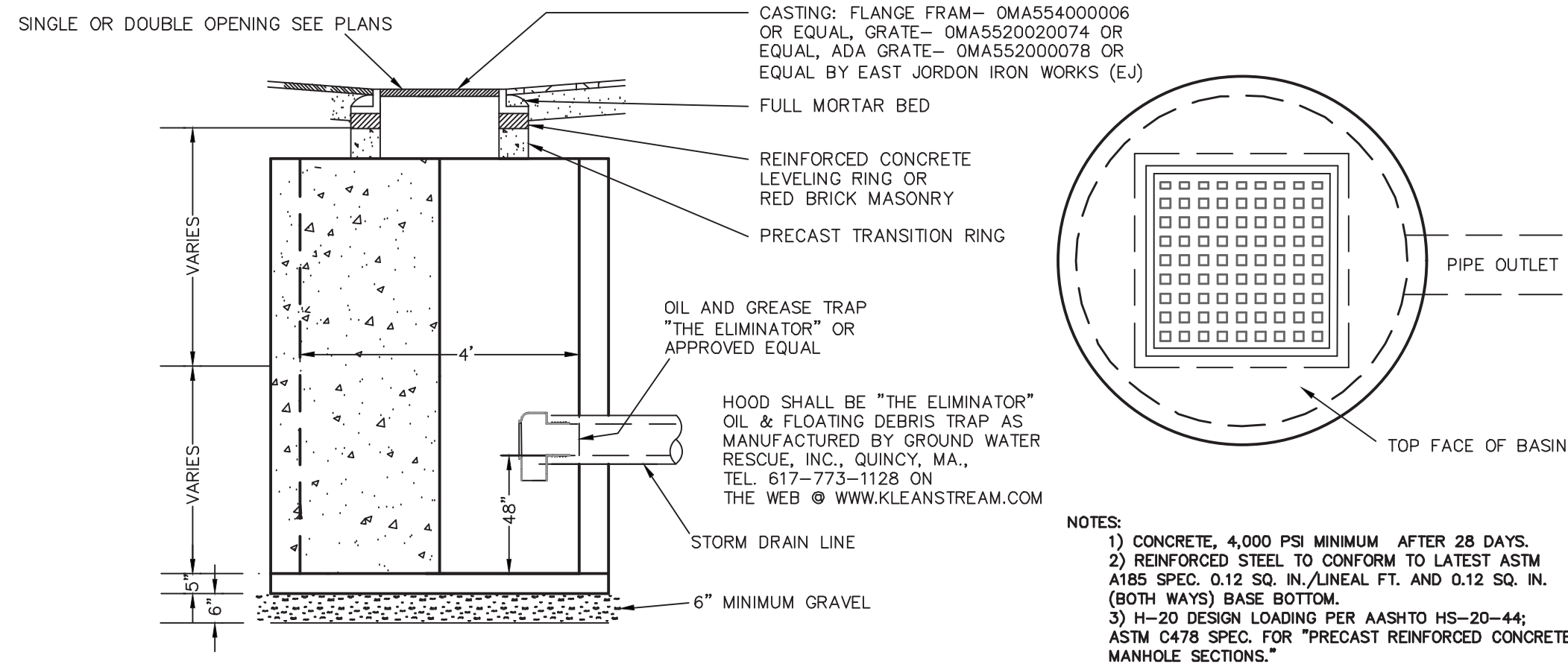
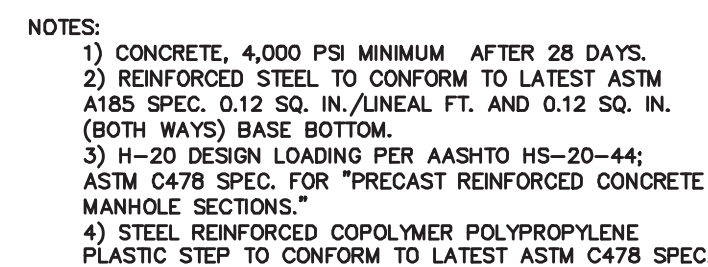
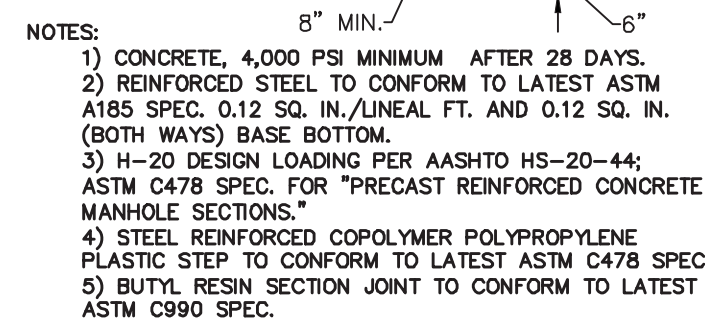
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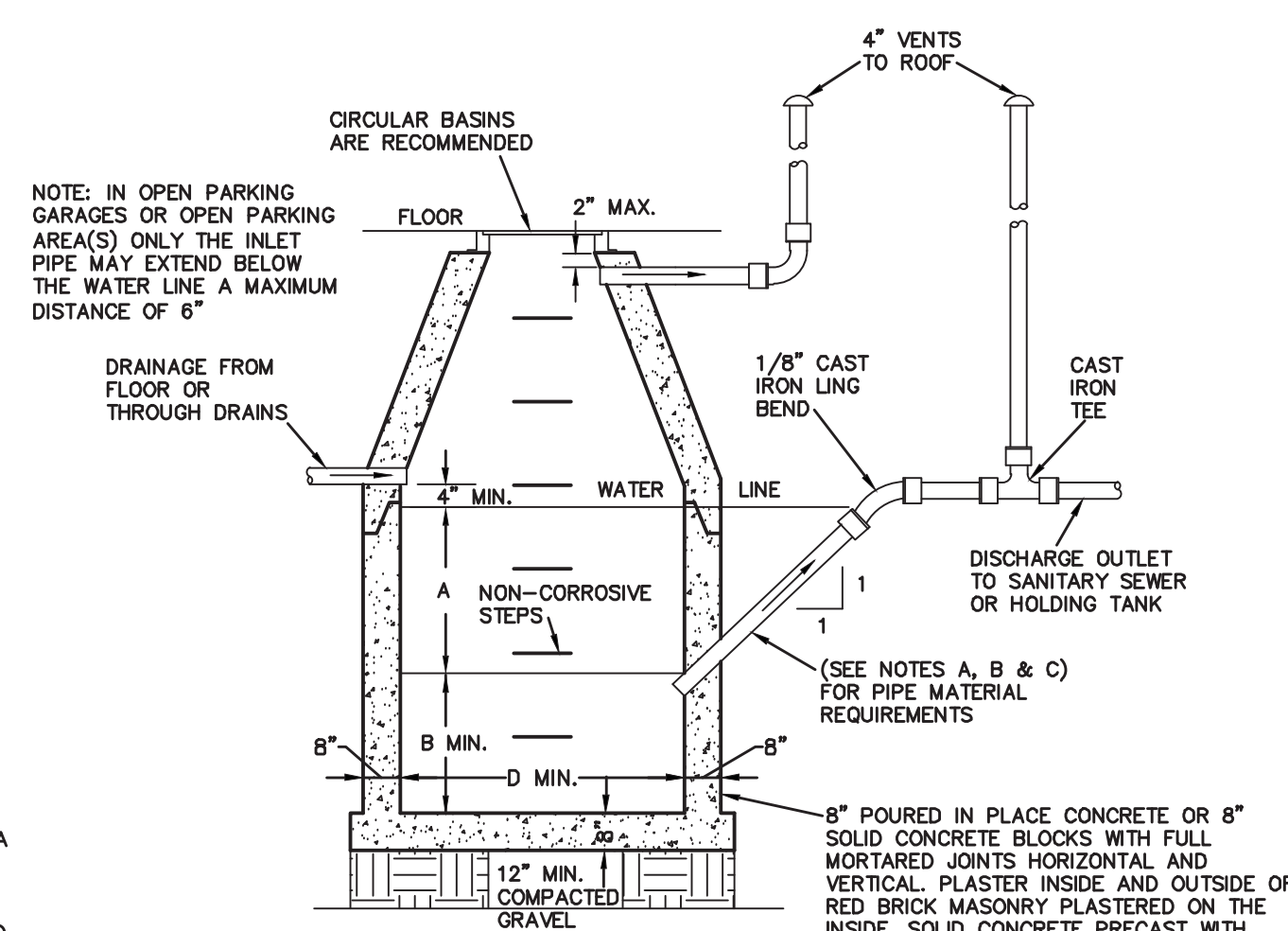




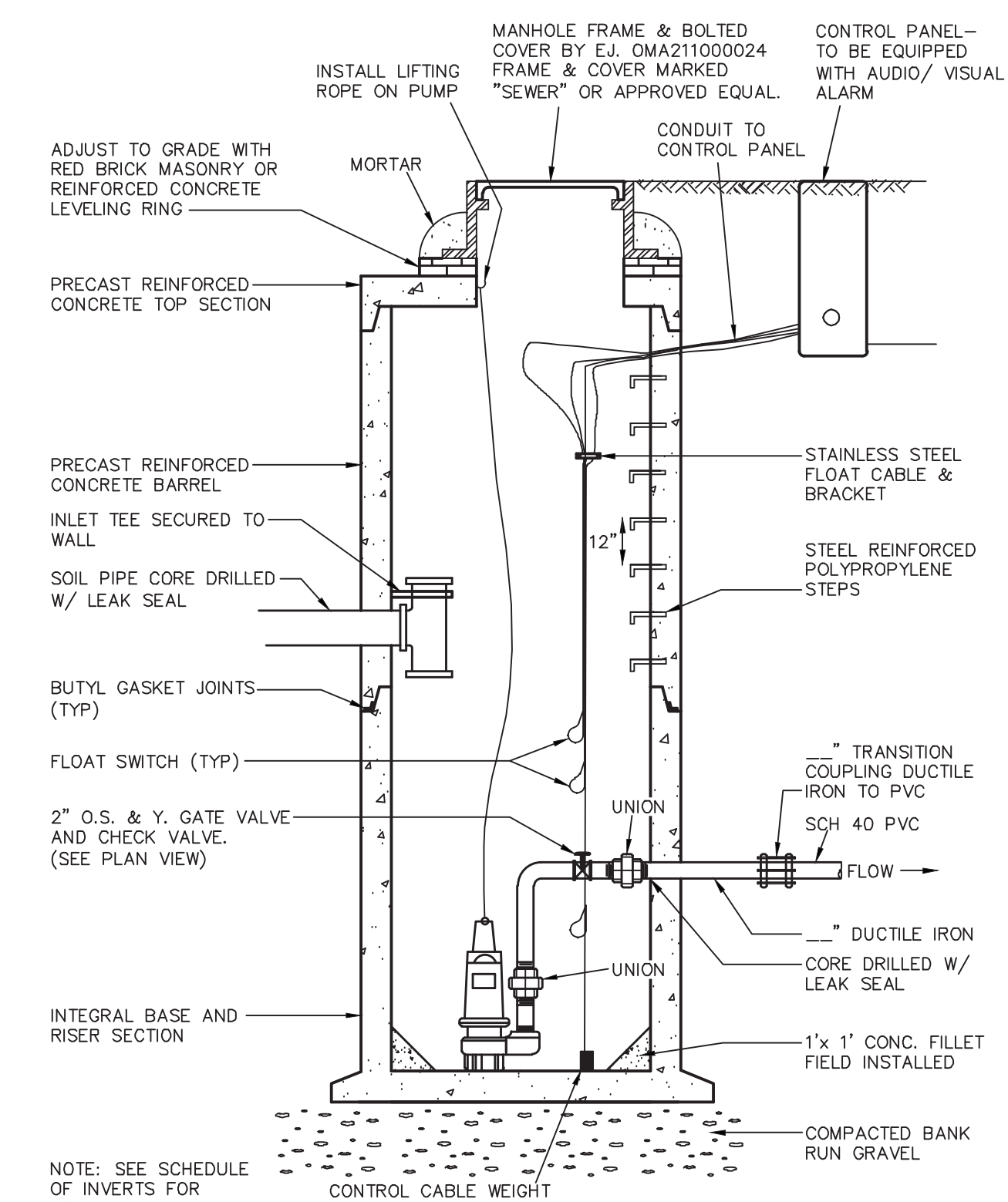
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8"	5'-0"	6'-0"	5'-0"
	5'-6 1/2'-0"	4'-6"	4'-6"
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	6'-6"	3'-6"	3'-0"
	6'-6 1/2'-0"	3'-0"	2'-6"

PIPING MATERIAL NOTES:  
A.NO-HUB CAST IRON PRODUCT-APPROVED  
STEEL CLAMPS  
B.SERVICE WEIGHT CAST IRON WITH  
PRODUCT-APPROVED RESILIENT GASKETS OR  
LEAD & OAKUM JOINTS.  
C.EXTRA HEAVY CAST IRON WITH  
PRODUCT-APPROVED RESILIENT GASKETS OR  
LEAD & OAKUM JOINTS.

**GENERAL CONSTRUCTION NOTES:**  
THE SEPARATOR IS TO BE LOCATED OUTSIDE OF A BUILDING WHERE POSSIBLE AND THE COVER IS TO INCORPORATE A CENTER-HOLE. A CENTER-HOLE IS REQUIRED IF THE SEPARATOR IS LOCATED INSIDE OF A BUILDING. THE COVER SHALL BE NO LESS THAN A 24" DIAMETER. THE COVER SHALL BE PROTECTED AND CONSTRUCTED TO PREVENT SURFACE OR SUB-SURFACE WATER FROM ENTERING. THE INLET PIPE SHALL BE NO LESS THAN FOUR INCHES IN DIAMETER. THE SEPARATOR SHALL BE SUBJECT TO FREEZING IT SHALL BE SET A MINIMUM OF THREE FEET BELOW THE FROST LINE. THE SEPARATOR SHALL BE FILLED WITH WATER AND LEAK TESTED BEFORE BEING INTRODUCED INTO SERVICE. THE SEPARATOR SHALL BE LOCATED AT LEAST 18" INCHES APART. THE CHAMBER VENT AND OUTLET VENT SHALL RETURN TO THE INSIDE OF THE BUILDING AND EXTEND THROUGH THE



THE COMMONWEALTH OF MASSACHUSETTS  
BOARD OF EXAMINERS OF PLUMBINGS  
AND GASFITTERS GASOLINE, OIL AND  
SAND SEPARATOR DESIGN



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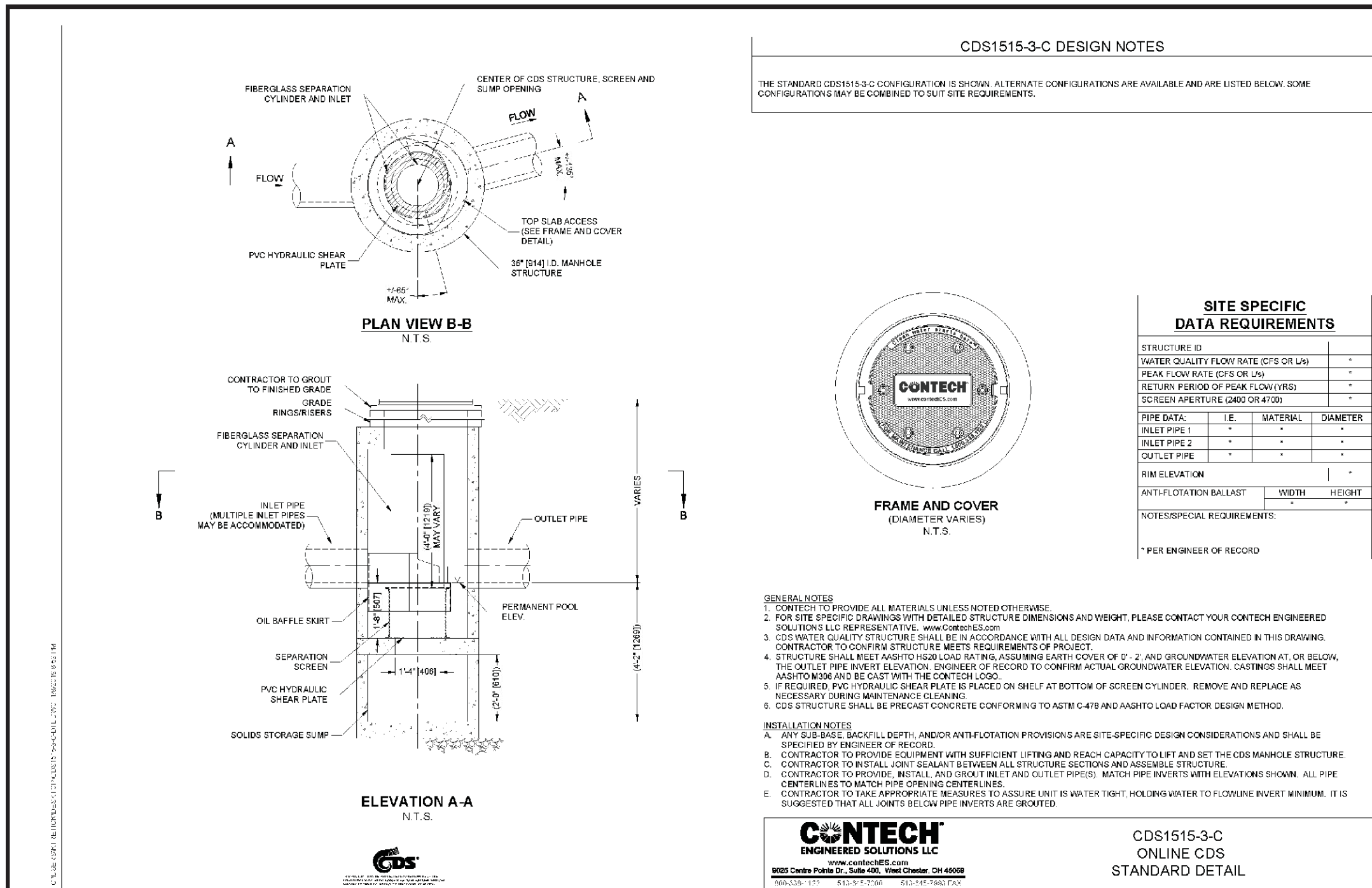
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March 27, 2020

Mr. Anthony Padula, Chairman  
355 East Central Street  
Franklin, MA 02038

**Re: 176 – 210 Grove Street  
Site Plan Peer Review**

Dear Mr. Padula:

BETA Group, Inc. is pleased to provide engineering peer review services for the proposed Site Plan Approval application, “176-210 Grove Street” in Franklin, Massachusetts. This letter is provided to outline findings, comments, and recommendations.

## **BASIS OF REVIEW**

The following documents were received by BETA and formed the basis of the review:

- Plans (10 Sheets) entitled ***Site Development Plans for 176 – 210 Grove Street, Franklin, MA***, dated February 14, 2020, prepared by Kelly Engineering Group, Braintree, MA
- Lighting Plan, dated February 12, 2020, prepared by Robert J. Lindstrom
- Stormwater Management Report, dated February 14, 2020, prepared by Kelly Engineering Group

Review by BETA included the above items along with the following, as applicable:

- Site Visit
- ***Zoning Chapter 185 From the Code of the Town of Franklin***, current through October 2019
- ***Zoning Map of the Town of Franklin, Massachusetts***, attested to April 30, 2019
- ***Stormwater Management Chapter 153 From the Code of the Town of Franklin***, Adopted May 2, 2007
- ***Subdivision Regulations Chapter 300 From the Code of the Town of Franklin***, current through January 1, 2016
- ***Wetlands Protection Chapter 181 From the Code of the Town of Franklin***, dated August 20, 1997
- ***Town of Franklin Best Development Practices Guidebook***, dated September 2016

## **INTRODUCTION**

The project site consists of two lots totaling 35.7± acres located at 176 and 210 Grove Street in the Town of Franklin (the “Site”). The Town of Franklin Assessor’s office identifies the parcels as Lots 311-001 and 311-002. The Site is located within the Industrial zoning district, Biotechnology Overlay District, and mostly within the Water Resources District (Zone II Wellhead Protection Area). Parcels to the south, north, and east are also located in the Industrial district. Parcels to the west are within the Rural Residential I district.



The Site is located in proximity to several wetland resource areas including an unnamed perennial stream, bordering vegetated wetlands, and isolated wetlands. The Site is not located in proximity to an estimated habitat of rare or endangered species or within a FEMA-Mapped 100-year flood zone. NRCS soil maps indicate the presence of Hinkley Loamy Sand with a Hydrologic Soil Group (HSG) rating of A (high infiltration potential) and Urban Land, with no associated HSG rating.

Plans indicate the existing site is currently developed with two industrial buildings, driveways, parking/loading areas, and stormwater management features. The remainder of the site consists of woods, lawn, and wetland areas.

The project proposes to combine the two lots and construct a new 150,000± sq. ft. industrial building with associated reconstructed driveway connection to Grove Street, parking, cape cod berm, integral concrete curb and sidewalk, and lighting. Proposed utilities include gravity and sewer force main, electric, gas, and domestic and fire water services that will be supplied by connecting to existing water services on the Site. Stormwater management is proposed through deep sump catch basins, proprietary water quality units (Contech CDS), and subsurface infiltration basins.

## **FINDINGS, COMMENTS AND RECOMMENDATIONS**

### **GENERAL COMMENTS**

- G1. The project proposes a retaining wall up to 10 feet in height and located adjacent to a property line. Verify that the wall, including any necessary geotextile reinforcement, slope work, or sheeting can be installed/constructed without an easement on the abutting property.
- G2. Revise Construction Notes (Sheet 8) to include missing Town information.
- G3. Confirm the proposed 10-foot wide gravel emergency access drive is acceptable to the Fire Chief.
- G4. Clarify if any external dumpster areas will be required for the new building.

### **ZONING**

The Site is located within the Industrial (I) Zoning District. The proposed use of the Site is identified as industrial and the parking legend indicates that building will be used as a warehouse. Plans also indicate a portion of the building will be used as office space. Warehouses and offices (clerical or administrative) are permitted by right in the district.

- Z1. Confirm the proposed office area is for clerical or administrative purposes.

### **SCHEDULE OF LOT, AREA, FRONTAGE, YARD AND HEIGHT REQUIREMENTS (§185 ATTACHMENT 9)**

The Zoning Legend notes indicates that the two subject parcels are to be combined into a single lot. The combined lot will meet the requirements for lot area, frontage, lot depth, lot width, front, rear, and side yards, building height, and impervious coverage. Greater than one principal building is permitted on a single lot in accordance with §185-11.

- SCH1. Clarify the interior lot line depicted on the 176 Grove Street Site, which is not shown on available online records.



## **PARKING, LOADING AND DRIVEWAY REQUIREMENTS (§185-21)**

The existing Site includes four paved access driveways. There are two active driveways for the 210 Grove Street parcel and one active driveway for the 176 Grove Street parcel. The fourth driveway is located on the 176 Grove Street parcel, is inactive, and is currently blocked at Grove Street. The project proposes to reconstruct the inactive driveway with new pavement (24' min.) and cape cod berm and bring it into active use. New paved areas will be installed around the proposed building for use as parking and access (24' min.). These new areas will also connect the two parking areas currently separated under the existing layout.

The proposed layout includes 417 total parking spaces (excluding loading areas and trailer parking), with 166 new spaces and 251 retained spaces. Proposed parking spaces are depicted as 19' long and 9' wide. Eighteen spaces are designated as accessible with associated 5' or 8' wide access aisles and signing. In addition, 31 new spaces are proposed for use at loading docks and 20 are proposed for trailer parking.

Section §185-21.B.(2) describes the number of parking spaces required for nonresidential uses in the Industrial District. For warehouses, 1 space must be provided per every 1,000 sq. ft. of gross floor area. For a total building area of 486,725 sq. ft., a minimum of 487 parking spaces are required. In accordance with the Americans with Disabilities Act (ADA), the required number of accessible parking spaces are provided at each building.

- P1. Resolve discrepancy between total number of parking spaces numbered on 176 Grove Street parcel (197) and that shown on Parking Legend (195).
- P2. Revise Typical Striping Detail to indicate a parking stall length of 19'.
- P3. The parking calculations are based solely on the total building footprint as a warehouse; however, a portion of the building is intended to be used as an office. BETA defers to the Zoning Enforcement Officer to determine the application of §185-21.B.(3)(b).
- P4. The plans indicate 107 parking spaces will be provided for the new building and that 150 are required. Provide the required number of parking spaces or request a waiver in accordance with §185-21.A.(4). BETA notes that in conjunction with comment P4, if the 59 proposed spaces at the 176 Grove Street site are intended to serve the new building, the total number required for the new building will be provided.
- P5. Clarify which building the additional 59 parking spaces on the 176 Grove Street parcel are intended to serve. Approximately 37 of the spaces are located more than 300 feet from the 176 Grove Street building and may not count towards the fulfillment of parking requirements unless approved by the Board (§185-21.C.(6)).
- P6. The inactive driveway proposed for reconstruction/reuse appears to be less than 50' from Old Grove Street (§185-21.C.(7)(a)). Recommend to explore options to relocate the driveway more than 50' from Old Grove Street or relocating it directly across from Old Grove Street.
- P7. Provide calculations for stopping sight distance and intersection sight distance at inactive driveway proposed for reuse (§185-21.C.(7)(c)). Based upon BETA's site walk, selective clearing should be provided at the driveway's intersection with Grove Street to increase sight distance.
- P8. Provide tree plantings in accordance with the requirements of §185-21.C.(5).
- P9. Clarify how the temporary loss of parking will be handled on the 176 Grove Street site.



P10. Confirm the required accessible signing and striping are provided at the 210 Grove Street parcel.

### **INDUSTRIAL DISTRICT PERFORMANCE CONTROLS (§185-22)**

All uses in industrial districts must comply with the requirements of this section.

I1. Provide general information on anticipated post-development noise, vibrations, and odors.

### **SIDEWALKS (§185-28)**

The project is located within the Industrial Zoning District and is not required to provide sidewalks along the street frontage. There are no existing sidewalks on Grove Street in proximity to the project.

### **CURBING (§185-29)**

The project proposes the use of vertical granite curbing within the Grove Street right-of-way for the reconstructed access driveway and proposes cape cod berm throughout the remainder of new development areas. BETA notes the existing sites have a mixture of vertical granite curb, cape cod berm, or pavement edges with no treatment.

C1. The Bylaw does not include any provisions for the installation of cape cod berm. At the discretion of the Board revise bituminous curb to be vertical granite or reinforced concrete curbing adjacent to parking areas. BETA defers to the preference of the Board regarding edge treatments along the access driveway.

C2. Provide turning movement at the driveway proposed for reconstruction/reuse to demonstrate the proposed curb radius is adequate.

### **SITE PLAN REVIEW (§185-31)**

The proposed development is subject to Site Plan Review and must comply with the requirements of this section.

S1. Indicate assessor's map and parcel identification numbers for subject lots (§185-31.C.(3)(b)).

S2. Indicate zoning boundaries and land uses on locus map (§185-31.C.(3)(d)).

S3. Identify areas of the Site within the Water Resource District (§185-31.C.(3)(h)).

S4. Provide landscaping plan identifying proposed vegetation and existing vegetation to be retained (§185-31.C.(3)(j)).

S5. At the discretion of the Board, provide quantification of proposed traffic circulation and vehicle trips generated (§185-31.C.(3)(s)).

S6. Identify limit of work and proposed tree line (§185-31.C.(3)(u)).

S7. Revise lighting plan to eliminate spillage onto adjacent residential parcels (§185-31.C.(4)(e)). Provide typical details for proposed light poles and luminaires.

### **SCREENING (§185-35)**

The project proposes outdoor parking for 10 or more cars, which must be screened from adjacent residential uses located to the north. No formal screening is proposed; however, parking areas are proposed to be located between 1 and 10 feet below the existing grade and existing vegetation to remain may provide additional mitigation.



- L1. The Retaining Wall Detail indicates a safety fence at the top of wall. Recommend to provide a fence that will also serve to screen the parking area, such as a chain-link fence with vinyl slats.

## **WATER RESOURCES DISTRICT (§185-40)**

The Site is located mostly within the Water Resources District due to the presence of a Zone II Wellhead Protection Area.

- WR1. Depict the boundary of the Water Resource District on the plans.
- WR2. Section §185-40.D.(1)(I)(ii) requires that the proposed groundwater recharge efforts must be approved by a hydrogeologist; however, provided that the stormwater management system is revised to fully comply with the Massachusetts Stormwater Management Standards no adverse impacts to groundwater are anticipated as a result of the project. BETA defers to the preference of the Board to require approval by a hydrogeologist.
- WR3. Clarify if the project proposes the storage of, or will generate any hazardous materials, except as permitted in accordance with §185-40.D.(1)(d).
- WR4. Note that any fill placed in quantity greater than 15 yards must be certified in accordance with §185-40.E.(5).

## **UTILITIES**

Proposed utilities include gravity and sewer force main, electric, gas, and domestic and fire water services that will be supplied by connecting to existing water services on the Site. Gas traps are proposed for interior floor drains at drive in doors. Detailed review of utilities is anticipated to be provided by the DPW and Fire Chief, as applicable.

- U1. Provide a note that all water and sewer utility installations shall be done in accordance with the Town of Franklin Department of Public Works Standards for Sewer and Water Materials and Installation (Town Standards). Also note that where utility installation details conflict with the Town Standards that the Town Standards shall govern.
- U2. Confirm size and material of existing sewer line on Grove Street and existing water lines on the Site.
- U3. Indicate the proposed material for the 2" force main.
- U4. Revise Schedule 40 PVC on Ejector Station Manhole Section detail to SDR 21 PVC, ductile iron, or HDPE, in accordance with the Town Standards. Also, indicate the size of the proposed ductile iron pipe and transition coupling.

## **STORMWATER MANAGEMENT**

The project proposes to direct runoff from impervious areas into new closed drainage systems comprised of roof leaders, deep sump catch basins with hoods, and stormwater quality units (Contech). The majority of runoff from impervious surfaces will be directed to one of two new subsurface infiltration systems. Overflows from the proposed stormwater systems will be directed to an existing drainage system on the 176 Grove Street site.



## GENERAL

- SW1. Revise the Runoff Summary and Hydraflow model to clearly define and route flows to design points. Subwatersheds “To Existing 24” RCP,” “Woods A,” “Woods B,” and “To Wetland B” all appear to be directed to “DP#4 Wetland B.” Clarify if subwatersheds “To Offsite” should be its own design point or combined with “To Exist. 12” RCP” and directed to “DP #2.” Recommend for the Runoff Summary to only include design point information for the 2, 10, and 100-year storm events.
- SW2. Revise proposed HDPE pipe within areas subject to traffic loads to be RCP. Where cover is less than 42” provide Class V RCP (§300-11.B.(2)(a)).
- SW3. Revise details (e.g. Contech) so that all notes are legible.
- SW4. Consider providing double grates at proposed CBC2A, CBA1A, CBA1B, and CBE2A, where calculated flows (3+ cfs) will exceed grate capacities. The designer could also consider a double grate at the sag CBC2B instead of CBC2A.
- SW5. Revise structure labels to identify CBC2A. CBC1A is labeled twice.
- SW6. Confirm the existing drainage systems are adequately sized to accommodate the new closed drainage system flows.
- SW7. Revise the Typical H2O Inspection Port detail to depict the required connection to the perforated CMP that is proposed as part of the project.

## MASSACHUSETTS STORMWATER MANAGEMENT STANDARDS:

The proposed development will disturb greater than one acre and is located in proximity to wetland resources; therefore, the project is subject to Chapter 153: Stormwater Management of the Town of Franklin Bylaws and MassDEP Stormwater Management Standards.

**No untreated stormwater (Standard Number 1):** *No new stormwater conveyances (e.g., outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.*

The project does not propose any new untreated stormwater discharges to wetlands – **complies with standard.**

**Post-development peak discharge rates (Standard Number 2):** *Stormwater management systems must be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates.*

The project proposes an increase in impervious area and will use two subsurface infiltration systems to mitigate increases in post-development peak discharge rates and total runoff volumes.

- SW8. Provide summary table comparing pre-development and post-development runoff volumes. Runoff volumes may not increase per §300-11.A.(3) and the Best Development Practices Guidebook.
- SW9. A portion of Subwatershed “To Wetland B” is comprised of Gravel. BETA notes that as part of a previously approved Site Plan at 176 Grove Street this area was proposed to be restored with a wildflower mix. In consideration that the previous stormwater design took credit for this restoration, it should be modeled as meadow in the current design.



SW10. Revise the elevation of the concrete baffle in Control Structure Manhole #1 to 247.95, or include the baffle in the Hydraflow model.

SW11. Review existing time of concentration calculations. Several flow path lengths do not appear to match those depicted on the plans.

**Recharge to groundwater (Standard Number 3):** *Loss of annual recharge to groundwater should be minimized through the use of infiltration measures to maximum extent practicable.*

NRCS soil maps indicate the presence of Hinkley Loamy Sand with a Hydrologic Soil Group (HSG) rating of A (high infiltration potential) and Urban Land, with no associated HSG rating. Test pit logs indicate the presence of sand and loamy sand in proximity to Subsurface Systems 1 and 2 respectively. No mottles were observed in any of the test pits; however, weeping was observed in several test pits, approximately 4 feet below the bottom of the systems. The infiltration systems have been designed to provide a recharge volume in excess of that required and will drain within 72 hrs.

SW12. Provide a section detail for the proposed subsurface infiltration systems, including pipe and stone (top and bottom) elevations.

SW13. Clarify the encasement widths for each barrel in the Subsurface Systems. The number of barrels times the encasement width exceeds the total proposed width shown on the details.

SW14. BETA notes the designer proposes to use corrugated metal pipe for the subsurface infiltration systems. The Board should confirm they find the proposed material acceptable.

SW15. Provide a correction, such as a Frimpter analysis, for the observed groundwater elevations in proximity to the proposed infiltration systems. If seasonal high groundwater is determined to be within 4 feet of the bottom of the system, and exfiltration is required to mitigate peak flow rates, a mounding analysis is required.

SW16. Provide an additional test pit within the limits of Subsurface System 2 to confirm soil textures and groundwater elevations. BETA notes that Test Pit #1, in proximity to the system, encountered refusal between approximate elevations 255 and 251.5. The bottom of the proposed system is at elevation 242.5.

SW17. Subsurface System 1 is proposed at elevation 240.0, approximately 3 feet below the bottom of the test pits conducted in proximity to the system. Provide additional subsurface information to confirm soils are suitable and there is adequate separation to groundwater or consider raising the system. If additional soils information cannot be provided due to required depth of excavation, BETA recommends the Board include a condition of approval requiring the additional information to be provided at the start of construction.

SW18. Review the calculated recharge volume, based on an impervious increase of 167,000 sq. ft. Review of the proposed plans as well as the Hydraflow analysis indicates a significantly higher impervious increase, estimated at approximately 227,000 sq. ft. The confirmed impervious increase should be updated throughout the Stormwater Report.

SW19. Confirm the provided recharge volume of Subsurface System 1 indicated in the Recharge System Calculations.



**80% TSS Removal (Standard Number 4):** *For new development, stormwater management systems must be designed to remove 80% of the annual load of Total Suspended Solids.*

The project proposes to direct runoff from roofs and the majority of new parking areas to new subsurface infiltration systems. Pretreatment for new pavement areas directed to the infiltration systems is proposed in the form of four proprietary stormwater quality units (Contech). The remainder of the parking areas are directed to the existing drainage system on the 176 Grove Street site. A long-term pollution prevention plan was included as part of the Drainage Analysis.

SW20. Approximately 29,000 sq. ft. of new impervious parking area (located near the southeast corner of the building and part of "To Exist 24" RCP" subwatershed) will be directed to the existing drainage system at 176 Grove Street, which exceeds the amount of existing impervious area replaced (~17,000 sq. ft.) at the northeast corner of the building. Provide the required 80% TSS removal (and 44% pretreatment, if directed to an infiltration system) for the new pavement area. Although a proprietary stormwater unit was installed as part of the previous 176 Grove Street Site Plan construction, the redevelopment portion of the project is required to improve the existing conditions.

SW21. Given the strict requirements to receive a TSS removal credit for street sweeping, recommend removing this component from the calculations.

SW22. The TSS removal efficiencies for proprietary treatment devices should be limited to values documented as part of third-party testing (MassSTEP, NJCAT, etc.)

SW23. The designer has demonstrated that 44% TSS will be removed for discharges to infiltration structures in soils with rapid infiltration rates. Include the infiltration structures in the treatment train to demonstrate the total TSS removal.

SW24. If the TSS removal rates are calculated to be below 80% prior to infiltration, demonstrate that the infiltration structures can retain the required 1" water quality volume.

**Higher Potential Pollutant Loads (Standard Number 5):** *Stormwater discharges from Land Uses with Higher Potential Pollutant Loads require the use of specific stormwater management BMPs.*

The project narrative indicates the project qualifies as a Land Use with Higher Potential Pollutant Load (LUHPPL).

SW25. Revise the narrative to clarify how the project qualifies as a LUHPPL.

SW26. Revise discrepancy between stormwater narrative and checklist regarding NPDES Multi-Sector Permit.

**Critical Areas (Standard Number 6):** *Stormwater discharges to critical areas must utilize certain stormwater management BMPs approved for critical areas.*

The project proposes the use of deep sump catch basins and proprietary stormwater treatment units (Contech) as pretreatment devices and the use of subsurface infiltration systems. The proposed treatment trains are consistent with the recommendations of MassDEP for discharges to Zone II wellhead protection areas.

SW27. Revise the stormwater narrative to indicate the project is within an active public water supply (Zone II).



**Redevelopment (Standard Number 7):** *Redevelopment of previously developed sites must meet the Stormwater Management Standards to the maximum extent practicable.*

The project is considered a mixture of new development and redevelopment. Provided that comments are addressed; new development areas will fully comply with the Stormwater Management Standards and redevelopment areas will improve the existing conditions.

**Construction Period Erosion and Sediment Controls (Standard Number 8):** *Erosion and sediment controls must be implemented to prevent impacts during construction or land disturbance activities.*

The project as currently depicted will disturb in excess of one acre of land; therefore, a Notice of Intent with EPA and a Stormwater Pollution Prevention Plan (SWPPP) are required. The project proposes the use of erosion control barrier (silt sock), catch basin inlet protection (silt sack), and a stabilized construction entrance. The Stormwater Management Report indicates that a SWPPP and construction sequencing plan will be provided when a site contractor is consulted.

SW28. Depending on the contractor's schedule, the existing catch basin located east of the proposed building may remain in place after the start of land disturbance. Provide a silt sack at this location.

SW29. Indicate proposed locations for construction tracking pads on the plans.

SW30. Revise construction tracking pad to a minimum width of 20 feet.

SW31. Consider supplemental silt socks at the limits of existing pavement adjacent to proposed grading areas to minimize sediment transport.

**Operations/maintenance plan (Standard Number 9):** *A Long-Term Operation and Maintenance Plan shall be developed and implemented to ensure that stormwater management systems function as designed.*

A Long-Term Operation and Maintenance (O&M) Plan has been provided.

SW32. The project proposes to combine two sites with separate stormwater systems and install new stormwater systems for new development. Revise the O&M Plan to cover the entirety of the site, including designating snow storage areas throughout.

SW33. Remove O&M reference to septic systems.

SW34. Provide an estimated O&M budget.

SW35. Based on the proposed use of the site and anticipated frequent truck traffic, a spill kit should be kept on site at all times.

**Illicit Discharges (Standard Number 10):** *All illicit discharges to the stormwater management systems are prohibited.*

An Illicit Discharge Compliance Statement was included in the Stormwater Management Report.

SW36. Provide a signature on the Illicit Discharge Compliance Statement.

If we can be of any further assistance regarding this matter, please contact us at our office.

Very truly yours,





Mr. Anthony Padula, Chairman

March 27, 2020

Page 10 of 10

BETA Group, Inc.

A handwritten signature in blue ink that reads "Matt Crowley". The signature is stylized with a large "M" and a long, sweeping underline.

Matthew J. Crowley, PE  
Project Manager

A handwritten signature in blue ink that reads "Stephen Borgatti". The signature is written in a cursive style.

Stephen Borgatti  
Staff Engineer

cc: Amy Love, Planner





## TOWN OF FRANKLIN

### DEPARTMENT OF PUBLIC WORKS

Franklin Municipal Building

257 Fisher Street

Franklin, MA 02038-3026

March 20, 2020

Mr. Anthony Padula, Chairman  
Members of the Franklin Planning Board  
355 East Central Street  
Franklin, MA 02038

**RE: Site Plan Modification – 176 & 210 Grove St**

Dear Mr. Chairman and Members:

We have reviewed the submitted materials for the subject project and offer the following comments:

1. Applications that will need to be filed with the Franklin Department of Public Works may include, but are not necessarily limited to Water and Sewer Permits, Inflow & Infiltration Removal fees, Street Excavation Permits, and a Soil Erosion and Sediment Control Permit.
2. There should be only one domestic water line and one fire protection line connection into the proposed building. The domestic water will need to be metered where the line enters the building.
3. The plans show cape cod berm along all new paved areas. We note that the Board typically requires vertical curb, either granite or reinforced concrete.
4. In addition to peak runoff rates, peak runoff volumes also need to be evaluated to show no increase in post-construction conditions.
5. Whereas this site is within a Water Resource District, in accordance with 185-40.E.4, provisions shall be made for all stormwater runoff from impervious surfaces.
6. In accordance with Massachusetts Stormwater Standards, 44% pre-treatment shall be provided prior to infiltration BMP's.

Should you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,

Michael Maglio, P.E.  
Town Engineer





## **FRANKLIN PLANNING & COMMUNITY DEVELOPMENT**

355 EAST CENTRAL STREET  
FRANKLIN, MA 02038-1352  
TELEPHONE: 508-520-4907  
FAX: 508-520-4906

### **MEMORANDUM**

**DATE:** April 29, 2020  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** 176-210 Grove St  
Site Plan Modification

---

The DPCD has reviewed the above referenced Site Plan Modification application for the Monday, May 4, 2020 Planning Board meeting and offers the following commentary:

#### **General:**

1. The site is located at 176-210 Grove Street in the Industrial Zoning District (Assessors Map 311 Lots 001 & 002).
2. The applicant is proposing to construct 150,000 sq/ft building with parking spaces, drainage and landscaping.
3. The following letters have been received from other Town Departments and outside Peer Review;
  - Letter dated March 10, 2020 from J.S. Barbieri, Deputy Fire Chief
  - Letter dated March 20, 2020 from Mike Maglio, Town Engineer
  - Letter dated March 27, 2020 from Matt Crowley, BETA
4. Applicant has filed an NOI with the Conservation Commission and is scheduled for a May 28, 2020 Public Hearing.

#### **Comments:**

1. The Applicant has submitted a traffic analysis and BETA is currently reviewing the analysis.
2. Applicant should show the structures on the abutting properties, along with driveway entrances.
3. Per Zoning By-Law §185-31 C (3)(k), the applicant has not provided a Landscaping Plan. The Planning Board will need to determine if a landscaping plan is required for this project.
4. Per Zoning By-Law §185-12, the applicant has not provided landscaping within 10 feet of the street line. The Planning Board should determine if landscaping is required for this project.



5. If there will be a dumpster located on the property, it should be shown, located on a concrete pad and enclosed with a fence.
6. The applicant is proposing Bituminous concrete and cape cod berm throughout the site. The Board should determine if the site should be reinforced concrete or granite curbing
7. DPCD defers to DPW/Engineering and BETA Group, Inc. to address drainage issues.

**Recommendation:**

DPCD recommends continuing the public hearing until all outstanding issues are addressed.





# *FRANKLIN FIRE DEPARTMENT*

To : DPCD

FROM : J. S. BARBIERI, DEPUTY FIRE CHIEF

DATE 10 MARCH 2020

RE : SITE PLAN MODIFICATION-176 & 210 GROVE ST.

Thank you for the opportunity to review the above referenced plan.

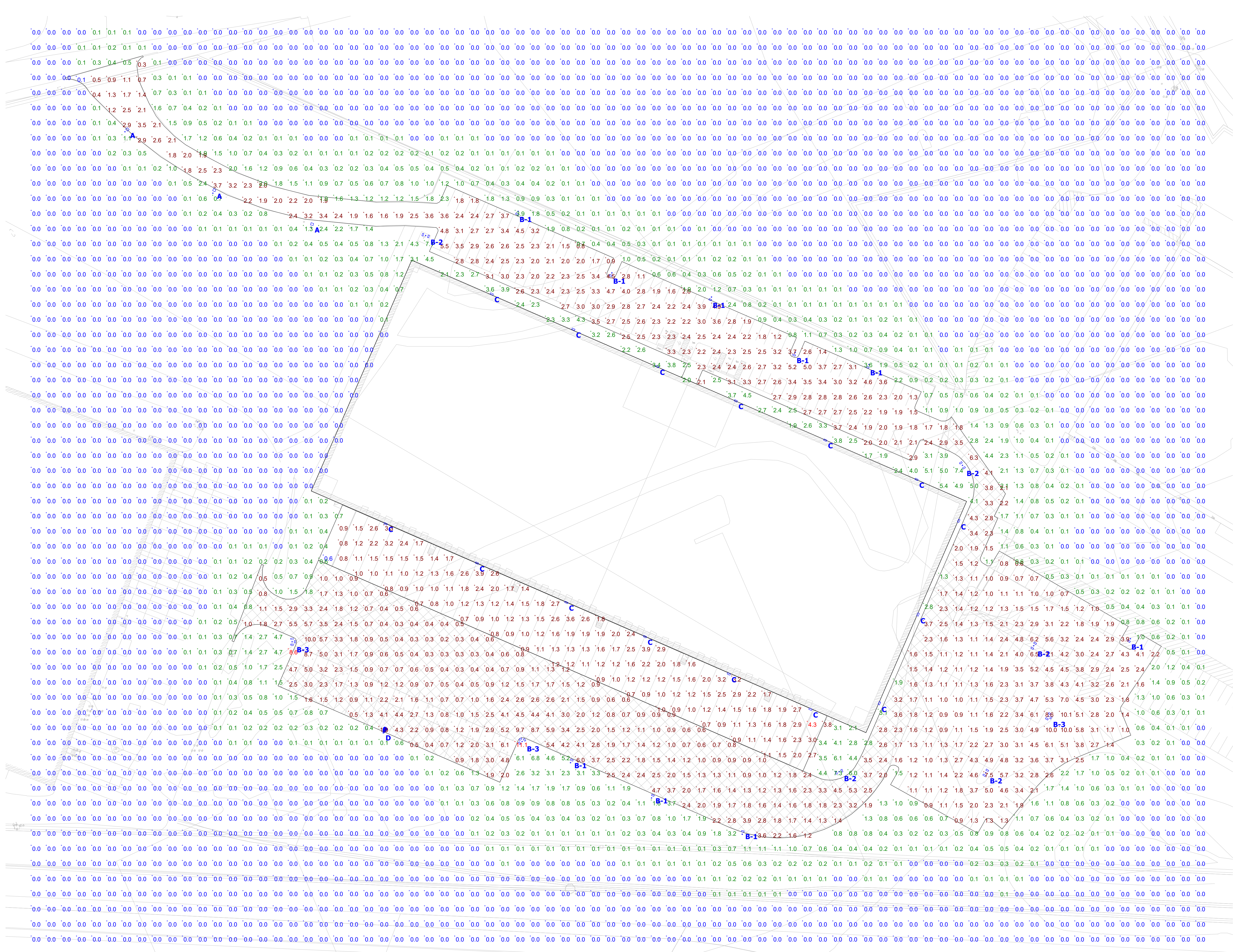
The South West corner of the proposed building will be directly over a main water supply for fire suppression at 210 Grove St. This is of great concern to the Fire Department as this site recently suffered damage to the same water supply and 210 Grove St. was without water for fire suppression. In speaking with the engineers for the proposed project this line will be replaced. If the proposed project moves forward then we request that procedures for any interruption in the water supply for the site must be created and communicated to the fire department. Any interruption in the water supply must be minimized to the best extend possible.

We have no other comments to provide.

Please contact me should you have any question or require any additional information.

cc: file





Plan View

NOTES:

- REFLECTANCES ASSUMED:  
WALL: 50  
GROUND : 20
- MOUNTING HEIGHTS: 20'-0" ABOVE GRADE
- TASK HEIGHT: AT GRADE
- CALCULATION POINT SPACING: 15'X15' OC

DISCLAIMER:

-THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM MANUFACTURERS PHOTOMETRIC IN-HOUSE OR INDEPENDANT LAB TEST WITH DATA SUPPLIED BY LAMP MANUFACTURERS.

STATISTICS						
DESCRIPTION	SYMBOL	AVG.	MAX	MIN.	MAX/MIN	AVG/MIN
Boundary	+	0.2 fc	8.6 fc	0.0 fc	N/A	N/A
Pavement / Parking Lot	+	2.3 fc	11.1 fc	0.1 fc	111.0:1	23.0:1
Trucks	+	1.6 fc	4.3 fc	0.6 fc	7.2:1	2.7:1

SCHEDULE

SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP	# OF LAMPS	LLF	LUMENS PER LAMP	WATTAGE
	A	3	Lithonia Lighting	RSX1 LED P4 40K R3 MOUNTING HS XX XX	RSX Area Fixture Size 1 P4 Lumen Package 4000K CCT Type R3 Distribution with HS Shield	LED	1	0.9	12480	133.1431
	B-1	9	Lithonia Lighting	RSX1 LED P4 40K R4 MVOLT MOUNTING XX XX	RSX Area Fixture Size 1 P4 Lumen Package 4000K CCT Type R4 Distribution	LED	1	0.9	16573	133.14
	B-2	5	Lithonia Lighting	RSX1 LED P4 40K R4 MVOLT MOUNTING XX XX	RSX Area Fixture Size 1 P4 Lumen Package 4000K CCT Type R4 Distribution	LED	1	0.9	16573	266.28
	B-3	3	Lithonia Lighting	RSX1 LED P4 40K R4 MVOLT MOUNTING XX XX	RSX Area Fixture Size 1 P4 Lumen Package 4000K CCT Type R4 Distribution	LED	1	0.9	16573	399.42
	C	15	Lithonia Lighting	WDGE3 LED P4 70CRI R4 40K MVOLT MUNTIN XX XX	WDGE3 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 4 OPTIC	LED	1	0.9	12537	87.8914
	D	1	Lithonia Lighting	RSXF1 LED P4 40K AWFD BV MVOLT MOUNTING XX XX	RSXF Flood Fixture Size 1 P4 Lumen Package 4000K CCT Type AWFD Distribution with BV Shield	LED	1	0.9	14738	133.1431



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FEB 18 2020  
PLANNING DEPT

FORM P

APPLICATION FOR APPROVAL OF A SITE PLAN

To the Franklin Planning Board:

The undersigned, herewith, submits the accompanying Site Plan entitled  
"176-210 Grove Street" for approval under the provisions of the Zoning By-Laws of the Town of Franklin covering Site Plans.

- MCP III 176 Grove LLC
- Name of Applicant: MCP III 210 Grove LLC  
Address of Applicant: at Marcus Partners, Inc. 260 Franklin St., Ste. 620, Boston, MA 02110  
Phone No.: 617 556-5204 Email: lreilly@marcuspartners.com
  - Name of Owner (if not the Applicant): SAME  
Address of Owner: \_\_\_\_\_  
Phone No.: \_\_\_\_\_ Email: \_\_\_\_\_
  - Name of Engineer: Kelly Engineering Group  
Address of Engineer: 0 Campanelli Dr., Braintree, MA 02184  
Phone No.: 781-843-4333 Email: dkelly@kellyengineeringgroup.com
  - Deed of Property recorded with Norfolk Registry of Deeds in  
Book 37261, Page 339, (or Certificate of Title No. 201354)  
37317 095 201486
  - Location and Description of Property:  
176-210 Grove St.  
See deeds attached  
(176) (210)  
Square Footage of Building(s) 175,909 SF / 170,965 SF  
Assessor's Map 311 Lot 001 / map 311 Lot 002
  - Purpose of Site Plan: Construction of new warehouse  
and associated parking reconstruction
  - List of Waivers Requested (if any): Attach Form R for each waiver

David Hooke  
Signature of Applicant

DAVID HOOKE  
Print Name of Applicant

David Hooke  
Signature of Owner

DAVID HOOKE  
Print Name of Owner

RECEIVED  
2020 FEB 24 AM 11:08  
TOWN OF FRANKLIN  
TOWN CLERK



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FEB 18 2020

PLANNING DEPT.

## CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:Title of Plan: 176 - 210 Grove StreetDate of Plan: Feb. 14, 2020 Assessor's Information: 311-002-000-000Prepared by: Kelly Engineering GroupType of Plan: 81-P; Prelim.; Def.; Site PlanSECTION B:Name of Record Owner(s): MCP III 210 Grove LLCAddress of Record Owner(s): 610 Marcus Properties Inc.  
260 Franklin Street, Suite 620  
Boston, MA 02110

\*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):

See Foreign LLC Application for Registration attached hereto

\*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation: \_\_\_\_\_

\*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation: \_\_\_\_\_

Oct. 16, 2019 - Delaware

Executed as a sealed instrument this

day of Feb. 2020

David Hooke  
Signature of Applicant

DAVID HOOKE  
Print name of Applicant

David Hooke  
Signature of Owner

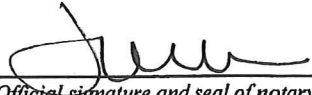
DAVID HOOKE  
Print name of Owner

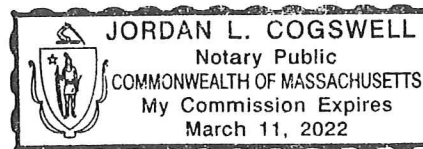


Suffolk ss.

Feb. 13, 2020

On this 13 day of FEBRUARY 2020, before me, the undersigned notary public, personally appeared DAVID HOOKE (name of Applicant), proved to me through satisfactory evidence of identification, which were KNOWN PERSONALLY to be the person whose name is signed on the preceding document in my presence.

  
(Official signature and seal of notary)  
Notary Public: JORDAN COGSWELL  
My Commission Expires: MARCH 11, 2022





176

RECEIVED

FEB 18 2020

PLANNING DEPT.

CERTIFICATE OF OWNERSHIP

I the undersigned Applicant, do hereby certify to the Town of Franklin, through its Planning Board, that all parties of interest to the below-listed plan are identified in Section B: below,

SECTION A:

Title of Plan: 176 - 210 Grove Street

Date of Plan: Feb. 14, 2020 Assessor's Information: 311-001-000-000

Prepared by: Kelly Engineering Group

Type of Plan: 81-P; Prelim.; Def.; Site Plan

SECTION B:

Name of Record Owner(s): MCP III 176 Grove LLC

Address of Record Owner(s): c/o Marcus Partners, Inc.  
260 Franklin St., Ste. 620  
Boston, MA 02110

\*If in the name of a Trust, Corporation or Partnership, list the names and addresses of all Trustee(s), Corporate Officer(s) or Partner(s):

See Foreign LLC Application for Registration attached hereto

\*If in the name of a Trust or Corporation, list the Beneficiary(ies) of the Trust or the Shareholder(s) of the Corporation: \_\_\_\_\_

\*If in the name of a Trust or Corporation, list the date, county, book and page of recording of the Trust Instrument, or the date and State of incorporation: \_\_\_\_\_

Sept. 10, 2019 - Delaware

Executed as a sealed instrument this

day of Feb. 20 20

David Hooke  
Signature of Applicant

DAVID HOOKE  
Print name of Applicant

David Hooke  
Signature of Owner

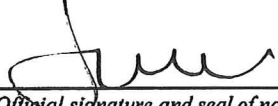
DAVID HOOKE  
Print name of Owner



Suffolk ss.

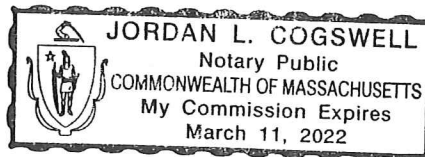
Feb 13, 2020

On this 13 day of FEBRUARY 2020, before me, the undersigned notary public, personally appeared DAVID HOOKE (name of Applicant), proved to me through satisfactory evidence of identification, which were KNOWN PERSONALLY to be the person whose name is signed on the preceding document in my presence.

  
(Official signature and seal of notary)

Notary Public: JORDAN COGSWELL

My Commission Expires: MARCH 11, 2022





# Town of Franklin



TOWN OF FRANKLIN  
TOWN CLERK

2020 FEB 27 P 1:46

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## Planning Board

The following notice will be published in the Milford Daily Newspaper once on Monday, March 9, 2020 and again on March 16, 2020

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### FRANKLIN PLANNING BOARD PUBLIC HEARING NOTICE

In accordance with the Town of Franklin Zoning By-Laws, the Franklin Planning Board will hold a public hearing on **Monday, March 23, 2020 at 7:15 PM** in the Town Council Chambers of the Franklin Municipal Building, 355 East Central Street, for a Site Plan application at 176-210 Grove Street in Franklin, MA prepared by Kelly Engineering, Braintree, MA, Inc. and submitted to the Department of Planning & Community Development on February 18, 2020, by MCP III 176 Grove LLC & MCP III 210 Grove LLC, Marcus Partners.

The property is located in the Industrial Zoning District (Assessors Map 311 Lots 001 & 002) on Grove Street. The applicant is proposing to construct a 150,000 sq/ft building with parking, drainage and landscaping.

**Please note: This will be your only written notice of this public hearing. All future Public Hearings on this matter, will be posted on the Planning Board's website under Agendas.**

Please contact the Department of Planning & Community Development at (508) 520-4907 if you require further information or if you need to make arrangements to provide translation services for the hearing impaired, or for persons with language barriers.

Copies of the plan and supporting documentation may be reviewed in the Department of Planning & Community Development during regular office hours.

Anthony Padula, Chairman



NEW YORK CENTRAL LINES LL  
C/O CSX TRANSPORTATION TA  
500 WATER ST (C 910)  
JACKSONVILLE, FL 32202

WAITE SCOTT S  
WAITE PAULA G  
198 GROVE ST  
FRANKLIN, MA 02038

PETITT EVERETT J III  
PETITT SUSAN J  
24 OLD GROVE ST  
FRANKLIN, MA 02038

UNITED STATES OF AMERICA  
696 VIRGINIA ROAD  
CONCORD, MA 01742

OBRIEN JAMES F  
OBRIEN VIRNA C  
21 OLD GROVE ST  
FRANKLIN, MA 02038

CG GROVE ST LLC  
C/O GROSSMAN COMPANIES IN  
859 WILLARD ST, SUITE 501  
QUINCY, MA 02169

NV FRANKLIN LLC  
120 WATER STREET - THIRD FLOOR  
BOSTON, MA 02109

COMMONWEALTH OF MASSACHUS  
DIVISION OF STATE PARKS A  
251 CAUSEWAY STREET - SUITE 60  
BOSTON, MA 02114-2104

CHARLEY2017 LLC  
7 MYRTLE ST  
NORFOLK, MA 02056

WOODS PAUL E  
WOODS NICOLE M  
191 GROVE ST  
FRANKLIN, MA 02038

CORE REAL ESTATE HOLDINGS  
166 GROVE ST  
FRANKLIN, MA 02038

BIBEAULT DEBORAH G  
BIBEAULT CHARLES N  
185 GROVE ST  
FRANKLIN, MA 02038

YERGATIAN VERNON C  
V & A REALTY TRUST AVEDIS  
168 GROVE STREET  
FRANKLIN, MA 02038

BATISTA ANTERO  
BATISTA DONNA M  
P O BOX 668  
FRANKLIN, MA 02038

170 GROVE STREET LLC  
170 GROVE ST  
FRANKLIN, MA 02038

MCP III 176 GROVE LLC  
C/O MARCUS PARTNERS, INC.  
260 FRANKLIN ST  
BOSTON, MA 02110

FRANKLIN TOWN OF  
355 EAST CENTRAL STREET  
FRANKLIN, MA 02038

MCP III 210 GROVE LLC  
C/O MARCUS PROPERTIES INC  
260 FRANKLIN ST SUITE 620  
BOSTON, MA 02110

NO SHOES ON GROVE LLC  
186 GROVE ST  
FRANKLIN, MA 02038

PALEOLOGOS ANDREW A  
PALEOLOGOS SHANNON P  
30 OLD GROVE ST  
FRANKLIN, MA 02038

SPENCER LORRAINE R, TRS  
SPENCER REALTY TRUST  
196 GROVE ST  
FRANKLIN, MA 02038

BOUDREAU MARY P L/E  
FRANCIS, SCOTT FRANCIS, N  
22 OLD GROVE ST  
FRANKLIN, MA 02038



NEW YORK CENTRAL LINES LL  
C/O CSX TRANSPORTATION TA  
500 WATER ST (C 910)  
JACKSONVILLE, FL 32202

ROSSETTI WILLIAM J  
231 GROVE ST  
FRANKLIN, MA 02038

SPENCER LORRAINE R, TRS  
SPENCER REALTY TRUST  
196 GROVE ST  
FRANKLIN, MA 02038

PALEOLOGOS ANDREW A  
PALEOLOGOS SHANNON P  
30 OLD GROVE ST  
FRANKLIN, MA 02038

WAITE SCOTT S  
WAITE PAULA G  
198 GROVE ST  
FRANKLIN, MA 02038

BOUDREAU MARY P L/E  
FRANCIS, SCOTT FRANCIS, N  
22 OLD GROVE ST  
FRANKLIN, MA 02038

OBRIEN JAMES F  
OBRIEN VIRNA C  
21 OLD GROVE ST  
FRANKLIN, MA 02038

PETITT EVERETT J III  
PETITT SUSAN J  
24 OLD GROVE ST  
FRANKLIN, MA 02038

COMMONWEALTH OF MASSACHUS  
DIVISION OF STATE PARKS A  
251 CAUSEWAY STREET - SUITE 60  
BOSTON, MA 02114-2104

LIU SIYUAN  
ZHAO ZIYUAN  
16 OLD GROVE ST  
FRANKLIN, MA 02038

MCP III 176 GROVE LLC  
C/O MARCUS PARTNERS, INC.  
260 FRANKLIN ST  
BOSTON, MA 02110

FRANKLIN TOWN OF  
355 EAST CENTRAL STREET  
FRANKLIN, MA 02038

MCP III 210 GROVE LLC  
C/O MARCUS PROPERTIES INC  
260 FRANKLIN ST SUITE 620  
BOSTON, MA 02110

CG GROVE ST LLC  
C/O GROSSMAN COMPANIES IN  
859 WILLARD ST, SUITE 501  
QUINCY, MA 02169

TWO HUNDRED THIRTY GROVE  
230 GROVE ST  
FRANKLIN, MA 02038

FRANKLIN TOWN OF  
355 EAST CENTRAL ST  
FRANKLIN, MA 02038

ROSSETTI STEVEN J & DALE  
CEDAR HILL FARM REALTY TR  
235 GROVE ST  
FRANKLIN, MA 02038