

DEFINITIVE SUBDIVISION PLAN

"PROSPECT HILL ESTATES"

A SINGLE FAMILY RESIDENTIAL SUBDIVISION

BELLINGHAM, MASSACHUSETTS

APPROVED BY THE
FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE FRANKLIN PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ AND TO BE DATED _____ AND TO BE RECORDED HEREWITH.

TOWN OF FRANKLIN MASSACHUSETTS
PLANNING BOARD
CERTIFICATE OF VOTE
DEFINITIVE SUBDIVISION PROSPECT HILL

CONDITIONS OF DEFINITIVE SUBDIVISION PROSPECT HILL
The Applicant and Town of Franklin Planning Board entered into a Judgement, dated January 5, 2023, filed in the Land Court Department Docket No. 22 MISC 000622. The Stipulated Judgement, included the following conditions:

1. Roadway will always remain private and be maintained by homeowners and Town of Franklin will never have any responsibility to maintain it.
2. To implement condition #1, Developer will execute a private road covenant with Town and establish a homeowners association, both documents to be recorded.

TOWN OF FRANKLIN WAIVERS GRANTED:

1. SECTION 300-10.B(4)(b)-Roads shall not provide access to undeveloped land in other towns.
2. SECTION 300-10.B(4)(d)-Roads right of way, including cul de sacs, will be setback at least 25-feet from Town lines.

NOTES:

1. THE HOMES WILL BE SERVICED BY INDIVIDUAL PRIVATE WELLS AND ONSITE SEWAGE DISPOSAL SYSTEMS.
2. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND SURVEY CONDUCTED BY GLM ENGINEERING CONSULTANTS, INC.. THE UTILITY LOCATIONS DEPICTED ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS MADE BY GLM ENGINEERING CONSULTANTS, INC., DIGSAFE PAINT-INDICATORS AND/OR RECORD PLAN LOCATIONS. GLM ENGINEERING CONSULTANTS, INC., DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION OR WITH THE PROPER MATERIAL DESIGNATION. GLM ENGINEERING CONSULTANTS, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN CORRECTLY, INCLUDING BUT NOT LIMITED TO UTILITIES, UNDERGROUND VAULTS, TANKS OR CHAMBERS, DUCT BANKS AND/OR OTHER MAN-MADE UNDERGROUND IMPROVEMENTS. GLM ENGINEERING CONSULTANTS, INC. DOES NOT WARRANT THE LOCATION NOR CHARACTER OR SURFACE IMPROVEMENTS, THE OBSERVATION OF WHICH WAS OBSERVED AT THE TIME OF THE SURVEY.
3. THE PROPERTY DESCRIBED ON THIS SURVEY LIES WITHIN ZONE 'X' AND ZONE 'A' A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY IS IDENTIFIED AS MAP NUMBER 25021C0304E, EFFECTIVE DATE 07/17/2012. FLOOD ZONE 'A' IS LOCATED WITHIN THE BOREDERING VEGETATED WELTAND AREA.

Date: December 17, 2021
Revised: March 2, 2022
July 12, 2022: Oct. 11, 2022
April 5, 2023: Aug. 1, 2023

APPROVED BY THE
BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

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SHEET INDEX

PLAN REFERENCE:

NORFOLK COUNTY REGISTRY OF DEEDS
PLAN No.712 OF 1985
PLAN No.425 OF 1960
PLAN BOOK 323 (No.712 OF 1985)
PLAN BOOK 388 (No.1176 OF 1989)
PLAN BOOK 234 (No.976 OF 1972)
PLAN BOOK 231 (No.392 OF 1972)
RECORD BOOK 861, PAGE 506

OWNERS OF RECORD:

1. V.F.W OF THE US., INC
940 SOUTH MAIN ST.
BELLINGHAM, MA
P.O. BOX 101
BELLINGHAM, MA
2. WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA
3. PAUL D. CLARKIN
137 LAKEVIEW AVE.
BELLINGHAM, MA

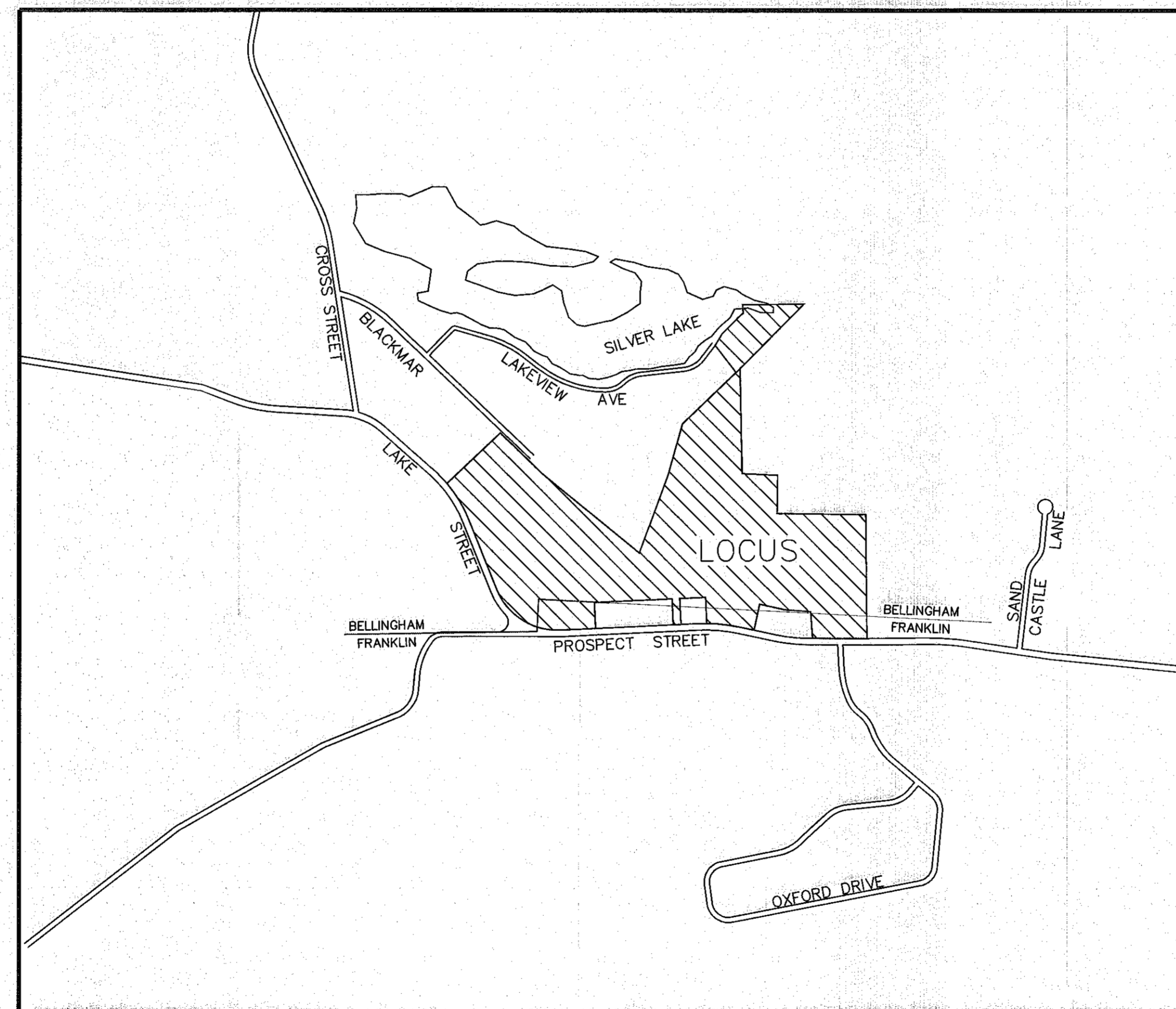
ASSESSOR'S REFERENCE:

FRANKLIN:
MAP 309, LOT 018
MAP 308, LOT 079
BELLINGHAM:
MAP 69, LOT 87
MAP 65, LOT 22
MAP 65, LOT 20

ZONING CLASSIFICATIONS:

AGRICULTURAL
LOT AREA:
Single Family: 80,000 s.f.
Two Family: 160,000 s.f.
FRONTAGE: 200'
SETBACKS:
Front: 30'
SIDE: 15'
REAR: 20'

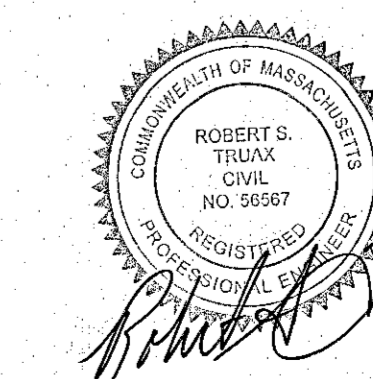
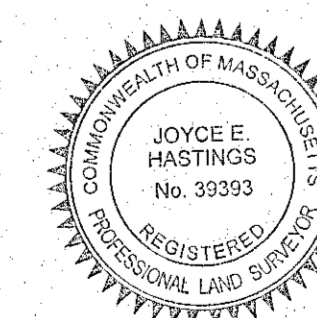
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	KEY SHEET
3	LAYOUT PLAN
4	LAYOUT PLAN
5	LAYOUT PLAN
6	LAYOUT PLAN
7	EXISTING & PROPOSED TOPOGRAPHY
8	EXISTING & PROPOSED TOPOGRAPHY
9	EXISTING & PROPOSED TOPOGRAPHY
10	EXISTING & PROPOSED TOPOGRAPHY
11	PLAN & PROFILE
12	PLAN & PROFILE
13	EROSION CONTROL PLAN
14	EROSION CONTROL PLAN
15	DETAILS
16	DETAILS
17	DETAILS
18	DEGRADED RIVERFRONT
19	WETLAND REPLICATION
20	EXISTING TOPOGRAPHY (40 Scale)
21	EXISTING TOPOGRAPHY (40 Scale)
22	EXISTING TOPOGRAPHY (40 Scale)
23	EXIST & PROP. TOPOGRAPHY (40 Scale)
24	EXIST & PROP. TOPOGRAPHY (40 Scale)
25	EXIST & PROP. TOPOGRAPHY (40 Scale)



LOCUS MAP
1"=80'

PREPARED BY:
GLM ENGINEERING CONSULTANTS, INC.
19 EXCHANGE STREET
HOLLISTON, MASSACHUSETTS 01746
(508)429-1100 fax:(508)429-7160

APPLICANT:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MASSACHUSETTS



J. Hastings
JOYCE E. HASTINGS P.L.S.

8/1/23
DATE

JOB No.	16,660
DATE:	DEC. 17, 2021
SCALE:	As shown
SHEET:	1 of 25
PLAN #:	27,541

PLAN REFERENCE:
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 P.O. BOX 272
 WESTWOOD, MA
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 137 LAKEVIEW AVE.
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 MAP 308, LOT 079
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 MAP 69, LOT 87
 MAP 65, LOT 22
 MAP 65, LOT 20
ZONING CLASSIFICATIONS:
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 LOT AREA:
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 Two Family: 160,000 s.f.
 FRONTAGE: 200'
 SETBACKS:
 Front: 30'
 Side: 15'
 Rear: 20'

APPROVED BY THE
 FRANKLIN PLANNING BOARD:

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TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT
 CONDITIONS SET FORTH IN A COVENANT
 EXECUTED BY _____
 DATED _____ AND TO BE
 RECORDED HERewith.

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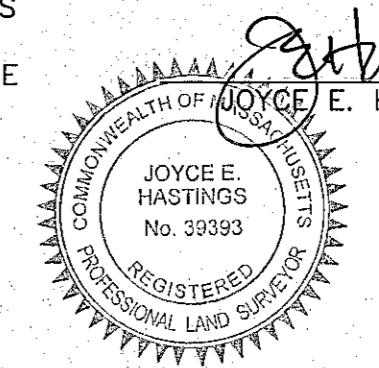
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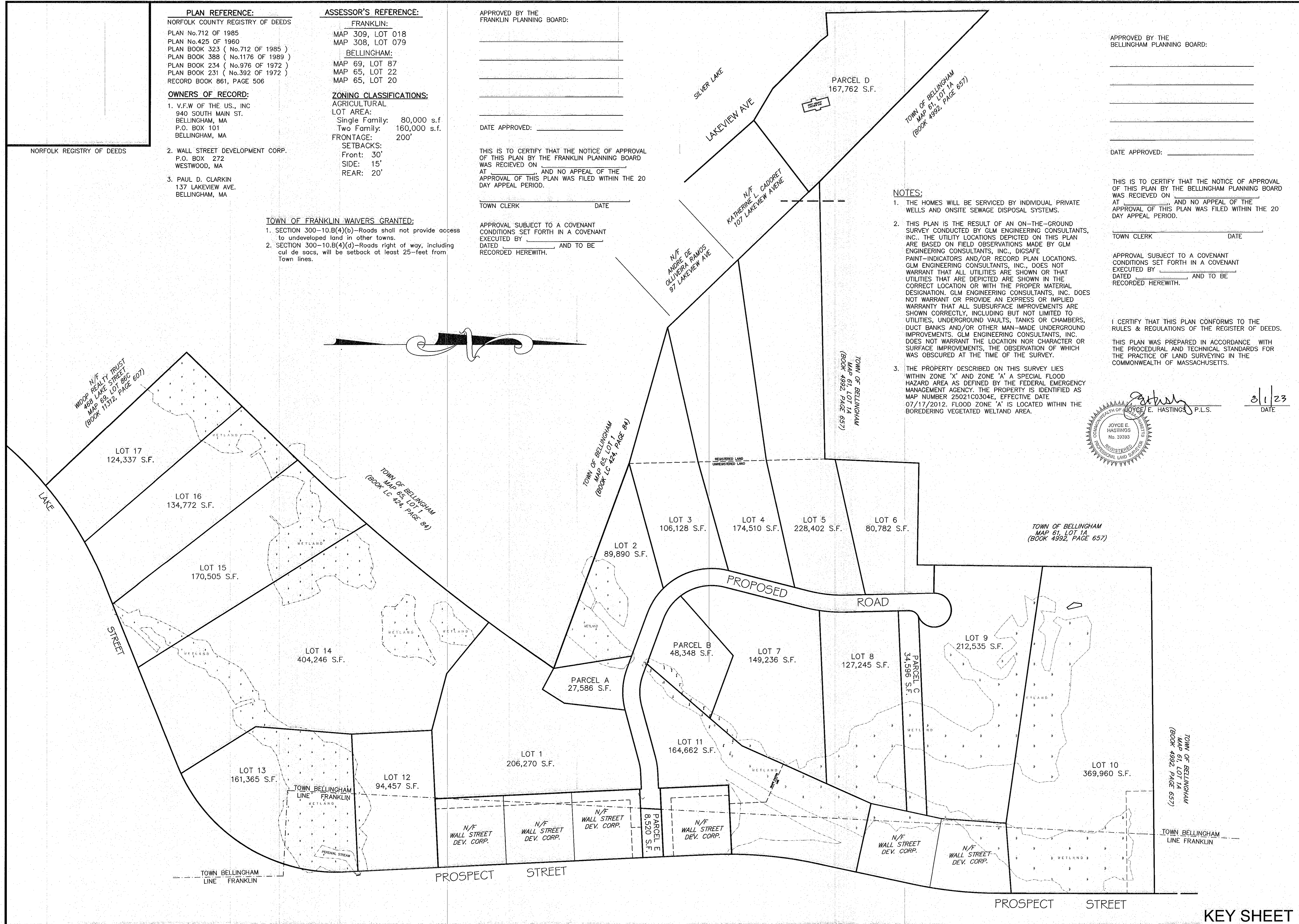
I CERTIFY THAT THIS PLAN CONFORMS TO THE
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THIS PLAN WAS PREPARED IN ACCORDANCE WITH
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 THE PRACTICE OF LAND SURVEYING IN THE
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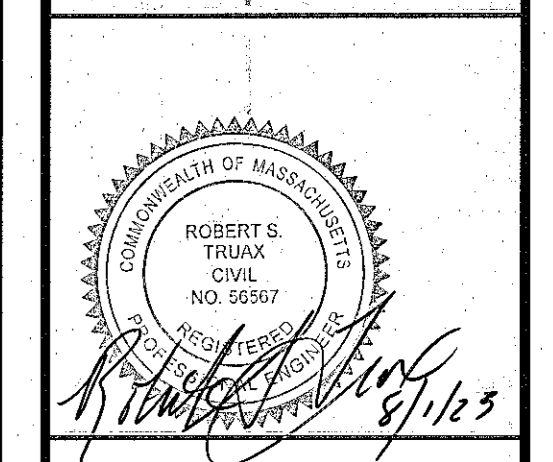
8/1/23
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 HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY
 MANAGEMENT AGENCY. THE PROPERTY IS IDENTIFIED AS
 MAP NUMBER 25021C0304E, EFFECTIVE DATE
 07/17/2012. FLOOD ZONE 'A' IS LOCATED WITHIN THE
 BOREDERING VEGETATED WETLAND AREA.



REVISIONS	DESCRIPTION
No.	DATE
1	03/02/2022
2	07/12/2022
3	10/11/2022
4	04/05/2023
5	08/01/2023

DEFINITIVE SUBDIVISION PLAN
 PROSPECT HILL ESTATES
 BELLINGHAM, MASSACHUSETTS



PREPARED FOR:
 WALL STREET DEVELOPMENT CORP.
 WESTWOOD, MASSACHUSETTS

GLM Engineering Consultants, Inc.
 19 EXCHANGE STREET
 HOLLISTON, MA 01746
 P: 508-429-1100
 F: 508-429-7160
 www.GLMengineering.com

JOB No. 16,590
 DATE: DEC. 17, 2021
 SCALE: 1"=120'
 SHEET: 2 of 25
 PLAN #: 27,541

KEY SHEET

1935 COLO LAKE ST.

TOWN OF FRANKLIN WAIVERS GRANTED:
 1. SECTION 300-10.B(4)(b)-Roads shall not provide access to undeveloped land in other towns.
 2. SECTION 300-10.B(4)(d)-Roads right of way, including cul de sacs, will be setback at least 25-feet from Town lines.

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NORFOLK REGISTRY OF DEEDS

APPROVED BY THE BELLINGHAM PLANNING BOARD:

 TOWN CLERK DATE

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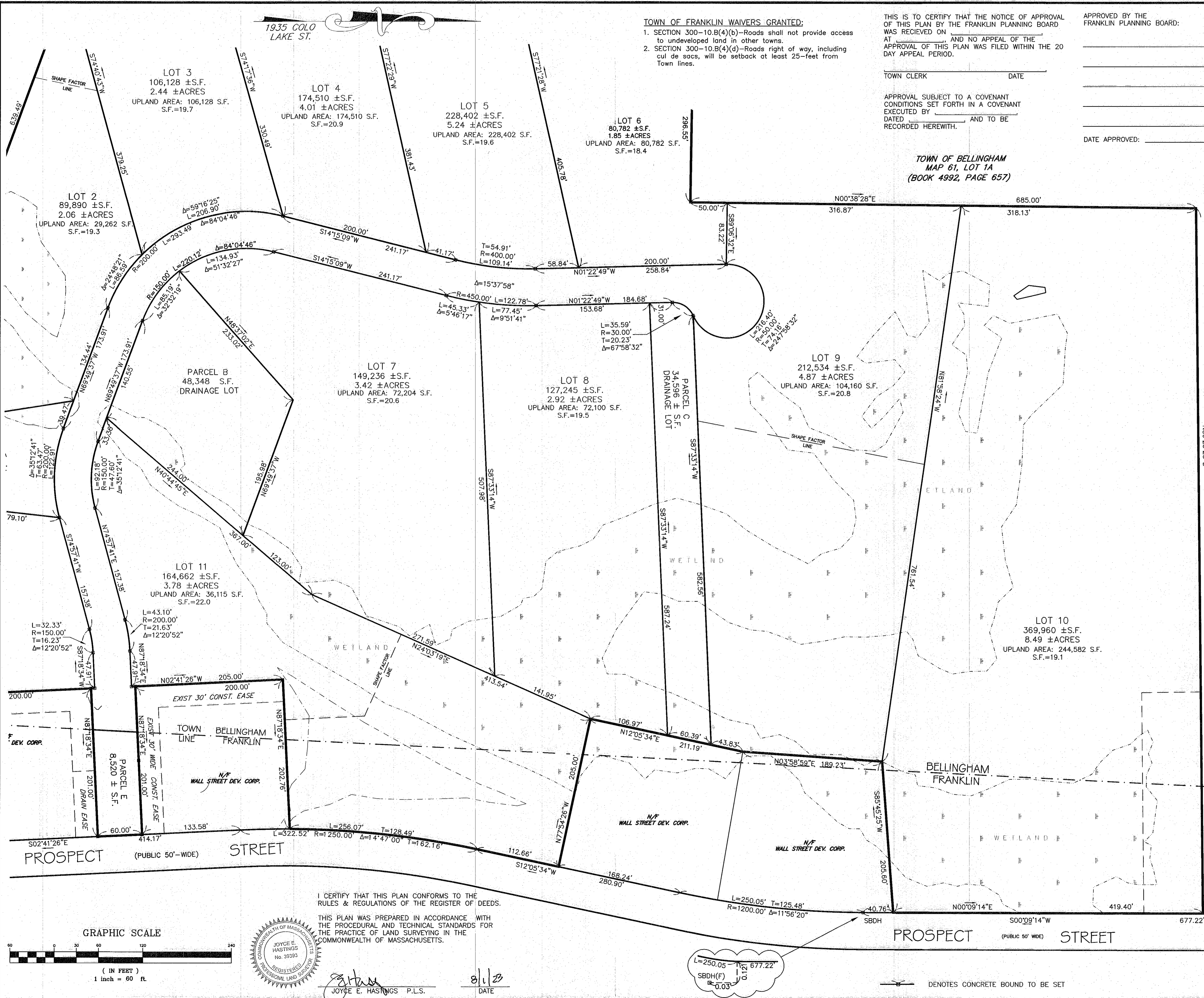
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 MAP 308, LOT 079
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 MAP 65, LOT 20

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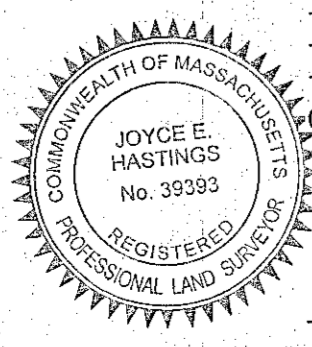
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 LOT AREA:
 Single Family: 80,000 s.f.
 Two Family: 160,000 s.f.
 FRONTAGE: 200'
 SETBACKS:
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OWNERS OF RECORD:

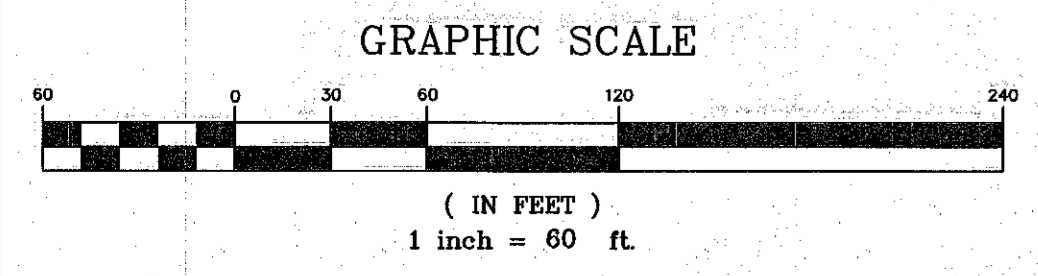
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 BELLINGHAM, MA



I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS.
 THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



JOYCE E. HASTINGS P.L.S.
 8/1/23
 DATE

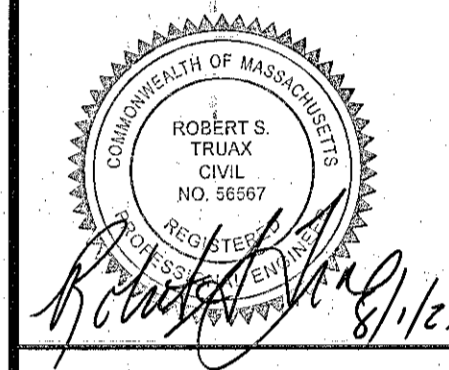


L=250.05 T=125.48
 R=1200.00 Δ=11°56'20"
 SBDH(F)
 α=0.03

— DENOTES CONCRETE BOUND TO BE SET

LAYOUT PLAN

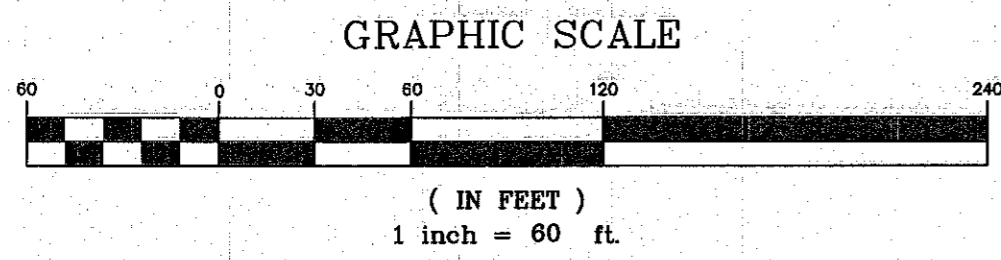
REVISIONS	No.	DATE	DESCRIPTION
	1	03/02/2022	Conservation Application
	2	07/12/2022	Conservation (40 Scale Plan)
	3	10/11/2022	Response to Comments
	4	04/05/2023	Planning Board
	5	08/01/2023	Planning Board Decision



**DEFINITIVE SUBDIVISION PLAN
 PROSPECT HILLESSTATES
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 PREPARED FOR:
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JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"=60'
SHEET:	3 of 25
PLAN #:	27,541



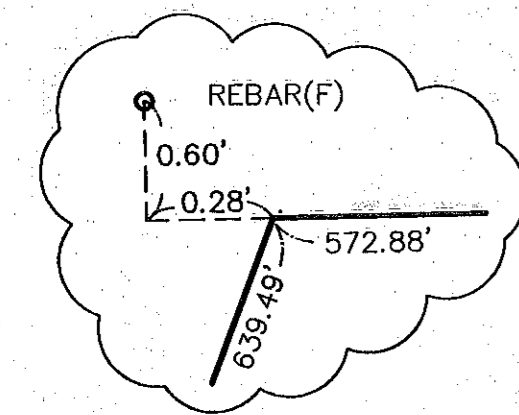
NORFOLK REGISTRY OF DEEDS

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ZONING CLASSIFICATIONS:

AGRICULTURAL
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 Two Family: 160,000 s.f.
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 SIDE: 15'
 REAR: 20'



TOWN OF BELLINGHAM
 MAP 65, LOT 1
 (BOOK LC 424, PAGE 84)

LOT 3
 106,128 ±S.F.
 2.44 ±ACRES
 UPLAND AREA: 106,128 S.F.
 S.F.=19.7

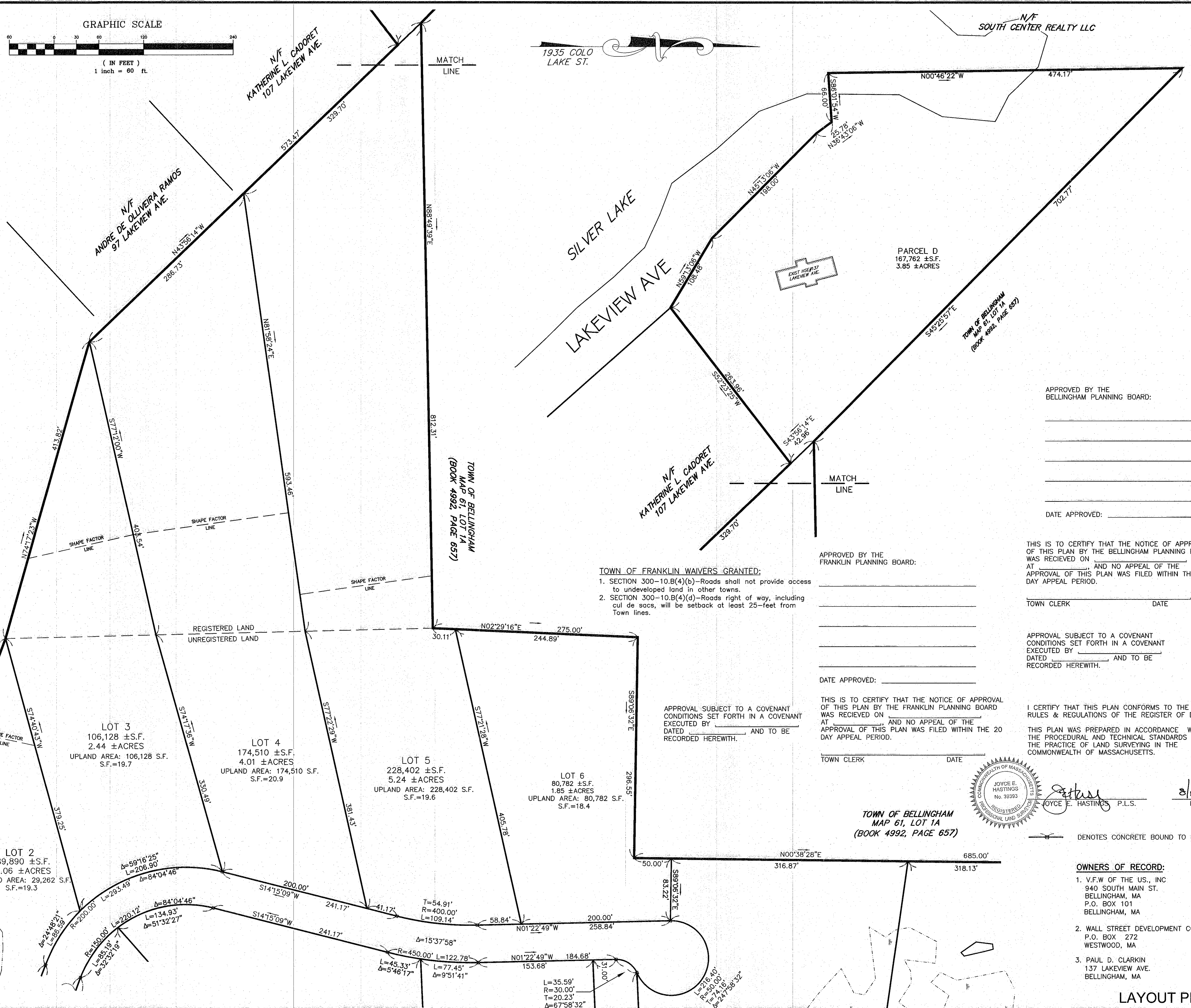
LOT 4
 174,510 ±S.F.
 4.01 ±ACRES
 UPLAND AREA: 174,510 S.F.
 S.F.=20.9

LOT 5
 228,402 ±S.F.
 5.24 ±ACRES
 UPLAND AREA: 228,402 S.F.
 S.F.=19.6

LOT 6
 80,782 ±S.F.
 1.85 ±ACRES
 UPLAND AREA: 80,782 S.F.
 S.F.=18.4

LOT 2
 89,890 ±S.F.
 2.06 ±ACRES
 UPLAND AREA: 29,262 S.F.
 S.F.=19.3

WETLAND



1935 COLO
 LAKE ST.

N/F
 SOUTH CENTER REALTY LLC

PARCEL D
 167,762 ±S.F.
 3.85 ±ACRES

TOWN OF BELLINGHAM
 MAP 61, LOT 1A
 (BOOK 4992, PAGE 657)

TOWN OF FRANKLIN WAIVERS GRANTED:

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TOWN CLERK _____ DATE _____

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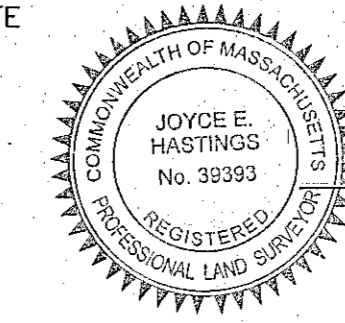
 DATE APPROVED: _____

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 DATE 8/1/23

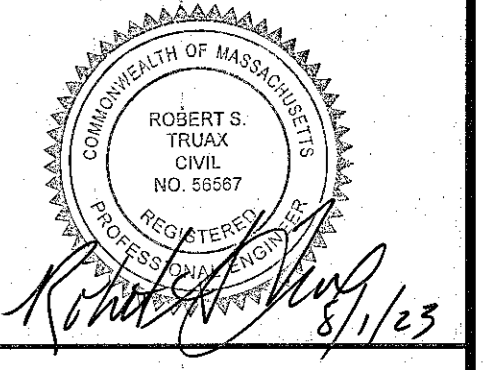
DENOTES CONCRETE BOUND TO BE SET

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LAYOUT PLAN

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JOB No.	16,590
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SCALE:	1"=60'
SHEET:	4 of 25
PLAN #:	27,541

APPROVED BY THE BELLINGHAM PLANNING BOARD:

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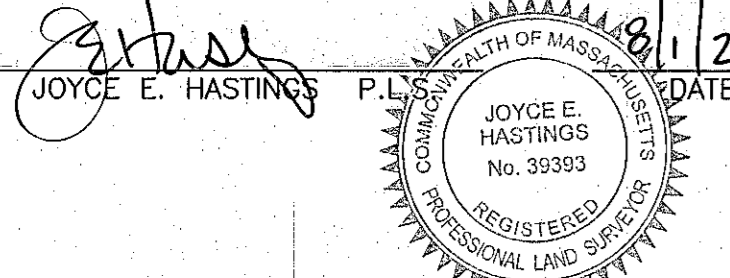
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BELLINGHAM: MAP 69, LOT 87 MAP 65, LOT 22 MAP 65, LOT 20

ZONING CLASSIFICATIONS:

AGRICULTURAL LOT AREA: Single Family: 80,000 s.f. Two Family: 160,000 s.f. FRONTAGE: 200' SETBACKS: Front: 30' SIDE: 15' REAR: 20'

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



Denotes concrete bound to be set

LAKE STREET

1935 COLO LAKE ST.

TOWN OF BELLINGHAM MAP 65, LOT 1 (BOOK LC 424, PAGE 84)

LOT 3 106,128 ±S.F. 2.44 ±ACRES UPLAND AREA: 106,128 S.F. S.F.=19.7

LOT 2 89,890 ±S.F. 2.06 ±ACRES UPLAND AREA: 29,262 S.F. S.F.=19.3

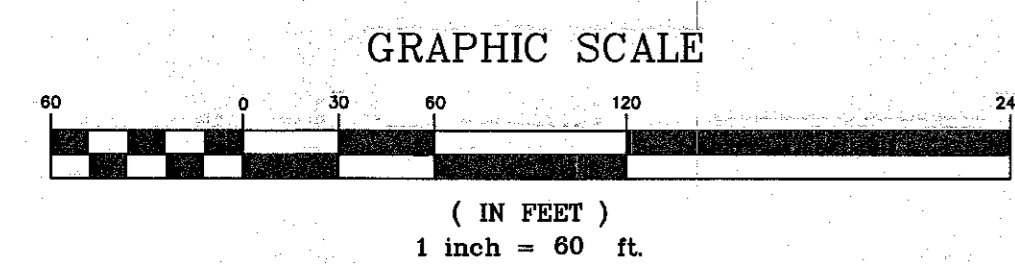
LOT 14 404,246 ±S.F. 9.28 ±ACRES UPLAND AREA: 292,971 S.F. S.F.=18.0

LOT 1 206,270 ±S.F. 6.34 ±ACRES UPLAND AREA: 182,405 S.F. S.F.=18.8

LOT 11 164,662 ±S.F. 3.78 ±ACRES UPLAND AREA: 36,115 S.F. S.F.=22.0

LOT 13 161,365 ±S.F. 3.70 ±ACRES UPLAND AREA: 72,124 S.F. S.F.=15.3

LOT 12 94,457 ±S.F. 2.17 ±ACRES UPLAND AREA: 86,584 S.F. S.F.=17.2

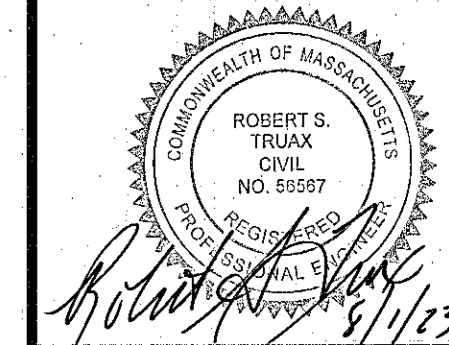


BELLINGHAM FRANKLIN

PROSPECT STREET (PUBLIC 50'-WIDE)

LAYOUT PLAN

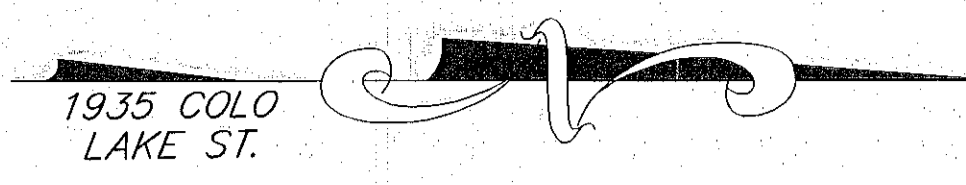
Table with 5 columns: No., DATE, DESCRIPTION, REVISIONS. Contains 5 revision entries.



DEFINITIVE SUBDIVISION PLAN PROSPECT HILL ESTATES BELLINGHAM, MASSACHUSETTS

GLM Engineering Consultants, Inc. 19 EXCHANGE STREET HOLLISTON, MA 01746 P: 508-429-1100 F: 508-429-7160 www.GLMengineering.com

JOB No. 16,590 DATE: DEC. 17, 2021 SCALE: 1"=60' SHEET: 5 of 25 PLAN #: 27,541



THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE FRANKLIN PLANNING BOARD WAS RECEIVED ON _____ AT _____, AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

APPROVED BY THE FRANKLIN PLANNING BOARD:

 DATE APPROVED: _____

APPROVED BY THE BELLINGHAM PLANNING BOARD:

 DATE APPROVED: _____

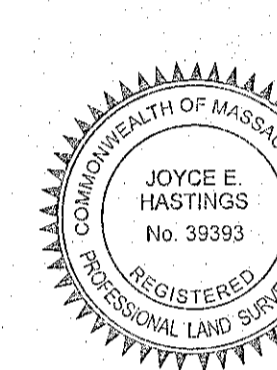
TOWN CLERK _____ DATE _____
 APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ AND TO BE DATED _____ AND TO BE RECORDED HEREWITH.

TOWN OF FRANKLIN WAIVERS GRANTED:
 1. SECTION 300-10.B(4)(b)-Roads shall not provide access to undeveloped land in other towns.
 2. SECTION 300-10.B(4)(d)-Roads right of way, including cul de sacs, will be setback at least 25-feet from Town lines.

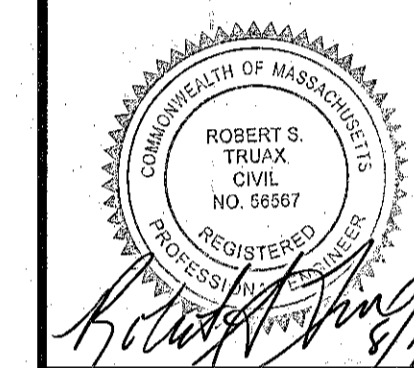
THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD WAS RECEIVED ON _____ AT _____, AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____
 APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ AND TO BE DATED _____ AND TO BE RECORDED HEREWITH.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

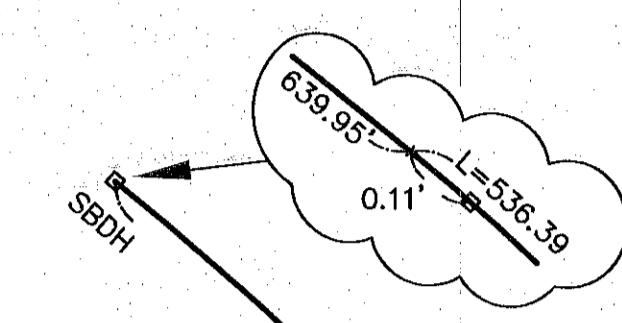


Joyce E. Hastings
 JOYCE E. HASTINGS, P.L.S. 8/1/23
 DATE

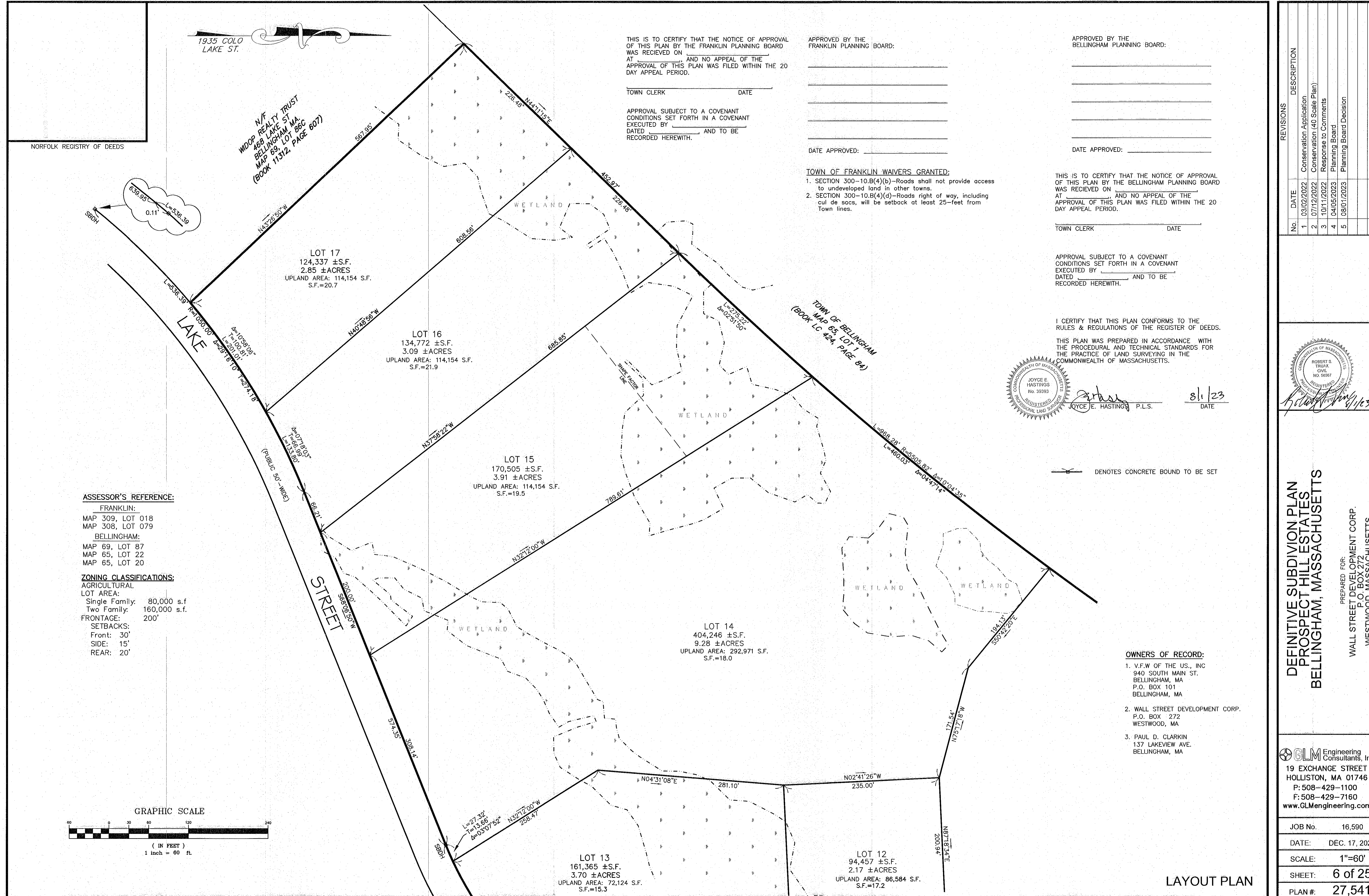
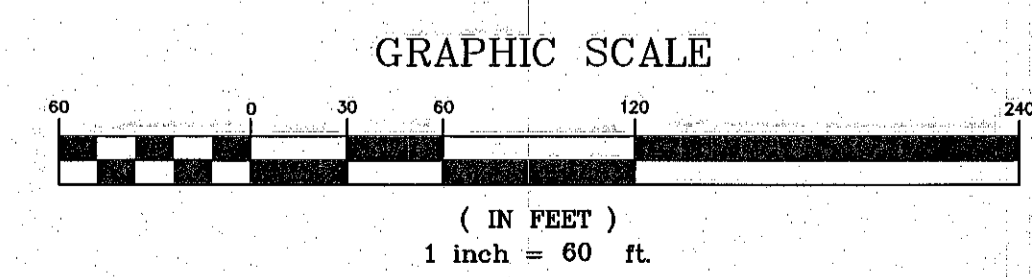


Robert S. Truix
 ROBERT S. TRUIX, P.L.S. 8/1/23
 DATE

DENOTES CONCRETE BOUND TO BE SET



ASSESSOR'S REFERENCE:
 FRANKLIN:
 MAP 309, LOT 018
 MAP 308, LOT 079
 BELLINGHAM:
 MAP 69, LOT 87
 MAP 65, LOT 22
 MAP 65, LOT 20
ZONING CLASSIFICATIONS:
 AGRICULTURAL
 LOT AREA:
 Single Family: 80,000 s.f.
 Two Family: 160,000 s.f.
 FRONTAGE: 200'
 SETBACKS:
 Front: 30'
 SIDE: 15'
 REAR: 20'



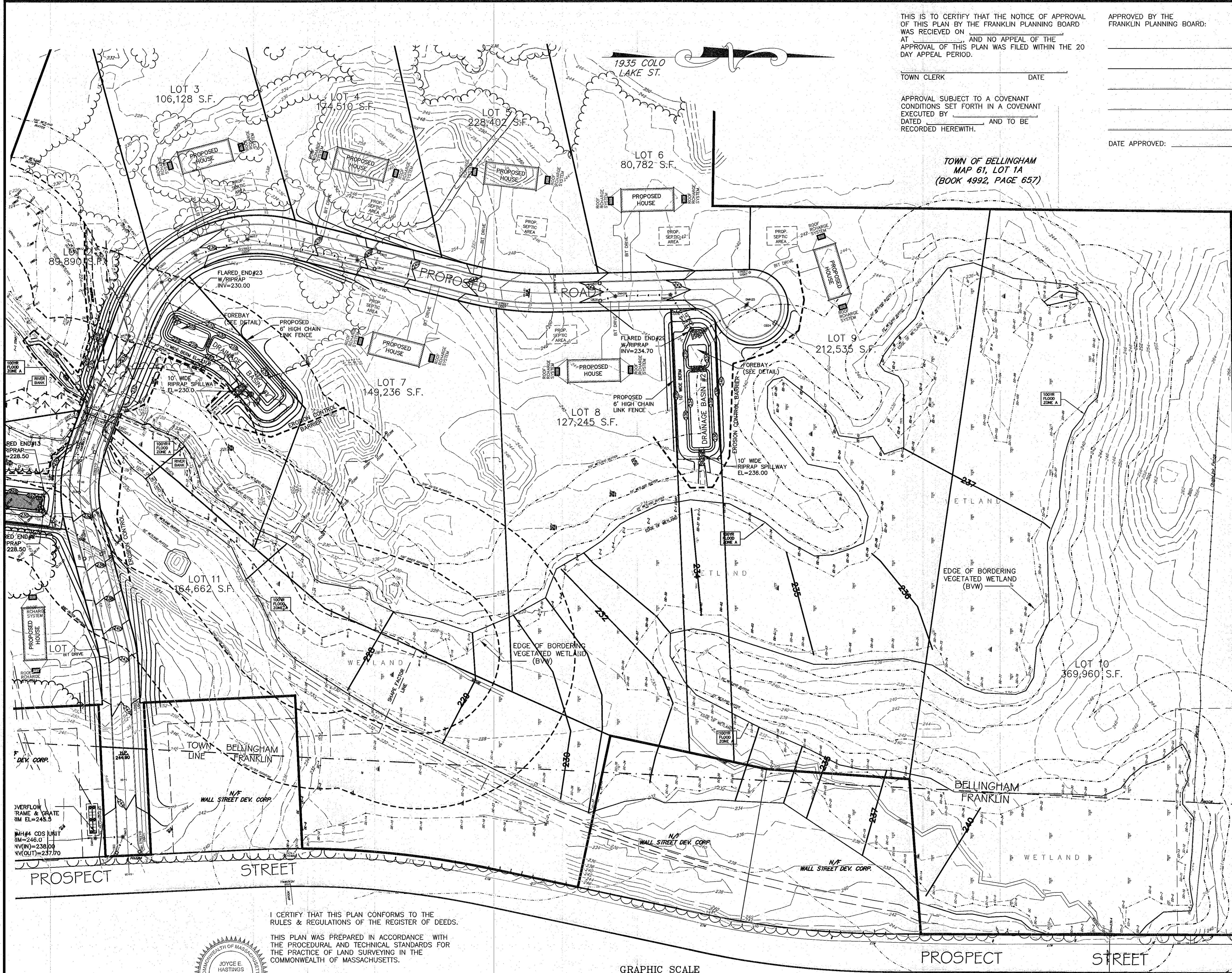
LAYOUT PLAN

NO.	DATE	DESCRIPTION
1	03/02/2022	Conservation Application
2	07/12/2022	Conservation (40 Scale Plan)
3	10/11/2022	Response to Comments
4	04/05/2023	Planning Board
5	08/01/2023	Planning Board Decision

DEFINITIVE SUBDIVISION PLAN
PROSPECT HILL ESTATES
BELLINGHAM, MASSACHUSETTS
 PREPARED FOR:
 WALL STREET DEVELOPMENT CORP.
 P.O. BOX 272
 WESTWOOD, MASSACHUSETTS

OWNERS OF RECORD:
 1. V.F.W OF THE U.S., INC
 940 SOUTH MAIN ST.
 BELLINGHAM, MA
 P.O. BOX 101
 BELLINGHAM, MA
 2. WALL STREET DEVELOPMENT CORP.
 P.O. BOX 272
 WESTWOOD, MA
 3. PAUL D. CLARKIN
 137 LAKEVIEW AVE.
 BELLINGHAM, MA

GLM Engineering, Inc.
 19 EXCHANGE STREET
 HOLLISTON, MA 01746
 P: 508-429-1100
 F: 508-429-7160
 www.GLMengineering.com
 JOB No. 16,590
 DATE: DEC. 17, 2021
 SCALE: 1"=60'
 SHEET: 6 of 25
 PLAN #: 27,541



THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE FRANKLIN PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

APPROVED BY THE FRANKLIN PLANNING BOARD:

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HERewith.

DATE APPROVED: _____

TOWN OF BELLINGHAM
MAP 61, LOT 1A
(BOOK 4992, PAGE 657)

NORFOLK REGISTRY OF DEEDS

APPROVED BY THE BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HERewith.

ASSESSOR'S REFERENCE:

- FRANKLIN:
MAP 309, LOT 018
MAP 308, LOT 079
- BELLINGHAM:
MAP 69, LOT 87
MAP 65, LOT 22
MAP 65, LOT 20

ZONING CLASSIFICATIONS:

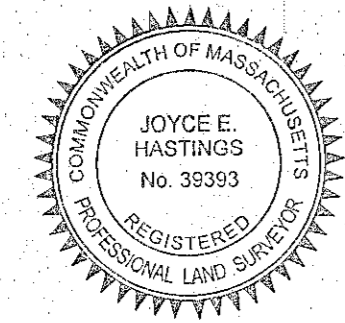
- AGRICULTURAL LOT AREA:
Single Family: 80,000 s.f.
Two Family: 160,000 s.f.
- FRONTAGE: 200'
SETBACKS:
Front: 30'
SIDE: 15'
REAR: 20'

OWNERS OF RECORD:

- V.F.W OF THE U.S., INC
940 SOUTH MAIN ST.
BELLINGHAM, MA
P.O. BOX 101
BELLINGHAM, MA
- WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA
- PAUL D. CLARKIN
137 LAKEVIEW AVE.
BELLINGHAM, MA

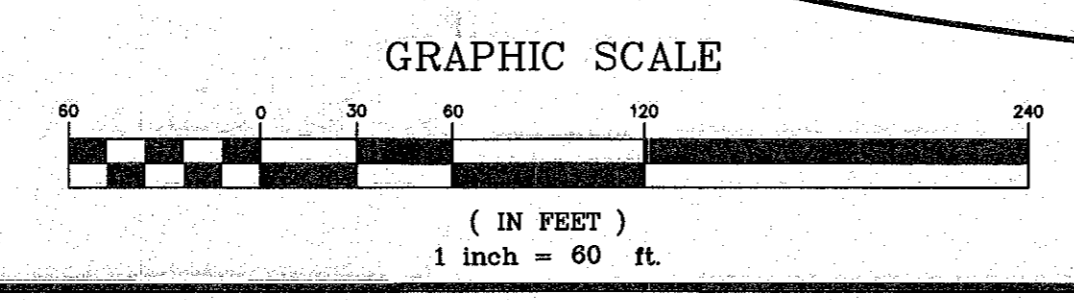
I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.



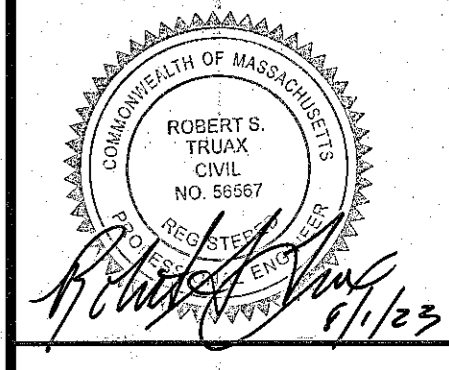
JOYCE E. HASTINGS P.L.S.

8-1-23
DATE



EXISTING & PROPOSED TOPOGRAPHY

NO.	DATE	DESCRIPTION
1	03/02/2022	Conservation Application
2	07/12/2022	Conservation (40 Scale Plan)
3	10/11/2022	Response to Comments
4	04/05/2023	Planning Board
5	08/01/2023	Planning Board Decision



**DEFINITIVE SUBDIVISION PLAN
PROSPECT HILL ESTATES
BELLINGHAM, MASSACHUSETTS**

PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MASSACHUSETTS

GLM Engineering Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMEngineering.com

JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"=60'
SHEET:	7 of 25
PLAN #:	27,541

APPROVED BY THE FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

NORFOLK REGISTRY OF DEEDS

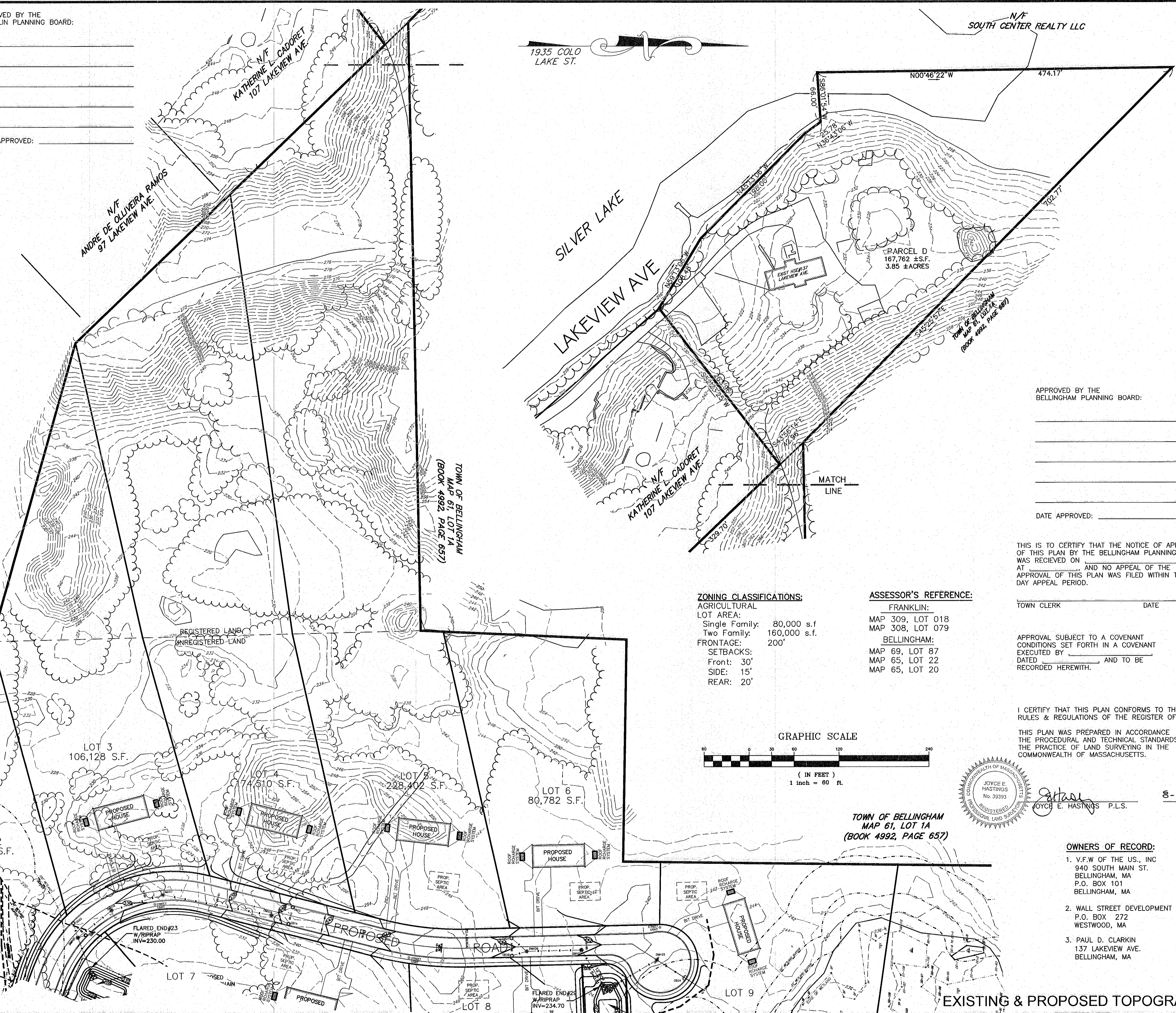
THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE FRANKLIN PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ AND TO BE DATED _____ AND TO BE RECORDED HEREWITH.

LEGEND

- EXISTING UTILITY POLE
- EXISTING HYDRANT
- EXISTING WATER LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED DRAIN LINE
- PROPOSED CAPE COD BERM
- WETLAND DELINEATION FLAG
- DEEP HOLE TEST PIT



1935 COLO
LAKE ST.

N/F
SOUTH CENTER REALTY LLC

APPROVED BY THE BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

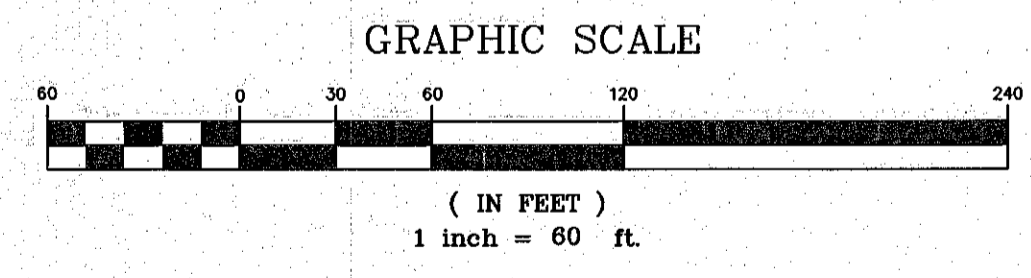
APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ AND TO BE DATED _____ AND TO BE RECORDED HEREWITH.

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES & REGULATIONS OF THE REGISTER OF DEEDS.

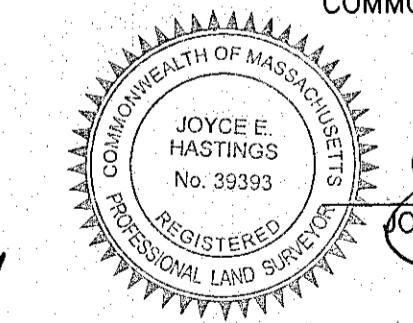
THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

ZONING CLASSIFICATIONS:
AGRICULTURAL
LOT AREA:
Single Family: 80,000 s.f.
Two Family: 160,000 s.f.
FRONTAGE: 200'
SETBACKS:
Front: 30'
SIDE: 15'
REAR: 20'

ASSESSOR'S REFERENCE:
FRANKLIN:
MAP 309, LOT 018
MAP 308, LOT 079
BELLINGHAM:
MAP 69, LOT 87
MAP 65, LOT 22
MAP 65, LOT 20



TOWN OF BELLINGHAM
MAP 61, LOT 1A
(BOOK 4992, PAGE 657)



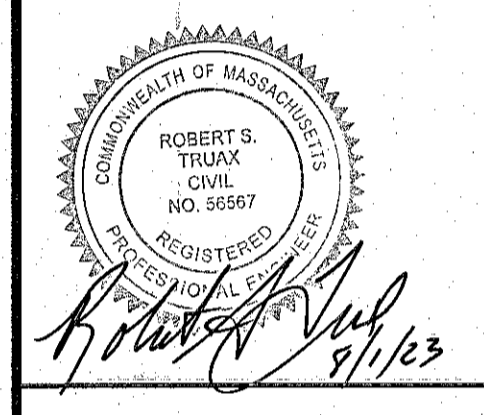
JOYCE E. HASTINGS P.L.S.

8-1-23
DATE

OWNERS OF RECORD:

- V.F.W OF THE U.S., INC
940 SOUTH MAIN ST.
BELLINGHAM, MA
P.O. BOX 101
BELLINGHAM, MA
- WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA
- PAUL D. CLARKIN
137 LAKEVIEW AVE.
BELLINGHAM, MA

REVISIONS	No.	DATE	DESCRIPTION
	1	03/02/2022	Conservation Application
	2	07/12/2022	Conservation (40 Scale Plan)
	3	10/11/2022	Response to Comments
	4	04/05/2023	Planning Board
	5	08/01/2023	Planning Board Decision



**DEFINITIVE SUBDIVISION PLAN
PROSPECT HILLESSTATES
BELLINGHAM, MASSACHUSETTS**

PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MASSACHUSETTS

GLM Engineering Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"=60'
SHEET:	8 of 25
PLAN #:	27,541

EXISTING & PROPOSED TOPOGRAPHY

APPROVED BY THE
BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD
WAS RECEIVED ON _____
AT _____, AND NO APPEAL OF THE
APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20
DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY _____
DATED _____ AND TO BE
RECORDED HEREWITH.

ASSESSOR'S REFERENCE:

FRANKLIN:
MAP 309, LOT 018
MAP 308, LOT 079
BELLINGHAM:
MAP 69, LOT 87
MAP 65, LOT 22
MAP 65, LOT 20

ZONING CLASSIFICATIONS:

AGRICULTURAL
LOT AREA:
Single Family: 80,000 s.f.
Two Family: 160,000 s.f.
FRONTAGE: 200'
SETBACKS:
Front: 30'
SIDE: 15'
REAR: 20'

OWNERS OF RECORD:

- V.F.W OF THE U.S., INC
940 SOUTH MAIN ST.
BELLINGHAM, MA
P.O. BOX 101
BELLINGHAM, MA
- WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA
- PAUL D. CLARKIN
137 LAKEVIEW AVE.
BELLINGHAM, MA

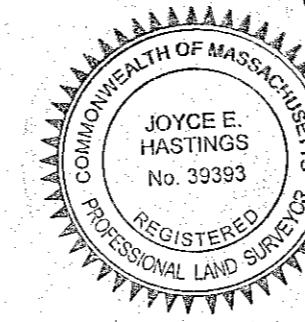
LEGEND

- EXISTING UTILITY POLE
- EXISTING HYDRANT
- EXISTING WATER LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED DRAIN LINE
- PROPOSED CAPE COD BERM
- WETLAND DELINEATION FLAG
- DEEP HOLE TEST PIT

1935 COLO
LAKE ST.

I CERTIFY THAT THIS PLAN CONFORMS TO THE
RULES & REGULATIONS OF THE REGISTER OF DEEDS.

THIS PLAN WAS PREPARED IN ACCORDANCE WITH
THE PROCEDURAL AND TECHNICAL STANDARDS FOR
THE PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.



J. Hastings
JOYCE E. HASTINGS P.L.S.

8-1-22
DATE

NORFOLK REGISTRY OF DEEDS

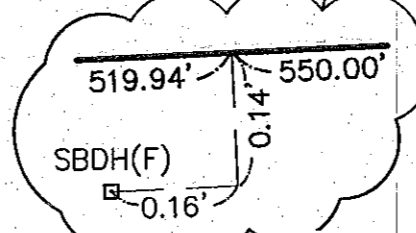
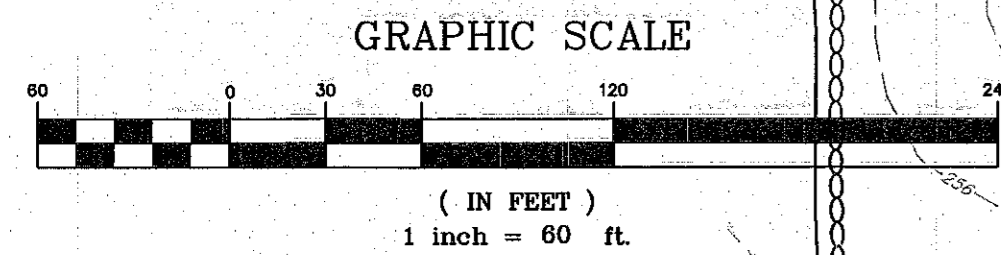
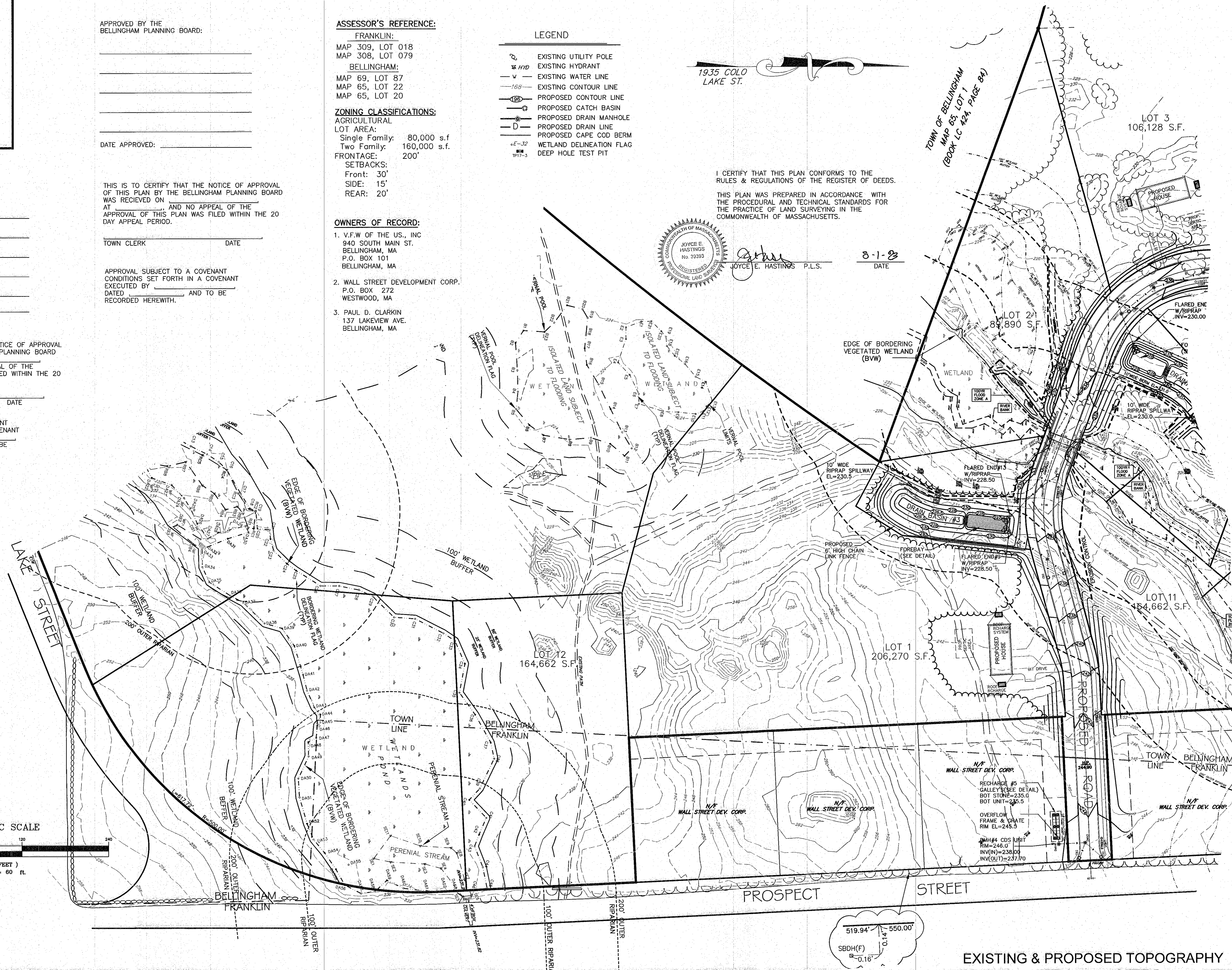
APPROVED BY THE
FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE FRANKLIN PLANNING BOARD
WAS RECEIVED ON _____
AT _____, AND NO APPEAL OF THE
APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20
DAY APPEAL PERIOD.

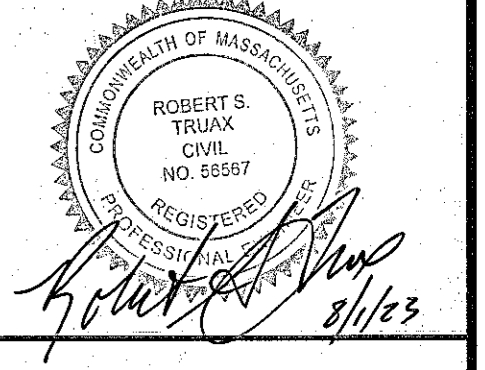
TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY _____
DATED _____ AND TO BE
RECORDED HEREWITH.



EXISTING & PROPOSED TOPOGRAPHY

REVISIONS	No.	DATE	DESCRIPTION
	1	03/02/2022	Conservation Application
	2	07/12/2022	Conservation (40 Scale Plan)
	3	10/11/2022	Response to Comments
	4	04/05/2023	Planning Board
	5	08/01/2023	Planning Board Decision



**DEFINITIVE SUBDIVISION PLAN
PROSPECT HILL ESTATES
BELLINGHAM, MASSACHUSETTS**

PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MASSACHUSETTS

GLM Engineering
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19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
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JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"=60'
SHEET:	9 of 25
PLAN #:	27,541

NORFOLK REGISTRY OF DEEDS

N/F
WIDOP REALTY TRUST
468 LAKE ST
BELLINGHAM MA
MAP 69, LOT 87C
(BOOK 11512, PAGE 607)

1935 COLO
LAKE ST.

ASSESSOR'S REFERENCE:

FRANKLIN:
MAP 309, LOT 018
MAP 308, LOT 079
BELLINGHAM:
MAP 69, LOT 87
MAP 65, LOT 22
MAP 65, LOT 20

ZONING CLASSIFICATIONS:

AGRICULTURAL
LOT AREA:
Single Family: 80,000 s.f.
Two Family: 160,000 s.f.
FRONTAGE: 200'
SETBACKS:
Front: 30'
SIDE: 15'
REAR: 20'

APPROVED BY THE
BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

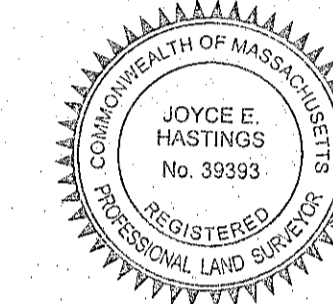
THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD
WAS RECEIVED ON _____
AT _____ AND NO APPEAL OF THE
APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20
DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY _____ AND TO BE
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THIS PLAN WAS PREPARED IN ACCORDANCE WITH
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THE PRACTICE OF LAND SURVEYING IN THE
COMMONWEALTH OF MASSACHUSETTS.



Joyce E. Hastings
JOYCE E. HASTINGS P.L.S.

8-1-23
DATE

APPROVED BY THE
FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE FRANKLIN PLANNING BOARD
WAS RECEIVED ON _____
AT _____ AND NO APPEAL OF THE
APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20
DAY APPEAL PERIOD.

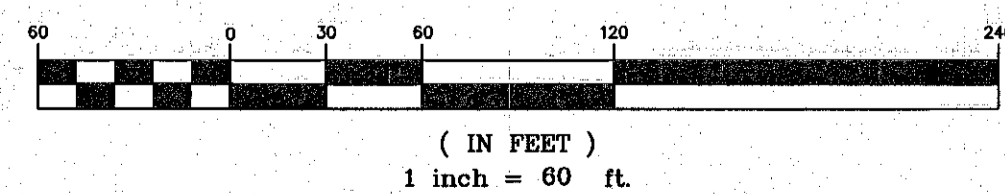
TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY _____ AND TO BE
DATED _____ AND TO BE
RECORDED HEREWITH.

LEGEND

- EXISTING UTILITY POLE
- EXISTING HYDRANT
- EXISTING WATER LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED DRAIN LINE
- PROPOSED CAPE COD BERM
- WETLAND DELINEATION FLAG
- DEEP HOLE TEST PIT

GRAPHIC SCALE



LAKE

STREET

LOT 17
124,337 ±S.F.
2.85 ±ACRES
UPLAND AREA: 114,154 S.F.
S.F.=20.7

LOT 16
134,772 ±S.F.
3.09 ±ACRES
UPLAND AREA: 114,154 S.F.
S.F.=21.9

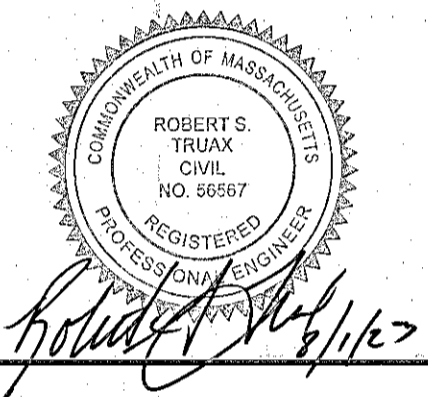
LOT 15
170,505 ±S.F.
3.91 ±ACRES
UPLAND AREA: 114,154 S.F.
S.F.=19.5

LOT 14
404,246 ±S.F.
9.28 ±ACRES
UPLAND AREA: 292,971 S.F.
S.F.=18.0

LOT 13
161,365 ±S.F.
3.70 ±ACRES
UPLAND AREA: 72,124 S.F.
S.F.=15.3

LOT 12
94,457 ±S.F.
2.17 ±ACRES
UPLAND AREA: 86,984 S.F.
S.F.=17.2

NO.	DATE	DESCRIPTION
1	03/02/2022	Conservation Application
2	07/12/2022	Conservation (40 Scale Plan)
3	10/11/2022	Response to Comments
4	04/05/2023	Planning Board
5	08/01/2023	Planning Board Decision



DEFINITIVE SUBDIVISION PLAN
PROSPECT HILL ESTATES
BELLINGHAM, MASSACHUSETTS

PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MASSACHUSETTS

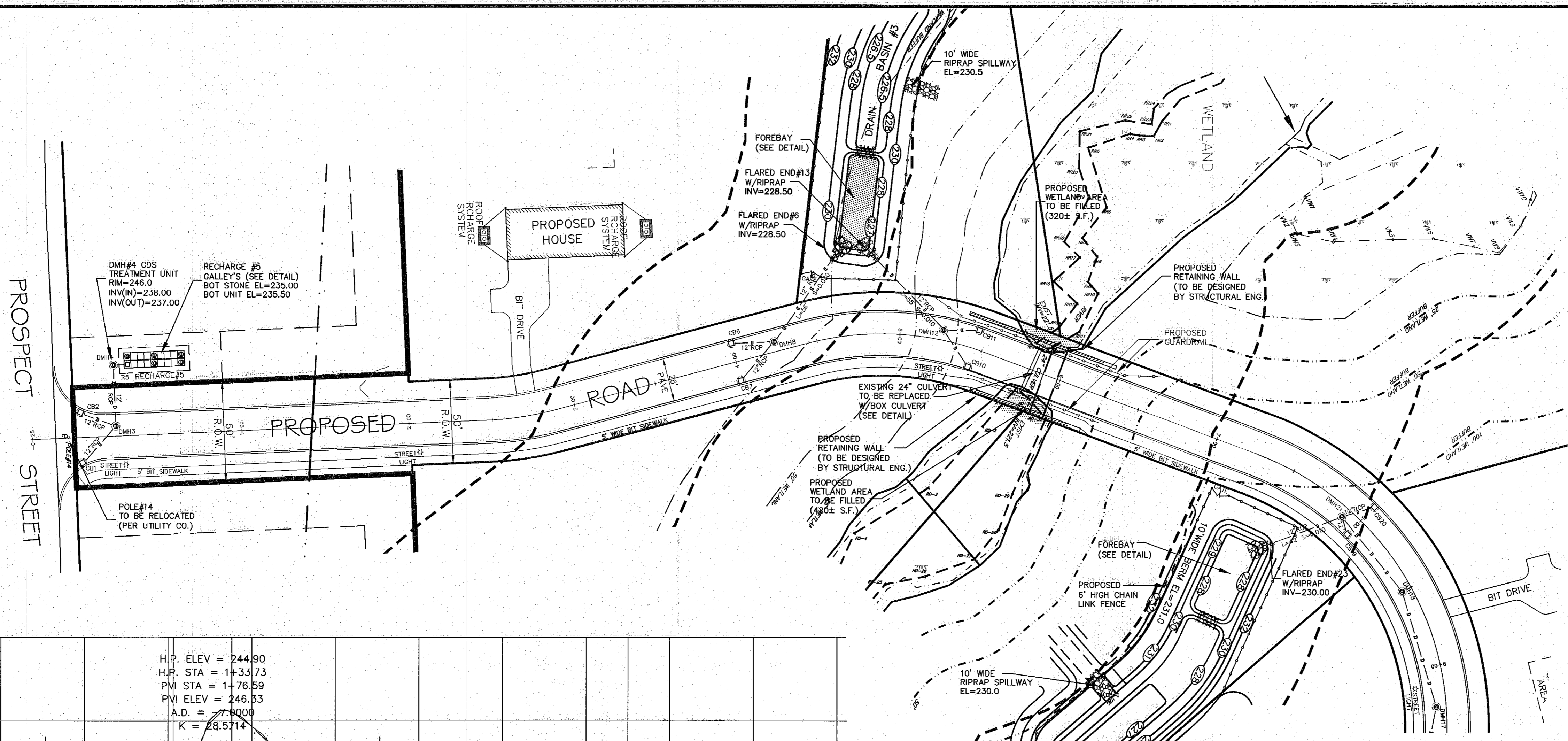
OWNERS OF RECORD:

- V.F.W OF THE U.S., INC
940 SOUTH MAIN ST.
BELLINGHAM, MA
P.O. BOX 101
BELLINGHAM, MA
- WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA
- PAUL D. CLARKIN
137 LAKEVIEW AVE.
BELLINGHAM, MA

GLM Engineering
Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"=60'
SHEET:	10 of 25
PLAN #:	27,541

EXISTING & PROPOSED TOPOGRAPHY



APPROVED BY THE BELLINGHAM PLANNING BOARD:

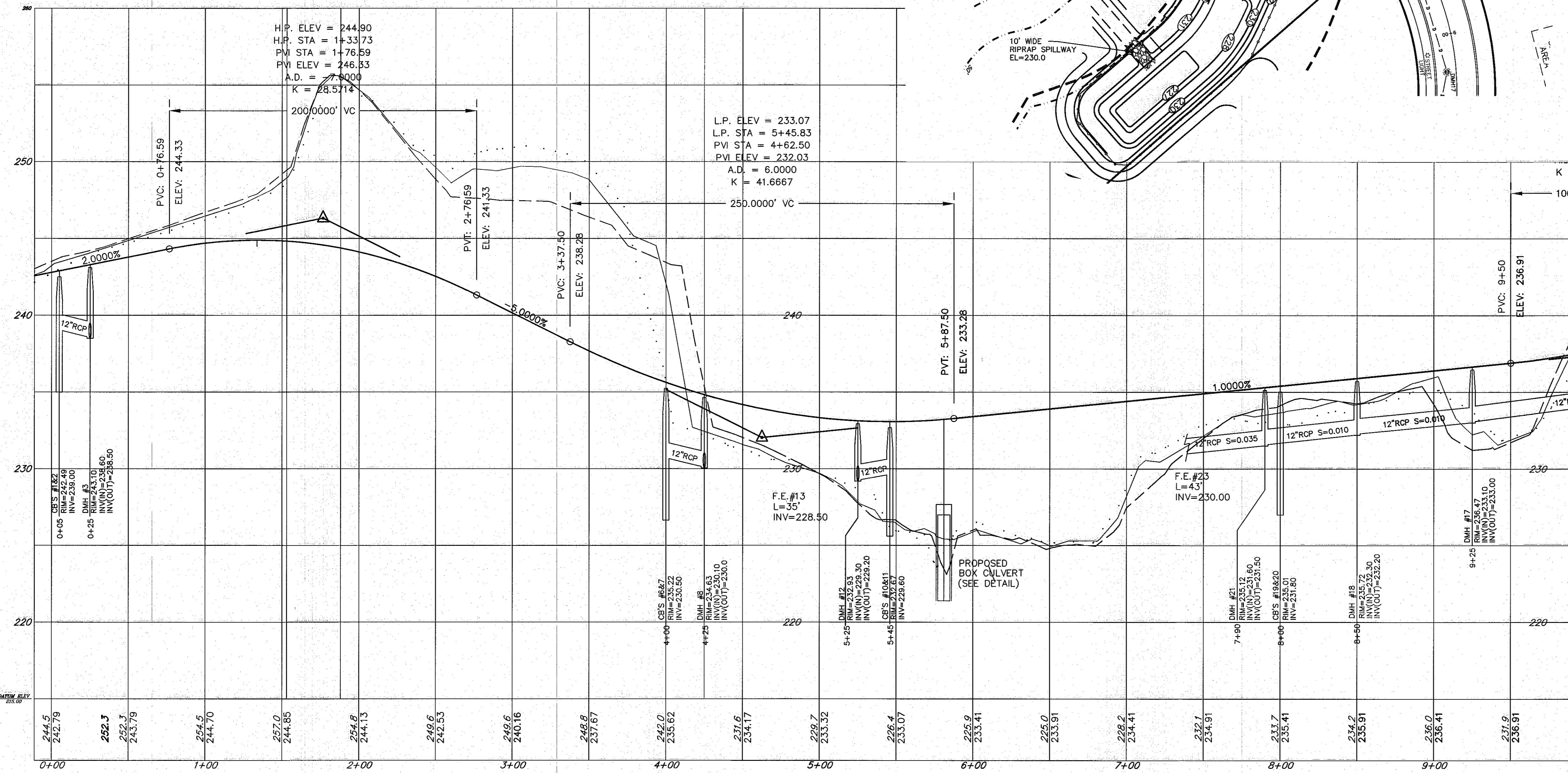
DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HERewith.

- LEGEND**
- ⊙ EXISTING UTILITY POLE
 - ⊕ HYD EXISTING HYDRANT
 - EXISTING WATER LINE
 - - - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - ⊕ PROPOSED CATCH BASIN
 - ⊕ PROPOSED DRAIN MANHOLE
 - PROPOSED DRAIN LINE
 - PROPOSED CAPE COD BERM
 - - - WETLAND DELINEATION FLAG
 - ⊕ DEEP HOLE TEST PIT



APPROVED BY THE FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE FRANKLIN PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

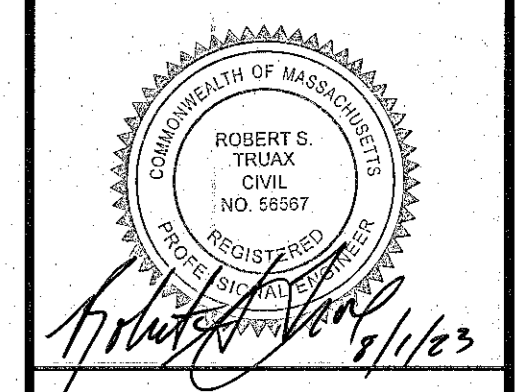
TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HERewith.

SCALE: Horiz: 1"=40'; Vert: 1"=4'

PLAN & PROFILE

No	DATE	DESCRIPTION
1	09/02/2022	Conservation Application
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DEFINITIVE SUBDIVISION PLAN
PROSPECT HILL ESTATES
BELLINGHAM, MASSACHUSETTS

PREPARED FOR:
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JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"= 40'
SHEET:	11 of 25
PLAN #:	27,541

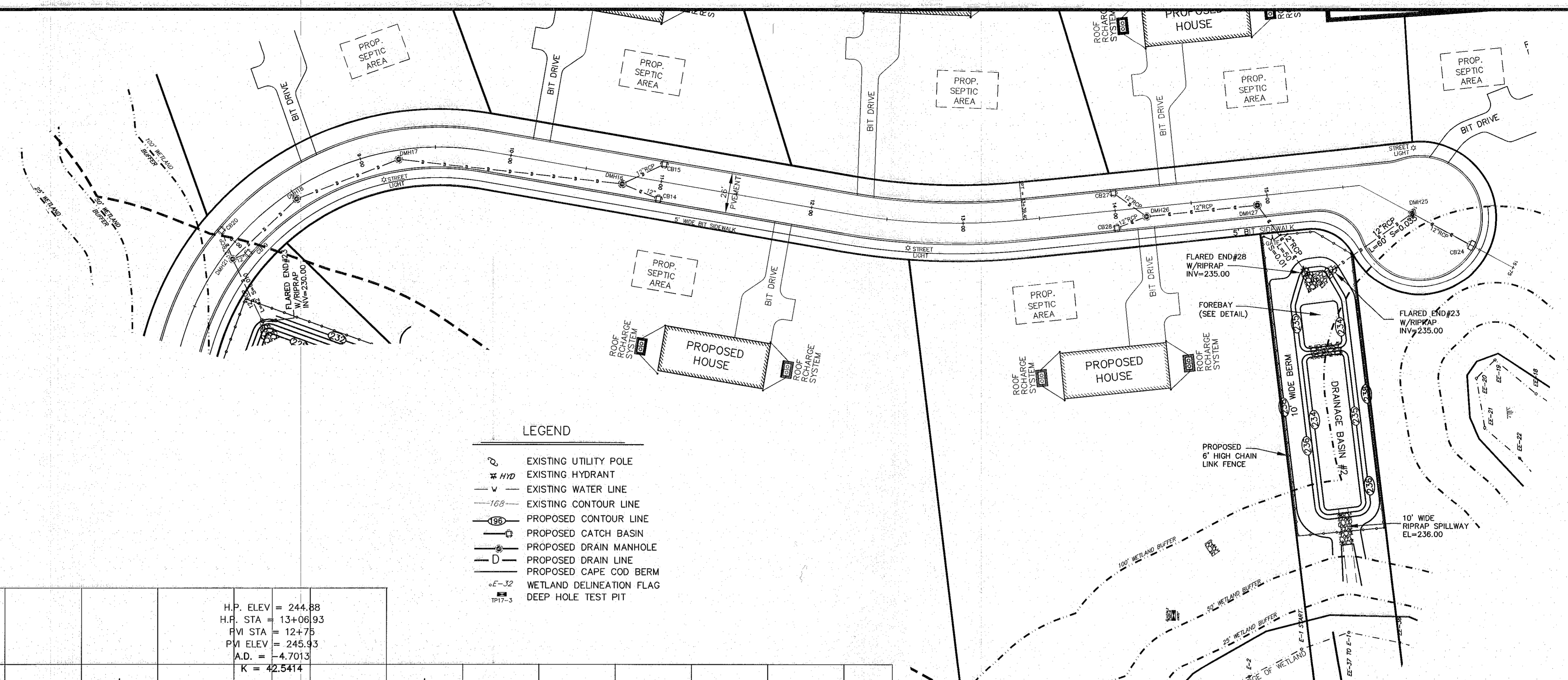
APPROVED BY THE FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

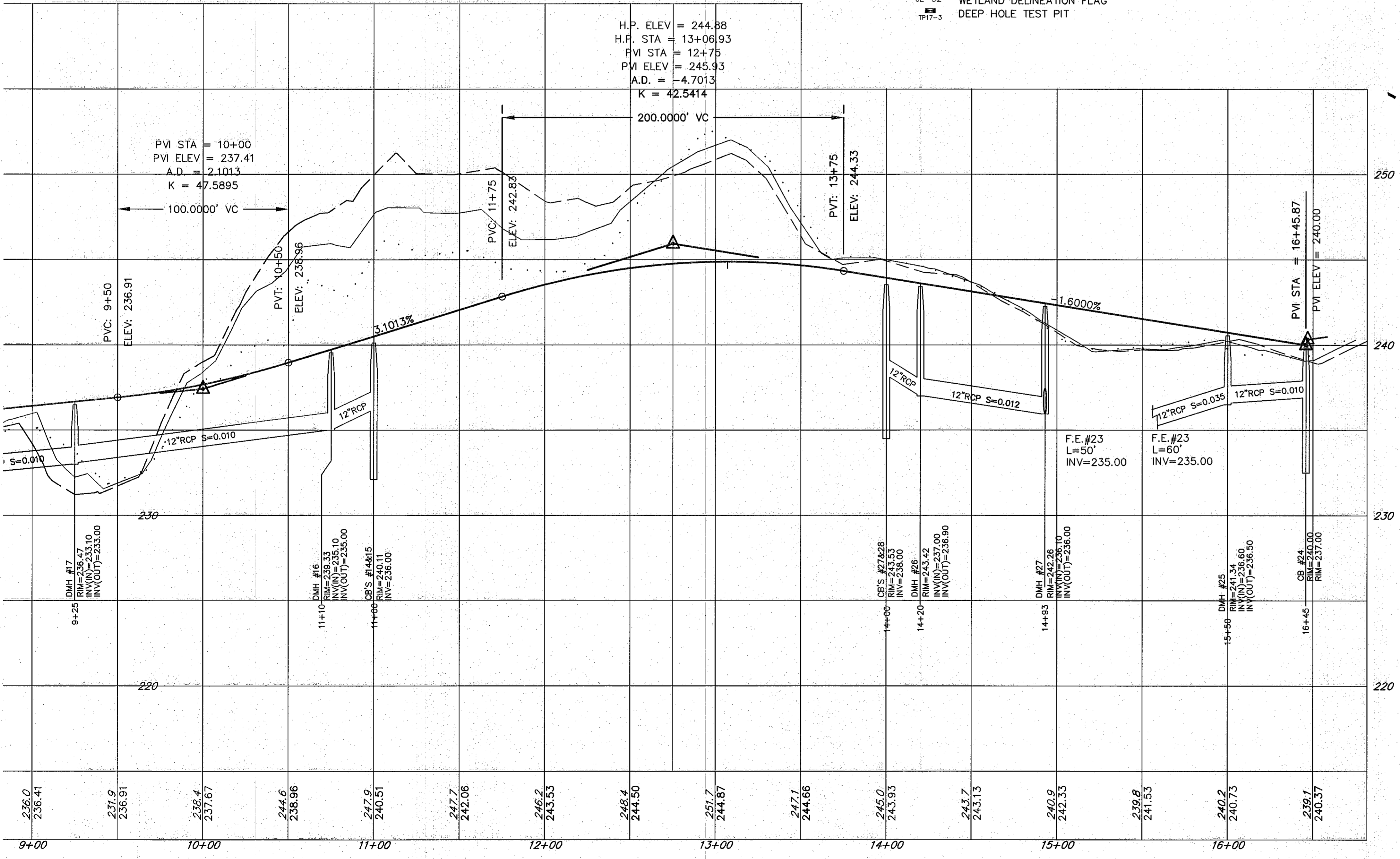
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TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ AND TO BE DATED _____ AND TO BE RECORDED HEREWITH.



- LEGEND**
- EXISTING UTILITY POLE
 - EXISTING HYDRANT
 - EXISTING WATER LINE
 - EXISTING CONTOUR LINE
 - PROPOSED CONTOUR LINE
 - PROPOSED CATCH BASIN
 - PROPOSED DRAIN MANHOLE
 - PROPOSED DRAIN LINE
 - PROPOSED CAPE COD BERM
 - WETLAND DELINEATION FLAG
 - DEEP HOLE TEST PIT



SCALE: Horiz: 1"=40'; Vert: 1"=4'

APPROVED BY THE BELLINGHAM PLANNING BOARD:

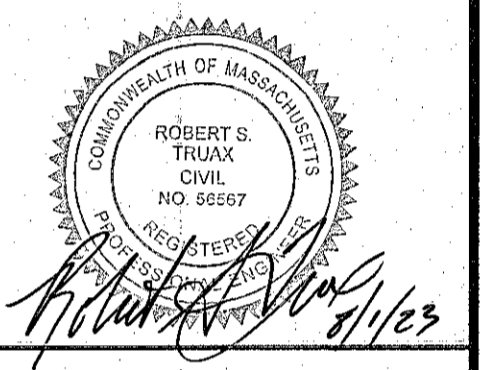
DATE APPROVED: _____

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TOWN CLERK _____ DATE _____

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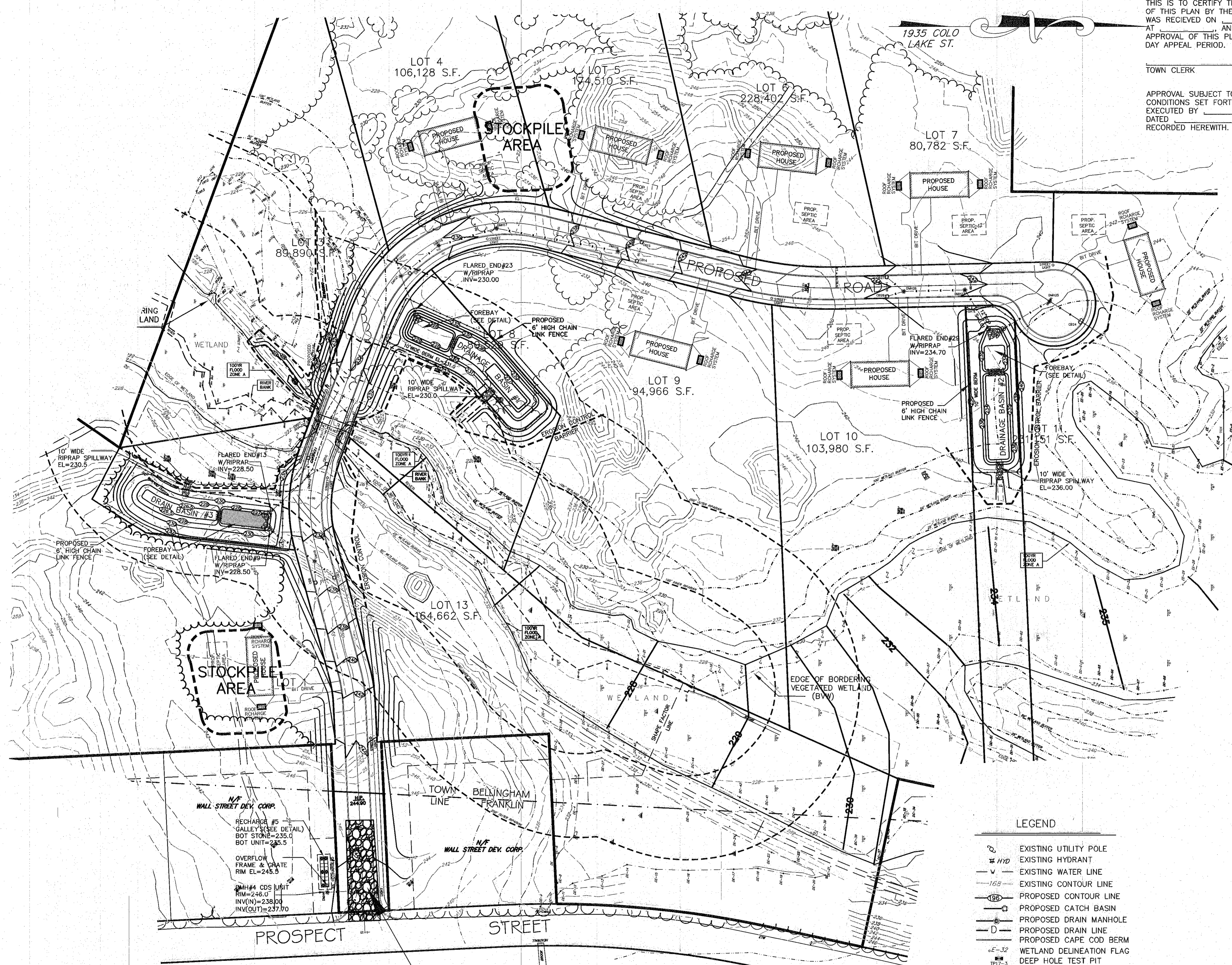


**DEFINITIVE SUBDIVISION PLAN
PROSPECT HILL ESTATES
BELLINGHAM, MASSACHUSETTS**

PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
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WESTWOOD, MASSACHUSETTS

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JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"= 40'
SHEET:	12 of 25
PLAN #:	27,541



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APPROVED BY THE FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

APPROVED BY THE BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

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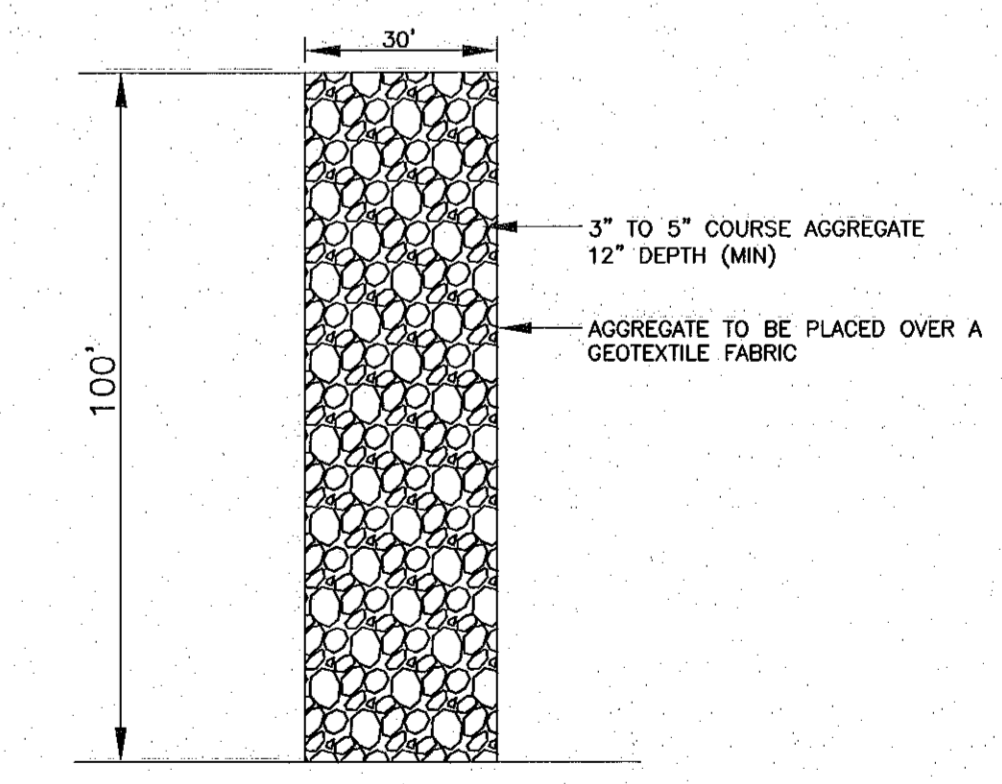
TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HERewith.

N/F WALL STREET DEV. CORP.
RECHARGE #5 GALLEY (SEE DETAIL)
BOT STONE=235.0
BOT LINI=235.5
OVERFLOW FRAME & GRATE
RIM EL=248.5
DMH#4 CDS UNIT
RIM=248.0
INV(N)=238.00
INV(O)=237.70

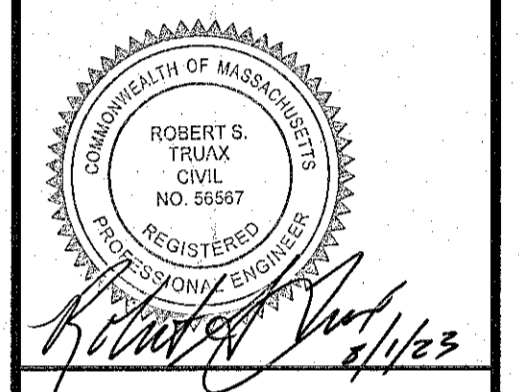
STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL)

- LEGEND
- ⊕ EXISTING UTILITY POLE
 - ⊕ HYD EXISTING HYDRANT
 - v — EXISTING WATER LINE
 - 16.5- EXISTING CONTOUR LINE
 - 18.0- PROPOSED CONTOUR LINE
 - ⊕ PROPOSED CATCH BASIN
 - ⊕ PROPOSED DRAIN MANHOLE
 - ⊕ PROPOSED DRAIN LINE
 - ⊕ PROPOSED CAPE COD BERM
 - ⊕ WETLAND DELINEATION FLAG
 - ⊕ DEEP HOLE TEST PIT



PROSPECT STREET
STABILIZED CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE

REVISIONS		DESCRIPTION
No.	DATE	
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DEFINITIVE SUBDIVISION PLAN
PROSPECT HILLESSTATES
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PREPARED FOR:
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JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"=60'
SHEET:	13 of 25
PLAN #:	27,541

EROSION AND SEDIMENTATION CONTROL:

1. PRIOR TO ANY DISTURBANCE OR ALTERATIONS ON ANY AREA ON THE SITE, THE FILTER MITT SEDIMENT BARRIER SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLAN.
2. BARRIERS SHALL BE CONSTRUCTED AS SHOWN ON THE FILTER MITT DETAIL WITH CONSTRUCTION FENCE DETAIL ABOVE.
3. ONCE INSTALLED, THE FILTER MITT SEDIMENT BARRIERS SHALL BE MAINTAINED IN PLACE UNTIL ALL AREAS UPGRADIENT FROM THE BARRIERS HAVE BEEN STABILIZED AS SPECIFIED HEREIN. UPON COMPLETION AND STABILIZATION OF THE PROJECT, THE FILTER MITT AND CONSTRUCTION FENCE SHALL BE REMOVED.
4. THE ORANGE CONSTRUCTION FENCE IS INTENDED TO ACT AS A LIMIT OF DISTURBANCE. ANY LAND DOWN GRADIENT FROM THE FENCE ACCIDENTALLY DISTURBED SHALL BE IMMEDIATELY REPAIRED AND RESTORED TO ORIGINAL CONDITION.
5. EROSION CONTROL MEASURES SHALL BE MONITORED ON A DAILY BASIS, OR AS NEEDED, AND BE REINFORCED, REPAIRED, OR REPLACED WHEN NEEDED, PER JUDGEMENT OF THE SITE FOREMAN AND/OR TOWN OF BELLINGHAM REPRESENTATIVE.
6. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES TEMPORARILY CEASE FOR AT LEAST 30 DAYS. AREAS SHALL BE STABILIZED WITH TEMPORARY SEED. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED WHEN WEATHER CONDITIONS ALLOW.
7. THE FIRST ONE-HUNDRED FIFTY (100) FEET OF THE PROPOSED ENTRANCE AT PROSPECT STREET SHALL HAVE A CONSTRUCTION ENTRANCE PAD(SEE DETAIL).
8. WATER SPRAYING SHALL BE UTILIZED ON ALL DISTURBED AREAS DURING DRY WEATHER TO PREVENT DUST. A WATER TRUCK SHALL BE KEPT ON SITE AT ALL TIMES DURING THE DURING THE SUMMER MONTHS OF CONSTRUCTION.
9. FOLLOWING CONSTRUCTION OF THE CATCH BASIN STRUCTURES, A SILTATION BARRIER SHALL BE SET AROUND THE INLET FOR EACH STRUCTURE TO PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM. (SEE DETAIL)
10. NO SLOPES, EITHER TEMPORARY OR PERMANT SHALL BE STEEPER THAN TWO TO 1 (2:1).
11. STREET SWEEPING SHALL BE DONE AS NEEDED BASIS ALONG PROSPECT STREET TO THE LIMITS OF SEDIMENT TRACKING.
12. STOCKPILE MATERIAL SHALL BE SECURED AROUND THE PERIMETER WITH EROSION CONTROL BARRIERS.

MAINTENANCE:

1. THE CONTRACTOR SHALL HAVE ON SITE AN ADEQUATE QUANTITY OF SUPPLEMENTAL HAYBALES AND/OR SILT SOCK TO BE USED FOR CONTROL OF EMERGENCY EROSION PROBLEMS.
2. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY.
3. THE CONTRACTOR SHALL MONITOR DAILY WEATHER AND PRIOR TO ANY PREDICTED RAIN STORM, THE EROSION BARRIERS SHALL BE INSPECTED AND NEW ONES SUPPLEMENTED IN ANY AREAS OF POSSIBLE CONCENTRATED RUNOFF.
4. SEDIMENT CHECK DAMS MAY BE INSTALLED IN AREA OF HIGH CONCENTRATION OF SURFACE RUNOFF.(SEE DETAIL)
5. ALL EQUIPMENT SHALL BE STORED IN THE DESIGNATED STAGING AREA.

A MORE DETAILED SEDIMENT AND EROSION CONTROL PLAN WILL BE DEVELOPED AS PART OF THE NPDES STORMWATER POLLUTION PREVENTION PLAN.

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TOWN CLERK _____ DATE _____

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DATE APPROVED: _____

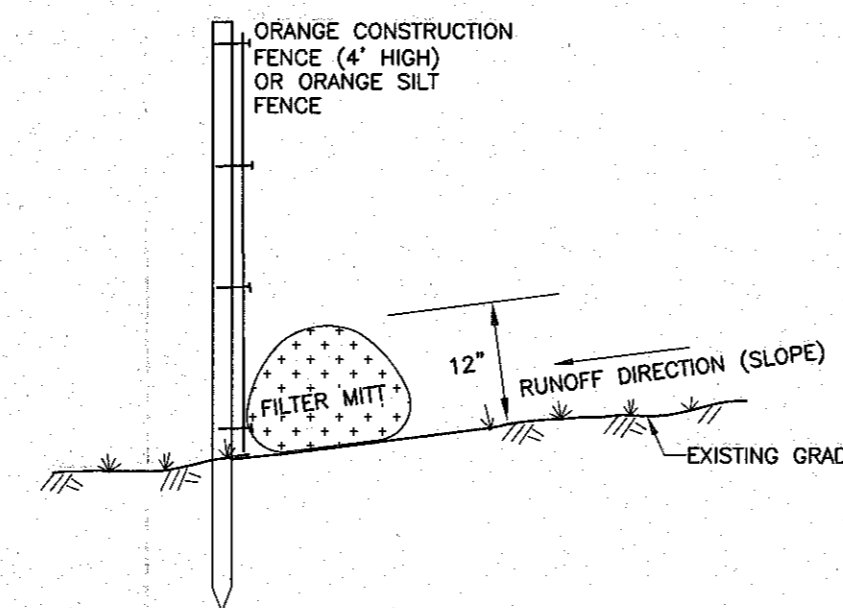
APPROVED BY THE BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

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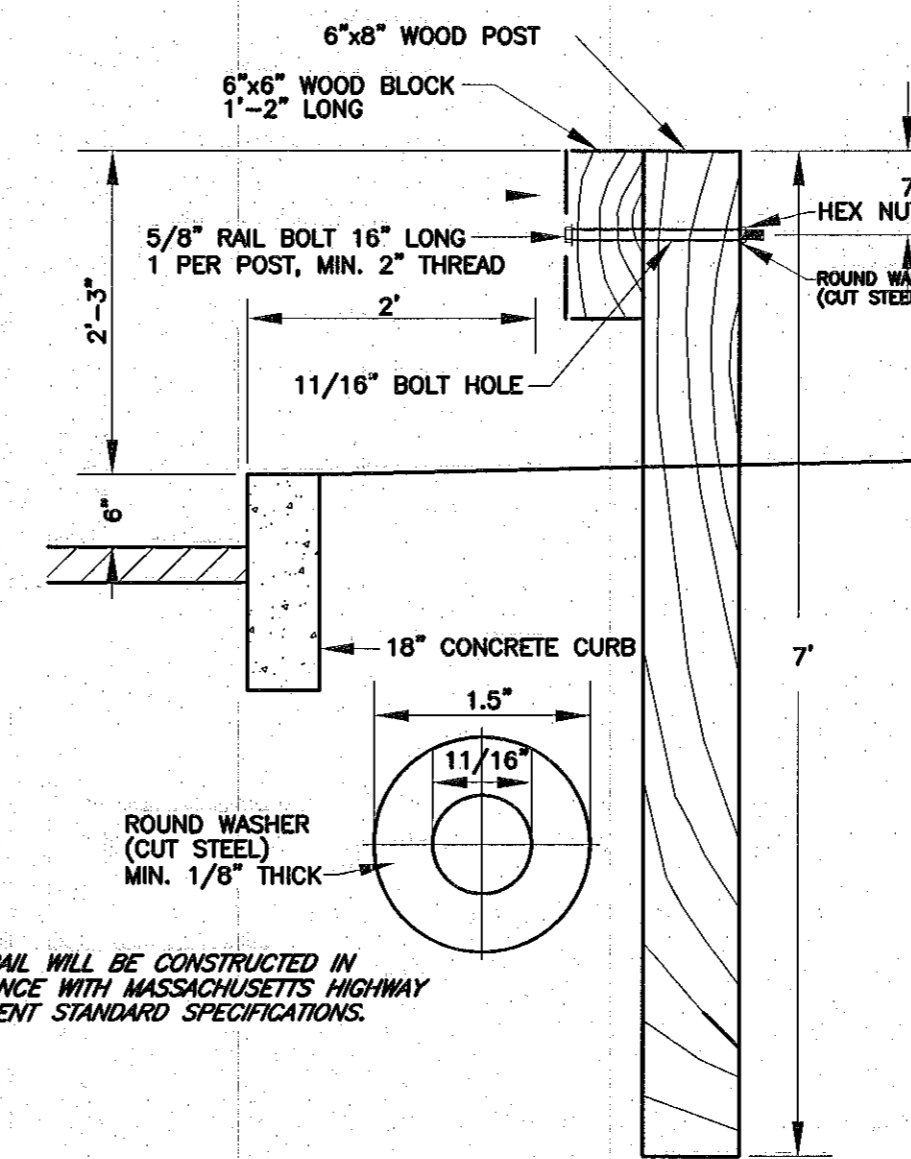
TOWN CLERK _____ DATE _____

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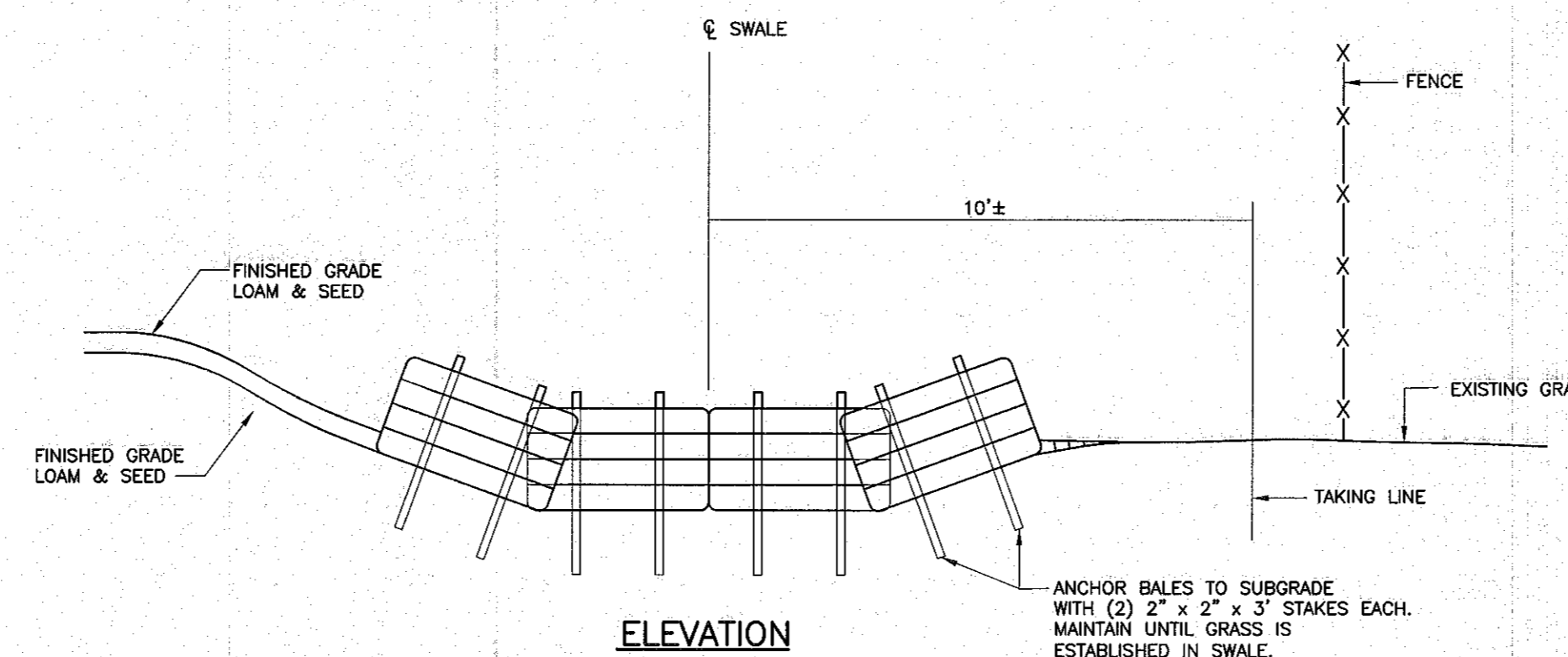
EROSION CONTROL BARRIER FILTER MITT W/ CONSTRUCTION FENCE DETAIL

N.T.S.

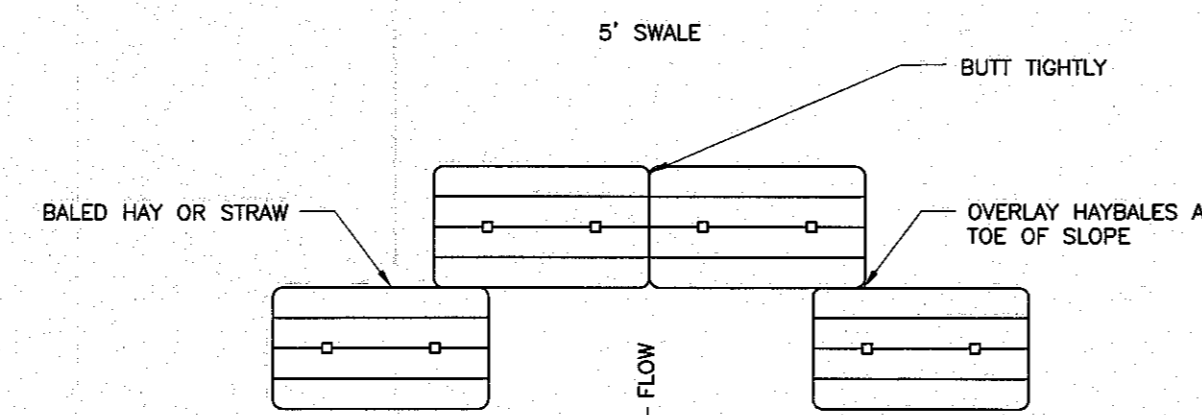


SINGLE FACE GUARD RAIL WITH WOOD POST

N.T.S.



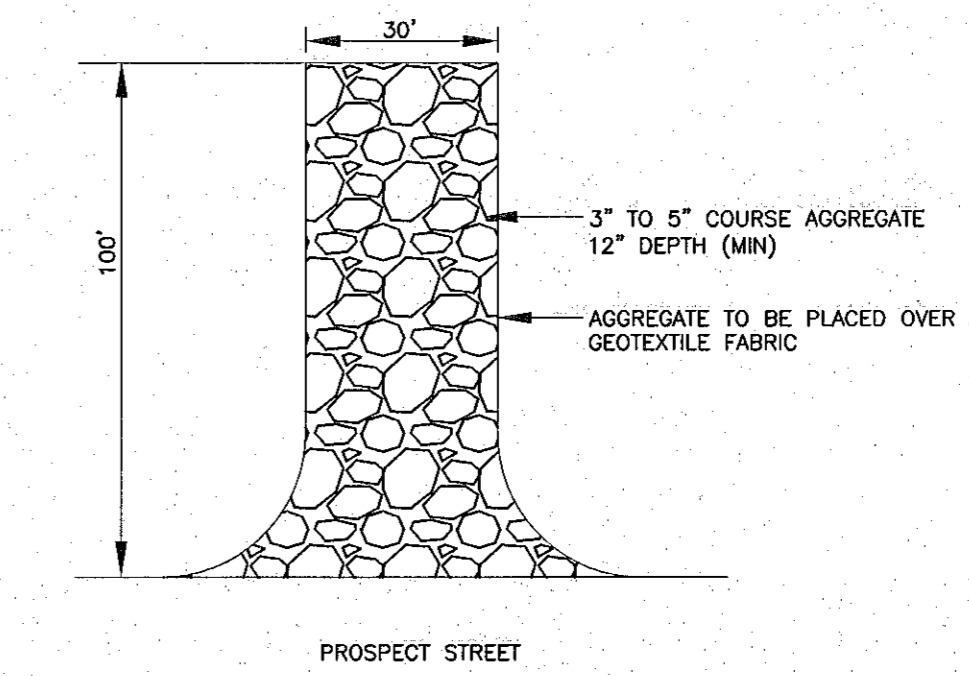
ELEVATION



PLAN

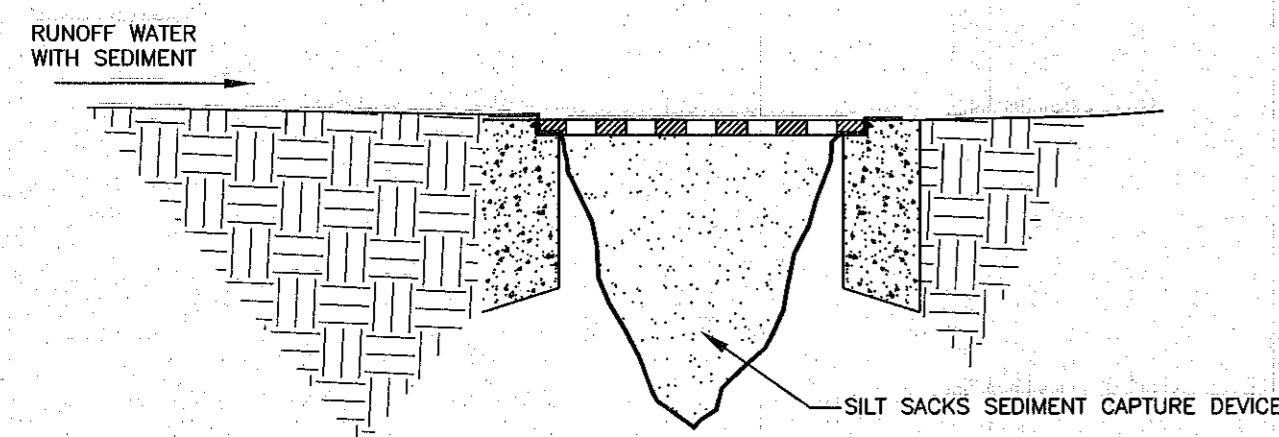
SEDIMENT CHECK DAM DETAIL

N.T.S.



STABILIZED CONSTRUCTION ENTRANCE PAD DETAIL

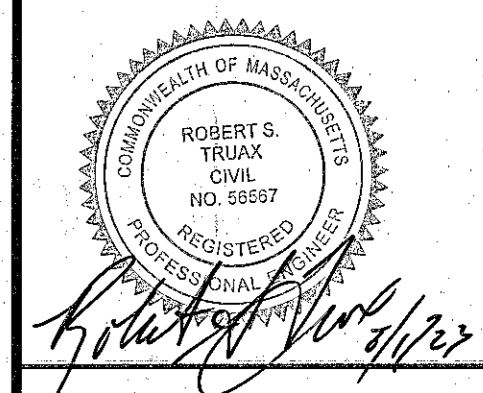
NOT TO SCALE



SILT SACK CATCH BASIN INLET

NOT TO SCALE

REVISIONS	DESCRIPTION
No.	DATE
1	03/02/2022
2	07/12/2022
3	10/11/2022
4	04/05/2023
5	08/01/2023

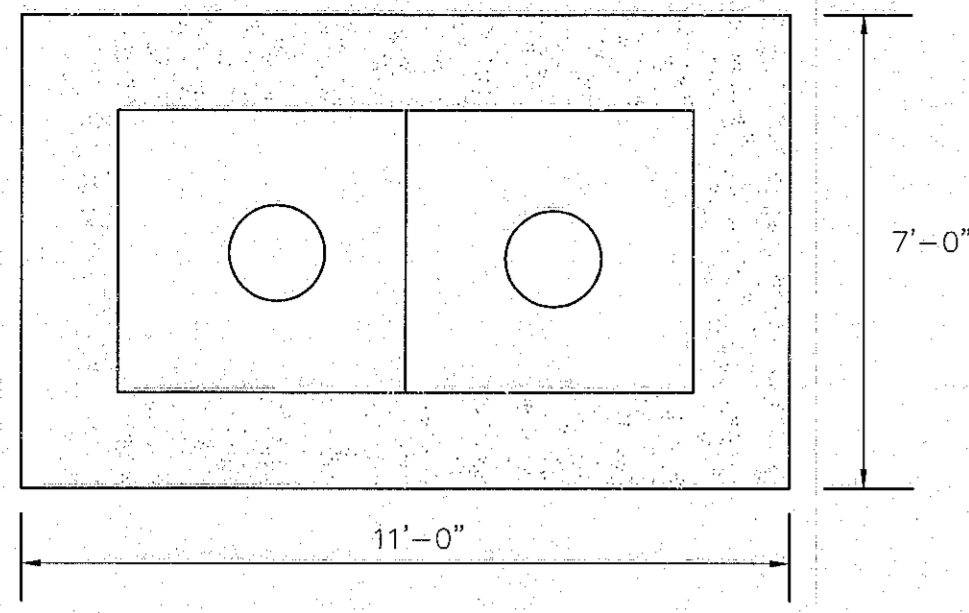


DEFINITIVE SUBDIVISION PLAN
PROSPECT HILLESSTATES
BELLINGHAM, MASSACHUSETTS

PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
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SCALE:	1"=60'
SHEET:	14 of 25
PLAN #:	27,541

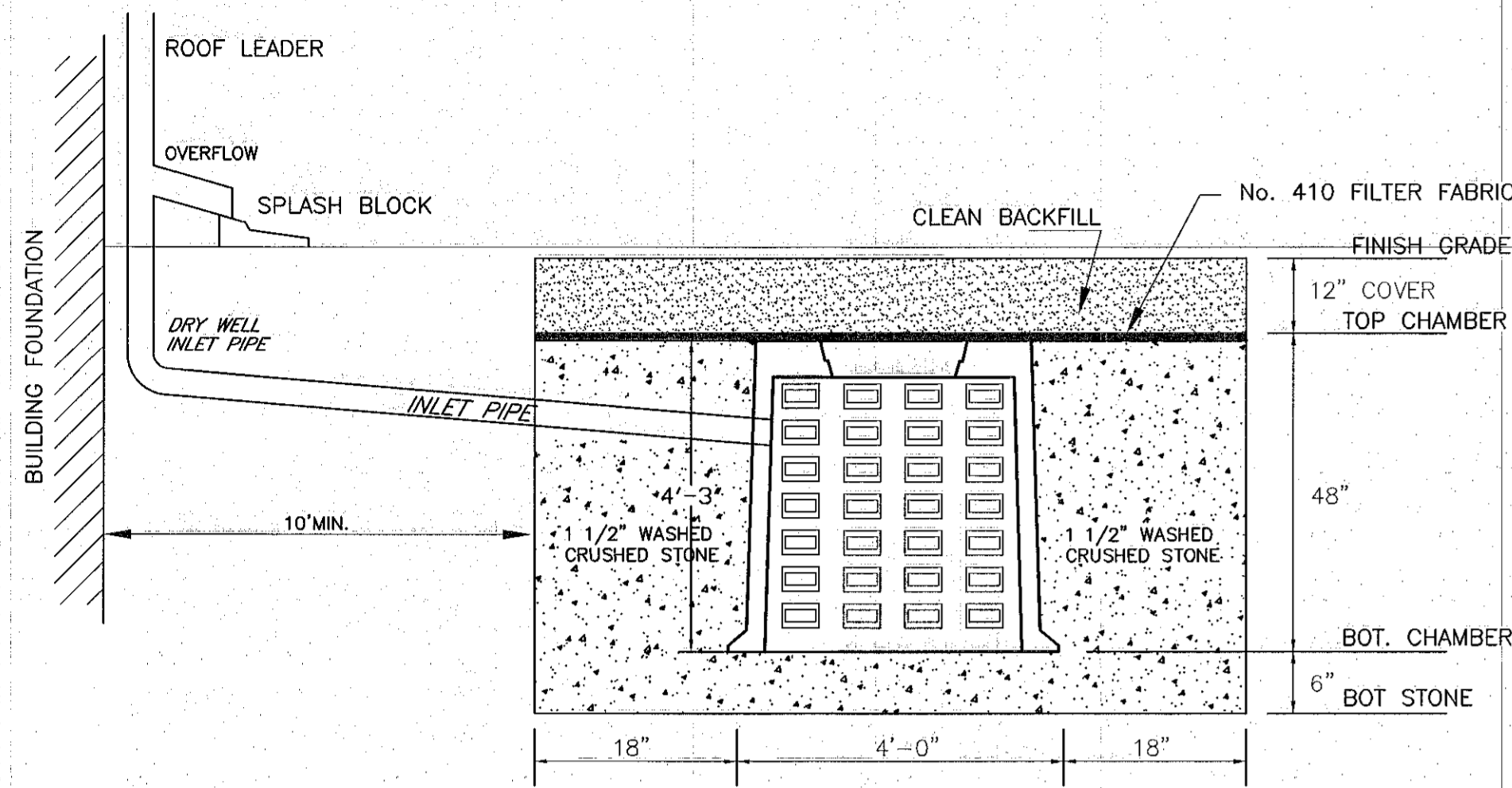


NOTES:
 1. ALL ROOF RUNOFF SHALL BE DIRECTED TO A RECHARGE SYSTEM. (SEE PLAN)
 2. INSTALL TWO SYSTEMS PER DWELLING. EACH SYSTEM TO CAPTURE APPROXIMATELY 1/2 THE ROOF AREA.

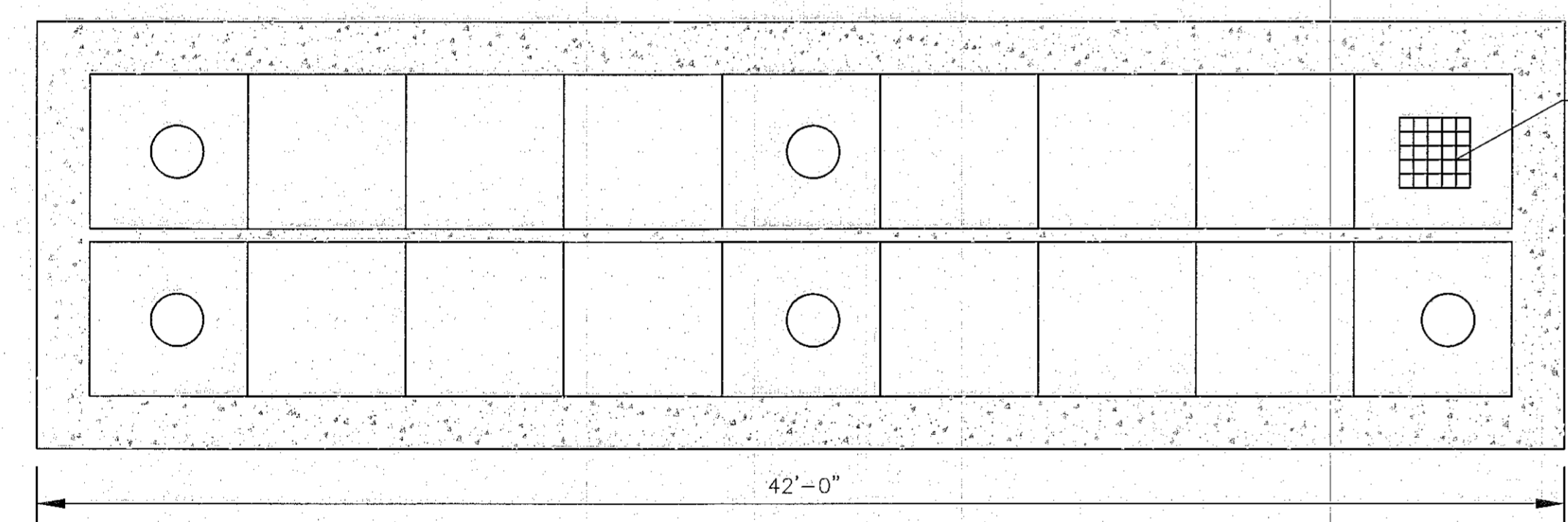
NOTES:
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR H-20 LOADING.
 3. GALLEYS TO BE PLACED AGAINST ONE ANOTHER AS INDICATED ON THE GRADING PLAN ON A STONE BASE, WITH 18" OF STONE ALL AROUND.
 4. STONE SHALL MEET SECTION M2.01.2 OF THE MHD SPECIFICATIONS.

2 - 4X4X4 GALLEY'S W/STONE

TWO RECHARGE SYSTEM PER DWELLING

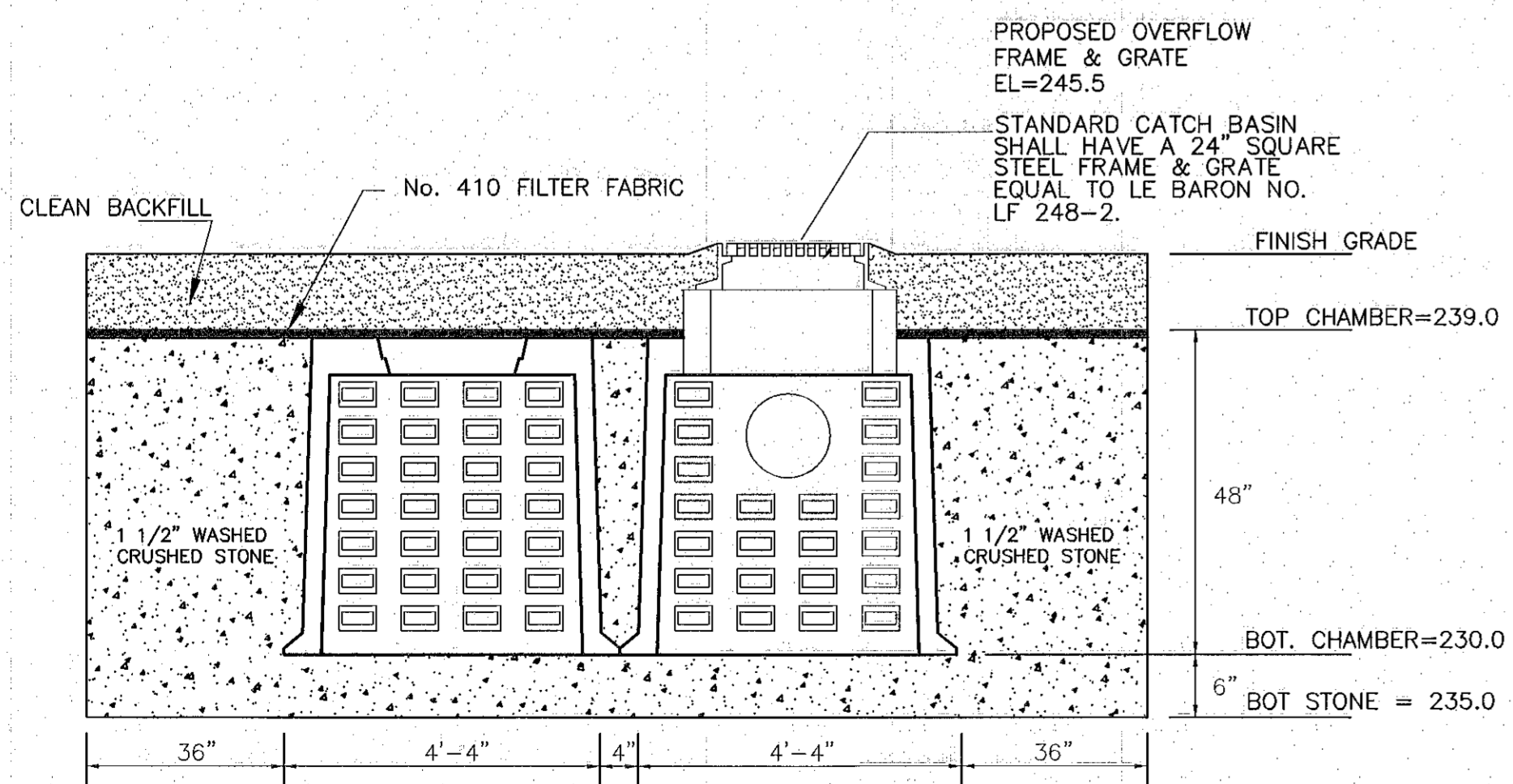


ROOF RECHARGE SYSTEM DETAIL
N.T.S.



2 ROWS 9 GALLEY'S PER ROW
TOTAL 18 4x4 GALLEY'S

PROPOSED OVERFLOW FRAME & GRATE EL=245.5
 STANDARD CATCH BASIN SHALL HAVE A 24" SQUARE STEEL FRAME & GRATE EQUAL TO LE BARON NO. LF 248-2.



STORWATER RECHARGE SYSTEM #5
N.T.S.

NOTES:
 1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR H-20 LOADING.
 3. GALLEYS TO BE PLACED AGAINST ONE ANOTHER AS INDICATED ON THE GRADING PLAN ON A STONE BASE, WITH 36" OF STONE ALL AROUND.
 4. STONE SHALL MEET SECTION M2.01.2 OF THE MHD SPECIFICATIONS.

EQUAL: EJ MASS. MUNICIPAL
 FRAME: 8" Hgt. OMA54000006
 GRATE: SQUARE HOLE OMA552000075

NOTES

1. All construction shall conform to the Town of Bellingham Planning Board Rules and Regulations and Department of Public Works standards and details.
 5. Sidewalk ramps must meet current applicable ADA / AAB standards.



NOTE: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. DIGSAFE IS TO BE NOTIFIED 72 WORKING HOURS IN ADVANCE OF CONSTRUCTION. DIGSAFE 1-888-344-7233

APPROVED BY THE FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

APPROVED BY THE BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

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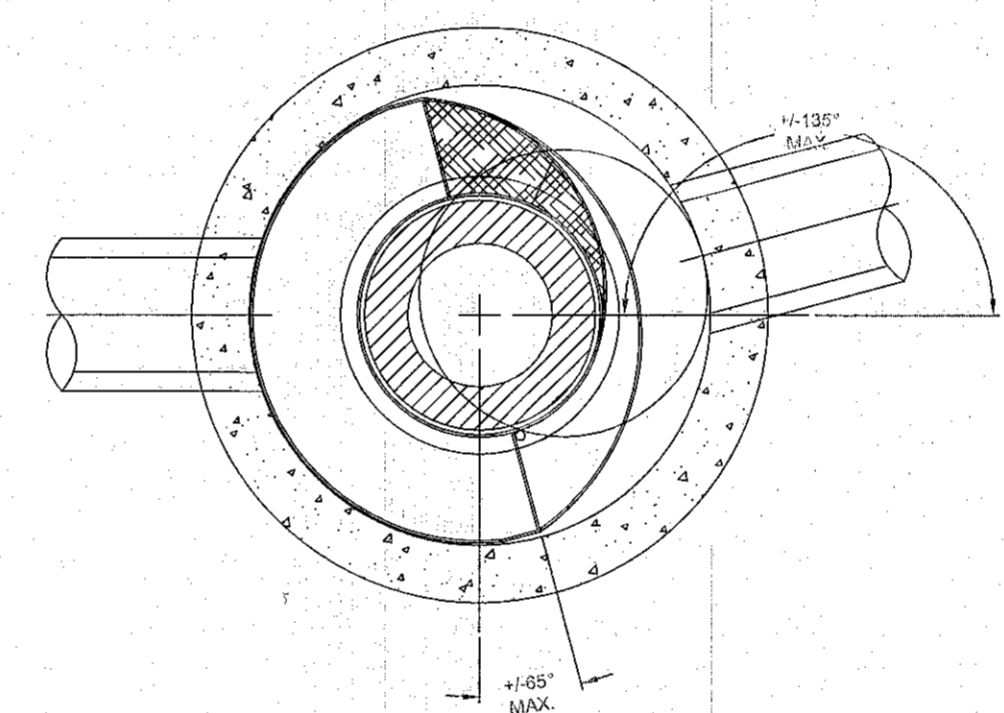
TOWN CLERK _____ DATE _____

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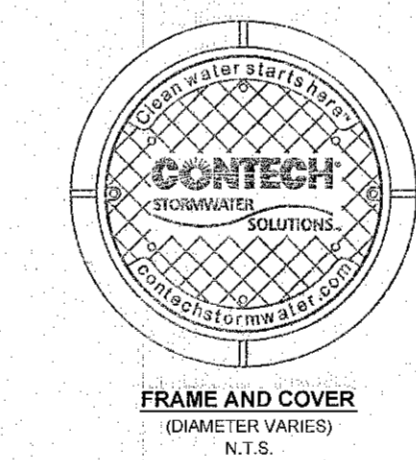
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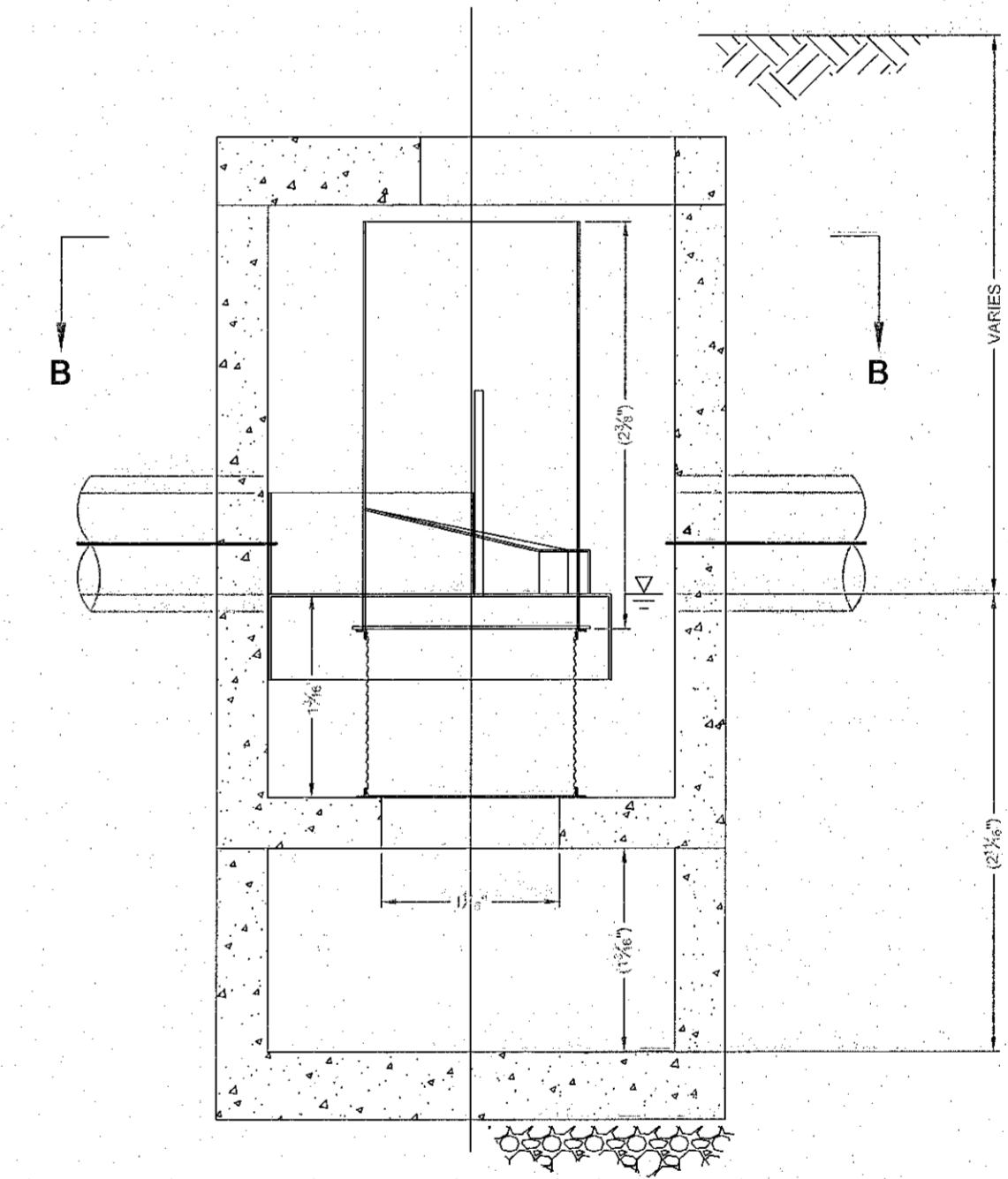
APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ DATED _____ AND TO BE RECORDED HERewith.



PLAN VIEW B-B
N.T.S.



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



ELEVATION A-A
N.T.S.

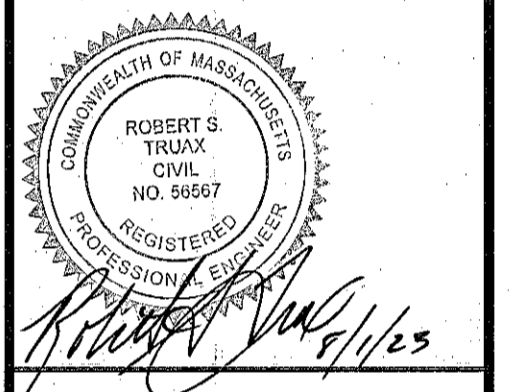
GENERAL NOTES
 1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
 3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. www.contech-cpi.com
 4. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 5. STRUCTURE SHALL MEET AASHTO M520 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES
 1. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 2. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 3. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
 4. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
 5. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

WATER QUALITY UNIT DETAIL DMH#4
CDS1515-3-C CDS INLINE STANDARD DETAIL

NOT TO SCALE

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4	04/05/2023	Planning Board
5	08/01/2023	Planning Board Decision



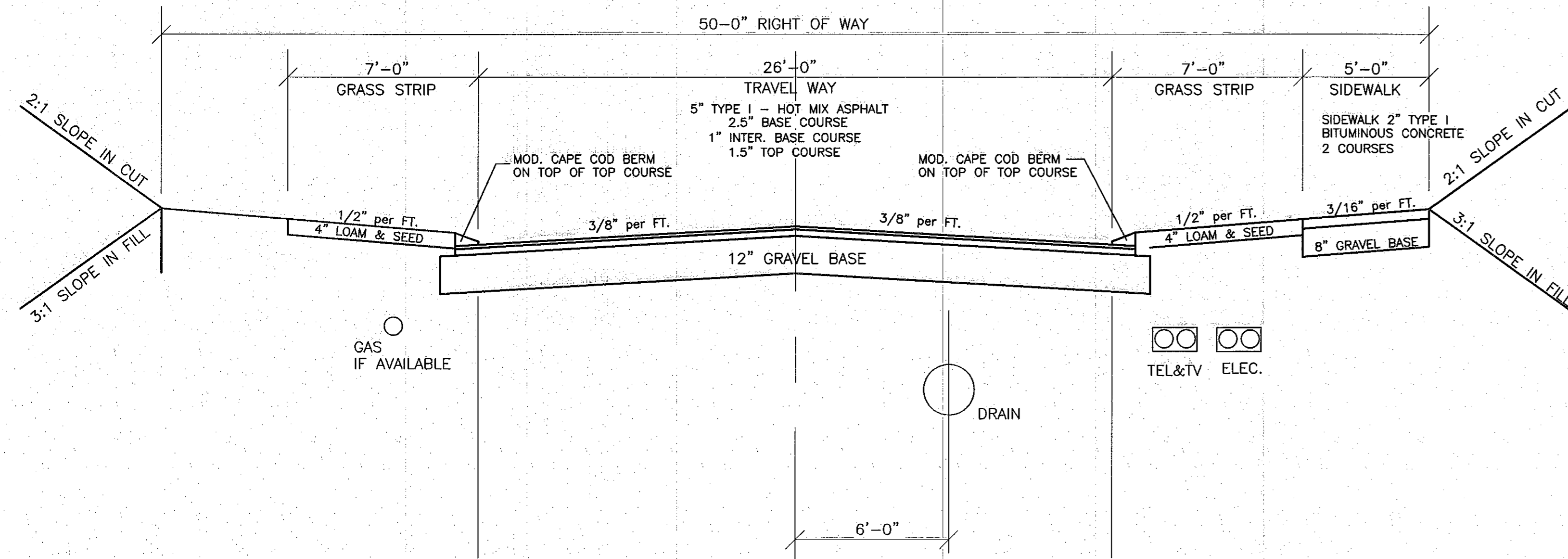
DEFINITIVE SUBDIVISION PLAN
 PROSPECT HILL ESTATES
 BELLINGHAM, MASSACHUSETTS

PREPARED FOR:
 WALL STREET DEVELOPMENT CORP.
 P.O. BOX 272
 WESTWOOD, MASSACHUSETTS

GLM Engineering Consultants, Inc.
 19 EXCHANGE STREET
 HOLLISTON, MA 01746
 P: 508-429-1100
 F: 508-429-7160
 www.GLMEngineering.com

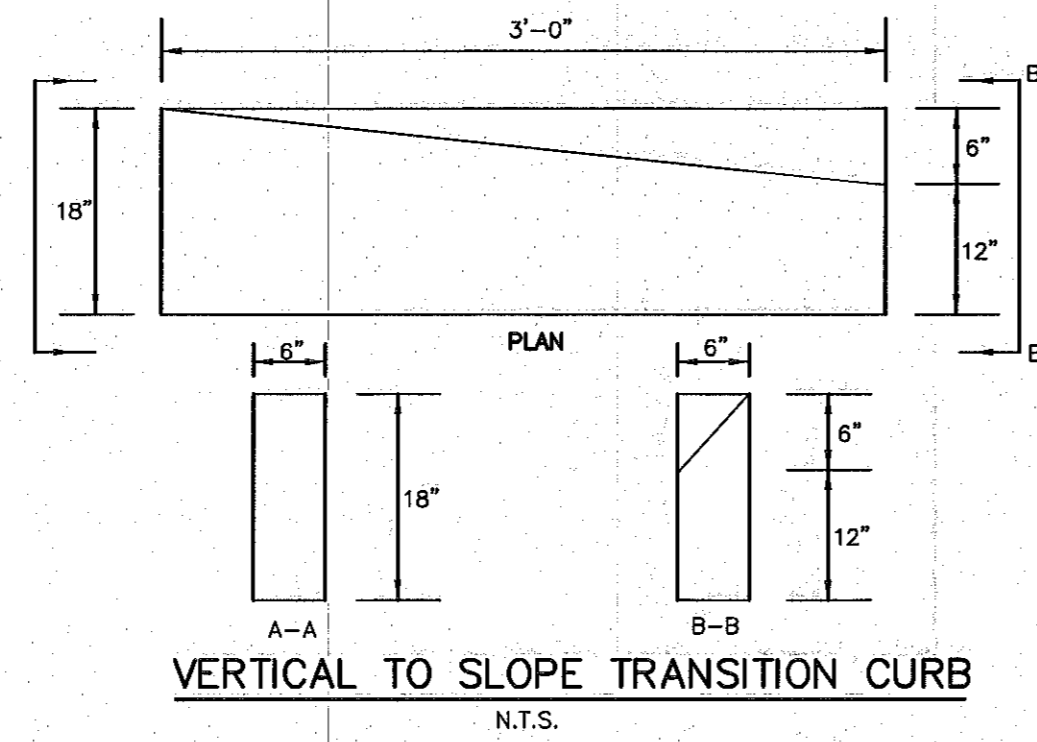
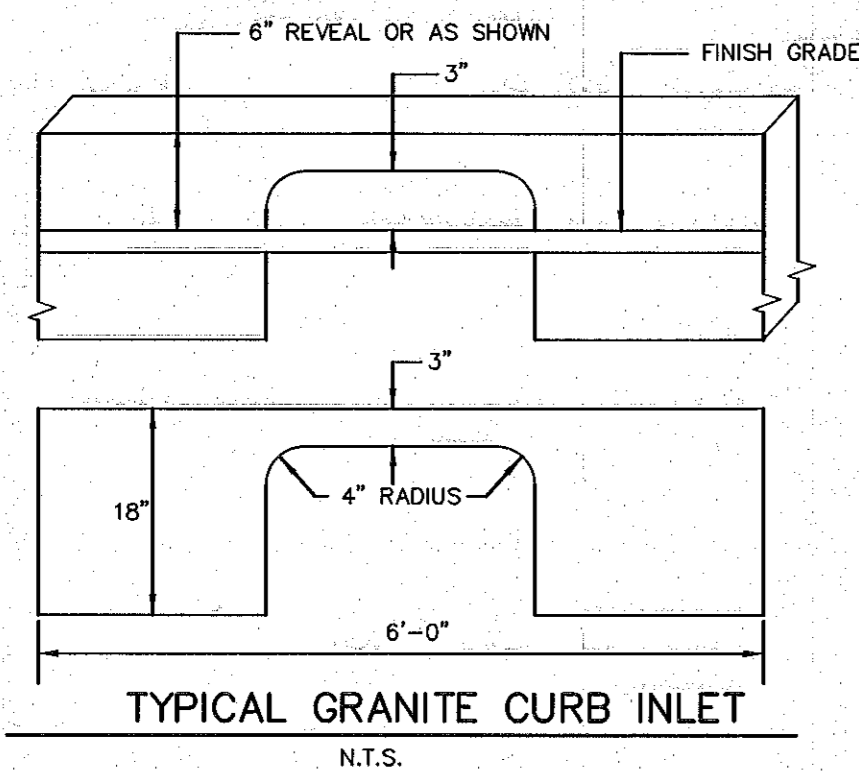
JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"=60'
SHEET:	15 of 25
PLAN #:	27,541

DETAILS



TYPICAL ROADWAY CROSS SECTION

NOTE:
CURB INLETS TO BE INSTALLED AT ALL CATCH BASIN WITH TRANSITIONS CURBS.



THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE FRANKLIN PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

APPROVED BY THE FRANKLIN PLANNING BOARD:

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ AND TO BE DATED _____ AND TO BE RECORDED HERewith.

DATE APPROVED: _____

APPROVED BY THE BELLINGHAM PLANNING BOARD:

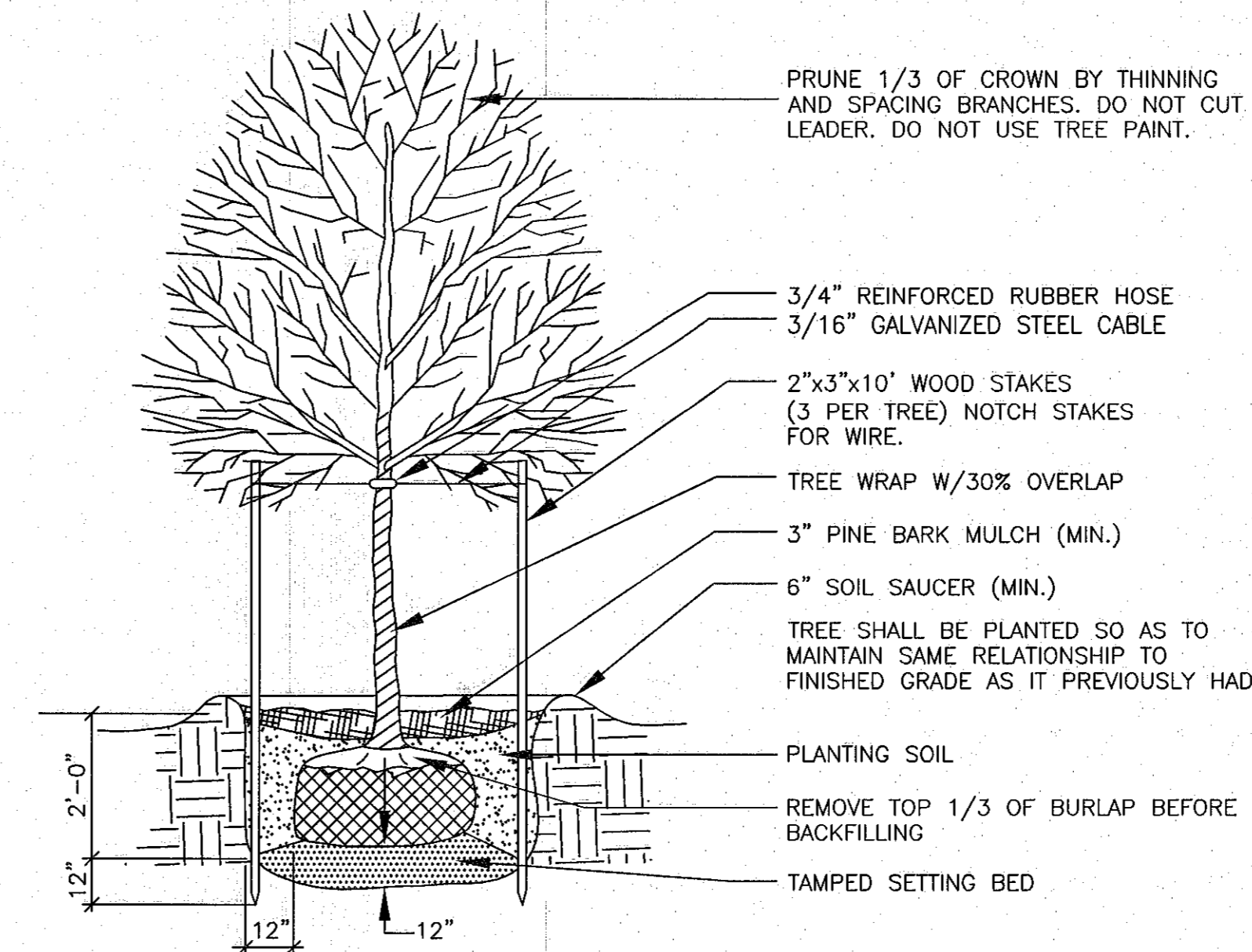
DATE APPROVED: _____

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TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ AND TO BE DATED _____ AND TO BE RECORDED HERewith.

NOTE:
1. STREET TREES SHALL BE PLANTED ON BOTH SIDES OF THE ROADWAY, SPACED APPROXIMATELY 40 FT. APART AND APPROXIMATELY 10 FT FROM SIDEWALK OR ROADWAY.
2. STREET TREES SHALL BE MINIMUM OF 2 1/2" CALIPER 4 FT. ABOVE THE GROUND.



STREET TREE DETAIL

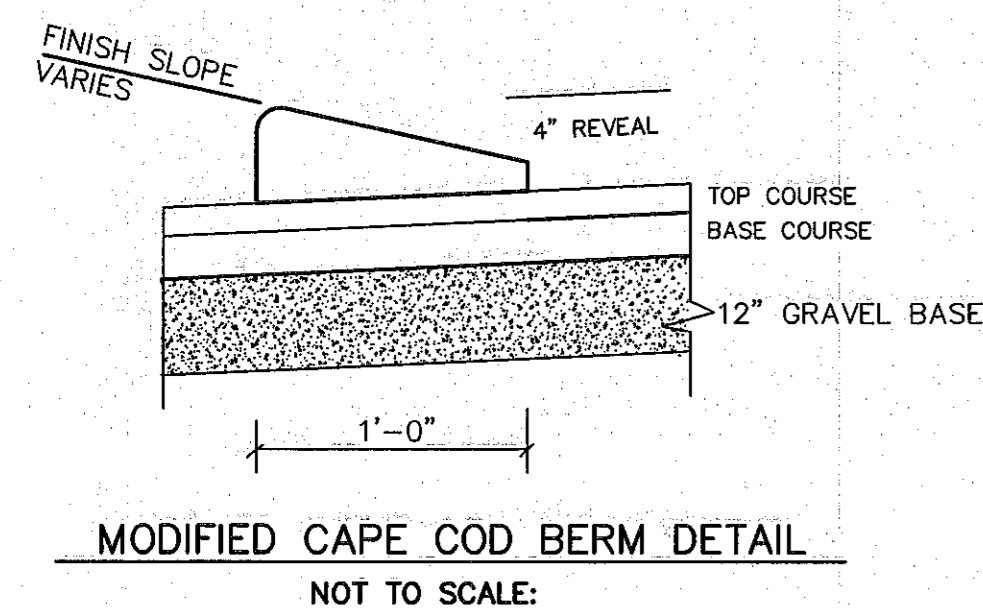
NOT TO SCALE

NOTES

- All construction shall conform to the Town of Bellingham Planning Board Rules and Regulations and Department of Public Works standards and details.
- Sidewalk ramps must meet current applicable ADA / AAB standards.

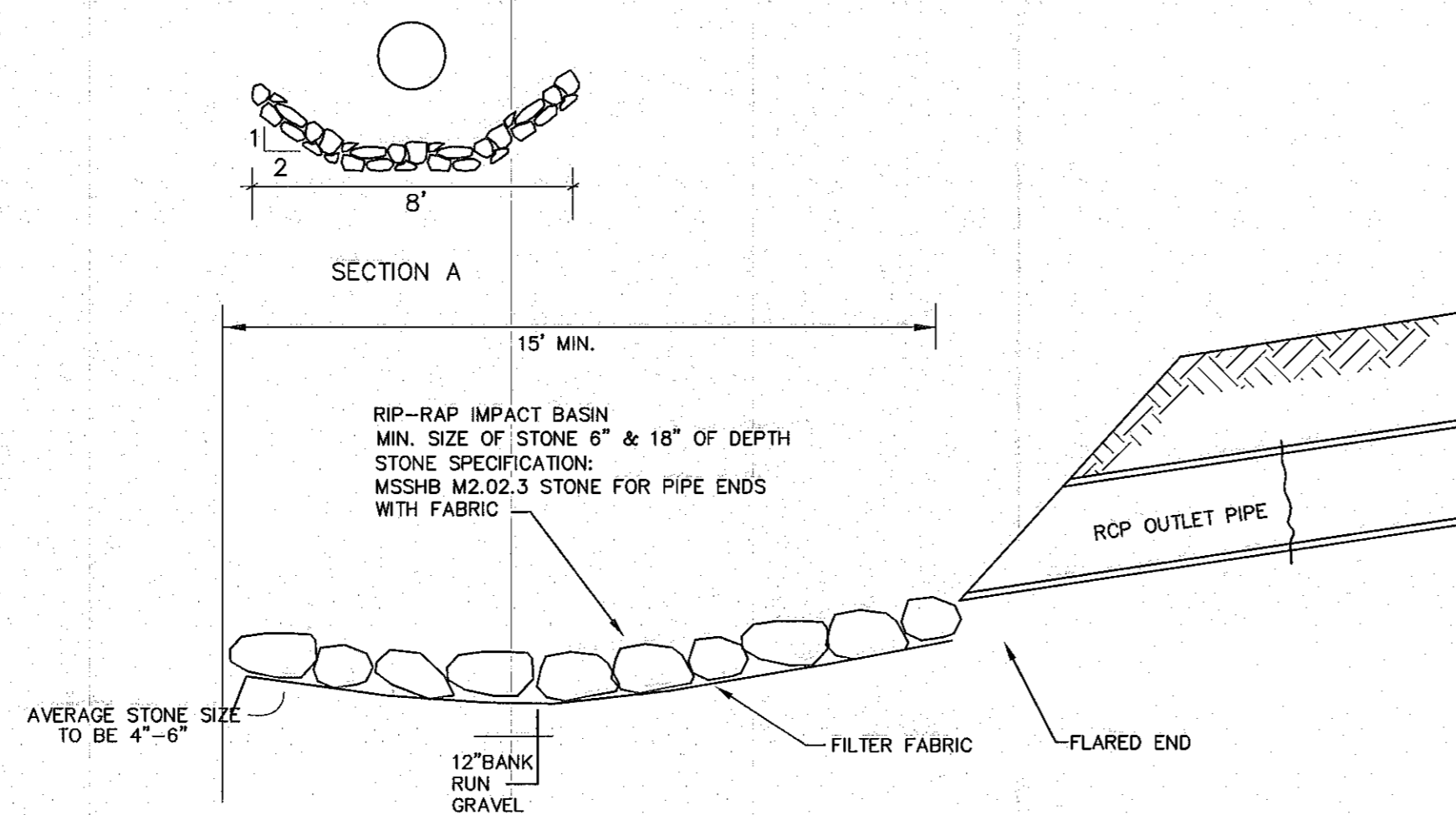


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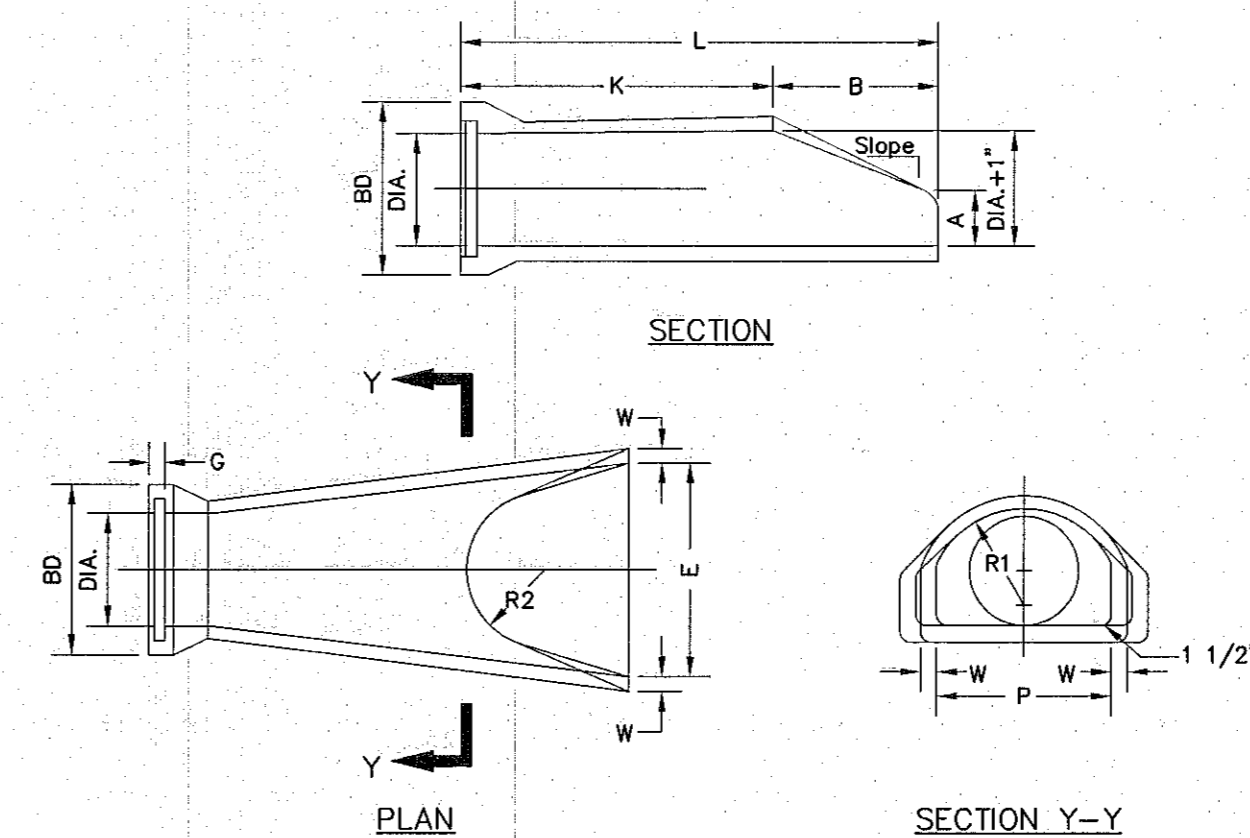
MODIFIED CAPE COD BERM DETAIL

NOT TO SCALE:



RIPRAP OUTLET DETAIL

NOT TO SCALE

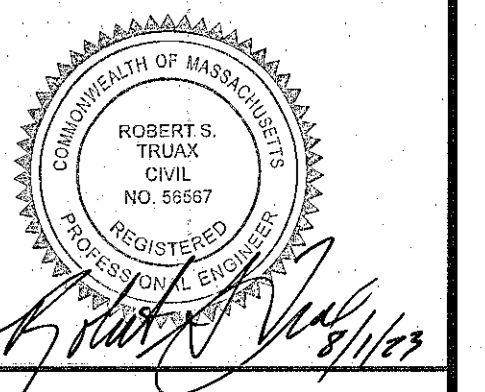


R.C.P. FLARED END SECTION DETAIL

NOT TO SCALE

DIA.	W	A	B	C	D	E	BD	K	L	P	DIA. +1"	R1	R2	S	G	Slope
12"	2"	4"	2'-0"	4'-0 7/8"	6'-1 3/8"	2'-0"	20"	4'-3 1/8"	6'-4 1/8"	19 15/16"	13"	10 1/8"	9"	4"	2 1/2"	3:1
15"	2 1/4"	6"	2'-3"	3'-10"	6'-1 1/2"	2'-6"	24"	4'-1 1/8"	6'-4 1/8"	24 5/16"	16"	12 1/2"	11"	4"	2 1/2"	3:1
18"	2 1/2"	9"	2'-3"	3'-10"	6'-1"	3'-0"	28"	4'-1 7/8"	6'-4 7/8"	29"	19"	15 1/2"	12"	4"	2 3/4"	3:1
21"	2 3/4"	9"	2'-11"	3'-2"	6'-1"	3'-6"	32"	5'-8 3/8"	6'-7 3/8"	31 5/8"	22"	16 1/8"	13"	4"	2 3/4"	3:1
24"	3"	9 1/2"	3'-7 1/2"	2'-6"	6'-1"	4'-0"	36"	5'-0 1/2"	6'-8"	33 3/8"	25"	16 13/16"	14"	4"	3"	3:1

NO.	DATE	DESCRIPTION
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3	10/11/2022	Response to Comments
4	04/05/2023	Planning Board
5	08/01/2023	Planning Board Decision

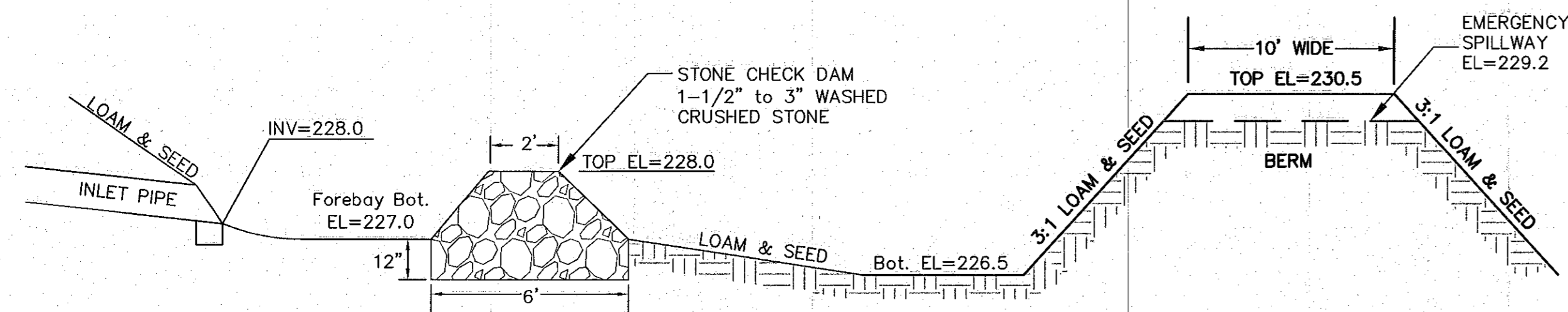


DEFINITIVE SUBDIVISION PLAN
PROSPECT HILL ESTATES
BELLINGHAM, MASSACHUSETTS

PREPARED FOR:
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JOB No. 16,590
DATE: DEC. 17, 2021
SCALE: 1"=60'
SHEET: 16 of 25
PLAN #: 27,541

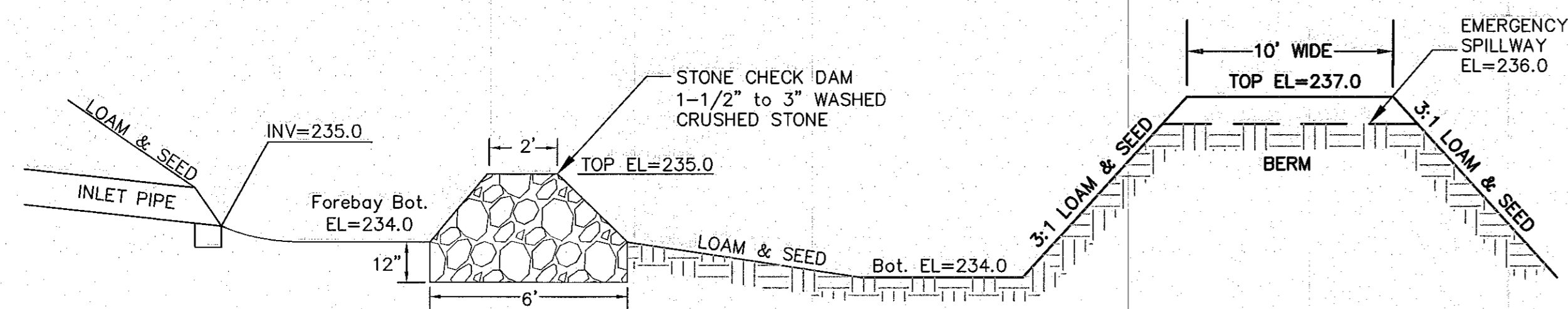


BASIN BOTTOM SPECIFICATIONS
(MIN 6" SOIL BASE)
THE SOIL MIX FOR THE BOTTOM OF THE RETENTION BASIN SHALL BE A MIXTURE OF SAND, COMPOST AND TOPSOIL/LDAM
-40% SAND
-20-30% TOPSOIL/LDAM
-30% COMPOST

NOTE:
THE BASIN SIDE SLOPES AND BOTTOM SHALL BE PROVIDED WITH FOUR INCHES OF LOAM, SEEDED AT THE RATE OF TWO POUNDS RED TOP, 15 POUNDS CREEPING RED FESCUE AND 20 POUNDS TALL FESCUE PER ACRE. AT NO TIME SHALL A SEED MIX CONSIST OF MORE THAN 10% ANNUAL RYES.

DRAINAGE RECHARGE BASIN #3 DETAIL

NOT TO SCALE

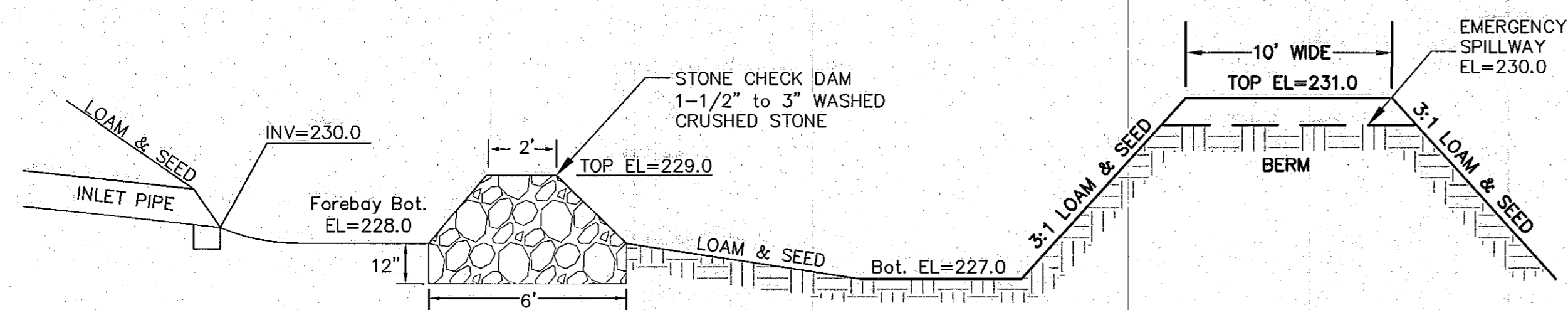


BASIN BOTTOM SPECIFICATIONS
(MIN 6" SOIL BASE)
THE SOIL MIX FOR THE BOTTOM OF THE RETENTION BASIN SHALL BE A MIXTURE OF SAND, COMPOST AND TOPSOIL/LDAM
-40% SAND
-20-30% TOPSOIL/LDAM
-30% COMPOST

NOTE:
THE BASIN SIDE SLOPES AND BOTTOM SHALL BE PROVIDED WITH FOUR INCHES OF LOAM, SEEDED AT THE RATE OF TWO POUNDS RED TOP, 15 POUNDS CREEPING RED FESCUE AND 20 POUNDS TALL FESCUE PER ACRE. AT NO TIME SHALL A SEED MIX CONSIST OF MORE THAN 10% ANNUAL RYES.

DRAINAGE RECHARGE BASIN #2 DETAIL

NOT TO SCALE

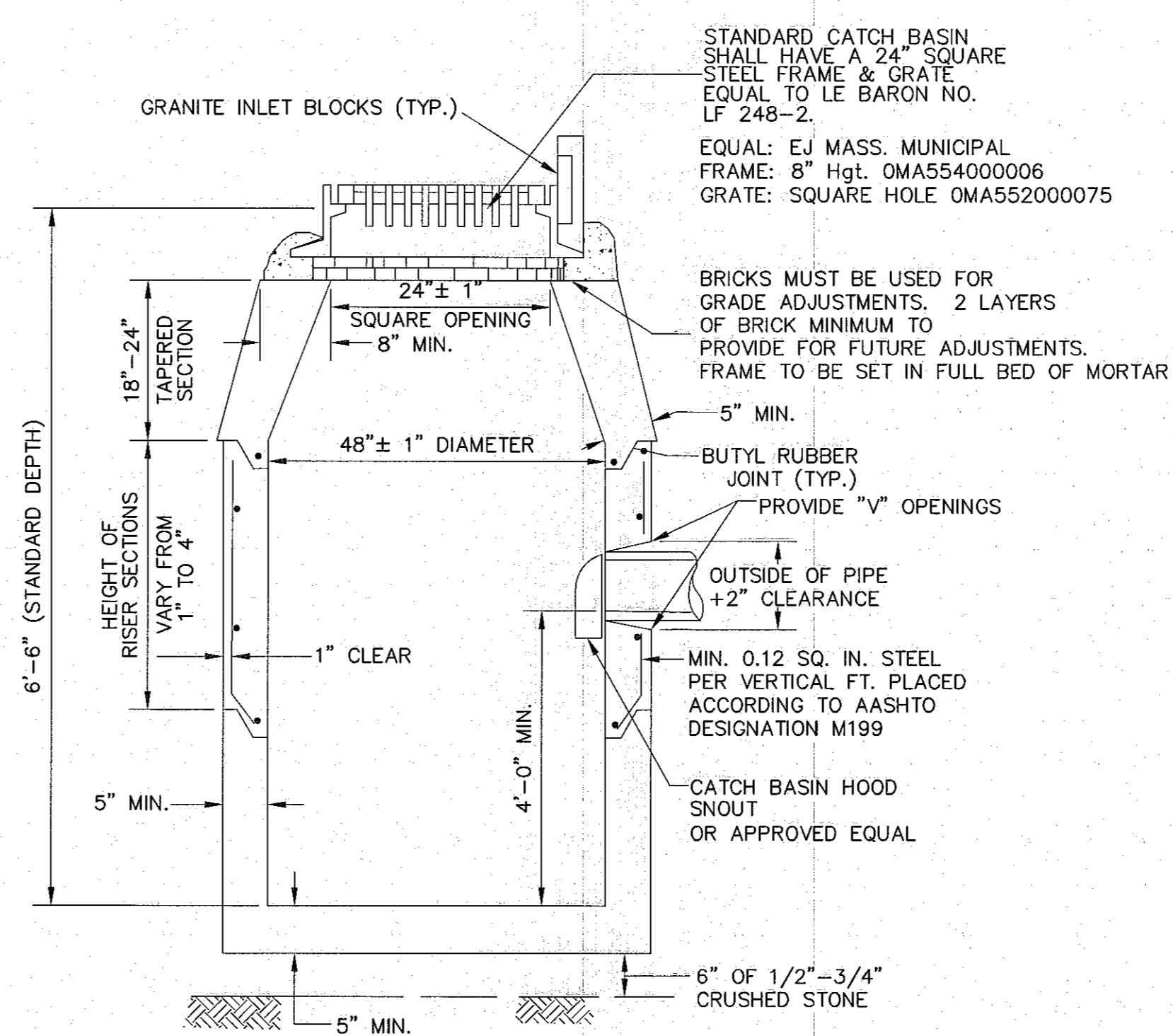


BASIN BOTTOM SPECIFICATIONS
(MIN 6" SOIL BASE)
THE SOIL MIX FOR THE BOTTOM OF THE RETENTION BASIN SHALL BE A MIXTURE OF SAND, COMPOST AND TOPSOIL/LDAM
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-20-30% TOPSOIL/LDAM
-30% COMPOST

NOTE:
THE BASIN SIDE SLOPES AND BOTTOM SHALL BE PROVIDED WITH FOUR INCHES OF LOAM, SEEDED AT THE RATE OF TWO POUNDS RED TOP, 15 POUNDS CREEPING RED FESCUE AND 20 POUNDS TALL FESCUE PER ACRE. AT NO TIME SHALL A SEED MIX CONSIST OF MORE THAN 10% ANNUAL RYES.

DRAINAGE RECHARGE BASIN #1 DETAIL

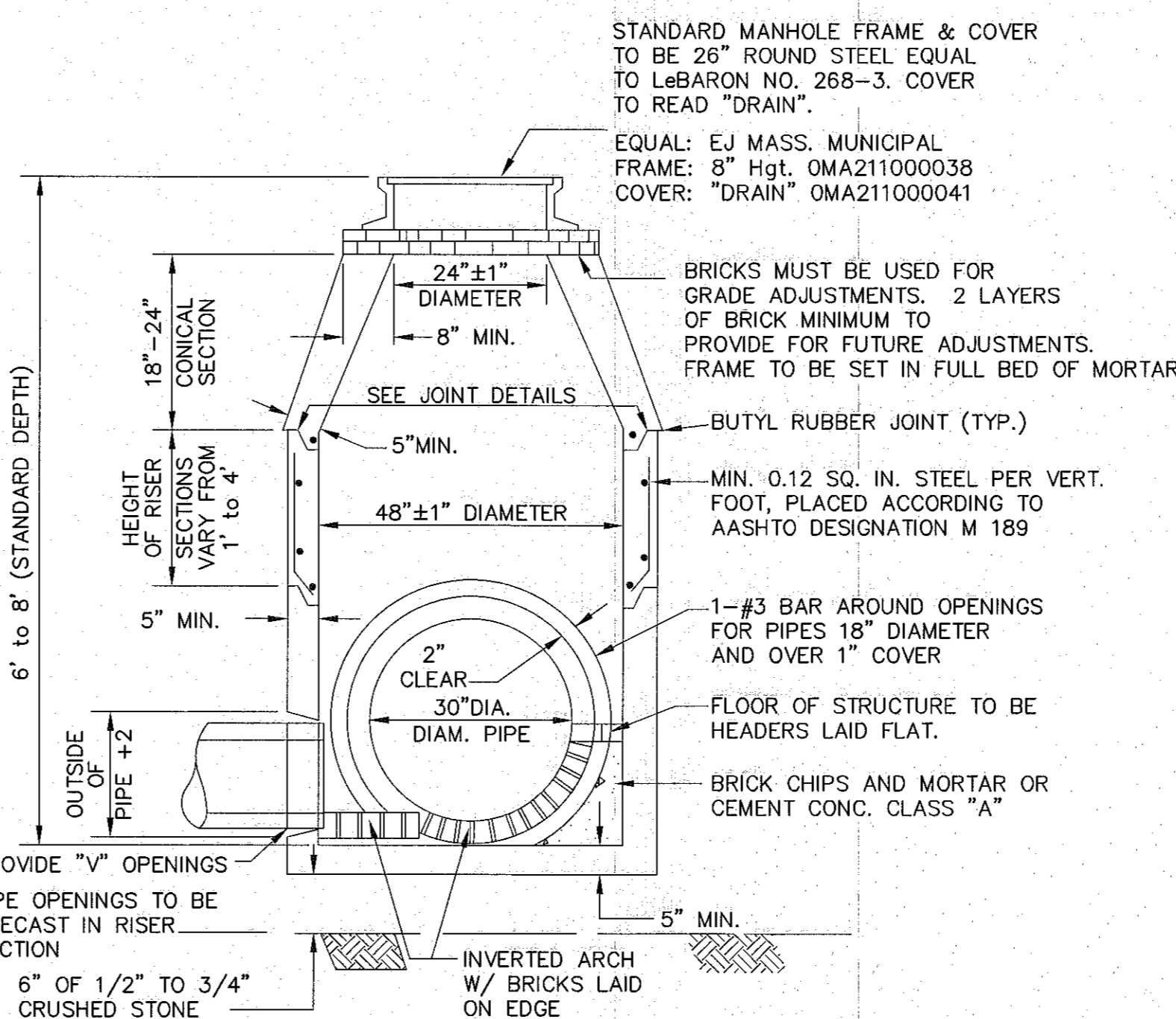
NOT TO SCALE



NOTE: NO BELL ENDS IN CATCH BASIN. CONNECTIONS TO BE TIGHTLY SEALED WITH MORTAR.

PRECAST CATCH BASIN DETAIL

NOT TO SCALE



PRECAST MANHOLE DETAIL

NOT TO SCALE

APPROVED BY THE BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

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TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ AND TO BE DATED _____ AND TO BE RECORDED HEREWITH.

APPROVED BY THE FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

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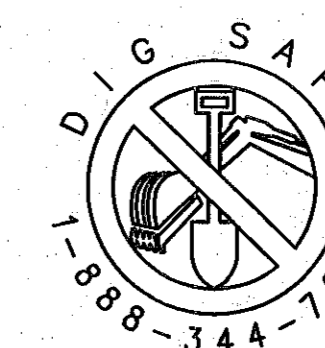
TOWN CLERK _____ DATE _____

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NOTES

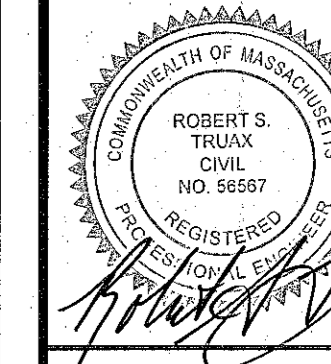
1. All construction shall conform to the Town of Bellingham Planning Board Rules and Regulations and Department of Public Works standards and details.

5. Sidewalk ramps must meet current applicable ADA / AAB standards.



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REVISIONS	DATE	DESCRIPTION
1	03/02/2022	Conservation Application
2	07/12/2022	Conservation (40 Scale Plan)
3	10/11/2022	Response to Comments
4	04/05/2023	Planning Board
5	08/01/2023	Planning Board Decision



**DEFINITIVE SUBDIVISION PLAN
PROSPECT HILLESSTATES
BELLINGHAM, MASSACHUSETTS**

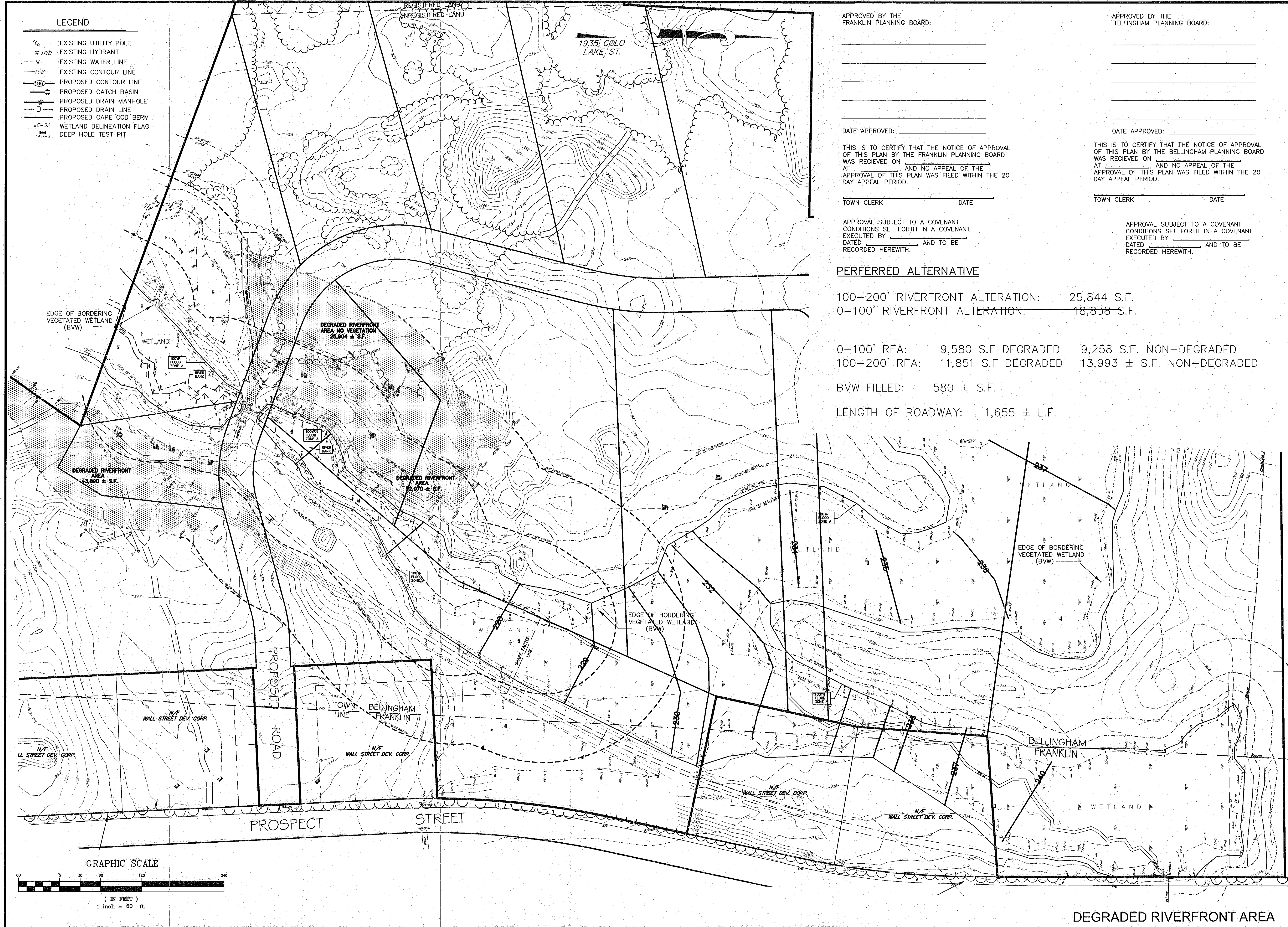
PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
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WESTWOOD, MASSACHUSETTS

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JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"=60'
SHEET:	17 of 25
PLAN #:	27,541

DETAILS

- LEGEND**
- EXISTING UTILITY POLE
 - ⊗ HYD EXISTING HYDRANT
 - v — EXISTING WATER LINE
 - 160- EXISTING CONTOUR LINE
 - (150) PROPOSED CONTOUR LINE
 - ⊕ PROPOSED CATCH BASIN
 - ⊙ PROPOSED DRAIN MANHOLE
 - D — PROPOSED DRAIN LINE
 - D — PROPOSED CAPE COD BERM
 - W-32 WETLAND DELINEATION FLAG
 - ⊖ 1917-3 DEEP HOLE TEST PIT



APPROVED BY THE FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

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TOWN CLERK _____ DATE _____

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APPROVED BY THE BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

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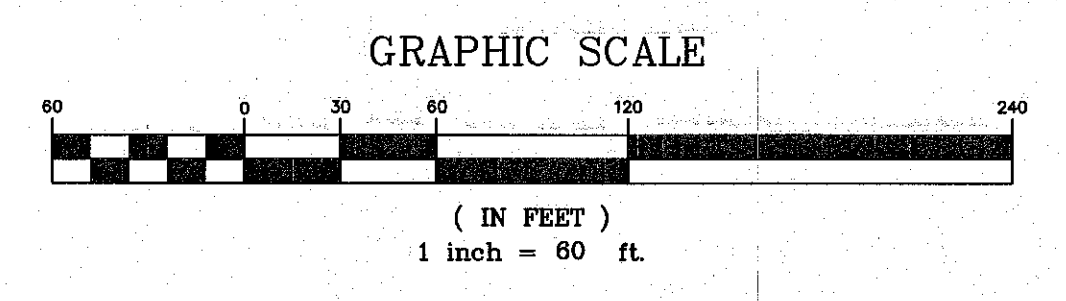
PERFERED ALTERNATIVE

100-200' RIVERFRONT ALTERATION: 25,844 S.F.
 0-100' RIVERFRONT ALTERATION: 18,838 S.F.

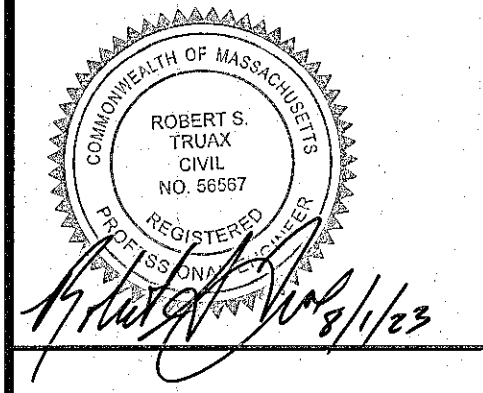
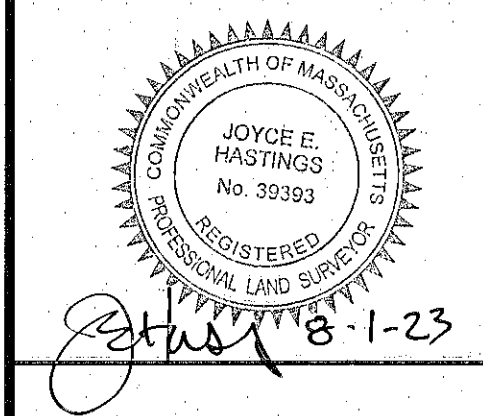
0-100' RFA: 9,580 S.F. DEGRADED 9,258 S.F. NON-DEGRADED
 100-200' RFA: 11,851 S.F. DEGRADED 13,993 ± S.F. NON-DEGRADED

BVW FILLED: 580 ± S.F.

LENGTH OF ROADWAY: 1,655 ± L.F.



NO.	DATE	DESCRIPTION
1	03/02/2022	Conservation Application
2	07/12/2022	Conservation (40 Scale Plan)
3	10/11/2022	Response to Comments
4	02/05/2023	Riverfront Degraded Areas
5	08/01/2023	Planning Board Decision



**DEFINITIVE SUBDIVISION PLAN
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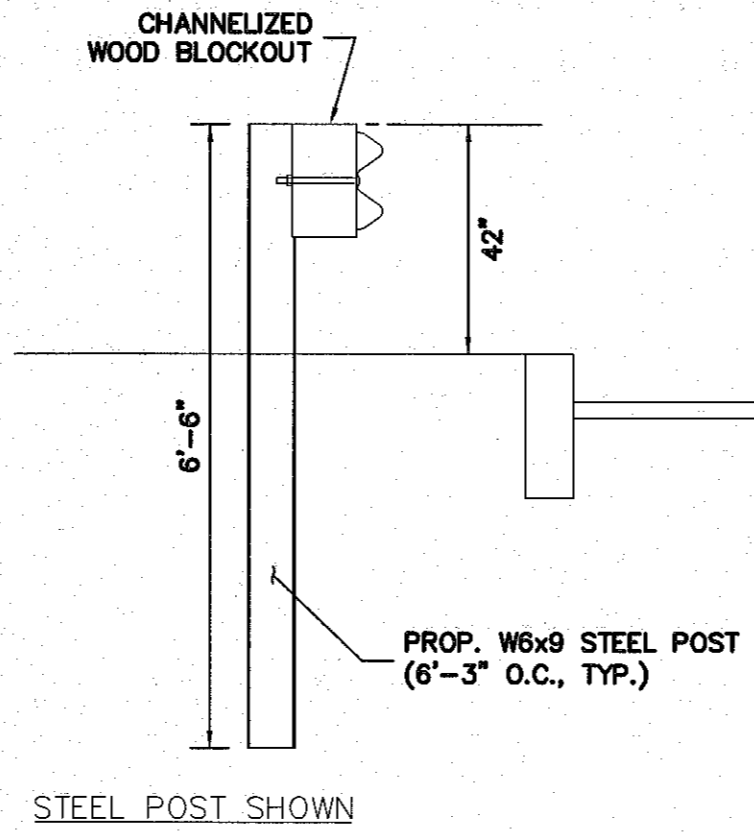
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JOB No. 16,590
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DEGRADED RIVERFRONT AREA

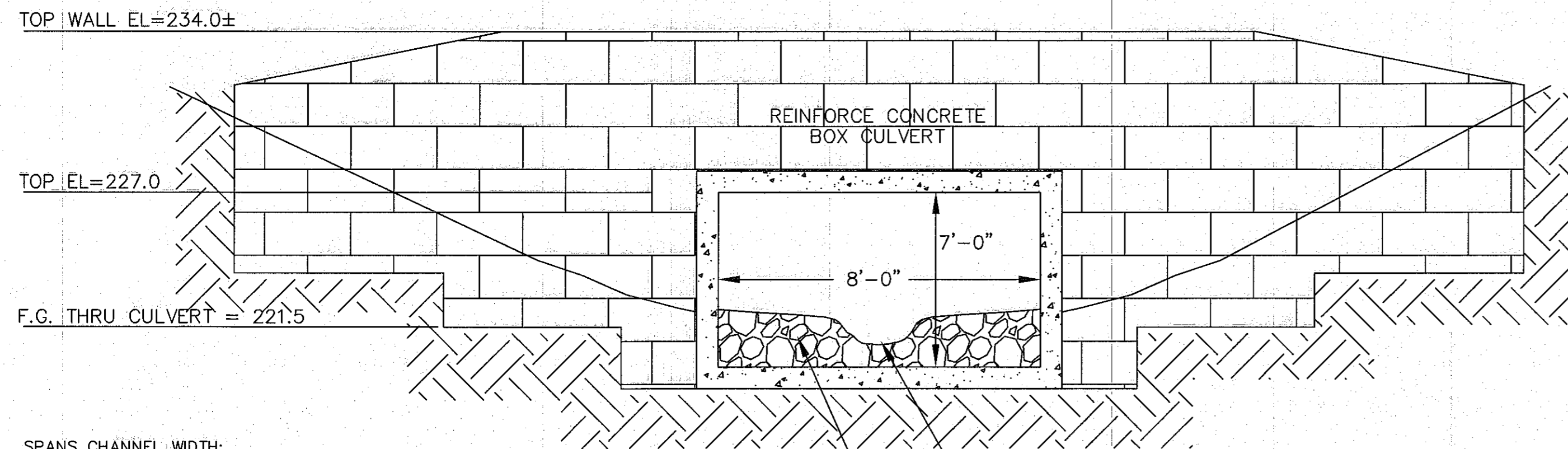
DEWATERING:
 PUMPING AND DEWATERING THE EXCAVATION AREAS SHALL BE DONE IN A MANNER WHICH WILL NOT DISCHARGE ANY SILT SEDIMENT INTO A RESOURCE AREA. DISCHARGES FROM A DEWATERING CONSTRUCTION PROCEDURE WILL BE FILTERED THROUGH A SILTATION BASIN AND/OR A SILT SOCK, CONSTRUCTED UPLAND FROM THE WORK SITE. THE SILTATION BASIN SHALL BE A DEPRESSION SURROUNDED BY A HAYBALE DIKE OR SILT FENCE. OVERFLOW FROM THE SILTATION BASIN SHALL BE PLANNED TO BE LOCATED OVER A THICKLY AND NATURALLY MULCHED UPLAND AREA. ALL BASINS SHALL BE LOCATED AT LEAST 100 FEET UPSLOPE FROM ANY RESOURCE AREA.

- NOTES:**
1. ALL GUARDRAIL SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST MassDOT CONSTRUCTION STANDARDS.
 2. GUARDRAIL SHALL BE GALVANIZED STEEL 'W' BEAM HIGHWAY GUARD WITH GALVANIZED STEEL POSTS OR COR-TEN WEATHERING STEEL BEAM HIGHWAY GUARD WITH TREATED WOOD POSTS. THE TYPE OF GUARDRAIL TO BE USED WILL BE SPECIFIED BY THE DEDHAM DPW.



GUARDRAIL DETAIL
 NOT TO SCALE

- NOTES:**
1. CULVERT DESIGN SPECIFICATIONS:
 - AASHTO & AASHTO
 MATERIAL PROPERTIES:
 - Concrete - 5000 psi @ 28 days
 - Steel Reinforcement
 Rebar ASTM A-615 Grade 60
 Welded Wire Fabric ASTM A-185 Grade 65
 2. INTERLOCKING BLOCK WALL TO BE DESIGNED BY STRUCTURAL ENGINEER.

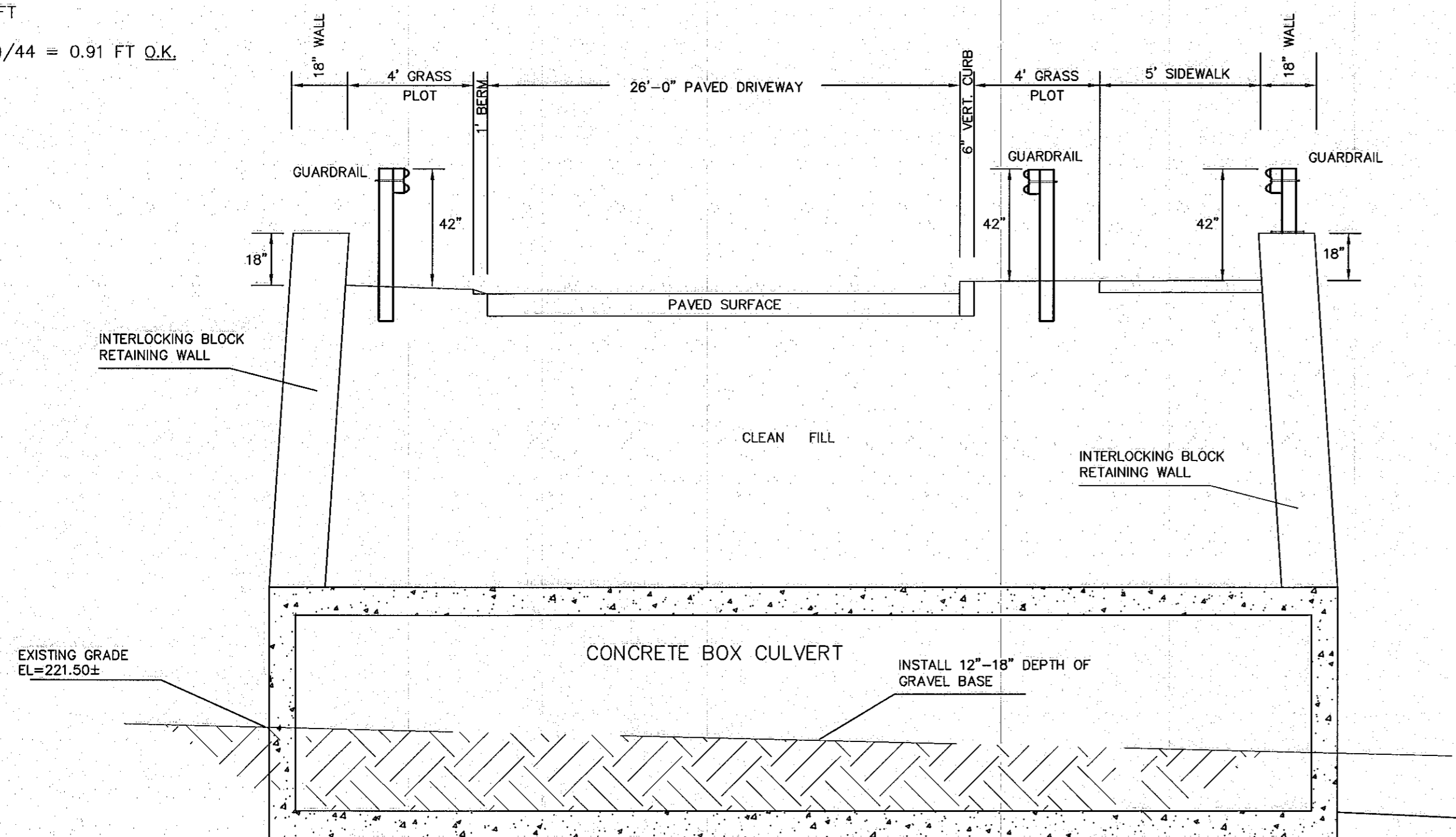


SPANS CHANNEL WIDTH:
 1.2 X BANKFULL WIDTH
 1.2 X 4 FT = 4.8 FT MIN,
 8 FT PROVIDED O.K.

OPENNESS RATIO (O.R.):
 MIN. REQUIRED O.R. = 0.82 FEET
 O.R. = (HEIGHT X WIDTH)/LENGTH

AVG. HEIGHT = 5 FT
 WIDTH = 8 FT
 LENGTH = 44 FT

O.R. = (8 X 5)/44 = 0.91 FT O.K.



WETLAND CROSSING DETAIL
 NOT TO SCALE

APPROVED BY THE
 FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

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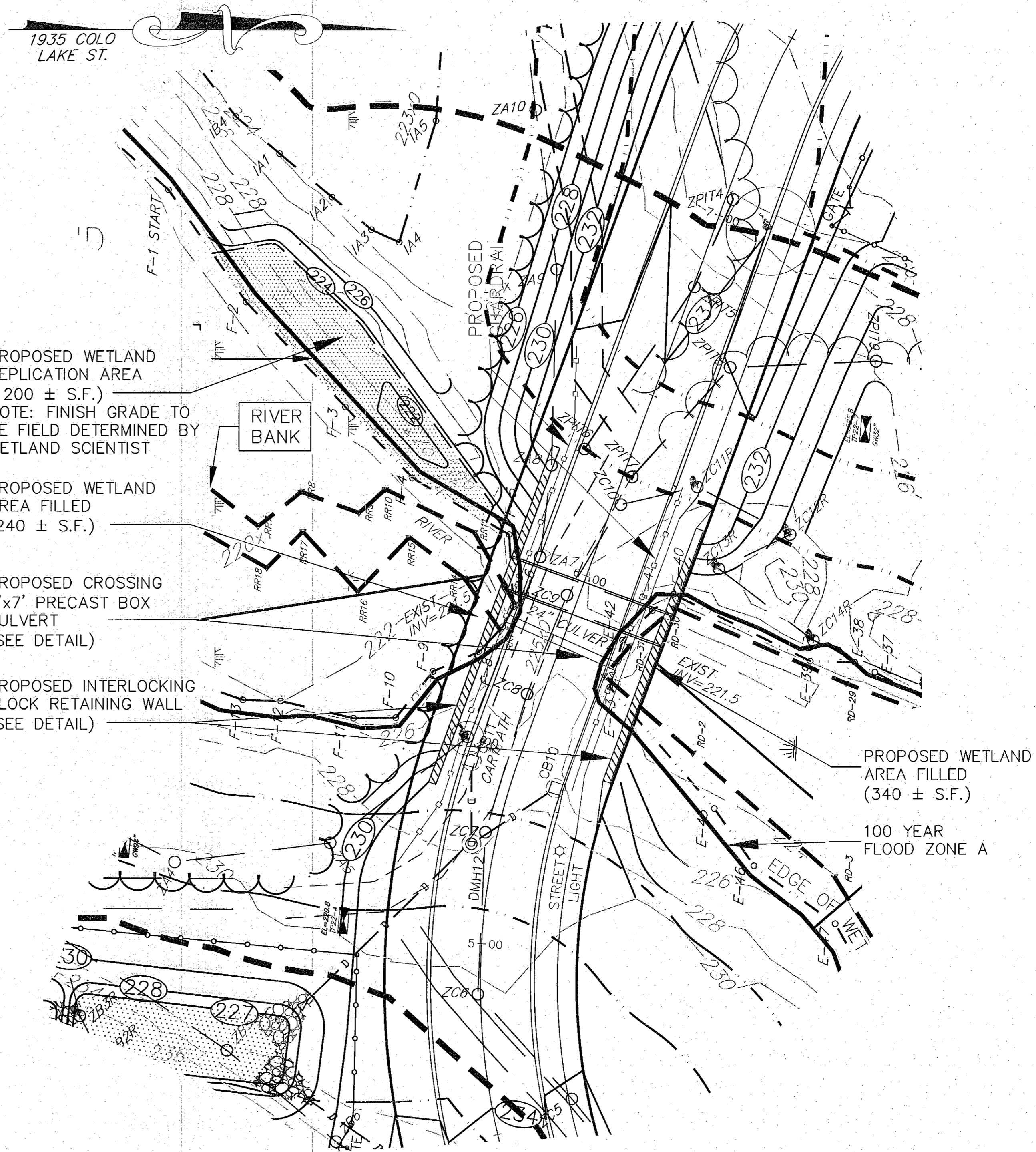
APPROVED BY THE
 BELLINGHAM PLANNING BOARD:

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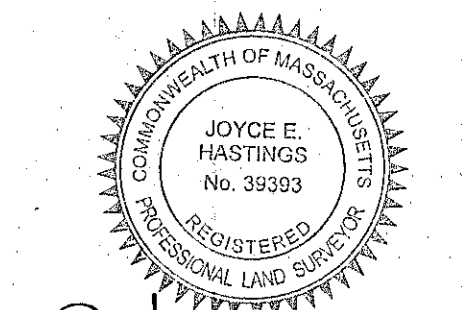
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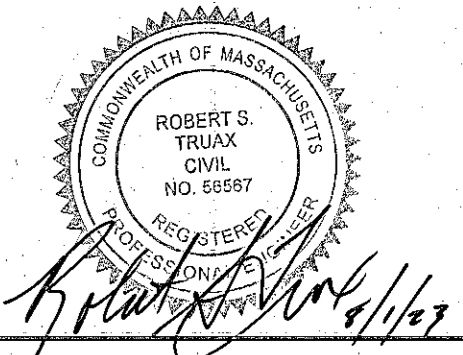


PLAN VIEW
 1" = 20'

WETLAND REPLICATION PLAN



8-1-23

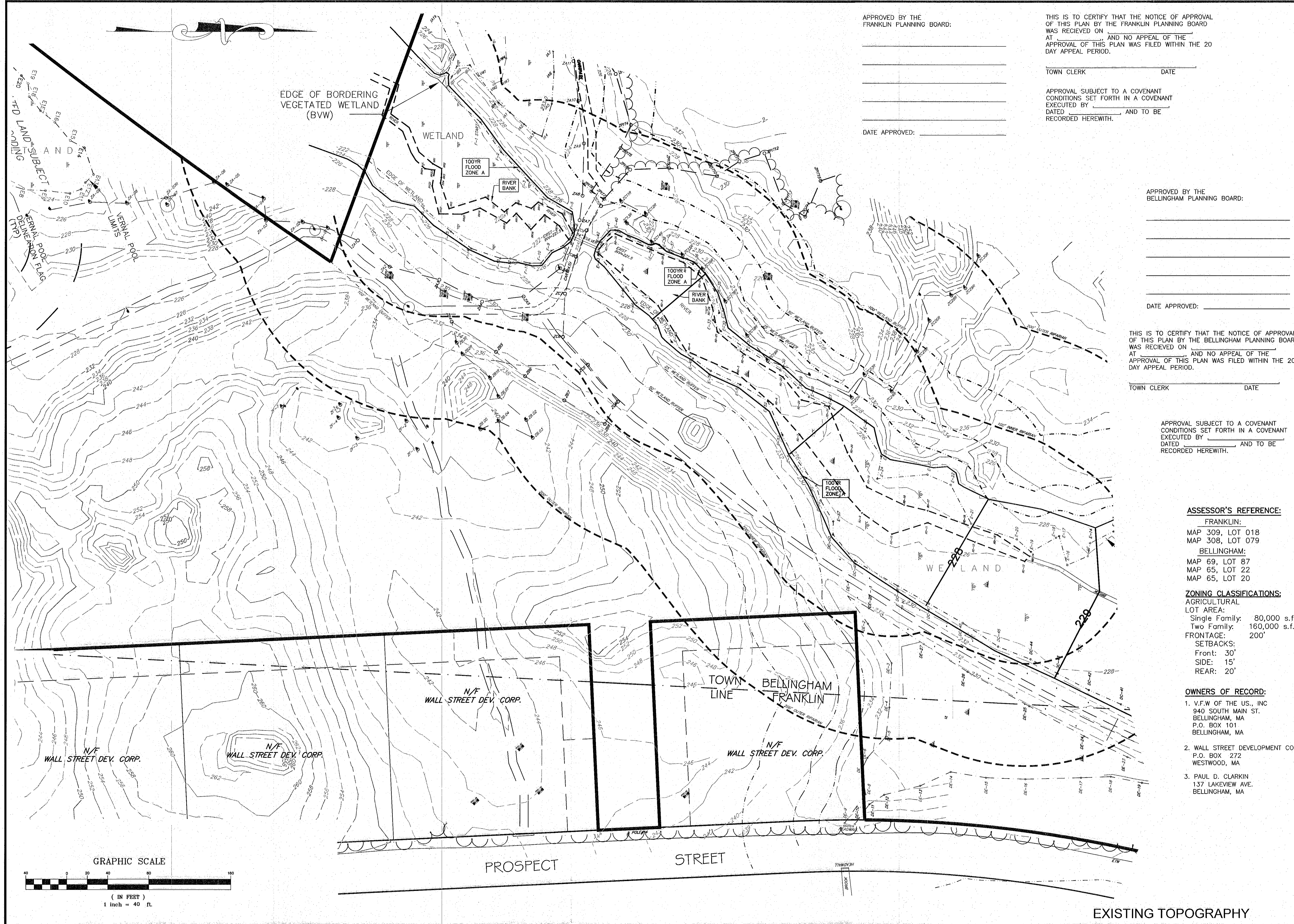


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ASSESSOR'S REFERENCE:

FRANKLIN:
 MAP 309, LOT 018
 MAP 308, LOT 079

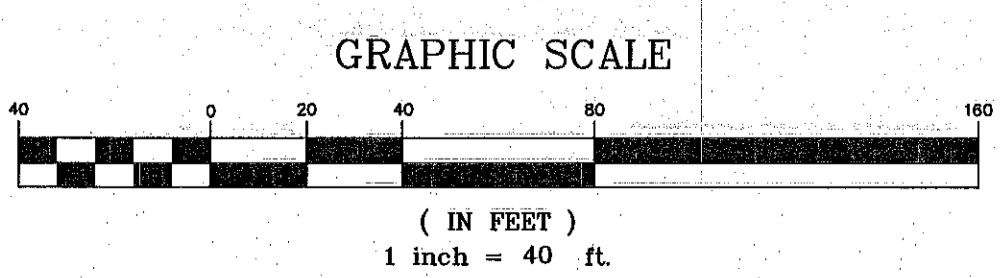
BELLINGHAM:
 MAP 69, LOT 87
 MAP 65, LOT 22
 MAP 65, LOT 20

ZONING CLASSIFICATIONS:
 AGRICULTURAL
 LOT AREA:
 Single Family: 80,000 s.f.
 Two Family: 160,000 s.f.
 FRONTAGE: 200'
 SETBACKS:
 Front: 30'
 Side: 15'
 Rear: 20'

OWNERS OF RECORD:

- V.F.W. OF THE U.S., INC
 940 SOUTH MAIN ST.
 BELLINGHAM, MA
 P.O. BOX 101
 BELLINGHAM, MA
- WALL STREET DEVELOPMENT CORP.
 P.O. BOX 272
 WESTWOOD, MA
- PAUL D. CLARKIN
 137 LAKEVIEW AVE.
 BELLINGHAM, MA

PREPARED FOR:
 WALL STREET DEVELOPMENT CORP.
 P.O. BOX 272
 WESTWOOD, MASSACHUSETTS



EXISTING TOPOGRAPHY

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JOYCE E. HASTINGS
 No. 35393
 REGISTERED PROFESSIONAL LAND SURVEYOR
 8/1/23

ROBERT S. TRUAX
 CIVIL
 No. 65587
 REGISTERED PROFESSIONAL ENGINEER
 8/1/23

**DEFINITIVE SUBDIVISION PLAN
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SCALE:	1"=40'
SHEET:	20 of 25
PLAN #:	27,541

TOWN OF BELLINGHAM
 MAP 65, LOT 1
 (BOOK LC 424, PAGE 84)

1935 COLO
 LAKE ST.

APPROVED BY THE
 FRANKLIN PLANNING BOARD:

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL
 OF THIS PLAN BY THE FRANKLIN PLANNING BOARD
 WAS RECEIVED ON _____
 AT _____ AND NO APPEAL OF THE
 APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20
 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT
 CONDITIONS SET FORTH IN A COVENANT
 EXECUTED BY _____ AND TO BE
 DATED _____ AND TO BE
 RECORDED HEREWITH.

DATE APPROVED: _____

APPROVED BY THE
 BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL
 OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD
 WAS RECEIVED ON _____
 AT _____ AND NO APPEAL OF THE
 APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20
 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT
 CONDITIONS SET FORTH IN A COVENANT
 EXECUTED BY _____ AND TO BE
 RECORDED HEREWITH.

ASSESSOR'S REFERENCE:

FRANKLIN:
 MAP 309, LOT 018
 MAP 308, LOT 079
 BELLINGHAM:
 MAP 69, LOT 87
 MAP 65, LOT 22
 MAP 65, LOT 20

ZONING CLASSIFICATIONS:

AGRICULTURAL
 LOT AREA:
 Single Family: 80,000 s.f.
 Two Family: 160,000 s.f.
 FRONTAGE: 200'
 SETBACKS:
 Front: 30'
 Side: 15'
 Rear: 20'

OWNERS OF RECORD:

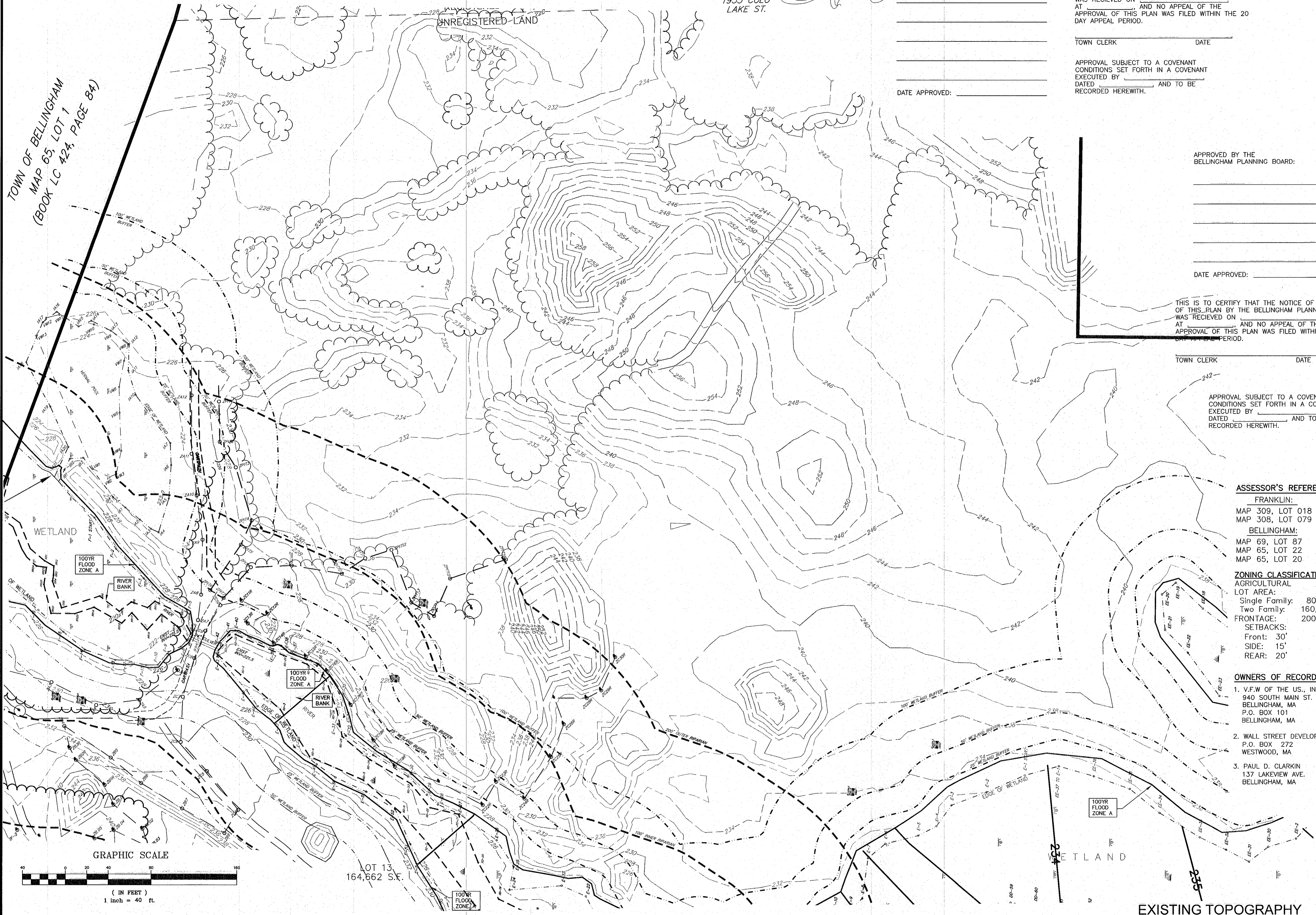
1. V.F.W. OF THE U.S., INC
 940 SOUTH MAIN ST.
 BELLINGHAM, MA
 P.O. BOX 101
 BELLINGHAM, MA
2. WALL STREET DEVELOPMENT CORP.
 P.O. BOX 272
 WESTWOOD, MA
3. PAUL D. CLARKIN
 137 LAKEVIEW AVE.
 BELLINGHAM, MA

PREPARED FOR:
 WALL STREET DEVELOPMENT CORP.
 P.O. BOX 272
 WESTWOOD, MASSACHUSETTS

**DEFINITIVE SUBDIVISION PLAN
 PROSPECT HILL ESTATES
 BELLINGHAM, MASSACHUSETTS**

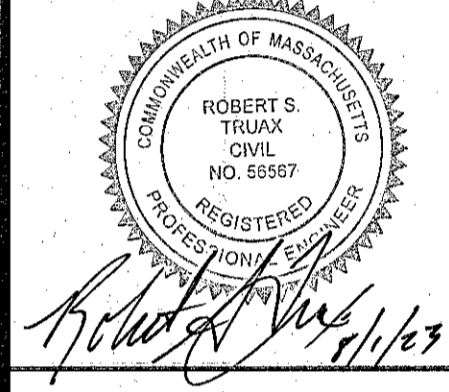
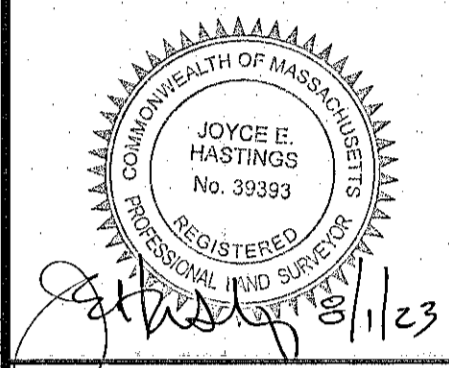
GLM Engineering
 Consultants, Inc.
 19 EXCHANGE STREET
 HOLLISTON, MA 01746
 P: 508-429-1100
 F: 508-429-7160
 www.GLMengineering.com

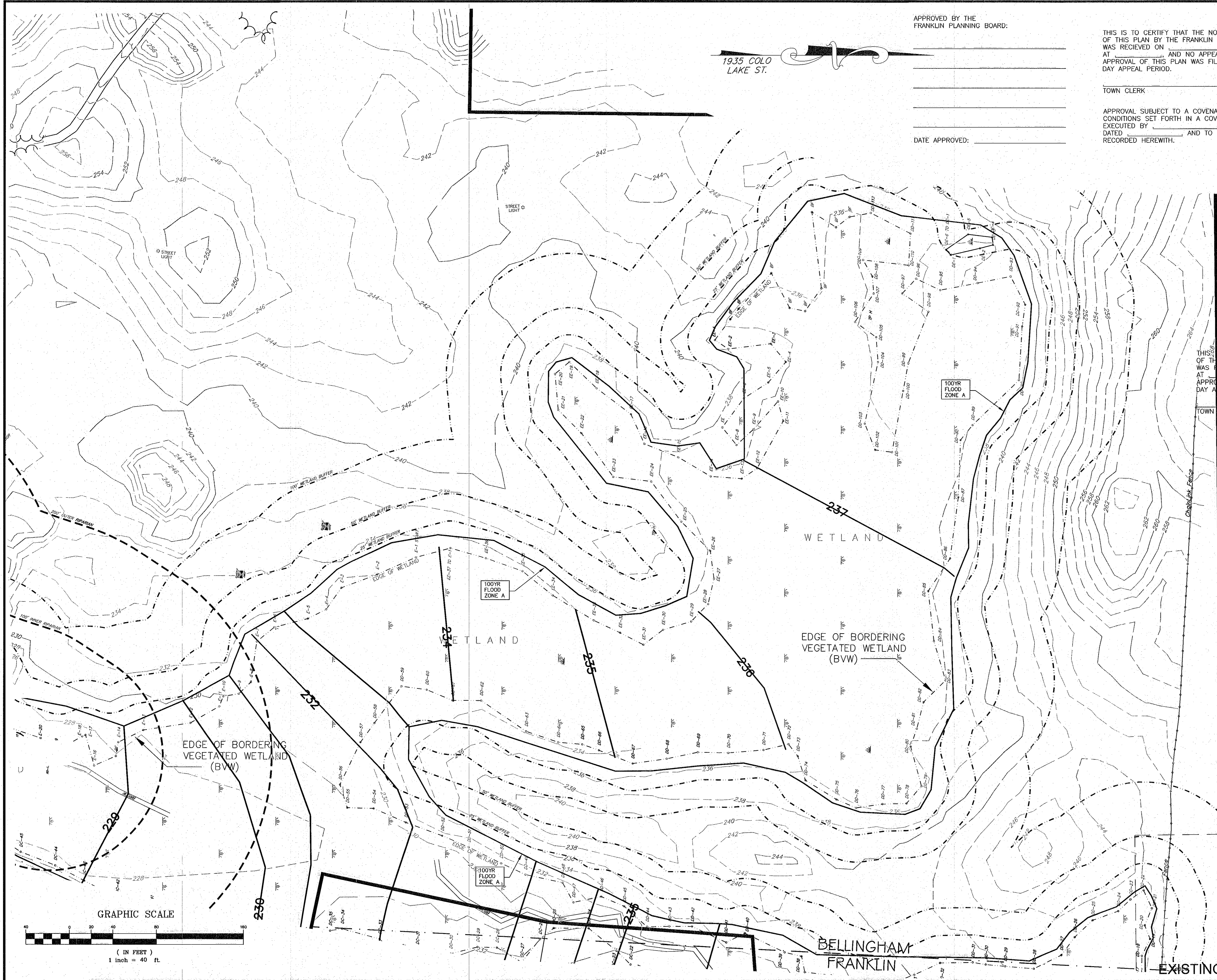
JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"=40'
SHEET:	21 of 25
PLAN #:	27,541



LOT 13
 164,662 S.F.

EXISTING TOPOGRAPHY





1935 COLO
LAKE ST.

APPROVED BY THE
FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE FRANKLIN PLANNING BOARD
WAS RECEIVED ON _____
AT _____, AND NO APPEAL OF THE
APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20
DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____
APPROVAL SUBJECT TO A COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY _____ AND TO BE
RECORDED HEREWITH.

APPROVED BY THE
BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD
WAS RECEIVED ON _____
AT _____, AND NO APPEAL OF THE
APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20
DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____
APPROVAL SUBJECT TO A COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY _____ AND TO BE
RECORDED HEREWITH.

ASSESSOR'S REFERENCE:

- FRANKLIN:**
MAP 309, LOT 018
MAP 308, LOT 079
BELLINGHAM:
MAP 69, LOT 87
MAP 65, LOT 22
MAP 65, LOT 20

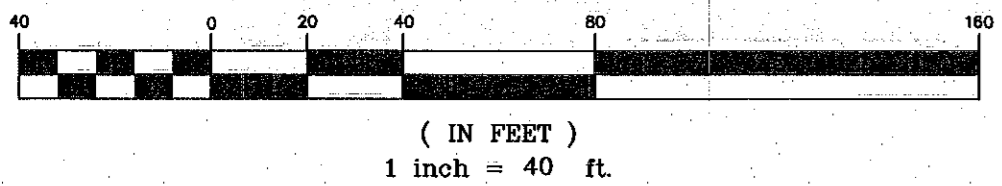
ZONING CLASSIFICATIONS:

- AGRICULTURAL**
LOT AREA:
Single Family: 80,000 s.f.
Two Family: 160,000 s.f.
FRONTAGE: 200'
SETBACKS:
Front: 30'
SIDE: 15'
REAR: 20'

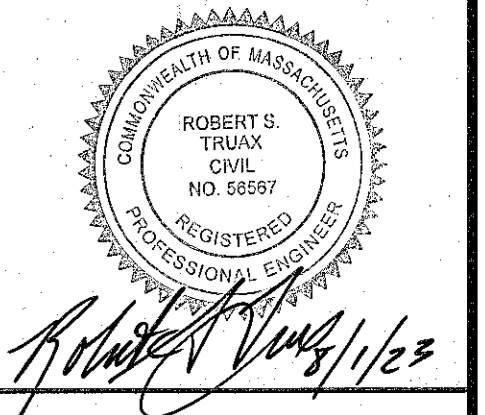
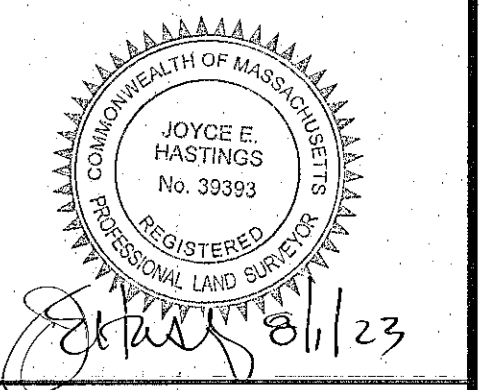
OWNERS OF RECORD:

- V.F.W OF THE U.S., INC
940 SOUTH MAIN ST.
BELLINGHAM, MA
P.O. BOX 101
BELLINGHAM, MA
- WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA
- PAUL D. CLARKIN
137 LAKEVIEW AVE.
BELLINGHAM, MA

GRAPHIC SCALE



NO.	DATE	DESCRIPTION
1	03/02/2022	Conservation Application
2	07/12/2022	Conservation (40 Scale Plan)
3	10/11/2022	Response to Comments
4	04/05/2023	Planning Board
5	08/01/2023	Planning Board Decision



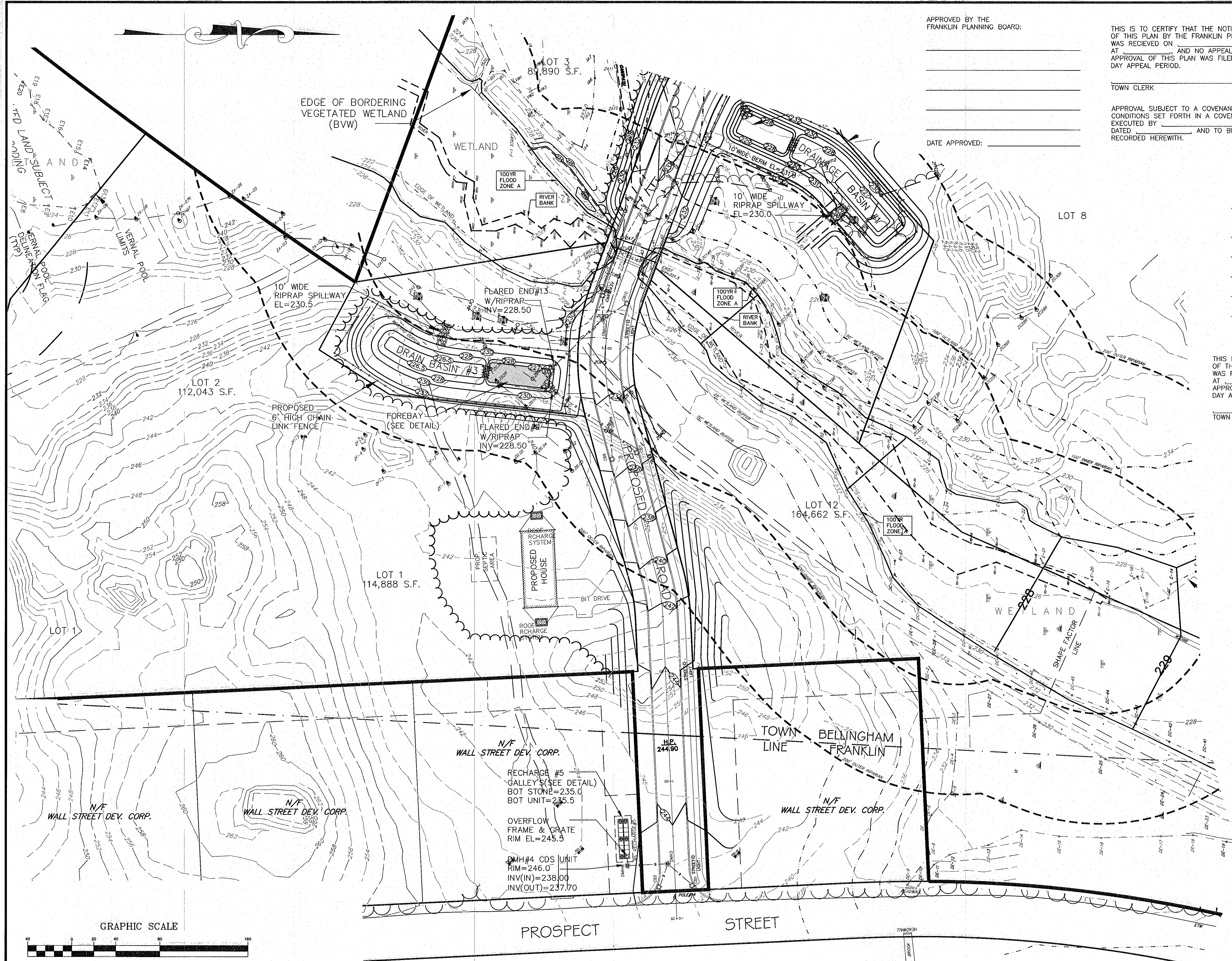
**DEFINITIVE SUBDIVISION PLAN
PROSPECT HILL ESTATES
BELLINGHAM, MASSACHUSETTS**

PREPARED FOR:
WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MASSACHUSETTS

GLM Engineering
Consultants, Inc.
19 EXCHANGE STREET
HOLLISTON, MA 01746
P: 508-429-1100
F: 508-429-7160
www.GLMengineering.com

JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"=60'
SHEET:	22 of 25
PLAN #:	27,541

EXISTING TOPOGRAPHY



APPROVED BY THE FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE FRANKLIN PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ AND TO BE DATED _____ AND TO BE RECORDED HERewith.

APPROVED BY THE BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

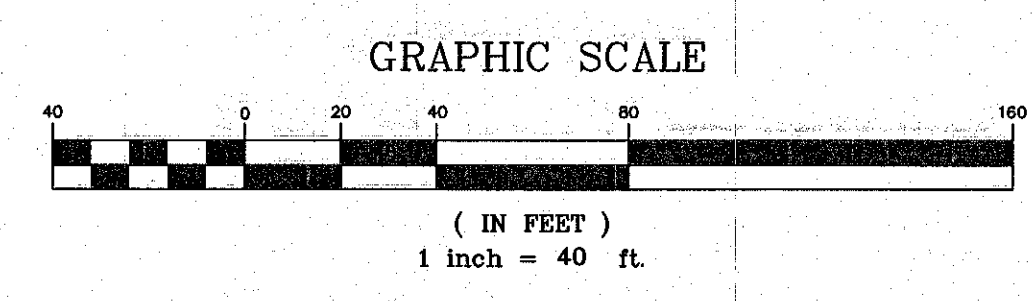
APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ AND TO BE DATED _____ AND TO BE RECORDED HERewith.

ASSESSOR'S REFERENCE:
 FRANKLIN:
 MAP 309, LOT 018
 MAP 308, LOT 079
 BELLINGHAM:
 MAP 69, LOT 87
 MAP 65, LOT 22
 MAP 65, LOT 20

ZONING CLASSIFICATIONS:
 AGRICULTURAL
 LOT AREA:
 Single Family: 80,000 s.f.
 Two Family: 160,000 s.f.
 FRONTAGE: 200'
 SETBACKS:
 Front: 30'
 SIDE: 15'
 REAR: 20'

OWNERS OF RECORD:

- V.F.W. OF THE U.S., INC
 940 SOUTH MAIN ST.
 BELLINGHAM, MA
 P.O. BOX 101
 BELLINGHAM, MA
- WALL STREET DEVELOPMENT CORP.
 P.O. BOX 272
 WESTWOOD, MA
- PAUL D. CLARKIN
 137 LAKEVIEW AVE.
 BELLINGHAM, MA



EXISTING & PROPOSED TOPOGRAPHY

NO.	DATE	DESCRIPTION
1	03/02/2022	Conservation Application
2	07/12/2022	Conservation (40 Scale Plan)
3	10/11/2022	Response to Comments
4	04/05/2023	Planning Board
5	08/01/2023	Planning Board Decision

JOYCE E. HASTINGS
 No. 39393
 REGISTERED PROFESSIONAL LAND SURVEYOR
 8/1/23

ROBERT S. TRUAK
 CIVIL
 NO. 55557
 REGISTERED PROFESSIONAL ENGINEER
 8/1/23

**DEFINITIVE SUBDIVISION PLAN
 PROSPECT HILL ESTATES
 BELLINGHAM, MASSACHUSETTS**

PREPARED FOR:
 WALL STREET DEVELOPMENT CORP.
 WESTWOOD, MASSACHUSETTS

GLM Engineering Consultants, Inc.
 19 EXCHANGE STREET
 HOLLISTON, MA 01746
 P: 508-429-1100
 F: 508-429-7160
 www.GLMengineering.com

JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"=40'
SHEET:	23 of 25
PLAN #:	27,541

TOWN OF BELLINGHAM
MAP 65, LOT 1
(BOOK LC 424, PAGE 84)

1935 COLO
LAKE ST.

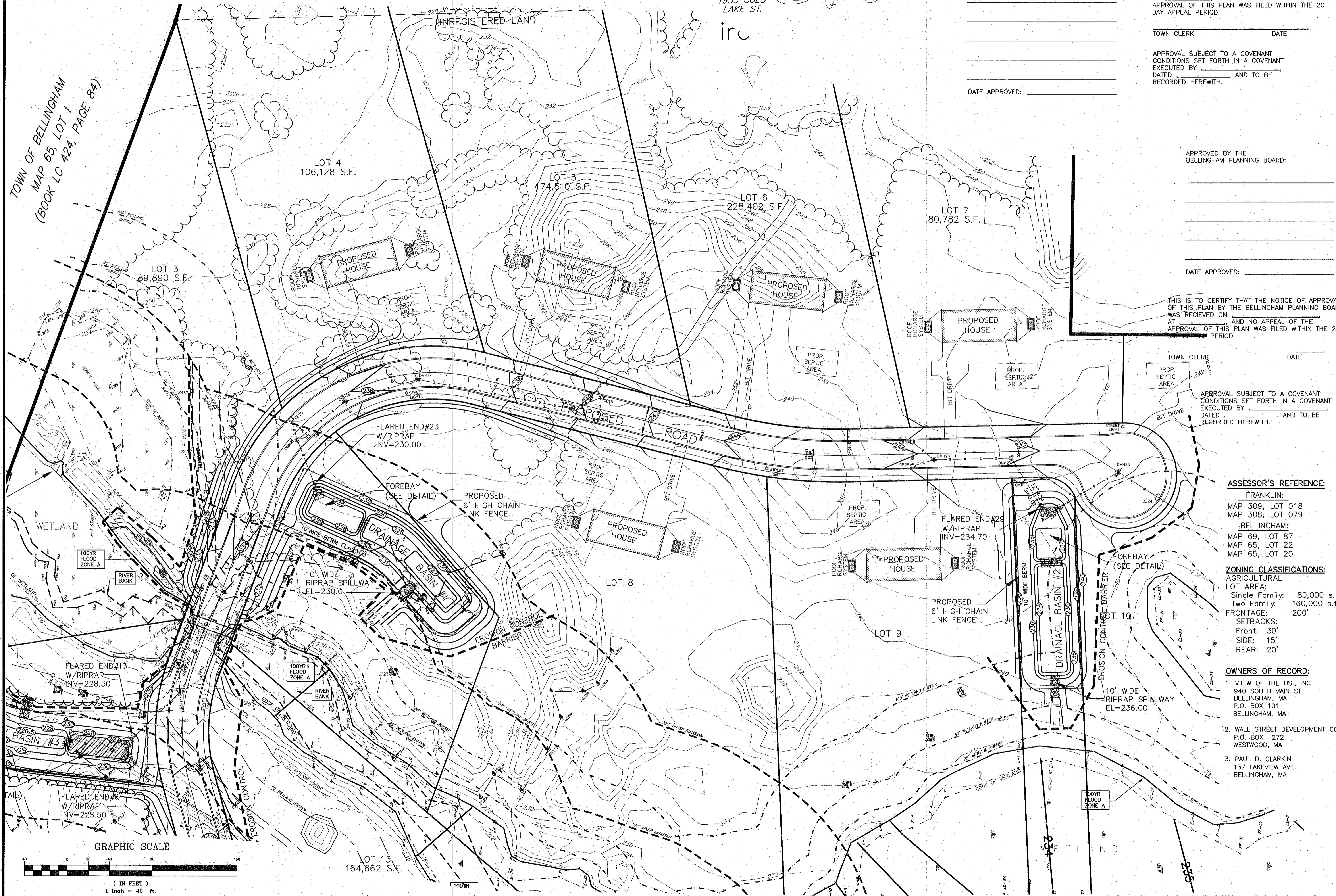
APPROVED BY THE
FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE FRANKLIN PLANNING BOARD
WAS RECEIVED ON _____
AT _____ AND NO APPEAL OF THE
APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20
DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

APPROVAL SUBJECT TO A COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY _____ AND TO BE
DATED _____ AND TO BE
RECORDED HEREWITH.



APPROVED BY THE
BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL
OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD
WAS RECEIVED ON _____
AT _____ AND NO APPEAL OF THE
APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20
DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

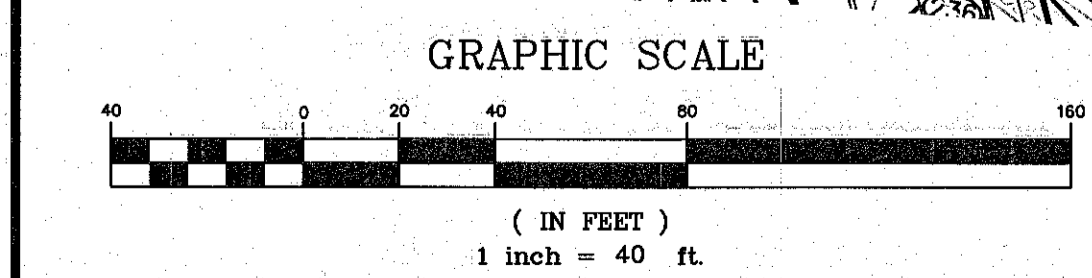
APPROVAL SUBJECT TO A COVENANT
CONDITIONS SET FORTH IN A COVENANT
EXECUTED BY _____ AND TO BE
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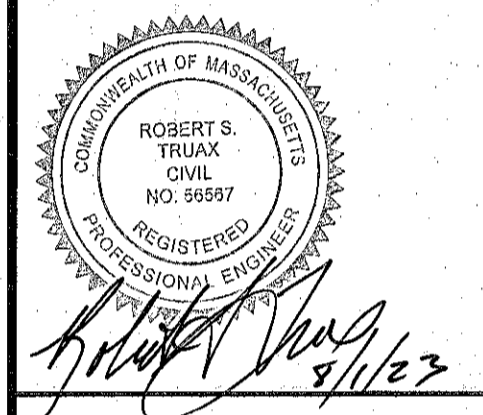
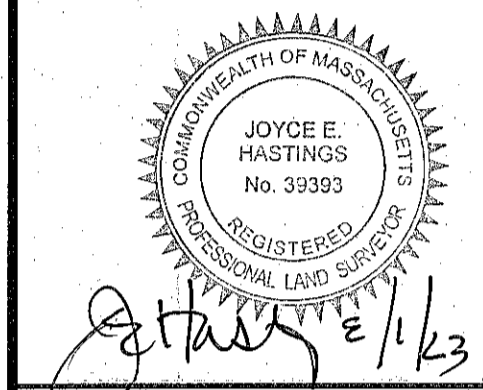
ZONING CLASSIFICATIONS:
AGRICULTURAL
LOT AREA:
Single Family: 80,000 s.f.
Two Family: 160,000 s.f.
FRONTAGE: 200'
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SIDE: 15'
REAR: 20'

OWNERS OF RECORD:

- V.F.W. OF THE U.S., INC
940 SOUTH MAIN ST.
BELLINGHAM, MA
P.O. BOX 101
BELLINGHAM, MA
- WALL STREET DEVELOPMENT CORP.
P.O. BOX 272
WESTWOOD, MA
- PAUL D. CLARKIN
137 LAKEVIEW AVE.
BELLINGHAM, MA



REVISIONS	DESCRIPTION
1	Conservation Application
2	Conservation (40 Scale Plan)
3	Response to Comments
4	Planning Board
5	Planning Board Decision



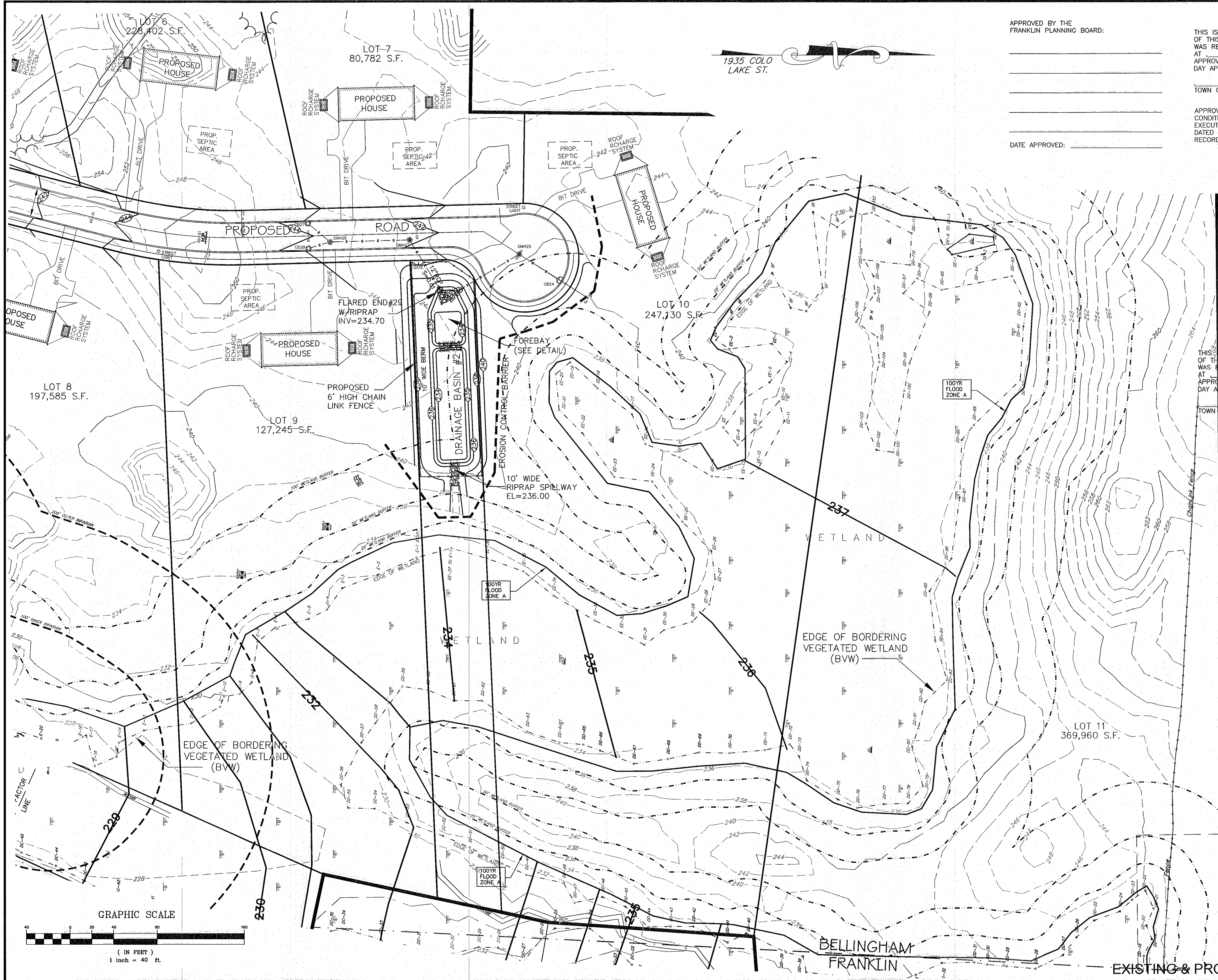
**DEFINITIVE SUBDIVISION PLAN
PROSPECT HILL ESTATES
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PREPARED FOR:
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www.GLMengineering.com

JOB No. 16,590
DATE: DEC. 17, 2021
SCALE: 1"=40'
SHEET: 24 OF 25
PLAN #: 27,541

EXISTING & PROPOSED TOPOGRAPHY



APPROVED BY THE FRANKLIN PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE FRANKLIN PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

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APPROVAL SUBJECT TO A COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____ AND TO BE DATED _____ AND TO BE RECORDED HERewith.

APPROVED BY THE BELLINGHAM PLANNING BOARD:

DATE APPROVED: _____

THIS IS TO CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BELLINGHAM PLANNING BOARD WAS RECEIVED ON _____ AT _____ AND NO APPEAL OF THE APPROVAL OF THIS PLAN WAS FILED WITHIN THE 20 DAY APPEAL PERIOD.

TOWN CLERK _____ DATE _____

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MAP 308, LOT 079

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MAP 65, LOT 22
MAP 65, LOT 20

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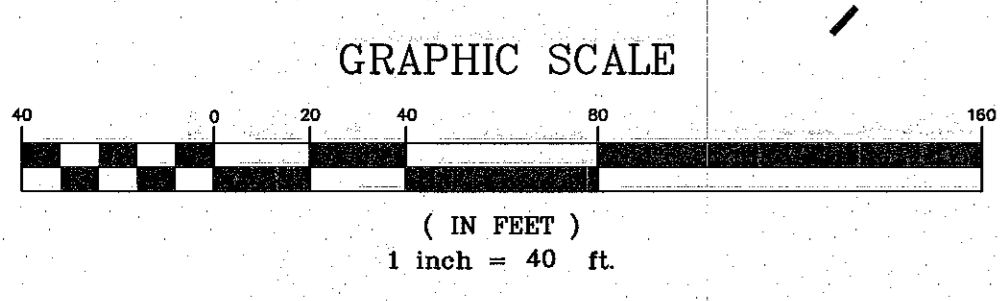
FRONTAGE: 200'

SETBACKS:

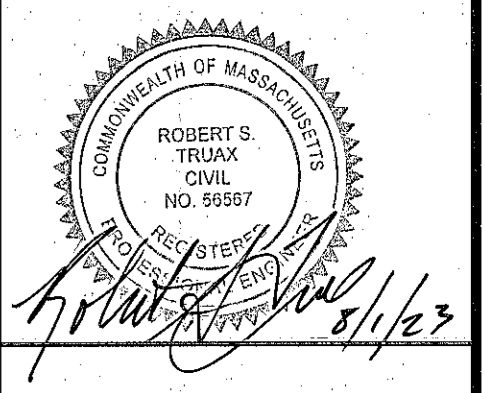
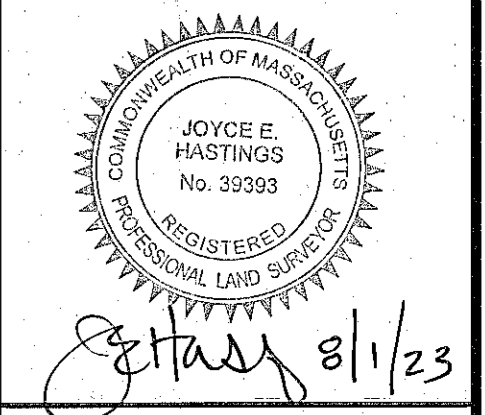
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**DEFINITIVE SUBDIVISION PLAN
PROSPECT HILL ESTATES
BELLINGHAM, MASSACHUSETTS**

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JOB No.	16,590
DATE:	DEC. 17, 2021
SCALE:	1"=60'
SHEET:	25 of 25
PLAN #:	27,541

EXISTING & PROPOSED TOPOGRAPHY