

**DESIGN REVIEW COMMISSION  
AGENDA**

**Monday, October 30, 2017 7:00 PM.**  
Municipal Building, 355 East Central Street  
2<sup>nd</sup> Floor, Room 205

- 7:00 PM** AT&T – 25 Franklin Village Drive  
Replacing 5 Existing Signs (Wall, Door, Free Standing)
- 7:10 PM** Mobil – 660 West Central Street  
6 Blade Signs, 16 Lane Designation Numbers
- 7:20 PM** Patti Eisenhower Dance Center – 90 Hayward Street  
Wall Sign (Sign from old location moved to new location)
- 7:30 PM** Phillip Brunelli, Jr. Electrician – 247 East Central Street  
Window Sign & Monument Sign
- 7:40 PM** The Woodshed Gallery – 1243 Pond Street  
General Discussion
- 7:50 PM** Mak's Roast Beef – 451 West Central Street  
Site Plan and Sign
- 8:00 PM** Highland Village – 278, 280, & 300 West Central Street  
Site Plan and Sign

RECEIVED  
2017 OCT 20 AM 8:35  
TOWN OF FRANKLIN  
TOWN CLERK

**General Matters**

Approval of Meeting Minutes from 10-10-17  
Letter of concern from Century 21

COMMENTS: These listing of matters are those reasonably anticipated by the Chair which may be discussed at the meeting. Not all items listed may in fact be discussed and other items not listed may also be brought up for discussion to the extent permitted by law.

**This agenda is subject to change. Last updated: October 19, 2017**

The next meeting of the Design Review Commission is **tentatively** scheduled for November 14, 2017

FORM Q

TOWN OF FRANKLIN  
DESIGN REVIEW APPLICATION  
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: A + T

Property Address 25 Franklin Village Dr

Assessors' Map # \_\_\_\_\_ Parcel # 081-062

Zoning District (select applicable zone): Commercial / Shopping Center

Zoning History: Use Variance \_\_\_\_\_  
Non-Conforming Use \_\_\_\_\_

B) Applicant Information:

Applicant Name: Sign Design INC.

Address: 170 Liberty St.  
Brockton MA 02301

Telephone Number: 508-580-0054

Contact Person: Thomas Jachimczyk

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: \_\_\_\_\_ Property Owner: CSC Franklin Village, LP  
Address: \_\_\_\_\_ 44 South Bayles Ave  
Port Washington NY 11050

All of the information is submitted according to the best of my knowledge  
Executed as a sealed instrument this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

[Signature] PLEASE SEE ATTACHED  
Signature of Applicant Signature of Owner

Thomas Jachimczyk \_\_\_\_\_  
Print name of Applicant Print name of Owner

**\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**  
**FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

**D) Architect/Engineer/Sign Company Information (if not the applicant)**

**a. Sign Company**

Business Name: SIGN DESIGN INC  
Contact Person: Thomas J ACHIMCZYK  
Address: 170 Liberty St Brockton MA 02301  
Telephone Number: 508 580 0094

**b. Architect/Engineer (when applicable)**

Business Name: N/A  
Contact Person: \_\_\_\_\_  
Address: \_\_\_\_\_  
Telephone Number: \_\_\_\_\_

**E) Work Summary**

Summary of work to be done: AT&T is Re-branding their Existing Signage AT THIS LOCATION - We ARE Proposing (5) Signs to replace the existing (2) of which was Double Sided

**F) Information & Materials to be Submitted with Application**

**a) FOR SIGN SUBMISSIONS ONLY:**

**NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION**

1. Drawing of Proposed Sign which must also include  
type of sign (wall, pylon etc.)      colors  
size/dimensions      materials  
style of lettering      lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

**b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:**

**NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION**

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

08/07/2017

City of Franklin  
Building Department  
355 East Central St, 1<sup>st</sup> Floor  
Franklin, MA 02038

To Whom It May Concern:

I authorize Sign Design, Inc. to act as our agent for the enclosed sign permit application.

**Business Name:** A&T

**Property Location:** 25 Franklin Village Dr. Franklin, MA

**Building Owner:** CSC Franklin Village, LP

**Building Owner Address:** 44 South Bayles Avenue  
Port Washington, NY 11050

**Building Owner Phone:** 516-767-6492

Sincerely,

X Svetlana Kolchuk Construction Coordinator 9-28-17  
Signature Title Date

X Svetlana Kolchuk  
Printed Name



# Unofficial Property Record Card - Franklin, MA

## General Property Data

Parcel ID **270-014-000-000**  
 Prior Parcel ID **-081-062-**  
 Property Owner **CEDAR-FRANKLIN VILLAGE LLC**  
**C/O CEDAR SHOPPING CENTERS**  
 Mailing Address **44 SOUTH BAYLES AVE - SUITE 304**

Account Number **081-062**

Property Location **5 245 FRANKLIN VILLAGE DR**  
 Property Use **SHOP CENTER**

Most Recent Sale Date **11/12/2004**

Legal Reference **21760-327**

Grantor **CALARESE, AMERICO**

Sale Price **69,800,000**

Land Area **31.000 acres**

City **PORT WASHINGTON**  
 Mailing State **NY** Zip **11050**  
 ParcelZoning

## Current Property Assessment

Card 1 Value	Building Value <b>25,896,700</b>	Xtra Features Value <b>710,000</b>	Land Value <b>11,478,100</b>	Total Value <b>38,084,800</b>
Total Parcel Value	Building Value <b>40,289,400</b>	Xtra Features Value <b>727,100</b>	Land Value <b>11,478,100</b>	Total Value <b>52,494,600</b>

## Building Description

Building Style **SHOP MALL**  
 # of Living Units **24**  
 Year Built **1987**  
 Building Grade **VERY GOOD**  
 Building Condition **Excellent**  
 Finished Area (SF) **217174**  
 Number Rooms **0**  
 # of 3/4 Baths **0**

Foundation Type **SLAB**  
 Frame Type **STEEL**  
 Roof Structure **FLAT**  
 Roof Cover **TAR & GRAVEL**  
 Siding **CON/CN BLOCK**  
 Interior Walls **DRYWALL**  
 # of Bedrooms **0**  
 # of 1/2 Baths **57**

Flooring Type **ASPHALT TILE**  
 Basement Floor **NO BASEMENT**  
 Heating Type **WM&COOL AIR**  
 Heating Fuel **GAS**  
 Air Conditioning **100%**  
 # of Bsmt Garages **0**  
 # of Full Baths **0**  
 # of Other Fixtures **87**

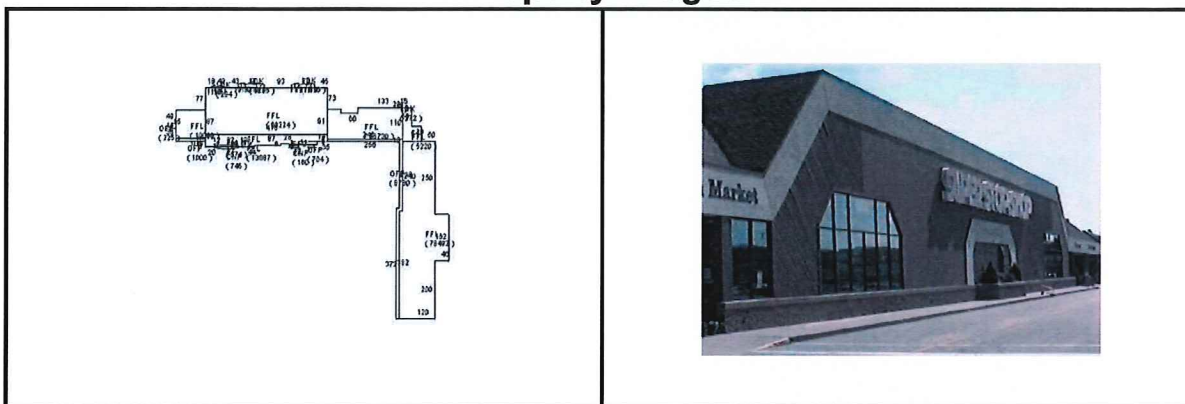
## Legal Description

DEV-BLDR LOT PLAN 3591 CALARESE PLAN 3624 CALARESE/CALARESE - TRUSTEES DEV-BLDR LOT 1 PLAN 3782 CEDAR SHOPPING CENTER PLAN 3865 CEDAR SHOPPING CENTERS

## Narrative Description of Property

This property contains 31.000 acres of land mainly classified as SHOP CENTER with a(n) SHOP MALL style building, built about 1987 , having CON/CN BLOCK exterior and TAR & GRAVEL roof cover, with 24 unit(s), 0 room(s), 0 bedroom(s), 0 bath(s), 57 half bath(s).

## Property Images



Disclaimer: This information is believed to be correct but is subject to change and is not warranted.



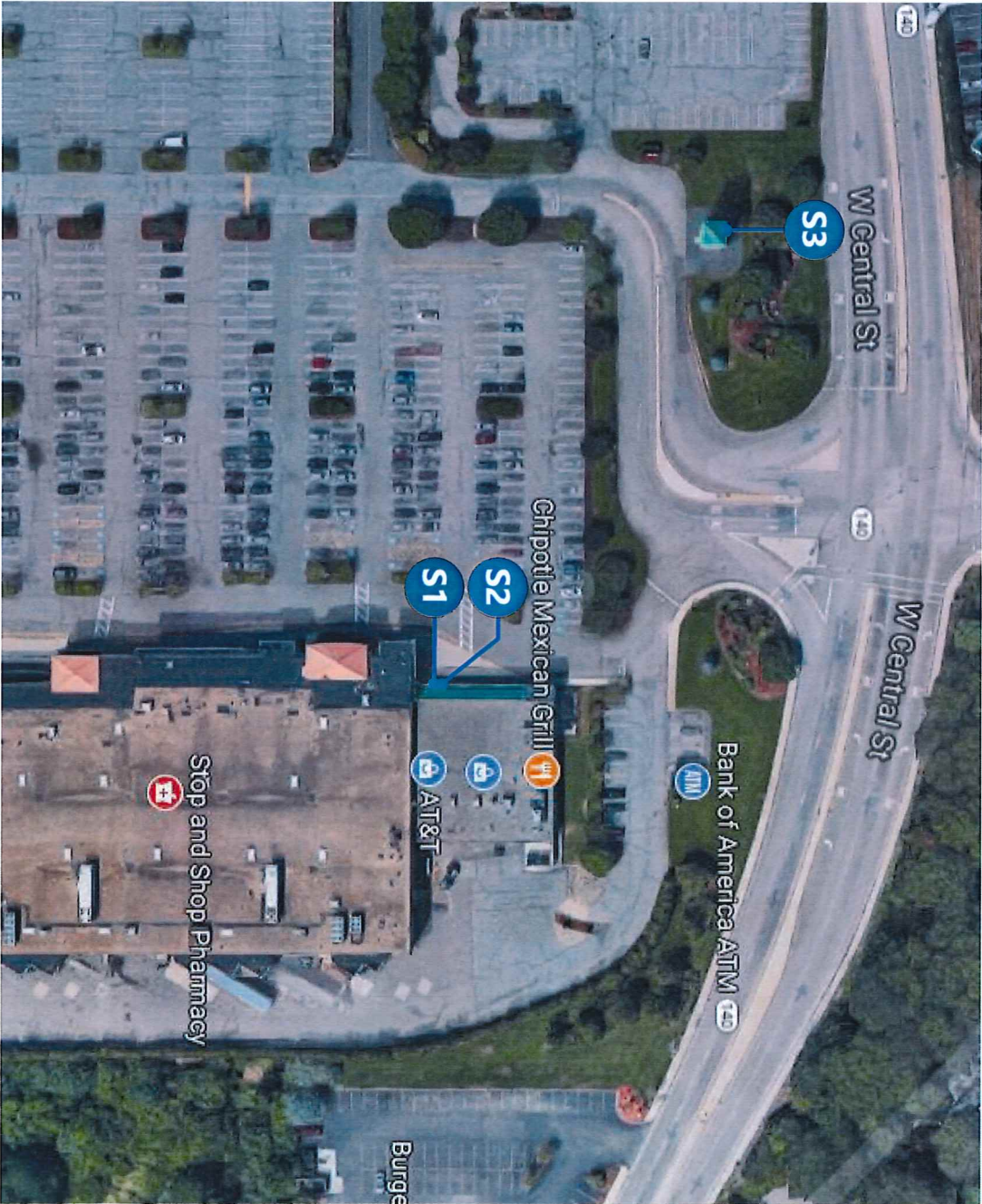
**LOCATION BRANDING DOCUMENT**

City/State: Franklin MA  
Address: 25 Franklin Village Dr  
Creation Date: 06/22/2017  
Revised: x





Site



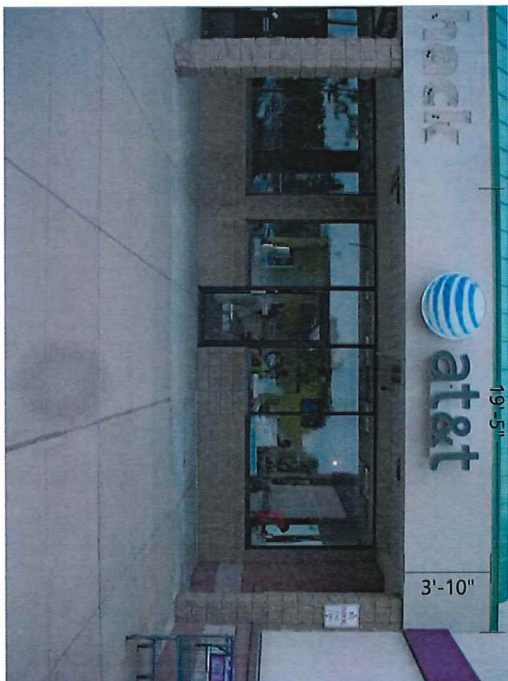
S1

## Custom Raceway Wired Illuminated Letterset

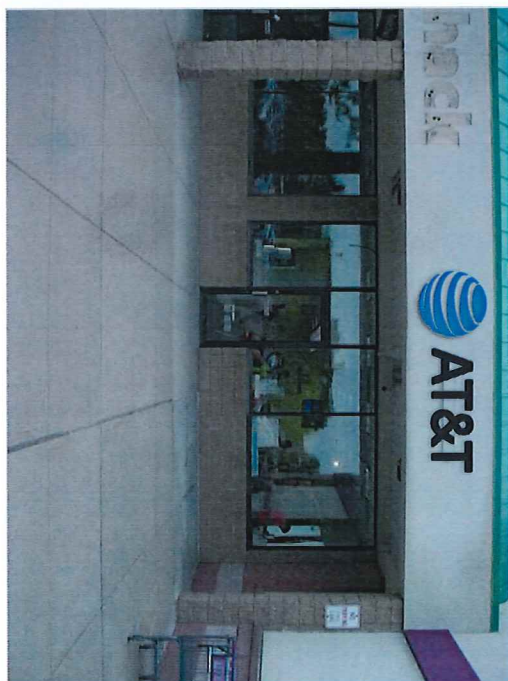
### Installation Guidelines

- Remove existing letterset, patch and repaint fascia to like new condition
- Install new raceway wired illuminated letterset as shown
- Note: raceway to be painted to match fascia

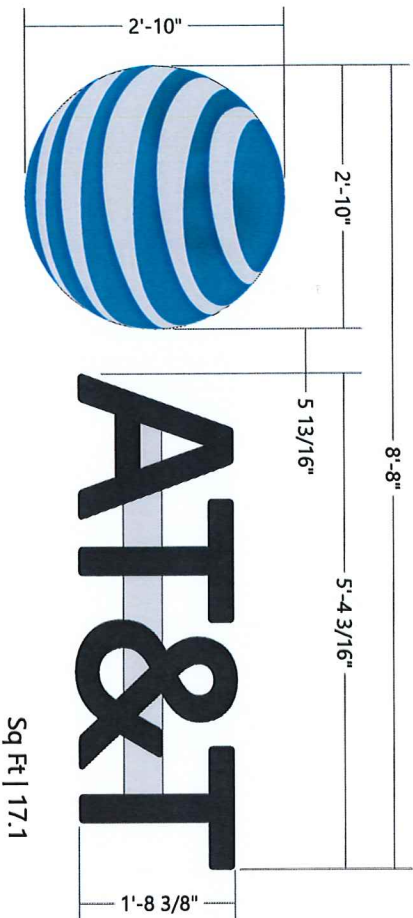
BEFORE



AFTER

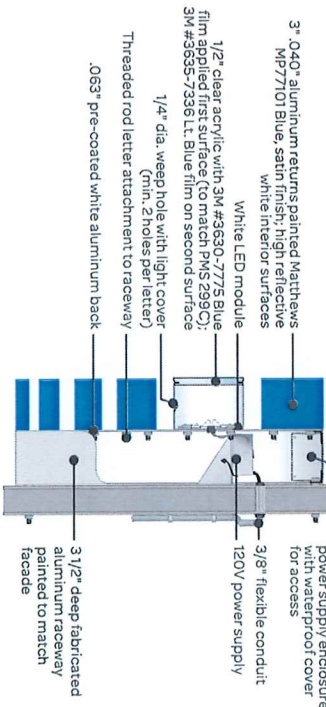


Existing Sign: 2'-10" x 8'-3"

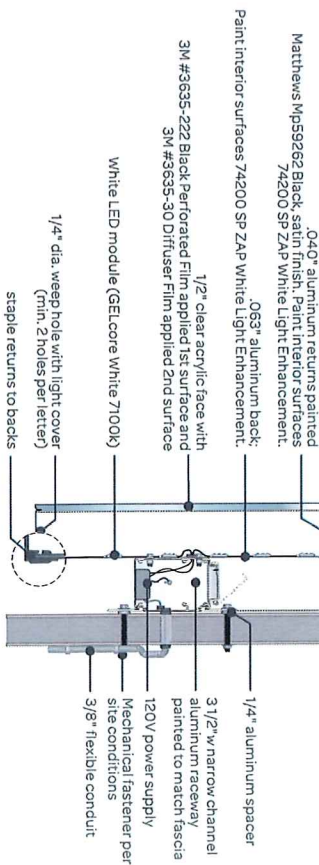


Sq Ft | 17.1

### Globe Specifications



### AT&T Letter Specifications



Scale | 1/2"=1'-0"



Revisions:	
X	
X	
X	
X	

File Location:	STND
DWG/Clients/ATT	CSTM
AS	CR
EN	EN

Date:	06/22/2017
Designer:	AS
PM:	TK

City/State:	Franklin MA
Address:	25 Franklin Village Dr

Drawing #	C35391
Site Name	



S2

# Tenant Panel Replacement Faces

Qty 2

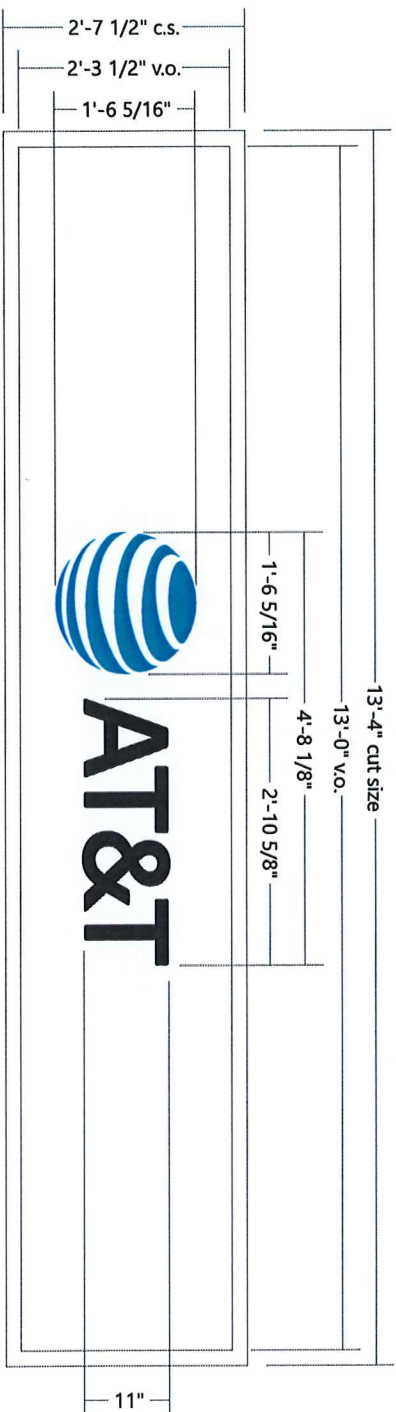
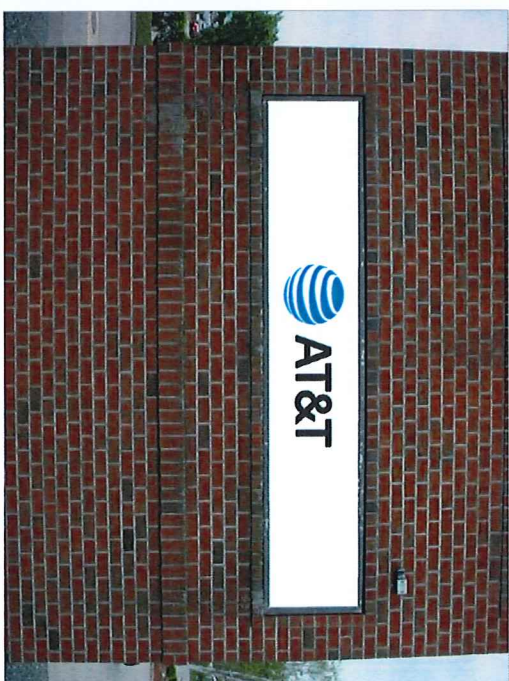
## Installation Guidelines

- Remove existing tenant panels
- Verify illumination is in good working order
- Install new 3/16" white polycarbonate panels decorated first surface with vinyl as shown

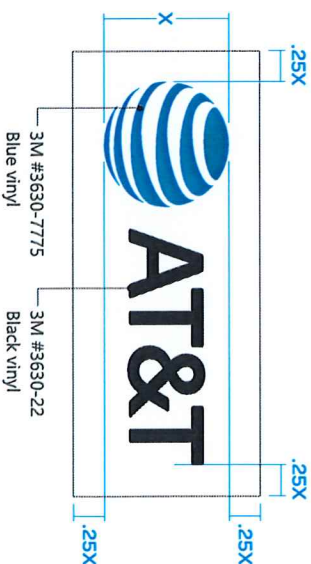
BEFORE



AFTER



Sq Ft | 29.8



Scale | 1/2"=1'-0"



prioritysign

Revisions:	
X	
X	
X	
X	

File Location:	STND	X
Drive/Client/ATT	CSTM	
AS	CR	EN

Date:	06/22/2017
Designer:	AS
PM:	TK

City/State:	Franklin MA
Address:	25 Franklin Village Dr

Drawing #	
Site Name	

C53591

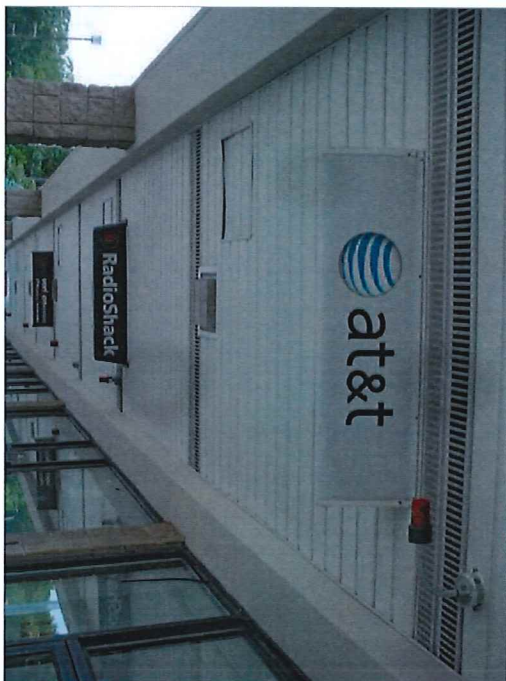
S3

# Vinyl Replacement (Qty. 2)

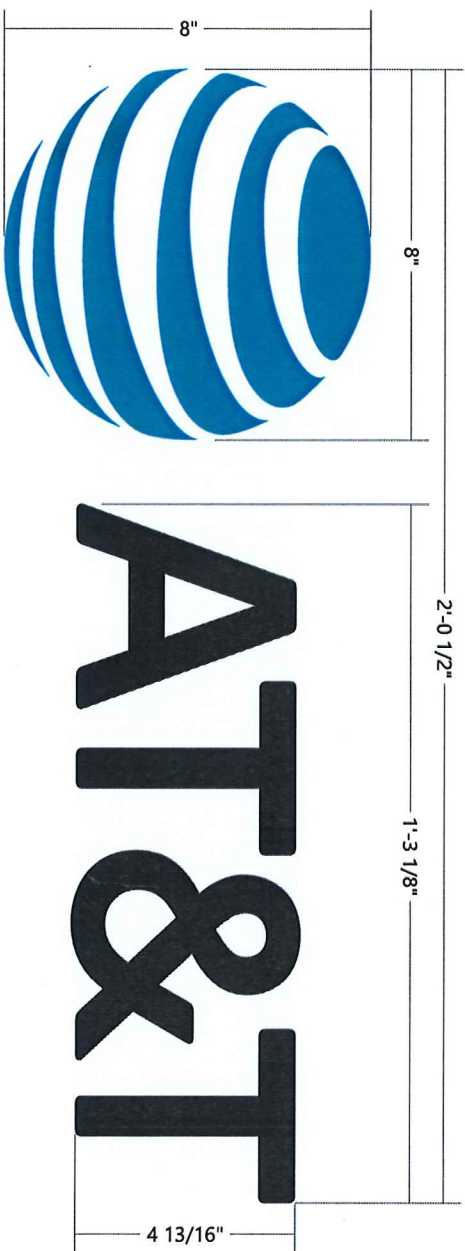
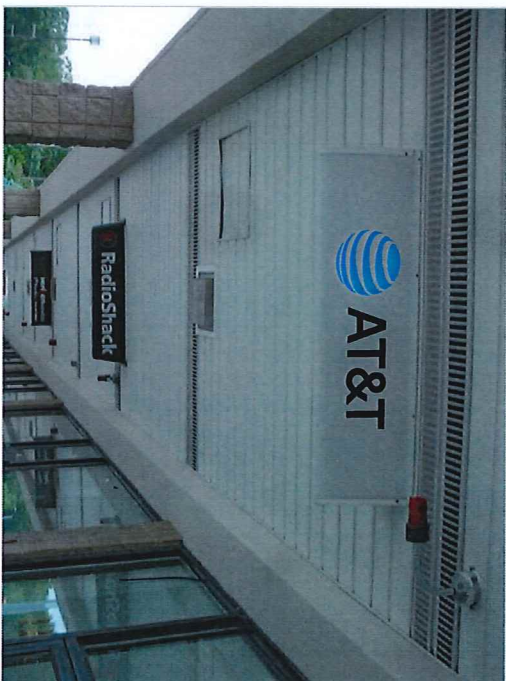
## Installation Guidelines

- Remove existing vinyl from both sides of blade sign
- Clean surface of all residue
- Verify illumination is in good working condition
- Install new vinyl graphics to both sides of blade sign

BEFORE



AFTER



Scale | 3"=1'-0"



prioritysign

Revisions:	
X	
X	
X	
X	

File Location:	STND	X
Drive/Clients/ATT	CSTM	
AS	CR	
	EN	

Date: 06/22/2017

Designer: AS

City/State: Franklin MA

Address: 25 Franklin Village Dr

Drawing #

Site Name

C53591

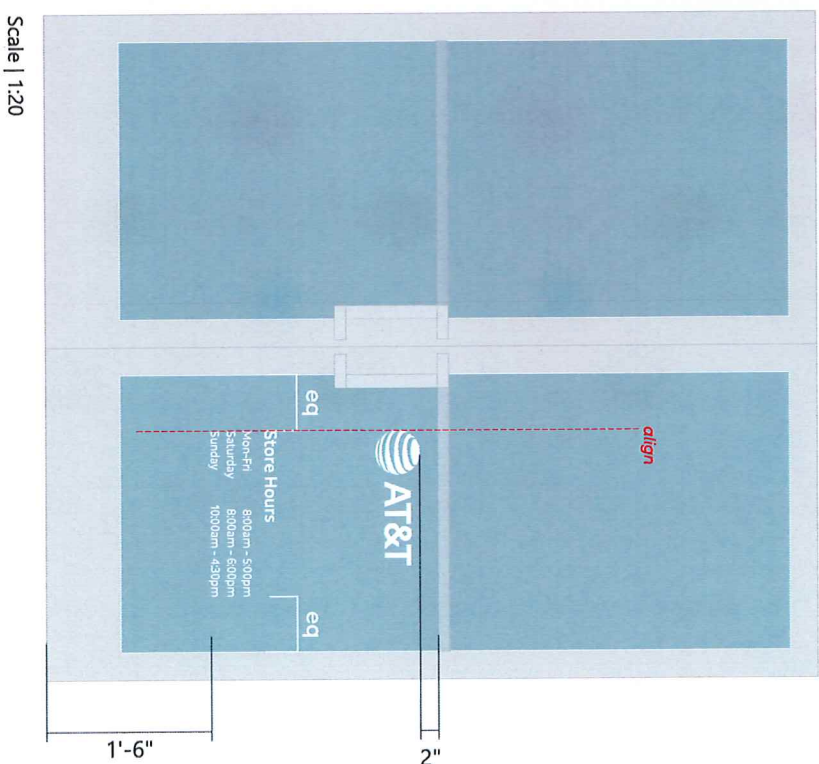
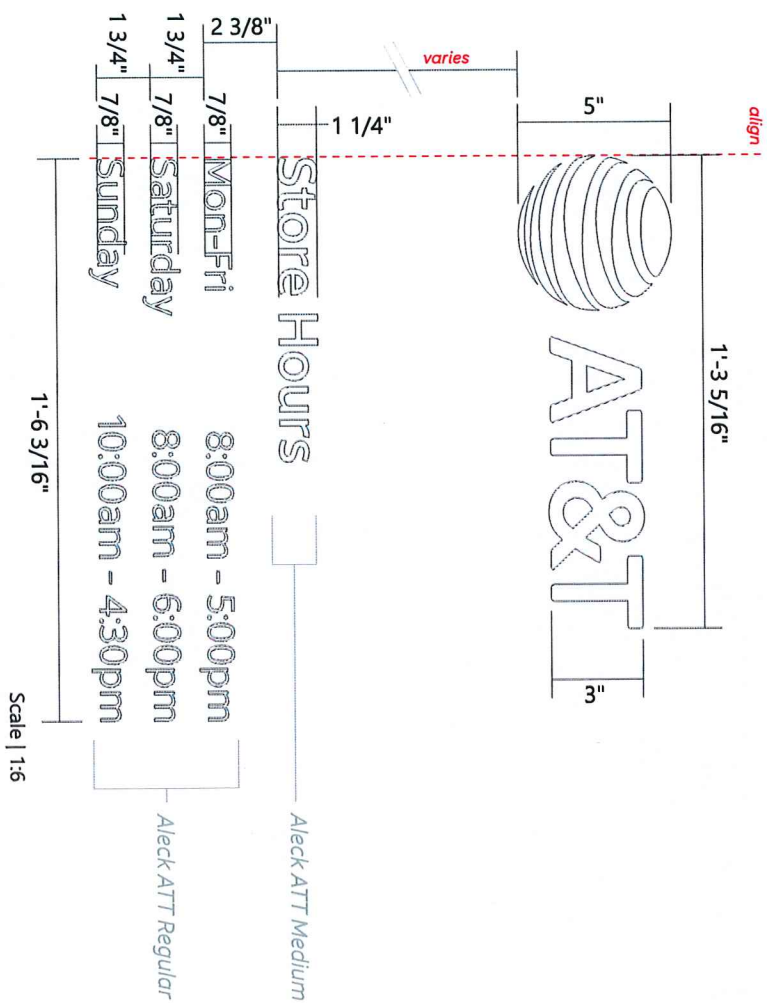


### Door Vinyl (First Surface)

## Installation Guidelines

- Remove any existing vinyl, clean off any remaining residue
- Install new 3M #7725-10 White vinyl first surface
- Store hours must be verified with site prior to manufacturing

**Note:** For double door installation, install only on right-hand door



 prioritysign

Revisions:	X
X	X
X	X
X	X
X	X

File Location: STND X  
Drive/clients/ATT CSTM   

Date: 06/22/2017

City/State: Franklin MA

Drawing #

C53591



FORM Q

TOWN OF FRANKLIN  
DESIGN REVIEW APPLICATION  
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: MOBIL

Property Address 660 W. CENTRAL STREET

Assessors' Map # 271 Parcel # 001

Zoning District (select applicable zone): B

Zoning History: Use Variance \_\_\_\_\_  
Non-Conforming Use \_\_\_\_\_

B) Applicant Information: MOBIL

Applicant Name: % CAROLYN A. PARKER

Address: 3 LORION AVENUE  
WORCESTER, MA 01606

Telephone Number: 774-239-2781

Contact Person: CAROLYN PARKER

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: GLOBAL CO, LLC Property Owner: SAME

Address: 800  
WALTHAM, MA

All of the information is submitted according to the best of my knowledge

Executed as a sealed instrument this 2 day of OCT 20 17

Carolyn A. Parker  
Signature of Applicant

SEE ATTACHED LTR  
Signature of Owner

CAROLYN A. PARKER  
Print name of Applicant

Print name of Owner

**\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

**FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

**D) Architect/Engineer/Sign Company Information (if not the applicant)**

**a. Sign Company**

Business Name:

FEDERAL HEATH

Contact Person:

C/O PAUL LABBE (413) 564-0404

Address

1500 N. BOLTON ST, JACKSONVILLE, TX

Telephone Number:

75766

**b. Architect/Engineer (when applicable)**

Business Name:

N/A

Contact Person:

Address

Telephone Number:

**E) Work Summary**

Summary of work to be done:

REMOVE (4) LED PRICE PANELS ON  
PYLON SIGN. INSTALL (8) LED PUMP TOPPERS. INSTALL  
(8) "SYNERGY" BLADES, (8) KOALA'S AND (16)  
LANE DESIGNATION NUMBER WEDGES.

**F) Information & Materials to be Submitted with Application**

**a) FOR SIGN SUBMISSIONS ONLY:**

**NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION**

1. Drawing of Proposed Sign which must also include  
type of sign (wall, pylon etc.) colors  
size/dimensions materials  
style of lettering lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

**b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:**

**NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION**

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.



Chrissy Whelton &lt;cwhelton@franklinma.gov&gt;

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**Design Review- Mobil Signs**

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**Carolyn Parker** <cappermits@carolynparkerconsulting.com>

Tue, Oct 17, 2017 at 6:33 AM

To: Chrissy Whelton &lt;cwhelton@franklinma.gov&gt;

Cc: "Paul R. Labbe (paul@jsplds.com)" &lt;paul@jsplds.com&gt;

Chrissy,

Attached please find a Mobil station previously installed with the RED Blades with no Synergy Text.

Also find a detail of the Wedges – which are the lane designation numbers.

Lastly we state that no advertisement except for the "Synergy" fuel will ever be put into the Koala's.

Let me know if you need anything else and if I need to be in attendance at the next meeting.

Thank you Carolyn

Carolyn A. Parker Consulting

3 Lorion Avenue

Worcester, MA 01606

774-239-2781

[cappermits@carolynparkerconsulting.com](mailto:cappermits@carolynparkerconsulting.com)

**From:** Chrissy Whelton [mailto:[cwhelton@franklinma.gov](mailto:cwhelton@franklinma.gov)]

**Sent:** Monday, October 16, 2017 3:15 PM

**To:** Carolyn Parker <cappermits@CarolynParkerConsulting.Com>

**Subject:** Design Review- Mobil Signs

[Quoted text hidden]

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This email is intended for municipal / educational use only and must comply with the Town of Franklin and Franklin Public School's policies and state/federal laws. Under Massachusetts Law, any email created or received by an employee of The Town of or Franklin Public Schools is considered a public record. All email correspondence is subject to the requirements of M.G.L. Chapter 66. This email may contain confidential and privileged material for the sole use of the intended recipient. Any review or distribution by others is strictly prohibited. If you are not the intended recipient please contact the sender and delete all copies.





# Number Wedges

All Number Wedges should be set in EMprint Semibold and vertically aligned with the column. The diagrams below are based on a 9-7/16" x 14-5/8" wedge. Artwork for reproduction is available in the Synergy Asset Files section.

Number Wedge demonstration:  
With versus without "Full Service"

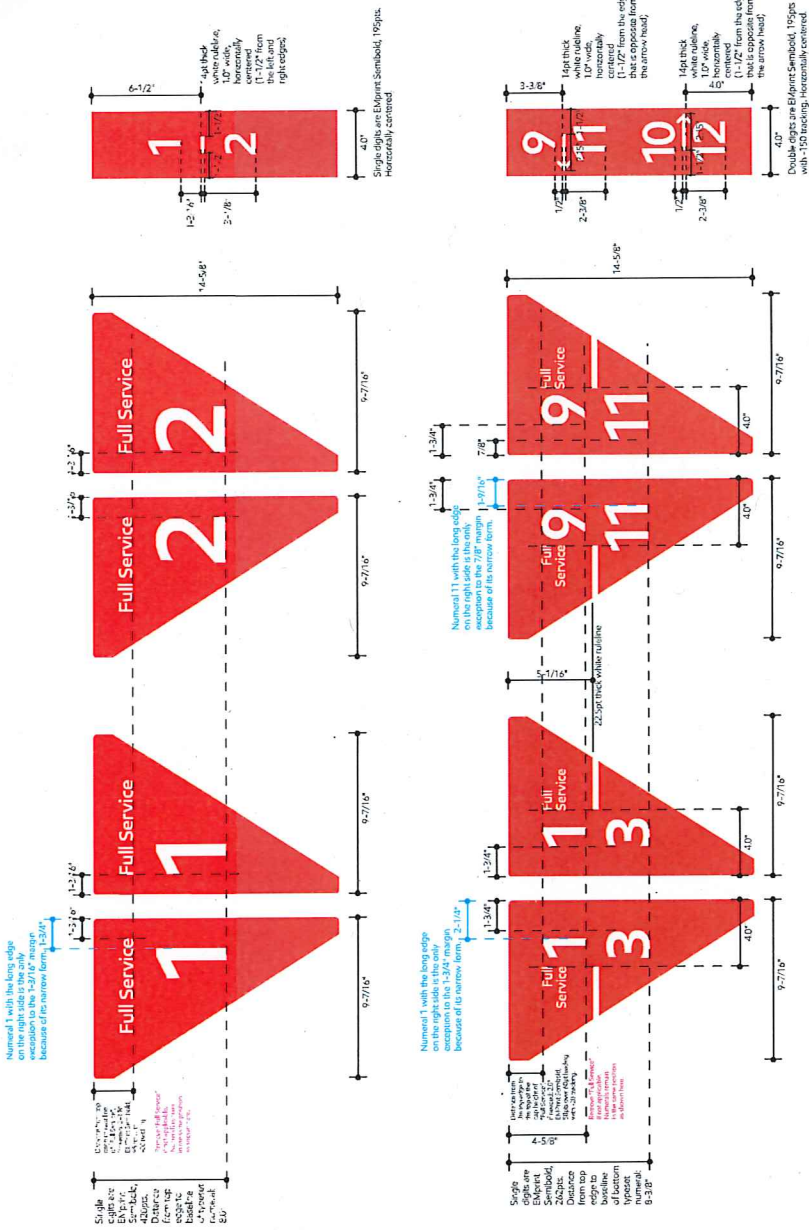


When special designations need to be identified for certain dispensers, for example "Full Service", a label can be added to the top of the Number Wedge in EMprint and aligned with the dispenser number.

When there are multiple dispensers around a column, both dispenser numbers should be stacked on the wedge, in numerical order, with a small separator line as shown. Number Wedges are labeled on both sides.

Side view numbers are optional and are only used when the side is facing the backcourt. Numbers should only be placed on the sides visible from the backcourt.

Below: examples from the Number Wedges art package.  
See art package for additional specifications and artwork for reproduction.



Artwork shown is for demonstration only. Use actual final art files for reproduction.

FORM Q

TOWN OF FRANKLIN  
DESIGN REVIEW APPLICATION  
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Patti Eisenhower Dance Center

Property Address 90 Hayward St.

Assessors' Map # \_\_\_\_\_ Parcel # \_\_\_\_\_

Zoning District (select applicable zone): \_\_\_\_\_

Zoning History: Use Variance \_\_\_\_\_  
Non-Conforming Use \_\_\_\_\_

B) Applicant Information:

Applicant Name: Patti Eisenhower

Address: 24 Hayward St  
Franklin MA 02038

Telephone Number: 508 259 3723

Contact Person: Patti Eisenhower

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Patti Eisenhower Property Owner: Jon White  
Address: 24 Hayward St 130 Old Center Harbor Rd  
Franklin MA 02038 Center Harbor, NH 03226

All of the information is submitted according to the best of my knowledge  
Executed as a sealed instrument this 13<sup>th</sup> day of October 2017

Patti S. L.  
Signature of Applicant

Jon White  
Signature of Owner

Patti Eisenhower  
Print name of Applicant

Jon T. White (CFS)  
Print name of Owner

**\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

**FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q

**D) Architect/Engineer/Sign Company Information (if not the applicant)**

**a. Sign Company**

Business Name: Gemini Signs (Marlboro)

Contact Person: \_\_\_\_\_

Address \_\_\_\_\_

Telephone Number: \_\_\_\_\_

Used at  
last location  
next door  
31 Hayward St  
at Moseley Mill

**b. Architect/Engineer (when applicable)**

Business Name: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Address \_\_\_\_\_

Telephone Number: \_\_\_\_\_

pictures enclosed

**E) Work Summary**

Summary of work to be done: just hang the sign from  
previous location (31 Hayward St.)  
to present location (90 Hayward St.)

**F) Information & Materials to be Submitted with Application**

**a) FOR SIGN SUBMISSIONS ONLY:**

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1. Drawing of Proposed Sign which must also include  
type of sign (wall, pylon etc.)      colors  
size/dimensions      materials  
style of lettering      lighting-illuminated, non-illuminated and style
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4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.



PEDC  
PATTI EISENHAUER  
DANCE CENTER











FORM Q

TOWN OF FRANKLIN  
DESIGN REVIEW APPLICATION  
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: PHILIP M. BRUNELLI, JR. ELECTRICIAN

Property Address 247 E CENTRAL - UNIT #4

Assessors' Map # \_\_\_\_\_ Parcel # 285-105-000-000

Zoning District (select applicable zone): \_\_\_\_\_

Zoning History: Use Variance \_\_\_\_\_  
Non-Conforming Use \_\_\_\_\_

B) Applicant Information:

Applicant Name: PHILIP M. BRUNELLI

Address: 28 JAMES ST.  
FRANKLIN, MA 02038

Telephone Number: 508-400-5571

Contact Person: PHILIP BRUNELLI

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: PHILIP M. BRUNELLI, JR. Property Owner: JOHN R. PAOLA TR  
Address: \_\_\_\_\_ 3 LINCOLN WOOD DR  
FRANKLIN, MA 02038

All of the information is submitted according to the best of my knowledge  
Executed as a sealed instrument this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_

Signature of Applicant

Signature of Owner

PHILIP M. BRUNELLI, JR.  
Print name of Applicant

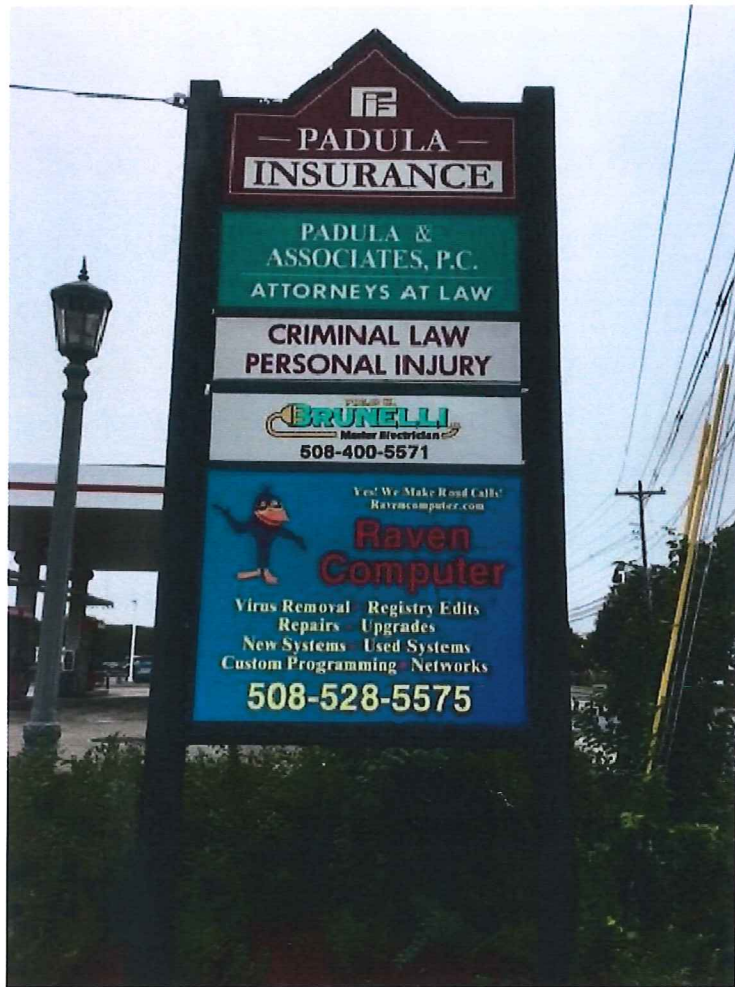
\_\_\_\_\_  
Print name of Owner

**\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

**FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q





**Design Review Filing  
for  
Mak's Roast Beef and Pizza  
451 West Central Street  
Franklin, MA.**

**Date: September 26, 2017**

**Applicant  
Maksim Xhengo  
893 Washington Street  
Franklin, MA. 02038**



**Guerriere &  
Halnon, Inc.**  
ENGINEERING & LAND SURVEYING

**55 West Central Street  
Franklin, MA.02038  
Tel.: 508-528-3221**

FORM Q

TOWN OF FRANKLIN  
DESIGN REVIEW APPLICATION  
FOR §185-31(2) OF THE ZONING BY-LAW

A) General Information

Name of Business or Project: Mak's Roast Beef & Pizza

Property Address 451 West Central St. Franklin, MA.

Assessors' Map # 270 Parcel # 36

Zoning District (select applicable zone): Commercial II

Zoning History: Use Variance \_\_\_\_\_  
Non-Conforming Use \_\_\_\_\_

B) Applicant Information:

Applicant Name: Maksim Xhengo

Address: 893 Washington Street Franklin, MA  
\_\_\_\_\_

Telephone Number: 617- 842-2942

Contact Person: Maksim Xhengo

C) Owner Information (Business Owner & Property Owner if different)

Business Owner: Anne Brunelli Property Owner: same

Address: 243 Pond Street \_\_\_\_\_  
Franklin, MA. \_\_\_\_\_

All of the information is submitted according to the best of my knowledge

Signature \_\_\_\_\_  
Print Name: MAKSIM XHENGO

09/27/2017  
Date Submitted

**\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

**FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 – 4**

**SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q**

**D) Architect/Engineer/Sign Company Information (if not the applicant)**

**a. Sign Company**

Business Name: Falcon Graphics  
Contact Person: Mehmet Sahin  
Address 826 Massachusetts Ave, Arlington, MA. 02476  
Telephone Number: 617-306-7748

**b. Architect/Engineer (when applicable)**

Business Name: HFA Allevato Architects  
Contact Person: Jenna Miccile  
Address 31 Hayward Street Franklin, MA  
Telephone Number: 508-528-0770

**E) Work Summary**

Summary of work to be done: Existing structure, formerly Annie's Market, will be renovated to become Mak's Roast Beef & Pizza. The renovations to include a new front facade elevation and floor plan.

**F) Information & Materials to be Submitted with Application**

**a) FOR SIGN SUBMISSIONS ONLY:**

**NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION**

1. Drawing of Proposed Sign which must also include  
type of sign (wall, pylon etc.)      colors  
size/dimensions      materials  
style of lettering      lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

**b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:**

**NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION**

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
2. Lighting Plan indicating lighting levels & specifications of proposed lights
3. Building drawings, indicating size and height of building(s); front, rear and side elevations (when there are no adjoining buildings) and floor plans
4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.

## **DESIGN STANDARDS**

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. The height of the building is proposed to remain the same as the existing structure approximately 16' in height.

---

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area. The windows and doors will be in a similar type and style used at the abutting property, keeping in proportion with the existing building size.

---

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. The existing structure will remain the same,

---

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. The existing roof will not change in size, gables to be added to the front elevation for curb appeal.

---

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. The architectural style of the proposed facade will blend with the existing character of the surrounding neighborhood

---

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: \_\_\_\_\_

---

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. The proposed facade will blend with surrounding areas using a neutral color with white trim and stone accents .

---



8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. \_\_\_\_\_  
All materials proposed will not detract from the surrounding neighborhood. \_\_\_\_\_  
\_\_\_\_\_

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. The architectural elements \_\_\_\_\_  
added will blend in with the surrounding area \_\_\_\_\_  
\_\_\_\_\_

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. \_\_\_\_\_  
all changes will be energy efficient. \_\_\_\_\_  
\_\_\_\_\_

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible. \_\_\_\_\_  
no landscaping is proposed at this time, the proposed plan was submitted for change of use. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.**



451 West Central Street



Existing Annie's Market Sign

Mak's Roast Beef and Pizza sign is replacing the existing sign

Using similar height and width as existing

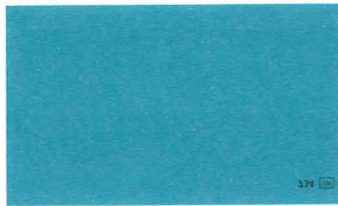


451 West Central Street

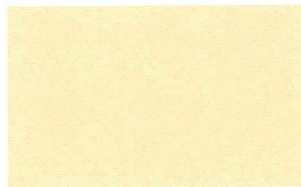


Proposed sign design and sign location

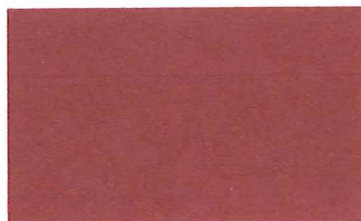
Using similar height and size as existing and adding a stone façade



Lettering Color for Roast Beef & Pizza- Benjamin Moore Number 734 Tropical Teal



Approx. Color Back Ground for sign – Benjamin Moore HC-4 Hawthorne Yellow



Lettering for Mak's – Benjamin Moore Number AF-290



**Mak's Roast Beef and Pizza**

**451 West Central Street**

**Franklin, MA.**



**Existing Front Elevation**

**Across Route 140**



**452 West Central Street**



**472 West Central Street**



444 West Central Street

**Abutter on West Side**



461 West Central Street



**Abutter on East Side**



**Vacant lot Map 270-38**

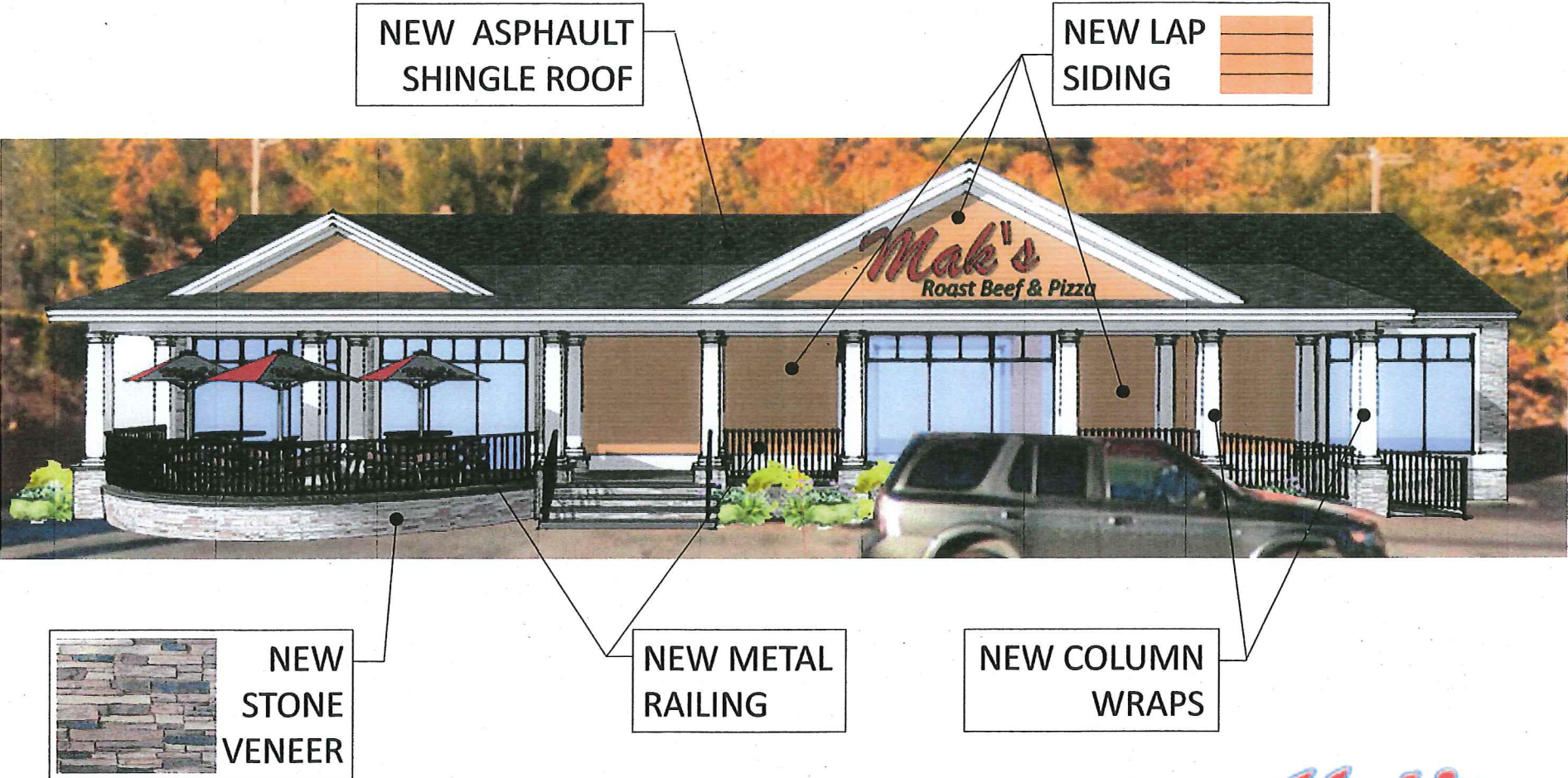
**Riov Realty Trust**



**435 West Central Street**



MATERIALS



9/18/2017

451 WEST CENTRAL STREET  
FRANKLIN, MA



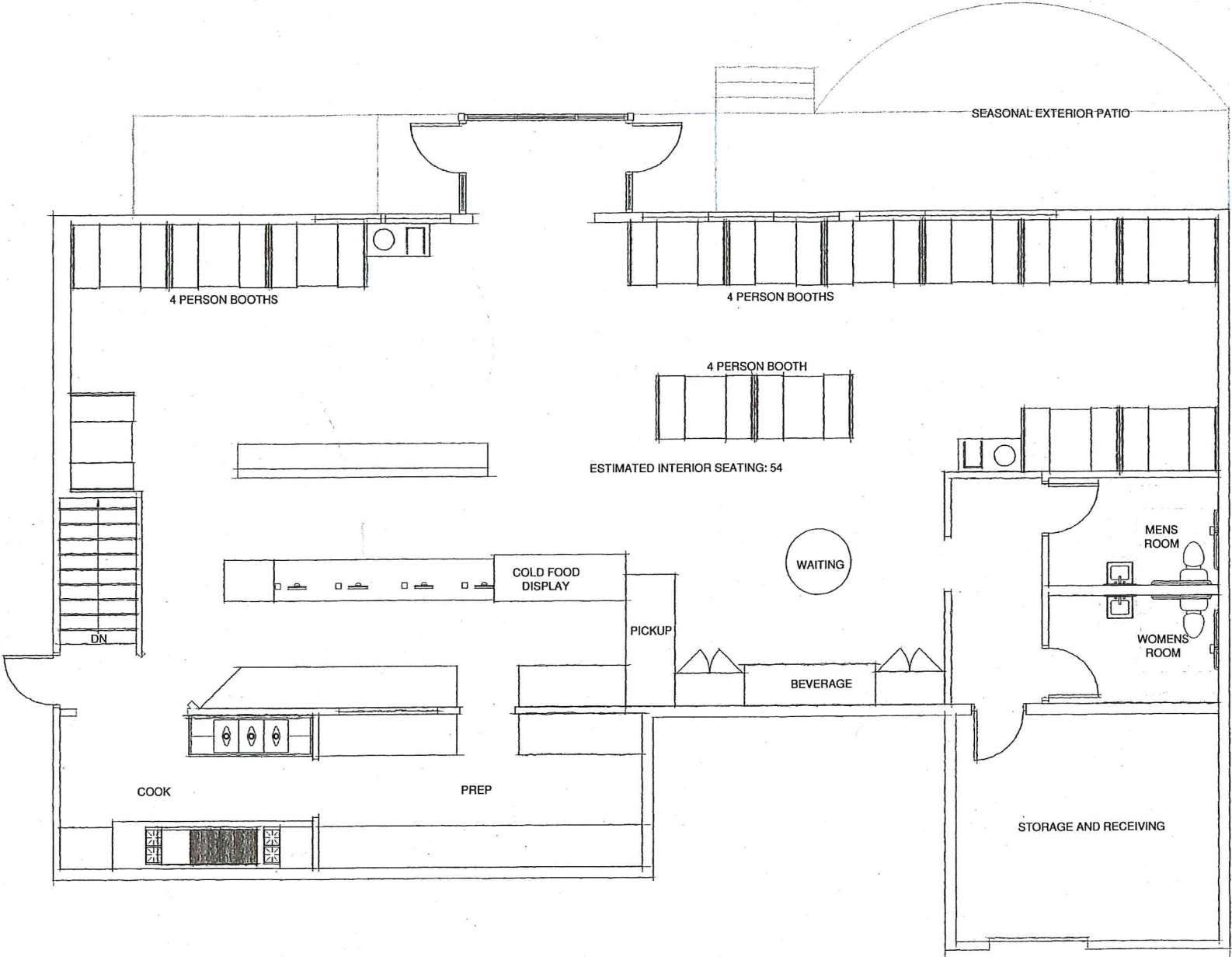




7/23/2017

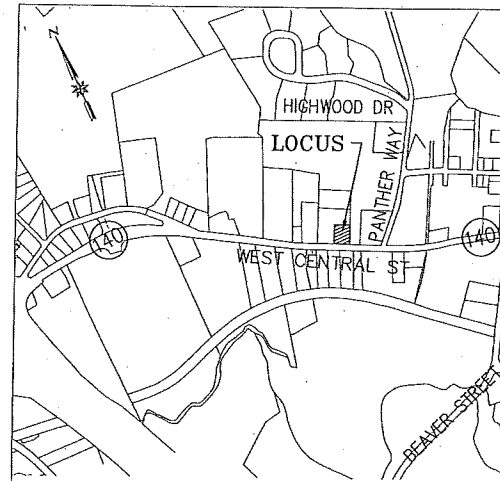
451 WEST CENTRAL STREET  
FRANKLIN, MA







CHANGE OF USE  
FOR  
451 WEST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS



VICINITY MAP  
1"=500'

APPLICANT:

MAKSIM XHENG  
893 WASHINGTON STREET  
FRANKLIN, MA. 02038

OWNER:

MARKET WEST CENTRAL, LLC  
C/O ANNE BRUNELLI  
243 POND STREET  
FRANKLIN, MA 02038

ARCHITECT  
HFA ALLEVATO  
31 HAYWARD STREET  
FRANKLIN, MA. 02038

## INDEX

1. COVER SHEET
2. EXISTING CONDITIONS
3. PROPOSED CONDITIONS

APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_  
BEING A MAJORITY



APPLICANT:

MAKSYM KHENGO  
893 WASHINGTON STREET  
FRANKLIN, MA. 02038

OWNER:

MARKET WEST CENTRAL, LLC  
C/O ANNE BRUNELLI  
243 POND STREET  
FRANKLIN, MA 02038

LOCUS:

451 WEST CENTRAL STREET  
ASSESSOR MAP 270 PARCEL 038  
BOOK 20986 PAGE 098

## REVISIONS

DATE	REVISED
9/26/17	CHANGE OF USE REVISION PER TOWN



MAK'S ROAST BEEF AND PIZZA

CHANGE OF USE  
for  
451 WEST CENTRAL STREET  
FRANKLIN  
MASSACHUSETTS

## COVER

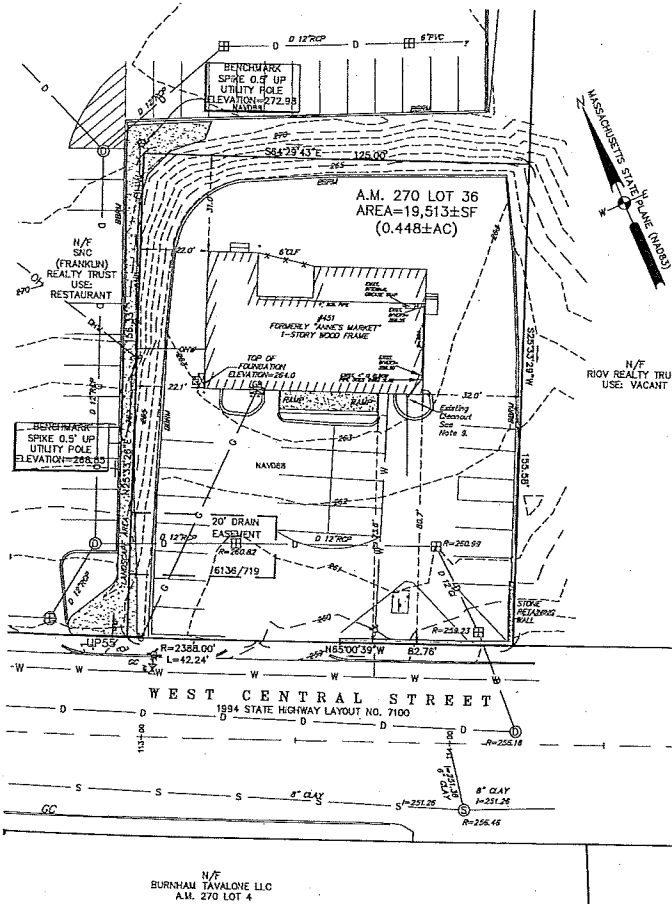
DATE AUGUST 28, 2017	SCALE AS NOTED
SHEET 1 OF 3	JOB NO. F4147

UTILITIES ARE PLATTED AS A COMPILED LIST OF RECORD DOCUMENTS, MAPS AND OTHER CORROBORATIVE EVIDENCE TO DEVELOP A VIEW OF THE LAND-OWNING UTILITIES AND SHOULD BE CONSIDERED AN APPROPRIATE, LACKING OF THE EXACT DEGREE OF UNDERSTANDING AND FEATURES CAPABLE OF BEING COMPLETELY AND RELIABLY DEPICTED. ADDITIONAL UTILITIES NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE, MAY EXIST. CONTRACTORS, IN ACCORDANCE WITH NECESSARY REGULATIONS, SHALL BE REQUIRED TO MAKE CONTACT WITH ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL DISASTAR AT (888)230-SAFE7233.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE PLAT.

ZONING DISTRICT  
COMMERCIAL II

	REQUIRED
MIN. LOT AREA	40,000 SF
MIN. LOT FRONTAGE	175 FT
MIN. LOT DEPTH	200 FT
MIN. LOT WIDTH	157.5 FT
MIN. YARD SETBACKS	
FRONT	40 FT
SIDE	30 FT
REAR	30 FT
STORES	3 STY
	40 FT
STRUCTURE COVERAGE	70%
STRUCTURE PLUS PAVEMENT	80%



LEGEND

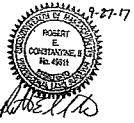
PROPOSED LIGHT POLE	PROPOSED UTILITY POLE
UTILITY POLE	UTILITY POLE
SEWER MANHOLE	SEWER MANHOLE
GAS VALVE	GAS VALVE
GAS SHUT OFF VALVE	GAS SHUT OFF VALVE
WATERGATE	WATERGATE
WATER SHUT OFF VALVE	WATER SHUT OFF VALVE
FIRE HYDRANT	FIRE HYDRANT
VERTICAL CURB	VERTICAL CURB
RETAINING WALL	RETAINING WALL
ABOVE GROUND DRAINAGE	ABOVE GROUND DRAINAGE
ARROW	ARROW
SHRUB	SHRUB
TREE	TREE

NOTES

1. THIS SITE IS NOT IN A FLOOD HAZARD ZONE.
2. THIS PLAN REFERS TO FRANKLIN ASSESSORS MAP 270 PARCEL 36
3. THIS PROPERTY IS ZONED COMMERCIAL II
4. THIS PLAN REFERS TO A PLAN FILED WITH THE NORFOLK REGISTRY OF DEEDS ENTITLED "PLAN OF LAND IN FRANKLIN MASS." DATED OCTOBER 25, 1963 BY MONTYRE AND JOHNSON, INC. WILPOLE, MASS.
5. SEE SITE PLAN FOR VANJA'S MARKET DATED JANUARY 1978, REVISED MARCH 1978
6. SEE SITE PLAN ENTITLED "PROPOSED BUILDING ADDITION FOR ANNIE'S MARKET" BY C & M DESIGN ASSOCIATES DATED JULY 26, 1985
7. SEE ADDITION PLAN FOR ANNIE'S MARKET DATED OCTOBER 10, 1985.
8. THIS SITE IS NOT IN A WATER RESOURCE DISTRICT.
9. THE TOWN OF FRANKLIN DOES NOT HAVE A RECORD OF THE SEWER CONNECTION FOR THIS SITE. DIRECTION OF PIPES ARE SHOWN IN A GENERAL MANNER ONLY.
10. HORIZONTAL DATUM: NAD83; VERTICAL DATUM: NAVD83.

APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE:  
BEING A MAJORITY



PROFESSIONAL  
LAND SURVEYOR

APPLICANT:

MAKSM XHENGU

893 WASHINGTON STREET  
FRANKLIN, MA. 02038

OWNER:  
MARKET WEST CENTRAL, LLC  
C/O ANNIE BRUNELLI  
243 POND STREET  
FRANKLIN, MA 02038

LOCUS:  
451 WEST CENTRAL STREET  
ASSESSOR MAP 270 PARCEL 036  
BOOK 20968 PAGE 098

REVISIONS

DATE	REVISED
9/26/17	CHANGE OF USE REVISION PER TOWN



MAK'S ROAST BEEF AND PIZZA

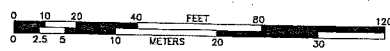
CHANGE OF USE  
for  
451 WEST CENTRAL STREET  
FRANKLIN  
MASSACHUSETTS

EXISTING CONDITIONS

DATE AUGUST 28, 2017	SCALE 1"=20'
SHEET 2 OF 3	JOB NO. F4147

UTILITIES ARE PLOTTED AS A COMPILED OF RECORD DOCUMENTS (DRAWINGS AND OTHER OBSERVED EVIDENCE TO DEVELOP THE PLAN OF THE PROPOSED UTILITIES AND SHOULD BE USED IN CONJUNCTION WITH THE EXISTING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CAN BE ASCERTAINED COMPLETELY AND RELIABLY DEPENDING ON THE QUALITY OF THE RECORD DOCUMENTS AND THE QUALITY OF THE SURVEYING PHYSICAL EVIDENCE. IF RECORD DOCUMENTS OR SURVEYING PHYSICAL EVIDENCE MAY EXIST, CONSTRUCTION IN ACCORDANCE WITH MASS. REG. CHARTER 22, SECTION 20 (AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL BEFORE AT (888) 800-5477/2233.

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

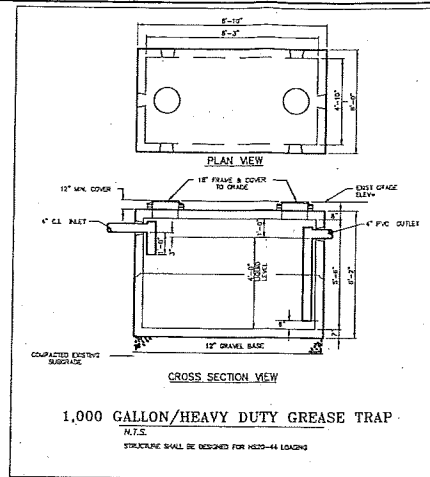
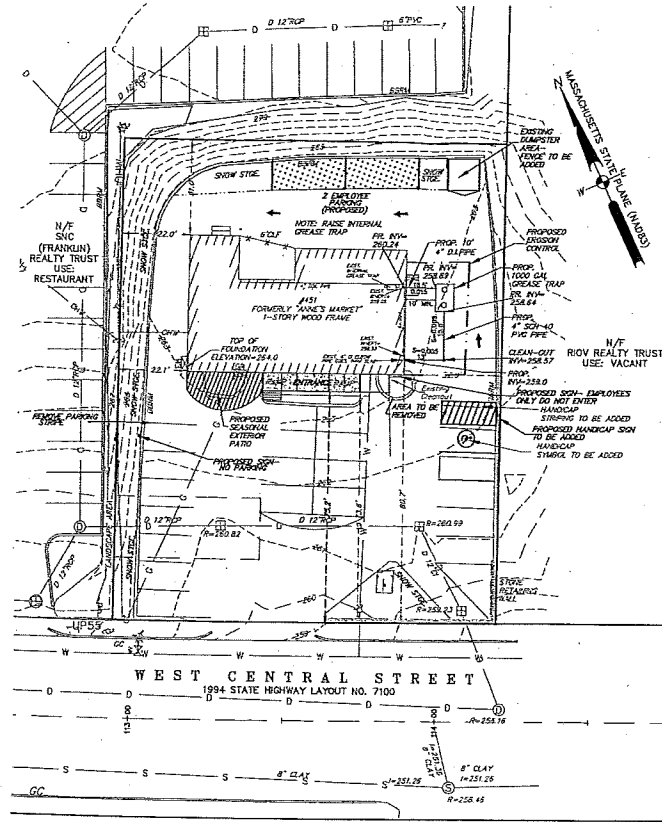


ZONING DISTRICT  
COMMERCIAL II

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	40,000 SF	19,513 ±SF	19,513 ±SF
MIN. LOT FRONTAGE	175 FT	125.00 FT	125.00 FT
MIN. LOT DEPTH	200 FT	155.6 FT	155.6 FT
MIN. LOT WIDTH	157.5 FT	125.0 FT	125.0 FT
MIN. YARD SETBACKS			
FRONT	40 FT	73.6 FT	75.2 FT
SIDE	30 FT	22.0 FT	22.0 FT
REAR	30 FT	31.0 FT	31.0 FT
STORIES	3 STY	1 STY.	1 STY.
STRUCTURE COVERAGE	70%	15.2%	15.2%
STRUCTURE PLUS PAVEMENT	80%	87.6%	87.6%

LEGEND

⊠	CATCH BASIN	⊠	PROPOSED LIGHT POLE
⊙	DRAIN MANHOLE	⊙	UTILITY POLE
⊙	ELECTRIC MANHOLE	⊙	GUY WIRE
⊙	SEWER MANHOLE	⊙	SSON
⊙	GAS VALVE	⊙	SEWER LINE
⊙	GAS SHUT OFF VALVE	⊙	DRAIN LINE
⊙	WATERGATE	⊙	WATER LINE
⊙	WATER SHUT OFF VALVE	⊙	GAS LINE
⊙	FIRE HYDRANT	⊙	ELECT. TEL. CABLE
⊙	VERTICAL CURB CURB	⊙	OVERHEAD WIRE
⊙	RETAINING WALL	⊙	25' WETLAND BUFFER
⊙	ADJAC. FRESH GRADE	⊙	EDGE OF PAVEMENT
⊙	ABSORPTIVE	⊙	SPOT ELEVATION
⊙	SPRINK	⊙	CLEAN OUT
⊙	TREE	⊙	ELECTRIC METER



NOTES

1. THIS SITE IS REQUIRED TO GO BEFORE THE DESIGN REVIEW COMMISSION.
2. A PRE-CONSTRUCTION MEETING WITH DPW IS REQUIRED.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
4. ALL STRIPING AND SIGNAGE TO CONFORM TO "THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES."
5. CONTRACTOR & ARCHITECT SHALL VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
6. THERE ARE NO TREES DESIGNATED AS "PUBLIC SHADED TREES" ON THIS SITE TO BE REMOVED FOR THE SITE PLAN.
7. THE ARCHITECT WILL PROVIDE PLANS AND CALCULATIONS FOR FIRE PROTECTION IF REQUIRED.
8. ALL EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
9. THE OWNER/APPLICANT SHALL LIMIT CONSTRUCTION DEBRIS AND MATERIALS ON THE SITE. IN THE EVENT THAT DEBRIS IS CARRIED ONTO A PUBLIC WAY, THE OWNER/APPLICANT SHALL BE RESPONSIBLE FOR ALL CLEANUP OF THE ROADWAY.
10. DELIVERIES TO BE MADE PRIOR TO 8:00 AM
11. LUNCHTIME HOURS BETWEEN 11:30 AND 2:00 ARE THE BUSIEST. THE MAJORITY IS TAKEOUT OR DELIVERY

PURPOSE OF PLAN

THE PURPOSE OF THIS PLAN IS FOR A CHANGE OF USE FROM ANNE'S MARKET TO MAK'S ROAST BEEF AND PIZZA WITH INDOOR AND OUTDOOR SEATING

PARKING NOTES

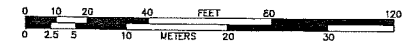
RESTAURANT USE = ONE SPACE PER 2.5 SEATS FIXED OR ONE SPACE PER 60 SQUARE FEET OF GROSS FLOOR AREA

13 BOOTHS X 4 PERSONS PER BOOTH = 52 PEOPLE  
62 / 2.5 SPACES = 20.8 SPACES REQUIRED

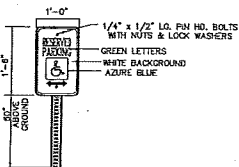
PROPOSED EMPLOYEE SPACES = 2 SPACES  
LOST FOR BUILDING ACCESS=1 SPACE

TOTAL SPACES PROVIDED ON SITE = 22 SPACES

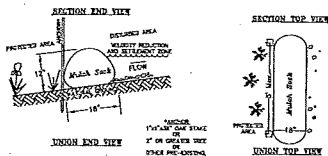
REQUEST FOR DETERMINATION OF PARKING  
SECTION 185-21 PARKING A(1) AND B(2)(d)



HANDICAP PARKING SIGN DETAIL



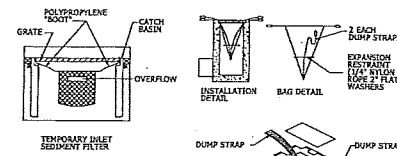
NOTE:  
PLACE EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION OF GREASE TRAP - SEE ABOVE FOR PLACEMENT



1. WHERE EROSION DOES OCCUR, THERE SHALL BE AN OVERLAP OF 4\"/>
2. NO ADDITIONAL MEASURES ARE REQUIRED ON SLOPES LESS THAN 2:1.
3. ADDITIONAL ANCHORS ARE REQUIRED AT 5' INTERVALS (MAX) ON THE DOWN-SLOPE OR PROTECTED SIDE ON SLOPES GREATER THAN 2:1 TO PREVENT MOVEMENT.

EROSION CONTROL BARRIER

NOTE:  
PLACE SILT SACKS IN CATCH BASINS NUMBERS 13, 14, AND 15 DURING CONSTRUCTION



NOTE:  
TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL HAND CATCH BASINS OR STORM INLETS. INLET FILTER TO BE SIMILAR TO STREAMWATER SERVICES CORPORATION (508) 737-5441 OR EQUIVALENT AS MANUFACTURED BY ATLANTIC CONSTRUCTION PRODUCTS, INC. (508) 333-3333. CLEAN FILTER AS NEEDED.

SILT SACK DETAIL

03/14/17 09:41 AM 10/25/2017 09:41 AM

UTILITIES ARE PLOTTED AS A COMPILE OF RECORD DOCUMENTS (AS SHOWN) AND OTHER OBSERVED EVIDENCE TO DEVELOP A PLAN OF THESE UNDERGROUND UTILITIES AND SHOULD BE CHECKED FOR ACCURACY. LACKING OCCUPATION OF THE LAND, THE LOCATION OF UNDERGROUND FEATURES CANNOT BE DETERMINED COMPLETELY AND RELIABLY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATION AND DRILLING AND CALL BEFORE AT (603) 252-5471 (7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE:  
BEING A MAJORITY



APPLICANT:

MAKSIH XHENGCO  
883 WASHINGTON STREET  
FRANKLIN, MA 02038

OWNER:

MARKET WEST CENTRAL, LLC  
C/O ANNE BRUNELLI  
243 FORD STREET  
FRANKLIN, MA 02038

LOCUS:

451 WEST CENTRAL STREET  
ASSESSOR MAP 270 PARCEL 036  
BOOK 20986 PAGE 098

REVISIONS

DATE	REVISED
9/26/17	CHANGE OF USE PER TOWN

**Guerriere & Halnon, Inc.**  
Engineering & Land Surveying  
Ph. (508) 528-3221 55 WEST CENTRAL STREET  
Fr. (508) 528-7921 FRANKLIN, MA 02038  
www.guerriereandhalnon.com

MAK'S ROAST BEEF AND PIZZA

CHANGE OF USE  
for  
451 WEST CENTRAL STREET  
FRANKLIN  
MASSACHUSETTS

PROPOSED

DATE AUGUST 28, 2017	SCALE AS NOTED
SHEET 3 OF 3	JOB NO. F4147



**Design Review Filing  
for  
Highland Village  
278, 280, & 300 West Central Street  
Franklin, MA.**

**Date: October 12, 2017**

**Applicant  
Joel D'Errico  
72 Deerview Way  
Franklin, MA. 02038**



**Guerriere &  
Halnon, Inc.**  
ENGINEERING & LAND SURVEYING

**55 West Central Street  
Franklin, MA.02038  
Tel.: 508-528-3221**

FORM Q

TOWN OF FRANKLIN  
DESIGN REVIEW APPLICATION  
FOR §185-31(2) OF THE ZONING BY-LAW

A) **General Information**

Name of Business or Project: Highland Village Condominiums

Property Address 278-280-300 West Central St

Assessors' Map # 278 Parcels 031 032 035  
Parcel #

Zoning District (select applicable zone): GR 5

Zoning History: Use Variance \_\_\_\_\_  
Non-Conforming Use \_\_\_\_\_

B) **Applicant Information:**

Applicant Name: Joel D'Errico

Address: 72 Deer View Way Franklin Mass  
\_\_\_\_\_

Telephone Number: 508-439-0022 joelwderrico@gmail.com

Contact Person: Joel D'Errico

C) **Owner Information (Business Owner & Property Owner if different)**

Business Owner: Joel D'Errico Property Owner: 280 West Central St  
Address: Double J Development 278 West Central St  
Foley Family Trust Dennis Foley 300 West Central St

All of the information is submitted according to the best of my knowledge

  
Signature \_\_\_\_\_  
Print Name: Joel D'Errico

10/16/17  
Date Submitted

**\*FOR SIGNS COMPLETE PAGES 1 & 2 ONLY.**

**FOR SITE PLANS, BUILDING PLANS, PROJECTS, COMPLETE PAGES 1 - 4**

**SEE ADDENDA ATTACHED FOR ASSISTANCE IN COMPLETION OF FORM Q**

**D) Architect/Engineer/Sign Company Information (if not the applicant)**

**a. Sign Company**

Business Name: Swenson Granite

Contact Person: \_\_\_\_\_

Address Medway Mass

Telephone Number: \_\_\_\_\_

**b. Architect/Engineer (when applicable)**

Business Name: Michael J Konosky

Contact Person: Michael Konosky

Address Upper Union St Franklin Ma

Telephone Number: 508-520-1965

**E) Work Summary**

Summary of work to be done: 30 unit condominium development

2 roadway entrances, curved stone wall entrances with granite inlay sign  
HIGHLAND VILLAGE lit by one low watt bulb, coach light on top of wall

Walls are approx 30" high Inlay granite sign 66" long 4 inch letters  
F) Information & Materials to be Submitted with Application HIGHLAND VILLAGE

**a) FOR SIGN SUBMISSIONS ONLY:**

**NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED WITH APPLICATION**

1. Drawing of Proposed Sign which must also include  
type of sign (wall, pylon etc.)      colors  
size/dimensions      materials  
style of lettering      lighting-illuminated, non-illuminated and style
2. Drawing and/or pictures indicating location of new sign.
3. Picture of existing location and signs (if previously existing location)

**b) FOR BUILDINGS/DEVELOPMENTS OR PROJECT SUBMISSIONS:**

**NINE (9) COPIES OF THE FOLLOWING MUST BE SUBMITTED W/APPLICATION**

1. Site Plan including Landscape Plan showing plantings. Plantings must be from Best Development Practices Guide
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4. Drawings or pictures of existing conditions
5. If any signage on the building or site, provide information from above Signage Checklist

Note: Please bring a sample of the following to the meeting: materials samples (brick, siding, roofing etc.) as well as samples of paint colors.



## DESIGN STANDARDS

Explain how each of the design standards outlined below has been incorporated into the design of the proposed development. Fill in the information in the spaces provided or use a separate sheet.

1. **Height**—The height of any proposed alteration shall be compatible with the style and character of the surrounding buildings, within zoning requirements. \_\_\_\_\_

Total height of proposed townhouse buildings 26'

2. **Proportions of Windows and Doors** – The proportions and relationships between doors and windows shall be compatible with the architectural style and character of the surrounding area.

All per plans and light code

3. **Relations of Building Masses and Spaces** – The relationship of a structure to the open space between it and adjoining structures shall be compatible. \_\_\_\_\_

project complies with GR5 setbacks

4. **Roof Shape** – The design and pitch of the roof shall be compatible with the architectural style and character of the surrounding buildings. \_\_\_\_\_

buildings follow neighborhood character in architecture and height

5. **Scale** – The scale of the structure shall be compatible with its architectural style and the character of the surrounding buildings. \_\_\_\_\_

Follows neighborhood character

6. **Façade, Line, Shape & Profile** – Facades shall blend with other structures in the surrounding area with regard to the dominant vertical or horizontal context: \_\_\_\_\_

follows neighborhood character

7. **Architectural Details** – Architectural details, including signs, materials, colors and textures shall be treated so as to be compatible with the existing and adjacent architectural character, thereby preserving and enhancing the surround area. \_\_\_\_\_

yes

8. **Advertising Features** – The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures shall not detract from the use and enjoyment of the proposed buildings and structures and the surrounding properties. \_\_\_\_\_

~~Project shall add value to neighborhood~~

9. **Heritage** – Removal or disruption of historic, traditional or significant uses, structures or architectural elements shall be minimized insofar as practicable. \_\_\_\_\_

~~No historical disruption~~

10. **Energy Efficiency** – To the maximum extent reasonably practicable, proposals shall utilize energy-efficient technology and renewable energy resources and shall adhere to the principles of energy-conscious design with regard to orientation, building materials, shading, landscaping and other elements. \_\_\_\_\_

~~All buildings shall meet or exceed codes~~

11. **Landscape** - The landscape should improve the character and appearance of the surrounding area and parking areas should be located to the side or rear of buildings when reasonably possible.

~~A nice mix of Hybrid Poplar, Thuja Arborvitae~~

~~and multi colored Rose Of Sharon thruout buildings~~

**SEE ADDENDA ATTACHED FOR INSTRUCTIONS TO ASSIST IN COMPLETING APPLICATION.**

To: Planning Board  
From: Council Advisory Committee  
Subject: Highland Village Condominiums  
Date: 18 September 2017

Dear Board Members:

Please be advised the Committee entertained the above- named subject on two occasions in 2016. After a lengthy presentation, and discussion, it was voted to endorse the proposal and support the development. The development support was based on the following:

It meets the objective of the Committee and it's charge under the Council, which is to support and encourage "...quality development that provides economic benefit to the community at minimum impact and is aesthetically enhancing."

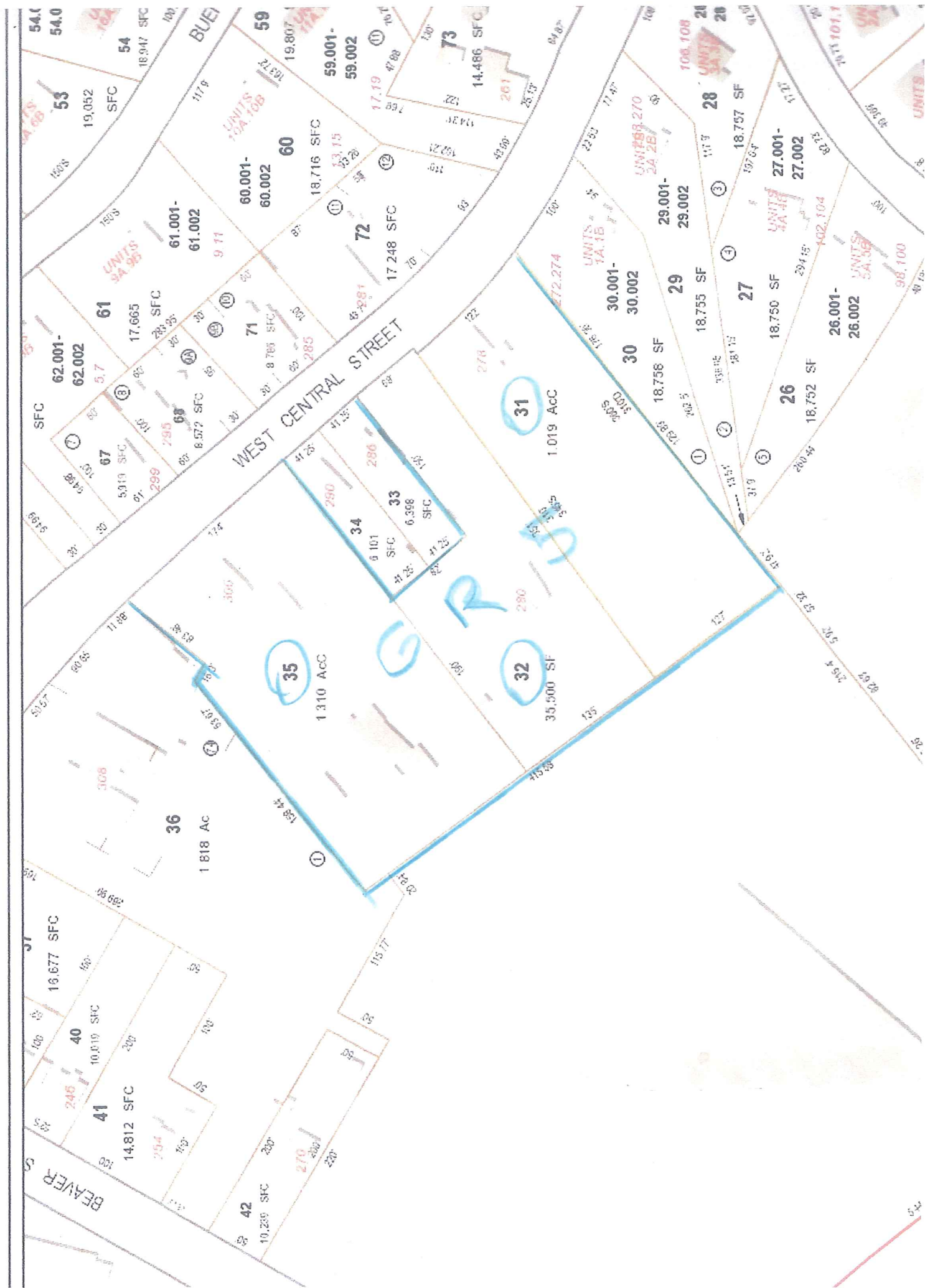
The location (arterial roadway/state highway) and improvement to the existing site, as well as an aspect of needed housing, and projected financial benefit, as alluded to above, all are testament to the decision of the Committee, and we ask that you respectfully consider this recommendation in your deliberations.

The Committee is at your disposal should you require or desire any additional information.

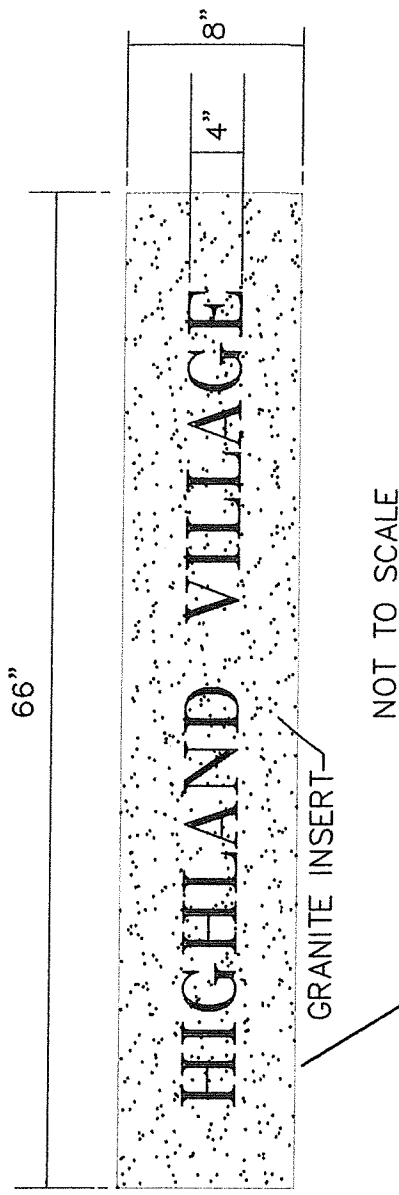
Yours truly,

L.P. Benedetto, Chairman  
Council Advisory Committee





F-3988



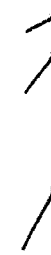
APPLICANT  
JOEL D'ERRICO  
72 DEERVIE WY  
FRANKLIN, MA 02038

SIGN DESIGN  
HIGHLAND VILLAGE  
278, 280, & 300 WEST  
CENTRAL STREET  
IN  
FRANKLIN  
MASSACHUSETTS

F3988

K:\F398\11-88-DESIGN-color.dwg, 10/10/2017 2:27:31 PM

JOB NO.  
**F3988**



**Guerriere  
&  
Halnon, Inc.**

Ph. (508) 528-3221  
Fx. (508) 528-7921

Engineering & Land Surveying  
55 WEST CENTRAL STREET  
FRANKLIN, MA 02038

[www.guerriereandhalnon.com](http://www.guerriereandhalnon.com)

APPLICANT  
JOEL D'ERRICO  
72 DEERVIEW WAY  
FRANKLIN MA 02038

## Highland Village

Franklin MA – proposed site



300 West Central Street- to be razed



278 West Central Street





280 West Central Street- to be razed

## Highland Village

Franklin, MA.- abutting properties



108, 268, 270, 272, 274

Typical Units 98, 100, 102, 104, 106,



286 West Central Street (left)

290 West Central Street (right)



## Highland Village

Franklin, MA.- abutting properties



308 West Central Street



308 West Central Street



## Highland Village

Franklin, MA.- properties across West Central Street



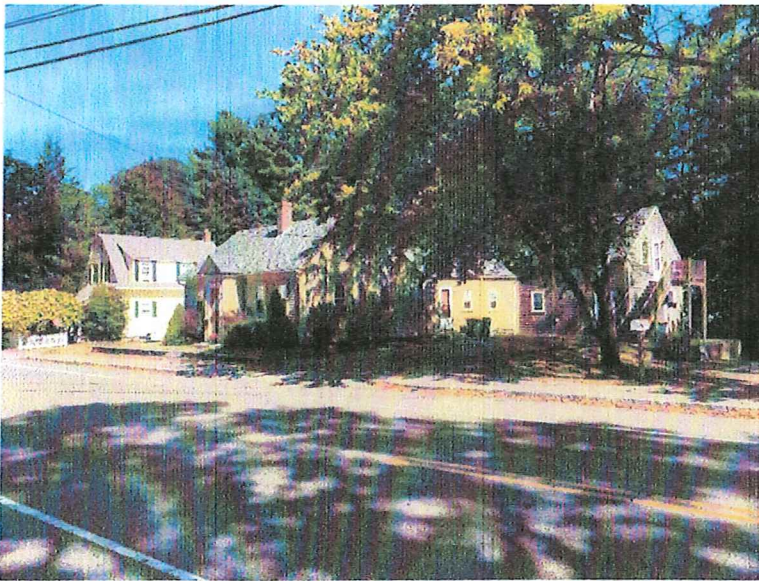
295 West Central Street



299 West Central Street



285 West Central Street



281 West Central Street



## Highland Village

Franklin, MA.- abutting properties to the rear of site



290 Beaver Street

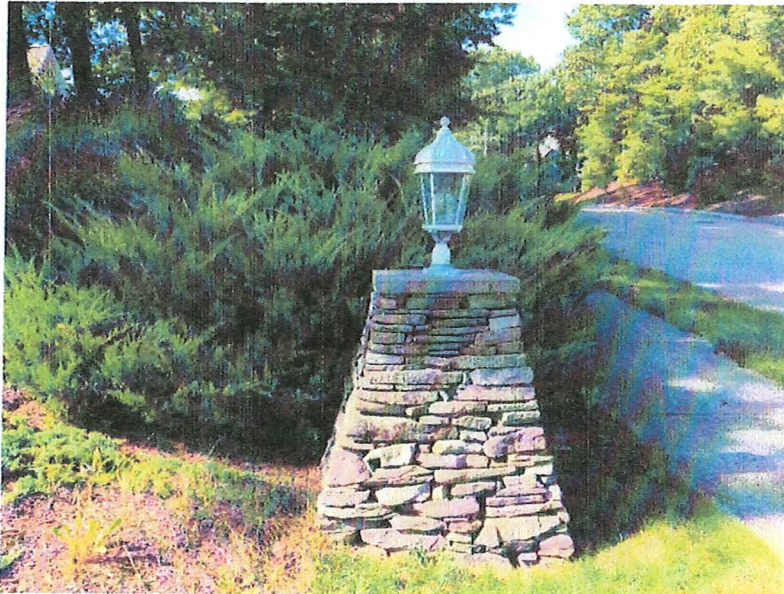


90 Hayward Street

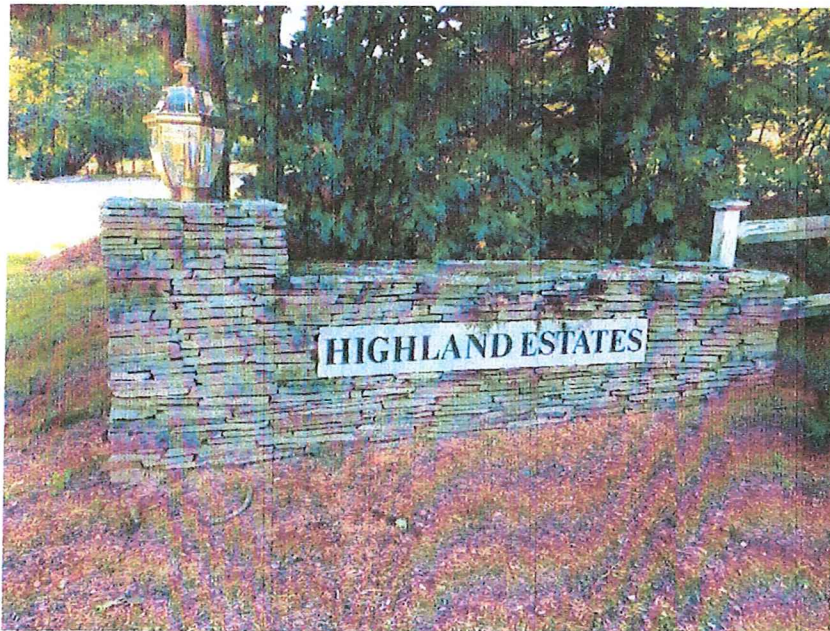


## Highland Village

### Franklin MA – Examples of entrances



Proposed stone entrance with  
coach lighting



Proposed signage for entrance  
and exit

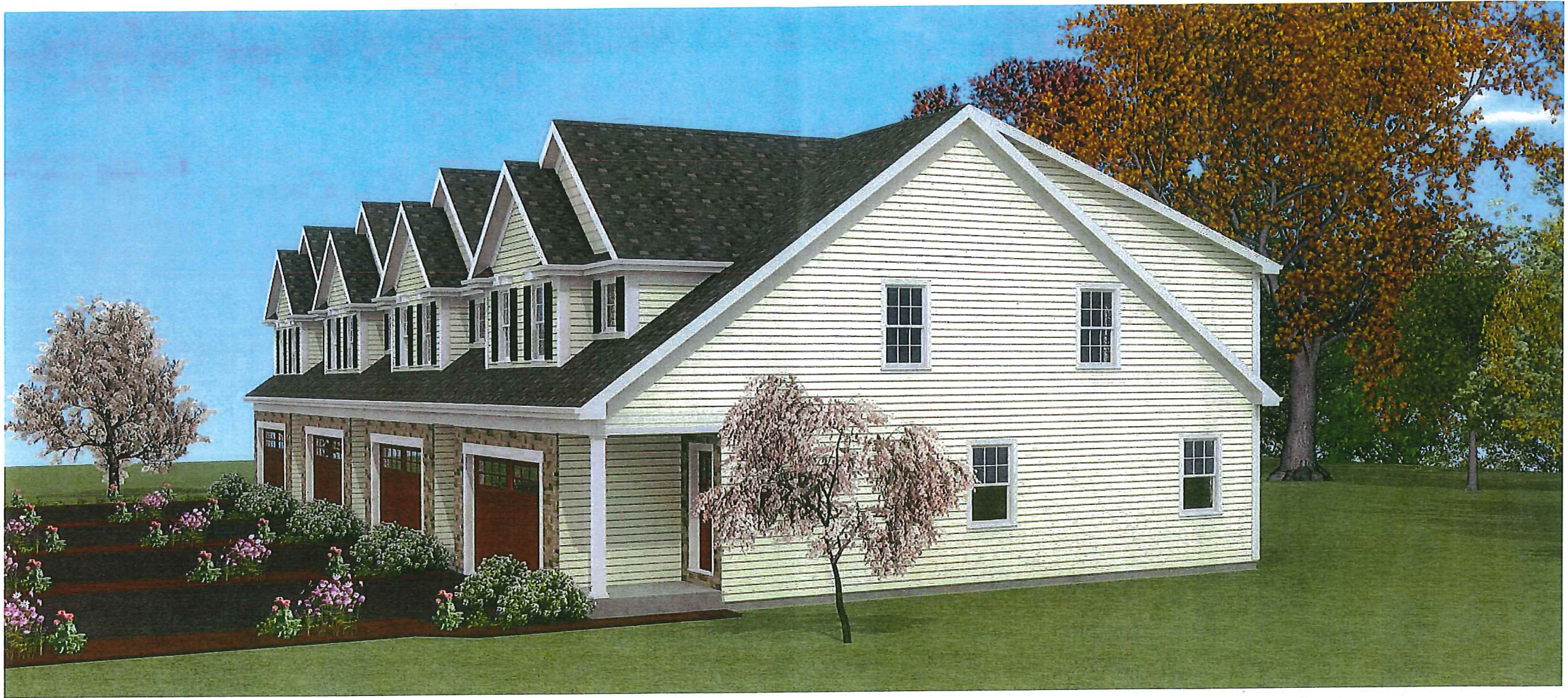




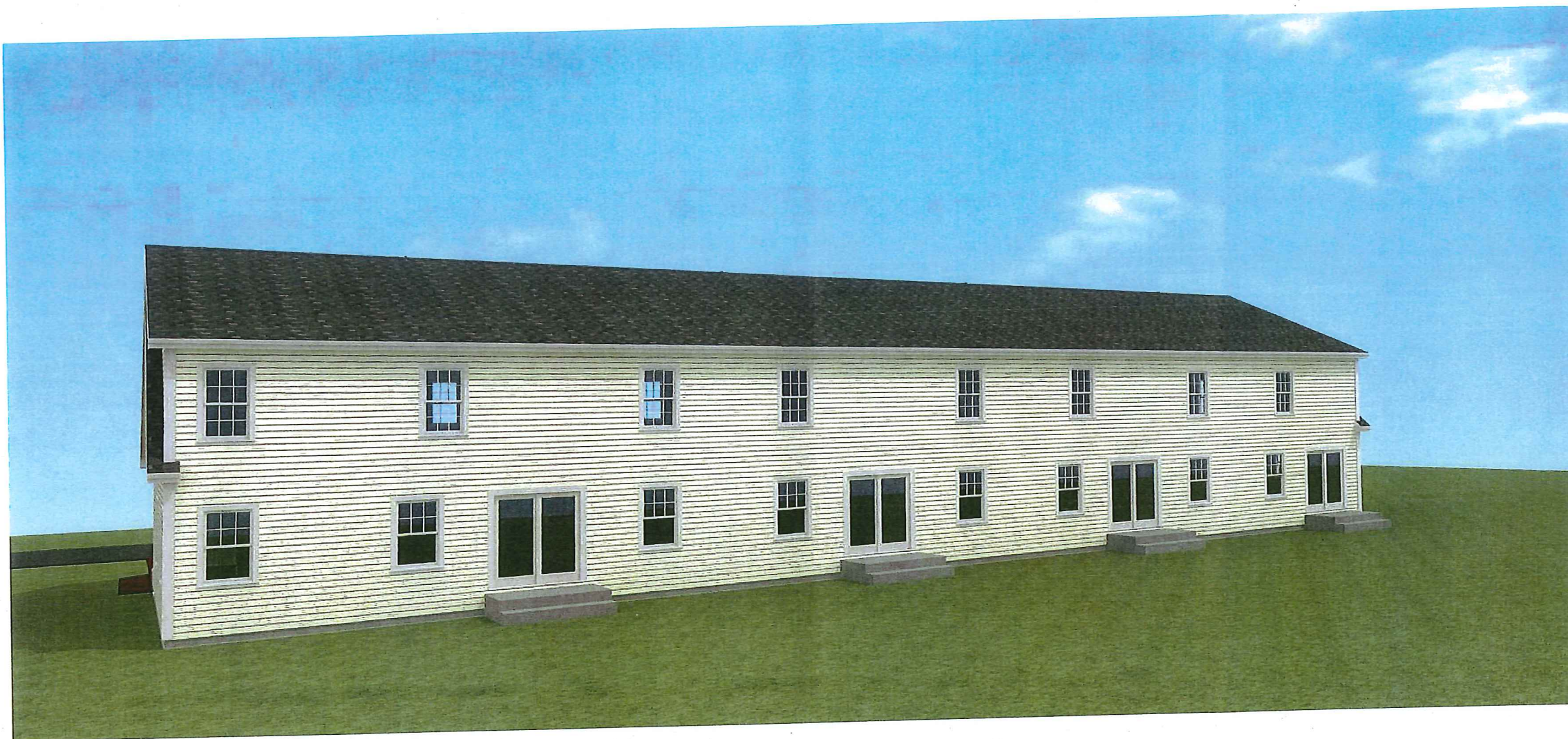




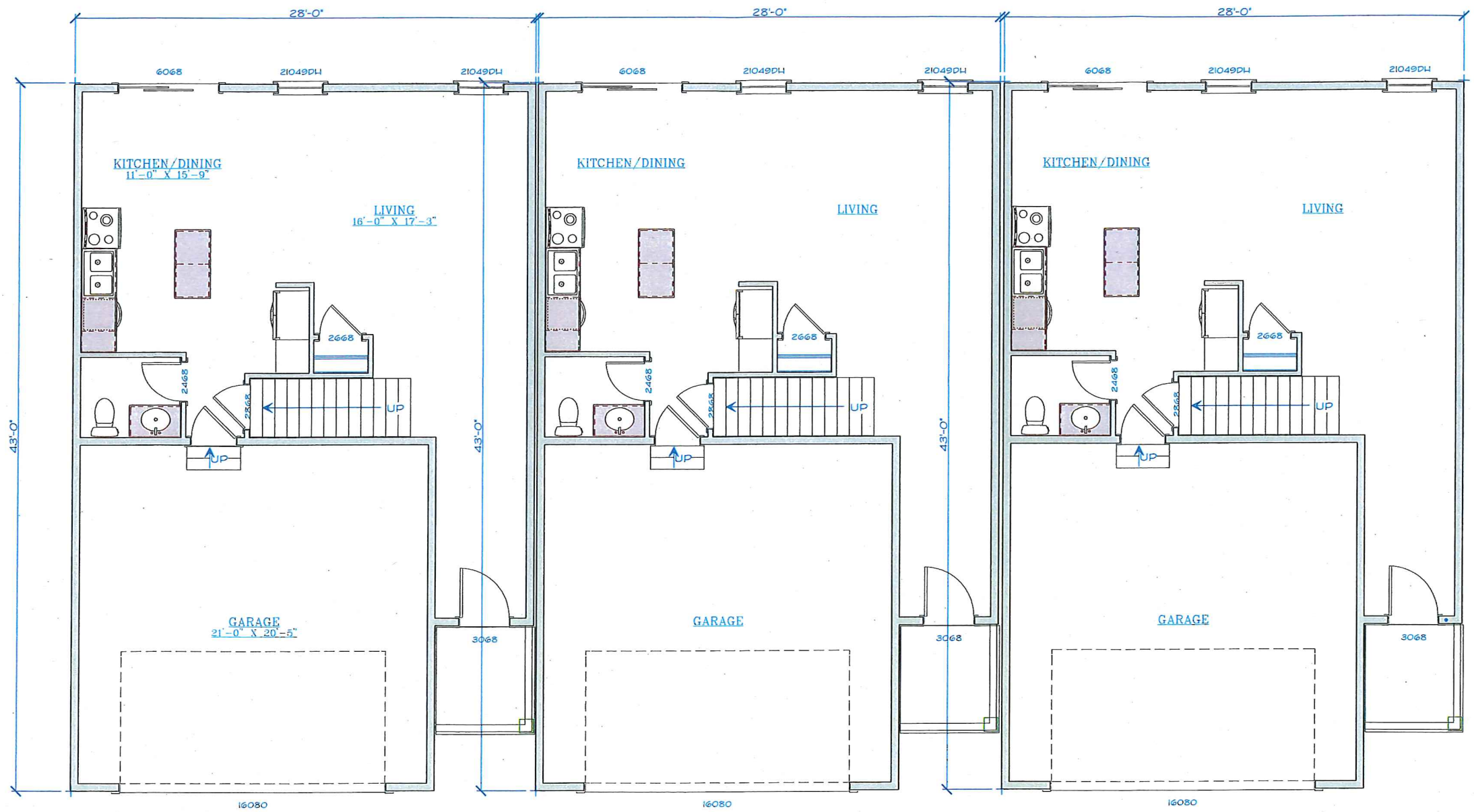


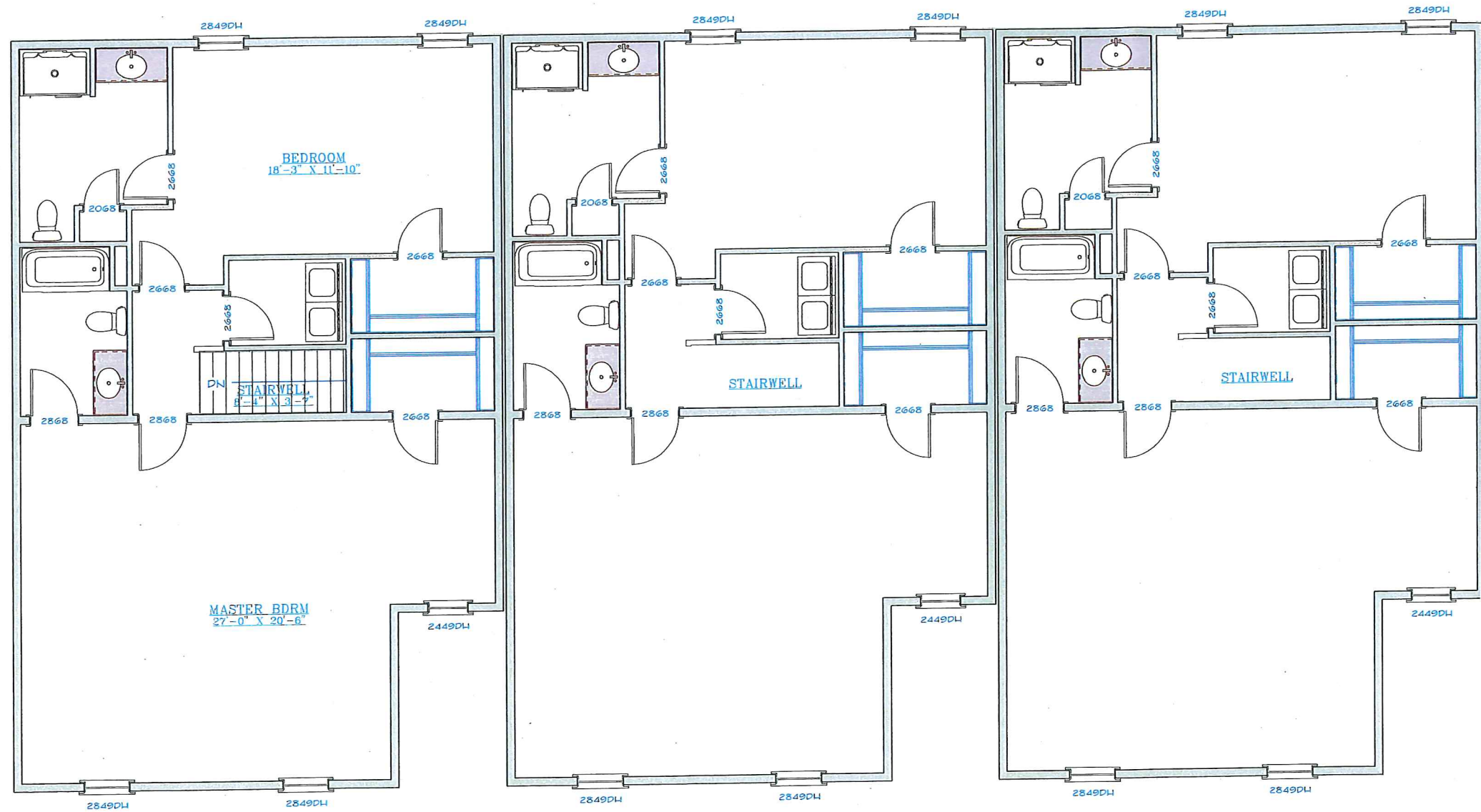




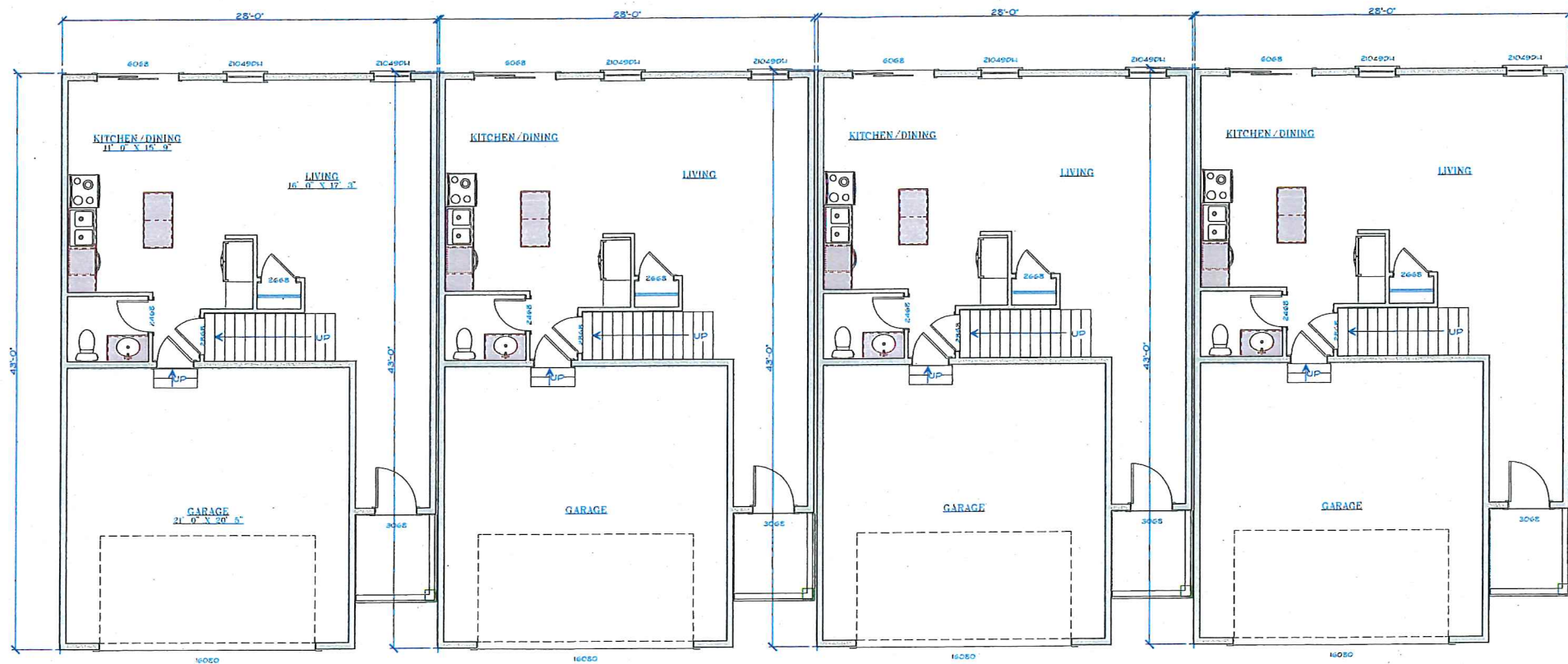


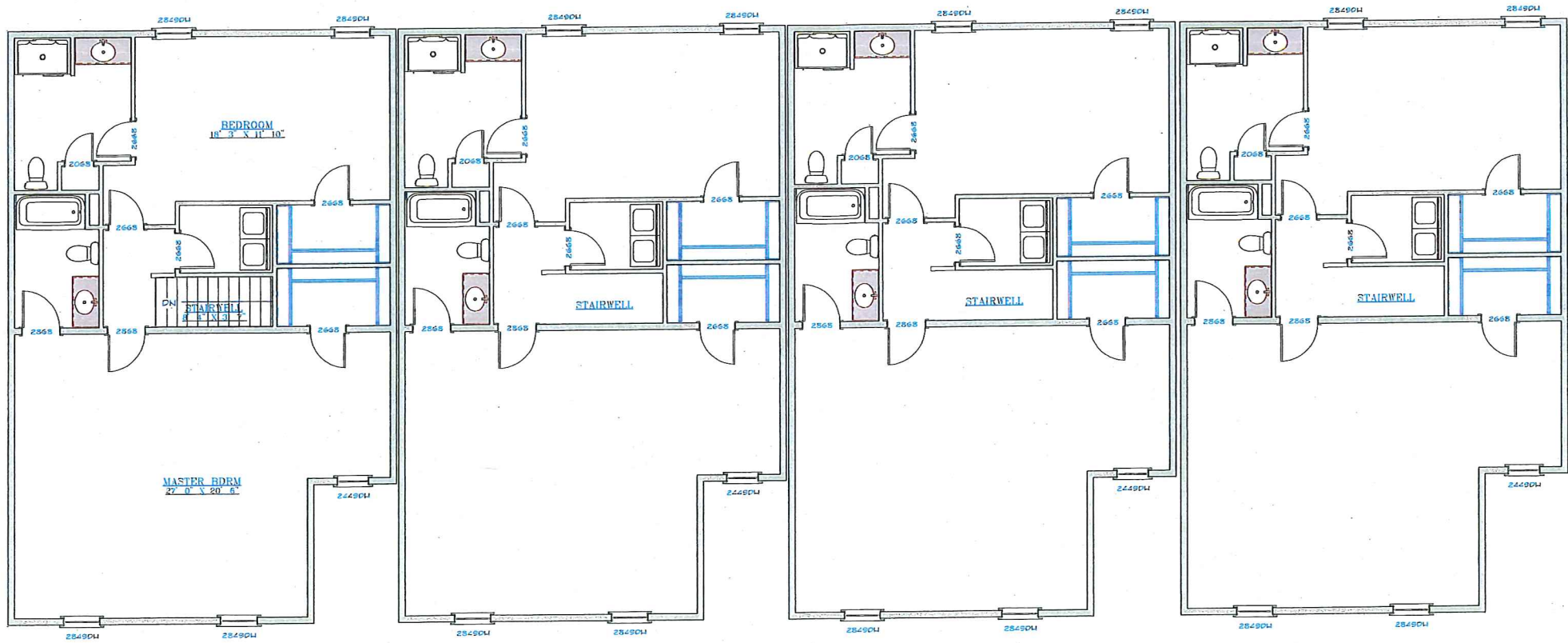










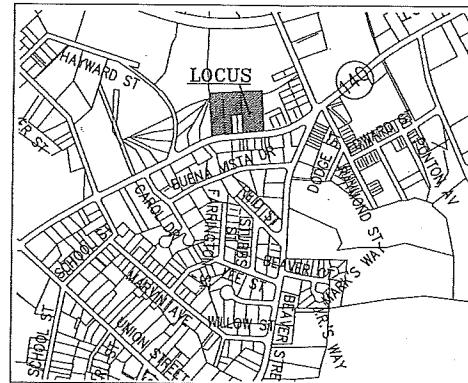


SITE PLAN  
HIGHLAND VILLAGE  
278-300 WEST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

INDEX

1. COVER SHEET
2. EXISTING CONDITIONS
3. PROPOSED LAYOUT
4. PROFILE
5. DEMOLITION & EROSION  
CONTROL PLAN
6. PROPOSED GRADING &  
DRAINAGE
7. PROPOSED UTILITIES
8. PROPOSED LANDSCAPING
9. PHOTOMETRIC PLAN
10. AUTOTURN FOR FIRE TRUCK
- 11-13 CONSTRUCTION DETAILS

ARCHITECTURAL PLANS



VICINITY MAP  
1"=500'

APPLICANT  
JOEL D'ERRICO  
72 DEERVIEW WAY  
FRANKLIN, MA 02038

ARCHITECT  
MICHAEL J. KONOSKY ASSOCIATES  
842 UPPER UNION STREET  
FRANKLIN, MA. 02038

LOCUS:

280 WEST CENTRAL STREET  
JOEL D'ERRICO  
A.M. 278 LOT 32  
DEED BK 33822 PG 200

300 WEST CENTRAL STREET  
JOEL D'ERRICO  
A.M. 278 LOT 35  
DEED BK 33822 PG 200

278 WEST CENTRAL STREET  
DOUBLE J DEVELOPMENT LLC  
A.M. 278 LOT 31  
DEED BK. 29771 PG. 94

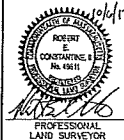
UTILITIES ARE PLOTTED AS-A COMPILED OF RECORD DOCUMENTS (DUG) AND OTHER OBSERVED EVIDENCE TO DEVELOP A PLAN OF UNDERGROUND UTILITIES AND SHOULD BE CONSIDERED AN APPROXIMATE LAYOUT. EXCAVATION, THE EXCAVATION OF UNDERGROUND FEATURES SHALL BE CONDUCTED CAREFULLY AND RELIABLE DEPICTION OF UTILITIES NOT EVIDENCED BY RECORD DOCUMENTS OR OBSERVED PHYSICAL EVIDENCE MAY EXIST. CONSTRUCTION IN ACCORDANCE WITH MASSACHUSETTS REGULATION 800 CMR 24.00 (AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL BEFORE AT (800) 255-SAFE (7233).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

NO. F3988

APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE:  
BEING A MAJORITY



APPLICANT  
JOEL D'ERRICO  
72 DEERVIEW WAY  
FRANKLIN, MA 02038

REVISIONS

DATE	REVISED



SITE PLAN  
HIGHLAND VILLAGE  
278-300 WEST CENTRAL STREET  
FRANKLIN  
MASSACHUSETTS

COVER

DATE SEPTEMBER 26, 2017	SCALE AS NOTED
SHEET 1 OF 13	JOB NO. F3988

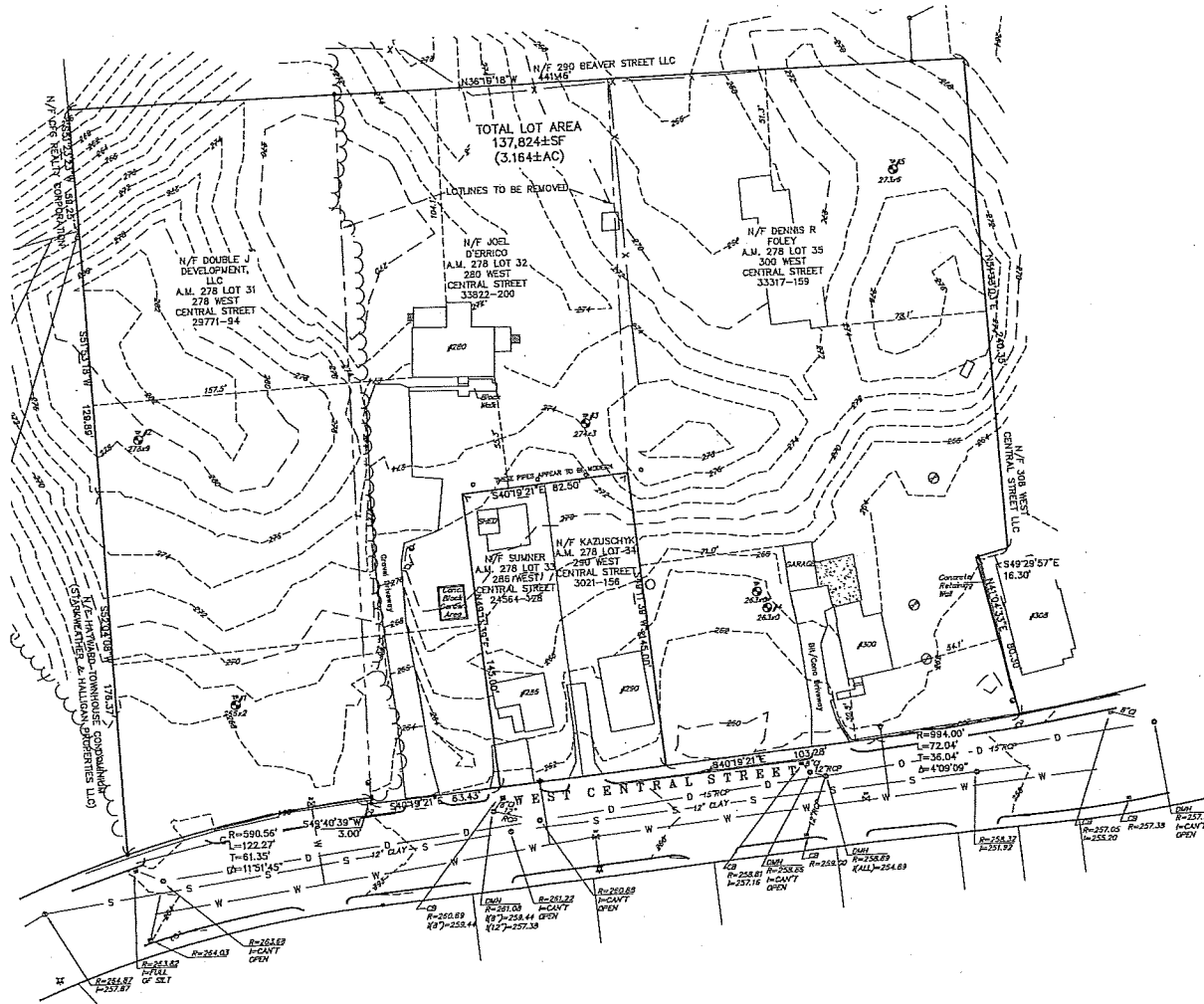


MIN. LOT AREA	10,000 SF
MIN. LOT FRONTAGE	100 FT
MIN. LOT DEPTH	100 FT
MIN. LOT WIDTH	90 DIA
MAX HEIGHT	40 FT
MAX. STORIES	3
IMPERV. COVERAGE	35%

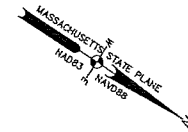
FRONT	20 FT
SIDE	15 FT
REAR	20 FT

1. THIS SITE IS NOT IN A FLOOD HAZARD ZONE.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD. ANY DISCREPANCY WITH THE PLANS SHOULD BE REPORTED TO THE DESIGN ENGINEER UPON DISCOVERY.
3. CONTRACTOR & ARCHITECT SHALL VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
4. REFER TO FRANKLIN ASSESSORS MAP 278 LOTS-31,32 AND 35.
5. THERE ARE NO TREES DESIGNATED AS "PUBLIC SHADED TREES" ON THIS SITE TO BE REMOVED FOR THE SITE PLAN.
6. THIS SITE IS NOT IN A WATER RESOURCE DISTRICT.

266.2	TP 1 SANDY LOAM 10% S/G	0"-18"	278.9	TP 2 SANDY LOAM 10% S/G	0"-12"
254.2	SANDY LOAM 10% S/G	18"-44" 8	277.8	SANDY LOAM 10% S/G	12"-18"
262.54	SAND MUD GRAY 2.5% S/G	44"-132" C-1	277.4	SANDY LOAM 10% S/G	8"
255.2	LOAMY SAND NO GRAVEL	132"-180" C-2	274.4	SAND MUD TO COARSE 10% GRAVEL 2.5% S/G	18"-216"
251.2			260.9	LOAMY SAND 2% GRAVEL	C-1 C-2
274.3	TP 3 SANDY LOAM 10% S/G	0"-8" 8	258.9	NO GW NO MOTTLES	
273.64	SANDY LOAM 10% S/G	8"-24" 8	263.0	TP 4 SANDY LOAM 10% S/G	0"-12"
272.3	SAND MUD GRAY 2.5% S/G	24"-192" C-1	262.0	SANDY LOAM 10% S/G	12"-44" 8
	MUD TO COARSE 2.5% S/G		259.67	SANDY LOAM 10% S/G	
258.3	NO GW NO MOTTLES		255.0	SAND MUD GRAY 2% GRAVEL 2.5% S/G	44"-98" C-1
273.6	TP 5 SANDY LOAM 10% S/G	0"-18"	251.17	SANDY LOAM COARSE 2.5% S/G	56"-142" C-1 142"-192"
272.27	SANDY LOAM 10% S/G	16"-32" 8	247.0	NO GW NO MOTTLES	
270.54	SANDY LOAM 10% S/G	32"-84" C-1			
268.8	SAND MUD GRAY 2.5% S/G	84"-102" C-2			
265.1	SAND 2% GRAVEL	102"-192"			
257.6					



UTILITIES ARE PLOTTED AS A COMPARISON OF RECORD DOCUMENTS ~~ON~~ <sup>AND</sup> OTHER OBSERVED EVIDENCE TO DEVELOP ~~THE~~ <sup>THE</sup> MOST APPROPRIATE LADING SHOULD ~~BE~~ <sup>BE</sup> THE EXACT ~~OF~~ <sup>OF</sup> UNDERGROUND FEATURES CANNOT BE LOCATED COMPLETELY AND RELIABLY DEPICTED. ~~ADDITIONAL~~ UTILITIES NOT EVIDENCED BY RECORD DOCUMENTS ~~SHOULD~~ <sup>SHOULD</sup> BE LOCATED IN ACCORDANCE WITH ANY EXIST. ~~CENTRAL~~ <sup>CENTRAL</sup> RECORDS. ~~AS~~ <sup>AS</sup> AMENDED MUST CONTACT ALL UTILITIES COMPANIES BEFORE EXCAVATING AND DRILLING AND CALL ~~800-451-7233~~ <sup>1-800-451-7233</sup>.



JOB NO. F3988

APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_  
BEING A MAJORITY

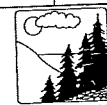


PROFESSIONAL  
LAND SURVEYOR

PROFESSIONAL  
ENGINEER

APPLICANT  
JOEL D'ERRICO  
72 DEERVIEW WAY  
FRANKLIN, MA 02038

DATE	REVISED
------	---------

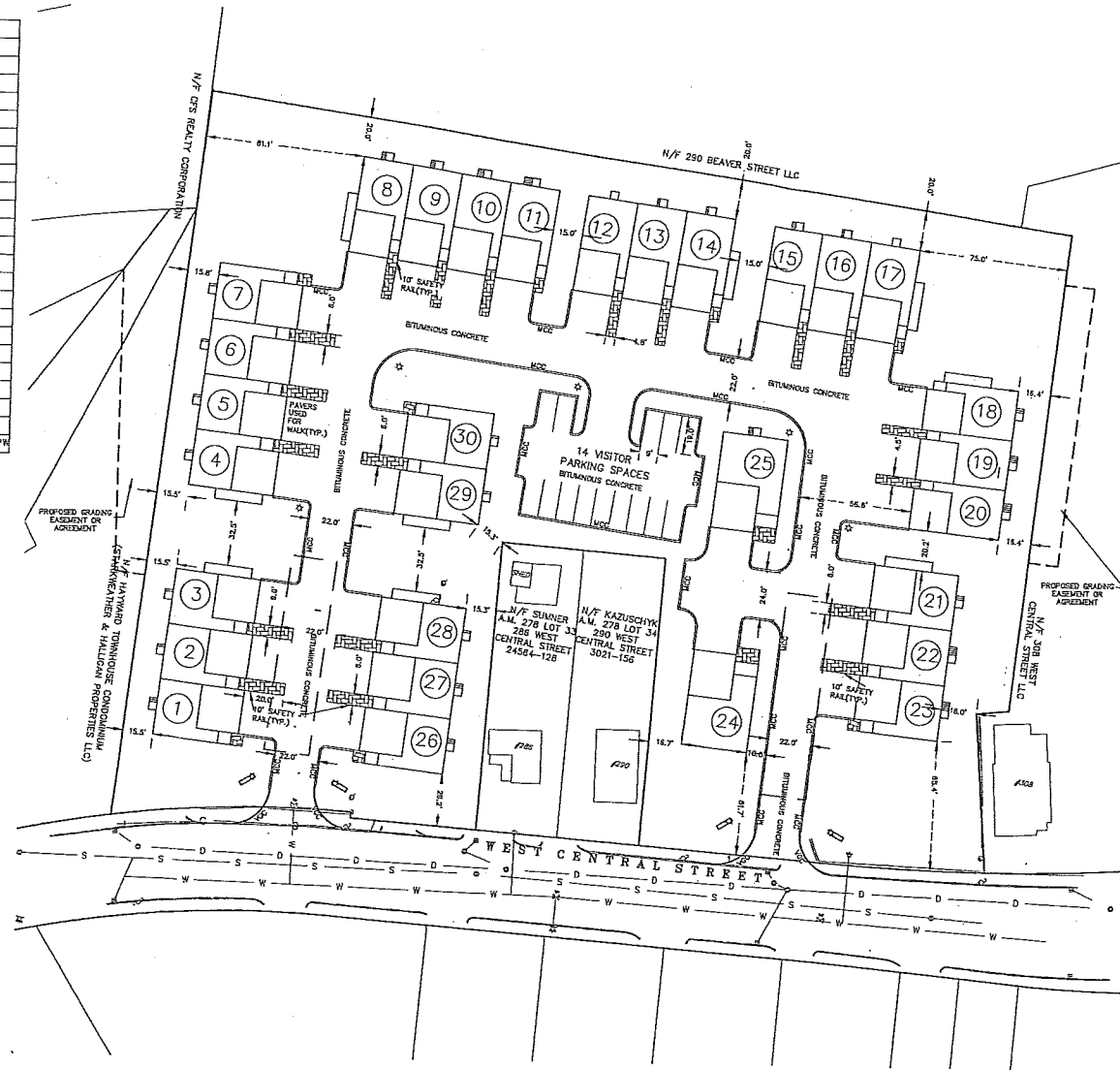


 **Guerriere  
&  
Halnon, Inc.**  
Engineering & Land Surveying  
55 WEST CENTRAL STREET  
FRANKLIN, MA 02038  
Ph. (508) 528-3221  
Fx. (508) 528-7921  
[www.guerriereandhalnon.com](http://www.guerriereandhalnon.com)

HIGHLAND VILLAGE  
278-300 WEST CENTRAL STREET  
FRANKLIN  
MASSACHUSETTS

DATE SEPTEMBER 26, 2017	SCALE 1"=30'
SHEET 2 OF 13	JOB NO. F3988

LEGEND	
A.M.	ASSESSOR'S MAP
N/F	NOW OR FORMERLY
UP#	UTILITY POLE
⊙	EXISTING SEWER MANHOLE
⊕	EXISTING WATER VALVE
⊕	PROP FIRE HYDRANT
⊕	EXISTING UTILITY POLE
⊕	EXISTING CATCHBASIN
⊕	PROPOSED DRAIN MANHOLE
---	EXISTING TREELINE
000.00	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
S	EXISTING SEWERLINE
W	EXISTING WATERLINE
G	EXISTING GASLINE
OW	EXISTING OVERHEAD WIRE
---	EXISTING CONCRETE
H	HANDICAP SPACE
(#)	EXISTING NUMBER OF SPACES
EP	EDGE OF PAVEMENT
GC	GRANITE CURB
ER	EXISTING RAMP
P.R.	PROPOSED RAMP
⊕	PARKING RECOMMENDED BY DPW

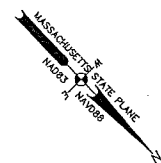


### GENERAL RESIDENTIAL V

	REQUIRED	PROPOSED
MIN. LOT AREA	10,000 SF	137,824 SF
MIN. LOT FRONTAGE	100 FT	361.02 FT
MIN. LOT DEPTH	100 FT	240 FT
MIN. LOT WIDTH	90 DIA	177 FT
MAX HEIGHT	40 FT	30 FT
MAX. STORIES	3	3
IMPVY. COVERAGE	35%	54.8% (75,498±SF)

MIN. YARD SETBACKS		
FRONT	20 FT	26.2 FT
SIDE	15 FT	15.3 FT
REAR	20 FT	20.0 FT
15 FT. MINIMUM DISTANCE BETWEEN BUILDINGS		

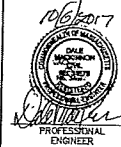
UNIT DIMENSIONS	
UNITS 1-7, 26-30, 21-23	28' X 43'
UNITS 8-17	25' X 48'
UNITS 18-20	25' X 48'
UNITS 24,25	33' X 48'



APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_

BEING A MAJORITY



APPLICANT  
JOEL D'AMICO  
72 DEERVIEW WAY  
FRANKLIN, MA 02038

REVISIONS	
DATE	REVISED

**Guerriere & Halnon, Inc.**  
Engineering & Land Surveying  
PH. (508) 528-3221 55 WEST CENTRAL STREET  
FR. (508) 528-7821 FRANKLIN, MA 02038  
www.guerriererandhalnon.com

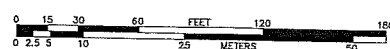
SITE PLAN FOR  
HIGHLAND VILLAGE  
278-300 WEST CENTRAL STREET  
IN  
FRANKLIN  
MASSACHUSETTS  
SITE LAYOUT

DATE: SEPTEMBER 26, 2017 SCALE: 1"=30'

SHEET: 3 OF 13 JOB NO. F3988

**DIG SAFE NOTE:**  
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL 1(888)229-SAFE "D-G-SAFE" AT 1(888)344-7233

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



SCHEDULE OF SEWER SERVICES			
UNIT #	8" DIA. IN. MAIN	LENGTH OF PIPE TYPICAL SERVICE SLOPE - 2% MIN.	INVERT
# 1	261.40	11.4'	261.50
# 2	261.27	11.4'	261.50
# 3	261.14	11.4'	261.50
# 4	259.12	32.7'	261.50
# 5	258.68	32.7'	259.75
# 6	259.64	32.7'	259.50
# 7	258.41	32.7'	258.25
# 8	258.17	45.0'	258.50
# 9	258.02	45.0'	259.25
# 10	257.78	45.0'	259.00
# 11	257.55	45.0'	258.75
# 12	257.13	45.0'	258.25
# 13	255.87	45.0'	258.00
# 14	256.61	45.0'	257.75
# 15	258.15	45.0'	257.50
# 16	258.68	45.0'	257.25
# 17	255.69	45.0'	257.00
# 18	255.44	26.8'	255.75
# 19	255.25	26.8'	255.50
# 20	255.02	26.8'	255.25
# 21	254.55	12.3'	255.25
# 22	254.21	12.3'	255.00
# 23	253.97	12.3'	254.75
# 24	260.35	53.3'	262.00
# 25	260.39	12.1'	261.00
# 26	260.91	21.5'	261.50
# 27	260.24	21.5'	261.50
# 28	259.97	21.5'	261.50
# 29	259.12	35.1'	259.50
# 30	258.88	32.7'	259.75

- ALL SEWER PIPES LESS THAN 5' COVER SHALL BE INSULATED

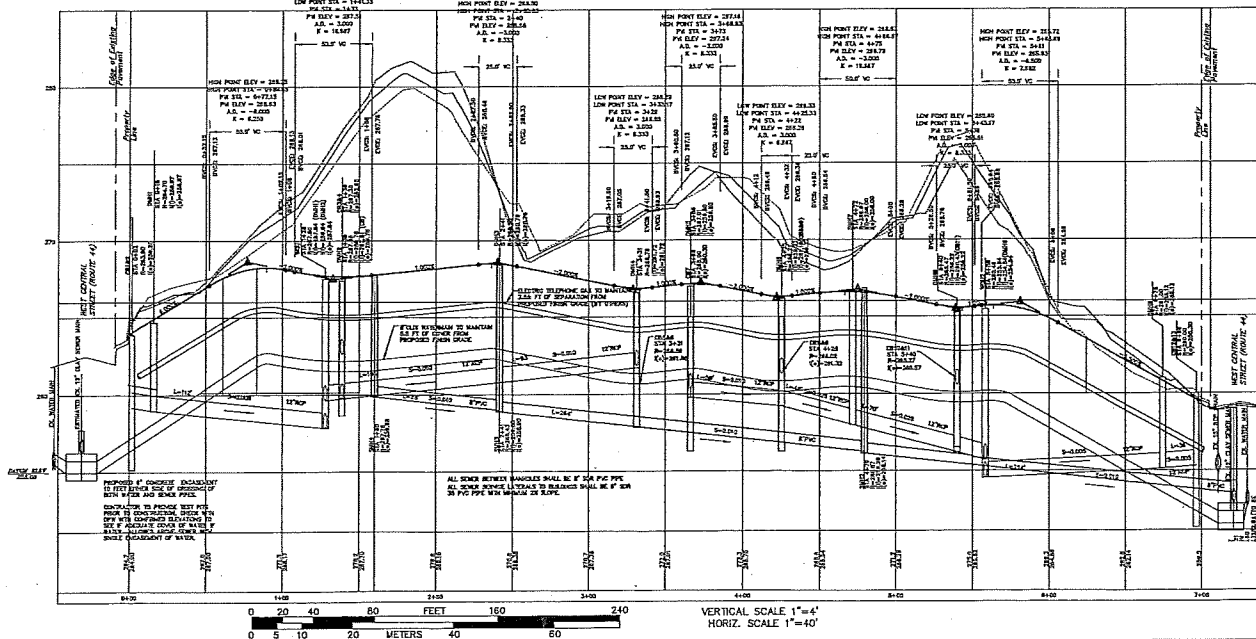
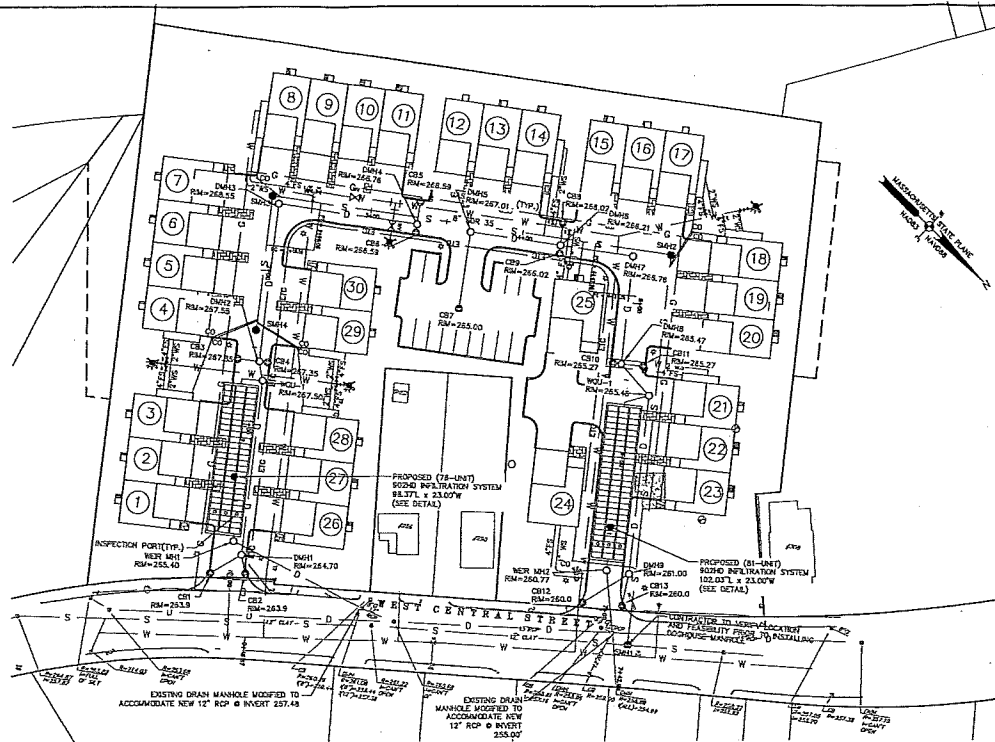
## LEGEND

A.M.	ASSESSOR'S MAP
N/F	NOW OR FORMERLY
UP#	UTILITY POLE
⊙	EXISTING SEWER MANHOLE
⊙	EXISTING WATER VALVE
⊙	PROP. FIRE HYDRANT
⊙	EXISTING UTILITY POLE
⊙	EXISTING CATCHBASIN
⊙	PROPOSED DRAIN MANHOLE
---	EXISTING TREELINE
000.00	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
S	EXISTING SEWERLINE
W	EXISTING WATERLINE
G	EXISTING GASLINE
OW	EXISTING OVERHEAD WIRE
---	EXISTING CONCRETE
⊙	HANDICAP SPACE
(H)	EXISTING NUMBER OF SPACES
EP	EDGE OF PAVEMENT
GC	GRANITE CURB
ER	EXISTING RAMP
P.R.	PROPOSED RAMP
⊙	PARKING RECOMMENDED BY DPW



**DIG SAFE NOTE:**  
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT SHOWN OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONSIDERATIONS ON ACCORDANCE WITH MASSACHUSETTS CHAPTER 27B, SECTION 49 AS AMENDED MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL (800) 368-5848 "DIG-SAFE" AT (617) 394-7233

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



JOB NO. F3988

APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_  
BEING A MAJORITY



APPLICANT  
JOEL D'ERRICO  
72 DEERVIEW WAY  
FRANKLIN, MA 02038

## REVISIONS

DATE	REVISED



SITE PLAN FOR  
HIGHLAND VILLAGE  
278-300 WEST CENTRAL  
STREET  
IN  
FRANKLIN  
MASSACHUSETTS

## PROFILE

DATE SEPTEMBER 26, 2017	SCALE 1"=40'
SHEET 4 OF 13	JOB NO. F3988



LEGEND	
A.M.	ASSESSOR'S MAP
N/F	NOW OR FORMERLY
UP#	UTILITY POLE
⊙	EXISTING SEWER MANHOLE
⊙	EXISTING WATER VALVE
⊙	PROP FIRE HYDRANT
⊙	EXISTING UTILITY POLE
⊙	EXISTING CATCHBASIN
⊙	PROPOSED DRAIN MANHOLE
---	EXISTING TREELINE
000.04	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
---	EXISTING SEWERLINE
---	EXISTING WATERLINE
---	EXISTING GASLINE
---	EXISTING OVERHEAD WIRE
---	EXISTING CONCRETE
⊙	HANDICAP SPACE
(H)	EXISTING NUMBER OF SPACES
EP	EDGE OF PAVEMENT
GC	GRANITE CURB
ER	EXISTING RAMP
P.R.	PROPOSED RAMP
⊙	PARKING RECOMMENDED BY DPW

GENERAL EROSION CONTROL  
AND DRAINAGE CONSTRUCTION PHASING

1. INSTALL EROSION CONTROL DEVICES ALONG PERIMETER OF SITE.
2. INSTALL CONSTRUCTION ENTRANCE.
3. SITE TO BE CLEARED AND GRUBBED.
4. INSTALL RETAINING WALLS.
5. INSTALLED SLOPE MATING TO STABILIZE SLOPES (IF APPLICABLE)
6. INSTALL CONSTRUCTION ENTRANCE.
7. INSTALL TEMPORARY SEDIMENT BASIN.
8. INSTALL TEMPORARY DIVERSION SWALES AND DIRECT THEM TO THE SEDIMENT BASIN.
9. INSTALL DRAINAGE MANHOLES AND CATCHBASINS AND ENSURE TEMPORARY COVER IS IN PLACE.
10. INSTALL SUBSURFACE INFILTRATION SYSTEMS AND WATER QUALITY UNIT.
11. INSTALL ALL DRAINAGE RISERS, GRATES AND COVERS
12. REMOVE CONSTRUCTION ENTRANCES.
13. INSTALL ROAD UP TO BINDER FINISH GRADE.
14. REMOVE TEMPORARY DIVERSION SWALES AND SEDIMENTATION BASINS AFTER SITE HAS BEEN STABILIZED AND PREPARED FROM BUILDING FOUNDATION INSTALLATION.
15. REMOVE PERIMETER EROSION CONTROL DEVICES ONCE SITE CONSTRUCTION IS COMPLETE.

NOTES:

1. SPECIAL CONSIDERATION FOR INLET CONTROLS FOR EROSION COLLECTION BEFORE ENTERING DRAINAGE SYSTEM.
2. INSTALL SILT SACKS.
3. BARRIER AROUND CATCH BASIN, MULCH SOCK OR EQUAL.
4. INSTALL FILTER FABRIC ON ALL DRAIN MANHOLE OUTLETS DISCHARGING TO INFILTRATION SYSTEM.
5. INSPECTIONS BEFORE AND AFTER STORM EVENTS ARE REQUIRED TO INSURE ADEQUACY OF EROSION CONTROL MEASURES.
6. ALL EXISTING STRUCTURES TO BE RAZED.
7. STOCK PILE AREA TO BE CONTAINED USING EROSION CONTROL DEVICES
8. DIRT BAG SHALL BE USED TO PERIODICALLY CLEAN THE TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION.

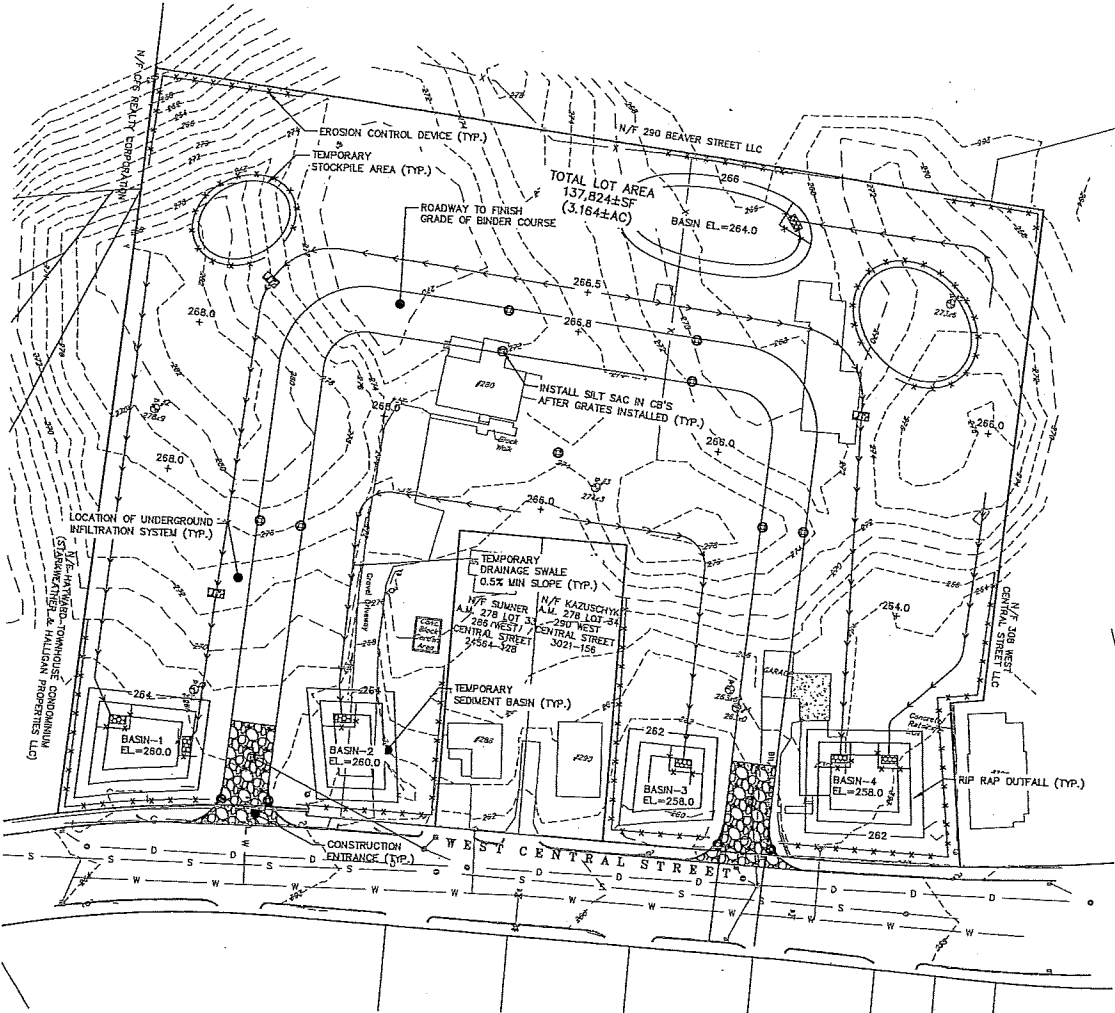


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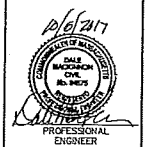
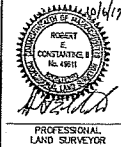
	TRIBUTARY AREA (AC.)	REQUIRED VOLUME (CF)	PROVIDED VOLUME (CF)	WATER LEVEL 10-YR. STORM (EL.)
SEDIMENT TRAP-1	0.77	1,386	4,206	263.46
SEDIMENT TRAP-2	0.60	1,072	4,448	222.45
SEDIMENT TRAP-3	0.48	860	4,237	223.12
SEDIMENT TRAP-4	0.80	1,448	4,237	223.12
SEDIMENT TRAP-5	0.41	738.5	3,690	265.72

NOTE: CALCULATIONS FOR WORMS SEDIMENT BASIN/TRAP VOLUME BASED ON MASSACHUSETTS EROSION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS REPRINTED MAY 2003



JOB NO. F3988

APPROVED DATE:  
FRANKLIN PLANNING BOARD  
  
DATE:  
BEING A MAJORITY



APPLICANT:  
SOL D'ERRICO  
72 BERRYWAY WAY  
FRANKLIN, MA 02038

REVISIONS

DATE	REVISED

**Guerriere & Halnon, Inc.**  
Engineering & Land Surveying  
Ph. (508) 328-3221 25 WEST CENTRAL STREET  
Fr. (508) 328-3921 FRANKLIN, MA 02038  
www.guerriereandhalnon.com

SITE PLAN FOR  
HIGHLAND VILLAGE  
278-300 WEST CENTRAL  
STREET  
IN  
FRANKLIN  
MASSACHUSETTS

EROSION & DEMOLITION  
PLAN  
DATE: SEPTEMBER 26, 2017 SCALE: 1"=30'  
SHEET 5 OF 13 JOB NO. F3988

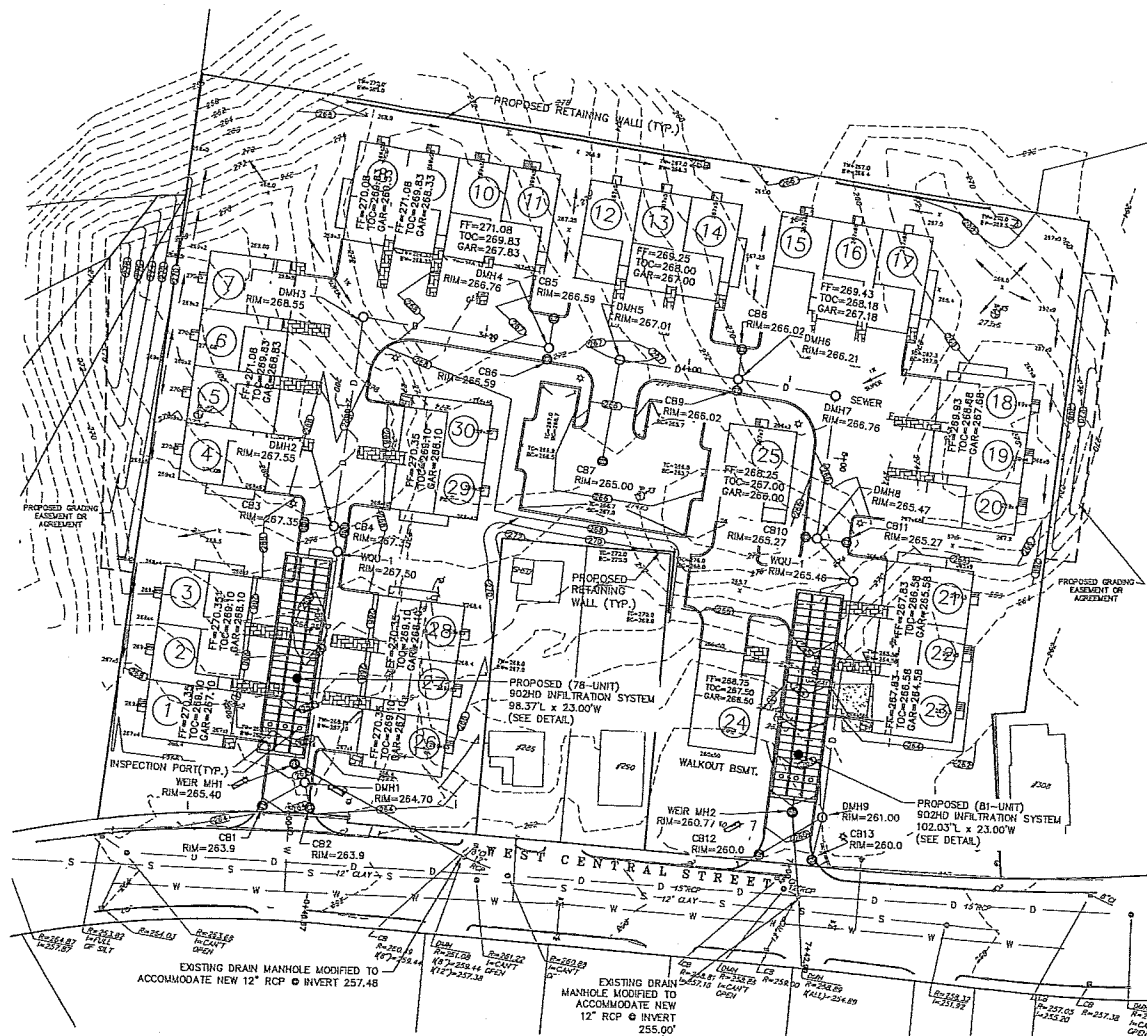
A.M.	ASSESSOR'S MAP
N/F	NOW OR FORMERLY
UP#	UTILITY POLE
⊗	EXISTING SEWER MANHOLE
⊗	EXISTING WATER VALVE
⊗	PROP FIRE HYDRANT
⊗	EXISTING UTILITY POLE
⊗	EXISTING CATCHBASIN
⊗	PROPOSED DRAIN MANHOLE
~~~~~	EXISTING TREELINE
000.00	EXISTING SPOT ELEVATION
—0—	EXISTING CONTOUR
—S—	EXISTING SEWERLINE
—W—	EXISTING WATERLINE
—G—	EXISTING GASLINE
—OHV—	EXISTING OVERHEAD WIRE
—	EXISTING CONCRETE
△	HANDICAP SPACE
(#)	EXISTING NUMBER OF SPACES
EP	EDGE OF PAVEMENT
GC	GRANITE CURB
ER	EXISTING RAMP
P.R.	PROPOSED RAMP
◇	PARKING RECOMMENDED BY DPW

[illegible]

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1. INSTALL CONNECTIONS TO CATCH BASINS, TSS REMOVAL UNIT AND DRAIN MANHOLES.
2. CONTRACTOR & ARCHITECT ARE TO VERIFY SITE UTILITIES PRIOR TO DESIGN & CONSTRUCTION.
- 3.
4. ALL DRAIN PIPES ARE 12" RCP CURB UNLESS OTHERWISE NOTED

1. EACH SUBSURFACE CHAMBER WILL BE INSTALLED SEPARATELY TO DESIGN ELEVATION.
2. INSTALL CONNECTIONS TO CATCH BASINS, TSS REMOVAL UNIT AND DRAIN MANHOLES.
3. EXCAVATE AND INSTALL SUBSURFACE UNIT, BACKFILL W/ STONE MAINTAINING 18"-24" COVER AND AS-BUILT EACH SECTION.



APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_  
BEING A MAJORITY



APPLICANT  
JOEL D'ERRICO  
72 DEERVIEW WAY  
FRANKLIN, MA 02038

DATE	REVISED
------	---------



**Guerriere  
&  
Halnon, Inc.**

*Engineering & Land Surveying*

Ph. (508) 528-3221 35 WEST CENTRAL STREET  
Fx. (508) 528-7921 FRANKLIN, MA 02038

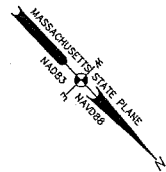
[www.guerriereandhalnon.com](http://www.guerriereandhalnon.com)

SITE PLAN FOR  
HIGHLAND VILLAGE  
278-300 WEST CENTRAL  
STREET  
IN  
FRANKLIN  
MASSACHUSETTS  
GRADING & DRAINAGE

DATE SEPTEMBER 26, 2017	SCALE 1"=30'
SHEET 6 OF 13	JOB NO. F3988

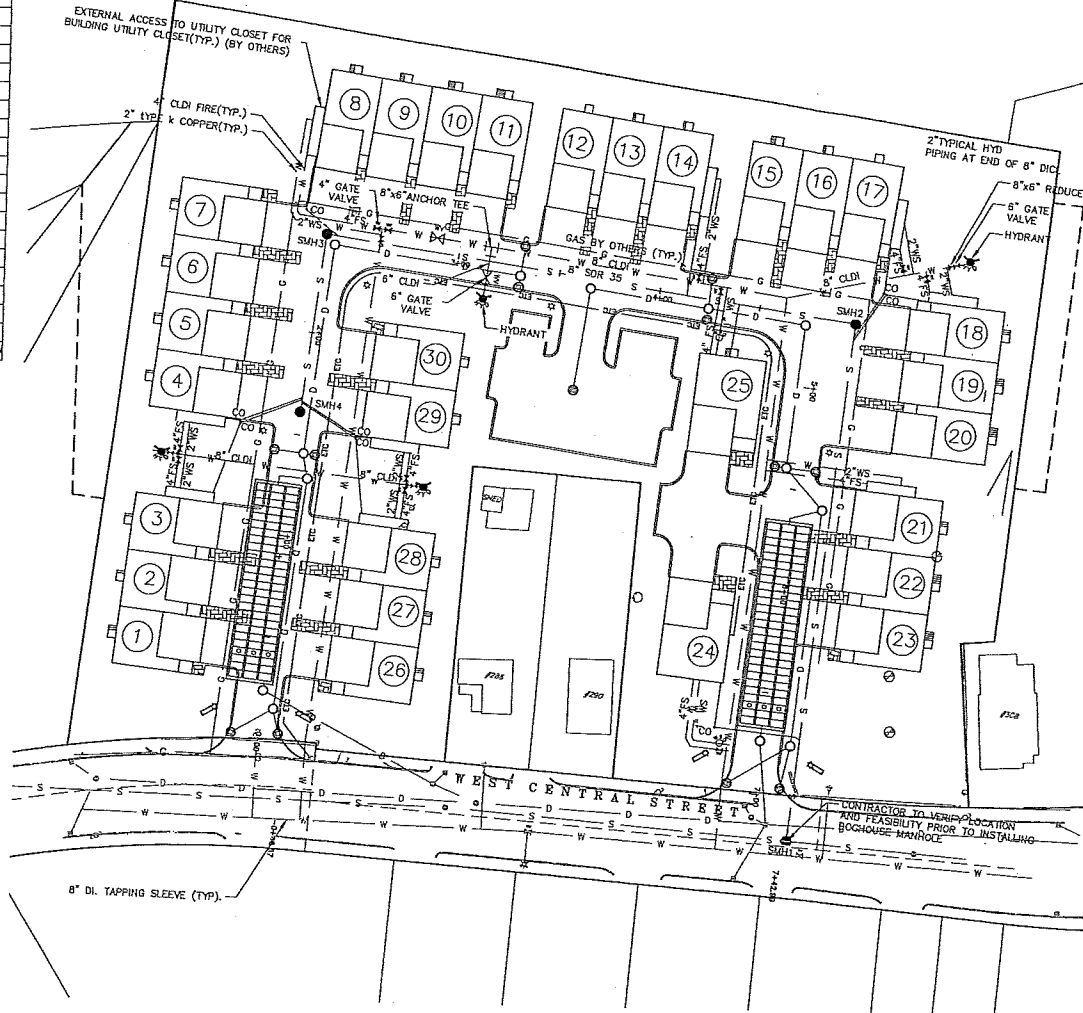
# LEGEND

A.M.	ASSESSOR'S MAP
N/P	NOW OR FORMERLY
UP#	UTILITY POLE
⊙	EXISTING SEWER MANHOLE
⊕	EXISTING WATER VALVE
⊕	PROP FIRE HYDRANT
⊕	EXISTING UTILITY POLE
⊕	EXISTING CATCHBASIN
⊕	PROPOSED DRAIN MANHOLE
⊕	EXISTING TREELINE
⊕	EXISTING SPOT ELEVATION
⊕	EXISTING CONTOUR
⊕	EXISTING SEWERLINE
⊕	EXISTING WATERLINE
⊕	EXISTING GASLINE
⊕	EXISTING OVERHEAD WIRE
⊕	EXISTING CONCRETE
⊕	HANDICAP SPACE
⊕	EXISTING NUMBER OF SPACES
⊕	EDGE OF PAVEMENT
⊕	GRANITE CURB
⊕	EXISTING RAMP
⊕	PROPOSED RAMP
⊕	PARKING RECOMMENDED BY DPW



**DIG SAFE NOTE:**  
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## WATER NOTES

1. ALL PROPOSED WATER LINES TO MAINTAIN A 10' HORIZONTAL SEPARATION FROM SANITARY SEWER LINES OR MAINTAIN A 18" VERTICAL SEPARATION FROM SANITARY SEWER LINES.
2. IN CASES WHERE VERTICAL AND HORIZONTAL SEPARATIONS ARE NOT MET, THE WATER LINE MUST BE ENCASED WITH A DUCTILE IRON SLEEVE OR ENCASED IN CONCRETE.
3. ALL WATER TO BE ABOVE SEWER LINE UNLESS OTHERWISE NOTED, IN THE CASE WHERE THE WATER MAIN LINE IS TO BE INSTALLED BELOW A SANITARY LINE, BOTH UTILITY LINES MUST BE ENCASED.
4. ANY WATER LINE THAT IS LESS THAN 5 FT OF COVER FROM FINISH GRADE SHALL BE INSULATED.
5. PROPOSED WATER MAIN TO HAVE BETWEEN A 5'-7' COVER TO FINISH GRADE.
6. THE WATER MAIN AND SERVICES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE FRANKLIN WATER DEPARTMENT REGULATIONS.
7. ALL WATER MAIN PIPE TO BE CLASS 52, CEMENT LINED, DUCTILE IRON (C.L.D.I.) SIZED AS NOTED. ALL FITTINGS SHALL BE RESTRAINED MECHANICAL JOINT.
8. VALVES, HYDRANTS AND SERVICES SHALL COMPLY WITH THE FRANKLIN WATER DEPARTMENT STANDARDS.
9. THE WATER MAIN LINE IS TO BE PRESSURE TESTED AND DISINFECTED PER AWWA AND THE WATER DEPARTMENT STANDARDS.
10. CONTRACTOR TO PERFORM EXPERIMENTAL EXCAVATIONS PRIOR TO ANY WATER MAIN WORK TO DETERMINE THE EXACT SIZE, LOCATION, ELEVATION AND MATERIAL OF CONSTRUCTION OF THE EXISTING UTILITY.

APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE:  
BEING A MAJORITY



APPLICANT  
JOEL DERRICO  
72 GERRIER WAY  
FRANKLIN, MA 02038

## REVISIONS

DATE	REVISED



**Guerriere & Halnon, Inc.**  
Engineering & Land Surveying  
Ph. (508) 528-3221 55 WEST CENTRAL STREET  
Fr. (508) 528-7921 FRANKLIN, MA 02038  
www.guerriereandhalnon.com

SITE PLAN FOR  
HIGHLAND VILLAGE  
278-300 WEST CENTRAL  
STREET  
IN  
FRANKLIN  
MASSACHUSETTS  
PROPOSED UTILITIES

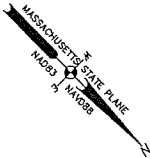
DATE: SEPTEMBER 26, 2017 SCALE: 1"=30'  
SHEET: 7 OF 13 JOB NO.: F3988

JOB NO.  
F3988



LEGEND

A.M.	ASSESSOR'S MAP
N/F	NOW OR FORMERLY
UP#	UTILITY POLE
⊙	EXISTING SEWER MANHOLE
⊙	EXISTING WATER VALVE
⊙	PROP. FIRE HYDRANT
⊙	EXISTING UTILITY POLE
⊙	EXISTING CATCHBASIN
⊙	PROPOSED DRAIN MANHOLE
---	EXISTING TREELINE
---	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
---	EXISTING SEWERLINE
---	EXISTING WATERLINE
---	EXISTING GASLINE
---	EXISTING OVERHEAD WIRE
---	EXISTING CONCRETE
---	HANDICAP SPACE
(#)	EXISTING NUMBER OF SPACES
EP	EDGE OF PAVEMENT
GC	GRANITE CURB
ER	EXISTING RAMP
P.R.	PROPOSED RAMP
⬢	PARKING RECOMMENDED BY DPW



PLANTING LEGEND

SYMBOL	NAME	SIZE	QUANTITY
⊙	LITTLE LEAF LINDEN TILIA CORDATA	4' MIN. 2.5" GAL.	15
⊙	SUPERIOR HYBRID POPLAR POPULUS DELTOIDS X POPULUS NIGRA	4' MIN. 2.5" GAL.	13
⊙	ROSE OF SHARON HIBISCUS SYACUS	5 GAL.	14
⊙	RHOODODENDRON HENRY'S RED (DARK RED)	2' MIN.	6
⊙	HERMOCADIS DAYLILIES	2 GAL.	8
⊙	PYRAMIDUS ARBORVITAE THUJA ACCIDENTALIS	5' MIN.	20

PLANTINGS TAKEN FROM THE TOWN OF FRANKLIN BEST PRACTICE GUIDE

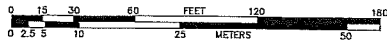
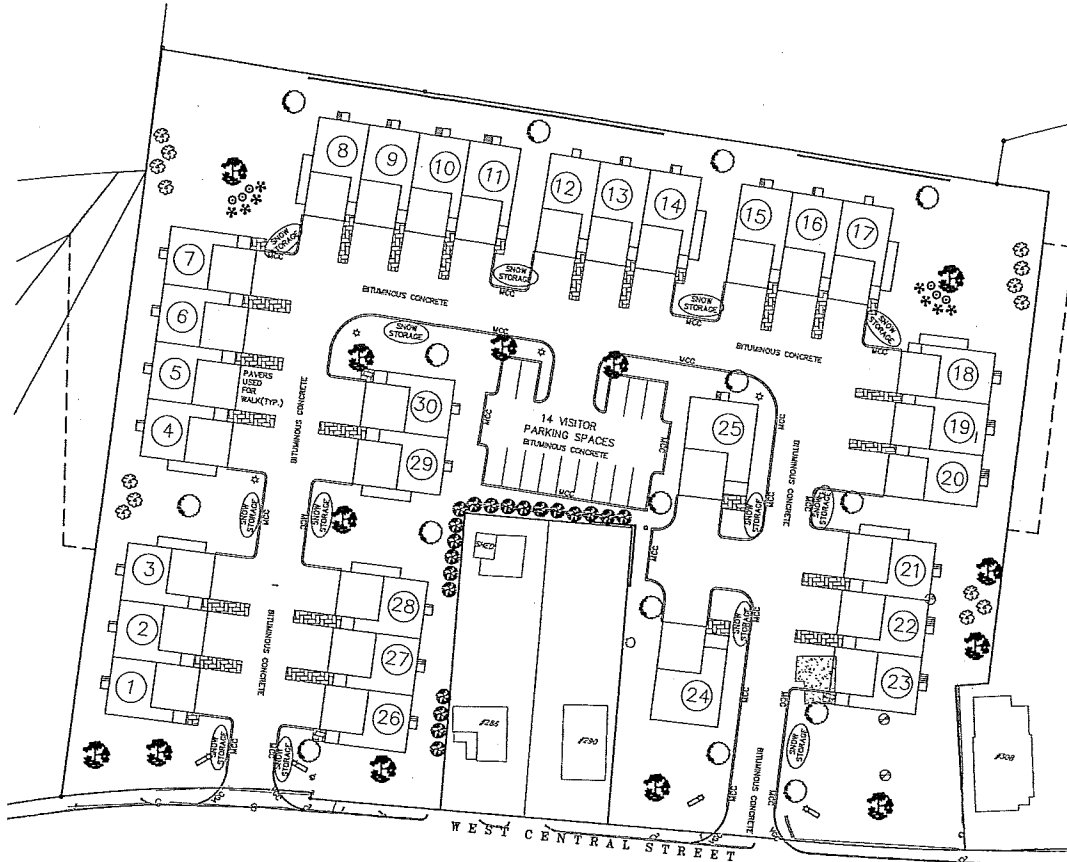
- SHADE TREES TO BE TO BE PLACED AT AN AVERAGE SPACING OF 50 FEET AND OF A HANDICAP SPACES APPROVED BY THE PLANNING BOARD. 2 1/2" IN DIAMETER. CALIPER 1" ABOVE GRADE. TREES SHALL BE VARIED AMONG THE FOLLOWING SPECIES:
- SUGAR MAPLE (ACER SACCHARIN)
  - PIN OAK (QUERCUS PALUSTRIS)
  - RED MAPLE (ACER RUBRUM)



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JOB NO. F3988

APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE:  
BEING A MAJORITY



APPLICANT  
JOEL D'ERRICO  
72 DEERVIEW WAY  
FRANKLIN, MA 02038

REVISIONS

DATE REVISED



Guerriere  
&  
Halnon, Inc.

Engineering & Land Surveying  
Ph. (508) 328-3221 35 WEST CENTRAL STREET  
Fx. (508) 328-7921 FRANKLIN, MA 02038  
www.guerriereandhalnon.com

SITE PLAN FOR  
HIGHLAND VILLAGE  
278-300 WEST CENTRAL  
STREET  
IN  
FRANKLIN  
MASSACHUSETTS

LANDSCAPING

DATE  
SEPTEMBER 26, 2017

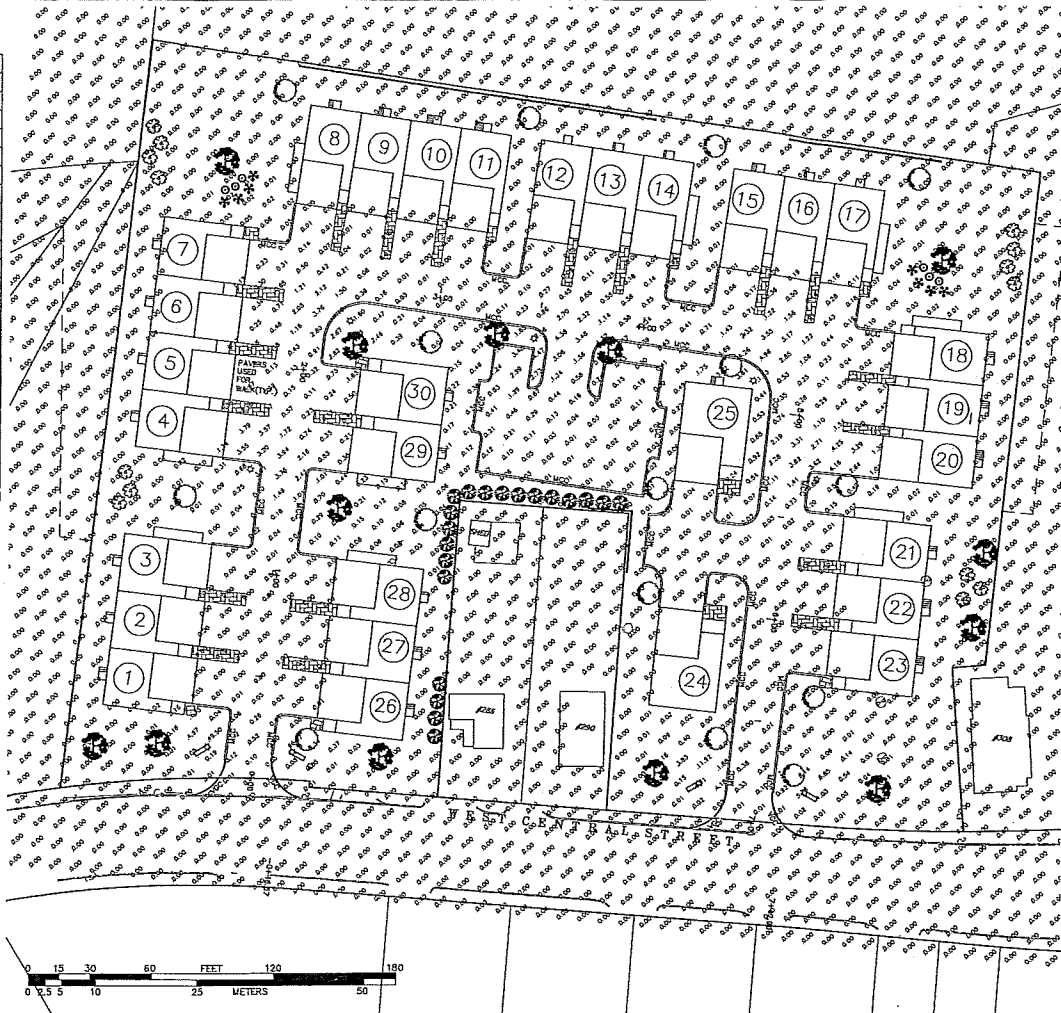
SCALE  
1"=30'

SHEET  
8 OF 13

JOB NO. F3988

# LEGEND

A.M.	ASSESSOR'S MAP
N/F	NOW OR FORMERLY
UP	UTILITY POLE
⊙	EXISTING SEWER MANHOLE
⊕	EXISTING WATER VALVE
⊕	PROP FIRE HYDRANT
⊕	EXISTING UTILITY POLE
⊕	EXISTING CATCH-BASIN
⊕	PROPOSED DRAIN MANHOLE
---	EXISTING TREE LINE
---	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
---	EXISTING SEWERLINE
---	EXISTING WATERLINE
---	EXISTING GASLINE
---	EXISTING OVERHEAD WIRE
---	EXISTING CONCRETE
---	HANDICAP SPACE
(#)	EXISTING NUMBER OF SPACES
EP	EDGE OF PAVEMENT
GC	GRANITE CURB
ER	EXISTING RAMP
P.R.	PROPOSED RAMP
⬢	PARKING RECOMMENDED BY DPW



0 15 30 60 120 180  
0 5 10 25 50  
FEET  
METERS



## DIG SAFE NOTE:

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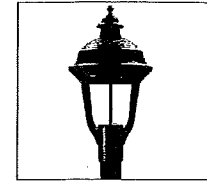
THIS PHOTOMETRIC PLAN IS BASED SOLELY UPON PROPRIETARY INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND CLIENT RECOMMENDATION.

LUMINAIRE LOCATIONS, LIGHTING PATTERNS, AND ILLUMINATION LEVELS WERE PREPARED UTILIZING INFORMATION SUPPLIED BY THE LUMINAIRE MANUFACTURER AND THE SOFTWARE PACKAGE SUPPLY OUTDOOR. IT'S VALUES SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND SHALL BE VERIFIED BY THE LUMIN MANUFACTURER PRIOR TO INSTALLATION.

ACTUAL PERFORMANCE OF LIGHTING PATTERNS AND/OR ILLUMINATION VALUES MAY VARY DUE TO VARIATIONS IN LIGHT HEIGHT, ELECTRICAL VOLTAGE, LAMP WATTAGE, AND OTHER VARIABLE FIELD CONDITIONS, OR USING A LUMINAIRE OTHER THAN SPECIFICALLY NOTED HEREON.

GUERRIERE & HALNON, INC ASSUMES NO RESPONSIBILITY FOR ANY SAFETY AND/OR SECURITY RISKS DUE TO INADEQUATE LIGHT LEVELS WHICH MAY OCCUR AFTER INSTALLATION.

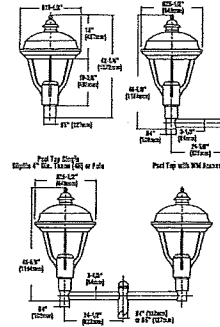
## LED LEXINGTON DECORATIVE AREA LIGHTS



LIGHT OUTPUT - XLXMS		Lumen (lm)		Foot Candles	
Foot Candles	Foot Candles	Foot Candles	Foot Candles	Foot Candles	Foot Candles
10	44	4400	1000	100	100
20	44	8800	2000	200	200
30	44	13200	3000	300	300
40	44	17600	4000	400	400
50	44	22000	5000	500	500

LED lights are required to operate within 100 hours.

## DIMENSIONS



## BUG LISTING

XLXMS PT - TYPE 1		Lumen		Foot Candles	
Foot Candles	Foot Candles	Foot Candles	Foot Candles	Foot Candles	Foot Candles
10	44	4400	1000	100	100
20	44	8800	2000	200	200
30	44	13200	3000	300	300
40	44	17600	4000	400	400
50	44	22000	5000	500	500

\* Color Temperature: 3000K-5000K, CW-5000K

LUMINAIRE DATA - Lexington		Lumen		Foot Candles	
Foot Candles	Foot Candles	Foot Candles	Foot Candles	Foot Candles	Foot Candles
10	44	4400	1000	100	100
20	44	8800	2000	200	200
30	44	13200	3000	300	300
40	44	17600	4000	400	400
50	44	22000	5000	500	500

## STREET LIGHTING NOT TO SCALE



CCI 19 in. Pewter Motion Activated Outdoor  
Beveled Glass Coach Lantern

## Product Overview

The CCI 19 in. Motion Activated Beveled Glass Coach Lantern features adjustable dual function. Put include motion activated or dusk to dawn mode. Choose the function that suits your project. The high quality 19 in. motion activated lantern comes in a pewter finish and includes adjustable time and sensitivity settings which allow you to customize the unit for your unique specifications. Motion activated lantern operates up to a 100-Watt bulb (not included). Unit may be used with or without the lid (optional). Unit is weather resistant and combines functionality with versatility and style. UL and CUL Listed - Industry standard for safety and longevity. The Designer's Edge is an international manufacturer and marketer of work lights, motion activated lighting, floodlighting, security lighting products, and landscape lighting products. Since 1987, we have built our reputation as an innovator of high quality, uniquely designed products. We have been recognized as a leader in our industry by receiving many patents and awards for our product designs and packaging.

- 150 degree wide area coverage
- 30 ft. detection range
- Adjustable time and sensitivity settings
- Comes with a 1 year warranty

## Specifications

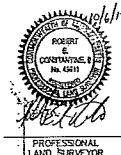
Dimensions		Lumen		Foot Candles	
Foot Candles	Foot Candles	Foot Candles	Foot Candles	Foot Candles	Foot Candles
10	44	4400	1000	100	100
20	44	8800	2000	200	200
30	44	13200	3000	300	300
40	44	17600	4000	400	400
50	44	22000	5000	500	500

## UNIT LIGHTING ON MOTION SENSORS NOT TO SCALE

JOB NO. F3988

APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_  
BEING A MAJORITY



APPLICANT:  
JOEL D'ERRICO  
72 DEERVIEW WAY  
FRANKLIN, MA 02038

## REVISIONS

DATE	REVISED

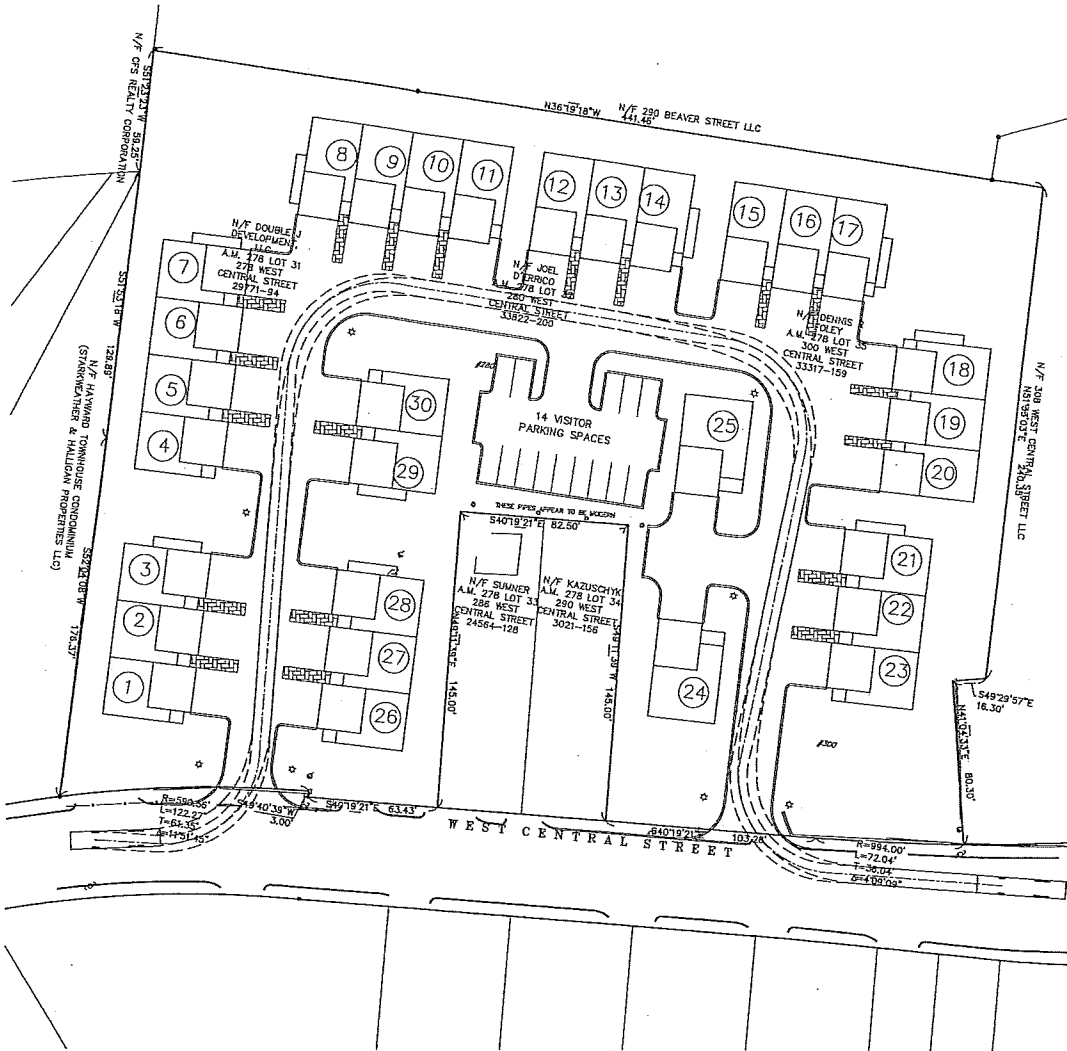
**Guerriere & Halnon, Inc.**  
Engineering & Land Surveying  
P.O. (508) 528-3221 55 WEST CENTRAL STREET  
FRANKLIN, MA 02038  
F. (508) 528-7921  
www.guerriereandhalnon.com

## SITE PLAN FOR HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET IN FRANKLIN MASSACHUSETTS PHOTOMETRICS

DATE	SCALE
SEPTEMBER 26, 2017	1"=30'
SHEET	JOB NO.
9 OF 13	F3988

# LEGEND

A.M.	ASSESSOR'S MAP
N/F	NOW OR FORMERLY
UP#	UTILITY POLE
⊙	EXISTING SEWER MAINHOLE
⊙	EXISTING WATER VALVE
⊙	PROP FIRE HYDRANT
⊙	EXISTING UTILITY POLE
⊙	EXISTING CATCHBASIN
⊙	PROPOSED DRAIN MANHOLE
---	EXISTING TREELINE
---	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
---	EXISTING SEWERLINE
---	EXISTING WATERLINE
---	EXISTING GASLINE
---	EXISTING OVERHEAD WIRE
---	EXISTING CONCRETE
---	HANDICAP SPACE
(H)	EXISTING NUMBER OF SPACES
EP	EDGE OF PAVEMENT
GC	GRANITE CURB
ER	EXISTING RAMP
P.R.	PROPOSED RAMP
⊙	PARKING RECOMMENDED BY DPW

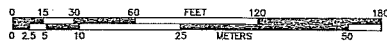


SHADE TREES TO BE TO BE PLACED AT AN AVERAGE SPACING OF 50 FEET AND OF A HARDWOOD SPECIES APPROVED BY THE PLANNING BOARD. 5 1/2\"/>



**DIS-SAFE NOTE:**  
UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS (IN ACCORDANCE WITH MASS.G.L. CHAPTER 82 SECTION 40 AS AMENDED) MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL (800) 455-SAFE \"DIS-SAFE\" AT (603) 344-7233

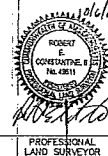
CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.



JOB NO. F3988

APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_  
BEING A MAJORITY



APPLICANT:  
JOEL DERRICO  
72 DEERVIEW WAY  
FRANKLIN, MA 02038

## REVISIONS

DATE	REVISED

**Guerriere & Halnon, Inc.**  
Engineering & Land Surveying  
Ph. (508) 828-3221 55 WEST CENTRAL STREET  
FR. (508) 828-7921 FRANKLIN, MA 02038  
www.guerriereandhalnon.com

**SITE PLAN FOR  
HIGHLAND VILLAGE  
278-300 WEST CENTRAL  
STREET  
IN  
FRANKLIN  
MASSACHUSETTS**

**AUTO-TURN  
FIRE TRUCK**

DATE SEPTEMBER 26, 2017	SCALE 1\"/>
SHEET 10 OF 13	JOB NO. F3988



**PRECAST CONCRETE DRAIN/SEWER MANHOLE**  
NOT TO SCALE

**SHRUB DETAIL**  
NOT TO SCALE

**SPECIMEN DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE

**TYPICAL TRENCH SECTION FOR REINFORCED CONCRETE PIPE**  
NOT TO SCALE

**CONCRETE BOUND DETAIL**  
NOT TO SCALE

**SILT SACK DETAIL**  
NO SCALE

**24" SO. HEAVY DUTY FRAME AND GRATE CATCH BASIN**  
NOT TO SCALE

**TYP. PRECAST CONCRETE CATCH BASIN DETAIL**  
NOT TO SCALE

**SEWER P.V.C. TRENCH SECTION**  
NOT TO SCALE

**TYPICAL YARD LIGHT DETAIL**  
NOT TO SCALE

**CHAIN LINK FENCE**  
NOT TO SCALE

**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE

**SEWER CLEANOUT DETAIL**  
NOT TO SCALE

**Geotextiles, Mats, Plastic Covers and Erosion Control Blankets**  
NOT TO SCALE

**EROSION CONTROL BLANKET**  
NOT TO SCALE

**TYPICAL GRASSPAVER DETAIL**  
NOT TO SCALE

**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE

**EROSION CONTROL BARRIER**  
NOT TO SCALE

**1" TYPE K WATERLINE TRENCH DETAIL**  
N.T.S.

**TYPICAL GRASSPAVER DETAIL**  
NOT TO SCALE

APPROVED DATE:  
FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_

BEING A MAJORITY

APPLICANT:  
JOEL D'ERRICO  
72 DEERVIEW WAY  
FRANKLIN, MA 02038

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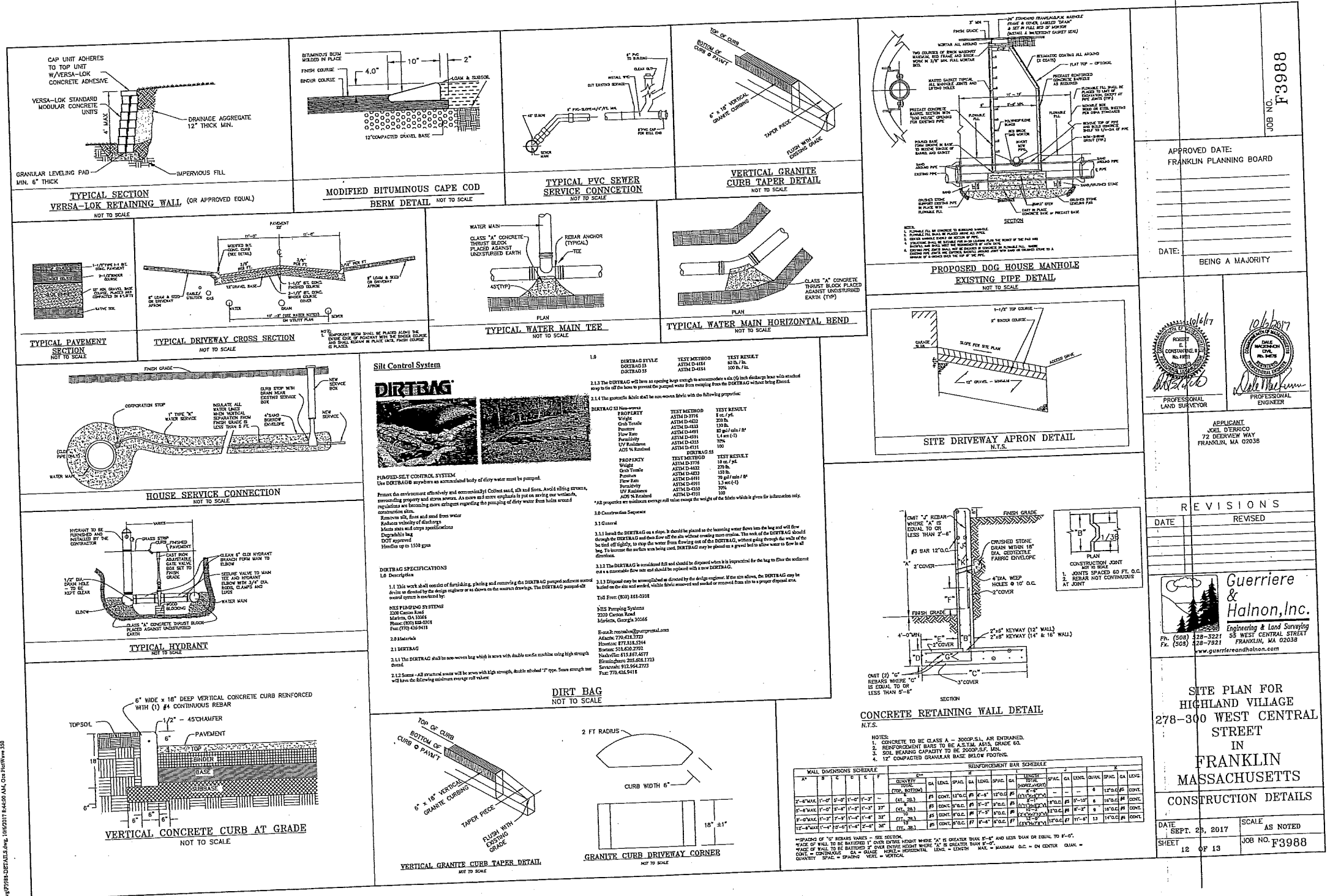
SITE PLAN FOR  
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IN  
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MASSACHUSETTS

CONSTRUCTION DETAILS

DATE	SCALE
SEPT. 26, 2017	AS NOTED

SHEET	JOB NO.
11 OF 13	F3988

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CULTIC RECHARGER SECOND PRODUCT SPECIFICATIONS

GENERAL

CULTIC RECHARGERS SECOND CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

1. THE CHAMBERS SHALL BE MANUFACTURED IN THE U.S.A. BY CULTIC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)

2. THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM D7077 "STANDARD PRACTICES FOR STRUCTURAL DESIGN OF THERMOPLASTIC POLYETHYLENE WALL STORMWATER COLLECTION CHAMBERS."

3. THE CHAMBERS SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LFD0 BRIDGE DESIGN SPECIFICATIONS SECTION 12.12.

4. THE CHAMBER SHALL BE STRUCTURAL FOAM INJECTION MOULDED OF BLUE VIRGIN HIGH MOLECULAR WEIGHT IMPACT MODIFIED POLYETHYLENE.

5. THE CHAMBER SHALL BE ANCHORED IN SHAPE.

6. THE CHAMBER SHALL BE OPEN BOTTOMED.

7. THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING JOINT METHOD. CONNECTIONS MUST BE FULLY SOLDERED OVERLAPPING JOINTS, HAVING NO SEPARATE JOINTS.

8. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTIC RECHARGER SECOND SHALL BE 48 FEET (14.63 m) TALL, 78 INCHES (2011 mm) WIDE AND 4.10 FEET (1.25 m) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER SECOND SHALL BE 47 FEET (14.33 m).

9. MULTIPLE CHAMBERS MAY BE CONNECTED TO FORM DIFFERENT LENGTH ROWS. EACH ROW SHALL BEEN AND END WITH A SEPARATELY FORMED CULTIC RECHARGER SECOND END CAP. MAXIMUM INLET SPACING ON THE END CAP IS 24 INCHES (609 mm).

10. THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTIC HAVN FC-48 FEED CONNECTOR TO CREATE AN INTERNAL MANFOLD. MAXIMUM ALLOWABLE PIPE SIZE IN THE END PORTAL IS 12 INCHES (305 mm).

11. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTIC HAVN FC-48 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 19 INCHES (483 mm) WIDE AND 48 INCHES (1219 mm) LONG.

12. THE NOMINAL STORAGE VOLUME OF THE RECHARGER SECOND CHAMBER SHALL BE 17.84 FT<sup>3</sup> (507.44 m<sup>3</sup>) WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER SECOND SHALL BE 17.74 FT<sup>3</sup> (504.14 m<sup>3</sup>) WITHOUT STONE.

13. THE NOMINAL STORAGE VOLUME OF THE HAVN FC-48 FEED CONNECTOR SHALL BE 0.113 FT<sup>3</sup> (3.17 m<sup>3</sup>) WITHOUT STONE.

14. THE RECHARGER SECOND CHAMBER SHALL HAVE TWENTY-FOUR DISCHARGE HOLES BORED INTO THE SURFACES OF THE UNIT TO PROVIDE ADEQUATE CONVEYANCE OF WATER.

15. THE CHAMBER SHALL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH NEAR THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.

16. THE CHAMBER SHALL BE MANUFACTURED IN A FACILITY EMPLOYING CULTIC'S QUALITY CONTROL AND ASSURANCE PROCEDURES.

17. THE CHAMBER SHALL BE MANUFACTURED IN A FACILITY EMPLOYING CULTIC'S QUALITY CONTROL AND ASSURANCE PROCEDURES.

18. MAXIMUM ALLOWABLE COVER OVER THE TOP OF THE CHAMBER SHALL BE 4.3 FEET (1.31 m).

END CAP PARAMETERS

1. THE CULTIC RECHARGER SECOND END CAP REFERRED TO AS TWO CAPS SHALL BE MANUFACTURED IN THE U.S.A. BY CULTIC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)

2. THE END CAP SHALL BE TWIN-SHEET THERMOFORMED OF BLACK VIRGIN HIGH MOLECULAR WEIGHT POLYETHYLENE.

3. THE END CAP SHALL BE JOINED AT THE RECHARGER AND END OF EACH ROW OF CHAMBERS USING AN INTERLOCKING OVERLAPPING JOINT METHOD. CONNECTIONS MUST BE FULLY SOLDERED OVERLAPPING JOINTS, HAVING NO SEPARATE JOINTS.

4. THE NOMINAL DIMENSIONS OF THE END CAP SHALL BE 48 INCHES (1219 mm) TALL, 78 INCHES (2011 mm) WIDE AND 8.7 FEET (2652 mm) LONG. WHEN JOINED WITH A RECHARGER SECOND CHAMBER, THE INSTALLED LENGTH OF THE END CAP SHALL BE 8.2 FEET (2500 mm).

5. MAXIMUM INLET SPACING ON THE END CAP IS 24 INCHES (609 mm).

6. THE END CAP SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LFD0 BRIDGE DESIGN SPECIFICATIONS SECTION 12.12.

CULTIC HAVN FC-48 FEED CONNECTOR PRODUCT SPECIFICATIONS

GENERAL

CULTIC HAVN FC-48 FEED CONNECTORS ARE DESIGNED TO CREATE AN INTERNAL MANFOLD FOR CULTIC RECHARGER SECOND CHAMBERS.

FEED CONNECTOR PARAMETERS

1. THE FEED CONNECTOR SHALL BE MANUFACTURED BY CULTIC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)

2. THE FEED CONNECTOR SHALL BE THERMOFORMED OF BLACK VIRGIN HIGH MOLECULAR WEIGHT IMPACT MODIFIED POLYETHYLENE (HVM-IMP).

3. THE FEED CONNECTOR SHALL BE ANCHORED IN SHAPE.

4. THE FEED CONNECTOR SHALL BE OPEN BOTTOMED.

5. THE NOMINAL DIMENSIONS OF THE CULTIC HAVN FC-48 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 19 INCHES (483 mm) WIDE AND 48 INCHES (1219 mm) LONG.

6. THE NOMINAL STORAGE VOLUME OF THE HAVN FC-48 FEED CONNECTOR SHALL BE 0.113 FT<sup>3</sup> (3.17 m<sup>3</sup>) WITHOUT STONE.

7. THE HAVN FC-48 FEED CONNECTOR SHALL HAVE A CONSTRUCTION.

8. THE HAVN FC-48 FEED CONNECTOR MUST BE FORMED AS A WHOLE UNIT HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END WALLS OR SEPARATE END WALLS. THE UNIT SHALL BE JOINED TO THE SIDE PORTALS OF THE CULTIC RECHARGER SECOND CHAMBER AND ACT AS A CROSS FLOW CONNECTIONS CREATING AN INTERNAL MANFOLD.

9. THE FEED CONNECTOR SHALL BE DESIGNED TO WITHSTAND ACHT H-20 DEFINED LOADS WHEN INSTALLED ACCORDING TO CULTIC RECHARGER SECOND INSTALLATION INSTRUCTIONS.

10. THE FEED CONNECTOR SHALL BE MANUFACTURED IN AN ISO 9001:2008 CERTIFIED FACILITY.

CULTIC NO. 48" WOVEN GEOTEXTILE

GENERAL

CULTIC NO. 85" WOVEN GEOTEXTILE IS UTILIZED AS AN UNDERLAYMENT TO PREVENT SCOURING CAUSED BY WATER MOVEMENT WITHIN THE CULTIC CHAMBERS AND FEED CONNECTORS UTILIZING THE CULTIC MANFOLD DESIGN.

GEOTEXTILE PARAMETERS

1. THE GEOTEXTILE SHALL BE PROVIDED BY CULTIC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)

2. THE GEOTEXTILE SHALL BE BLACK IN APPEARANCE.

3. THE GEOTEXTILE SHALL HAVE A TENSILE STRENGTH OF 315 LBS (140 kN) PER ASTM D4032 TESTING METHOD.

4. THE GEOTEXTILE SHALL HAVE A TENSILE ELONGATION RESISTANCE OF 15% PER ASTM D4032 TESTING METHOD.

5. THE GEOTEXTILE SHALL HAVE A MAJOR TENSILE RESISTANCE OF 110 LBS (49 kN) PER ASTM D4032 TESTING METHOD.

6. THE GEOTEXTILE SHALL HAVE A TENSILE RESISTANCE OF 110 LBS (49 kN) PER ASTM D4032 TESTING METHOD.

7. THE GEOTEXTILE SHALL HAVE A PUNCTURE RESISTANCE OF 100 LBS (45 kN) PER ASTM D4032 TESTING METHOD.

8. THE GEOTEXTILE SHALL HAVE A CUP PUNCTURE RESISTANCE OF 300 LBS (136 kN) PER ASTM D4032 TESTING METHOD.

9. THE GEOTEXTILE SHALL HAVE A UV RESISTANCE OF 10% @ 500 HRS. PER ASTM D4032 TESTING METHOD.

10. THE GEOTEXTILE SHALL HAVE A PERMEABILITY RATING OF 100 SEC-1 PER ASTM D4032 TESTING METHOD.

11. THE GEOTEXTILE SHALL HAVE A WATER FLOW RATING OF 4 GPM/FT<sup>2</sup> (15 LPM/FT<sup>2</sup>) PER ASTM D4032 TESTING METHOD.

12. THE GEOTEXTILE SHALL HAVE A PERCENT OPEN AREA OF 41% PER ASTM D4032 TESTING METHOD.

13. THE GEOTEXTILE SHALL HAVE AN APPARENT OPENING SIZE OF 40 US STD. SIEVE (0.425 mm) PER ASTM D4032 TESTING METHOD.

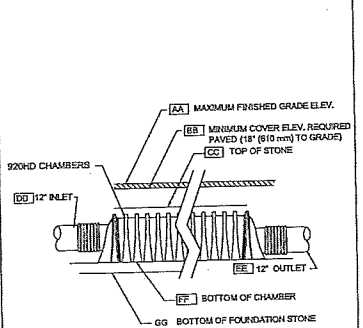
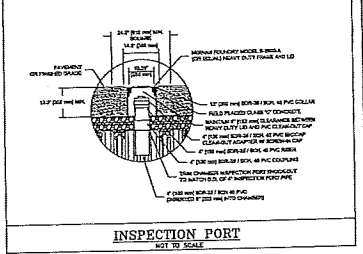
14. THE GEOTEXTILE SHALL CONSIST OF A 100% HIGH-TENSILE, Silt-Film POLYPROPYLENE YARN.

GENERAL EROSION CONTROL AND CONSTRUCTION NOTES

- THE LIMITS OF ALL CLEARING, GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN TOTALLY UNDISTURBED.
- INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES AT LEAST ONCE PER WEEK AND WITHIN 24 HOURS AFTER EVERY RAINFALL EVENT.
- MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES OR REPLACE AS REQUIRED TO ASSURE PROPER FUNCTION.
- CONTRACTOR SHALL IMMEDIATELY REPAIR ANY AND ALL EROSION AND SEDIMENT CONTROLS FOUND TO BE FAULTY.
- ANY AND ALL DEBRIS AND LITTER WHICH ACCUMULATES IN THE BASINS SHALL BE REMOVED WEEKLY.
- THE CONTRACTOR SHALL IMPLEMENT ALL REASONABLE EROSION AND SEDIMENT CONTROLS PRIOR TO THE ACTUAL COMMENCEMENT OF CONSTRUCTION ACTIVITIES INCLUDING THE CLEARING AND/OR GRUBBING OF ANY PORTION OF THE PROPERTY. THESE MEASURES SHALL BE MAINTAINED IN EFFECT THROUGHOUT THE ENTIRE CONSTRUCTION PHASE, OR UNTIL THE SITE HAS BECOME STABILIZED WITH AN ADEQUATE VEGETATIVE COVER.
- SEDIMENT BUILD UP BEHIND FILTERMATS SHALL BE MONITORED AND BE REMOVED WHENEVER IT HAS ACCUMULATED TO FOUR INCHES IN DEPTH.
- CATCH BASINS SHALL BE PROTECTED WITH SILT FILTERS (SILT SACKS). INSPECT SEDIMENT FILTERS AT LEAST ONCE PER WEEK, AND WITHIN 24 HOURS AFTER RAINFALL THAT PRODUCES RUNOFF. CLEAN OR REPLACE FILTERS WITHIN 24 HOURS OF INSPECTION WHEN SEDIMENT REACHES ONE HALF OF THE FILTER SACK DEPTH. CATCH BASINS SHALL BE PROTECTED BY SEDIMENT FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SUMP SHALL BE CLEANED WHENEVER SEDIMENT HAS ACCUMULATED TO A DEPTH OF 10 INCHES AND IMMEDIATELY FOLLOWING INSTALLATION OF PERMANENT PAVEMENT.
- THE CONTRACTOR SHALL MAINTAIN AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS ON-SITE AT ALL TIMES FOR EMERGENCY OR ROUTINE REPLACEMENT AND SHALL INCLUDE MATERIALS TO REPAIR OR REPLACE SILT FENCE, MULCH SOCK, STONE FILTER DRES OR ANY OTHER DEVICES PLANNED FOR USE DURING CONSTRUCTION.
- THE CONTRACTOR IS TO INSPECT ALL CONTROLS NO LESS THAN WEEKLY, AND IN ANTICIPATION OF RAINFALL EVENTS EXPECTED TO EXCEED 1/2" INCH IN DEPTH. ALL DEFICIENCIES NOTED DURING SAID INSPECTION SHALL BE REPAIRED IMMEDIATELY AND IN NO CASE SHALL A DEFICIENCY BE ALLOWED TO GO UNCORRECTED DURING A RAINFALL EVENT. THE EROSION CONTROL DEVICES SHALL BE MAINTAINED, REWORKED, OR REPLACED IF NECESSARY. ALL ACCUMULATED SEDIMENTS AND OTHER MATERIALS COLLECTED.
- BY THE SEDIMENTATION CONTROL SYSTEMS SHALL BE REMOVED AS NECESSARY TO INSURE PROPER FUNCTION OF SYSTEMS AND DISPOSED OF IN A MANNER THAT IS CONSISTENT WITH THE INTENT OF THIS PLAN, IN AN UPLAND AREA.
- TEMPORARY EARTH OR STONE DRES, DRAINAGE SWALES AND/OR TEMPORARY SLOPE DRAIN SHALL BE INSTALLED WHERE OFF-SITE OR ON-SITE RUNOFF IS SUFFICIENT ENOUGH SUCH THAT IT WILL BE NECESSARY TO DIVERT THE FLOW AROUND THE SITE OR PREVENT EROSION WITHIN THE LIMITS OF WORK.
- STORM DRAIN INLET PROTECTION SHALL BE USED FOR ALL EXISTING AND PROPOSED CATCH BASINS IN THE PROJECT AREA. PRIOR TO COMPLETION OF THE PROJECT, ALL CATCH BASINS WITHIN THE PROJECT AREA SHALL BE CLEANED.
- ALL DISTURBED EARTH SLOPES AREA TO BE STABILIZED WITH PERMANENT VEGETATIVE COVER, TO BE ESTABLISHED AS SOON AS POSSIBLE. DISTURBED AREAS THAT ARE NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL RECEIVE A PERMANENT OR TEMPORARY VEGETATIVE COVER AS SOON AS FINAL CONTOURS ARE ESTABLISHED. TEMPORARY VEGETATIVE COVER IS TO BE ESTABLISHED ON ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITIES WILL NOT REQUIRE ADDITIONAL DISTURBANCE FOR PERIOD OF 30 DAYS OR MORE. IF THE SEASON PREVENTS THE ESTABLISHMENT OF VEGETATIVE COVER, DISTURBED AREAS SHALL BE MULCHED AND THEN SEEDED AS SOON AS WEATHER CONDITIONS ALLOW.
- THERE SHALL BE NO DIRECT DISCHARGE OF Dewatering OPERATIONS INTO ANY DRAINAGE SYSTEM UNLESS THIS DISCHARGE IS CLEAN AND FREE OF SETTLEABLE SOLIDS. ANY Dewatering DISCHARGE CONTAINING SETTLEABLE SOLIDS (SEDIMENTS) SHALL BE PASSED THROUGH A SEDIMENTATION CONTROL DEVICE (FILTER BAG) TO REMOVE THESE SOLIDS. THE CONTRACTOR IS TO MAINTAIN SAID SEDIMENT CONTROL DEVICE THROUGHOUT THE ENTIRE Dewatering OPERATION AND REPAIR DEFICIENCIES IMMEDIATELY.
- SOIL STOCKPILE AREAS FOR CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE WETLAND AREAS AND ASSOCIATED BUFFERS.
- ALL PLANTINGS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS THE POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
- ALL PLANTINGS SHALL BE WATERED AND MAINTAINED BY THE CONTRACTOR TO ENSURE SURVIVAL.
- EROSION CONTROL SHALL REMAIN IN PLACE UNTIL THE CERTIFICATE OF COMPLETION IS ISSUED.

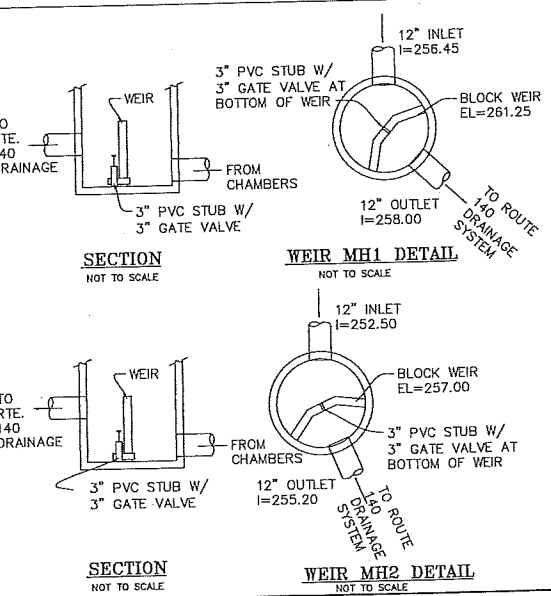
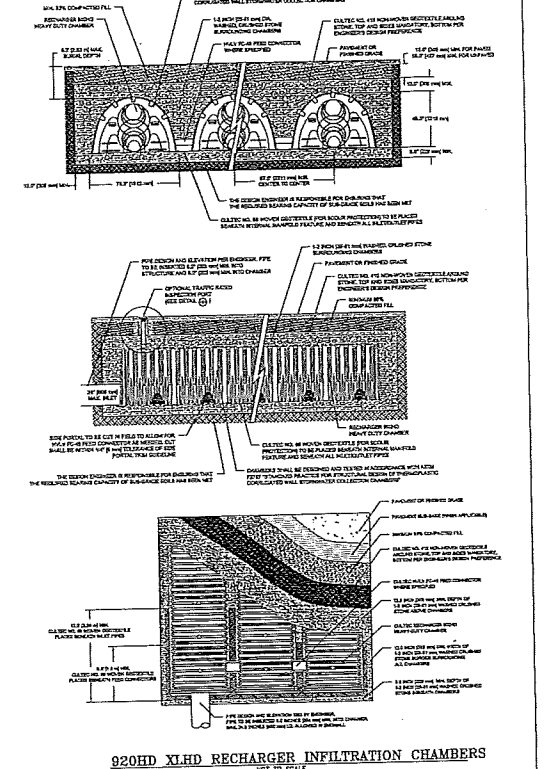
INTERIM EROSION CONTROL AND CONSTRUCTION SEQUENCE

- INSTALL EROSION CONTROL BARRIERS AND HAVE ENGINEER INSPECT AND PREPARE LETTER.
- RAZE THE EXISTING BUILDINGS, PAVEMENT, WALKWAYS, ETC CLEAR SITE OF ALL TREES DESIGNATED TO BE REMOVED.
- CONSTRUCT A TEMPORARY BASIN TO COLLECT RUNOFF DURING CONSTRUCTION.
- STOCKPILE LOAM, OR REMOVE LOAM.
- INSTALL PILES FOR DRAINAGE SYSTEMS. INSTALL DISCHARGE POINT ON EACH SYSTEM.
- BRING SITE TO SUB-GRADE.
- ALL SLOPES ALONG THE PROPERTY LINES SHALL BE MULCHED TEMPORARILY, IF DISTURBED.
- TEMPORARY STONE (3/4" - 1 1/2") SHALL BE PLACED AT THE PROJECT ENTRANCE WHEN ACCESSING EXISTING DRIVEWAY. SWEEPING IS REQUIRED IF FIRES ARE OBSERVED IN THE PARKING LOT OR PUBLIC WAYS.
- ALL DISTURBED AREAS NOT TREATED WITH PERMANENT LOAM AND SEED SHALL BE COVERED WITH MULCH, OR OTHER EROSION CONTROL DEVICE.
- ALL CONSTRUCTION GRADES IN THE INTERIM SHALL BE SLOPED TO FLOW INTO THE TEMPORARY BASIN, WHERE POSSIBLE.
- THE SITE MITIGATION OF EROSION IN THOSE AREAS TO BE LANDSCAPED OR MULCHED SHALL BE TO INSTALL AS SOON AS POSSIBLE.
- CLEAN ALL SEDIMENT OUT OF TEMPORARY BASIN AND INSTALL CLEAN FILL PER PLAN SPECIFICATIONS PRIOR TO FINAL GRADING AND SURFACE STABILIZATION.
- THE SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED PRIOR TO PERMANENT INSTALLATION PROPER FILTER FABRIC SHALL BE PLACED AT INLETS TO KEEP THE STORM DRAINAGE CLEAN OF DEBRIS.
- ONCE THE CURB IS INSTALLED, THE PERMANENT MULCH AND LANDSCAPING SHALL BE INSTALLED.
- SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL THE SITE IS STABILIZED.
- CLEAN ALL ON SITE CATCH BASINS, MANHOLES, PIPING, TEMPORARY BASIN, AND INFILTRATION CHAMBERS. INSTALL SILT BAGS AT EACH CATCH BASIN.
- KEEP SITE SWIFT AND MAINTAINED PER STORMWATER MANAGEMENT PLAN.



	RECH-1	RECH-2
AA	268.21	265.70
BB	265.60	261.13
CC	261.45	257.50
DD	257.68	254.46
EE	255.45	252.50
FF	256.45	252.50
GG	255.70	251.75

ELEVATIONS



APPROVED DATE: \_\_\_\_\_

FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_

BEING A MAJORITY

PROFESSIONAL LAND SURVEYOR

APPLICANT: JOEL O'NEAL, 72 DEERVIEW WAY, FRANKLIN, MA 02038

REVISIONS

DATE	REVISED

Guerriere & Halnon, Inc. Engineering & Land Surveying

Ph. (508) 928-3221 Fax. (508) 928-3228

www.guerriereandhalnon.com

SITE PLAN FOR HIGHLAND VILLAGE 278-300 WEST CENTRAL STREET IN FRANKLIN MASSACHUSETTS

CONSTRUCTION DETAILS

DATE: SEPT. 26, 2017 SCALE: AS NOTED

SHEET 13 OF 13 JOB NO. F3988



**DESIGN REVIEW COMMISSION**  
**MINUTES OF MEETING**  
**October 10, 2017**

A meeting of the Design Review Commission was held on Tuesday, October 10, 2017, at the Franklin Municipal Building, Franklin, Massachusetts. Members present were Mark Fitzgerald, Chairman, Chris Baryluk, Vice Chairman, and Claudine Silverman. Also in attendance was Bryan Taberner, Director of Planning.

Mark Fitzgerald, Chairman opened the meeting at 7:00 PM.

**1. AT&T– 25 Franklin Village Drive– Replacing 5 Existing Signs (Wall, Door, Free Standing)**  
Individual representing the applicant did not attend.

**Motion:** To table the application to the next meeting on October 24, 2017. Motioned by Fitzgerald.  
Second by Baryluk: voted (3-0-0).

**2. Mobil– 660 West Central Street– Replacing LED Price Panels, LED Manual Pump Toppers, Blades, Koalas, Lane Designation Numbers.**

Carolyn Parker represented applicant with a proposal for a replacing various signage. Design Review members had concerns with red Blades which would exceed total square footage allowed. Ms. Parker stated the applicant would like to install blank red Blades if DRC does not approve text. Ms. Parker stated the Koalas would replace existing text on each pole. Taberner asked if the Koalas would be used for marketing other items sold at the station. Ms. Parker responded they would not. Design Review members requested Ms. Parker send a detailed diagram of the Koala. She agreed to email a diagram to the Planning Department. Design Review members requested more details on the lane designation numbers.

**Motion:** To conditionally approve

- The changes proposed to the pylon signs (replace the existing manual price panels with 2 LED price panels)
- To approve the changes proposed on the pumps (replace 3 existing LED signs with 2 LED Signs, 8 existing manual pump toppers with 8 new LED pump toppers) .
- The 8 Koalas- The applicant will send detailed diagrams of the Koalas.
- Motioned by Fitzgerald. Second by Baryluk: voted (3-0-0).

**Motion:** To table the 8 Blade signs and the 16 lane designation numbers to the next meeting. Additional details are required. Motioned by Fitzgerald. Second by Baryluk: voted (3-0-0).

**3. Montage @ Brook– 10 Brookview Road- Wall Sign and Free Standing Sign**

Tom Betts represented the applicant. The proposed free standing permanent sign had been tabled during the September 26, 2017 Design Review meeting. The applicant was asked to provide a true representation of the sign to be installed. Mr. Betts explained the permanent sign would have the same Graphics and text as the diagram in the application but would be black and gold. Mr. Betts agreed to send an updated diagram of the same panel for stone wall to the Planning Department. Design Review had a brief discussion on the maximum square footage allowed in that location. It is a residential

project across Pond Street and adjacent to the north to other residential properties, but within the Industrial and Office Park Sign District (IOPD). Taberner noted that according to Section 185 C(4)( c)1, properties within IOPD abutting or facing residentially zoned districts shall have their signs reduced to 50% of the 60 square feet normally allowed. Design Review members agreed the proposed sign was less than the allowed 30 square feet

**Motion:** To accept the sign proposal as submitted with Gold and Black Colors . Motioned by Fitzgerald. Second by Baryluk: voted (3-0-0).

**Other Business:**

- Meeting minutes from September 26, 2017 meeting were approved (3-0-0).
- Silverman mentioned she believed the Franklin Heights sign discussed at previous meetings should be removed or replaced.
- Bryan Taberner to Discuss Mobil sign application with Gus Brown, Building Commissioner

Motion to adjourn. All in favor 3-0-0.

Adjourned at 7:30 P.M.

Respectfully submitted,

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Bryan Taberner, Director of Planning



**Commonwealth**

9 Main Street

Franklin, MA 02038

**Business 508.528.7777**

Fax 508.520.6800

[www.CommonMoves.com](http://www.CommonMoves.com)

October 9, 2017

Dear Mr. Fitzgerald & Members of the Design Review Board:

As you may recall, on Oct 13, 2015 the Design Review Board approved one window sign be allowed on our storefront window, with very specific guidelines. I have been noticing a significant number of businesses on Main Street with more and more advertising signs in their windows. Many of them clearly do not meet the stringent requirements we were forced to adhere to. I have sent you a picture of the business directly across the street from us – Envoy Mortgage. Perhaps they have received approvals and permitting, but I am curious to understand why they are allowed four signs on each window that are more than 10% of the window surface and/or more than 6 sq ft of the window surface.

Thank you for your consideration.

Sincerely,

A handwritten signature in cursive script that reads "Claudia Hooper".

Claudia Hooper

Sales Manager

Century 21 Commonwealth

9 Main Street, Franklin



