

# SITE PLAN

## 122 AND 138 EAST CENTRAL STREET

TOWN OF FRANKLIN  
TOWN CLERK  
2023 AUG 14 P 2:50  
RECEIVED



LOCUS MAP  
SCALE: 1" = 100'

THE 122 AND 138 EAST CENTRAL STREET PROPERTIES ARE LOCATED WITHIN A COMMERCIAL 1 ZONE.

	REQUIREMENTS: 5,000 S.F.	EXISTING 31,340± S.F.	PROPOSED 31,340± S.F.
AREA:			
FRONTAGE:	50'	211'	211'
DEPTH:	50'	176.5'	176.5'
HEIGHT:	3 STORIES - 40' *15	2 STORIES	2 STORIES
WIDTH:	45'	> 45'	> 45'
SETBACKS			
FRONT:	20' *1	6.5'	6.5'
SIDE WEST:	10' *14	4.6'	4.6'
SIDE EAST:	10' *14	28.8'	10.6'
REAR:	15'	85.7'	85.7'
COVERAGE			
STRUCTURES:	80%	21.5%	25.4%
STRUC. & PAVING:	90%	87.4%	78.2%

LOT COVERAGE BASED ON UPLAND AREA.

\*1 - BUT NO NEW STRUCTURE SHALL BE REQUIRED TO PROVIDE A DEEPER YARD THAN EXISTED ON THAT PARCEL UPON ADOPTION OF THIS AMENDMENT.  
 \*14 - THE 10-FOOT SIDE SETBACK IS ONLY REQUIRED ON ONE SIDE OF THE LOT; IF LOT ABUTS A RESIDENTIAL DISTRICT, A 20-FOOT SETBACK IS REQUIRED ON THE ABUTTING SIDE.  
 \*15 - BUILDINGS UP TO 50 FEET IN HEIGHT, REGARDLESS OF THE NUMBER OF STORIES, MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

REQUIREMENTS FOR 122 AND 138 EAST CENTRAL STREET ZONE COMMERCIAL 1 EXISTING AND PROPOSED LOT AREA, FRONTAGE, DEPTH, WIDTH AND COVERAGE BASED ON THE LOTS BEING COMBINED.  
 BUILDING HEIGHT, AND SETBACKS BASED ON EXISTING AND PROPOSED BUILDINGS LOCATED ON 122 AND 138 EAST CENTRAL STREET.  
 PROPERTY IS NOT LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT.  
 THE PROPERTY IS LOCATED IN A ZONE C BASED ON FEMA FIRM MAP 25021C0309E DATED JULY 17, 2012.

**DRAWING INDEX:**

1. COVER SHEET
  2. EXISTING CONDITIONS PLAN
  3. SITE LAYOUT PLAN
  4. SITE GRADING AND UTILITY PLAN
  5. PLANTING PLAN
  6. CONSTRUCTION DETAILS
- SITE LIGHTING-LIGHTING PLAN,  
PHOTOMETRICS AND SCHEDULES  
BY SK & ACCOCIATES

REFERENCES:  
ASSESSORS MAP 288 PARCELS 27 AND 28  
DEED BOOK 40221 PAGE 484  
DEED BOOK 40435 PAGE 87

PLAN 1175 OF 1949  
PLAN 550 OF 1999  
PLAN 65 OF 2006  
PLAN 3334 OF 1913

OWNER AND APPLICANT:  
138 EAST CENTRAL STREET, LLC  
37 AND 138 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS

SITE PLAN  
COVER SHEET  
122 & 138 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
138 EAST CENTRAL STREET, LLC  
37 AND 138 EAST CENTRAL STREET  
FRANKLIN, MASSACHUSETTS  
JULY 27, 2023  
SCALE: 1" = 100'

- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.

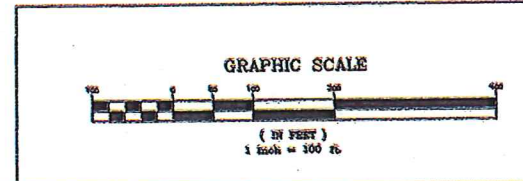
WAIVER REQUESTS:  
1. TO ALLOW THE USE OF PVC AND HPDE PIPE FOR THE ROOF DRAINS AND UNDERGROUND STORMWATER STORAGE AREA.  
2. TO ALLOW SITE LIGHTING TO EXTEND PAST THE PROPERTY LINE.

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE

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NO.	DATE	DESCRIPTION	BY



DATE	FIELD BY:	INT.
8/20	BL	
7/23	FIELD BOOK	PG#
7/23	CALCS BY:	RRG
7/23	DESIGNED BY:	RRG
7/23	DRAWN BY:	COMP
7/23	CHECKED BY:	CAQ

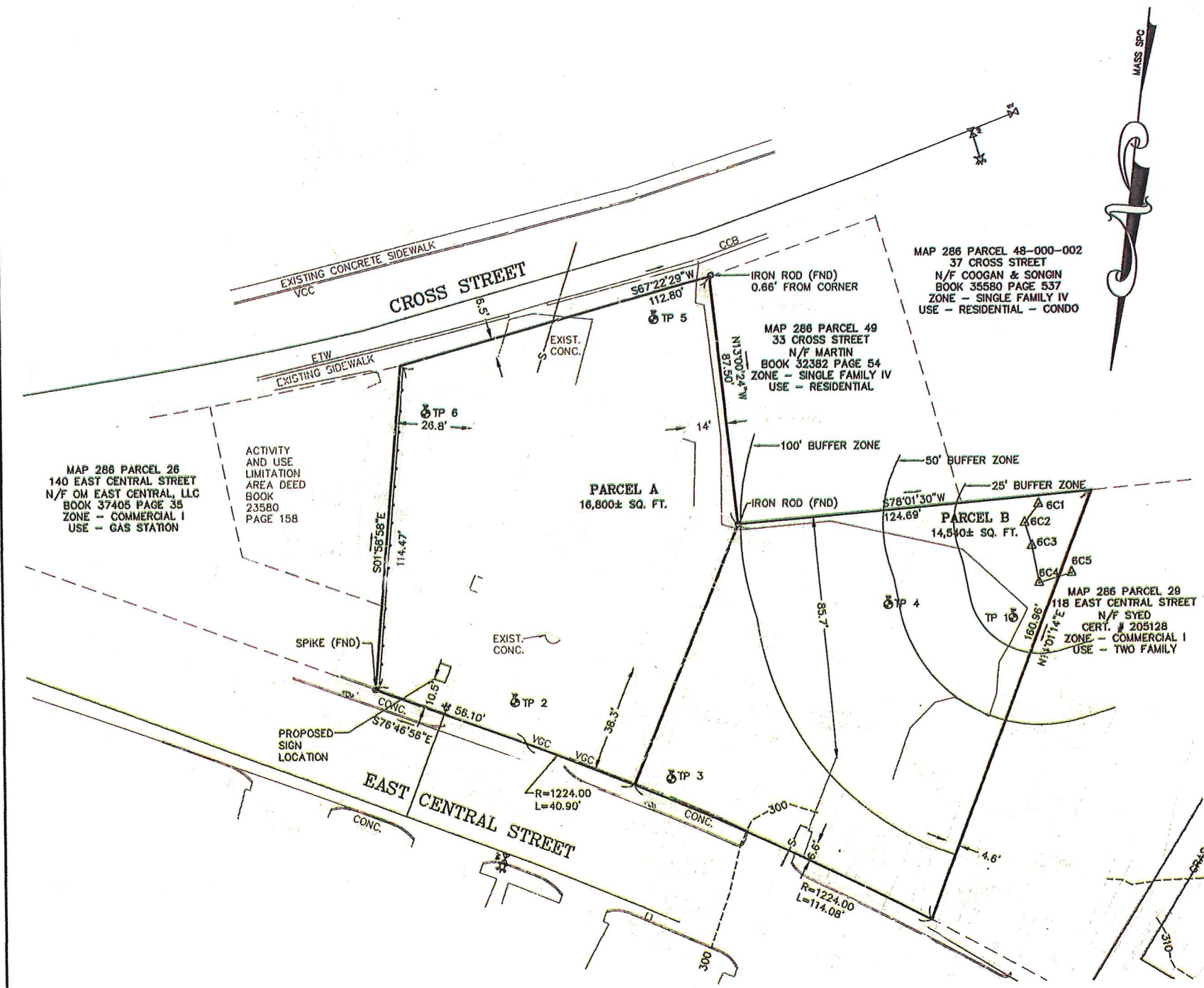
UNITED  
CONSULTANTS  
INC.

850 FRANKLIN STREET SUITE 110  
WRENTHAM, MASSACHUSETTS 02093  
608-384-8860 FAX 608-384-8868

DATE	JULY 27, 2023
SCALE	1" = 100'
PROJECT	UC1596
SHEET	1 of 6

NOTES:  
 1. ELEVATIONS DATUM NOVD 1929.  
 2. EXISTING CONDITIONS SURVEY WAS COMPLETED BETWEEN AUGUST 28, 2020 AND JULY 18, 2023.  
 3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.

EXISTING UTILITY NOTE:  
 SEWER, DRAIN AND WATER LOCATIONS AND ELEVATIONS WERE TAKEN FROM PLANS OF RECORD AND ARE NOT THE RESULT OF A FIELD SURVEY.



LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- x274.3 SPOT GRADE - PROPOSED
- x274.3EX. SPOT GRADE - EXISTING
- EXIST. TREE - DIAMETER - SPECIES
- UTILITY POLE
- OVERHEAD WIRES
- GAS GATE
- WATER CURB STOP
- WATER GATE
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING (REINFORCED)
- VGC VERTICAL GRANITE CURBING
- HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- B BOLLARD
- M MONITOR WELL

OWNER AND APPLICANT:  
 138 EAST CENTRAL STREET, LLC  
 37 AND 138 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS

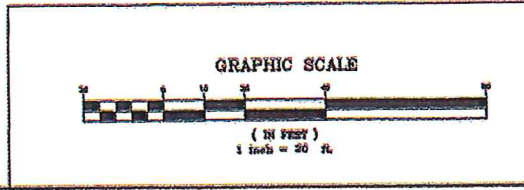
REFERENCES:  
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SITE PLAN  
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 FRANKLIN, MASSACHUSETTS  
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 FRANKLIN, MASSACHUSETTS  
 JULY 27, 2023  
 SCALE: 1" = 20'

SITE PLAN APPROVAL  
 REQUIRED  
 FRANKLIN PLANNING BOARD

DATE \_\_\_\_\_



NO.	DATE	DESCRIPTION	BY

ANDREW C. MURPHY P.L.S. #35042

DATE	FIELD BY:	INT.
8/20	BL	
7/23	PG#	
7/23	RRG	
7/23	RRG	
7/23	COMP	
7/23	CAQ	

UNITED CONSULTANTS INC.  
 650 FRANKLIN STREET SUITE 110  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-6560 FAX 508-384-6566

DATE  
 JULY 27, 2023  
 SCALE  
 1" = 20'  
 PROJECT  
 UC1598  
 SHEET  
 2 of 6



**BUFFER ZONE DISTURBANCES:**

- 0 - 25' BUFFER ZONE  
AREA - 457 SQ. FT.  
EXISTING IMPERVIOUS AREA - 363 SQ. FT.  
PROPOSED IMPERVIOUS AREA - 159 SQ. FT.  
204 SQ. FT. REDUCTION
- 25' - 50' BUFFER ZONE  
AREA - 1,692 SQ. FT.  
EXISTING IMPERVIOUS AREA - 1,481 SQ. FT.  
PROPOSED IMPERVIOUS AREA - 1,653 SQ. FT.  
172 SQ. FT. ADDITION
- 50' - 100' BUFFER ZONE  
AREA - 5,178 SQ. FT.  
EXISTING IMPERVIOUS AREA - 4,192 SQ. FT.  
PROPOSED IMPERVIOUS AREA - 5,032 SQ. FT.  
840 SQ. FT. ADDITION
- WESTERLY BUILDING ROOF TO RECHARGE  
AREA 2,727 SQ. FT.
- REDUCTION OF IMPERVIOUS AREA TO IWV - 1,919 SQ. FT.

MAY 8, 2023

PERFORMED BY CARLOS A. QUINTAL, P.E., SOIL EVALUATOR  
RICHARD GOODREAU AND JARED LIBERTI

**LEGEND:**

- EXISTING CONTOUR
- 297- PROPOSED CONTOUR
- x274.3 SPOT GRADE - PROPOSED
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- TP 1 ELEV. = 293.82  
0' - 24" FILL - ELEV. = 291.82  
24" - 27" A 10YR 2/2 - ELEV. = 291.57  
27" - 40" MED SAND 2.5Y 4/4 - ELEV. = 290.49  
MOTTLES @ 27" - ELEV. = 291.57
- TP 2 ELEV. = 295.67  
0 - 13" ASPHALT AND DENSE GRADE - ELEV. = 294.59  
13" - 72" FILL - ELEV. = 289.67  
WATER @ 70" - ELEV. = 289.84
- TP 3 ELEV. = 297.72  
0 - 2" - ELEV. = 297.55  
2" - 91" FILL - ELEV. = 290.14  
91" - 97" C SILTY - ELEV. = 289.64
- TP 4 ELEV. = 293.82  
0 - 2.5" - ELEV. = 293.61  
2.5" - 65" FILL - ELEV. = 288.40  
WATER @ 60" - ELEV. = 288.82
- TP 5 ELEV. = 297.24  
0 - 3" ASPHALT - ELEV. = 296.99  
3" - 11" FILL - ELEV. = 296.32  
11" - 41" C1 10YR 5/3 - ELEV. = 293.82  
41" - 51" C2 10YR 5/2 - ELEV. = 292.99  
MOTTLES @ 35" - ELEV. = 294.32
- TP 6 ELEV. = 295.01  
0 - 4" ASPHALT - ELEV. = 294.68  
4" - 14" SAND AND GRAVEL - ELEV. = 293.84  
14" - 36" FILL - ELEV. = 292.01  
36" - 63" C1 10YR 4/8 - ELEV. = 289.76  
63" - 76" C2 2.5Y 5/4 - ELEV. = 288.68  
WATER WEeping @ 69" - ELEV. = 289.28

**DRAINAGE PIPE SCHEDULE:**

- WEST SIDE OF BUILDING
- 1 - 3' OF 8" SDR 35 PVC - S=0.01
  - 2 - 15' OF 8" SDR 35 PVC - S=0.01
  - 3 - 63' OF 8" SDR 35 PVC - S=0.01
  - 4 - 12' OF 8" SDR 35 PVC - S=0.01
  - 5 - 23' OF 8" SDR 35 PVC - S=0.01

- INVERT @ A - 293.33  
INVERT @ B - 293.48  
INVERT @ C - 294.11  
INVERT @ D - 294.23  
INVERT @ E - 294.46

- EAST SIDE OF BUILDING
- 11 - 10' OF 8" SDR 35 PVC - S=0.005
  - 12 - 26' OF 8" SDR 35 PVC - S=0.005
  - 13 - 86' OF 8" SDR 35 PVC - S=0.005

- INVERT @ AA - 293.35  
INVERT @ BB - 293.48  
INVERT @ CC - 293.91

NOTE: FINAL DOWNSPOUT LOCATIONS TO BE DETERMINED BY THE ARCHITECT.

PROPOSED SITE IMPERVIOUS - 24,167 SQ. FT. X 1/12 X 0.80 = 1,611 CUBIC FEET STORMWATER STORAGE REQUIRED  
PROPOSED TRENCH = 18" ADS PERFORATED PIPE WITH 6" BELOW THE INVERT 12" STONE BETWEEN THE PIPE AND THE EDGE OF THE STORAGE SYSTEM.  
STORAGE VOLUME = 1,657 CUBIC FEET.

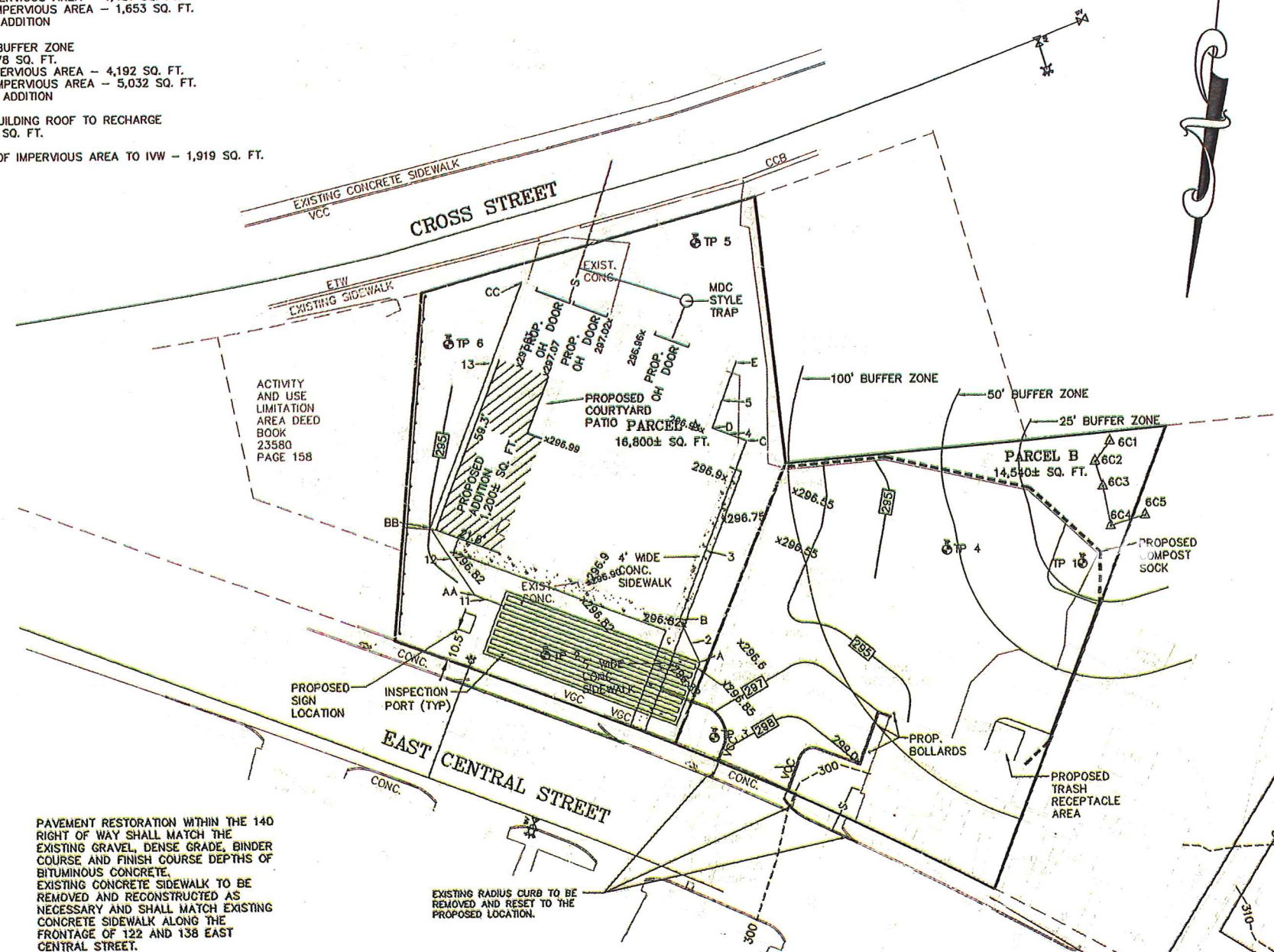
**EXISTING SITE FEATURES NOTES:**

- EXISTING BOLLARDS TO BE REMOVED INCLUDING BOLLARDS AT THE EXISTING GARAGE DOOR.
- EXISTING CONCRETE PADS TO BE REMOVED.
- EXISTING ASPHALT TO BE REMOVED AND AREAS TO BE REPAVED.
- EXISTING WATER SERVICE TO REMAIN.
- EXISTING SEWER SERVICE TO REMAIN.
- EXISTING UTILITY SERVICES TO REMAIN.
- EXISTING WATER AND SEWER SERVICE TAKEN FROM TIES PROVIDED BY THE TOWN OF FRANKLIN AND SHOULD BE FIELD VERIFIED.

**STANDARD B**  
- THE PROJECT CONSISTS OF THE RECONSTRUCTION OF AN EXISTING PARKING LOT WITH REMOVAL OF PAVEMENT AND AREA OF ADDED PAVEMENT. A ROOF STORAGE SYSTEM IS PROPOSED ON THE ADJUTING PROPERTY.  
- THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ALL RAINFALL EVENTS OF 1" OR GREATER. ONCE THE EXISTING PAVEMENT IS REMOVED THE SITE SHALL BE GRADED AND THE AREA SHALL BE PAVED. - THE OWNER SHALL BE RESPONSIBLE FOR COMPLIANCE.  
- THE CONTRACTOR SHALL REMOVE THE EXISTING PAVEMENT, RE-GRADE THE AREA AND THEN RE-PAVE THE AREA WITHIN A ONE WEEK PERIOD TO MINIMIZE SOIL EXPOSURE.  
- REFER TO THE EROSION CONTROL BARRIER LOCATION AND DETAIL.  
- DUE TO THE SMALL SIZE OF THE SITE THERE ARE NOT ANY EROSION CONTROL BMP'S PROPOSED.  
- ALL DISTURBED AREAS WHICH ARE NOT PAVED WILL BE COVERED WITH LOAM AND WILL BE SEEDED OR COVERED WITH MULCH.  
- REFERENCE THE SITE PLANS  
- THE CONTRACTOR SHALL REMOVE THE EXISTING PAVEMENT, RE-GRADE THE AREA AND THEN RE-PAVE THE AREA WITHIN A ONE WEEK PERIOD TO MINIMIZE SOIL EXPOSURE.  
- THE EROSION CONTROL BARRIER SHALL BE INSTALLED PRIOR TO ANY WORK COMMENCING WITH IN THE BUFFER ZONE.  
- THE EROSION CONTROL BARRIER SHALL BE INSPECTED AND IF NECESSARY REPAIRED.  
- THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ALL RAINFALL EVENTS OF 1" OR GREATER.  
- DUE TO THE RELATIVELY SHORT CONSTRUCTION PERIOD OF ONE WEEK, MAINTENANCE IS NOT ANTICIPATED TO BE NECESSARY.  
- THE CONTRACTOR SHALL MAINTAIN A LOG OF THE INSPECTIONS AND DATED WHEN THEY WERE COMPLETED.

OWNER AND APPLICANT:  
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**SITE PLAN**  
**GRADING AND UTILITY PLAN**  
122 & 138 EAST CENTRAL STREET  
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JULY 27, 2023  
SCALE: 1" = 20'



PAVEMENT RESTORATION WITHIN THE 140 RIGHT OF WAY SHALL MATCH THE EXISTING GRAVEL, DENSE GRADE, BINDER COURSE AND FINISH COURSE DEPTHS OF BITUMINOUS CONCRETE.  
EXISTING CONCRETE SIDEWALK TO BE REMOVED AND RECONSTRUCTED AS NECESSARY AND SHALL MATCH EXISTING CONCRETE SIDEWALK ALONG THE FRONTAGE OF 122 AND 138 EAST CENTRAL STREET.

EXISTING RADIUS CURB TO BE REMOVED AND RESET TO THE PROPOSED LOCATION.

REFERENCES:  
ASSESSORS MAP 288 PARCELS 27 AND 28  
DEED BOOK 40221 PAGE 464  
DEED BOOK 40435 PAGE 87

PLAN 1175 OF 1949  
PLAN 550 OF 1989  
PLAN 65 OF 2006  
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ACCESSIBLE ROUTE SHALL NOT HAVE A CROSS SLOPE GREATER THAN 2% OR A RUNNING SLOPE GREATER THAN 5%  
SEE 521 CMR 20.8.

**SITE PLAN APPROVAL REQUIRED**  
**FRANKLIN PLANNING BOARD**

DATE	



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**UNITED CONSULTANTS INC.**  
560 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6666 FAX 508-384-6668

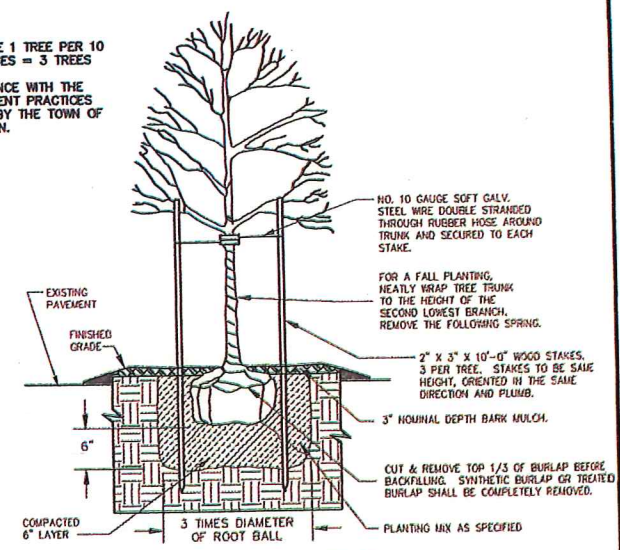
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PROJECT: UC1598  
SHEET: 4 of 6

LANDSCAPE AND SNOW STORAGE / REMOVAL NOTES:  
 1. LANDSCAPE AREAS TO BE COVERED WITH MULCH OR DECORATIVE STONE.  
 2. LANDSCAPE AREAS TO BE UTILIZED AS SNOW STORAGE AREAS.  
 3. SNOW STORAGE TO BE IN EXTRA PARKING SPACES 21-25.

PLANTING SCHEDULE

NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
1	AMERICAN ELM - AE	ULMUS AMERICANA	3"	B&B
2	RED MAPLE - RM	ACER RUBRUM	3"	B&B

- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES. 25 PARKING SPACES = 3 TREES  
 3 TREES PROVIDED.  
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK OR WILL BE APPROVED BY THE TOWN OF FRANKLIN CONSERVATION COMMISSION.



DECIDUOUS TREE PLANTING

- NOTES:  
 1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.  
 2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.  
 3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.  
 4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

REFERENCES:  
 ASSESSORS MAP 286 PARCELS 27 AND 28  
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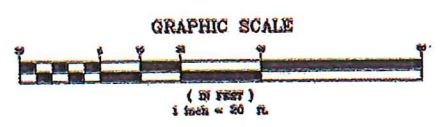
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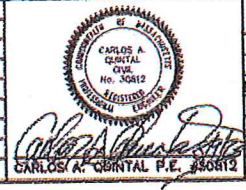
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SITE PLAN APPROVAL  
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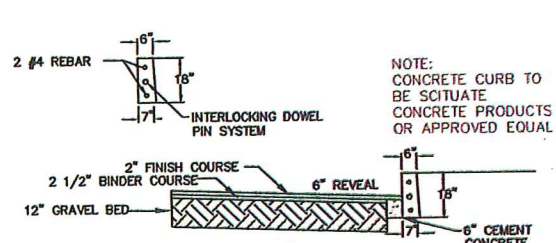
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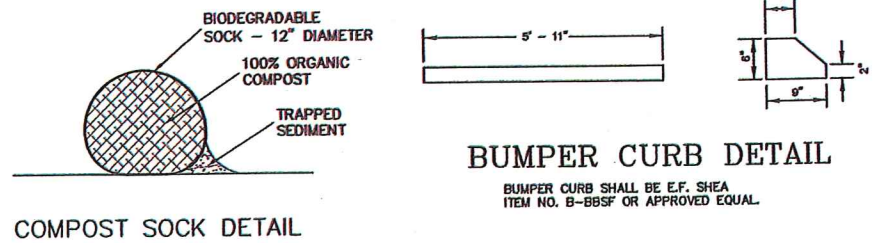
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**UNITED CONSULTANTS INC.**  
 860 FRANKLIN STREET SUITE 110  
 WRENTHAM, MASSACHUSETTS 02095  
 508-884-6560 FAX 508-884-6568

DATE	SCALE	PROJECT	SHEET
JULY 27, 2023	1" = 20'	UC1596	5 of 6

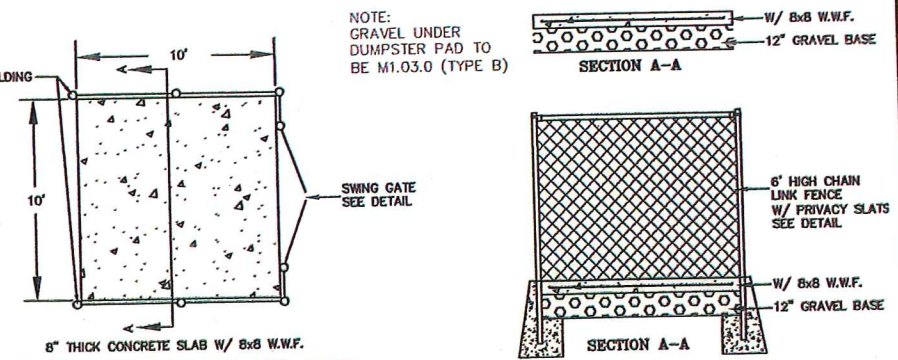


PAVEMENT AND REINFORCED VERTICAL CONCRETE CURBING



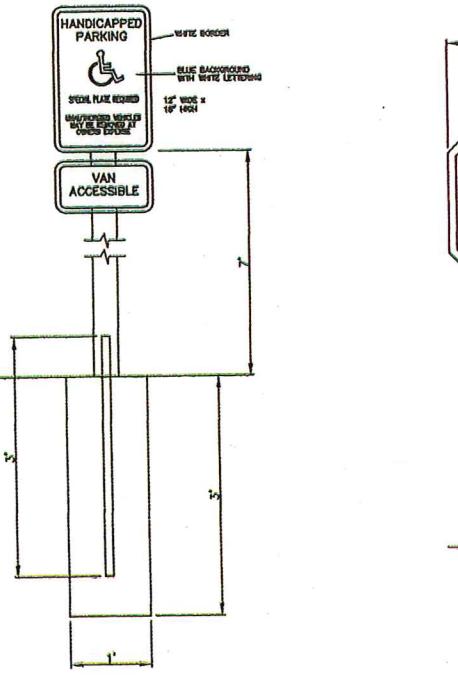
BUMPER CURB DETAIL

COMPOST SOCK DETAIL

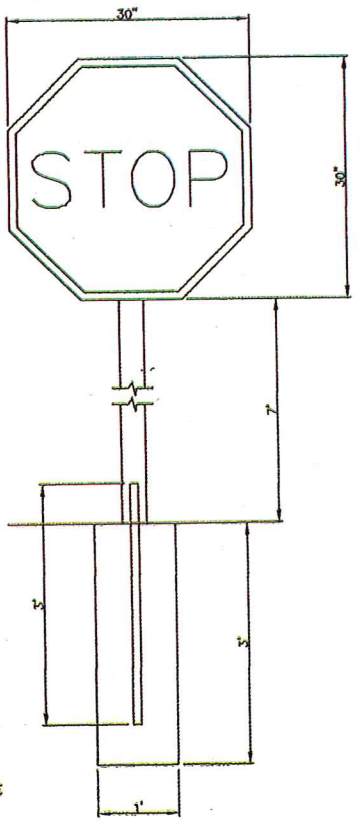


CONCRETE DUMPSTER PAD

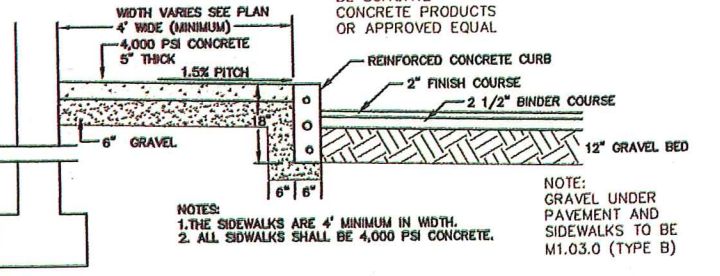
DUMPSTER AREA FENCE



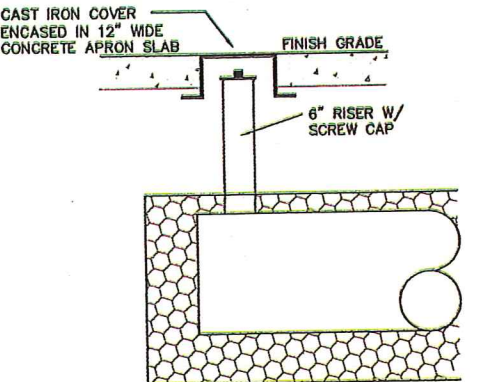
HANDICAP SIGN DETAIL



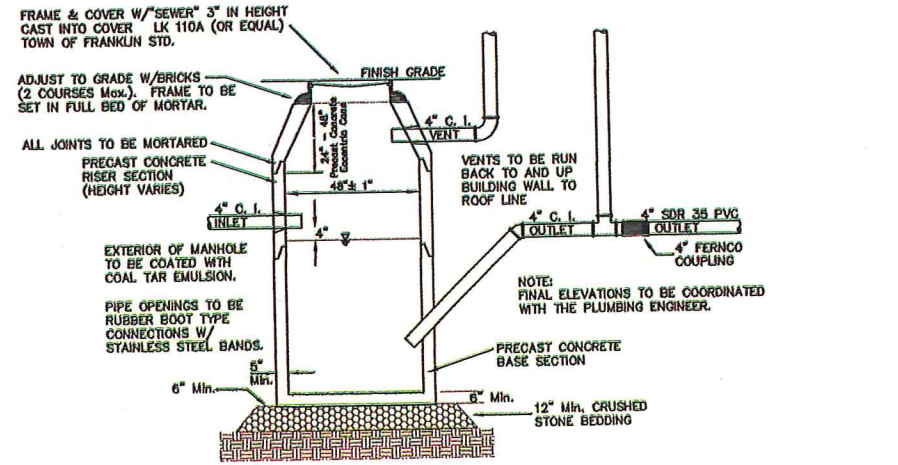
STOP SIGN DETAIL



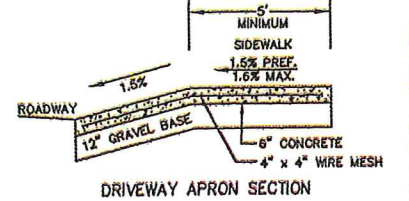
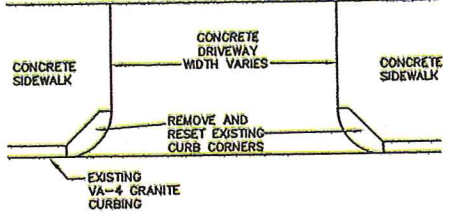
SIDEWALK DETAIL w/ REINFORCED CONCRETE CURB



INSPECTION PORT DETAIL

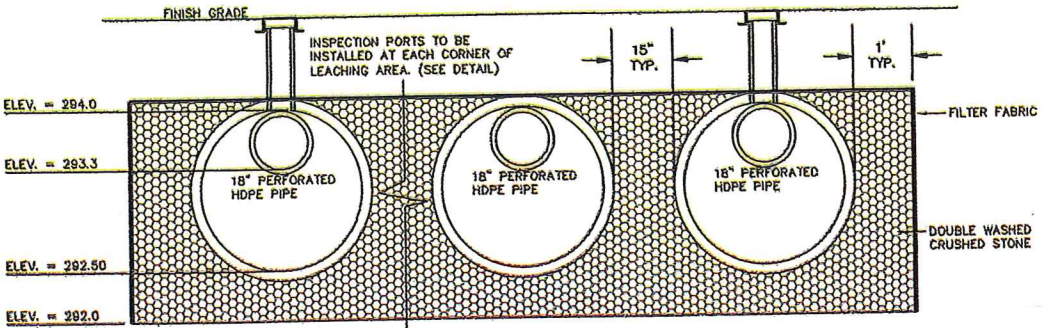


M.D.C. STYLE TRAP

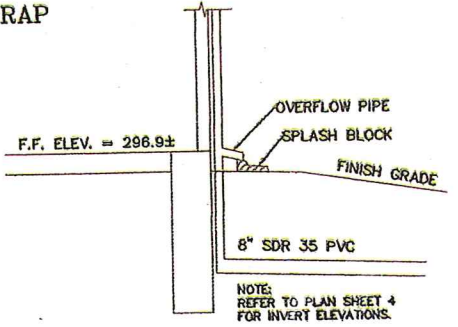


NOTES:  
 1. CROSS SLOPE ON ANY RAMP, LANDING OR ACCESSIBLE ROUTE SHALL NOT EXCEED 3/16\"/>

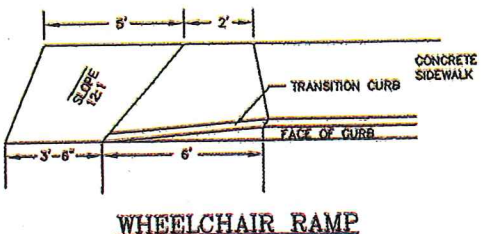
BOLLARD DETAIL



DRAINAGE SYSTEM PROFILE



ROOF LEADER DETAIL



WHEELCHAIR RAMP

SITE PLAN CONSTRUCTION DETAILS  
 122 & 138 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 138 EAST CENTRAL STREET, LLC  
 37 AND 138 EAST CENTRAL STREET  
 FRANKLIN, MASSACHUSETTS  
 JULY 27, 2023  
 SCALE: 1\"/>

REQUIRED FRANKLIN PLANNING BOARD

DATE \_\_\_\_\_

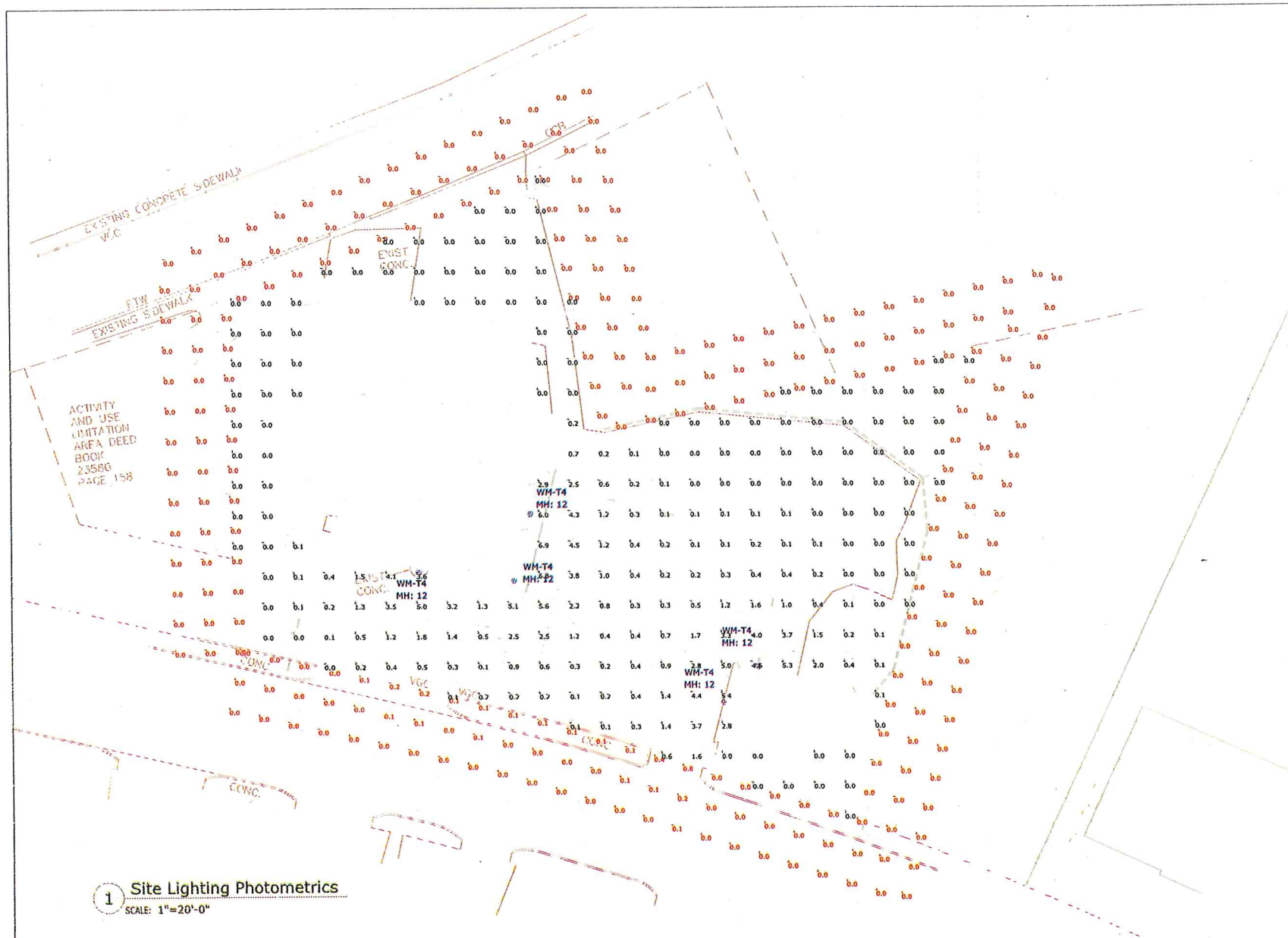


NO.	DATE	DESCRIPTION	BY

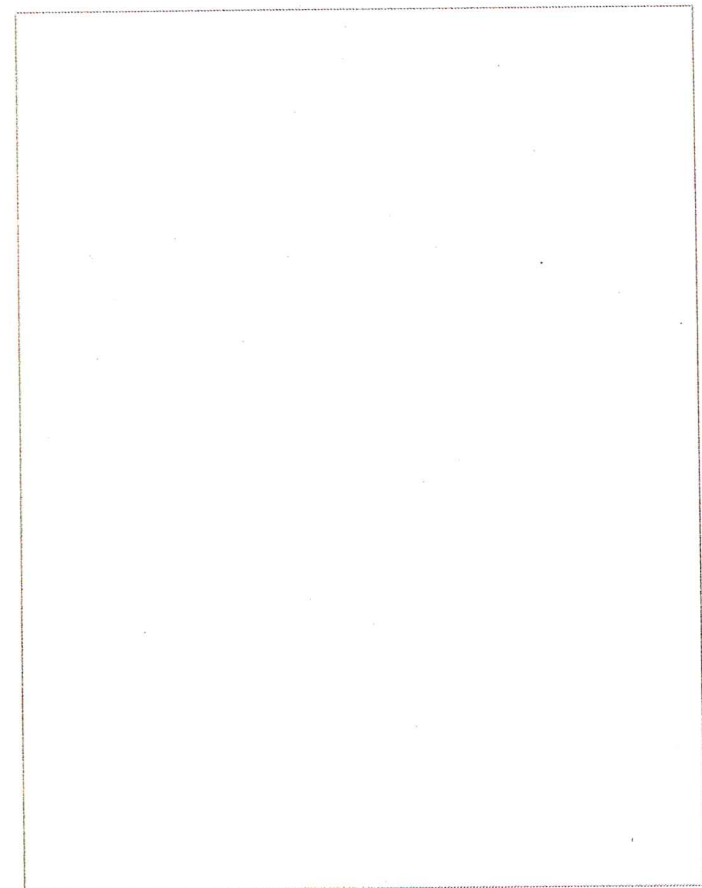
DATE	FIELD BY	INT.
8/20		BL
7/23		PG#
7/23		RRG
7/23		RRG
7/23		COMP
7/23		CAQ

UNITED CONSULTANTS INC.  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-884-8560 FAX 508-884-8568

DATE	JULY 27, 2023
SCALE	1" = 20'
PROJECT	UC1596
SHEET	6 of 6



1 Site Lighting Photometrics  
SCALE: 1"=20'-0"



2 Fixture Specification - DuraGuard WPC44Q

Luminaire Schedule								
Symbol	Label	Qty	Part Number	Arrangement	LLF	Total Watts	Total Luminaire Lumens	BUG Rating
☐	WM-T4	5	DuraGuard # WPC44QD1X37U3KCZ	Single	0.950	41.6	4254	B1-U0-G1

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.01	0.8	0.0	N.A.	N.A.
Site Points	Illuminance	Fc	0.71	6.9	0.0	N.A.	N.A.

- NOTES:
- A. A LIGHT LOSS FACTOR OF 0.900 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.
  - B. SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORMATION.
  - C. CALCULATION POINTS ARE TAKEN AT GRADE.
  - D. CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.

**SK & Associates**  
Experience the Right™

20/22 Carver Circle  
Canton, MA 02021

T - 781-821-1700  
www.skandassociates.com

**CAMFORD**  
PROPERTY GROUP, INC.

37 EAST CENTRAL ST.  
FRANKLIN, MA

# 138 East Central Street - Franklin, MA

## Site Lighting Photometrics, Schedules & Specifications

DATE	REVISIONS	DESCRIPTION	DATE
August 4, 2023	1		
PROJECT NUMBER: 23-0607	2		
DRAWN BY: AD	3		
CHECKED BY: HD	4		
APPROVED BY: HD	5		
SCALE: AS NOTED	6		
	7		

# SL1