

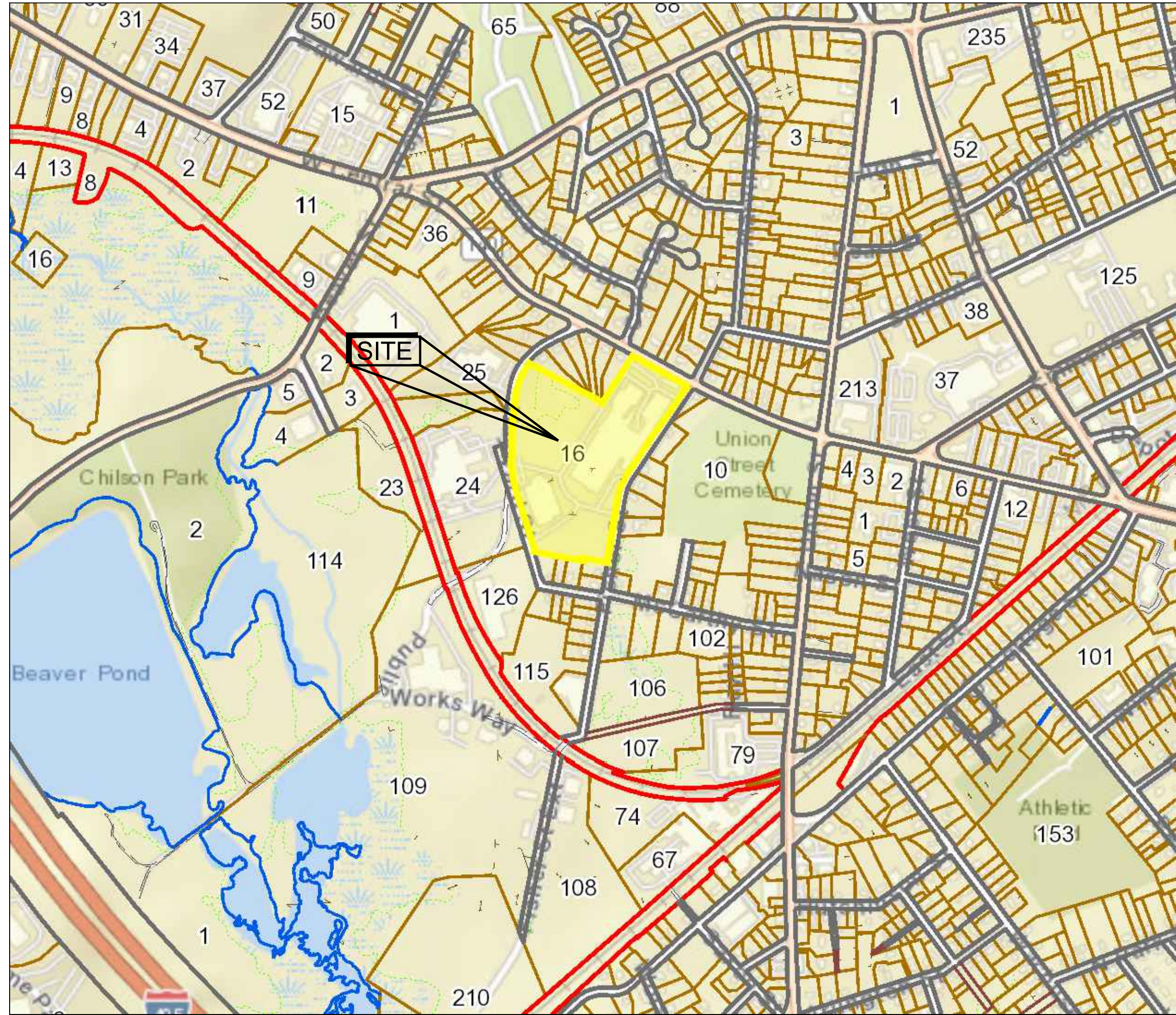
APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_  
BEING A MAJORITY

# FACTORY SQUARE

## PROPERTY REDEVELOPMENT-PERMIT MODIFICATION

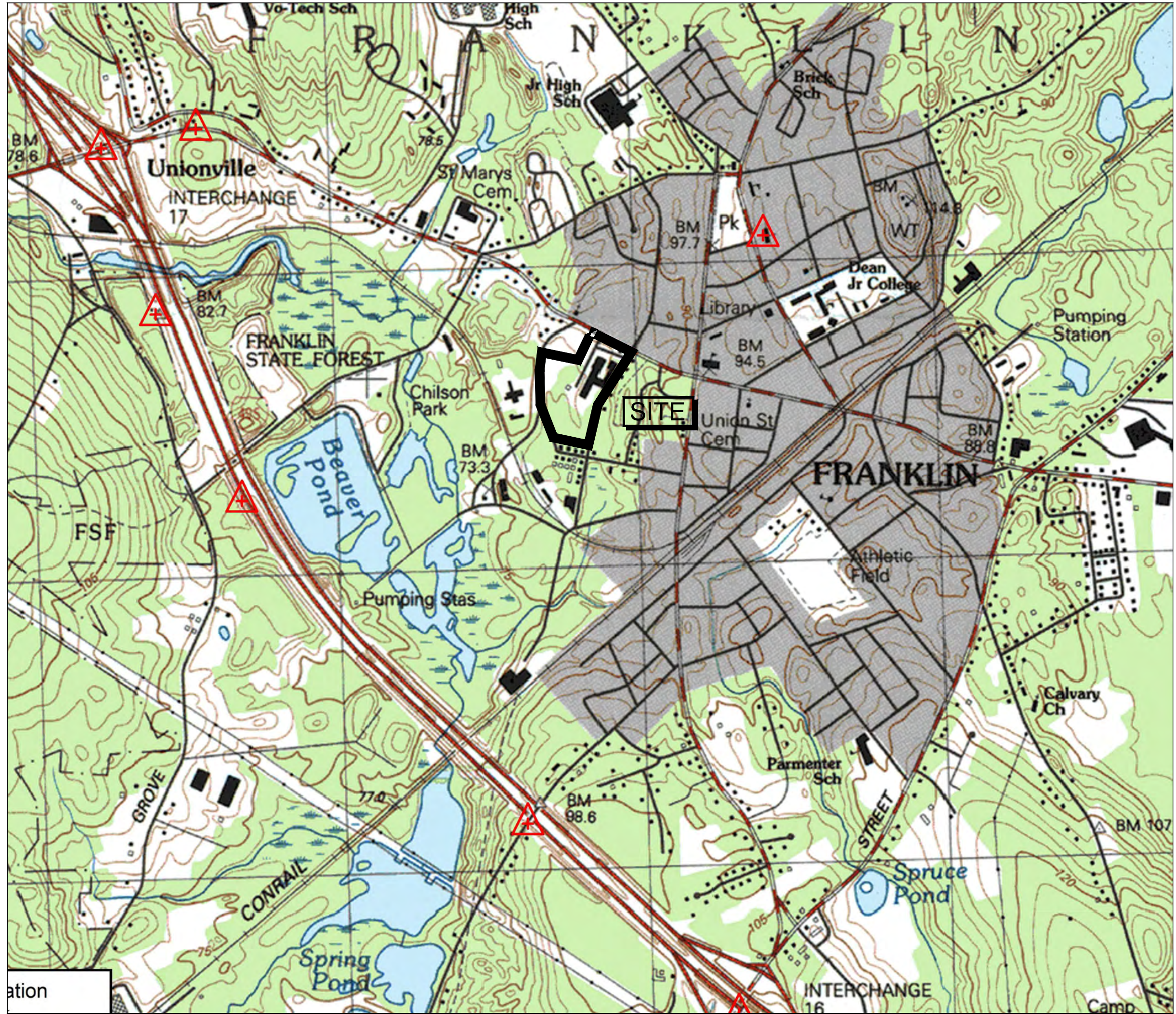
### 1, 3, 5 & 7 FISHER STREET FRANKLIN, MASSACHUSETTS

NO.	DATE	REVISIONS
1	07/01/2021	PERMITTING SUBMISSION
2	09/16/2021	RESPONSE TO COMMENTS
3	11/05/2021	RESPONSE TO COMMENTS
4	12/22/2021	ENDORSEMENT PLANS
5	07/06/2023	PLANNING MODIFICATION



**ASSESSORS MAP**

SCALE: 1" = 500' ±



**USGS MAP**

SCALE: 1" = 1,000' ±

**APPLICANT:**  
**RICK KAPLAN**  
1 FISHER STREET  
FRANKLIN, MA 02038

**CIVIL ENGINEER:**  
**LEVEL**  
DESIGN GROUP  
Civil Engineers & Land Surveyors  
249 SOUTH STREET  
UNIT 1  
PLAINVILLE, MA 02762  
TEL. (508) 695-2221 FAX. (508) 695-2219

**ARCHITECT:**  
**HFA**  
HFA-AE, LTD.  
31 HAYWARD STREET, STE. E-1  
FRANKLIN, MA 02038

**PROPERTY ADDRESS:**  
3, 5 & 7 FISHER STREET  
FRANKLIN, MASSACHUSETTS

**ASSESSORS MAP/PARCEL:**  
PARCEL ID: 278-016-000-000

**ZONING DISTRICT:**  
MIXED BUSINESS INNOVATION

**DRAWING LIST:**  
C-0.0 COVER  
C-0.1 NOTES  
C-1.0 EXISTING CONDITIONS  
C-2.0 LAYOUT AND MATERIALS  
C-3.0 GRADING AND UTILITIES  
C-3.1 EROSION CONTROL  
C-4.0-4.1 TYPICAL DETAILS  
C6.0 LANDSCAPE PLAN  
PH11, PH21 PHOTOMETRIC

**A-SERIES COVER**  
A101-102 BUILDING 3 FLOOR PLANS  
A201-202 BUILDING 3 ELEVATIONS

**Town of Franklin**  
350 East Central Street  
Franklin, Massachusetts 02038-1129  
Phone: (508) 270-4307  
www.townoffranklin.gov

December 21, 2021  
Nancy Daniels, Town Clerk  
Town of Franklin  
355 East Central Street  
Franklin, MA 02038

**CERTIFICATE OF VOYE**  
Site Plan Modification  
3, 5, & 7 Fisher Street

Site Plan:  
"Factory Square, Property Redevelopment - 3, 5, & 7 Fisher Street"

Owner:  
K Fisher Street LLC  
63 Milk Street, Suite 107  
Westborough, MA 01581

Applicant:  
Rick Kaplan  
1 Fisher Street  
Franklin, MA 02038

Prepared By:  
Surveyor/Engineer:  
Lund Design Group, Plainville, MA  
Date: July 1, 2021  
Property Location:  
3, 5, & 7 Fisher Street  
Map 278-016-016

Dear Mrs. Daniels:

Please be advised that at its meeting on Monday, December 20, 2021 the Planning Board voted (10-0-0), upon motion duly made and seconded to APPROVE, with Standard and Special Conditions, the above referenced Site Plan. The Conditions of Approval are listed on page 2-3, attached hereto. With the Certificate of Vote as well as the conditions of approval shall be returned on the site plan.

Sincerely,  
*[Signature]*  
Ong Ruffalo, Chairman  
Franklin Planning Board

cc: Owner/Applicant/Applicant's Engineer

**CERTIFICATE OF VOYE**  
Site Plan Modification  
Factory Square - 3, 5, & 7 Fisher Street

1. The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.

2. Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form 11). Said inspection is further outlined in condition #1.

3. No alteration of these plans shall be made or effected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.

4. All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.

5. Prior to the endorsement of the site plan, the following shall be done:

- The owner/applicant shall provide the entire list of conditions and this Certificate of Vote on the front page of the plan.
- A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major construction or soil disturbance commencing on the site.
- All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments at the Town relative to said review of the owner/applicant's application and plans shall have been paid in full.

6. All required improvements specified in this Certificate of Vote shall be constructed within a one-year period unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the approved plan have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agents shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #1.

7. Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his agents shall be responsible for all cleanup of the roadway. All cleanup shall occur within twenty-four (24) hours after the last vehicle utilization to the owner/applicant by the Board or its designees. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.

8. The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.

9. Maintenance and repair of the parking area, water supply systems, sewer pipes, electric distribution systems, and stormwater system shall be the responsibility of the owner/applicant and shall never be the responsibility of the Town and the Town shall never be required to perform any service, repair or maintenance with respect to said areas or any of the above-stated systems within the subject property. The Town will never be required to provide snow plowing or trash pickup, with respect to the subject property.

**CERTIFICATE OF VOYE**  
Special Condition  
Factory Square - 3, 5, & 7 Fisher Street

16. Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant, and his contractor(s), the Department of Public Works and the Planning Board's Observance Contractor.

1. BETA's letter dated December 2, 2021.

2. The Chebogue plan submitted to the Planning Board should be included prior to endorsement. The Plan should include the color code details.

3. Applicant to submit a Limited Site Plan after 50% occupancy and provide parking calculations.

**BETA**  
MEMORANDUM

Date: December 2, 2021  
To: Mr. Gregory Koudouk, Chairman  
Cc: Amy Love, Town Planner  
From: Matt Crowley, PE  
Subject: 5 Fisher Street Plan Review

Job No.: 4830

Dear Mr. Ruffalo:

BETA recently met in the field with the Engineer of Record, Dan Campbell, PE and Town Engineer, Mike Magala, PE, to discuss potential construction mitigation options for the proposed redevelopment of the driveway area on the northwest side of the site. With the understanding that the existing topography limits treatment options, the parties agreed that additional stormwater mitigation could be provided using sediment forebay and water quality swales. A Revised Grading and Utilities Plan and Typical Details, revision date November 11, 2021, were provided and are consistent in concept with field discussions. BETA notes that the proposed well require fees from this area to discharge via street flow (i.e. no curb); however, will provide stormwater treatment where none exists today. With the assumption that the Board is satisfied with other discussion items noted in BETA's most recent review letter, dated November 12, 2021, BETA recommends the following conditions of approval:

- Typical details and/or sections, specific to the subject site, shall be developed for the proposed water quality swale, pretreatment forebay, check dams, rip rap, and underdrains and included on the plans prior to endorsement.
- Engineered retaining wall details, stamped by a Massachusetts Registered Professional Engineer or Structural Engineer, as required, shall be provided prior to construction.
- Details in full compliance with all applicable ADA and MAAB regulations shall be provided on the plans for all accessible ramp types (e.g. apron, parallel, etc.) prior to endorsement.
- Accordable parking spaces and routes shall be provided throughout the development in full compliance with all applicable ADA and MAAB regulations based upon final building access points. Proposed accessible spaces and routes shall be depicted on a plan and submitted to the Board for approval prior to their construction.
- The Applicant shall coordinate with the DPW to determine proposed uses that will require the installation of green traps.
- All assessments for town sewer and drainage shall be in place to the satisfaction of the DPW prior to the issuance of a certificate of occupancy.
- The plans shall be revised to provide a detail or clarification for how the proposed subsurface infiltration system will be incorporated into the system or downstream drainage manholes.
- A comprehensive Stormwater Management Report, including all revised and supplementary information, as well as Waterford Plans incorporating the information requested in BETA's November 12, 2021 letter to comment SWM, shall be provided for the record.
- The Engineer of Record shall provide calculations to demonstrate that the water quality unit proposed on the revised 24" drain line is adequately sized for the contributing impervious area.
- The Applicant shall coordinate with the author at 256 West Central Street to provide screening in accordance with the requirements of Section 198-35, either on the owner's site or abutter's property.

BETA GROUP, INC.  
www.betagroup.com







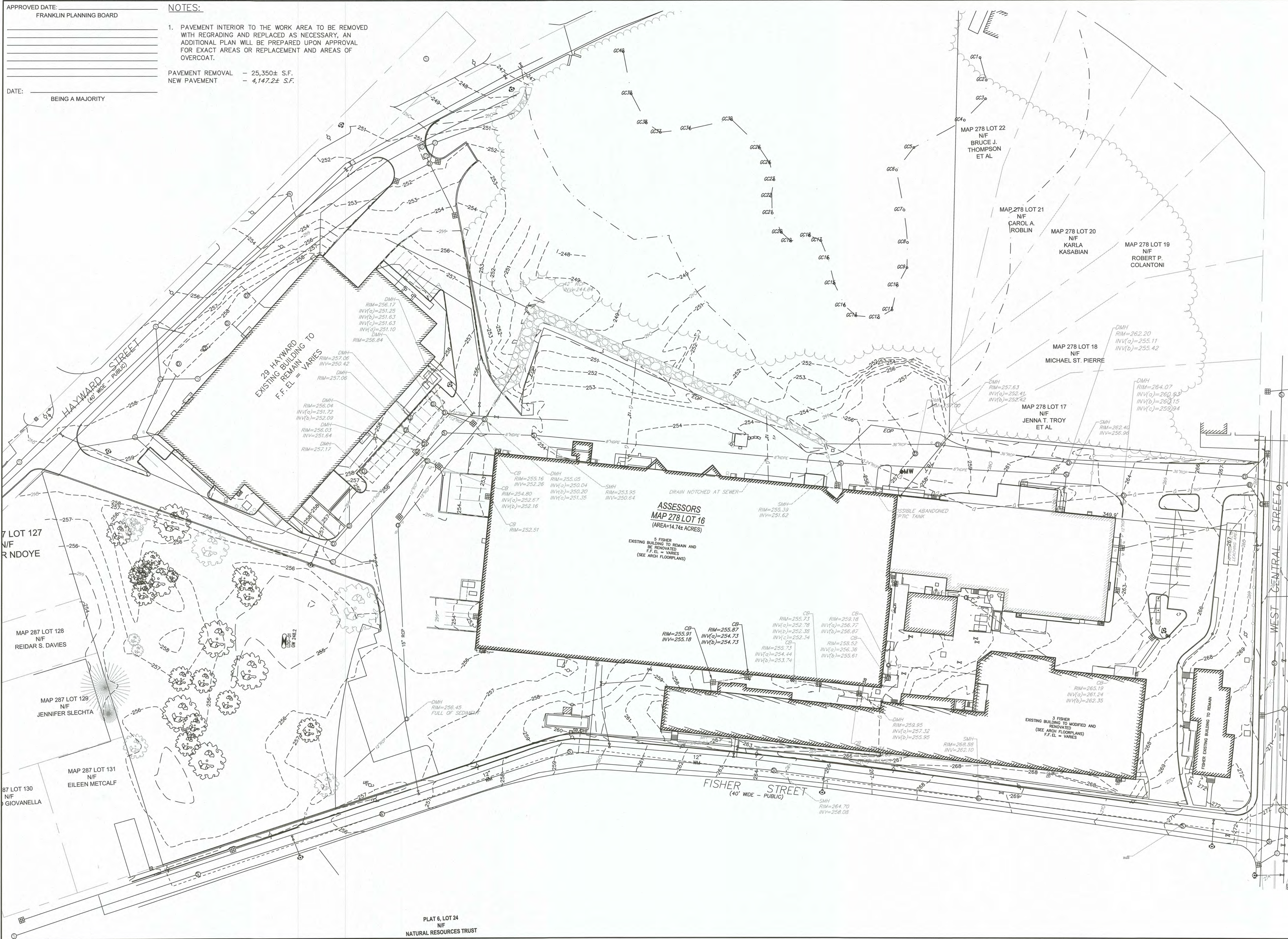
APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD

NOTES:

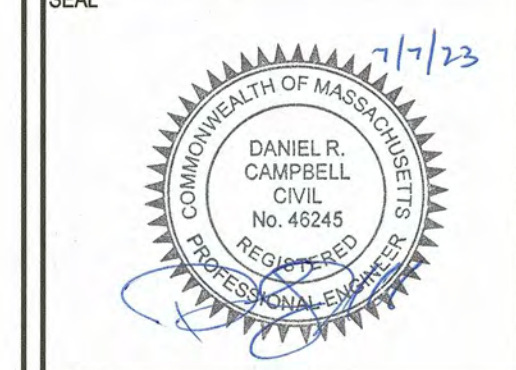
- PAVEMENT INTERIOR TO THE WORK AREA TO BE REMOVED WITH REGRADING AND REPLACED AS NECESSARY, AN ADDITIONAL PLAN WILL BE PREPARED UPON APPROVAL FOR EXACT AREAS OR REPLACEMENT AND AREAS OF OVERCOAT.

PAVEMENT REMOVAL - 25,350± S.F.  
NEW PAVEMENT - 4,147.2± S.F.

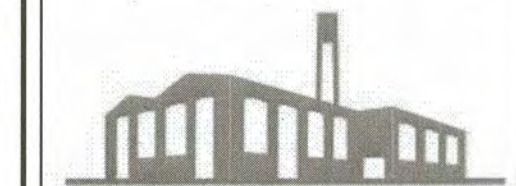
DATE: \_\_\_\_\_  
BEING A MAJORITY



NO	DATE	REVISIONS
1	07/07/2023	ISSUE FOR PERMIT



DATE: 07/07/2023  
DRAWN: DRC  
SCALE: 1" = 40'



**FACTORY SQUARE**  
SITE REDEVELOPMENT - PERMIT MODIFICATION  
PARCEL ID 278-016-000-000  
1, 3, 5 & 7 FISHER STREET  
FRANKLIN, MASSACHUSETTS



249 SOUTH STREET, UNIT 1  
PLAINVILLE, MA 02762  
TEL: (508) 695-2221 FAX: (508) 695-2219

EXISTING CONDITIONS

**C-1.0**

SHEET 3 OF 16

1899.00





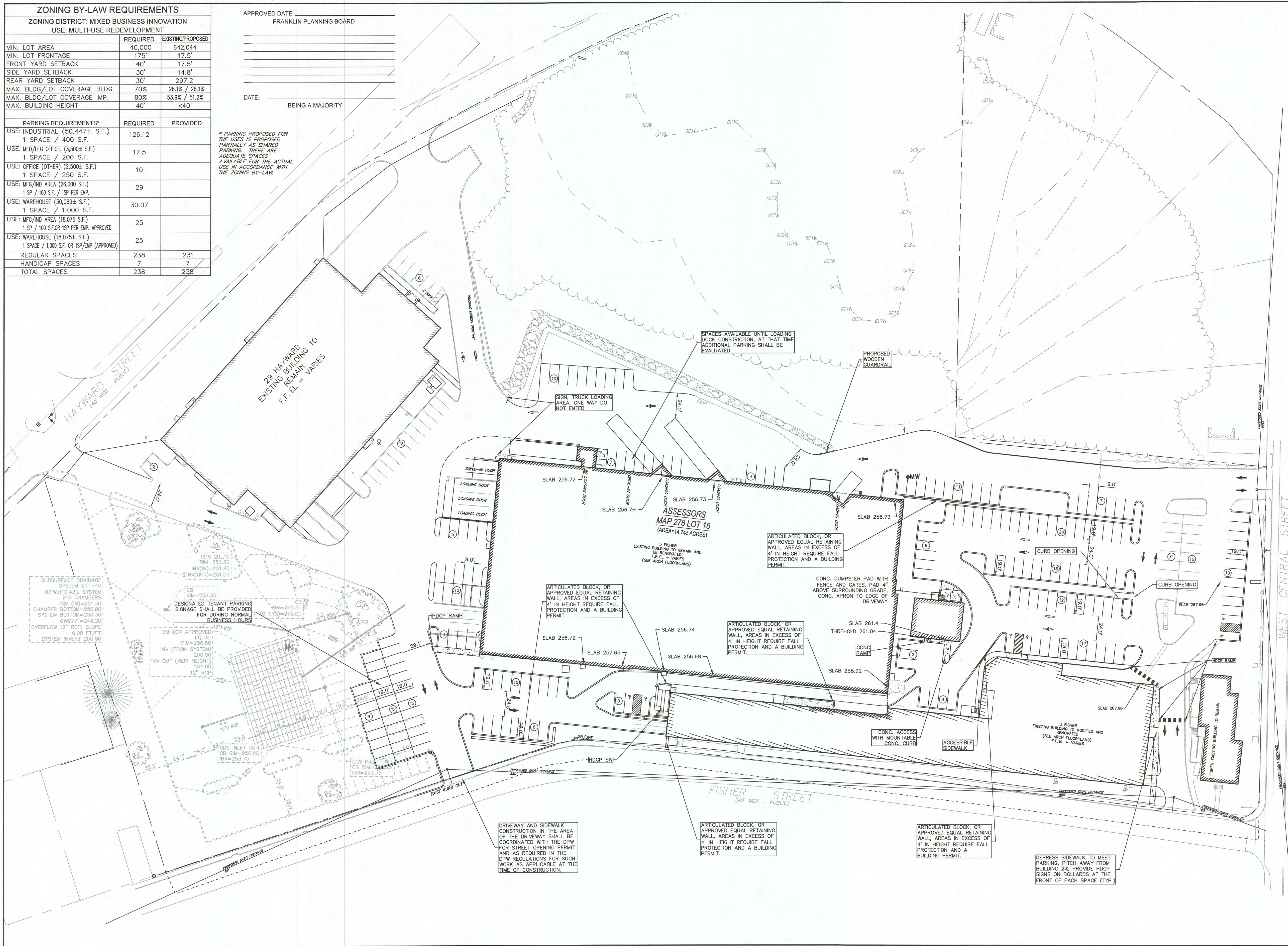


ZONING BY-LAW REQUIREMENTS		
ZONING DISTRICT: MIXED BUSINESS INNOVATION		
USE: MULTI-USE REDEVELOPMENT		
	REQUIRED	EXISTING/PROPOSED
MIN. LOT AREA	40,000	642,044
MIN. LOT FRONTAGE	175'	17.5'
FRONT YARD SETBACK	40'	17.5'
SIDE YARD SETBACK	30'	14.8'
REAR YARD SETBACK	30'	297.2'
MAX. BLDG/LOT COVERAGE BLDG	70%	26.1% / 26.1%
MAX. BLDG/LOT COVERAGE IMP.	80%	53.9% / 51.2%
MAX. BUILDING HEIGHT	40'	<40'
PARKING REQUIREMENTS*		
	REQUIRED	PROVIDED
USE: INDUSTRIAL (50,447± S.F.) 1 SPACE / 400 S.F.	126.12	
USE: MED/LEG OFFICE (3,500± S.F.) 1 SPACE / 200 S.F.	17.5	
USE: OFFICE (OTHER) (2,500± S.F.) 1 SPACE / 250 S.F.	10	
USE: MFG/IND AREA (26,000 S.F.) 1 SP / 100 SF. OR 1SP PER EMP.	29	
USE: WAREHOUSE (30,069± S.F.) 1 SPACE / 1,000 S.F.	30.07	
USE: MFG/IND AREA (18,075 S.F.) 1 SP / 100 SF. OR 1SP PER EMP. APPROVED	25	
USE: WAREHOUSE (18,075± S.F.) 1 SPACE / 1,000 S.F. OR 1SP/EMP (APPROVED)	25	
REGULAR SPACES	238	231
HANDICAP SPACES	7	7
TOTAL SPACES	238	238

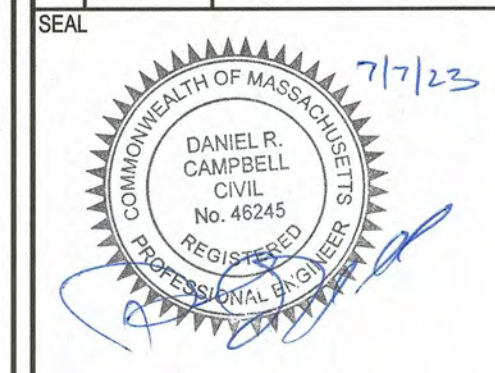
APPROVED DATE: \_\_\_\_\_  
FRANKLIN PLANNING BOARD

DATE: \_\_\_\_\_  
BEING A MAJORITY

\* PARKING PROPOSED FOR THE USES IS PROPOSED PARTIALLY AS SHARED PARKING. THERE ARE ADEQUATE SPACES AVAILABLE FOR THE ACTUAL USE IN ACCORDANCE WITH THE ZONING BY-LAW.



NO	DATE	REVISIONS
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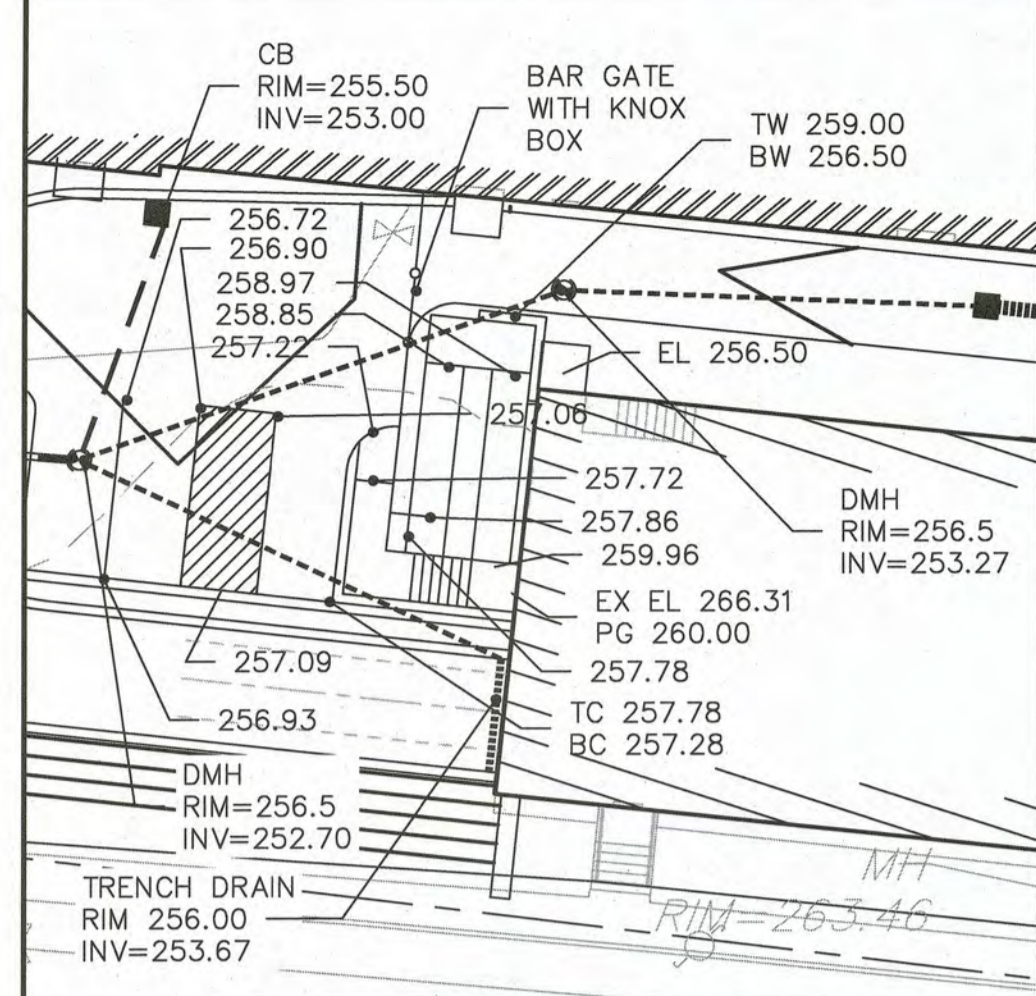
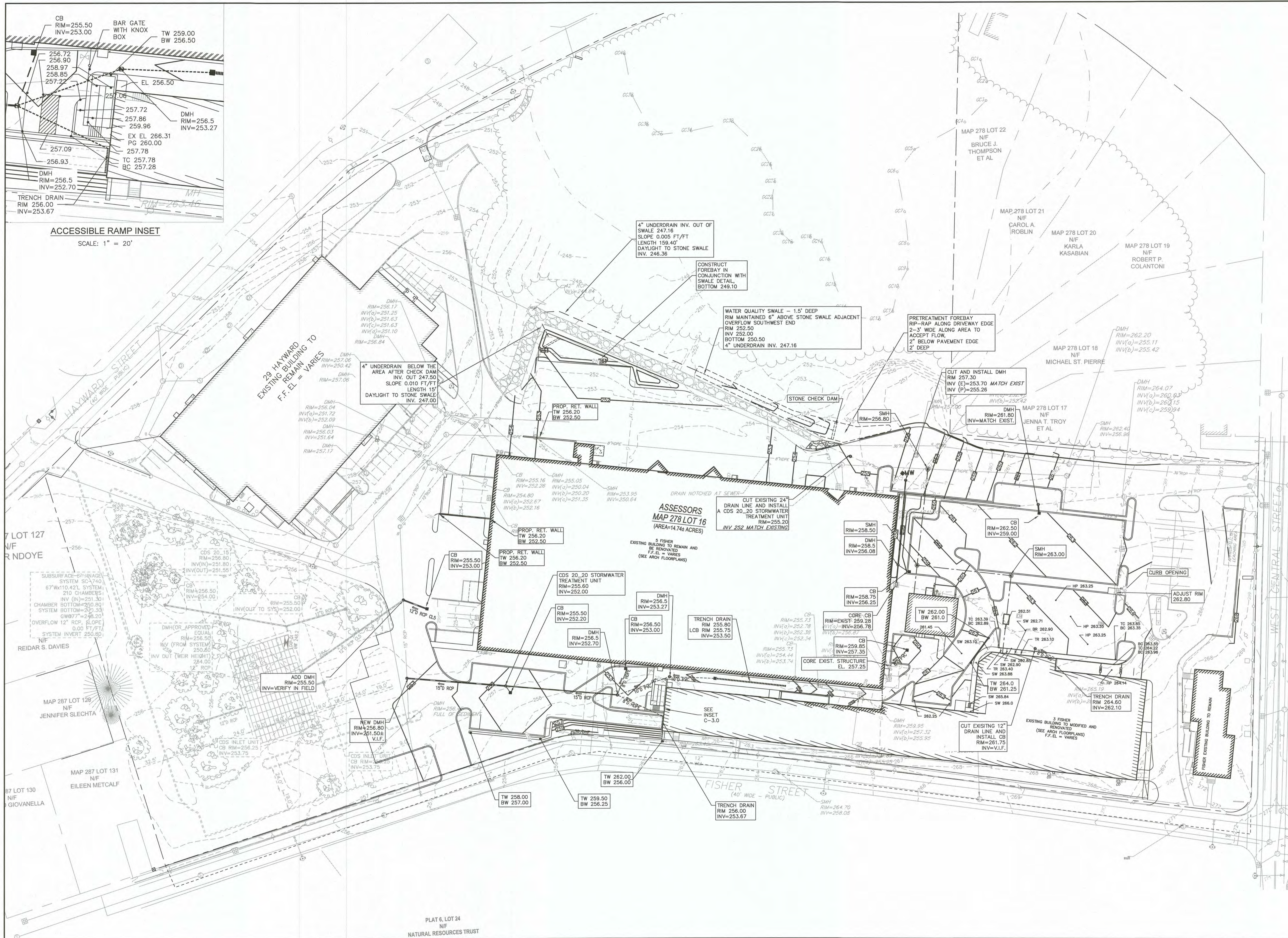


**FACTORY SQUARE**  
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PARCEL ID 278-016-000-000  
1, 3, 5 & 7 FISHER STREET  
FRANKLIN, MASSACHUSETTS

**LEVEL**  
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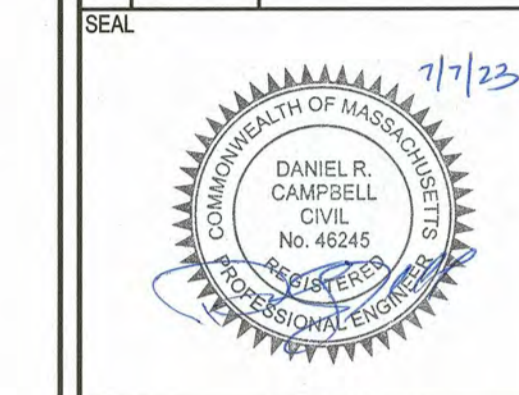
**LAYOUT & MATERIALS**  
**C-2.0**  
SHEET 5 OF 16  
0' 20' 40' 80'  
**1899.00**





**ACCESSIBLE RAMP INSET**  
SCALE: 1" = 20'

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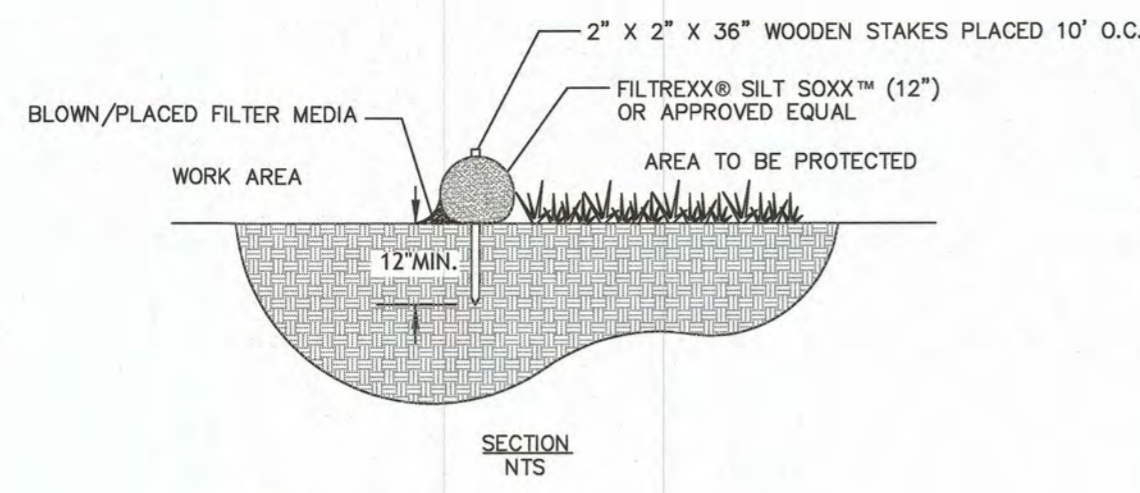
249 SOUTH STREET, UNIT 1  
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**GRADING & UTILITIES**  
**C-3.0**  
SHEET 6 OF 16  
0' 20' 40' 80'  
**1899.00**



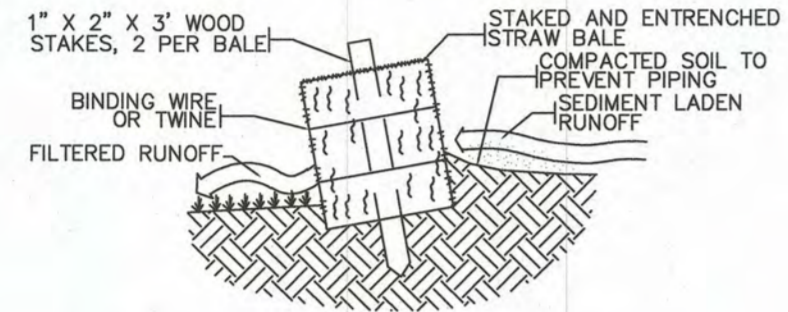
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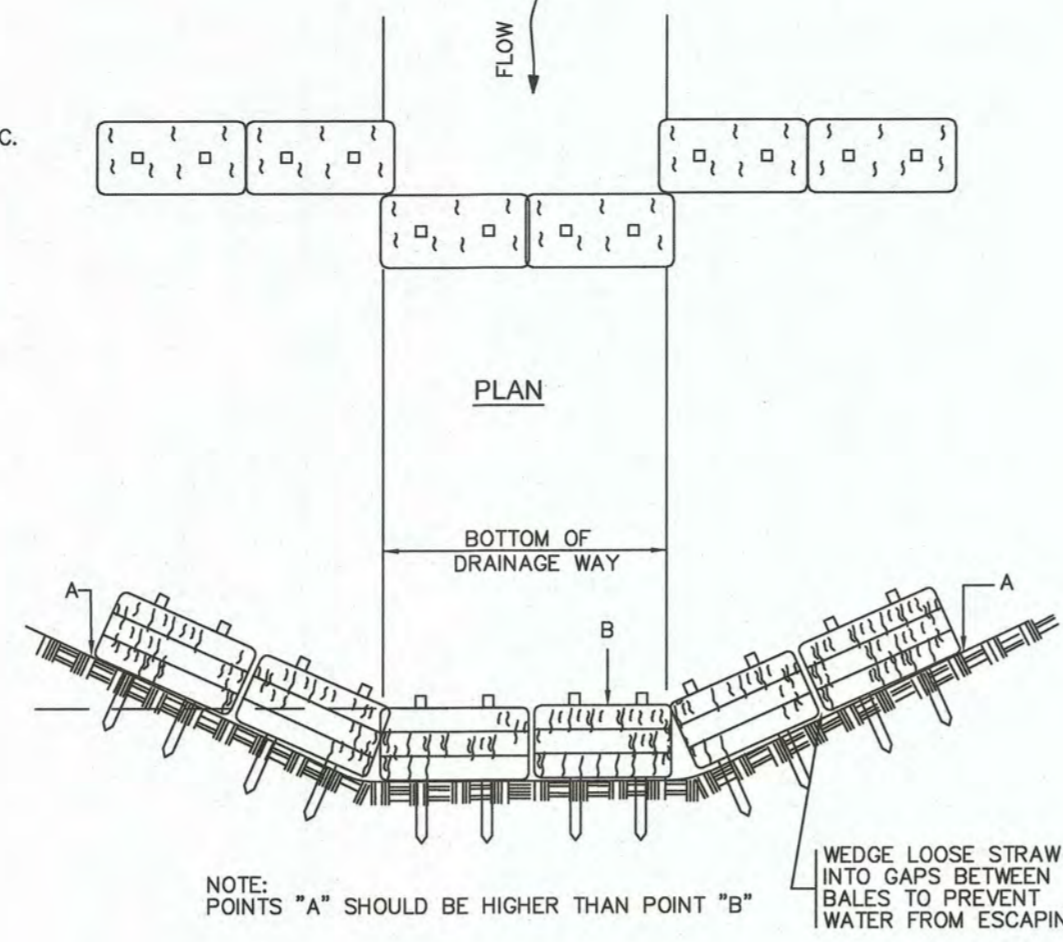


- NOTES:  
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.  
2. SILT SOXX™ FILL TO MEET APPLICATION REQUIREMENTS.  
3. COMPOST MATERIAL TO BE DISPERSED ON SITE.

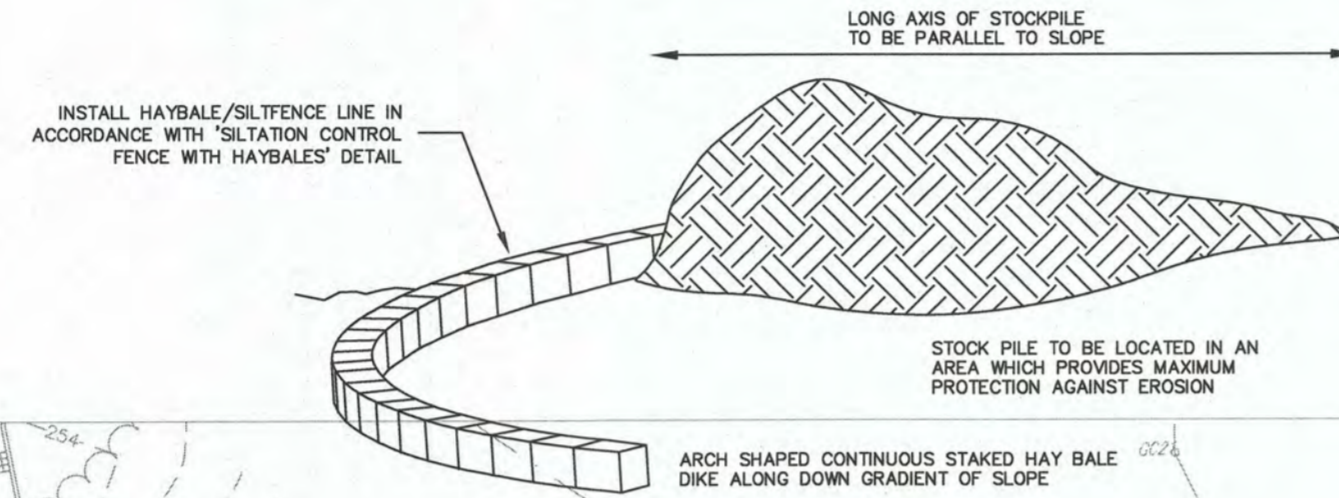
**FILTREXX SILT SOXX**  
NOT TO SCALE



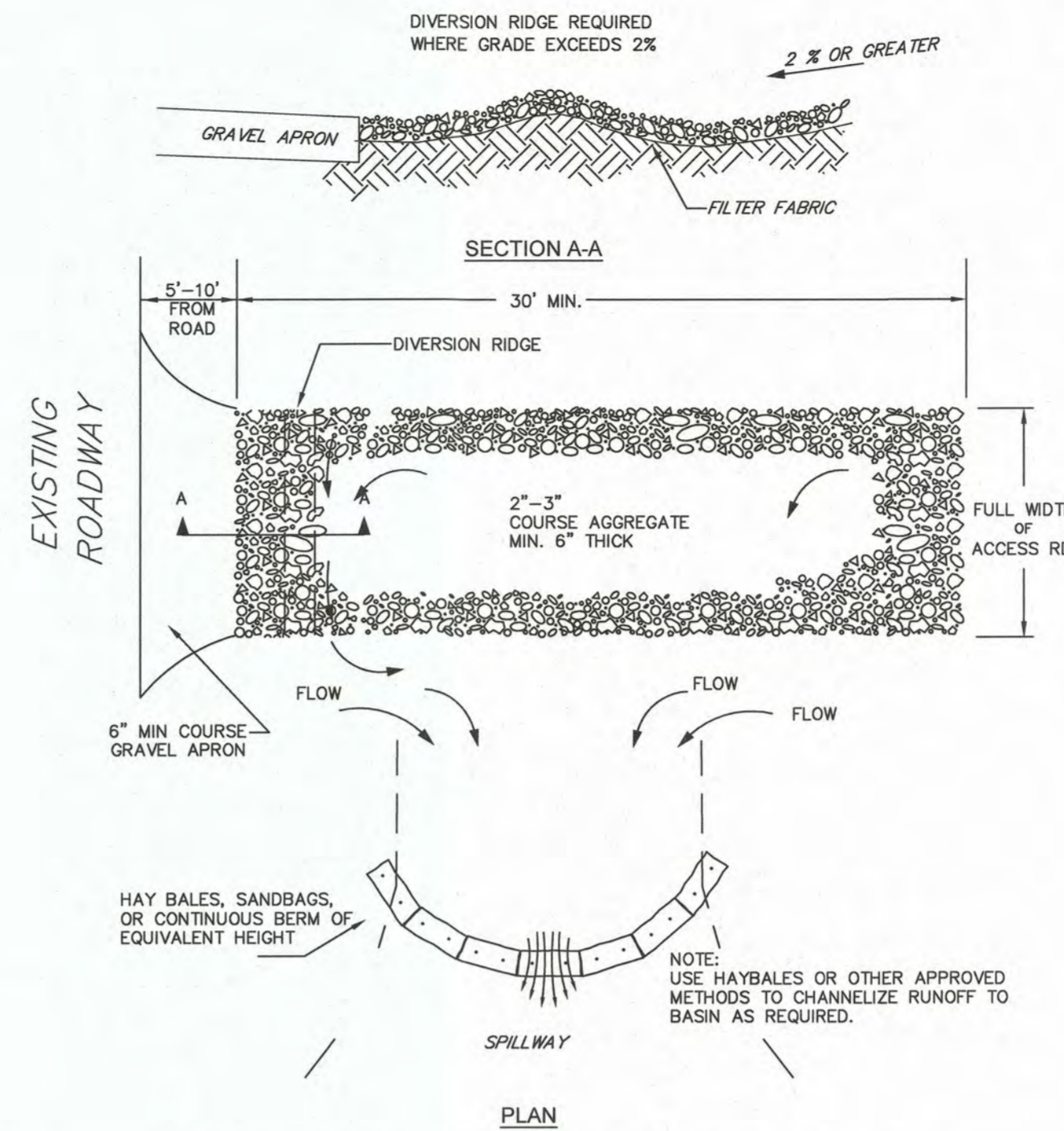
**CROSS-SECTION OF STRAW BALE**  
EROSION CHECK  
NOT TO SCALE



**PLACEMENT OF STRAW BALE**  
EROSION CHECK  
NOT TO SCALE

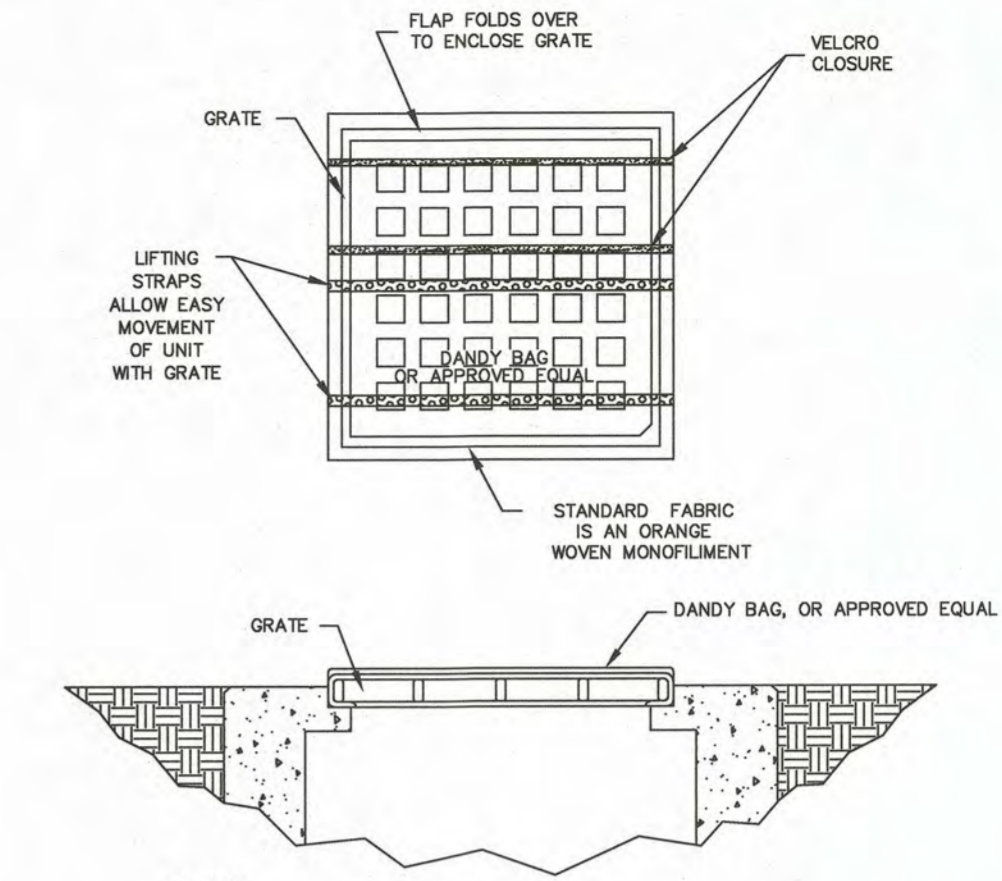


**TEMPORARY MATERIAL STOCKPILE**  
NOT TO SCALE



- NOTES:  
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITIONS THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.  
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.  
3. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS TO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**TEMPORARY CONSTRUCTION**  
ENTRANCE/EXIT DETAIL  
NOT TO SCALE

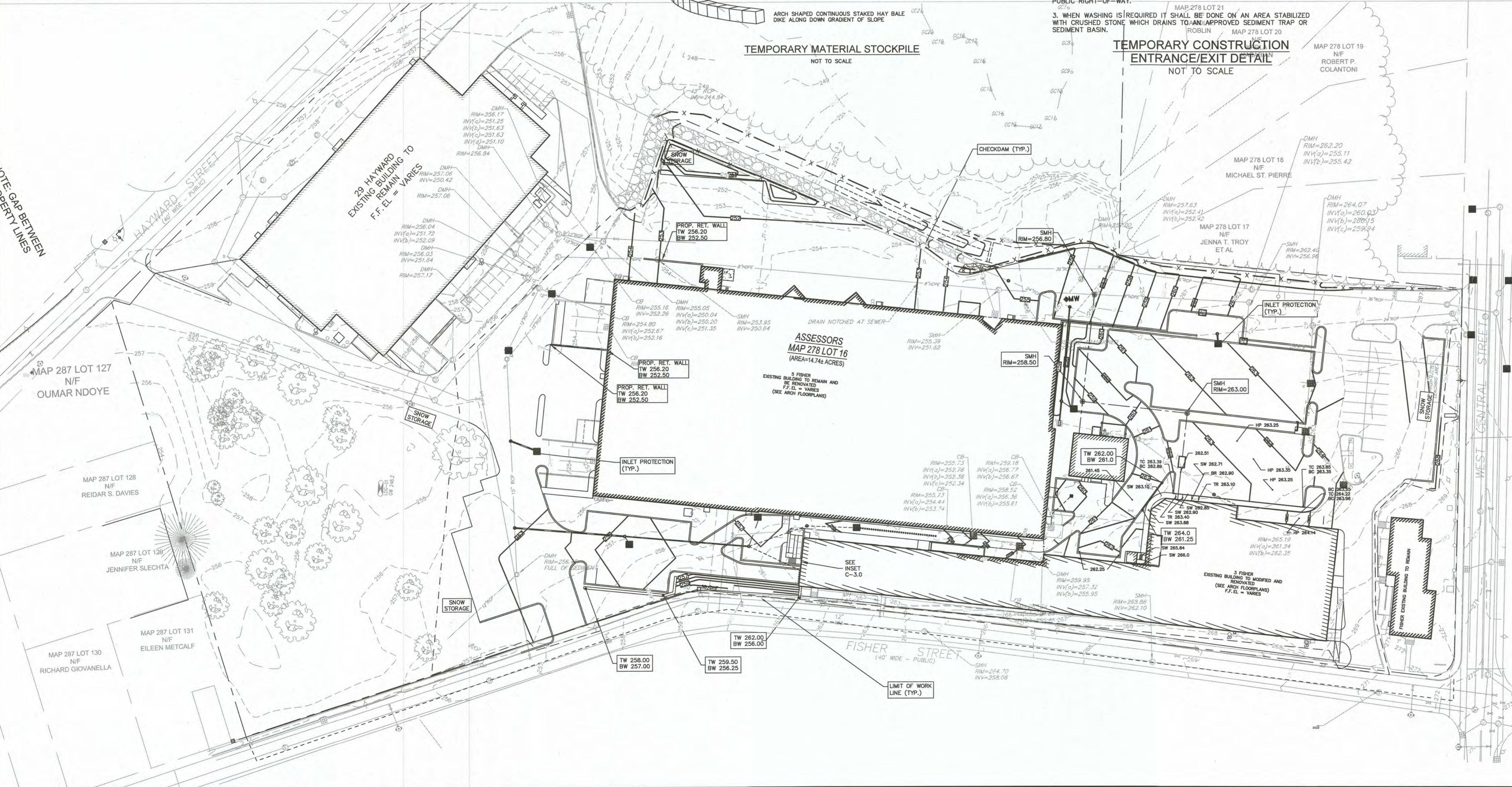


- NOTES:  
INSTALLATION: THE EMPTY DANDY BAG, OR APPROVED EQUAL, SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN POUCH, ON THE BOTTOM (BELOW-GRADE SIDE) OF THE UNIT. ATTACH ABSORBENT PILLOW TO TETHER LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. HOLDING THE LIFTING DEVICES (DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE WEIGHT OF THE GRATE), PLACE THE GRATE INTO ITS FRAME.  
MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE DANDY BAG AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS, REMOVE AND REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.

**CATCH BASIN INLET PROTECTION**  
NOT TO SCALE

NOTES:

- EXISTING CONDITIONS WERE OBTAINED FROM FIELD SURVEY PREPARED BY COMMONWEALTH ENGINEERS & CONSULTANTS, INC. PROVIDENCE, RI ENTITLED "SITE PLAN SUBMISSION" DATED JUNE 2, 2003 AS AMENDED AUGUST, 2003.
- THE WETLANDS WERE FLAGGED BY GODDARD CONSULTING, JUNE 2021.
- THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. NOTIFY "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY SITE DEMOLITION OR EXCAVATION.



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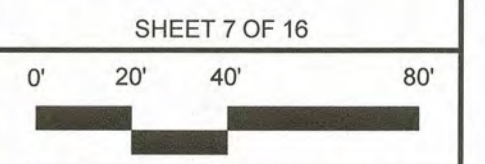


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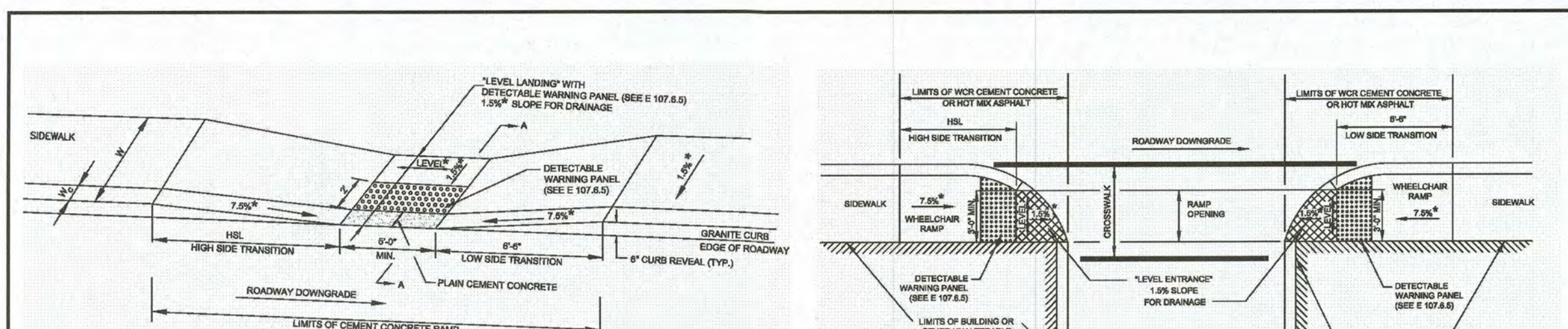
**EROSION CONTROL**

**C-3.1**  
SHEET 7 OF 16

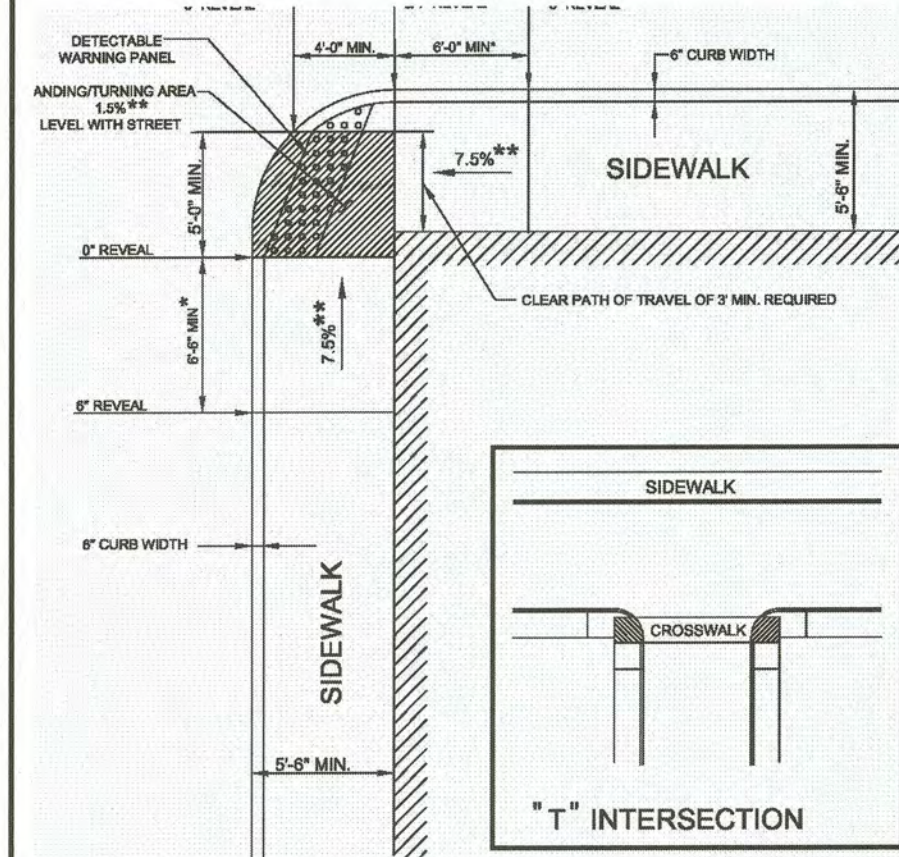


**1899.00**





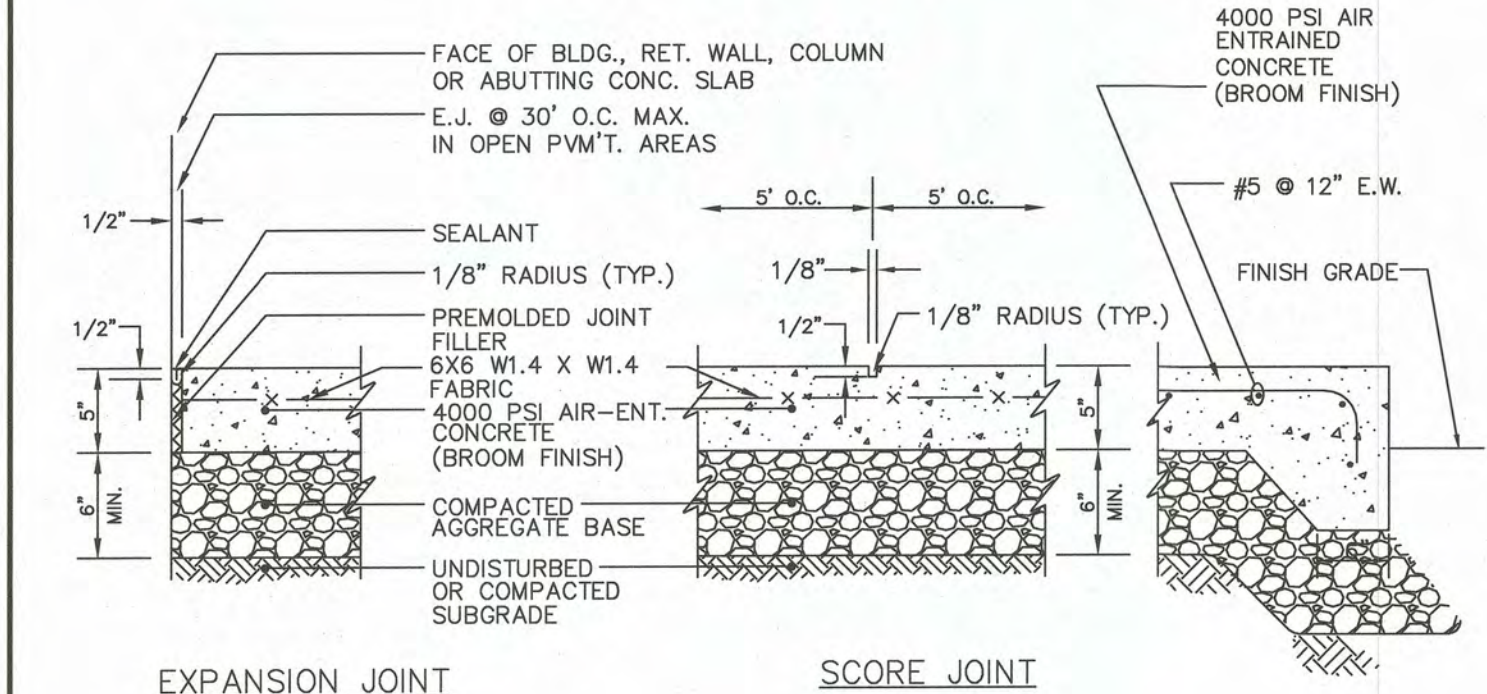
**LEGEND**  
 HL - HIGH SIDE TRANSITION LENGTH (SEE E 107.6.3)  
 W - SIDEWALK WIDTH  
 W<sub>c</sub> - CURB WIDTH  
 CC - CEMENT CONCRETE  
 \* - TOLERANCE FOR CONSTRUCTION ±0.5%  
 \*\* - TOLERANCE FOR CONSTRUCTION ±0.2%



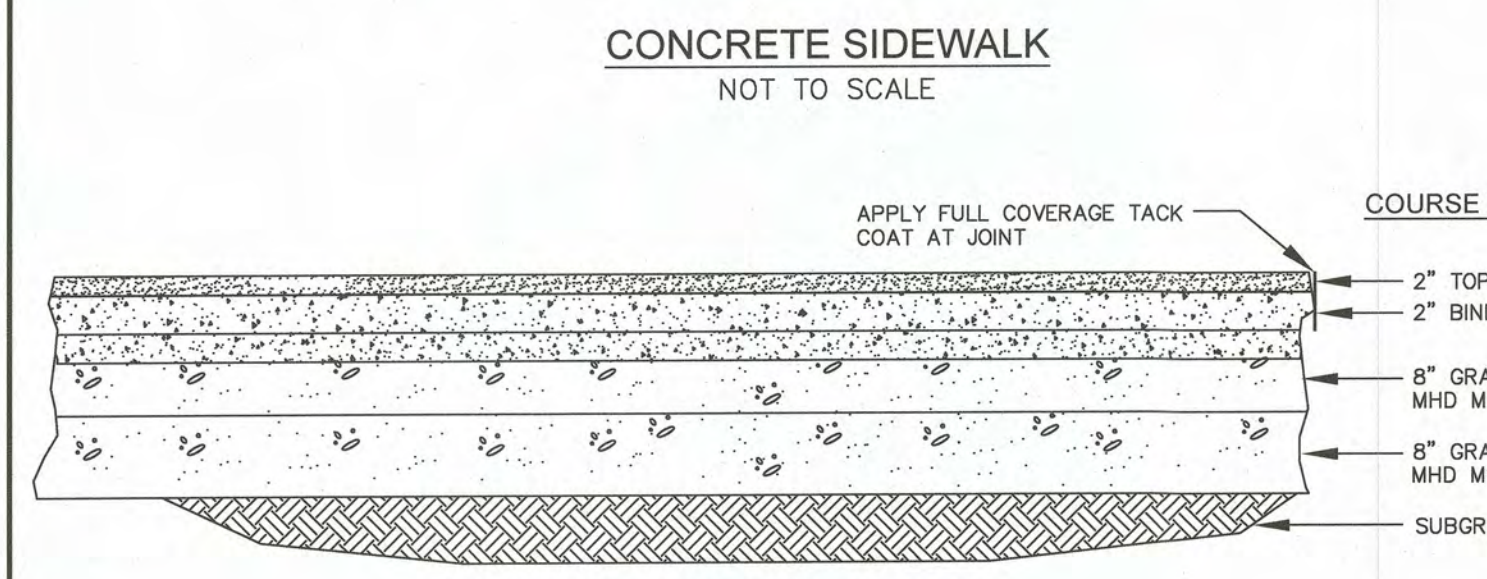
**LEGEND**  
 BUILDING OR OTHER UNALTERABLE CONDITION  
 \* - TRANSITION LENGTH SHOWN IS MINIMUM (SEE E 107.6.3)  
 \*\* - TOLERANCE FOR CONSTRUCTION ±0.5%

APPROVED DATE: \_\_\_\_\_  
 FRANKLIN PLANNING BOARD

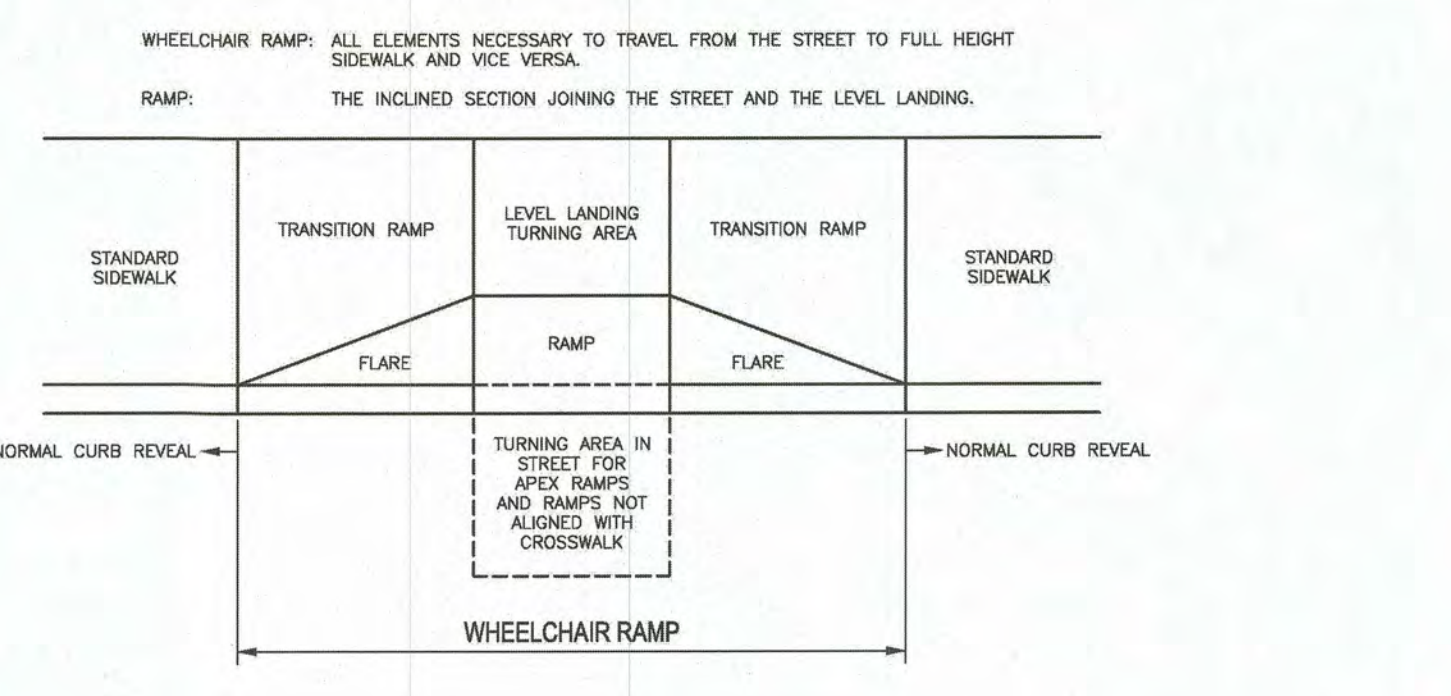
DATE: \_\_\_\_\_  
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**EXPANSION JOINT**  
 1. MAXIMUM CROSS SLOPE = 2%  
 2. MAXIMUM GRADIENT = 5%  
 3. PROVIDE EXPANSION JOINT AT FACE OF ABUTTING SLABS AND STRUCTURES.  
 4. PROVIDE VERTICAL GRANITE OR PRECAST CONCRETE CURBING PER SHEET C3.



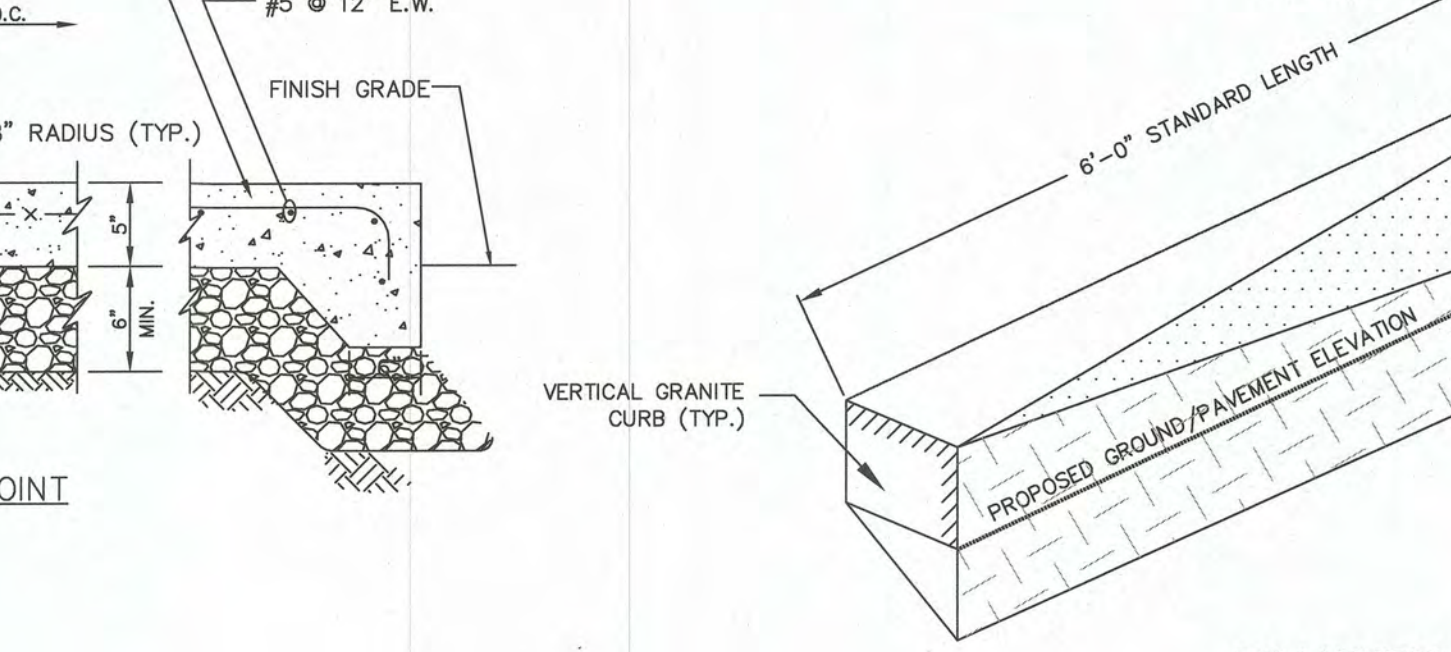
**TRUCK AREAS - BITUMINOUS CONCRETE PAVEMENT**  
 NOT TO SCALE



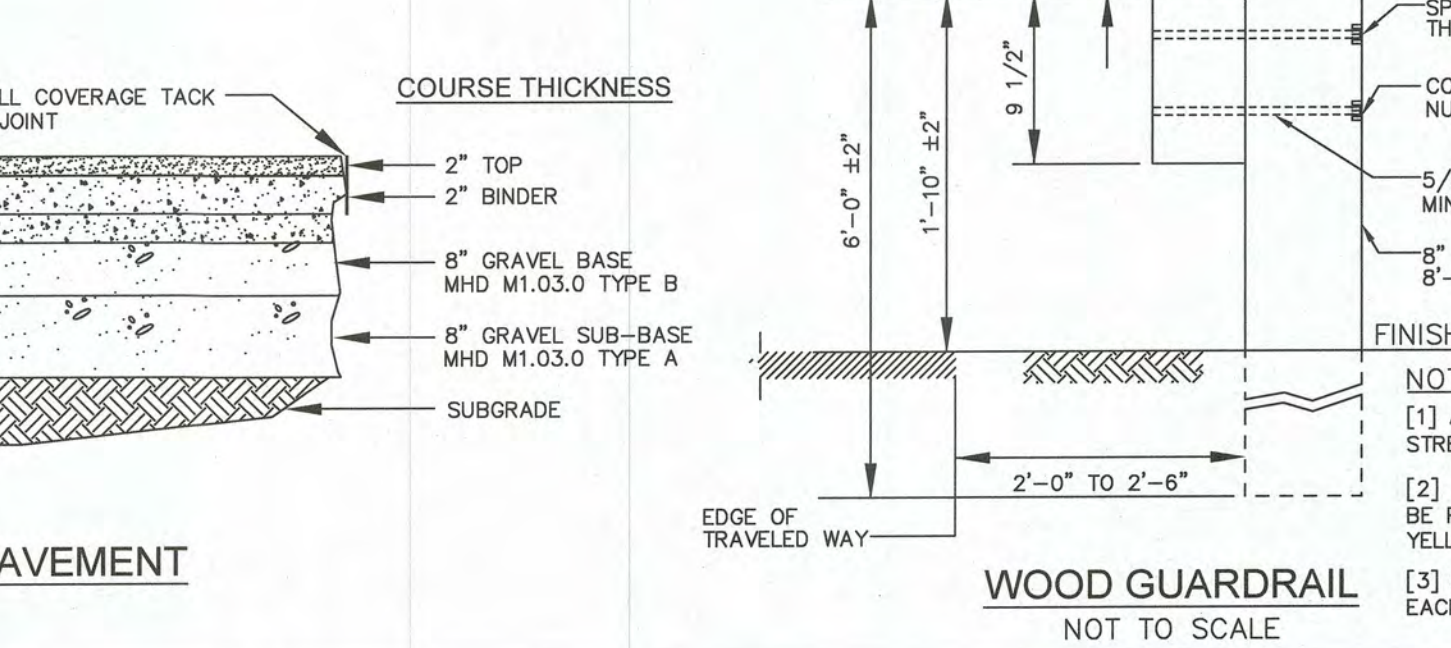
**WHEEL CHAIR RAMP**  
 NOT TO SCALE



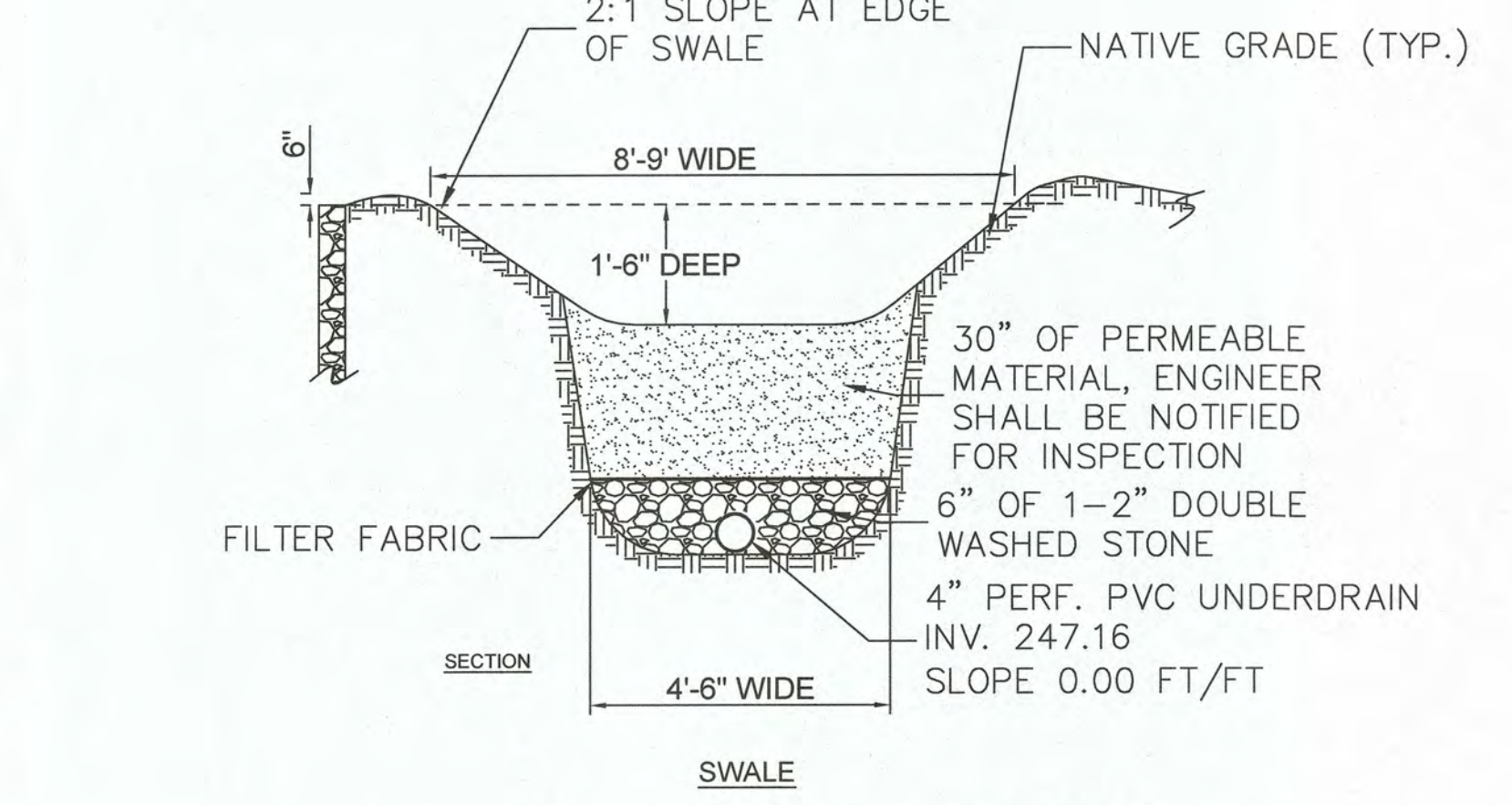
**SIGNAGE BOLLARD**  
 NOT TO SCALE



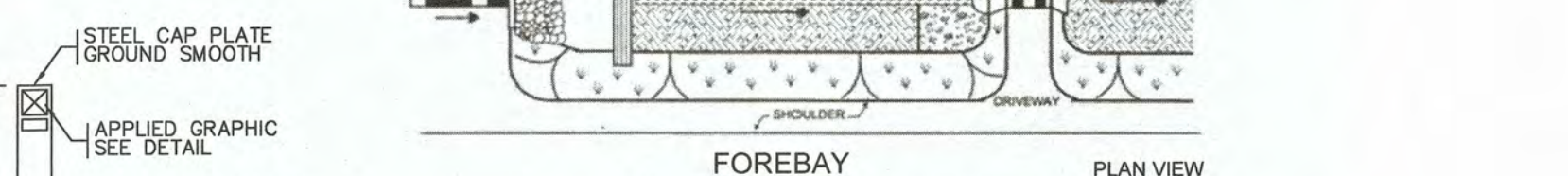
**TRANSITION CURB DETAIL**  
 NOT TO SCALE



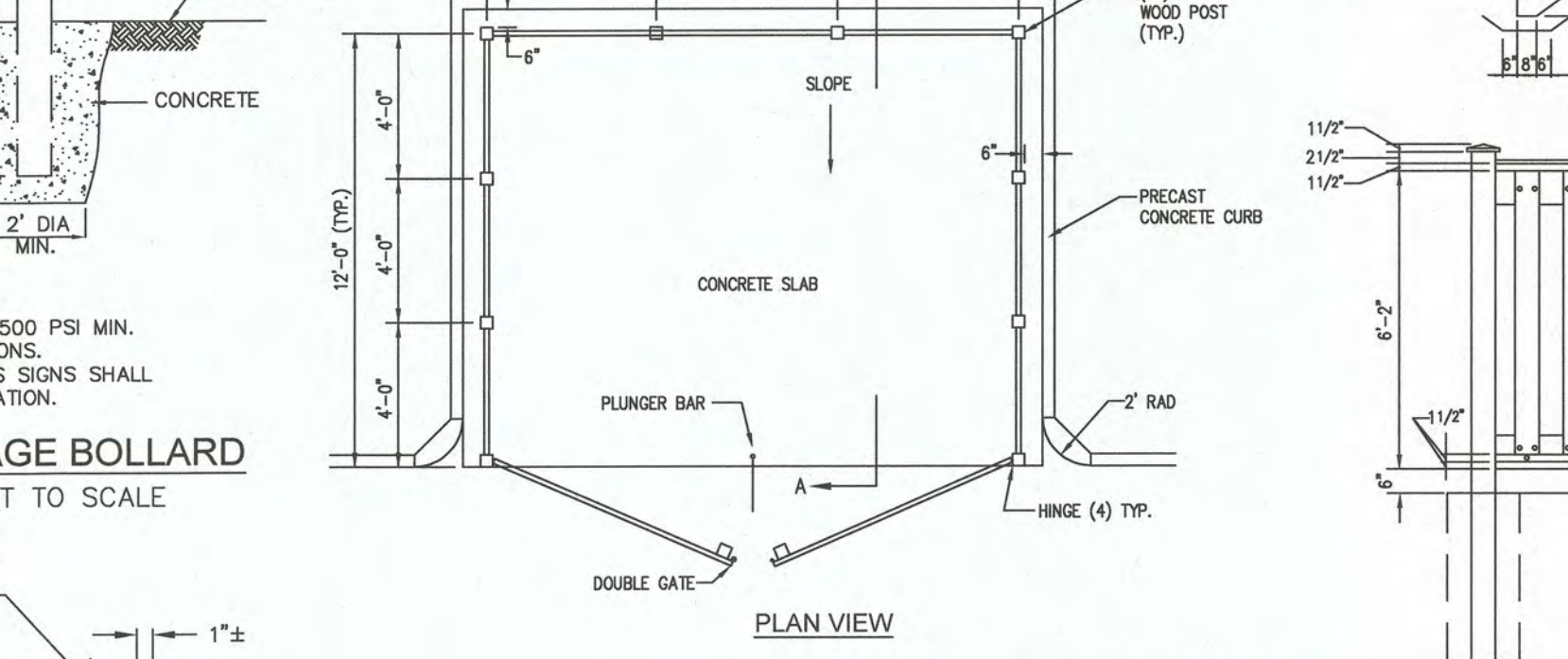
**WOOD GUARDRAIL**  
 NOT TO SCALE



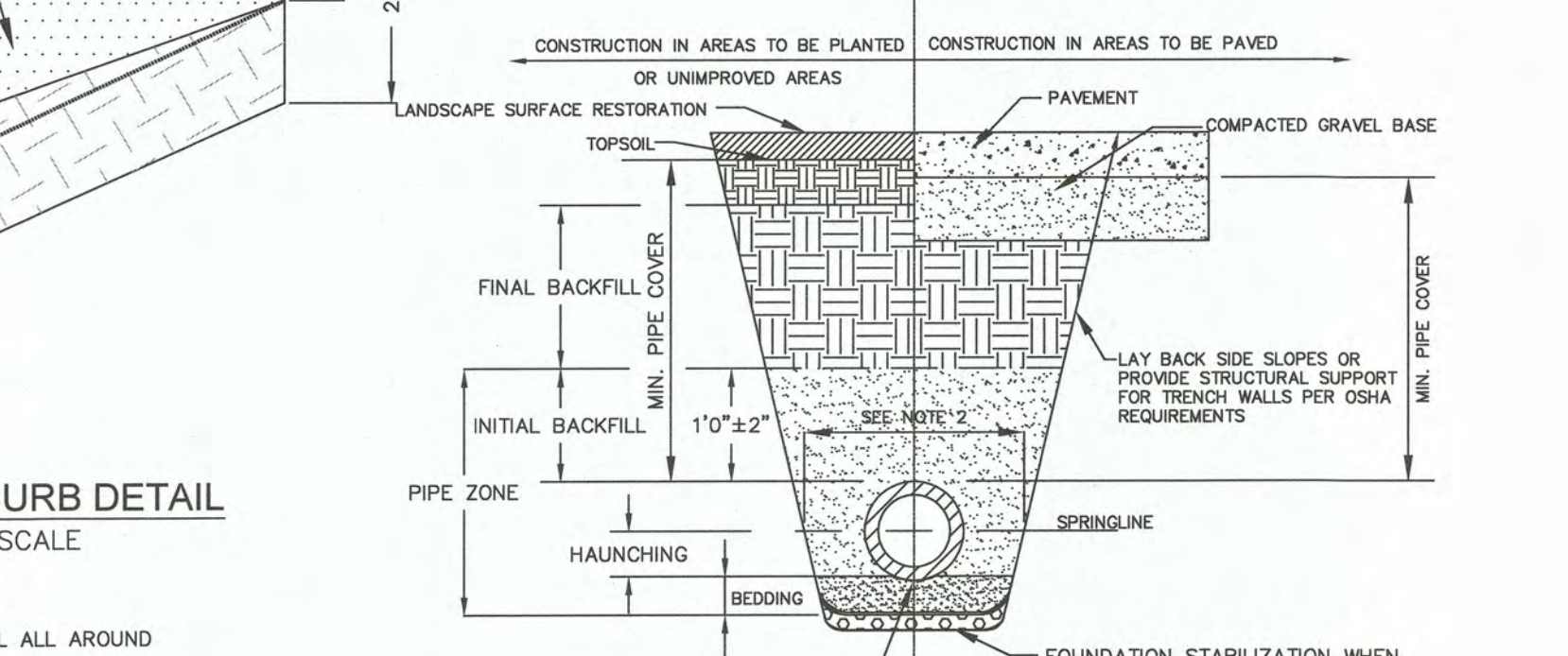
**SWALE**  
 NOT TO SCALE



**WATER QUALITY SWALE**  
 NOT TO SCALE



**DUMPSTER PAD ENCLOSURE**  
 NOT TO SCALE



**UTILITY TRENCH**  
 NOT TO SCALE

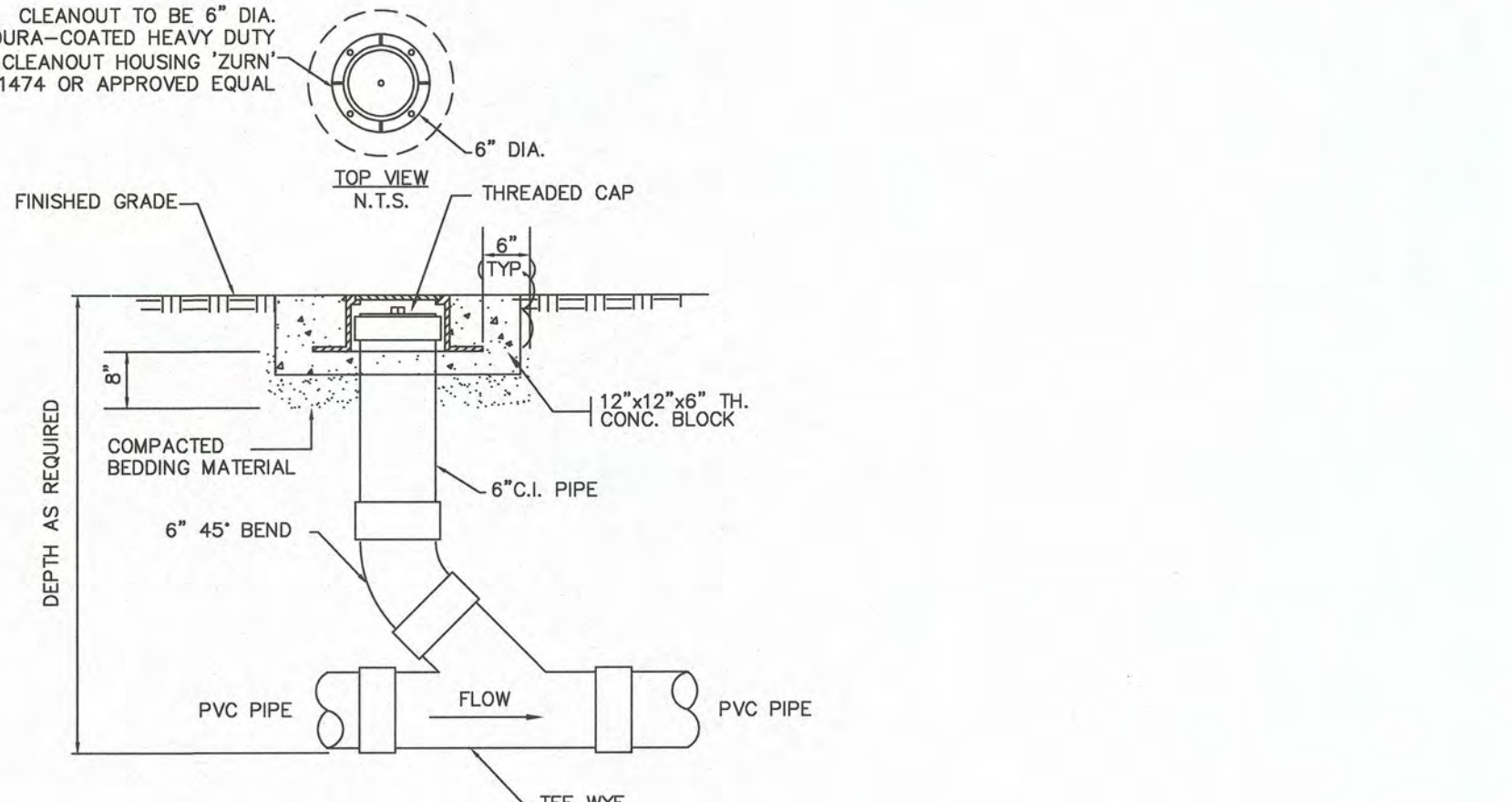
FOUNDATION, BEDDING AND BACKFILL MATERIALS			
PIPE MATERIAL	HDP, PVC	RC, DI	CL. DI
FOUNDATION STABILIZATION	[6]	[6]	[6]
BEDDING	[1]	[1]	[1]
HAUNCHING	[1]	[1]	[1]
INITIAL BACKFILL	[4]	[4]	[4]
FINAL BACKFILL	[4]	[4]	[4]
MIN. PIPE COVER	[5]	[5]	[5]

PIPE I.D. WIDTH  
 LESS THAN 24" 0.0 - 12"  
 24" TO 42" 0.0 - 24"  
 GREATER THAN 42" 0.0 - 30"

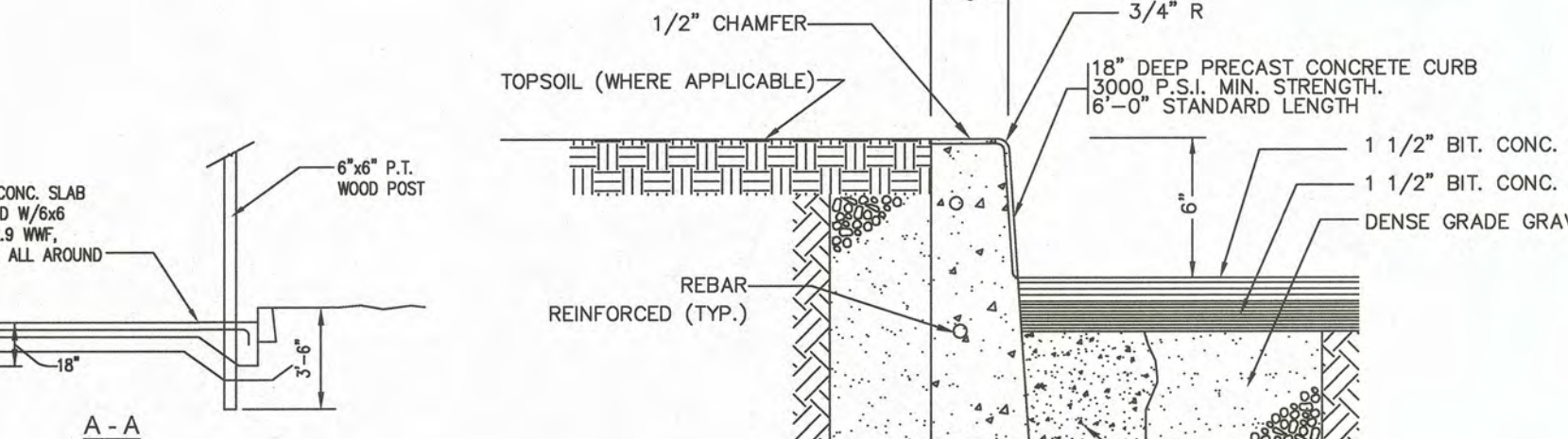
[3] INSTALL PIPE IN CENTER OF TRENCH.  
 [4] IN PLANTED OR UNIMPROVED AREAS, USE ON-SITE EXCAVATED MATERIAL FOR FINAL BACKFILL. COMPACT TO 95% PER ASTM D-1557. IN PAVED AREAS, OBTAIN ENGINEER APPROVAL OF ON-SITE EXCAVATED MATERIALS FOR USE AS FINAL BACKFILL.  
 [5] MINIMUM COVER OVER TOP OF PIPE

PIPE MATERIAL HDP, PVC RC, DI  
 WATER 5' - 0" 5' - 0"  
 SEWER 4' - 0" 4' - 0"  
 DRAIN 2' - 0" 1' - 6"

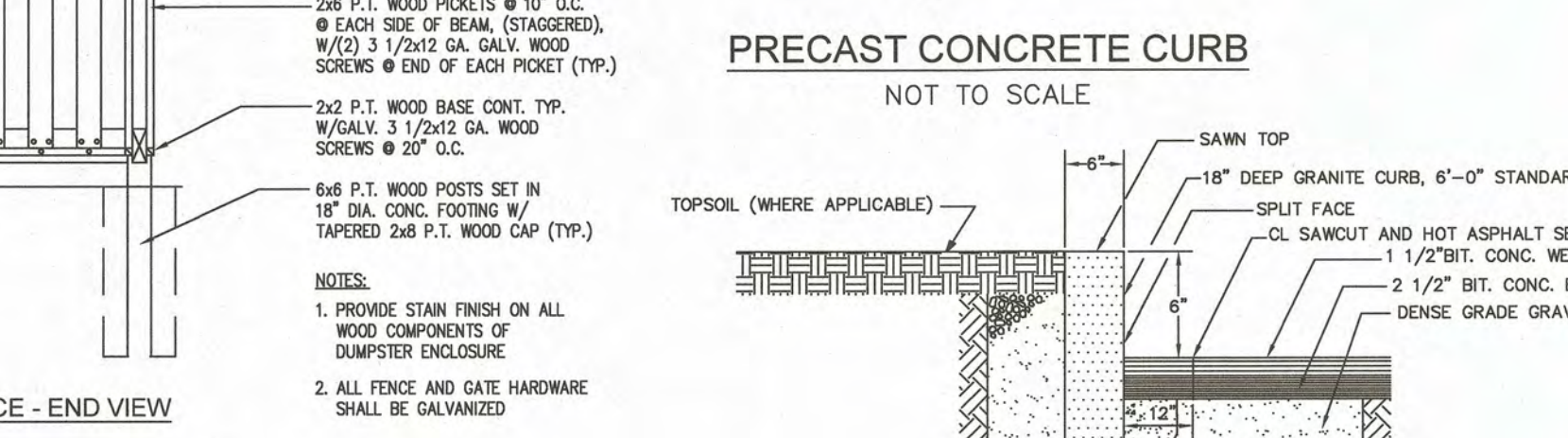
[6] FOR FOUNDATION STABILIZATION, USE 2" MINUS CRUSHED STONE



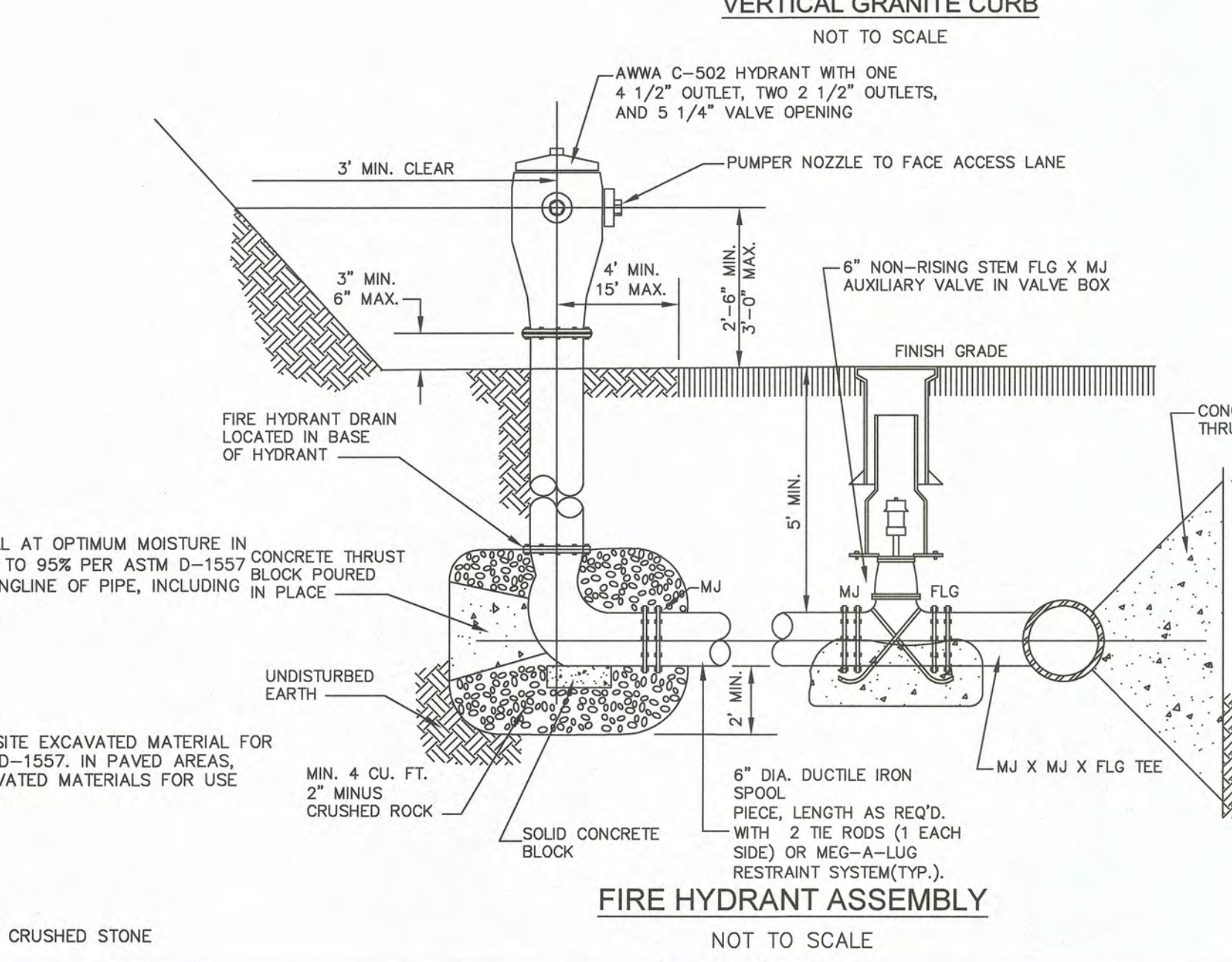
**CLEANOUT AT GRADE**  
 NOT TO SCALE



**PRECAST CONCRETE CURB**  
 NOT TO SCALE



**VERTICAL GRANITE CURB**  
 NOT TO SCALE



**FIRE HYDRANT ASSEMBLY**  
 NOT TO SCALE

NO	DATE	REVISIONS
1	07/07/2023	ISSUE FOR PERMIT



DATE: 07/07/2023  
 DRAWN: DRC  
 SCALE: AS SHOWN



**FACTORY SQUARE**  
 SITE REDEVELOPMENT - PERMIT MODIFICATION  
 PARCEL ID 278-016-000-000  
 1, 3, 5 & 7 FISHER STREET  
 FRANKLIN, MASSACHUSETTS

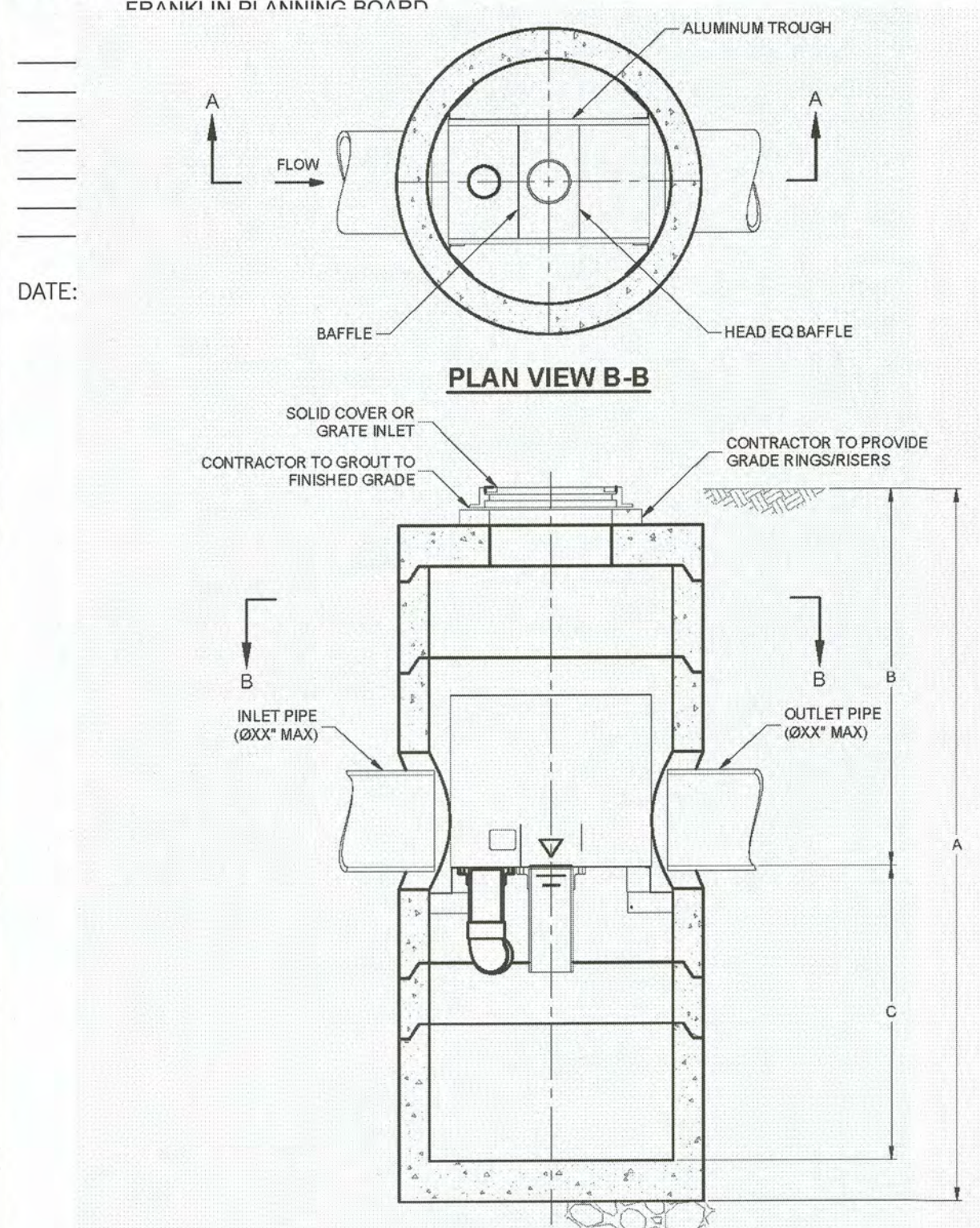
**LEVEL**  
 DESIGN GROUP  
 Civil Engineers & Land Surveyors

249 SOUTH STREET, UNIT 1  
 PLAINVILLE, MA 02762  
 TEL. (508) 695-2221 FAX. (508) 695-2219

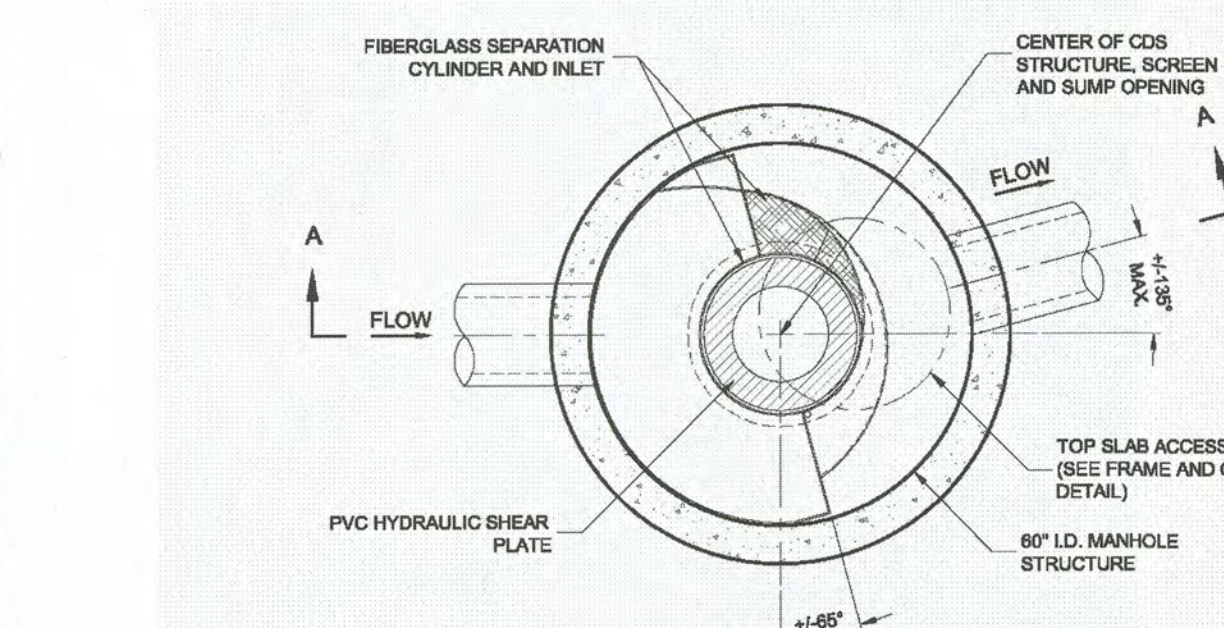
**TYPICAL DETAILS**  
**C-4.0**  
 SHEET 8 OF 16  
 0' 20' 40' 80'  
**1899.00**



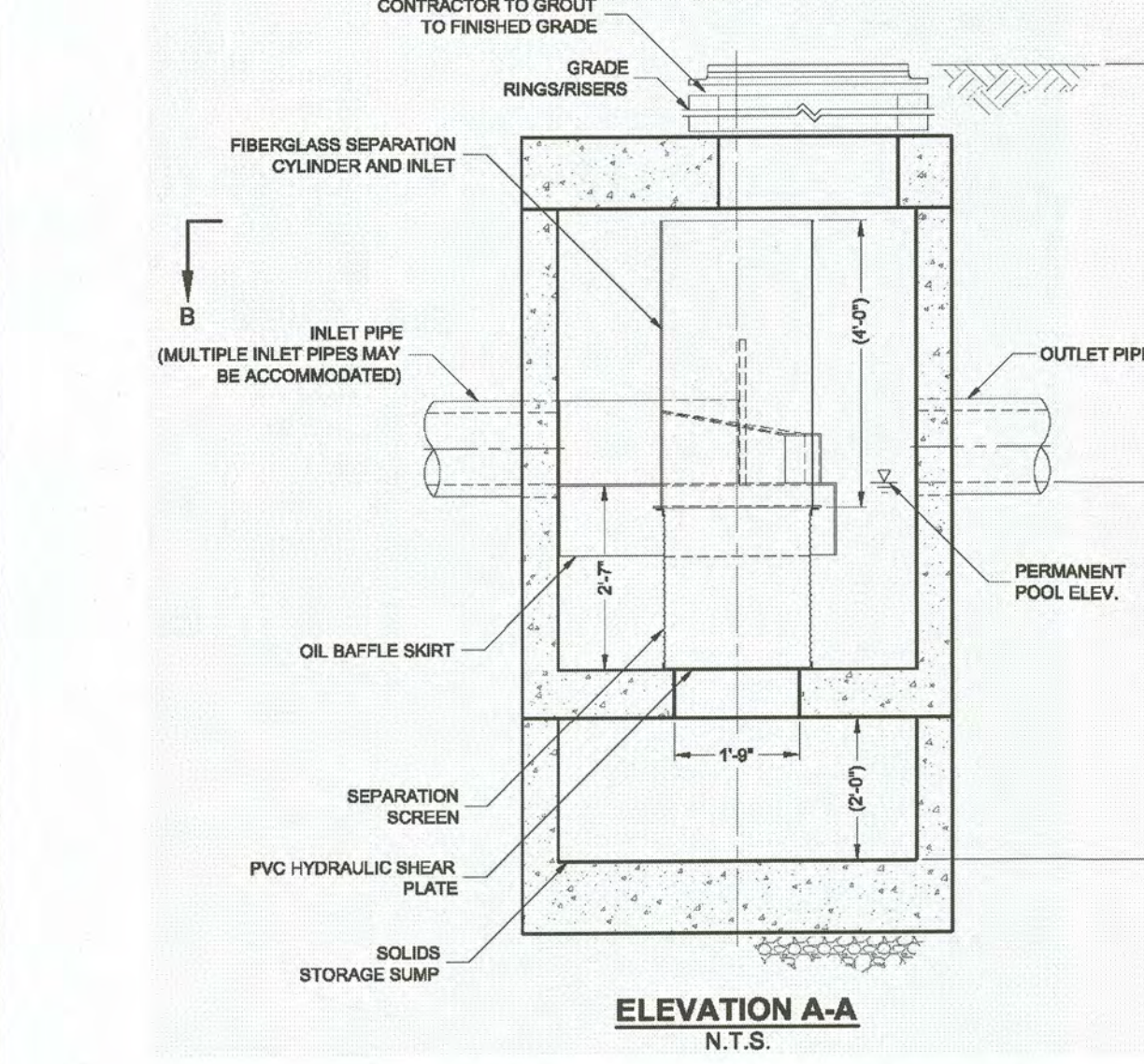
APPROVED DATE: \_\_\_\_\_  
CRANK IN IN ANIMAL ROAD



SECTION A-A



PLAN VIEW B-B N.T.S.



CDS 2020-5-G UNIT (STANDARD)

**CDS2020-5-C DESIGN NOTES**

CDS2020-5-C RATED TREATMENT CAPACITY IS 2.2 CFS, OR PER LOCAL REGULATIONS.  
 THE STANDARD CDS2020-5-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)
SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS

CDS UNIT DETAILS AND SPECIFICATIONS

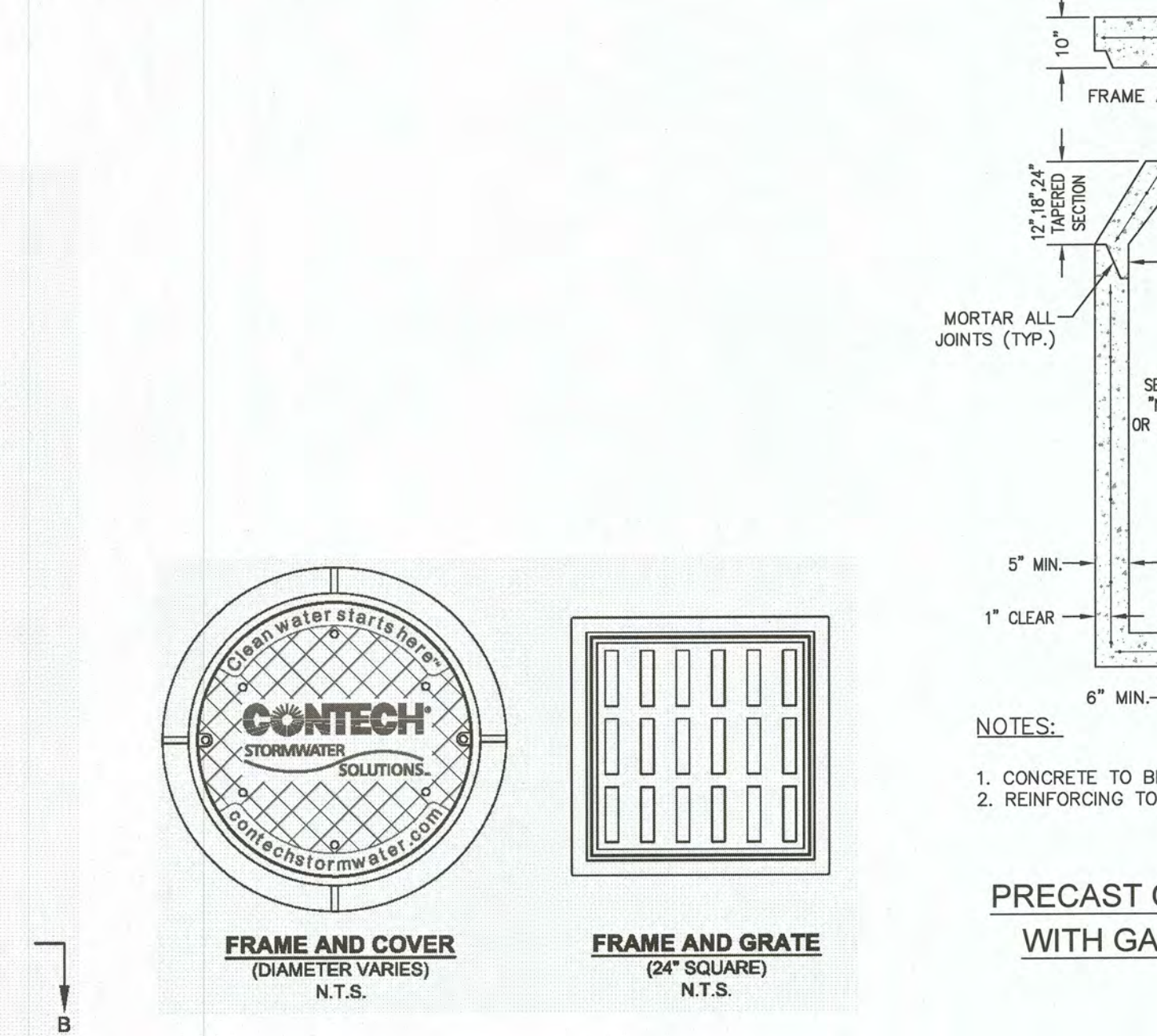
**VORTSENTRY HS DESIGN NOTES**

THE STANDARD SOLID COVER CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW.

VORTSENTRY HS GENERAL INFORMATION												
Model	Manhole Diameter (ID)	Typical Total Distance Rim to Outside Bottom		Typical Distance Rim to Invert		Typical Depth Below Invert (inside)		Approximate Minimum Distance Rim to Invert		Maximum Pipe Diameter (ID)		
		FT	M	FT	M	FT	M	FT	M	IN	MM	
HS36	3	9.00	10.16	3.10	4.08	1.24	5.58	17.02	3.00	0.91	18	450
HS48	4	12.00	13.25	4.04	6.00	1.83	6.75	20.57	4.00	1.22	24	600
HS60	5	15.00	15.13	4.81	6.50	1.88	7.96	24.26	4.82	1.47	30	750
HS72	6	18.00	18.56	5.05	6.75	2.06	9.15	27.88	5.59	1.70	36	900
HS84	7	21.00	18.85	5.75	7.75	2.36	10.35	31.56	5.00	1.52	42	1050
HS96	8	24.00	20.87	6.36	8.50	2.59	11.54	35.18	6.81	2.11	48	1200

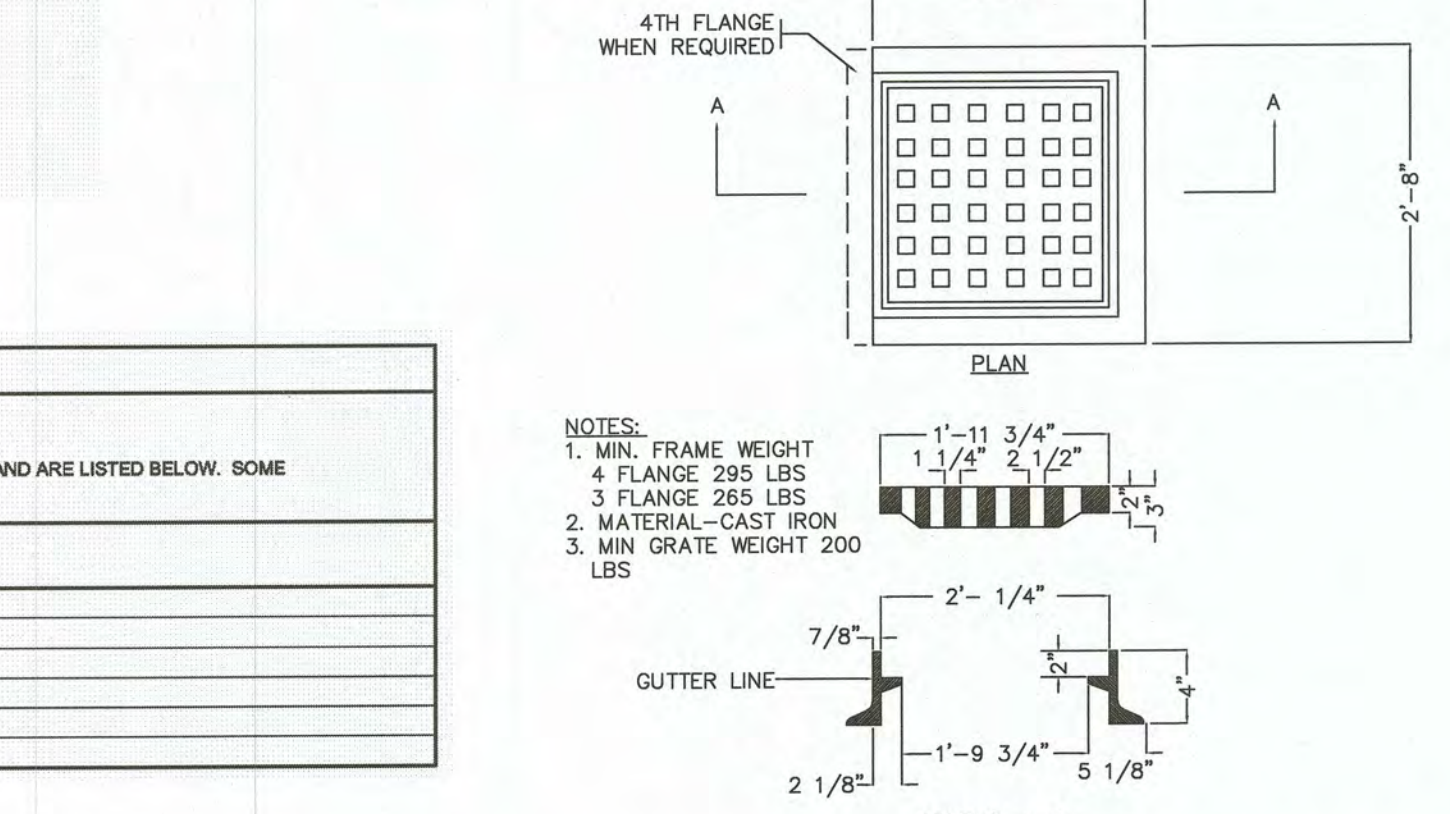
- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH (1) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.conteches.com](http://www.conteches.com)
  - VORTSENTRY HS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO H20 AND CASTINGS SHALL MEET AASHTO M308 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE VORTSENTRY HS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROU TO FINISHED GRADE. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUDED.

**VORTSENTRY OR 20 15 DETAILS AND SPECIFICATIONS**

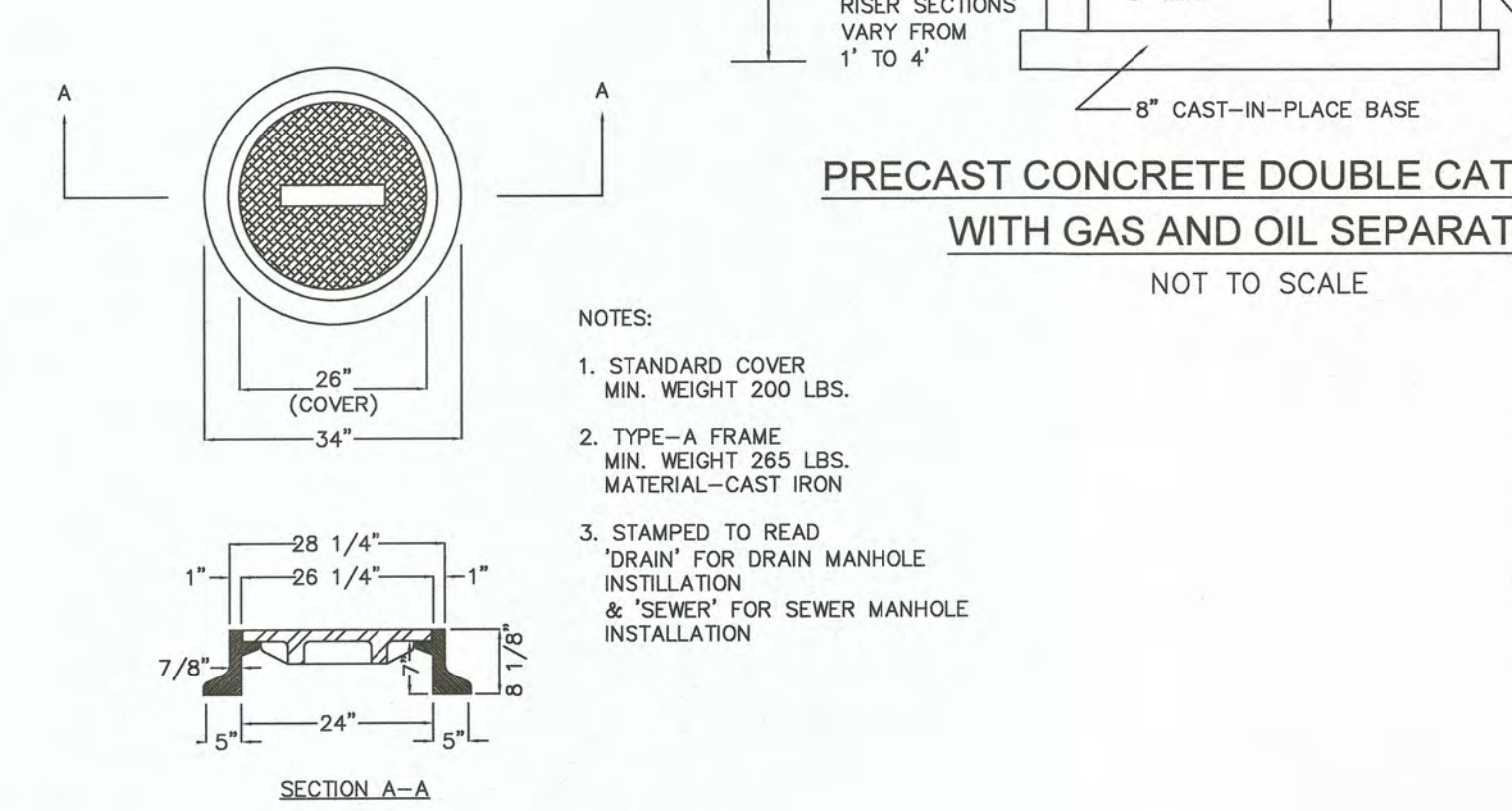


PRECAST CONCRETE CATCH BASIN WITH GAS AND OIL SEPARATOR NOT TO SCALE

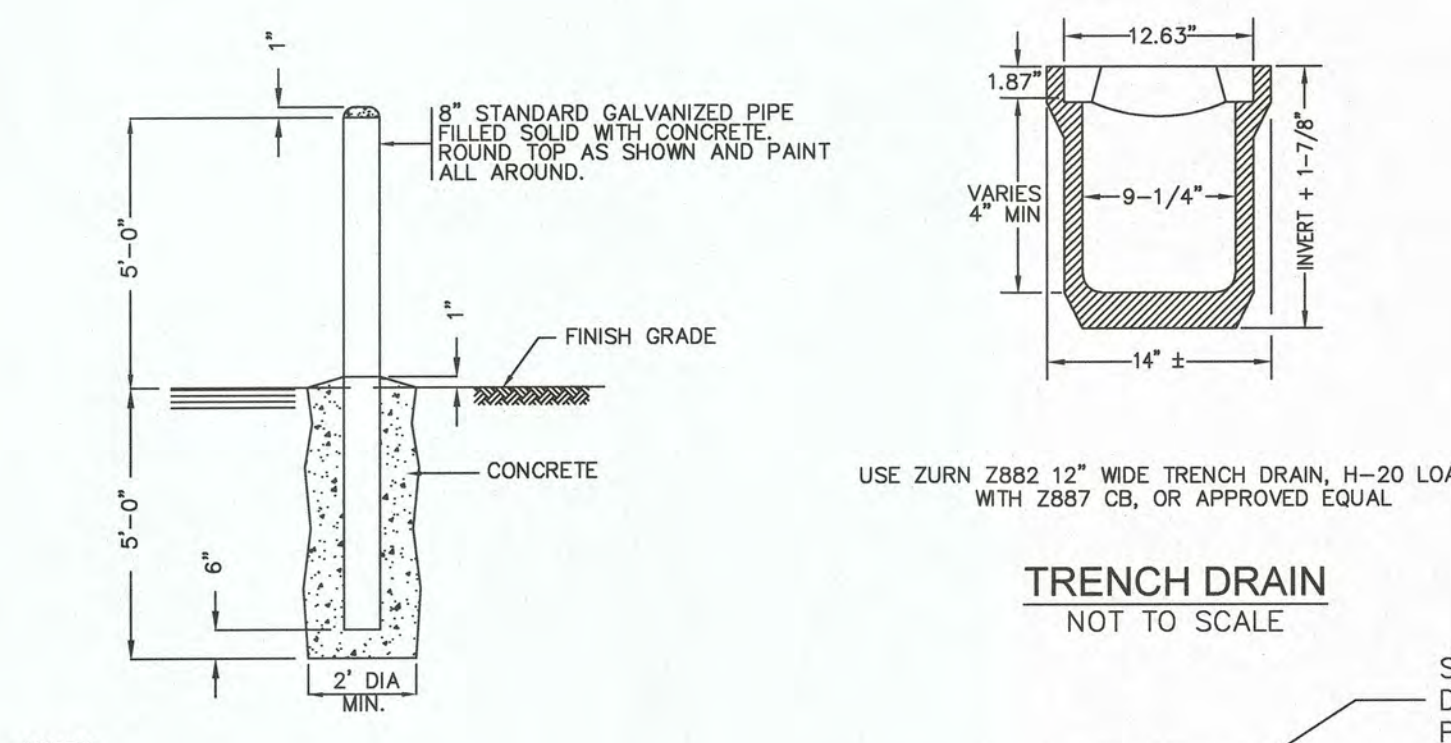
- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
  - DIMENSIONS MARKED WITH (1) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
  - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH CONSTRUCTION PRODUCTS REPRESENTATIVE. [www.contech-cp.com](http://www.contech-cp.com)
  - CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  - STRUCTURE SHALL MEET AASHTO H20 AND CASTINGS SHALL MEET AASHTO M308 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
  - PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
  - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
  - CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  - CONTRACTOR TO PROVIDE, INSTALL, AND GROU TO FINISHED GRADE. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
  - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUDED.



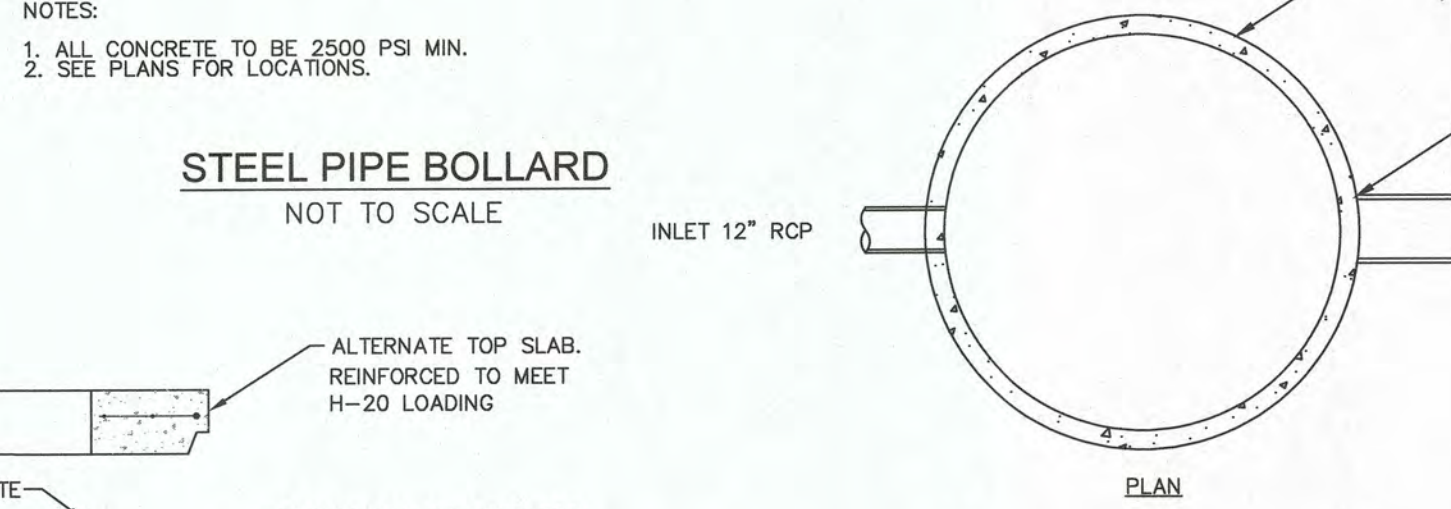
STANDARD CATCH BASIN FRAME & GRATE NOT TO SCALE



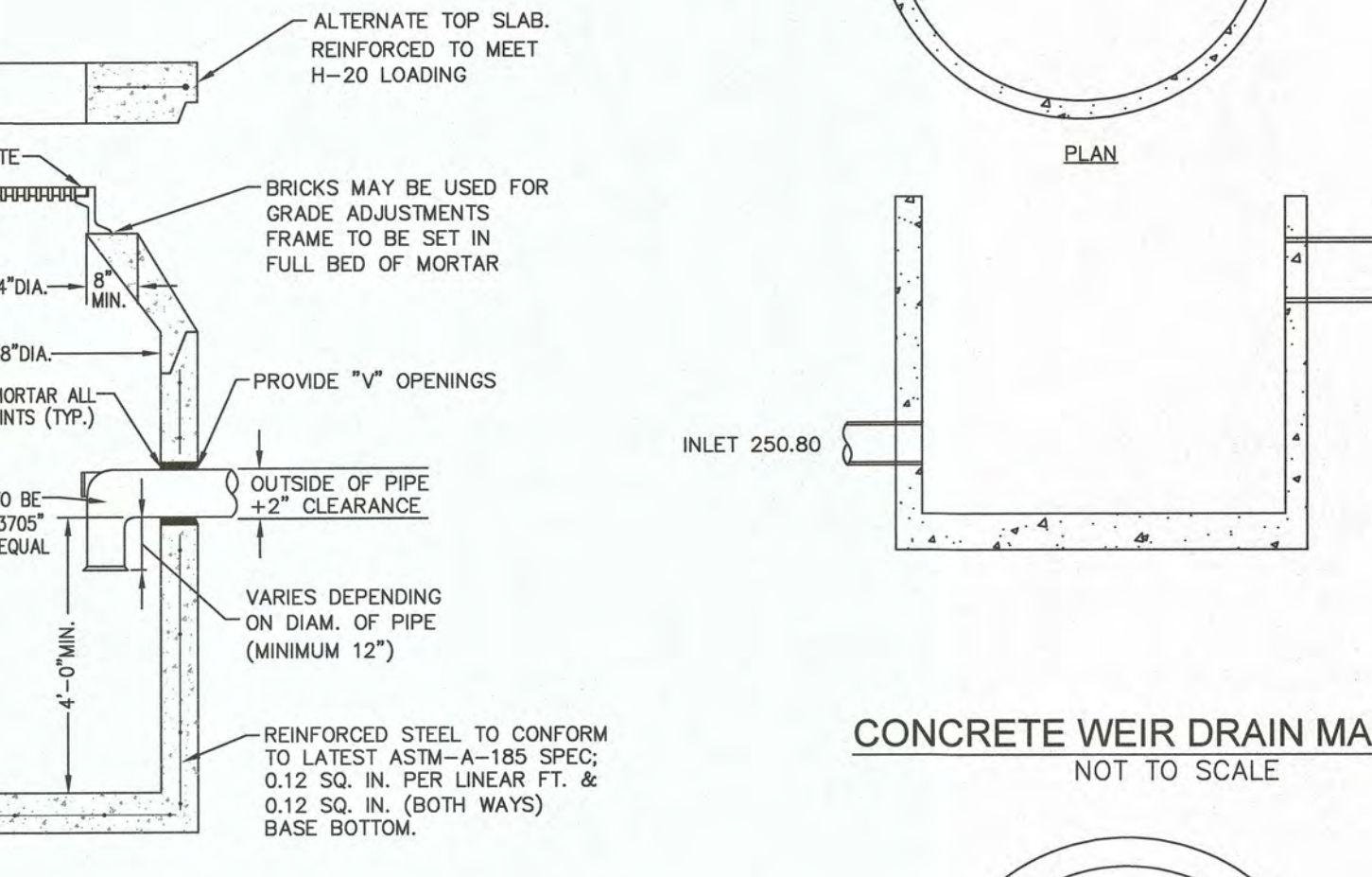
STANDARD MANHOLE FRAME & COVER NOT TO SCALE



TRENCH DRAIN NOT TO SCALE



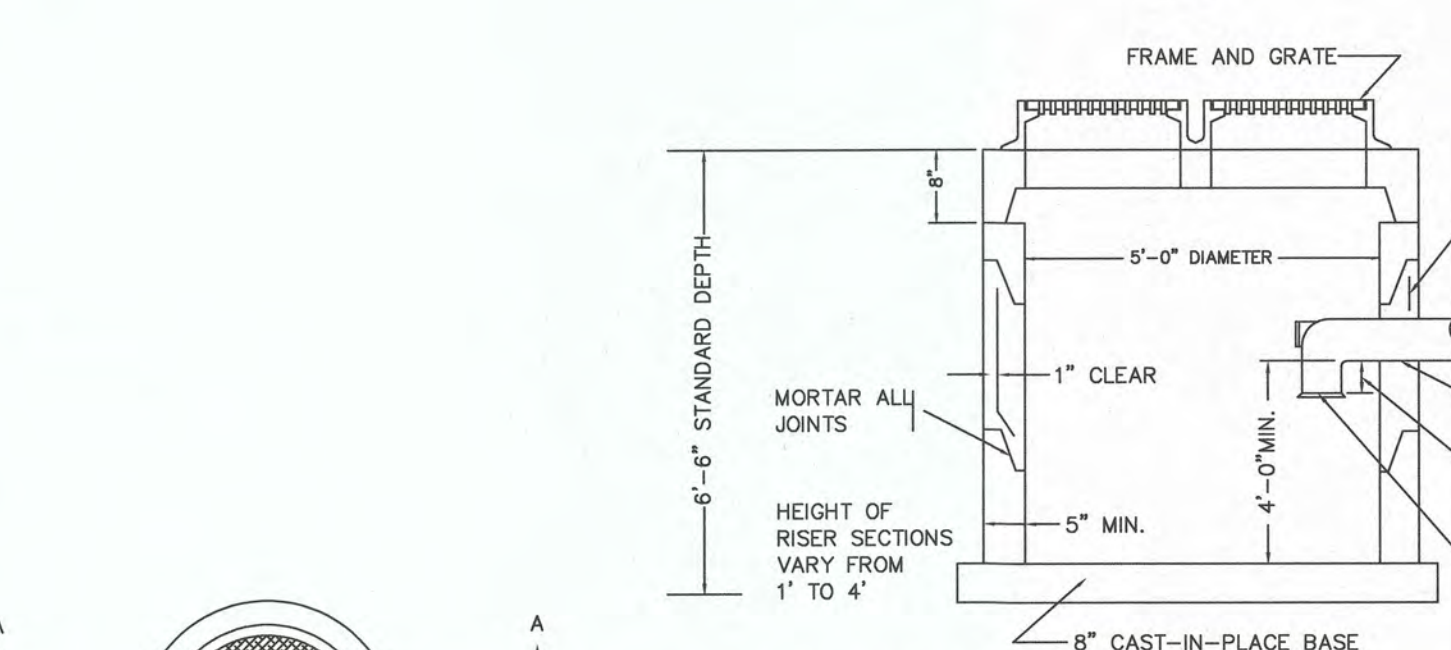
STEEL PIPE BOLLARD NOT TO SCALE



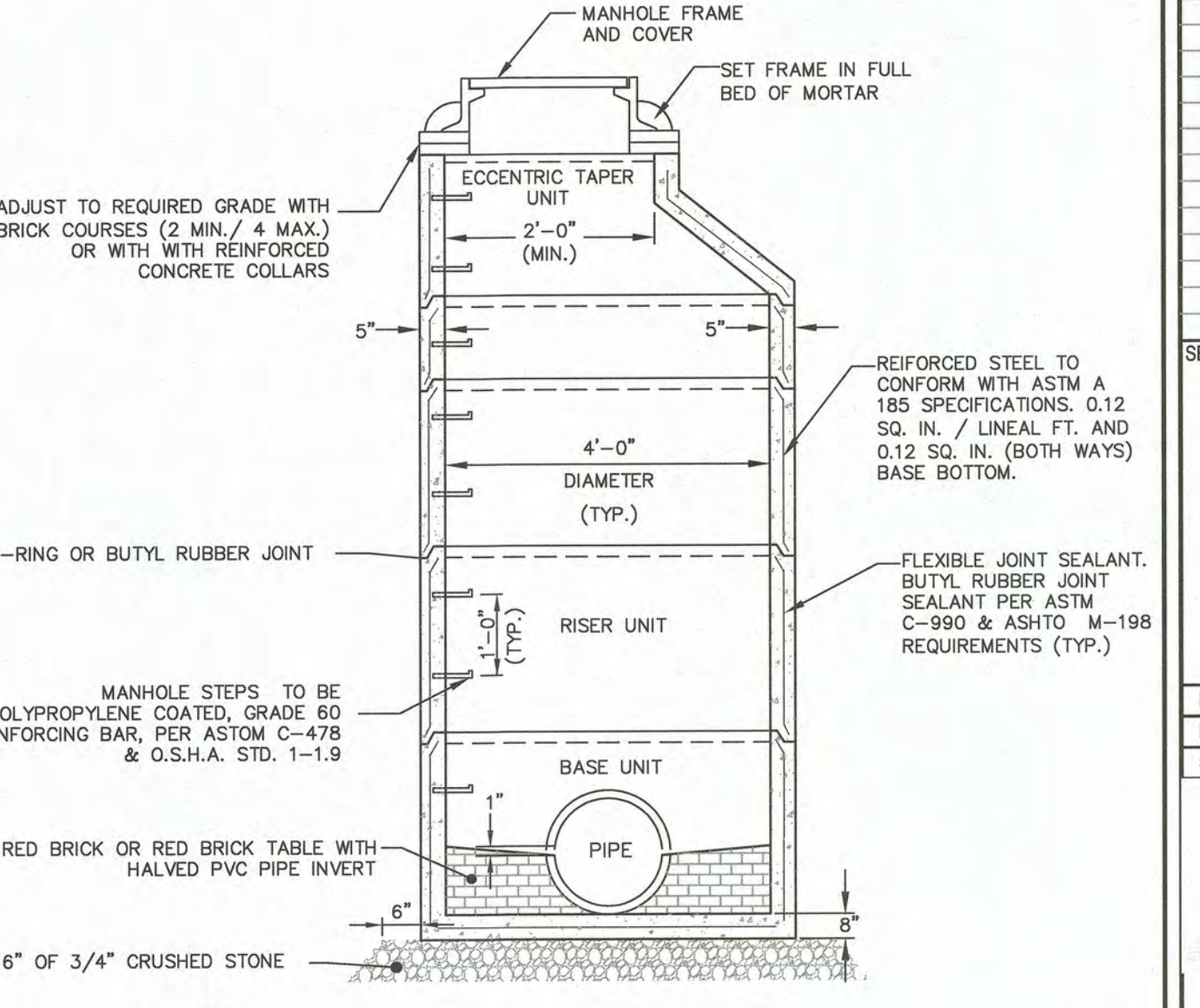
CONCRETE WEIR DRAIN MANHOLE NOT TO SCALE



PRECAST CONCRETE DOUBLE CATCH BASIN WITH GAS AND OIL SEPARATOR NOT TO SCALE

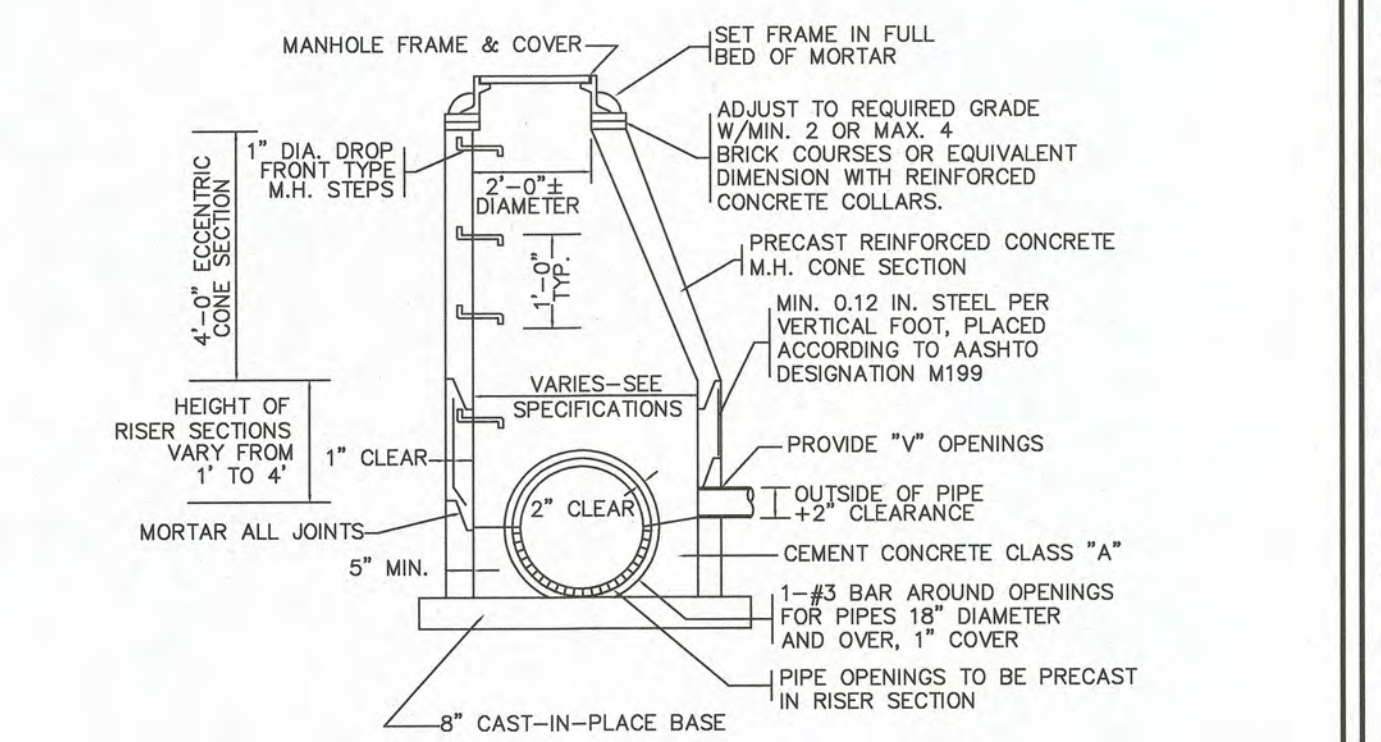


PRECAST CONCRETE DRAIN MANHOLE NOT TO SCALE

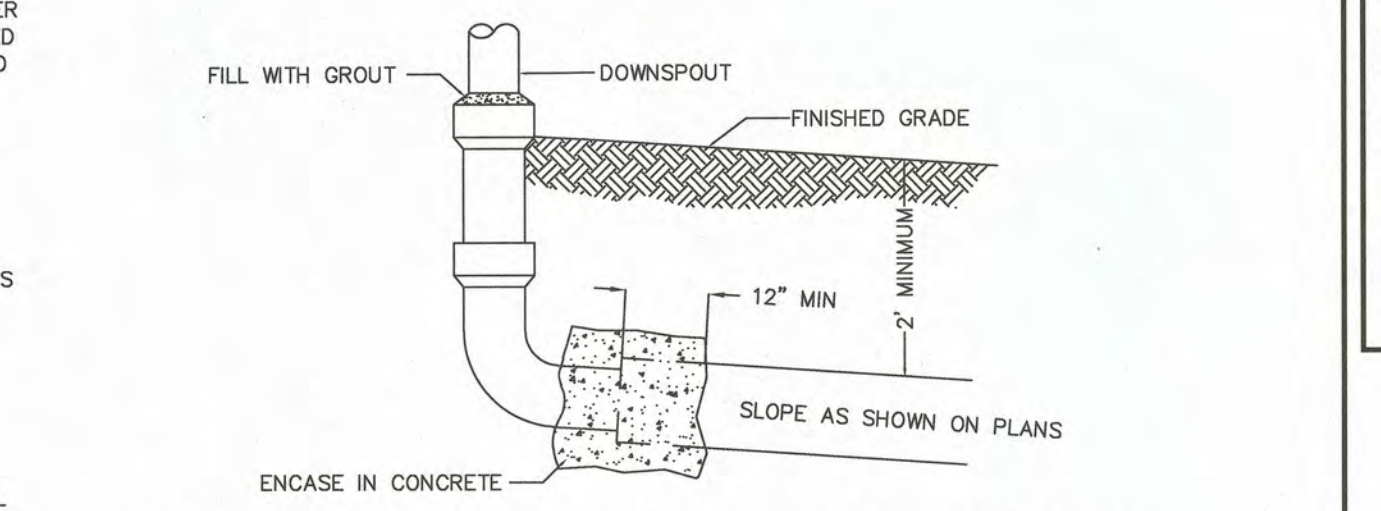


PRECAST CONCRETE SEWER MANHOLE NOT TO SCALE

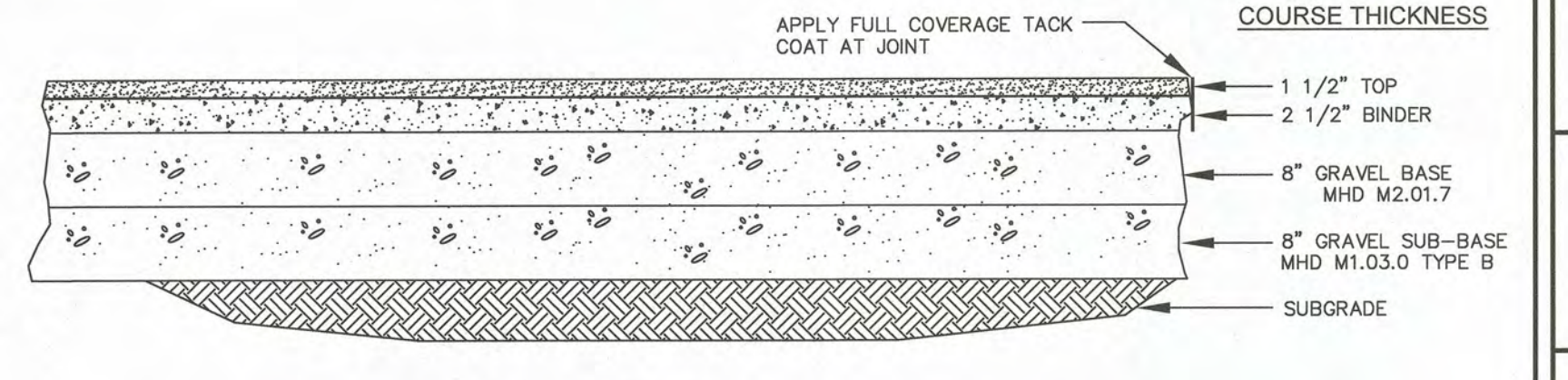
- NOTES:**
- MANUFACTURES TO MEET OR EXCEED ASTM C-478 & ASSHTO M 199 SPECIFICATIONS
  - CONCRETE = 4,000 PSI MIN.
  - STEEL REINFORCING TO MEET OR EXCEED H-20 LOADING REQUIREMENTS.
  - WATER PROOFING TO BE TWO COATS OF HEAVY BODIED TAR EMULSION.



PRECAST CONCRETE DRAIN MANHOLE NOT TO SCALE



DOWNSPOUT CONNECTION TO DRAINAGE OUTLET NOT TO SCALE



AUTOMOTIVE AREAS - BITUMINOUS CONCRETE PAVEMENT NOT TO SCALE

NO	DATE	REVISIONS
1	07/07/2023	ISSUE FOR PERMIT

DATE: 07/07/2023  
 DRAWN: DRC  
 SCALE: AS SHOWN

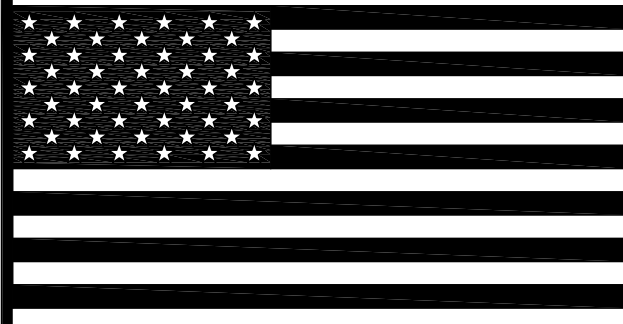
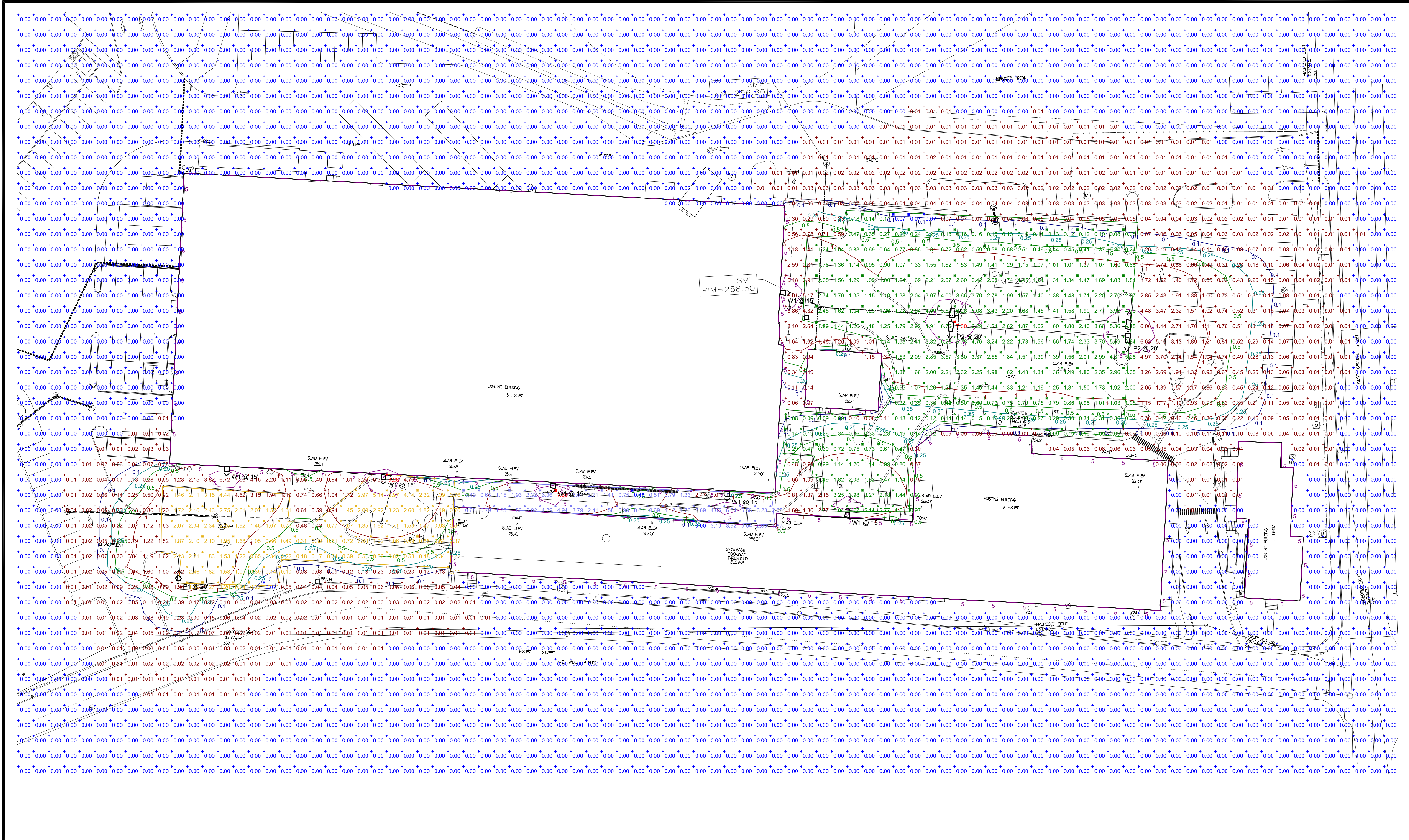


**FACTORY SQUARE**  
 SITE REDEVELOPMENT - PERMIT MODIFICATION  
 PARCEL ID 278-016-000-000  
 1, 3, 5 & 7 FISHER STREET  
 FRANKLIN, MASSACHUSETTS

**LEVEL DESIGN GROUP**  
 Civil Engineers & Land Surveyors  
 249 SOUTH STREET, UNIT 1  
 PLAINVILLE, MA 02762  
 TEL. (508) 695-2221 FAX. (508) 695-2219

**TYPICAL DETAILS**  
**C-4.1**  
 SHEET 9 OF 16  
 0' 20' 40' 80'  
**1899.00**





REVISIONS:

REV.	DATE	DESCRIPTION

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING - PLAN EAST	⊗	1.60 fc	7.30 fc	0.07 fc	104.3:1	22.9:1
PARKING - PLAN WEST	⊗	1.51 fc	8.28 fc	0.07 fc	118.3:1	21.6:1
WALKWAY - BETWEEN BUILDINGS	⊗	2.53 fc	7.68 fc	0.48 fc	16.0:1	5.3:1

Schedule							
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output
⊙	P1	1	BEACON	*URB-XXX-XX-18L-90-3K7-4F	*Urban Decorative Fixture,	1	6882
⊙	P2	2	SIGNIFY GARDCO	ECF-S-32L-1A-NW-G2-3	EcoForm Area LED ECF - Small, 32 LED's, 4000K CCT, TYPE 3 OPTIC, No Shield	1	13388
⊙	W1	6	SIGNIFY GARDCO	PWS-48L-500-NW-G2-4	Pureform LDGN Science (PWS), 48 LED's, 4000K CCT, TYPE 4 OPTIC,	1	10061

CLIENT:


  
**LEVEL**  
 DESIGN GROUP  
 Civil Engineers & Land Surveyors  
 249 SOUTH STREET, UNIT 1  
 PLAINVILLE, MA 02762  
 TEL. (508) 695-2221 FAX. (508) 695-2219

PROJECT:

**FACTORY SQUARE**

5 FISHER ST.  
FRANKLIN, MA.

DRAWING TITLE

**PHOTOMETRY LIGHTING PLAN**

DRAWN: CDO  
 CHECKED: VAD Jr  
 SCALE: 1" = 30'-0"  
 DATE: JUNE 30, 2023

# PH1.1



DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
CATALOG #: \_\_\_\_\_

**FEATURES**

- Decorative transitional style lighting fixture series is suitable for walkway lighting and wall mounting
- Two unique shade and style options
- LED tunable-friendly option available
- Integral Surge and Thermal Protection



**CONTROL TECHNOLOGY**



**SPECIFICATIONS**

- CONSTRUCTION**
- The drivers shall be located in the top cast housing and shall be accessible without tools by tilting the lower shade assembly. The driver and all electrical components shall be on a tray
  - The lower shade shall be made from a one-piece aluminum spinning
  - The housing is designed for LED thermal management without the use of metallic screens, cages, or fans. The top casting shall be able to be pendant mounted in place with a stainless steel safety pin and then permanently fixed in place with four stainless steel bolts

- ELECTRICAL**
- 100V through 277V, 50 Hz to 60 Hz (UNV), or 347V or 480V input
  - Power factor is >0.90 at full load
  - Dimming drivers are standard with connectors for external dimming equipment available upon request

- FINISH**
- IFS polyester powder-coat electrostatically applied and thermocured
  - IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish
  - The finish meets the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 150 inch-pounds

- ELECTRICAL (CONTINUED)**
- Surge protection - 20KA
  - LifesShield™ Circuit - protects luminaire from excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power over a finite temperature range. A luminaire equipped with the device may be reliably operated in any ambient temperature up to 55°C (131°F). Operation shall be smooth and undetectable to the eye. Thermal circuit is designed to "fail on", allowing the luminaire to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external dimmers, etc.)

- CONTROLS**
- Available with Energent for optional seat dimming, timed dimming with simple delay, or timed dimming based on time of night vs.

- FINISH**
- IFS polyester powder-coat electrostatically applied and thermocured
  - IFS finish consists of a five stage pretreatment regimen with a polymer primer sealer and top coated with a thermoset super TGIC polyester powder coat finish
  - The finish meets the AAMA 605.2 performance specification which includes passing a 3000 hour salt spray test for corrosion resistance and resists cracking or loss of adhesion per ASTM D522 and resists surface impacts of up to 150 inch-pounds

- CERTIFICATIONS**
- NRTL Certified, UL8750, UL 1598 and CSA22.2 #280, 13-14 for wet locations
  - IDA approved
  - This product is approved by the Florida Fish and Wildlife Conservation Commission. Separate spec available.

- WARRANTY**
- 5 year warranty

KEY DATA	
Lumen Range	3,300-13,000
Wattage Range	27.8-137.5
Efficacy Range (LPW)	61-87



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**Wall Mount**

**PureForm**

LED wall sconces



Gardco PureForm LED wall sconce PWS with precision optics offers a sleek, low profile design that will complement a range of architectural styles. PureForm wall sconce provides up to 21,800 lumens to accommodate multiple mounting heights, and is available with Type 2, 3, 4, as well as our back light control optics. A full range of control options is available for additional energy savings. Optional emergency battery backup option is available for path-of-egress and is integral to the luminaire.

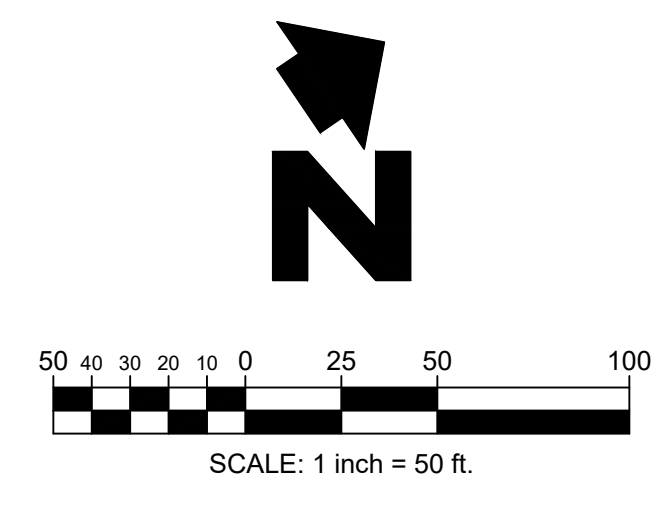
Product: \_\_\_\_\_  
Location: \_\_\_\_\_  
Cat. No: \_\_\_\_\_  
Type: \_\_\_\_\_ Qty: \_\_\_\_\_  
Lamps: \_\_\_\_\_  
Notes: \_\_\_\_\_

**Ordering guide**

example: PWS-48L-800-NH-02-2-UNV-DGY

Part #	Wattage (W)	LEDs	Color Temp. (K)	Beam Spread	Mounting	Finish	Options	Emergency	Photocontrol	Control & Dim	Notes
PWS PureForm wall sconce	48L	300 48 LEDs	3000K, 10 DM	2	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***	INRS* Integral with #2 lens	POB Photocontrol Backup***	POB#1 Single (DO, 277, 247VAC) POB#2 Double (DO, 347, 480VAC) POB#3 Conductor Double Pole (DO, 347, 480VAC) POB#4 Surge Protection (EMA Standard) SPS Increased BDA	Tinted BK White BK Bronze DSW Dark Gray NDY Medium Gray
	600 600MA	400 600MA	3000K, 10 DM	3	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***	INRS* Integral with #3 lens			
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
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	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
	800 800MA	400 800MA	3000K, 10 DM	4	ESPO Emergency Battery Pack Cold Weather Kit	UNV 120-277V	DO 0-10V External dimming controlled by others? DO Dual On/Off Control*** FAWR Field Adjustable Wattage Backup***				
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**GENERAL LANDSCAPE NOTES:**

THIS PLAN IS FOR LANDSCAPE LAYOUT ONLY. ALL GRADING, UTILITIES, SITE STRUCTURES, ETC. ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED WITH CIVIL PLANS AND IN THE FIELD.

RECOMMENDED PLANTING AND SEEDING DATES FOR THE CITY OF FRANKLIN: MARCH 15 - JUNE 15 AND SEPT 15 - NOV 15

ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH SOIL MOIST.

CONTRACTORS SHALL HAVE UNDERGROUND UTILITIES LOCATED, LEGIBLY MARKED, AND SHALL REPAIR ANY AND ALL DAMAGE WHICH MAY OCCUR AS A RESULT OF LANDSCAPE INSTALLATION. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATED, AND SHOULD BE VERIFIED ON THE CIVIL UTILITY PLAN AND IN THE FIELD.

UNDER NO CIRCUMSTANCES WILL LANDSCAPE WORK BE APPROVED FOR PAYMENT IF PLANT SIZE AND GENERAL HEALTH ARE NOT AS REQUIRED ON PLAN.

ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS AS SPECIFIED.

ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE OWNER BEFORE, DURING AND AFTER INSTALLATION.

THE LANDSCAPE ARCHITECT MUST APPROVE ANY ALTERATIONS OR REVISIONS TO THE LANDSCAPE PLAN.

THE CONTRACTOR SHALL PROTECT EXISTING FEATURES ON SITE.

ALL DISTURBED AREAS ON AND OFF THE SITE, INCLUDING THE TEMPORARY DETENTION AREA, SHALL BE COMPLETELY HYDROSEEDED OR SODDED WITH GRASS SEED SPECIFIED ON PLANS.

AREAS TO BE SEEDDED SHALL BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE.

THE SUBGRADE IS TO BE SCARIFIED TO RESULT IN UNCOMPACTED SUBSOIL.

6" OF GOOD QUALITY TOPSOIL IS THEN TO BE APPLIED AND RAKED TO FINISHED GRADE.

SEED SHOULD BE BROADCAST EVENLY AND WORKED INTO THE TOP OF 1" OF SOIL.

**MAINTENANCE:**  
SEEDDED AREAS ARE TO BE WATERED ENOUGH TO MAINTAIN ADEQUATE SURFACE SOIL MOISTURE FOR PROPER SEED GERMINATION. WATERING SHALL CONTINUE FOR ALL GRASSED AREAS FOR NOT LESS THAN 30 DAYS FOLLOWING SEEDING OR UNTIL A HEALTHY STAND OF GRASS, WITH 90% OR MORE COVERAGE, IS ACHIEVED. IMMEDIATELY RESEED, FERTILIZE, AND MULCH DAMAGED AREAS OR ANY AREA THAT FAILS TO ACHIEVE THE COVERAGE SPECIFIED ABOVE UNTIL A HEALTHY STAND OF GRASS, WITH 90% OR MORE COVERAGE, IS ACHIEVED.

THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.

THE LANDSCAPE CONTRACTOR SHALL FULLY MAINTAIN ALL PLANTING (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION.

THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD (AS PER DIRECTION OF THE OWNER).

ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.

STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR ALL NEW PLANT MATERIAL. ALL NEW PLANT MATERIAL SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN NATIONAL STANDARDS INSTITUTE REQUIREMENTS FOR TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE (ANSI A300 PARTS 1 THROUGH 6).

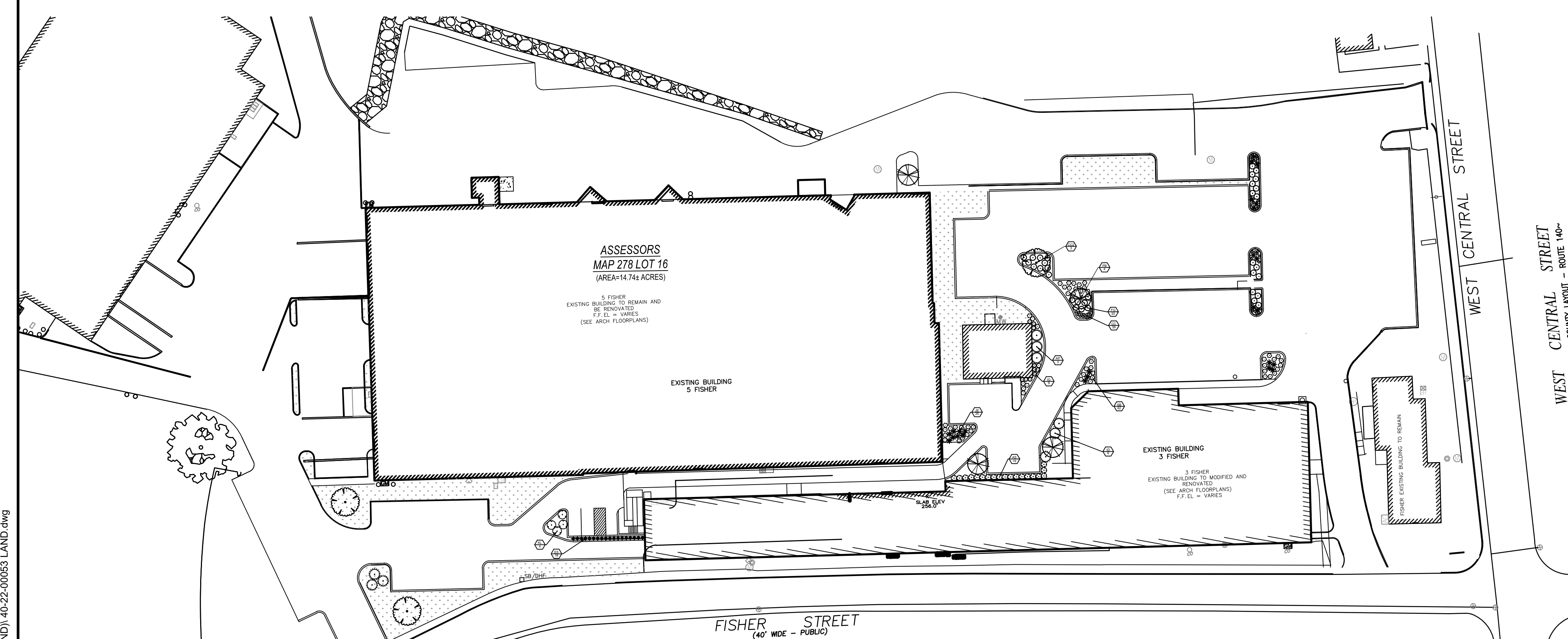
ALL TOPSOIL (4"-6" IN PLANTING BEDS) (1" x 2" FOR SEED AND SOD AREAS) APPLIED TO THE SITE SHALL BE LOAMY, FRIABLE SOIL, CONTAINING A MINIMUM OF 1.5 PERCENT BY DRY WEIGHT ORGANIC MATTER, FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, STONES LARGER THAN 25 MM (1 IN.), NOXIOUS SEEDS, STICKS, BRUSH, LITTER, AND OTHER DELETERIOUS SUBSTANCES, SUITABLE FOR THE GERMINATION OF SEEDS AND THE SUPPORT OF VEGETATIVE GROWTH. THE PH VALUE SHALL BE BETWEEN 5.5 AND 6.5.

ALL PLANTING AREAS SHALL BE TOP DRESSED WITH SHREDDED PINE BARK MULCH AT A MIN. 4" DEPTH ON DEWITT PRO 5 LANDSCAPE FABRIC. TOP OF MULCH SHALL BE EVEN WITH TOP OF CURBS OR EDGING. SEE CIVIL PLANS FOR ELEVATIONS. SECURE FABRIC WITH PINS OR STAPLES (2"x5"). PINS SHALL BE PLACED AT 5' O.C. AND JOINTS SHALL OVERLAP BY 12"

LANDSCAPE EDGING TO BE STEEL AND SHALL BE DARK IN COLOR.

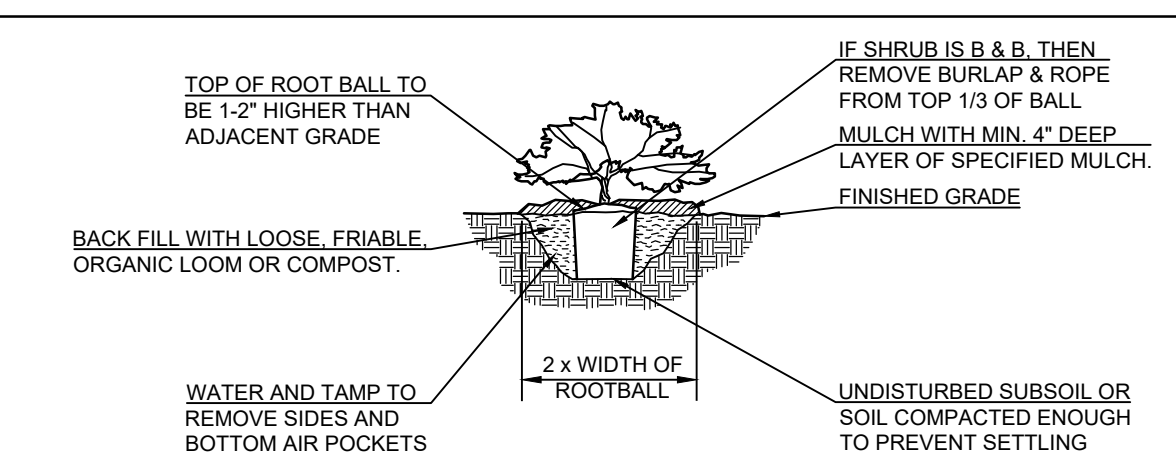
THIS SHEET IS FOR THE PURPOSE OF LANDSCAPING ONLY. ALL GRADING, UTILITIES, SITE FEATURES, ETC. ARE FOR REFERENCE ONLY. PLEASE REFER TO CIVIL PLANS FOR MORE DETAILS.

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT INSTALLED LANDSCAPING DOES NOT INTERFERE WITH OR OBSTRUCT ANY ADA PATHS OR OTHER VEHICULAR OR PEDESTRIAN USE AREAS. IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN ALL LANDSCAPING SO AS TO NOT INTERFERE WITH OR OBSTRUCT ANY ADA PATHS OR OTHER VEHICULAR OR PEDESTRIAN USE AREAS.



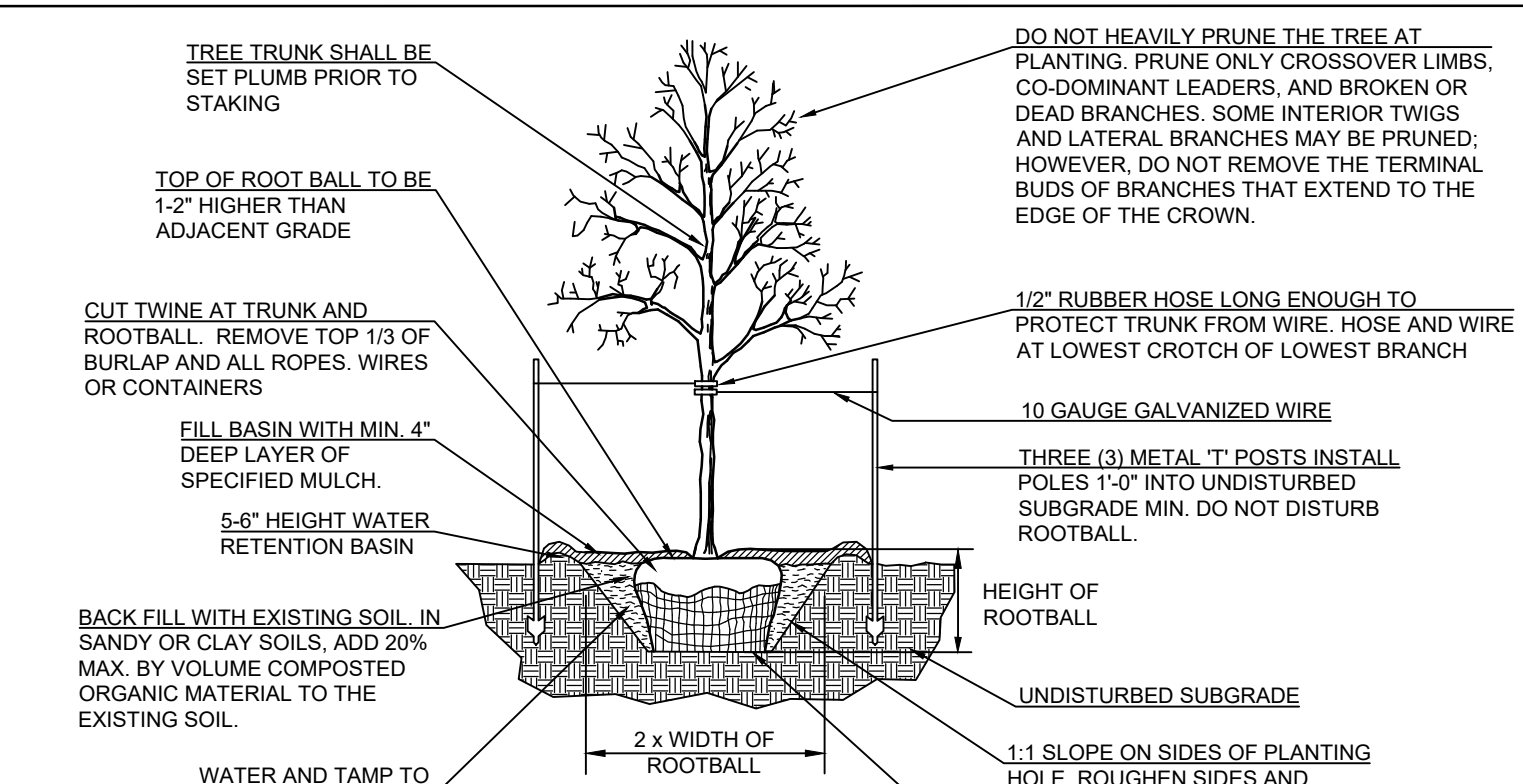
**PLANT SCHEDULE**

EVERGREEN TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	PB	4	Baby Blue Colorado Spruce / Picea pungens 'Baby Blue'	B & B		7' MIN.
ORNAMENTAL TREES	CODE	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	CC2	3	Smoke Tree / Cotinus coggygria	B & B		2" Cal
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONT		
	AP	3	Bottlebrush Buckeye / Aesculus parviflora	5 gal		
	AS	19	Dwarf Serviceberry / Amelanchier spicata	5 gal		
	CC	39	Carpathian Bellflower / Campanula carpatca	5 gal		
	FG	33	Dwarf Fothergilla / Fothergilla gardenii	5 gal		
	ID	6	Possumhaw / Ilex decidua	5 gal		
	IG	9	Gem Box® Inkberry Holly / Ilex glabra 'SMNIGAB17'	5 gal		
	KL	4	Mountain Laurel / Kalmia latifolia	5 gal		
	SB	62	Birchleaf Spirea / Spiraea betulifolia	5 gal		
ORNAMENTAL GRASSES	CODE	QTY	COMMON / BOTANICAL NAME	CONT		
	ES	18	Purple Lovegrass / Eragrostis spectabilis	3 gal		
	JE	25	Soft Rush / Juncus effusus	5 gal		
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT		
	PP	11,387 sf	Kentucky Bluegrass / Poa pratensis	flat		



- REMOVE ANY DEAD, DYING OR SEVERELY BROKEN TWIGS OR BRANCHES. IF REMOVING THESE BRANCHED REDUCES THE SHRUB HEIGHT BELOW SPECIFIED HEIGHT THEN SHRUB SHALL BE REJECTED.
- PLANTING BEDS SHOULD BE EXCAVATED TO A DEPTH OF 6" BELOW FINISHED GRADE.
- THE BOTTOM OF THE BED SHALL BE SCARIFIED TO ENCOURAGE DRAINAGE AND PREVENT COMPACTION.
- NEWLY PLANTED SHRUBS SHALL BE FERTILIZED WITH A TIME RELEASE FERTILIZER WITH A 20-20-20 ANALYSIS APPLIED PER MANUFACTURERS SPECIFICATION.

**02 SHRUB PLANTING**  
N.T.S.



- MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.
- WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOTBALL WITH SOIL.
- DO NOT LIFT, ADJUST OR MOVE TREE USING THE TRUNK. USE METAL BASKET FOR THESE TASKS.
- NEWLY PLANTED TREES SHALL BE FERTILIZED WITH A TIME RELEASE FERTILIZER WITH A 20-20-20 ANALYSIS APPLIED PER MANUFACTURERS SPECIFICATION.

STIPULATION FOR REUSE:  
THIS DRAWING WAS PREPARED FOR USE ON A SPECIFIC SITE AT THE LOCATION AND DATE SHOWN HEREON. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF HFA. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF HFA IS STRICTLY PROHIBITED. THE USER OF THIS DRAWING OR PRODUCT ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE REPRODUCTION OR REUSE OF THIS DRAWING OR PRODUCT. HFA ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE REPRODUCTION OR REUSE OF THIS DRAWING OR PRODUCT. HFA ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE REPRODUCTION OR REUSE OF THIS DRAWING OR PRODUCT.

**FACTORY SQUARE**  
SITE REDEVELOPMENT - PERMIT MODIFICATION  
PARCEL ID 27-016-000-000  
1.35 & 7 FISHER STREET  
FRANKLIN, MASSACHUSETTS  
PROJ NUMBER: 40-22-00053

ISSUE BLOCK

NO.	TITLE	DATE

DOCUMENT DATE: 7/31/2023  
CHECKED BY: WFM  
DRAWN BY: JMS



**LANDSCAPE PLAN**  
SHEET: **C6.0**



# 3 Fisher Street Renovation

32,300 SF (+/-)

TENANT 3A: 15,896 SF (+/-)  
 TENANT 3B: 6,296 SF (+/-)  
 TENANT 3C: 7,418 SF (+/-)  
 BASEMENT: 2,690 SF (+/-)

**HFA**  
 HARRISON FRENCH  
 & ASSOCIATES, L.P.  
 t. 508.528.0770  
 31 Hayward Street  
 Franklin, Massachusetts 02038  
 www.hfa-ac.com

3 FISHER ST.  
 FRANKLIN, MASSACHUSETTS

Permit Set  
 6/30/23



STIPULATION FOR REUSE  
 THE DRAWING WAS PREPARED FOR THE  
 PROJECT OF 3 FISHER STREET, FRANKLIN,  
 MASSACHUSETTS. IT IS NOT TO BE  
 REUSED FOR ANY OTHER PROJECT  
 WITHOUT THE WRITTEN CONSENT OF  
 HARRISON FRENCH & ASSOCIATES,  
 L.P. ANY REUSE OF THIS DRAWING  
 WITHOUT THE WRITTEN CONSENT OF  
 HARRISON FRENCH & ASSOCIATES,  
 L.P. IS STRICTLY PROHIBITED.

3 FISHER STREET  
 RENOVATION  
 3 FISHER ST.  
 FRANKLIN, MA 02038  
 JOB NUMBER: 40-22-00063

ISSUE BLOCK		
1	65% CDs	2/10/23
2	Permit Set	6/30/23

CHECKED BY: SMC  
 DRAWN BY: VS  
 DOCUMENT DATE: 6/30/23

## DRAWING SYMBOLS LEGEND

**WALL SECTION OR BUILDING SECTION KEY**

DETAIL NO. DIRECTION INDICATOR

**ELEVATION KEY**

DETAIL NO. SHEET NO. DIRECTION INDICATOR

**DIMENSION TO FACE OF FRAMING OR EDGE OF SLAB UNLESS OTHERWISE NOTED**

1 1/2"

**REVISION TO DRAWING**

11-20-2000 OWNER COMMENTS

**DETAIL REFERENCES**

**ROOM NAME / SPACE NUMBER**

ROOM SPACE NAME ROOM NUMBER

**WINDOW/STOREFRONT ELEVATION DESIGNATION**

DWG

**DOOR DESIGNATION**

101A

**COLUMN REFERENCE DESIGNATION**

A

**WALL TYPES**

**MATERIAL INDICATOR**

**HEIGHT ELEVATION INDICATOR**

0'

**FLOOR PLAN**

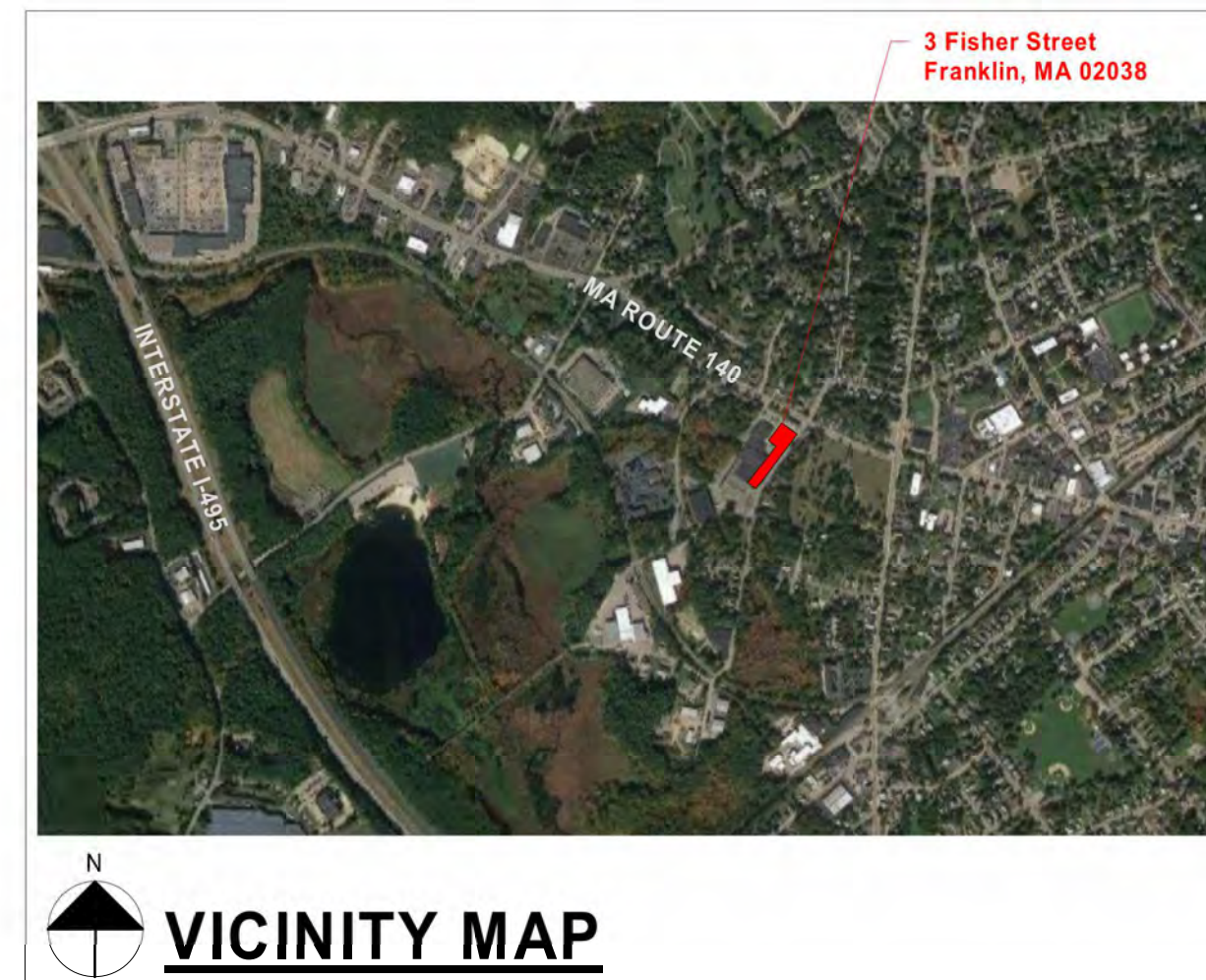
DRAWING TITLE & SCALE INDICATION

1 1/4"=1'-0"

ABBR	DEFINITION
AC	AIR CONDITIONER
ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ARCH	ARCHITECTURAL
BFF	BELOW FINISH FLOOR
BO	BOTTOM OF
BRG	BEARING
CJ	CONTROL JOINT
CL	CENTERLINE
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
DIA	DIAMETER
DWG	DRAWING
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
EXT	EXTERIOR
EQ	EQUAL
FE	FIRE EXTINGUISHER
FF	FINISH FLOOR
FFL	FINISH FLOOR ELEVATION
FRP	FIBERGLASS REINFORCED PLASTIC
GA	GAUGE
GC	GENERAL CONTRACTOR
GPS	GLASS PANEL SYSTEM
GYP BD	GYP SUM BOARD
HC	HANDICAP ACCESSIBLE
HM	HOLLOW METAL
MAX	MAXIMUM
MBM	METAL BUILDING MANUFACTURER
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
METAL	METAL
NTL	NOT IN CONTRACT
NTS	NOT TO SCALE
ON CENTER	ON CENTER
OPH	OPPOSITE HAND
PLAM	PLASTIC LAMINATE
PT	PRESSURE TREATED
REF	REFERENCE
RO	ROUGH OPENING
RTU	ROOF TOP UNIT
SFRD	STOREFRONT ROUGH OPENING
SIM	SIMILAR
STRUC	STRUCTURAL
TO	TOP OF
UNO	UNLESS NOTED OTHERWISE
THK	THICK
TYP	TYPICAL

## PROJECT DIRECTORY

<b>OWNER:</b>	<b>K COMMERCIAL REAL ESTATE SERVICES, LLC</b> 1 FISHER STREET FRANKLIN, MA 02038 (508) 541-1350 RICK KAPLAN
<b>ARCHITECTURAL:</b>	<b>HARRISON FRENCH AND ASSOCIATES</b> 31 HAYWARD STREET, SUITE E-1 FRANKLIN, MA 02038 (508) 528-0770 ext 413 AKSEL SOLBERG
<b>STRUCTURAL:</b>	<b>HARRISON FRENCH AND ASSOCIATES</b> 31 HAYWARD STREET, SUITE E-1 FRANKLIN, MA 02038 (508) 528-0770 ext 426 GIANCARLO BOTAZZI
<b>MECHANICAL ELECTRICAL PLUMBING:</b>	<b>HARRISON FRENCH AND ASSOCIATES</b> 1705 S WALTON BLVD, SUITE 3 BENTONVILLE, AR 72712 479.273.7780 ext 336 JAIME CASTANEDA
<b>CIVIL/LANDSCAPE:</b>	<b>LEVEL DESIGN GROUP, LLC</b> 249 SOUTH STREET, UNIT 1 PLAINVILLE, MA 02762 (508) 695-2221 DANIEL CAMPBELL
<b>BUILDING OFFICIAL:</b>	<b>TOWN OF FRANKLIN</b> 355 EAST CENTRAL STREET FRANKLIN, MA 02038 (508) 520-4926 LLOYD "GUS" BROWN



## INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME	CURRENT REVISION		
		#	DESCRIPTION	DATE
<b>GENERAL</b>				
G001	COVER SHEET	2	Permit Set	6/30/23
G101	LIFE SAFETY PLAN & CODE SUMMARY	2	Permit Set	6/30/23
<b>STRUCTURAL</b>				
S001	DESIGN CRITERIA, GENERAL, FOUNDATION & SUBGRADE NOTES	2	PERMIT SET	06/30/23
S002	SPECIAL INSPECTION NOTES	2	PERMIT SET	06/30/23
S003	MATERIAL STRUCTURAL NOTES	2	PERMIT SET	06/30/23
S100	KEY PLAN	2	PERMIT SET	06/30/23
S101	PARTIAL FOUNDATION PLAN (NORTH)	2	PERMIT SET	06/30/23
S102	PARTIAL FOUNDATION PLAN (SOUTH) & BASEMENT FOUNDATION PLAN	2	PERMIT SET	06/30/23
S121	PARTIAL ROOF FRAMING PLAN (NORTH)	2	PERMIT SET	06/30/23
S122	PARTIAL ROOF FRAMING PLAN (SOUTH)	2	PERMIT SET	06/30/23
S201	SOUTH WALL STRUCTURAL ELEVATION	2	PERMIT SET	06/30/23
S31	GABLED TRUSS DETAILS	2	PERMIT SET	06/30/23
S32	"FLAT" TRUSS DETAILS	2	PERMIT SET	06/30/23
S901	NORTH ISOMETRIC VIEW	2	PERMIT SET	06/30/23
S902	SOUTH ISOMETRIC VIEW	2	PERMIT SET	06/30/23
<b>ARCHITECTURE</b>				
AD101	FIRST FLOOR PLAN - PARTIAL NORTH - DEMOLITION	2	Permit Set	6/30/23
AD102	FIRST FLOOR PLAN - PARTIAL SOUTH FLOOR PLAN - DEMOLITION	2	Permit Set	6/30/23
AD121	PARTIAL ROOF PLAN - DEMOLITION	2	Permit Set	6/30/23
AD201	EXTERIOR ELEVATIONS - DEMOLITION	2	Permit Set	6/30/23
AD202	EXTERIOR ELEVATIONS - DEMOLITION	2	Permit Set	6/30/23
A-101	FIRST FLOOR PLAN - PARTIAL NORTH	2	Permit Set	6/30/23
A-102	FIRST FLOOR PLAN - PARTIAL SOUTH	2	Permit Set	6/30/23
A-121	PARTIAL ROOF PLAN & DETAILS	2	Permit Set	6/30/23
A-201	EXTERIOR ELEVATIONS	2	Permit Set	6/30/23
A-202	EXTERIOR ELEVATIONS	2	Permit Set	6/30/23
A-301	BUILDING SECTIONS & WALL SECTIONS	2	Permit Set	6/30/23
A-302	ELEC ROOM SECTION	2	Permit Set	6/30/23

## INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME	CURRENT REVISION		
		#	DESCRIPTION	DATE
<b>GENERAL</b>				
A-401	ENLARGED RESTROOM PLANS & DETAILS	1	Permit Set	6/30/23
A-421	RAMP, STAIR, & LIFT PLANS AND SECTIONS	1	Permit Set	6/30/23
A-422	STAIR PLAN AND SECTION	1	Permit Set	6/30/23
A-601	DOOR & STOREFRONT SCHEDULE, ELEVATIONS, AND DETAILS	1	Permit Set	6/30/23
<b>FIRE PROTECTION</b>				
FP1	FIRE SPRINKLER PLAN, NOTES, & DETAILS	1	Permit Set	06/30/23
<b>FIRE ALARM</b>				
FA1	FIRE ALARM PLAN, NOTES, & DETAILS	1	Permit Set	06/30/23
<b>MECHANICAL</b>				
MP001	MECHANICAL AND PLUMBING SPECIFICATIONS	1	PERMIT	06/30/23
<b>PLUMBING</b>				
P001	PLUMBING SYMBOLS AND NOTES	1	PERMIT	06/30/23
P111	ENLARGED PLUMBING PLANS	1	PERMIT	06/30/23
P501	PLUMBING DETAILS AND SCHEDULES	1	PERMIT	06/30/23
P701	PLUMBING RISER DIAGRAMS	1	PERMIT	06/30/23
<b>MECHANICAL</b>				
M001	MECHANICAL SYMBOLS, NOTES, SCHEDULES AND DETAILS	1	PERMIT	06/30/23
M101	FIRST FLOOR HVAC PLAN	1	PERMIT	06/30/23
M111	FIRST FLOOR HVAC PLAN	1	PERMIT	06/30/23



COVER SHEET

SHEET:  
**G001**

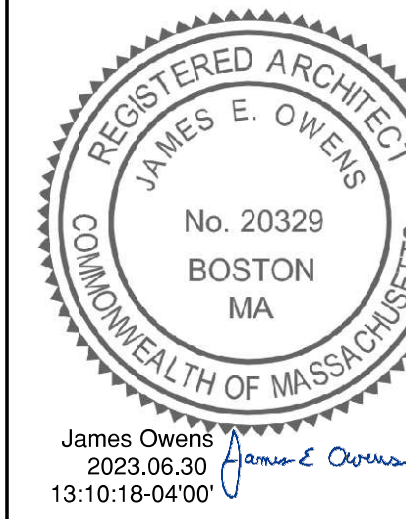


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**3 FISHER STREET RENOVATION**  
3 FISHER ST.  
FRANKLIN, MA 02038  
JOB NUMBER: 24-23-55705

ISSUE BLOCK		
1	65% CDs	2/10/23
2	Permit Set	6/30/23

CHECKED BY: SMC  
DRAWN BY: VS  
DOCUMENT DATE: 6/30/23

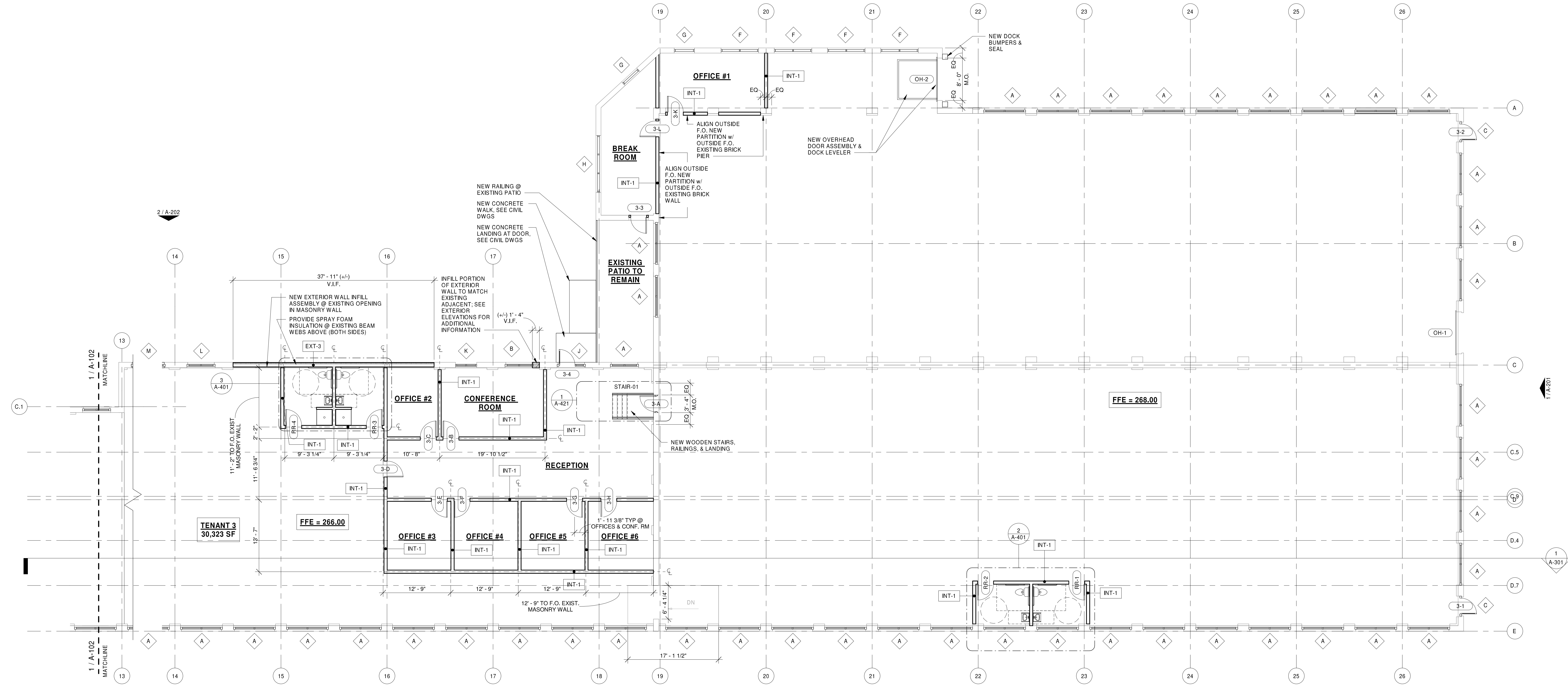
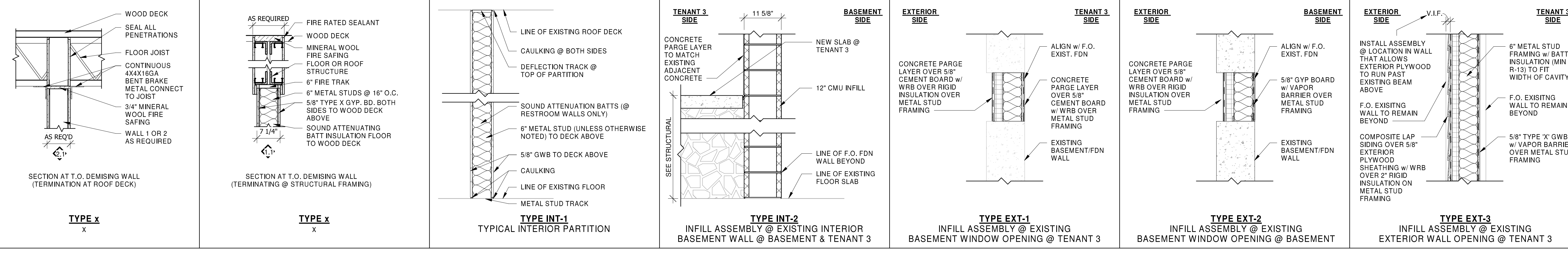


James Owens  
2023.06.30  
13:10:18-0400

FIRST FLOOR PLAN - PARTIAL NORTH

SHEET: A-101

**INFILL WALL ASSEMBLIES**



1 PARTIAL FLOOR PLAN (NORTH) - NEW WORK  
A-101 1/8" = 1'-0"

03/2023 11-11-2023  
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 11-11-2023 11:11:20 AM  
 11-11-2023 11:11:20 AM

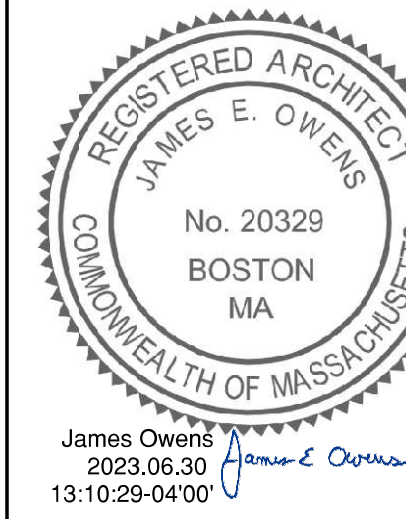


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**3 FISHER STREET RENOVATION**  
3 FISHER ST.  
FRANKLIN, MA 02038  
JOB NUMBER: 24-23-55705

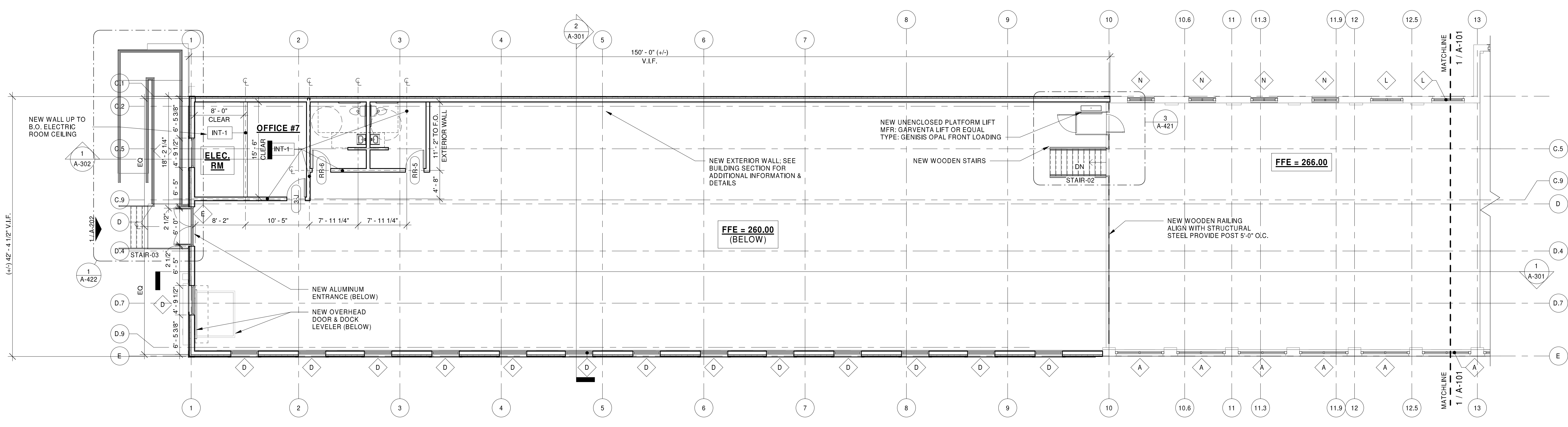
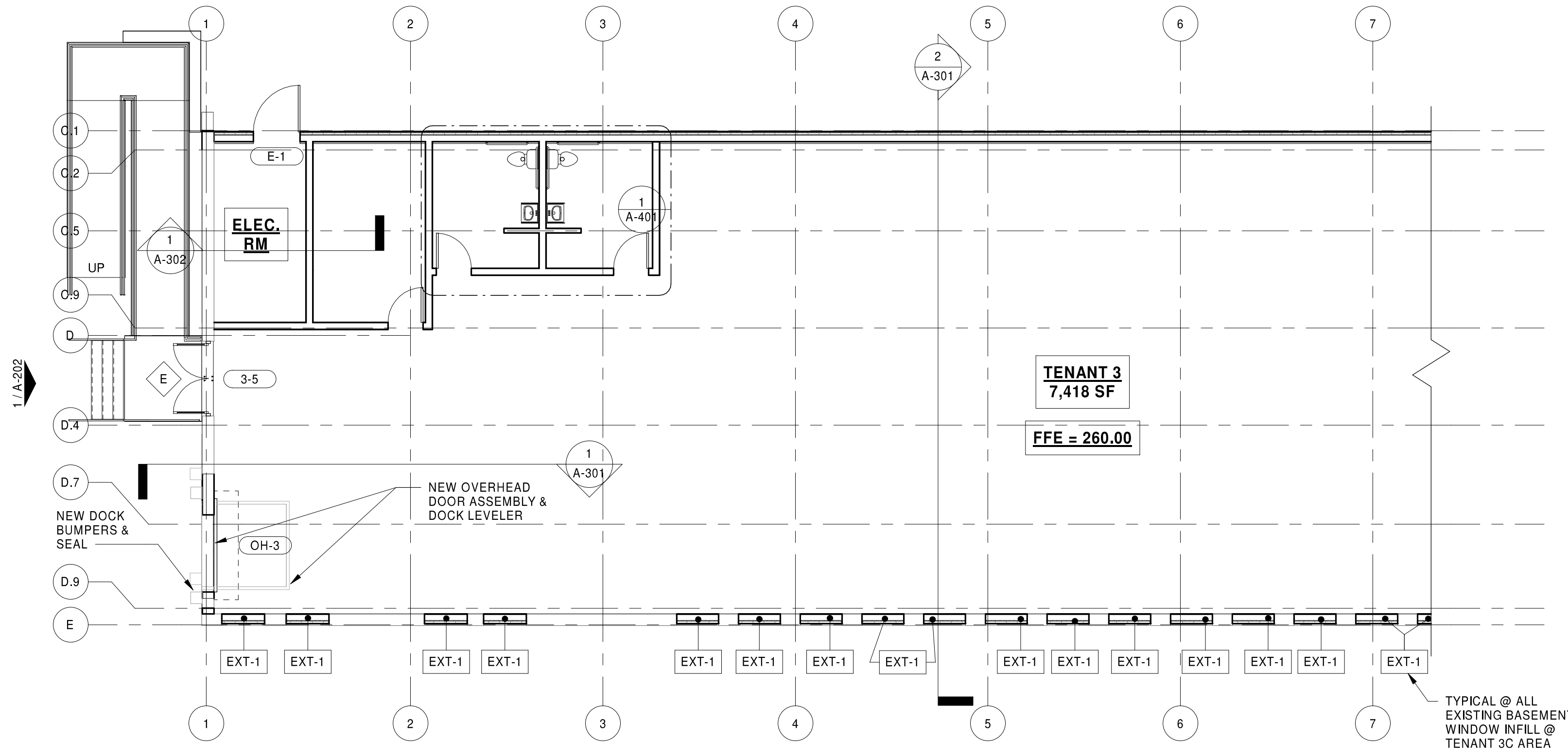
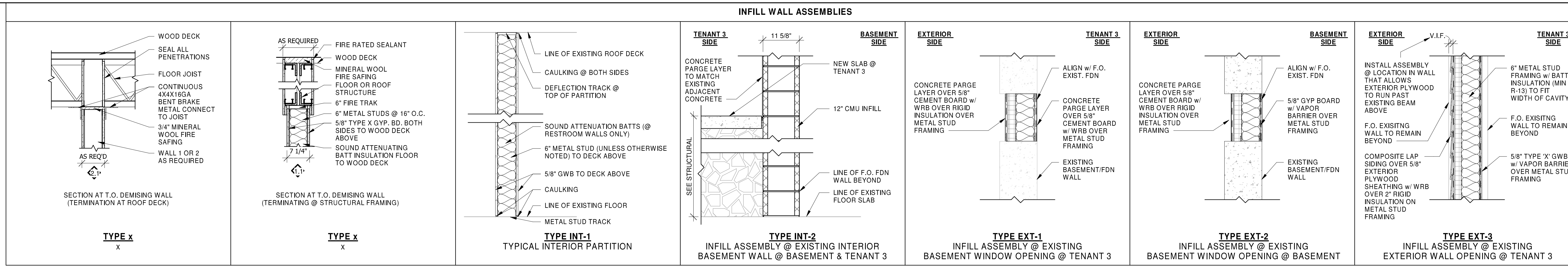
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2	Permit Set	6/30/23

CHECKED BY: SMC  
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DOCUMENT DATE: 6/30/23



FIRST FLOOR PLAN - PARTIAL SOUTH

SHEET: A-102



20230515 11:45:44 AM  
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 A-102 PARTIAL FLOOR PLAN - PARTIAL SOUTH - REV 04



EXTERIOR FINISH LEGEND				
MARK	DESCRIPTION	MANUFACTURER	SERIES/MODEL/COLOR/PATTERN	COMMENTS
CLS-1	COMPOSITE LAP SIDING	EVERLAST ADVANCED COMPOSITE SIDING	STANDARD 7" LAP SIDING, COLOR: CABERNET RED	
MTL-1	METAL ROOF EDGE	FIRESTONE	UNA-EDGE COLOR: BLACK	
PNT-1	EXTERIOR PAINT	SHERWIN WILLIAMS	COLOR: TFD - WHITE	@ FASCIA TRIM
PVC-1	PVC TRIM	AZEK	COLOR: WHITE	SEE WALL SECTIONS FOR SIZES & PROFILES
SF-1	ALUMINUM STOREFRONT	KAWNEER	COLOR: BLACK	

**HFA**  
HARRISON FRENCH & ASSOCIATES, L.P.C.  
1508.528.0770  
31 Hayward Street  
Franklin, Massachusetts 02038  
www.hfa-ac.com

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**3 FISHER STREET RENOVATION**  
9 FISHER ST.  
FRANKLIN, MA 02038  
JOB NUMBER: 24-23-05705

ISSUE BLOCK		
1	65% CDs	2/10/23
2	Permit Set	6/30/23

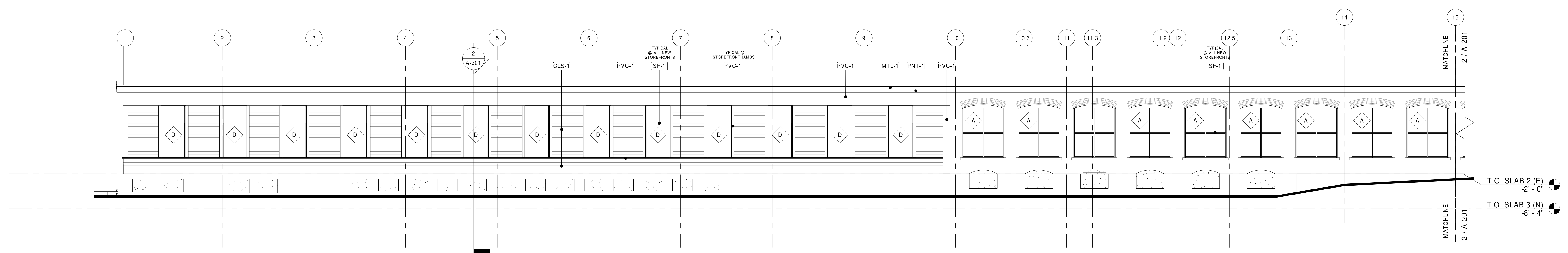
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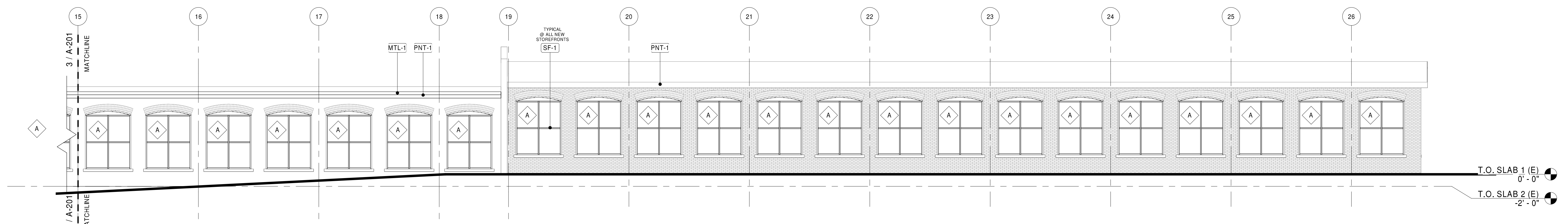
James Owens  
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13:11:19-0400

**EXTERIOR ELEVATIONS**

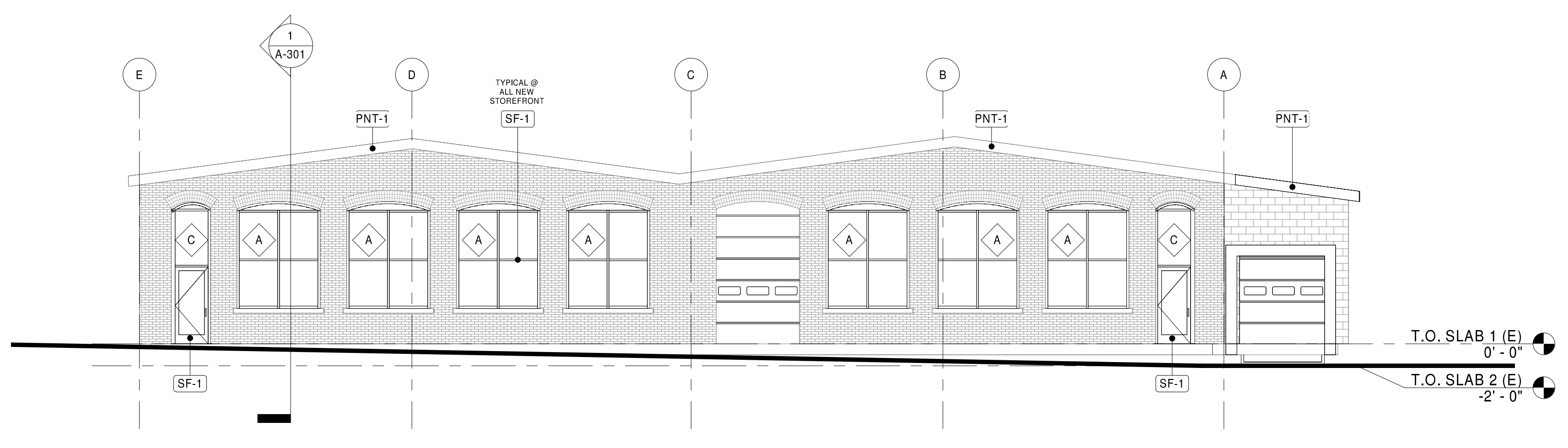
SHEET: **A-201**



**3 PARTIAL EAST ELEVATION - SOUTH HALF - NEW WORK**  
A-201  
1/8" = 1'-0"



**2 PARTIAL EAST ELEVATION - NORTH HALF - NEW WORK**  
A-201  
1/8" = 1'-0"



**1 NORTH ELEVATION - NEW WORK**  
A-201  
1/8" = 1'-0"

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31 Hayward Street, Franklin, MA 02038  
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A-201 EXTERIOR ELEVATIONS - PERMIT SET



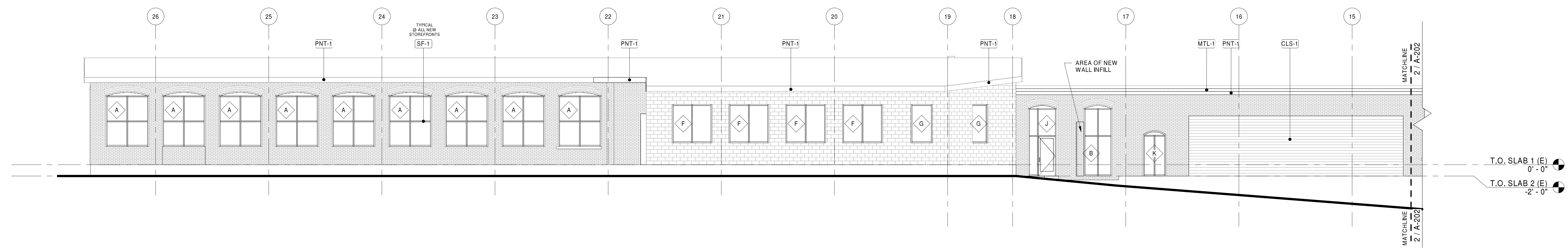
EXTERIOR FINISH LEGEND				
MARK	DESCRIPTION	MANUFACTURER	SERIES/MODEL/COLOR/PATTERN	COMMENTS
CLS-1	COMPOSITE LAP SIDING	EVERLAST ADVANCED COMPOSITE SIDING	STANDARD 7" LAP SIDING, COLOR: CABERNET RED	
MTL-1	METAL ROOF EDGE	FIRESTONE	UNA-EDGE COLOR: BLACK	
PNT-1	EXTERIOR PAINT	SHERWIN WILLIAMS	COLOR: TBD - WHITE	@ FASCIA TRIM
PVC-1	PVC TRIM	AZEK	COLOR: WHITE	SEE WALL SECTIONS FOR SIZES & PROFILES
SF-1	ALUMINUM STOREFRONT	KAWNEER	COLOR: BLACK	

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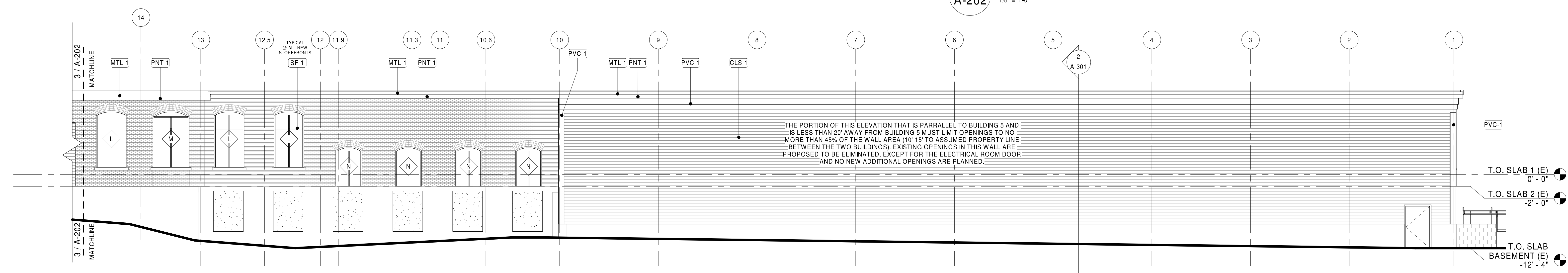
**3 FISHER STREET RENOVATION**  
3 FISHER ST.  
FRANKLIN, MA 02038  
JOB NUMBER: 24-23-25715

ISSUE BLOCK	
1	65% CDs 2/10/23
2	Permit Set 6/30/23

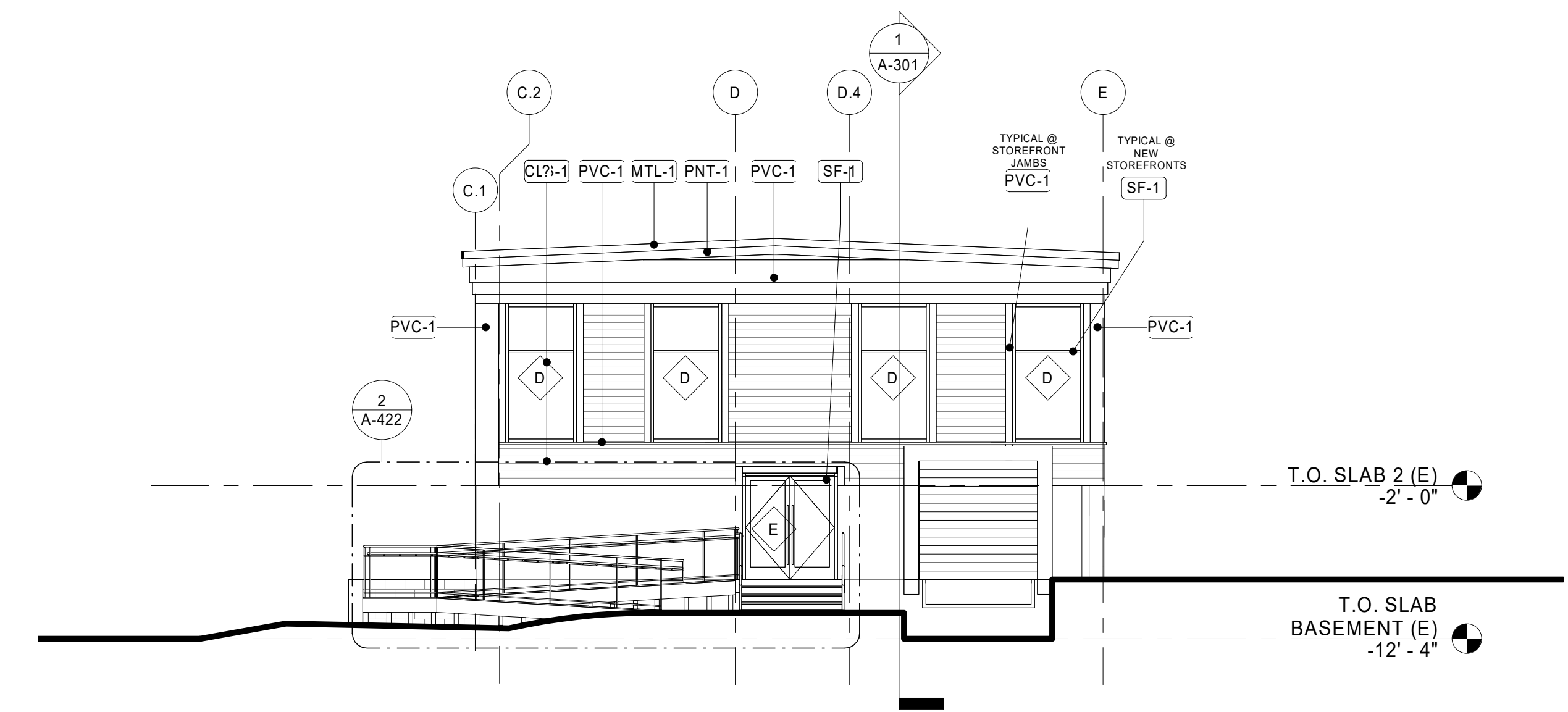
CHECKED BY: SMC  
DRAWN BY: VS  
DOCUMENT DATE: 6/30/23



**3 PARTIAL WEST ELEVATION - NORTH HALF - NEW WORK**  
A-202 1/8" = 1'-0"



**2 PARTIAL WEST ELEVATION - SOUTH HALF - NEW WORK**  
A-202 1/8" = 1'-0"



**1 SOUTH ELEVATION - NEW WORK**  
A-202 1/8" = 1'-0"

REGISTERED ARCHITECT  
JAMES E. OWENS  
No. 20329  
BOSTON  
MA  
COMMONWEALTH OF MASSACHUSETTS  
James Owens  
2023.06.30  
13:11:35-0400

EXTERIOR ELEVATIONS

SHEET:  
**A-202**

2023.06.30 13:11:35-0400  
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A-202 EXTERIOR ELEVATIONS-Frame 241