

SCALE: 1" = 2,000' SOURCE: USGS

# **PROPOSED SITE PLAN** DOCUMENTS

— FOR ———

# **TMC HOLDINGS & DEVELOPMENT 2, LLC**

# PROPOSED INDUSTRIAL DEVELOPMENT **UNION STREET BUSINESS PARK II**

**LOCATION OF SITE:** 839 UPPER UNION STREET, CITY OF FRANKLIN NORFOLK COUNTY, MASSACHUSETTS MAP #314, BLOCK #20, LOT #1

> PREPARED BY **BOHLER**//

SCALE: 1" = 100'

ΜŢ		SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHON AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER. © BOHLER.
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## GENERAL NOTES

NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL 1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVIC SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN: • "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 03/23/21. • "ALTA/NSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 05/14/21. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.
- ALL ACCESSIBLE (A/K/A ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
- . THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE 4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND L OF A CERTIFICATE OF OCCUPANCY. 5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS,
- RULES. REGULATIONS. STATUTORY REQUIREMENTS. CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR 6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER TO PROCEEDING WITH ANY FURTHER WORK.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN 8. AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.
- 2. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS. 0. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE
- LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE 10, SITE GRADING MUST BE PERFORMED IN ACCORDANCE APPLICABLE). CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER. ARCHITECT AND SITE ENGINEER. IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST 1. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN
- ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR. 2. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT.
- 13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE 11. ALL FILL COMPACTION. AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
- 14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME 12. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION 10. TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE. WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR ROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITI APPLICABLE CODES, LAWS RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTORY AND CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
- 15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT
- 16 THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS MEANS TECHNIQUES OR PROCEDURES GENERALLY OR FOR THE CONSTRUCTION MEANS METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- 7. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES. AT ANY TIME
- COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST. PRESENT AND FUTURE OWNERS. OFFICERS. DIRECTORS. PARTNERS. SHAREHOLDERS. MEMBERS. PRINCIPALS. COMMISSIONERS. AGENTS. SERVANTS. EMPLOYEES AFEILIATES SUBSIDIARIES AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND 18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME. 16. CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME. 16. CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME. 16. CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME. 16. CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME. 16. CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME. 16. CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME. 16. CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CURB FACE. IT IS CONTRACTOR'S OBLIGATION OF SAME. MPLOYEES AFEILIATES SUBSIDIARIES AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES. INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, TORT DAMAGES, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES 19. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY NNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS 20. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED TO INSURANCE HEREUNDER.
- SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOH FR HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER BOH FR ENGINEERING'S SHOP DRAWING REVIEW WILL BE 22 STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS WHEN HIGH-DENSITY 19. CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS 23. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SANITARY SEWER PIPE SHALL BE AS FOLLOWS: HAVE NOT BEEN RECEIVED
- 20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL 25. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING. OVERSEEING. SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT 26. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY 27. RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.
- 21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY or punitive damages resulting therefrom and, further, shall defend, indemnify and hold harmless the engineer, to the fullest extent PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.
- 22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR 28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE. 23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT
- 24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER
- ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
- 26. ALL DIMENSIONS MUST BE TO FACE OF CURB. EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE. 27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES
- AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS. 28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A
- **RESULT OF SAID FAILURE** 29 CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLITITION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH FPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.
- 30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER. THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

# **GENERAL GRADING & UTILITY PLAN NOTES**

- ANY CONSTRUCTION OR EXCAVATION. SANITARY SEV FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCT BEGINNING AT THE LOWEST INVERT (POINT OF CONN SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO CON
- 2. CONTRACTOR MUST VERTICALLY AND HORIZONTALL TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC, WITHI WITH THE REQUIREMENTS OF THE APPLICABLE UTILI DAMAGE TO ANY EXISTING UTILITIES DURING CONST UTILITIES DURING CONSTRUCTION
- ASSOCIATED WITH THE PROJECT WORK SCOPE PRIC BETWEEN THE DOCUMENTS RELATIVE TO THE SPECI CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY TH CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIF COMPLETE THE SCOPE OF WORK AS DEFINED BY TH CODES AND, FURTHER, CONTRACTOR SHALL BE RESF
- TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE ACTIVITY.
- THE CONTRACTOR MUST FAMILIARIZE ITSELE WITH T DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE P HAVE BEEN TERMINATED AND ABANDONED IN ACCOR STATUTES, LAWS, ORDINANCES AND CODES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTER OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMP ENSURING THAT INSTALLATION OF ALL IMPROVEMEN REQUIREMENTS, RULES, STATUTES, LAWS, ORDINAN THE EXISTING UTILITY/SERVICE WHERE A CONFLICT( POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATE WATER SERVICE MATERIALS, BURIAL DEPTH, AND CO
- INCLUDE ALL FEES, COSTS AND APPURTENANCES RE MUNICIPALITY TO CONFIRM THE PROPER WATER ME ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC ACCORDANCE WITH THE UTILITY/SERVICE PROVIDE
- IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIB REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACT A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS
- COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

- RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.
- APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- PROVIDE TO THE OWNER AT THE COMPLETION OF WORK

- IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS
- MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK

- FOR PIPES LESS THAN 12 FT. DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034 FOR PIPES MORE THAN 12 FT DEEP POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034
- FINAL ARCHITECTURAL PLANS
- JURISDICTION OVER SAME
- MUST BE PROVIDED.
- AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION. WITH THE AGENCY WITH JURISDICTION OVER SAME. 30. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY

UTILITY PLAN NOTES	GENERAL DEMOLITION NOTES
VICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF	1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE RUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE NNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES COMMENCEMENT OF CONSTRUCTION.	<ul> <li>"BOUNDARY &amp; TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 03/23/21.</li> <li>"ALTA/NSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 05/14/21.</li> </ul>
LLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER,	2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1 AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
THIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY TILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL STRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING	3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANY
IEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS	4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. T REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCT IMPROVEMENTS.
RIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY ECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF TIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND ESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.	<ol> <li>CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REG. SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION AC IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGUL REQUIREMENTS, STATUTES, ORDINANCES AND CODES.</li> </ol>
ND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE IBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE	
	A.OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WIT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
H THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY E PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES CORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES,	B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO TH
	C.INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
VER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.	D.IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY M EXCAVATION.
ON OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP FERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION IPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE ANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO	E.LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STOR FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WIT APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
ICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION TELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.	F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION
COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE IETER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.	G.ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINA THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
IC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ER INSTALLATION SPECIFICATIONS AND STANDARDS.	H.COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.
INCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED SIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL I BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN	I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PL CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MA

AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND 8. ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR

BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS. FILL AND COMPACTION MUST. 9. AT A MINIMUM. COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL.

AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA. AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS

REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL 15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF

CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT <sup>13.</sup> LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR LITH ITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER LIPON COMPLETION OF THE WORK

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF 17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADES), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY. HEALTH OR GENERAL WELFARE, OR PROJECT COST, JE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION. MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, 21. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS

POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS. IT MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

FOR PIPE WITHIN 10 FT. OF BUILDING, PIPE MATERIAL SHALL COMPLY WITH APPLICABLE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIEV WITH LOCAL OFFICIALS

SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH

WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED ADDA INSTRUCTIONS TO CONTRACTOR: SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER

REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE

29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT 31. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

# **GENERAL DEMOLITION NOTES**

- OGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 03/23/21 TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATED. INC.. DATED 05/14/21.
- ALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 65 Y MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME
- RING HAS NO CONTRACTUAL LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACT R SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NE

- QUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THE PROJECT, SITE WORK, AND DEMOLITION WORK IINIMUM. THE MUNICIPAL ENGINEER. DESIGN ENGINEER. AND LOCAL SOIL CONSERVATION DISTRICT. 72 HOURS PRIOR TO THE START OF WO
- EQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE
- WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADV
- ROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELE LE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIRE TY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
- MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES. AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVIC ANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EX
- TH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIF CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN AND SAFE MANNER. FOLLOWING ALL THE OSHA REQUIREMENTS. TO ENSURE PUBLIC AND CONTRACTOR SAFETY
- THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCT OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PR CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE

- 17 CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH MUST INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIER OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS, METHODS, SEQUENCING, THE
- WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL AC PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.
- 20. CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONEI RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OWNER/DEVELOPER UPON COMPLETION OF THE WORK.

- PARKING SPACES AND PARKING AISLES SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION. CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
- LANDINGS MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDR/ REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" F NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1: A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOP THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
- DOORWAYS MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" F NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG. EXCEPT WHERE OTHERWISE PERMI STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY CODE.)
- WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING OR SURFACES CONTRACTOR MUST VERIFY EXISTING FLEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES. IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGI DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS. IN WRITING, BEFORE COMMI WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE AD. REQUIREMENTS.
- THE CONTRACTOR MUST VERIEV THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. JE ANY NON-CONFORMANCE IS OBSERVED OR EXISTS CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-CONFORMING CONCRETE

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION

GENERAL DEMOLITION NOTES		TYPICA	L ABE	BREV	IATIONS	M		
THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:	KEY	DESCRIPT	ION	KEY	DESCRIPTION			<u>و</u>
<ul> <li>"BOUNDARY &amp; TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 03/23/21.</li> <li>"ALTA/NSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 05/14/21.</li> </ul>	BC	BOTTOM CUR	B	PROP.	PROPOSED			ENGINEERING
CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.	тс	TOP CURB		TBR/R	TO BE REMOVED AND REPLACED			NGIN
BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO	BOC	BACK OF CUF		TBR	TO BE REMOVED	_		U U N
REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.	TW	TOP OF WAL	-	BLDG.	BUILDING			
CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER. IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED	EXIST.	EXISTING		SF	SQUARE FEET			
IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.	BM.	BENCHMAR	<	SMH	SEWER MANHOLE	<b> </b>   '	Т	AND -
PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:	EOP	EDGE OF PAVEN	IENT	DMH	DRAIN MANHOLE	_   '		CIVIL
<ul> <li>B.NOTIFYING, AT A MINIMUM. THE MUNICIPAL ENGINEER. DESIGN ENGINEER. AND LOCAL SOIL CONSERVATION DISTRICT. 72 HOURS PRIOR TO THE START OF WORK.</li> </ul>	ି FF	CENTERLINE FINISHED FLO		STM.	SANITARY	-   (		SITE C
C.INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.	V.I.F.	VERIFY IN FIE		CONC.	CONCRETE	_		S
D.IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.	GC	GENERAL CONTRA	ACTOR	ARCH.	ARCHITECTURAL			
E.LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE		HIGH POINT		DEP.	DEPRESSED			
APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.	LP	LOW POINT		R	RADIUS		R	REVIS
F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.	TYP.	TYPICAL		MIN.	MINIMUM	REV	DATE	C
THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.		POINT OF CURVA		MAX.	NUMBER			
H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.	_	POINT OF TANGE	-	W.	WIDE			
I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.	PI.	POINT OF INTERSE	ECTION	DEC.	DECORATIVE			
THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC	PVI.	POINT OF VERTI INTERSECTIO		ELEV.	ELEVATION			
AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.	STA.	STATION		UNG.	UNDERGROUND			
OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIR MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION	GRT	GRATE		R.O.W.	RIGHT OF WAY			
CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN	DIP	DUCTILE IRON F	PIPE	LF	LINEAR FOOT			
THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.		POLYVINYL CHLORI		LOW	LIMIT OF WORK			
D. CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND	HDPE	HIGH DENSITY POLY PIPE	ETHYLENE	L.S.A.	LANDSCAPED AREA	╶╢┝━╸		
GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.	RCP	REINFORCED CON PIPE	ICRETE	±	PLUS OR MINUS			8
1. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.		SLOPE MEET EXISTI	NG	° Ø / DIA.	DEGREE			w what's Call bef
2. CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY							AL	WAYS
RIGHT-OF-WAY.		TVI	PICAL	IEG			lt's fast.	lt's fre
OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.				LLG				
<ol> <li>DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.</li> </ol>		EXISTING	PROPER	RTY LINE	PROPOSED		PE	ERMI
5. THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.			– EASE			REVIEW	DRAWING IS INT AND APPROVA DOCUMENT	L. IT IS NO
3. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.				JRB	@	DRA	JECT No.: WN BY: CKED BY:	
7. CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH MUST INCLUDE, BUT NOT BE LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND		S	SEWER N	MANHOLE	Ô	DATE	E:	
OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.			CATCH	H BASIN		PRO	JECT:	
MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.		WF#5	- WETLA	ND FLAG			PROF	
DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR MUST MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.		× 54.83 × TC 54.58			53.52 TC=54.32 BC=53.82		LAN	DUC
D. CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR		G 53.78		JRB TOUR	BC=33.82	_    -		— FC
RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.				ARROW			TMC	HOL
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	<i>T</i>	<i>T</i>		ONE LINE	TTT	_	INDUST	PROP RIAL D
	E-	E		RIC LINE	EE		NION STR MAP #314	
ADA INSTRUCTIONS TO CONTRACTOR:	ОН	ОН	-	EAD WIRE	OHOH	_	839 UPF	
CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (ACCESSIBLE) ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH ALL APPLICABLE STATE AND LOCAL ACCESSIBILITY LAWS AND REGULATIONS AND THE CURRENT ADA	= = =			M PIPE		╡Ĺ	NORF	-
AND/OR STATE ARCHITECTURAL ACCESS BOARD STANDARDS AND REGULATIONS' BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA AND/OR ARCHITECTURAL ACCESS BOARD CODE REQUIREMENTS. THESE INCLUDE, BUT		10	PARKING	G COUNT	(4)		<b>301</b>	
ARE <u>NOT</u> LIMITED TO THE FOLLOWING: • PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.				IGN		▋┗		
• CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.		~~	GUIDE	_		-	352 T SOUTHB	
• LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.		ø	UTILIT	Y POLE	ø			ie: (5
• PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.						n	/ww.Boh	lerEn
<ul> <li>DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY CODE.)</li> </ul>	REF	ER TO SI	TE PL		OR ZONING		-	EALTHO JOSH
• WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.	AN	ALYSIS T	ABLE	AND	LAND USE/ I & NOTES		COM	No. 4

**REFER TO SOIL EROSION CONTROL** NOTES & DETAILS SHEET FOR TYPICAL **EROSION NOTES AND DETAILS** 

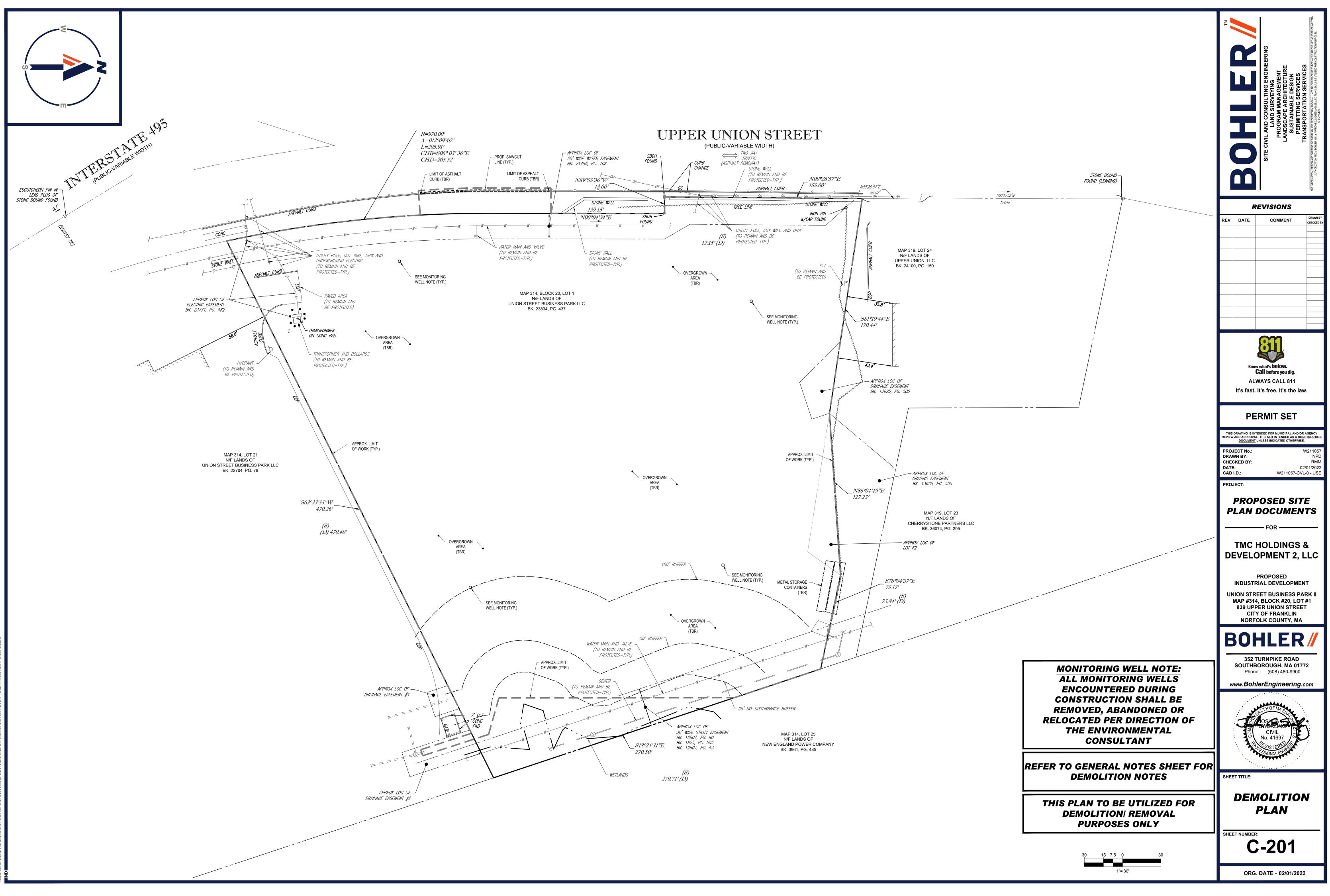
**REFER TO LANDSCAPE NOTES & DETAILS SHEET FOR TYPICAL** LANDSCAPE NOTES AND DETAILS

**REFER TO LIGHTING PLAN FOR** TYPICAL LIGHTING NOTES AND TABLES

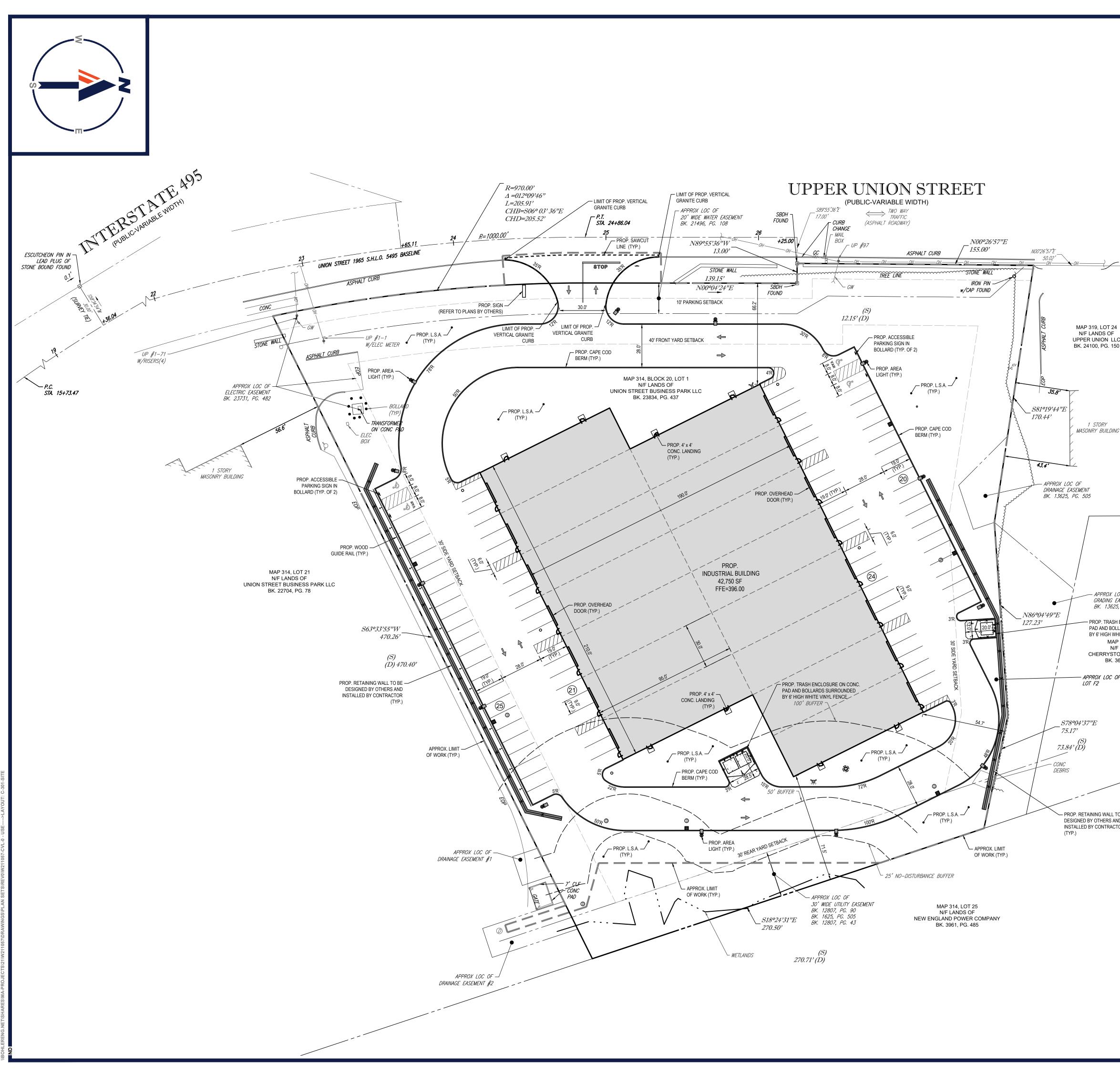
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GENERAL NOTES SHEET SHEET NUMBE

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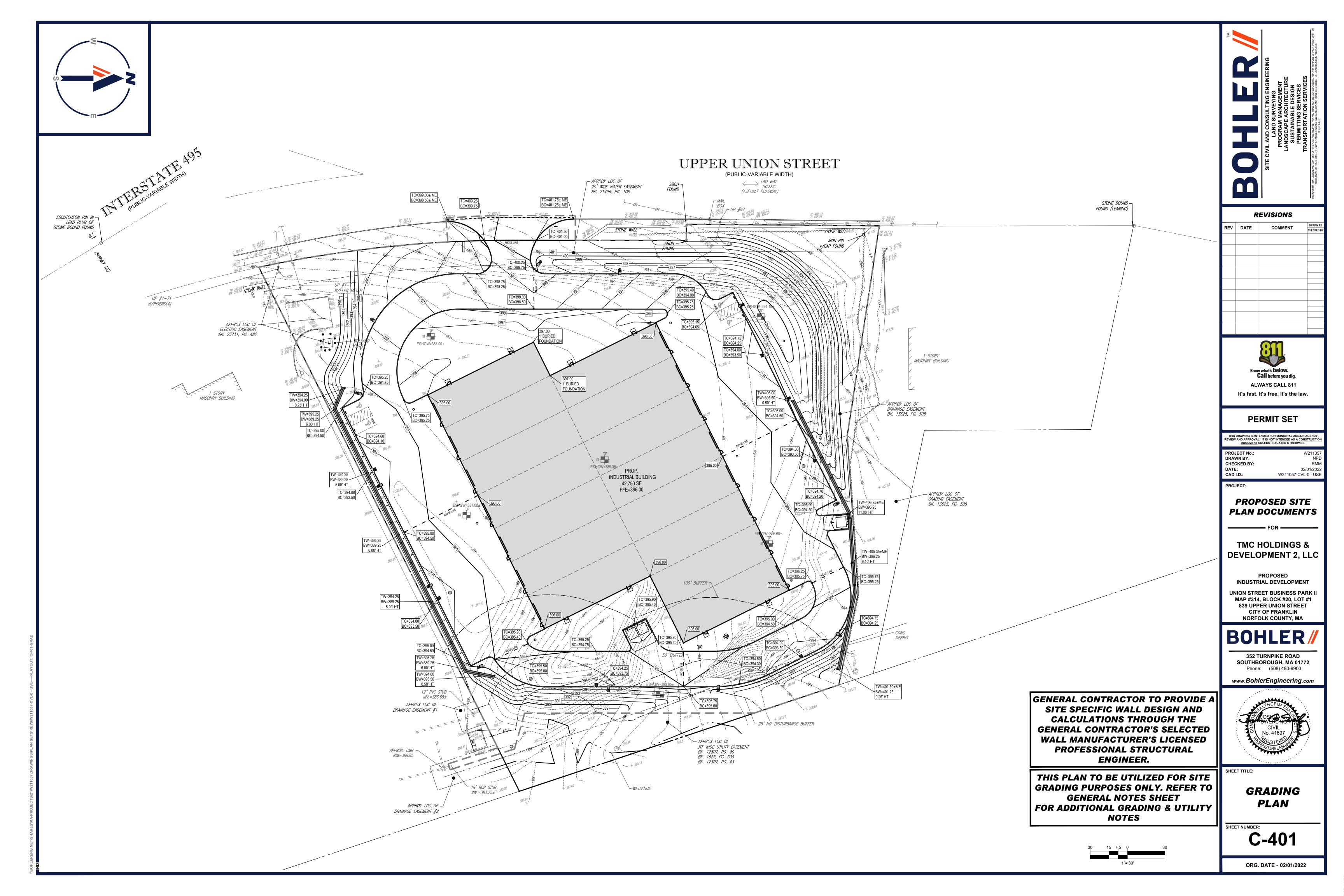


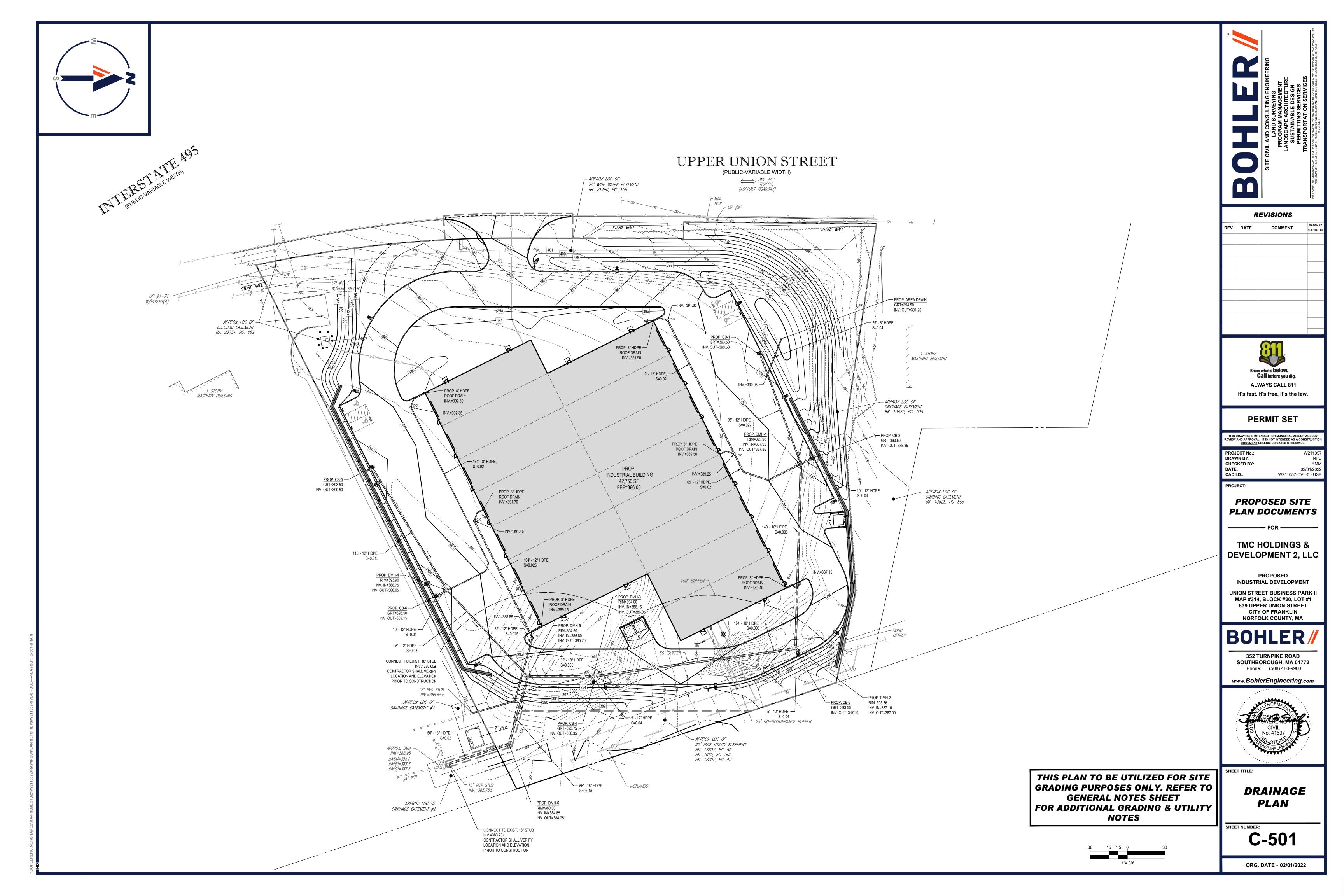
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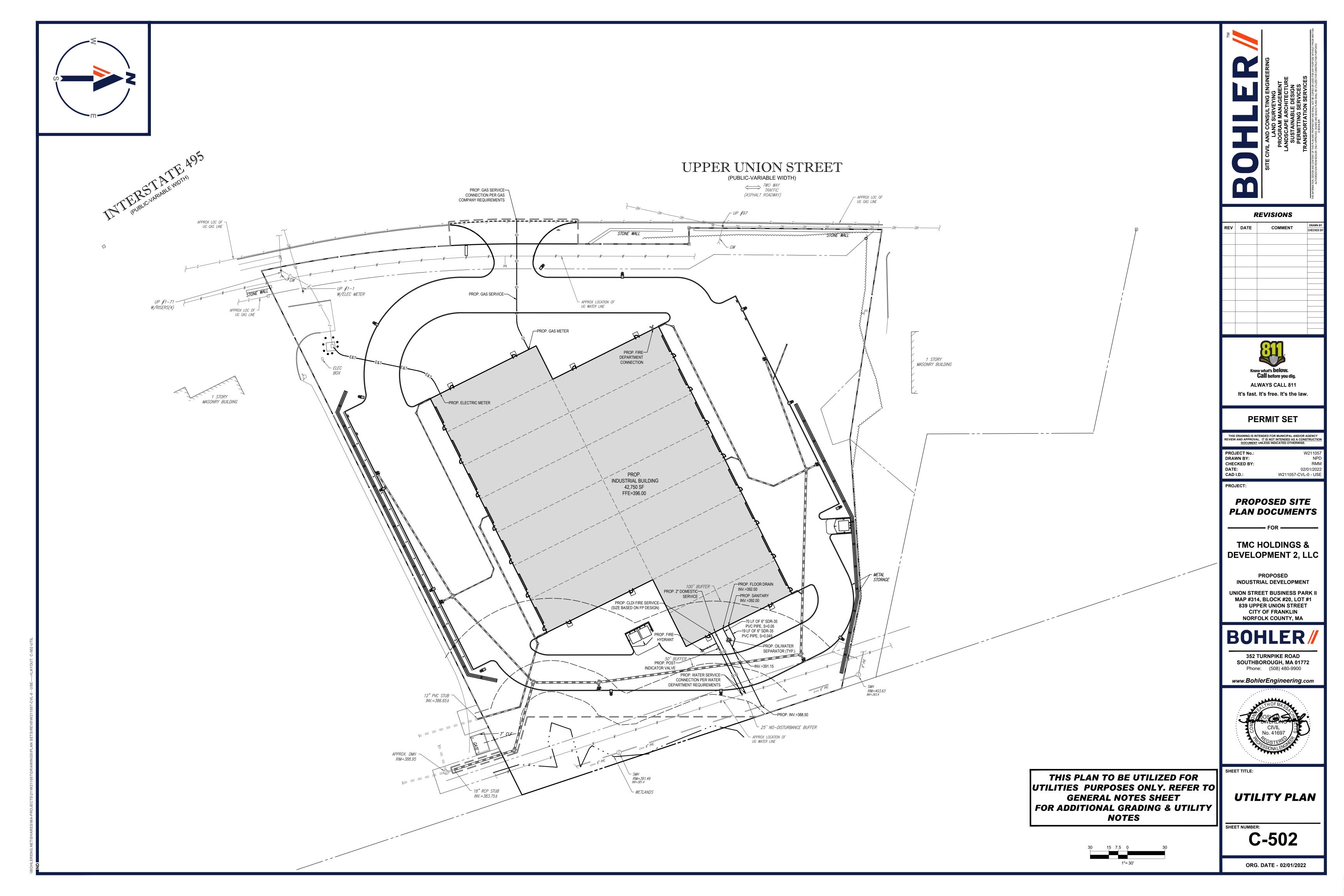


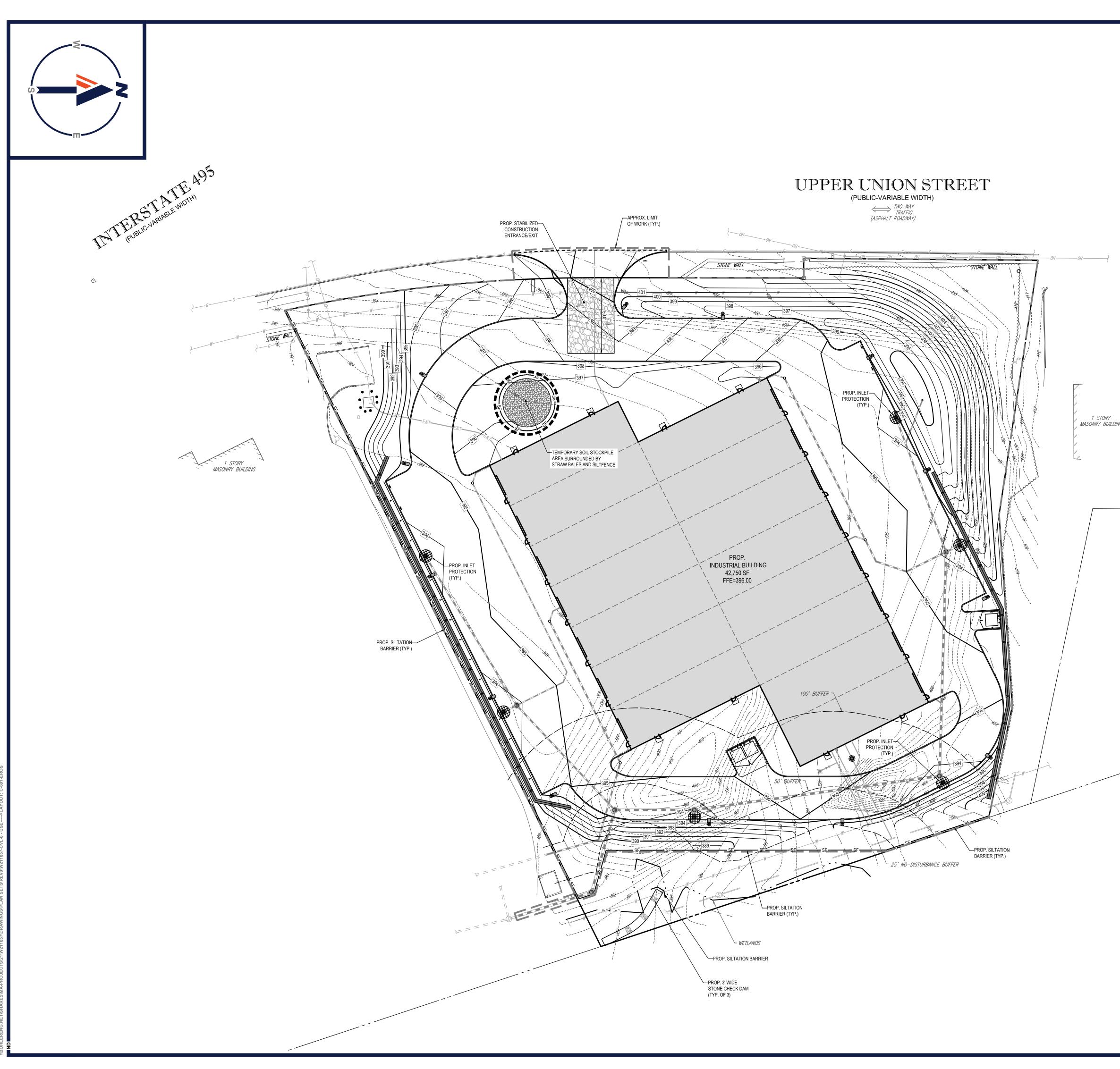
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	ZONING DISTRICT OVERLAY DISTRICT	INDUSTRIAL (I)		(Ŵ) - WAIVER REQUESTED (E) - EXIST. NON-CONFORMANCE		ING PURPOSE WITHOUT PRICK WRITTE
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	ZONE CRITERIA MIN. LOT AREA	40,000 SF	EXISTING 156,645 SF (3.60 AC.)	PROPOSED NO CHANGE		
	MIN. LOT FRONTAGE MIN. LOT DEPTH	175 FT 200 FT	500.06 FT 470.26 FT	NO CHANGE NO CHANGE		VG ENGINEERING /ING 3EMENT 3EMENT TECTURE 1TECTURE 8 SERVICES SERVICES SERVICES SERVICES
	MIN. LOT WIDTH MAX. BLDG. LOT COVERAGE	157.5 FT	270.50 FT 0.0%	NO CHANGE 27.3%		
	MIN. FRONT SETBACK	40 FT	N/A	66.2 FT		CONSULTING ND SURVEYIN AM MANAGE APE ARCHITE APE ARCHITE AINABLE DES ITTING SERVI ORTATION SE SONED AND SEALED PLANS SHALL NOT BE C SONED AND SEALED PLANS SHALL NOT BE C
	MIN. SIDE SETBACK MIN. REAR SETBACK	30 FT 30 FT	N/A N/A	54.7 FT 71.5 FT		AND CONSU LAND SUR LAND SUR ROGRAM MA VDSCAPE AF SUSTAINABI PERMITTING ANSPORTATI ANSPORTATI
	MIN. PARKING SETBACK MAX. BUILDING HEIGHT	N/S 3 STORIES (1)	N/A N/A	12.5 FT < 3 STORIES		CIVIL AND CON LAND SON PROGRAM LANDSCAPE SUSTAIN PERMITTI TRANSPORT BOHLER
	MAX. IMPER. COVERAGE	80%	0.1%	55.6%		LAI LAI TR/ TR/ HLER. ONLY
	PARKING SPACES ACCESS. PARKING SPACES		N/A N/A	90 4		SITE SITE
	PARKING STALL CRITERIA STANDARD: 9 FT x 19 FT COMPACT: 8 FT x 16 FT	USE/CATEGORY: WAR REQUIRED PARKING: CALCULATION: 42,75	1 SPACE PER 1,000 SF (	GROSS FLOOR AREA OR 43 SPACES REQUIRED		SITE CIVIL AND CONS LAND SU PROGRAM IN LAND SU PROGRAM IN LANDSCAPE / SUSTAINAL PERMITTIN TRANSPORTA AUTHORIZATION REGIM END CONTENT OF THIS FLAN ARE PROPRIETARY A AUTHORIZATION REGIM END CONTENT OF THIS FLAN ARE PROPRIETARY A AUTHORIZATION REGIM END CONTENT OF THIS FLAN ARE PROPRIETARY A AUTHORIZATION REGIM END CONTENT OF THIS FLAN ARE PROPRIETARY A AUTHORIZATION REGIM END CONTENT OF THIS FLAN ARE PROPRIETARY A AUTHORIZATION REGIM END CONTENT OF THIS FLAN ARE PROPRIETARY A
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TONE PARTNERS LLC 36074, PG. 295						HOLDINGS &
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	PROJECT: PROPOSED SITE PROPOSED SITE POR FOR TMC HOLDINGS & DEVELOPMENT 2, LLC PROPOSED INDUSTRIAL DEVELOPMENT UNION STREET BUSINESS PARK II MAP #314, BLOCK #20, LOT #1 839 UPPER UNION STREET
	CITY OF FRANKLIN NORFOLK COUNTY, MA
	BOHLER// S52 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 Phone: (508) 480-9900 www.BohlerEngineering.com
	CIVIL No. 41697
THIS PLAN TO BE UTILIZED FOR SITE         SOIL AND EROSION CONTROL         PURPOSES ONLY         REFER TO SOIL EROSION CONTROL         NOTES & DETAIL SHEET FOR EROSION	SHEET TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN
<b>NOTES AND DETAILS</b>	sheet number: <b>C-601</b>
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# **EROSION & SEDIMENT CONTROL NOTES**

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- 6. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- 9. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- 10 REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS: 10.1. SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR 10.2 WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT, APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER1.000 SF).
- FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 10.3. 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS: SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED
- STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED 10.4. FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- 11. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- 12. WETLANDS WILL BE PROTECTED W/ STRAW, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- 13. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- 14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.
- 15. THE USE OF STRAW HAY BALES IS PROHIBITED.

### MULCH

LOCATION PROTECT AREA	MULCH JUTE MESH OR EXCELSIOR MAT	RATE (1000 SF) AS REQUIRE
WINDY AREA	JUTE MESH OR EXCELSIOR MAT	AS REQUIRE
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL	L DESIGN REQUIREMENT)

\* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

### MULCH ANCHORING

ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

# **EROSION CONTROL NOTES DURING** WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- 3. EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR straw AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST. LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED, JE CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS REATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANEN SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF straw OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:

OF EACH WORKING DAY.

- 7.1. BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER. 7.2. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED
- TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME 7.3.
- APPLIES FOR ALL SLOPES GREATER THAN 8%. AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT
- 0. STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF
- 11. EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED

## **CONSTRUCTION SEQUENCE**

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED: -INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN) -INSTALLATION OF EROSION CONTROL BARRIER (SILT FENCE) (AS SHOWN)

-DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN) -CLEARING AND GRUBBING

-EARTHWORK AND EXCAVATION/FILLING AS NECESSARY

- -CONSTRUCTION OF UTILITIES
- -INSTALLATION OF BINDER COURSE PAVEMENT

-INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)

-STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING -CONSTRUCTION OF BUILDINGS

-CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS -SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH

-FINAL GRADING OF ALL SLOPED AREAS

-PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.

-INSTALLATION OF TOP COURSE PAVEMENT

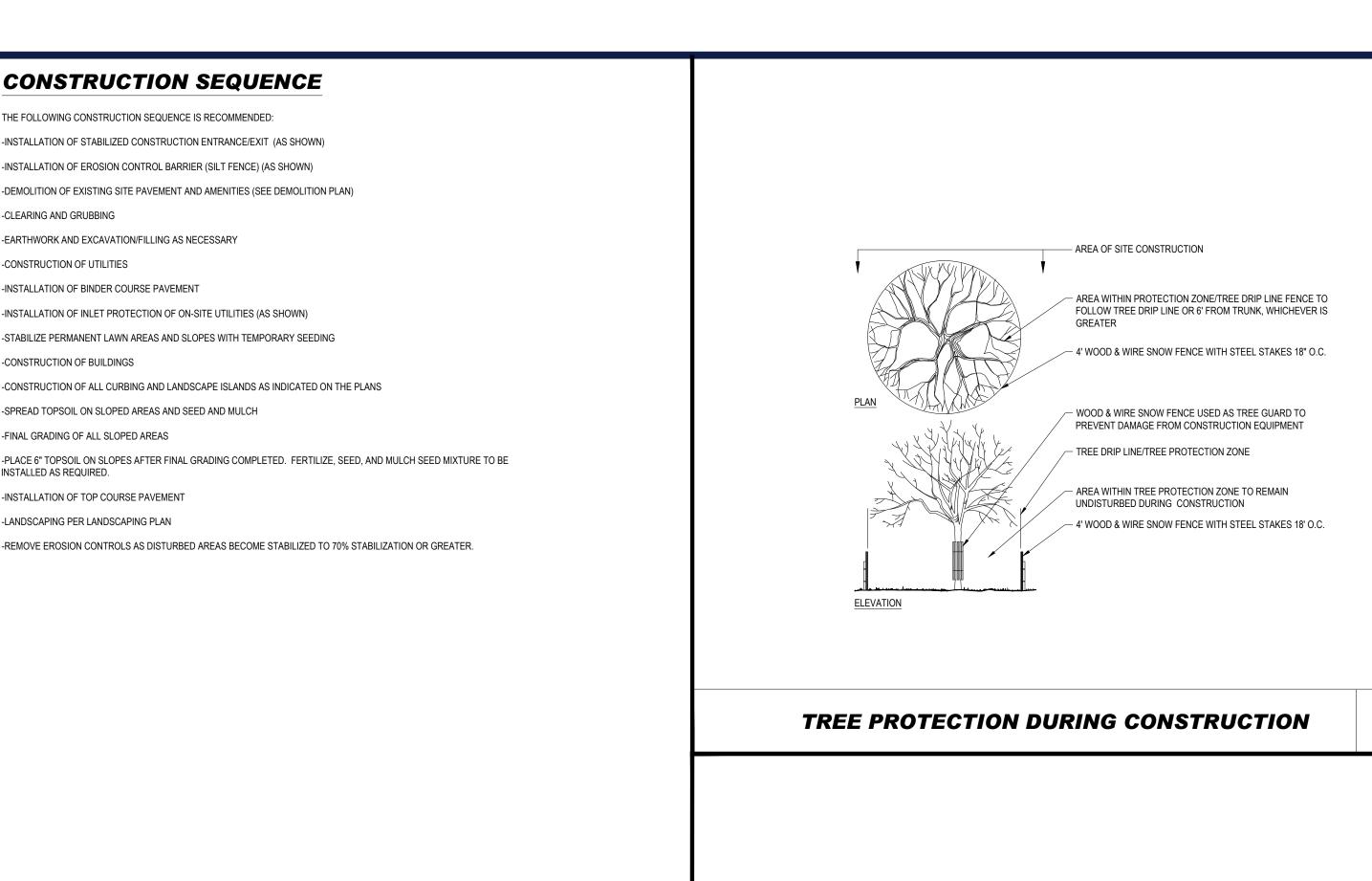
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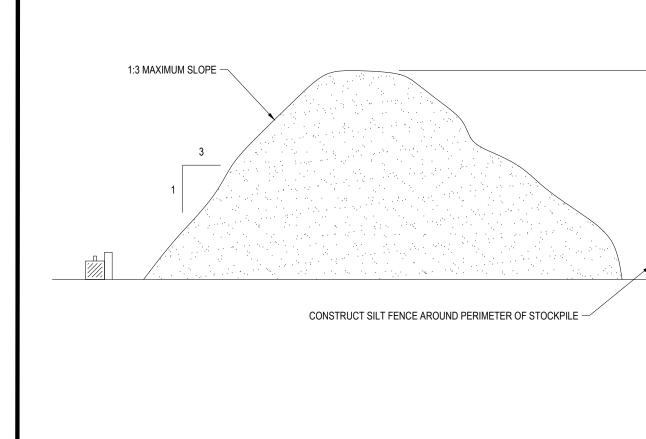
"L" = 50' MIN. (SEE CHART 1) 2"-3" CLEAN ANGULAR-CRUSHED STONE PITCH TO DRAIN AWAY FROM-(6" MIN. THICKNESS) PUBLIC RIGHT-OF-WAY / EXISTING GROUND \\_\_\_\_\_\_X\_\_X\_\_X\_\_X\_\_X\_\_X\_\_X PROFILE VIEW "L" = 50' MIN. (SEE CHART 1) PROVIDE CORNER ROUNDINGS-(AS APPLICABLE FOR SITE SPECIFIC CONDITIONS) CONSTRUCTION-ACCESS DRIVE GRADE TO DRAIN-AWAY FROM PLAN VIEW PUBLIC ROADWAY CONSTRUCTION-SEE EROSION CONTROL PLAN FOR-FENCE / GATES SITE SPECIFIC CONSTRUCTION PERIOD (AS APPLICABLE) STORMWATER MANAGEMENT REQUIREMENTS CHART 1 LENGTH OF STONE REQUIRED PERCENT SLOPE OF ROADWAY COARSE GRAINED SOILS 0 TO 2% 2% TO 5% 100 F ENTIRE ENTRANCE STABILIZED WITH FABC BASE COURSE (1) >5% (1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

# STABILIZED CONSTRUCTION EXIT

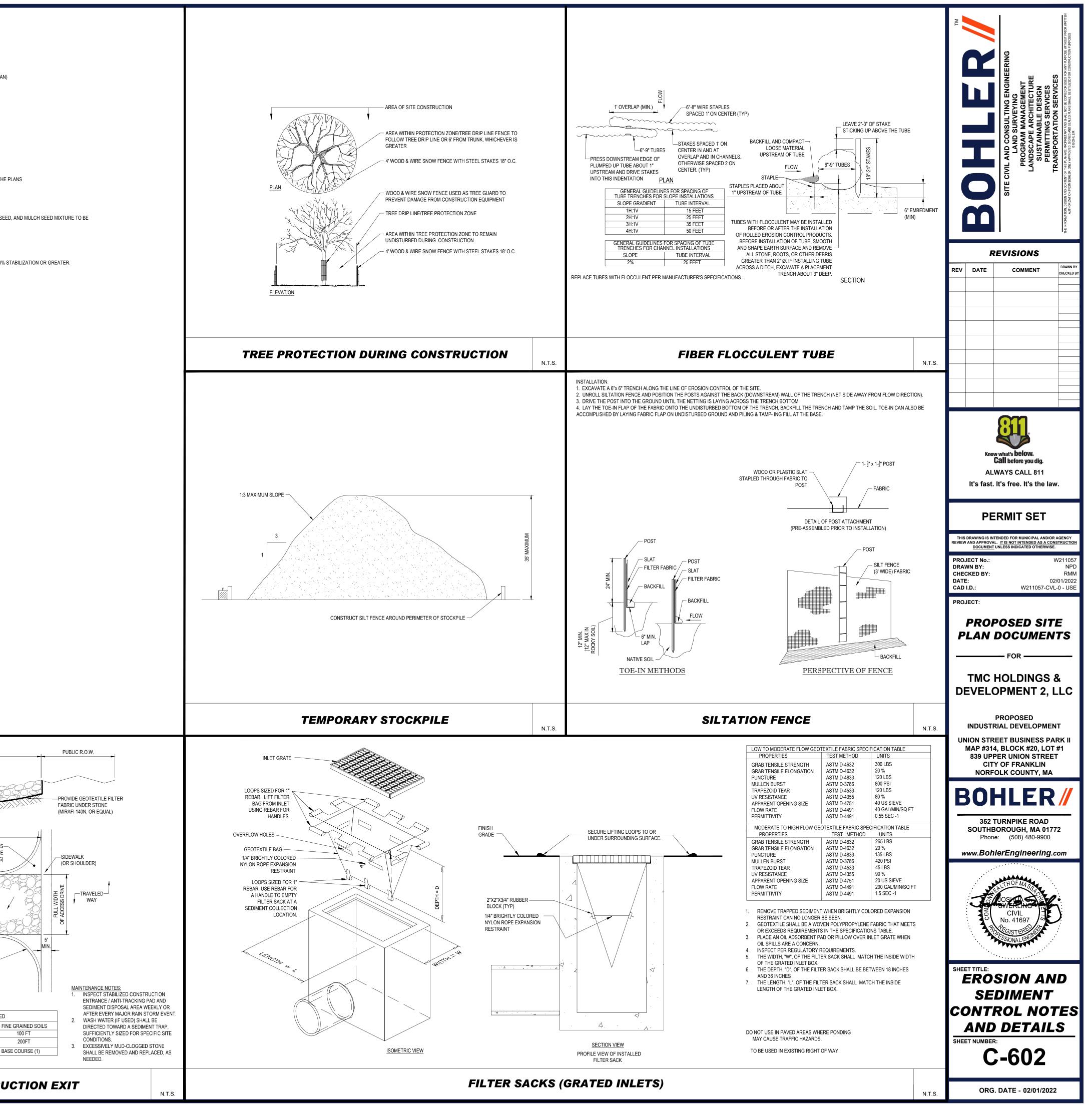
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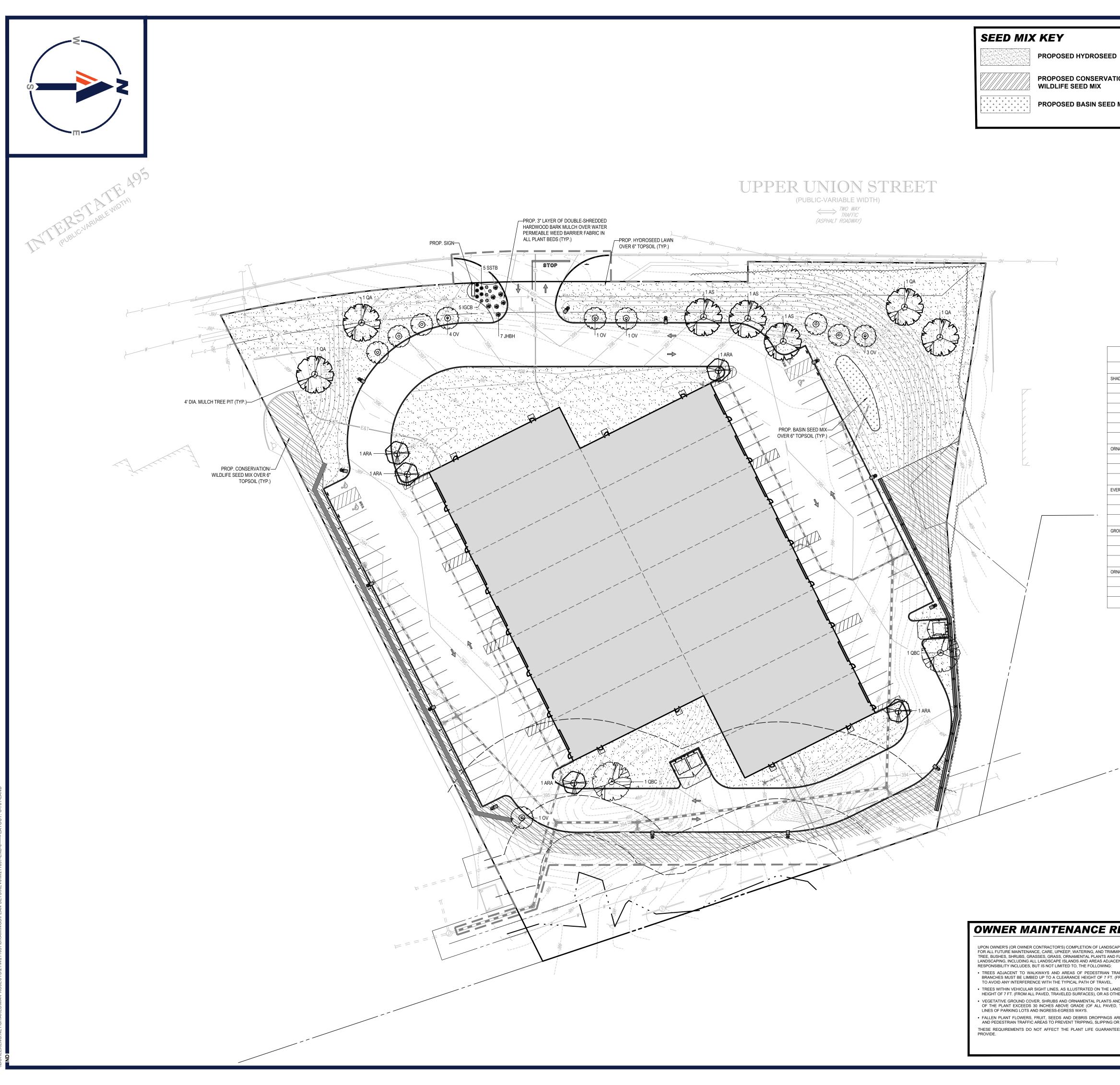
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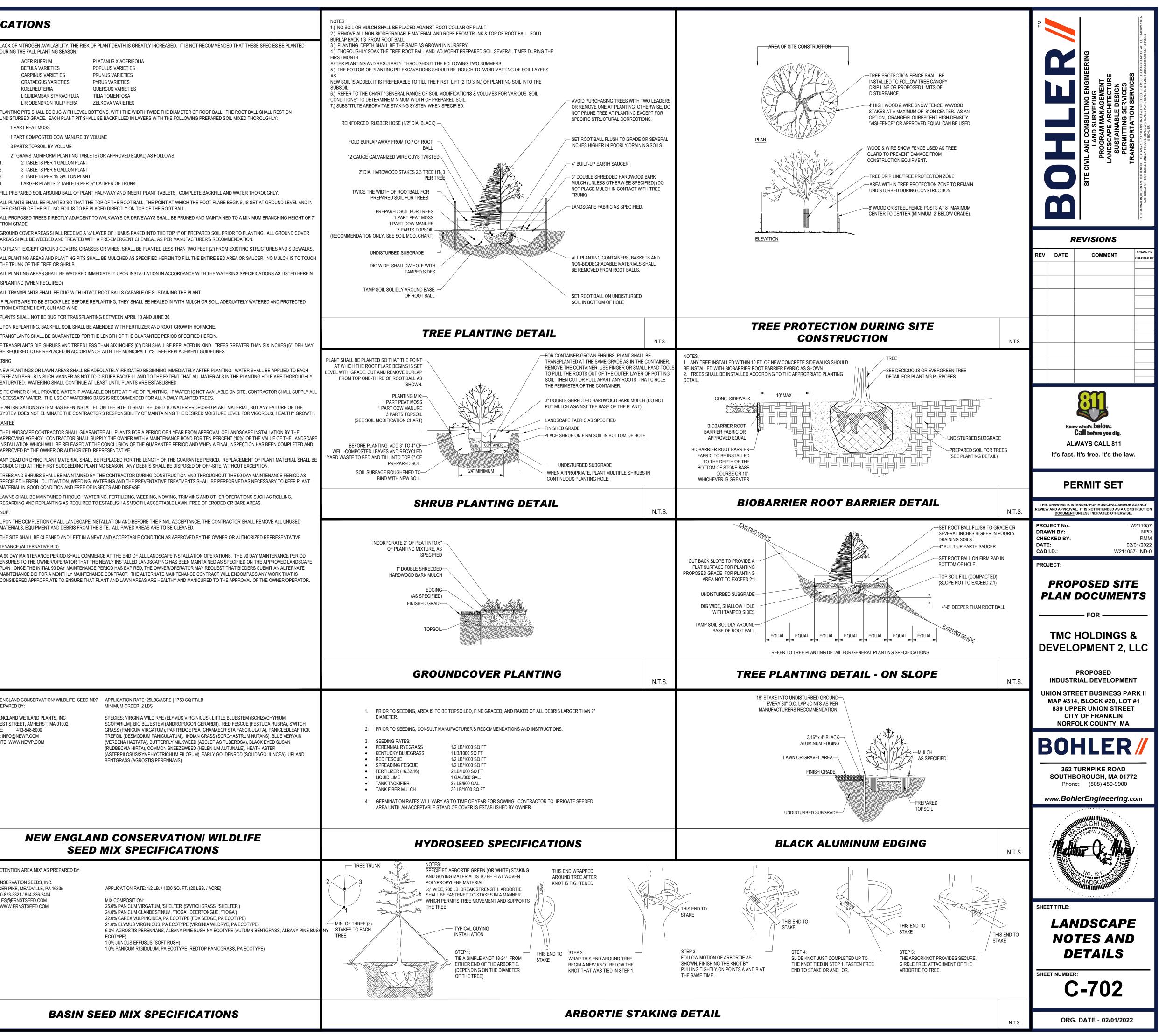


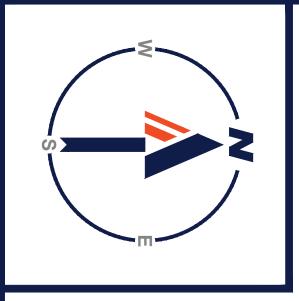
# PROPOSED HYDROSEE PROPOSED CONSERVAT WILDLIFE SEED MIX

			DF FRANKLIN, M APE REQUIREME			MT	WITHOUT PRIOR WRITTEN
ed Ation/ Ed Mix	SECTION ARTICLE V: SPECIAL REGULATIONS - SECTION 185-20: SIGNS	RE 4. DIMENSIONAL REQUIR B) FREESTANDING SIGNS FREESTANDING SIGNS A WITH SELECTED FLORA, THE AVERAGE FINISHED THIS REQUIREMENT MAY IS DETERMINED TO BE A THE BUILDING COMMISSI CONSULTATION WITH TH BE CONSIDERED WITH RI LANDSCAPING SHALL INC	QUIREMENTS EMENTS EMENTS RE REQUIRED TO BE LANDSCAPED NO MORE THAN TWO FEET ABOVE GRADE OF ADJOINING GROUND. BE WAIVED IF THE LANDSCAPING SAFETY HAZARD BASED UPON IONER DETERMINATION IN E POLICE CHIEF. THE CRITERIA TO EGARD TO FREESTANDING SIGN CLUDE BUT ARE NOT LIMITED TO .PING BLOCKS THE VIEW OF	CALCULATIONS PROVIDED - LANDSCAPII AROUND FREESTANDING	NG PROVIDED		ISULTING ENGINEERING URVEYING MANAGEMENT ARCHITECTURE ABLE DESIGN NG SERVICES ATION SERVICES ATION SERVICES
	ARTICLE V: SPECIAL REGULATIONS - SECTION 185-30: TREE PLANTING ARTICLE V: SPECIAL USE REGULATIONS -	ANY LOT ABUTTING A RIC IN WHICH A BUILDING IS O OF THE RIGHT-OF-WAY M LEAST EVERY 30 FEET IN BACK FROM THE RIGHT-O NUMBER OF TREES ALRE TWO-INCH CALIPER AND	GHT-OF-WAY OF 75 FEET OR MORE CONSTRUCTED WITHIN 150 FEET IUST HAVE TREES PLANTED AT A ROW BETWEEN 30 AND 50 FEET OF-WAY, UNLESS A SUFFICIENT EADY EXISTS. TREES MUST BE OF APPROVED BY THE TREE TREES DO NOT LIVE THROUGH Y MUST BE REPLACED. NTS SHOWING EXISTING	REQUIRED: 455 FT / 30 F PROVIDED: 16 TREES PROVIDED - ALL PLANTII FROM THE BEST DEVELO PRACTICES GUIDEBOOK	NGS SELECTED OPMENT	<b>BOH</b>	SITE CIVIL AND CON LAND S PROGRAM LANDSCAPE SUSTAIN PERMITTI TRANSPORT.
	SECTION 185-31: SITE PLAN AND DESIGN REVIEW	DISTINCTION BETWEEN F VEGETATION. A NOTE SH	PROPOSED AND RETAINED IALL BE PLACED ON THE PLAN ALL COME FROM THE BEST				I I EVISIONS
	ARTICLE V: SPECIAL REGULATIONS - SECTION 185-21: PARKING LOADING AND DRIVEWAY REQUIREMENTS	CÁRS SHALL PROVIDE SC § 185-35. (5) PARKING LOTS FOR 20 OR BE BORDERED WITHI TREE PER 10 PARKING SC CALIPER OR LARGER, WI FEET OF UNPAVED SOL	N AND LOCATION PARKING AREAS FOR 10 OR MORE CREENING IN ACCORDANCE WITH O OR MORE CARS SHALL CONTAIN N FIVE FEET BY AT LEAST ONE PACES, TREES TO BE TWO-INCH TH NOT LESS THAN 40 SQUARE AREA PER TREE. SOIL PLOTS AS TO ASSURE SAFE INTERNAL	REQUIRED: 90 SPACES / PROVIDED: 9 TREES	/ 10 = 9 TREES	REV DATE	COMMENT DRAWN CHECKEI
KEY SHADE TREES ARA	QTY.	LANDSCA BOTANICAL NAME	ARMSTRONG COLUMNAR RED MAPLE	SIZE 2 1/2-3" CAL.	CONT.		
ARA AS QA QBC SUBTOTAL:	3 4 2	ACER SACCHARUM QUERCUS ALBA QUERCUS BICOLOR	SUGAR MAPLE WHITE OAK SWAMP WHITE OAK	2 1/2-3" CAL. 2 1/2-3" CAL. 2 1/2-3" CAL. 2 1/2-3" CAL.	B+B B+B B+B B+B		
ORNAMENTAL TF OV SUBTOTAL:	10	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	8-10'	B+B	ALV	what's <b>below.</b> Call before you dig. WAYS CALL 811 It's free. It's the law.
EVERGREEN SHI IGCB SUBTOTAL:	5	ILEX GLABRA 'GEM BOX'	DWARF INKBERRY HOLLY	18-24"	CONTAINER	PE	RMIT SET
GROUND COVER JHBH SUBTOTAL:	7 JUNIPE	RUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	15-18" SPRD.	CONTAINER	REVIEW AND APPROVAL	ENDED FOR MUNICIPAL AND/OR AGENCY IT IS NOT INTENDED AS A CONSTRUCTION UNLESS INDICATED OTHERWISE. W21105 NP
ORNAMENTAL G SSTB SUBTOTAL:	5 SCHIZA	CHYRIUM SCOPARIUM 'THE BLUES'	LITTLE BLUE STEM	2 GAL.	CONTAINER	CHECKED BY: DATE: CAD I.D.: PROJECT:	RM 02/01/202 W211057-LND
						PLAN TMC I DEVELO INDUSTR UNION STR MAP #314 839 UPF CITY NORFO BOOL 352 T SOUTHB Phone	POSED SITE DOCUMENTS FOR FOR HOLDINGS & DPMENT 2, LLC PROPOSED RIAL DEVELOPMENT EET BUSINESS PARK II S BLOCK #20, LOT #1 PER UNION STREET Y OF FRANKLIN OLK COUNTY, MA HELER// URNPIKE ROAD OROUGH, MA 01772 E: (508) 480-9900 InterEngineering.com
DSCAPING WORK, RIMMING OF ALL I AND FLOWERS, FI JACENT OR PARI G: I TRAFFIC MUST	THE OWNER IS FULLY RESPO NSTALLED VEGETATION, PLAN LOWERS, GROUND COVER, AN I OF THE LANDSCAPED AREAS BE MAINTAINED TO ASSURI	NSIBLE ITS, L D S. THIS E THAT ANY	HIS PLAN TO BE LANDSCAPE PUF				
EL. ELANDSCAPE PLA OTHERWISE IND S AND GRASSES VED, TRAVEL SU SS ARE TO BE R IG OR ANY OTHE	EDESTRIAN SURFACES) OR PF AN, ARE TO BE TRIMMED TO A ICATED ON THE PLANS. MUST BE TRIMMED SO THAT IRFACES) ALONG AND WITHIN EMOVED IMMEDIATELY FROM R HAZARDS. IDSCAPE CONTRACTOR IS RI	CLEARANCE NO PORTION I THE SIGHT VEHICULAR	REFER LANDSCA TAILS SHEET F NOTES AND	OR LANDS	SCAPE	SHEET NUMBER	<i>PLAN</i> -701
UTLES THE LAN	LUUNIKAGIUK IS RI		30 15 7.5 0 1"= 3	30 			. DATE - 02/01/2022

# LANDSCAPE SPECIFICATIONS

	LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT I DURING THE FALL PLANTING SEASON:
1.1. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.	ACER RUBRUM PLATANU BETULA VARIETIES POPULUS
2. <u>MATERIALS</u>	CARPINUS VARIETIES PRUNUS V CRATAEGUS VARIETIES PYRUS VA
2.1. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.	KOELREUTERIA QUERCUS LIQUIDAMBAR STYRACIFLUA TILIA TOM
2.2. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.	
2.3. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT,	9.8. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, V UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BAC
AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED <u>ON THE LANDSCAPE PLAN</u> 2.3.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.	<ul><li>9.8.1. 1 PART PEAT MOSS</li><li>9.8.2. 1 PART COMPOSTED COW MANURE BY VOLUME</li></ul>
2.3.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.	9.8.3. 3 PARTS TOPSOIL BY VOLUME
2.4. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A <u>3"</u> THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED	9.8.4. 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR AP 9.8.4.1. 2 TABLETS PER 1 GALLON PLANT
ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES /DETAILS. 2.5. FERTILIZER	9.8.4.2.3 TABLETS PER 5 GALLON PLANT9.8.4.3.4 TABLETS PER 15 GALLON PLANT
2.5.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.	9.8.4.4. LARGER PLANTS: 2 TABLETS PER ½" CALIPER
2.5.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A	<ul><li>9.9. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WA</li><li>9.10. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF 1</li></ul>
FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY. 2.6. PLANT MATERIAL	THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIF 9.11. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKV
2.6.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).	FROM GRADE.
2.6.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.	9.12. GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF AREAS SHALL BE WEEDED AND TREATED WITH A PRE-E
2.6.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.	9.13. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VI 9.14. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MU
2.6.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY	THE TRUNK OF THE TREE OR SHRUB.
CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.	9.15. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATEL 10. TRANSPLANTING (WHEN REQUIRED)
2.6.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.	10.1. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT E
2.6.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES	10.2. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTIN FROM EXTREME HEAT, SUN AND WIND.
<ul> <li>(4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.</li> <li>2.6.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.</li> </ul>	10.3. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETV
2.6.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.	<ul><li>10.4. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED</li><li>10.5. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENG</li></ul>
<ol> <li><u>GENERAL WORK PROCEDURES</u></li> <li>CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN</li> </ol>	10.6. F TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN S BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH
STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.	11. <u>WATERING</u>
3.2. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.	11.1. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATE TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTUR
4. <u>SITE PREPARATIONS</u>	SATURATED. WATERING SHALL CONTINUE AT LEAST UI 11.2. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON
4.1. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.	NECESSARY WATER. THE USE OF WATERING BAGS IS F
4.2. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH	11.3. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON TH SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RE
CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.	12. <u>GUARANTEE</u> 12.1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALI
4.3. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE	APPROVING AGENCY. CONTRACTOR SHALL SUPPLY TH INSTALLATION WHICH WILL BE RELEASED AT THE CONC
MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK. 5. TREE PROTECTION	APPROVED BY THE OWNER OR AUTHORIZED REPRESE
5.1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT	12.2. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLA CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEA
TREE PROTECTION ZONE SHALL BE HONORED.	12.3. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CO SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERIN
5.2. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION PETAL.	MATERIAL IN GOOD CONDITION AND FREE OF INSECTS 12.4. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FI
CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL. 5.3. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING,	REGARDING AND REPLANTING AS REQUIRED TO ESTAB 13. CLEANUP
TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.	13.1. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLAT
5.4. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.	MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. 13.2. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND
6. <u>SOIL MODIFICATIONS</u>	14. <u>MAINTENANCE (ALTERNATIVE BID):</u>
6.1. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.	14.1. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY
6.2. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.	PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CON CONSIDERED APPROPRIATE TO ENSURE THAT PLANT A
6.3. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.	
6.3.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE	
COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.	
6.3.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE	
<ul> <li>TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.</li> <li>6.3.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL</li> </ul>	
MIX. 7. FINISHED GRADING	
7.1. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE	
ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE. 7.2. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST	
MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±). 7.3. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED	"NEW ENGLAND CONSERVATION/ WILDLIFE SEED MIX" APF
WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.	AS PREPARED BY: MIN
7.4. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.	NEW ENGLAND WETLAND PLANTS, INC SPE 820 WEST STREET, AMHERST, MA 01002 SCC
<ol> <li><u>TOPSOILING</u></li> <li>8.1. CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS.</li> </ol>	PHONE:         413-548-8000         GRA           EMAIL:         INFO@NEWP.COM         TRE           WEBSITE:         WWW.NEWP.COM         (VEI)
TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.	(RU (AS)
PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.	BEN
8.3. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.	
8.4. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE	
DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.]):	
<ul> <li>8.4.1. 20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER</li> <li>8.4.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER</li> </ul>	
8.5. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.	NEW ENGLAND
	SEED MI
9.1. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO	
HELP PRESERVE ROOT MOISTURE.	"NATIVE DETENTION AREA MIX" AS PREPARED BY:
9.2. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.	ERNST CONSERVATION SEEDS, INC. 8884 MERCER PIKE, MEADVILLE, PA 16335 APP
9.3. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.	PHONE: 800-873-3321 / 814-336-2404 EMAIL: SALES@ERNSTSEED.COM MIX WEBSITE: WWW.ERNSTSEED.COM 25.0
9.4. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.	23.0 24.0 22.0
9.5. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.	21.0 6.09
9.6. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE	ECC 1.0%
INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:	1.0%
9.6.1. PLANTS: MARCH 15 TO DECEMBER 15	
9.6.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1	
9.6.3. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.	
9.7. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL	BASIN SEEL
	BASIN SEEL





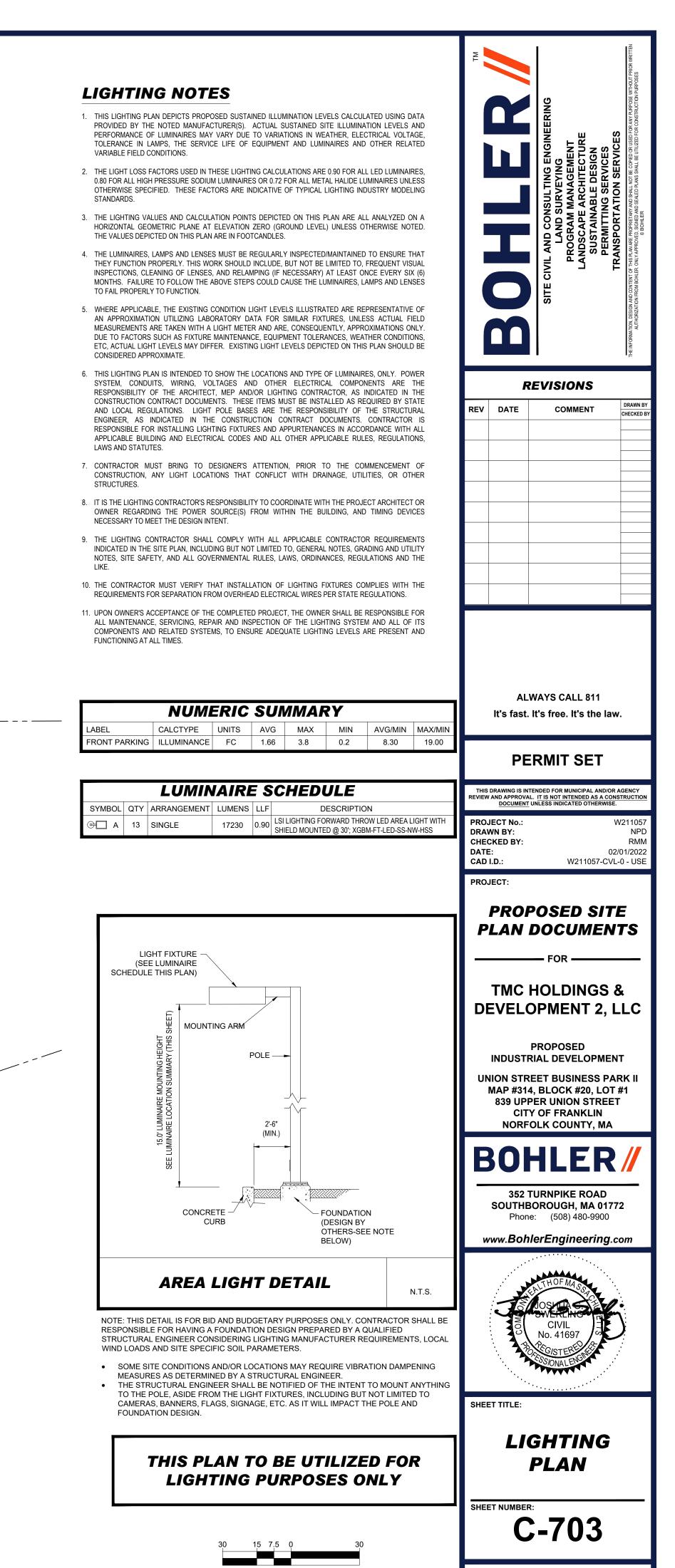
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ERENG.NETISHARES\MA-PROJECTS\21\W211057\DRAWINGS\PLAN SETS\REV0\W211057-CVL-0 - USE----->LAYOL

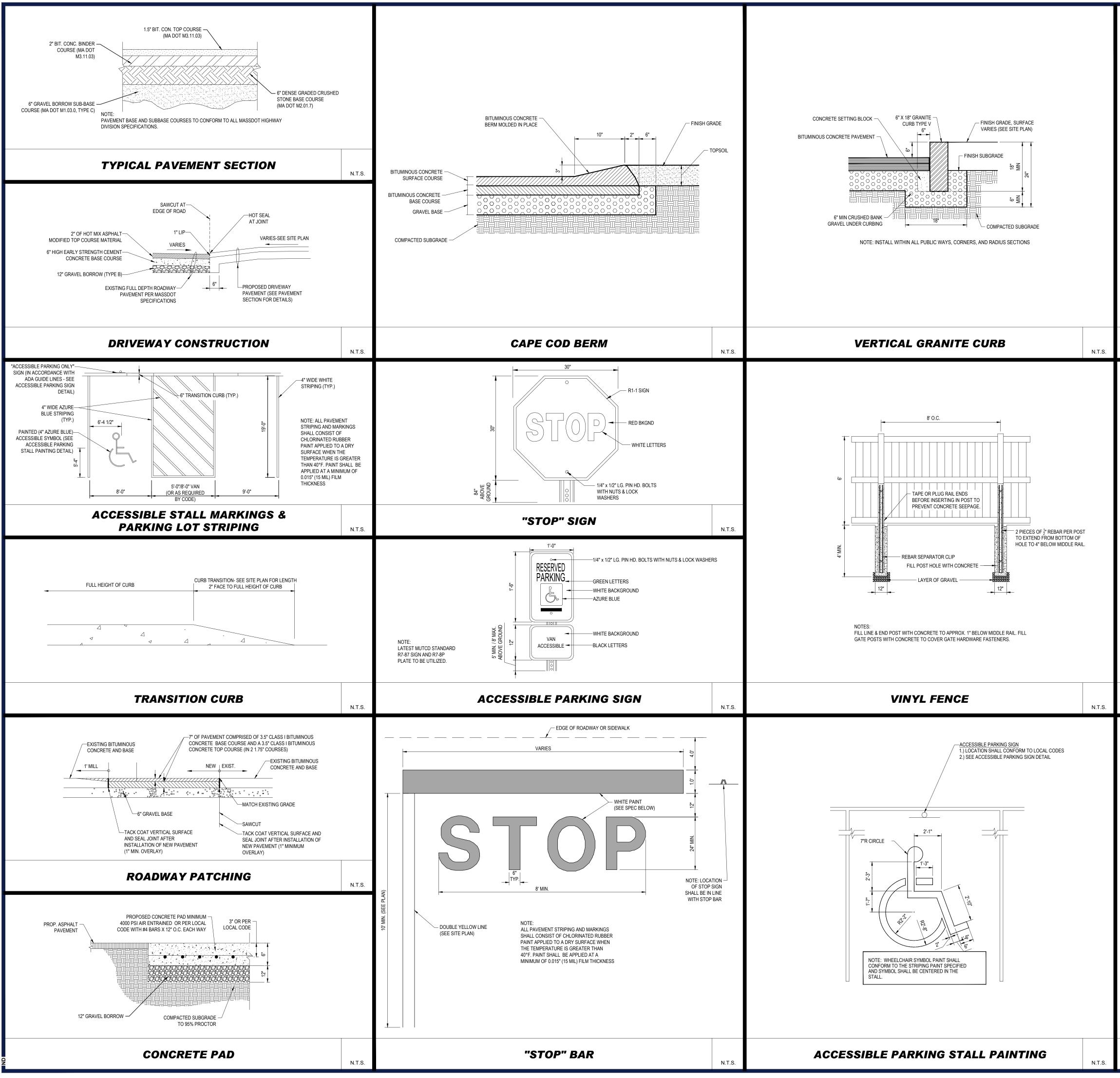
# UPPER UNION STREET (PUBLIC-VARIABLE WIDTH)

(ASPHALT ROADWAY)

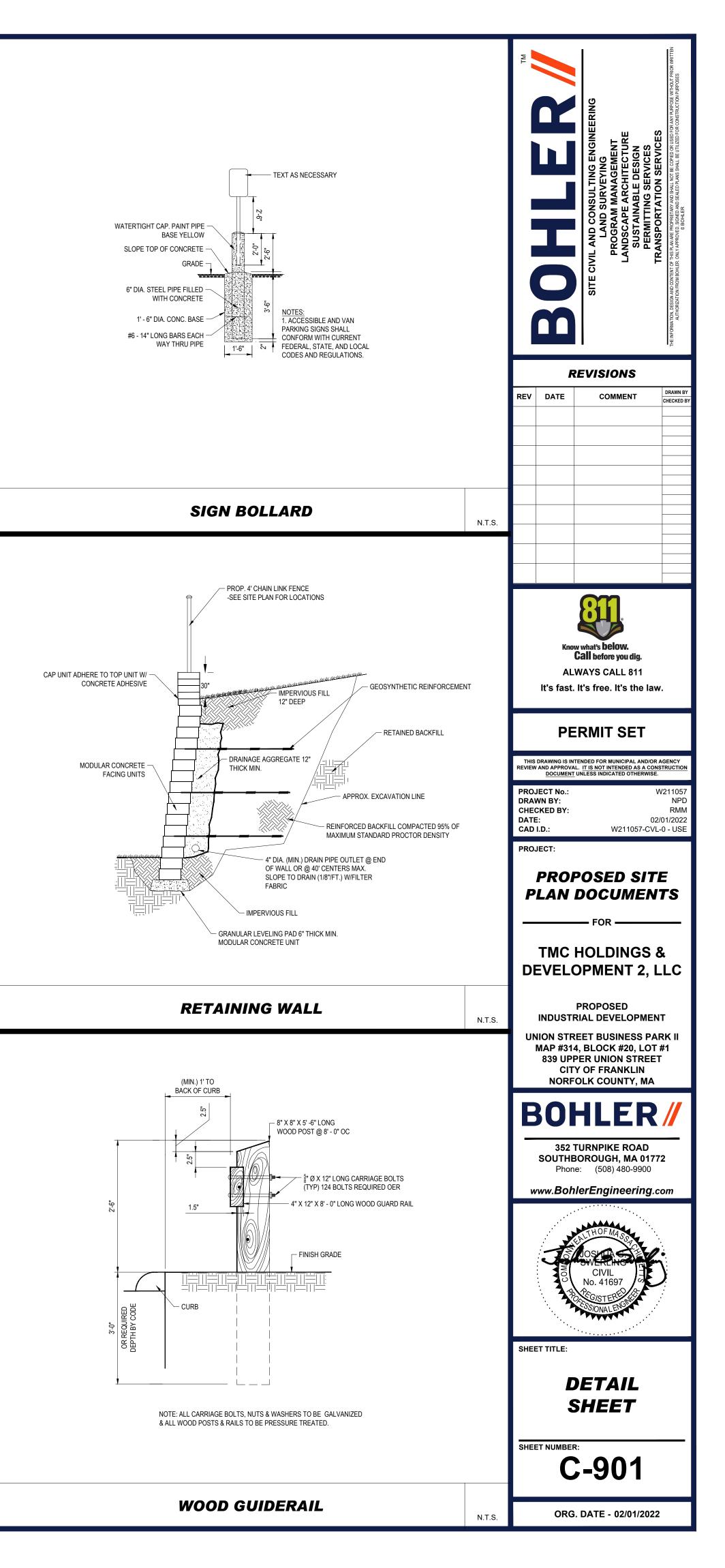
<b>5</b> .	<sup>+</sup>	<sup>+</sup> 0 0	<sup>†</sup> 0 0	<sup>+</sup> 0 0	<sup>†</sup> 0 0	<sup>†</sup> •••	<sup>†</sup> 0.0	}	0H		2// <sup>t</sup> o o	+ <b>-</b> , ,	* <b>.</b> .	<sup>+</sup> ~ •	*a a	<sup>+</sup>	<sup>+</sup>	<sup>+</sup> 0 0	<sup>+</sup> •••	<sup>+</sup> 0 0	÷	<sup>†</sup> •••	*• •	<sup>†</sup> • •	*• •	<sup>+</sup>	<sup>+</sup>	<sup>+</sup> 0.0	<sup>+</sup>	<sup>†</sup> •••				
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	-				$\checkmark$		<sup>†</sup> 0.2						┛		$\boldsymbol{\lambda}$												{	ţ,	<sup>†</sup> 0,0	<sup>†</sup> 0.0				
2.2	<sup>†</sup> 0.7	<i>₩</i> 0.4	<sup>†</sup> 0.2	<i>₩</i> <sup>†</sup> 0.2	<sup>†</sup> 0.2	- <i>₩</i> <sup>†</sup> 0.3	<sup>†</sup> 0.3	<sup>†</sup> 0.3	₩- 0.4	<sup>†</sup> 0.4	₩ <sup>†</sup> 0.4	<sup>†</sup> 0.4	<sup>†</sup> 0.4	<sup>†</sup> 0.4	<sup>†</sup> 0.5	<sup>†</sup> 0.2	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	ţo.	ţ.o	<sup>†</sup> 0.0	<sup>†</sup> 0.0				
3.0		<b>\</b> 09	0.5	<sup>†</sup> 04	<sup>†</sup> 04	<sup>†</sup> 0 7	А <u>180</u>	0.8	<sup>†</sup> 0.9	<sup>†</sup> 0 7	<sup>†</sup> 0 7	<sup>†</sup> 0 7	<sup>†</sup> 0.8	<sup>†</sup> 0.7	<sup>†</sup> 1.0	<sup>†</sup> 0.5	<sup>†</sup> 0.2	<sup>†</sup> 0.1	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	to	0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0				
2.2	<sup>‡</sup> 2.7	<sup>‡</sup> 3.0	<sup>†</sup> 0.9	<sup>‡</sup> 1.0	<sup>‡</sup> 1.7	<sup>†</sup> 2.9	<sup>†</sup> 3.5 <	<b>3.</b> 7	<sup>†</sup> 3.3	<sup>‡</sup> 2.2	<sup>†</sup> 1.5	<sup>†</sup> 1.2	<sup>†</sup> 1.3	R	<sup>†</sup> 1.4	<sup>†</sup> 2.0	<sup>†</sup> 0.6	<sup>†</sup> 0.2	<sup>†</sup> 0.1	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0		<sup>†</sup> 0.0	Ō.0	<sup>†</sup> 0.0				
2.4	<sup>+</sup> 2.0	<sup>†</sup> 1.7	<sup>†</sup> 1.7	<sup>†</sup> 1.1	<sup>†</sup> 1.3	<sup>†</sup> 1.9	<sup>*</sup> 2.1	<sup>2</sup> 23	<sup>‡</sup> 2.2	<sup>†</sup> 1.8	<sup>†</sup> 1.4	<sup>†</sup> 1.4	<sup>†</sup> 1.7	<sup>‡</sup> 2.1	19	*.0	<b>1</b> 0.9	<sup>†</sup> 0.4	<sup>†</sup> 0.1	<sup>†</sup> 0.1	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	j0.0	<sup>†</sup> 0.0	0.0					
2.2	<del>2.1</del>	<u>+</u> 1.4	<u>+</u> 1.2	<u>+</u> 1.4	<u>+</u> .7	<del>*</del> 2.2	2.4	2.5		<del>2</del> .1		D			У	$\Pi D$	L V	A									\$ <del>0</del> .0		p					
							<sup>+</sup> 2.0		1	19			-			/		λ									5							
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0.8	0.8	<sup>†</sup> 0.8			0.9	0.9	0.9				Y	1.3 P	T							//							0.0 J							
		0.6	<sup>0.6</sup>	0.6	0.7					/	/		12 th 8-	/													0.0 , 0.0							
	/	1	0.4				/	/	/			N		T	Λ			/									0.0 <sup>†</sup> 0.0	3	0.0 <sup>†</sup> 0.0					
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		/ _	~ \					/	/					P	0.9	1.1	1.5	<sup>2</sup> .2	<sup>‡</sup> 2.3	2.0	3.2	<b>†</b> ¢. <b>X</b>	<sup>†</sup> 0.2	<sup>†</sup> 0.1	<sup>†</sup> 0.0	ţ.o კ	مر <sub>مر</sub> 0.0	<sup>†</sup> 0.0						
/				ì		/	/					/			1.8	1.0		<sup>†</sup> 1.9	<sup>+</sup> 2.4	<sup>†</sup> 1.9	1.9	1.0	Q.3	<sup>†</sup> 0.1	<sup>†</sup> 0.1	0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0						 
			/	/	1						/ /	-			K	<sup>†</sup> 0.9	12	1.5	<sup>†</sup> 1.9	<sup>†</sup> 1.6	1.1	1.1	ţ.	<sup>†</sup> 0.2	<sup>†</sup> 0.1	).0}	<sup>†</sup> 0.0	<sup>†</sup> 0.0				/		
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/							INDUS	PRO TRIAL		DING		/	/			N	<sup>†</sup> 0.9	1.0	1.1	<sup>†</sup> 1.2	1.0	0.9	1.0	ŀ.	<sup>†</sup> 0.2	†051	<sup>†</sup> 0.1	<sup>†</sup> 0.0						
			_	/	/	, v		42,750 FE=39		/	/						"B"	0.9	1.0	1.3	<sup>†</sup> 1.3	<sup>†</sup> .2	1.7	0.8	<b>a</b> .4	†o 22	<sup>†</sup> 0.1	<sup>†</sup> 0.1						
	_		/					/		-						/		<u>b.</u> 9	1.0	1.3	<sup>1</sup> .8	<sup>†</sup> 1.9-	<sup>2</sup> .1			<sup>†</sup> 0.0	0.2				/			
/													/	/				K	1.1 1.1		<sup>‡</sup> 2.1	<sup>+</sup> 2.4	4	3.4 /			<sup>†</sup> 0.2			1	/			
										/	/	/					/	۲ _	1.01	1.3	1.8 1.6	<sup>+</sup> 2.4 <sup>+</sup> 2.3	<sup>‡</sup> 2.2 <sup>‡</sup> 2.5	¥./	2.7 2.7			<sup>†</sup> 0.1 <sup>†</sup> 0.2						
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				/	/ _				/		/	/					/	/	/	X	1.3	1.5	<sup>†</sup> 1.7	<sup>†</sup> 1.6	<sup>†</sup> 1.2	<sup>†</sup> 0.9	<sup>†</sup> 0.5		1	/				
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1.2						<sup>†</sup> 0.7	<sup>†</sup> 0.7	<sup>†</sup> 0.7	<sup>†</sup> 0.8	<sup>†</sup> 0.7	<sup>†</sup> 0.4	/							P	1.2 <sup>1</sup>	<sup>†</sup> 1.6	<sup>‡</sup> 2.0	÷5	<sup>+</sup> 2.4	<sup>†</sup> 1.9		<sup>†</sup> 0.6							
1.5			M	<sup>†</sup> 1.0	<sup>†</sup> 1.1	<sup>†</sup> 1.0	<sup>‡</sup> 1.0	<sup>†</sup> 1.0	100	<sup>†</sup> 0.9	<sup>†</sup> 0.9							<sup>†</sup> 1.2	<sup>†</sup> 1.3	<sup>†</sup> 1.4	<sup>1</sup> .9	2.4	<sup>‡</sup> 2.6	<sup>+</sup> 2.2	<sup>*</sup> 3.0		<sup>†</sup> 0.5							
1.7	1.4 0	<sup>†</sup> 1.2	<sup>†</sup> 1.2	<sup>†</sup> 1.3		<sup>†</sup> 1.4		F	k		<sup>†</sup> 1.0	<sup>†</sup> 0.4		~	5	6	<sup>1</sup> .5	<sup>†</sup> 1.5	<sup>1</sup> .4	1.6	<sup>*</sup> 2.0	2.4	<sup>÷</sup> 2.2	<sup>*</sup> 2.8			<sup>†</sup> 0.3	/						
2.	1.6	<sup>†</sup> 1.5	<sup>†</sup> 1.6	<sup>†</sup> 1.8	<sup>+</sup> 2.0	<sup>‡</sup> 2.1	<sup>‡</sup> 2.0	<sup>2</sup> .0	1.7	1.4	12	1.3		€	2.1⊾	2.1	2.1	1.8	<sup>†</sup> 1.5	<sup>†</sup> 1.5	<sup>1</sup> .6	<sup>†</sup> .6	<sup>‡</sup> 2.0		Ō.9	K.	0.2 ₩	1	_					
2.4	1.8 +	<sup>1</sup> .5	<sup>†</sup> 1.6	<sup>†</sup> 1.9	<sup>*</sup> 2.4	<sup>†</sup> 2.5	<sup>2</sup> .5 <sup>2</sup> .2 <sup>3</sup> .7 <b>A</b> 0.8	<sup>*</sup> 2.4	<sup>1.9</sup>	= <sup>1.4</sup>	<sup>1</sup> .2	<sup>1</sup> .2	1.7 t	<sup>*</sup> 2.2	<sup>‡</sup> 2.4	2.5	2.5	<sup>*</sup> 2.0	1.5 +	1.3	1.1		1.7		0.5 0.2	0.2	<sup>†</sup> 0.1					. —		
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	1.3 <sup>†</sup> 0.7	1.1	1.2	1.9	3.0	<u>3.6</u>	3.7 <b>A</b> 0.8	3.2	2.0	1.3	0.9	1.0	1.8	3.0	3.5	3.6 A		Ť.9	_¶:2	0.7	0.5	0.4				-0.1 to o								
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<b>0</b> .0	<sup>†</sup> 0.0	<sup>‡</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0	<sup>†</sup> 0.0																										
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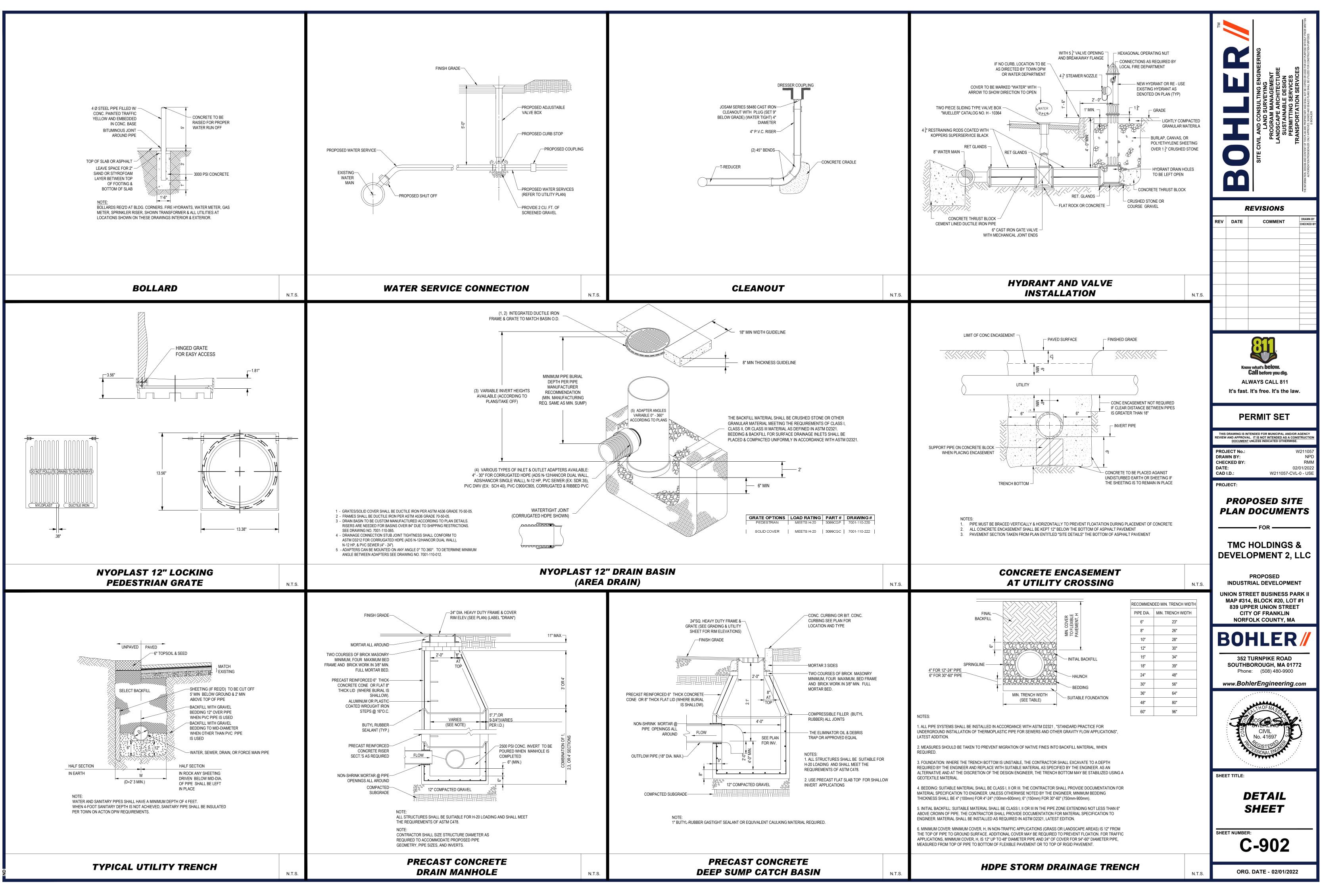


ORG. DATE - 02/01/2022

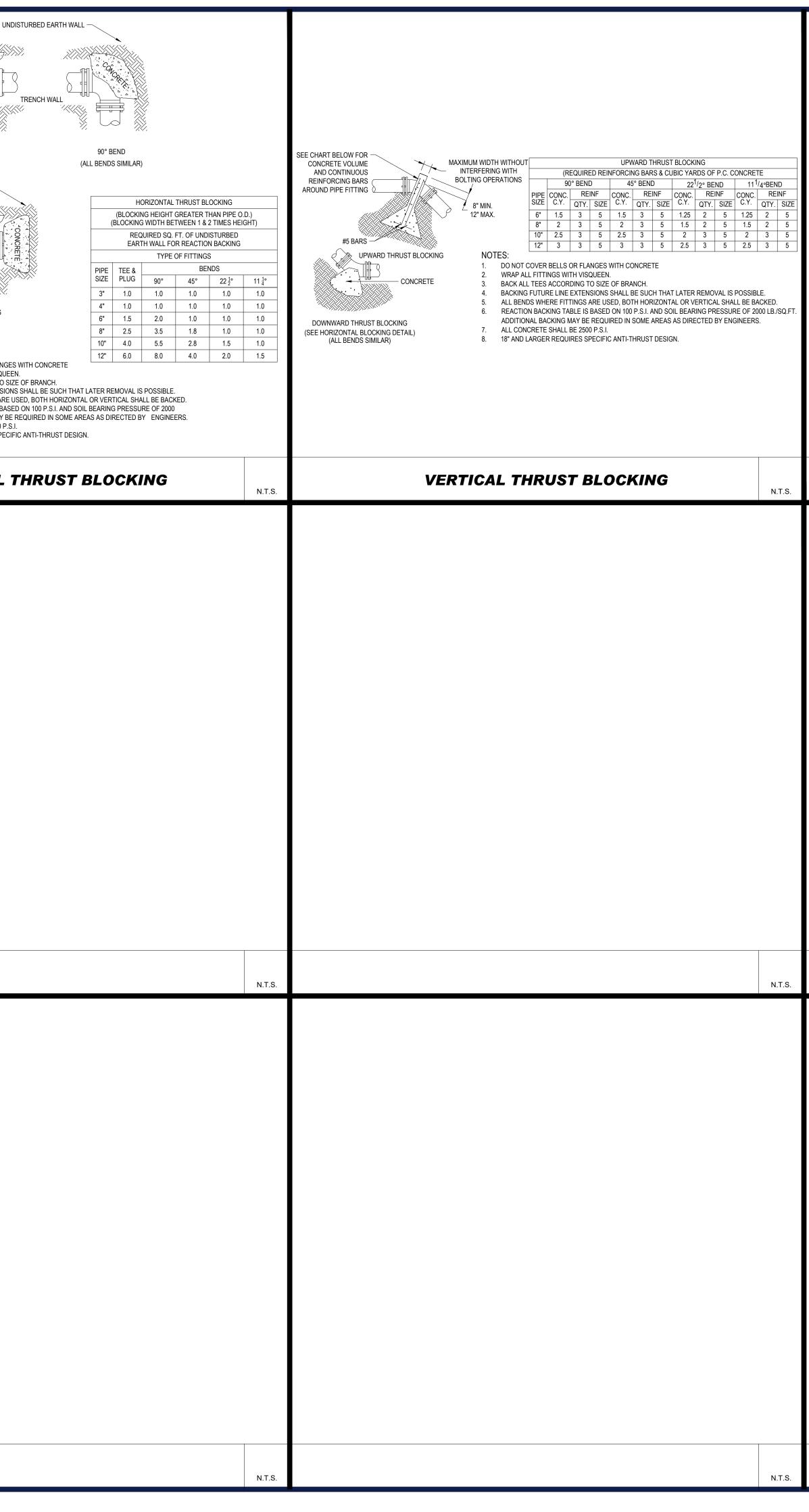


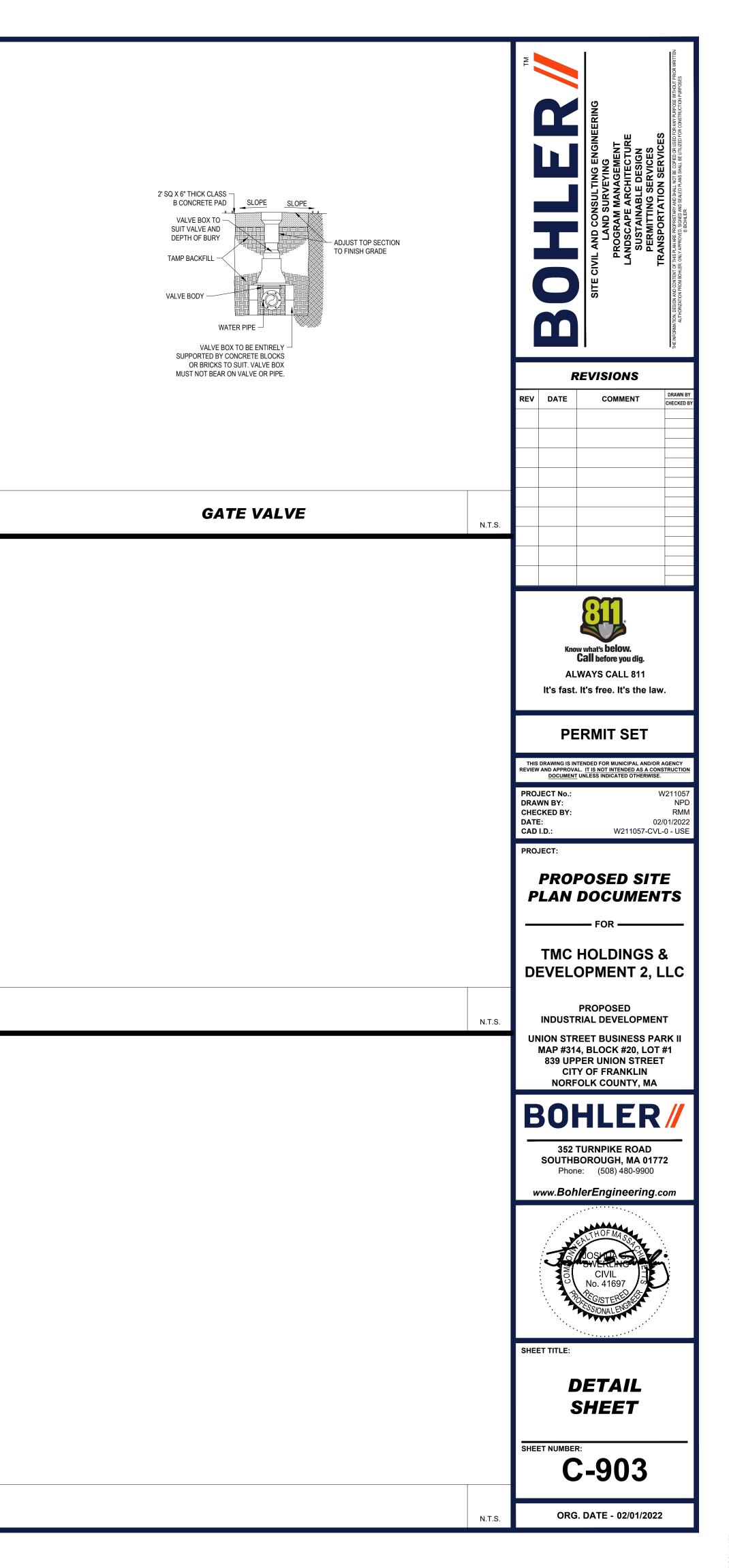
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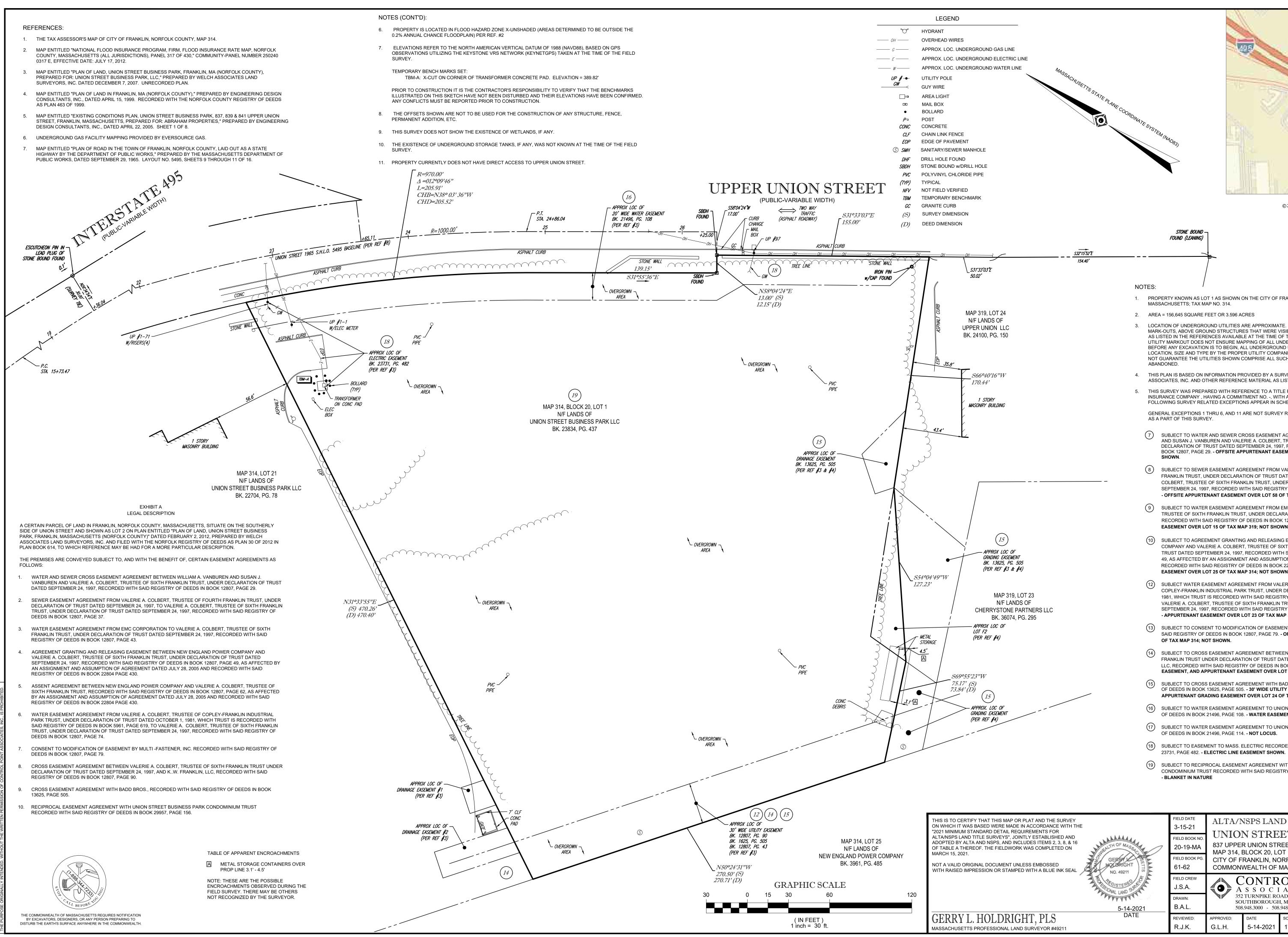




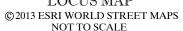
\\BOHLERENG.NET\SHARES\\MA-PROJECTS\Z1\W211057\DRAWINGS\PLAN SETS\REV0\W211057-CVL-0 - USE>LAYOUT: C-903-DETL		
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- 1. PROPERTY KNOWN AS LOT 1 AS SHOWN ON THE CITY OF FRANKLIN, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS; TAX MAP NO. 314.
- 2. AREA = 156,645 SQUARE FEET OR 3.596 ACRES
- 3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR
- 4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- 5. THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY WESTCOR LAND TITLE INSURANCE COMPANY, HAVING A COMMITMENT NO. -, WITH AN EFFECTIVE DATE OF -, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B - PART II:

GENERAL EXCEPTIONS 1 THRU 6, AND 11 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A PART OF THIS SURVEY.

- SUBJECT TO WATER AND SEWER CROSS EASEMENT AGREEMENT BETWEEN WILLIAM A. VANBUREN AND SUSAN J. VANBUREN AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 29. - OFFSITE APPURTENANT EASEMENT OVER LOT 24 OF TAX MAP 314; NOT
- SUBJECT TO SEWER EASEMENT AGREEMENT FROM VALERIE A. COLBERT, TRUSTEE OF FOURTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 37. - OFFSITE APPURTENANT EASEMENT OVER LOT 58 OF TAX MAP 313; NOT SHOWN.
- SUBJECT TO WATER EASEMENT AGREEMENT FROM EMC CORPORATION TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 43. - OFFSITE APPURTENANT EASEMENT OVER LOT 15 OF TAX MAP 319; NOT SHOWN.
- SUBJECT TO AGREEMENT GRANTING AND RELEASING EASEMENT BETWEEN NEW ENGLAND POWER COMPANY AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 49, AS AFFECTED BY AN ASSIGNMENT AND ASSUMPTION OF AGREEMENT DATED JULY 28, 2005 AND RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 22804 PAGE 430. - OFFSITE APPURTENANT EASEMENT OVER LOT 25 OF TAX MAP 314; NOT SHOWN
- (12) SUBJECT WATER EASEMENT AGREEMENT FROM VALERIE A. COLBERT, TRUSTEE OF COPLEY-FRANKLIN INDUSTRIAL PARK TRUST, UNDER DECLARATION OF TRUST DATED OCTOBER 1, 1981, WHICH TRUST IS RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 5961, PAGE 619, TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 74. - APPURTENANT EASEMENT OVER LOT 23 OF TAX MAP 319; AS SHOWN.
- SUBJECT TO CONSENT TO MODIFICATION OF EASEMENT BY MULTI -FASTENER, INC. RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 79. - OFFSITE APPURTENANT EASEMENT OVER LOT 25 OF TAX MAP 314; NOT SHOWN.
- (14) SUBJECT TO CROSS EASEMENT AGREEMENT BETWEEN VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, AND K.W. FRANKLIN, LLC, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 90. - 30' WIDE UTILITY EASEMENT, AND APPURTENANT EASEMENT OVER LOT 21 OF TAX MAP 314; AS SHOWN.
- (15) SUBJECT TO CROSS EASEMENT AGREEMENT WITH BADD BROS., RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 13625, PAGE 505. - 30' WIDE UTILITY EASEMENT, DRAINAGE EASEMENT, AND APPURTENANT GRADING EASEMENT OVER LOT 24 OF TAX MAP 319; AS SHOWN.
- (16) SUBJECT TO WATER EASEMENT AGREEMENT TO UNION PLACE LLC RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 21496, PAGE 108. - WATER EASEMENT SHOWN.
- (17) SUBJECT TO WATER EASEMENT AGREEMENT TO UNION PLACE LLC RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 21496, PAGE 114. - NOT LOCUS.
- (18) SUBJECT TO EASEMENT TO MASS. ELECTRIC RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK
- (19) SUBJECT TO RECIPROCAL EASEMENT AGREEMENT WITH UNION STREET BUSINESS PARK CONDOMINIUM TRUST RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 29957, PAGE 156.

HAT THIS MAP OR PLAT AND THE SURVEY SED WERE MADE IN ACCORDANCE WITH THE DARD DETAIL REQUIREMENTS FOR E SURVEYS", JOINTLY ESTABLISHED AND ID NSPS, AND INCLUDES ITEMS 2, 3, 8, & 16 . THE FIELDWORK WAS COMPLETED ON L DOCUMENT UNLESS EMBOSSED SION OR STAMPED WITH A BLUE INK SEAL	FIELD DATE 3-15-21	ALTA/NSPS LAND TITLE SURVEY					
	FIELD BOOK NO.		UNION STREET BUSINESS PARK, LLC 837 UPPER UNION STREET MAP 314, BLOCK 20, LOT 1 CITY OF FRANKLIN, NORFOLK COUNTY				
	20-19-MA FIELD BOOK PG.	MAP 314, E					
	61-62	COMMONWEALTH OF MASSACHUSETTS					
	FIELD CREW	<b>CONTROL POINT</b> A S S O C I A T E S, I N C. UALFONT, PA 215-712-980 CHALFONT, PA 215-712-980 CHALFONT, PA 215-712-980					
E 14 2021	drawn: <b>B.A.L.</b>	A 5 5 0 C T A T E 5, T N C HAUPPAUGE, NY 631-580-2645 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX HAUPPAUGE, NY 631-580-2645 MANHATTAN, NY 646-780-0411 MT LAUREL, NJ 609-857-2099 WARREN, NJ 908-668-0099					
5-14-2021 DATE		508				,	
IOLDRIGHT, PLS	REVIEWED:	APPROVED:	DATE	SCALE	FILE NO.	DWG. NO.	
OFESSIONAL LAND SURVEYOR #49211	R.J.K.	G.L.H.	5-14-2021	1"=30'	03-210095	1 OF 1	

