

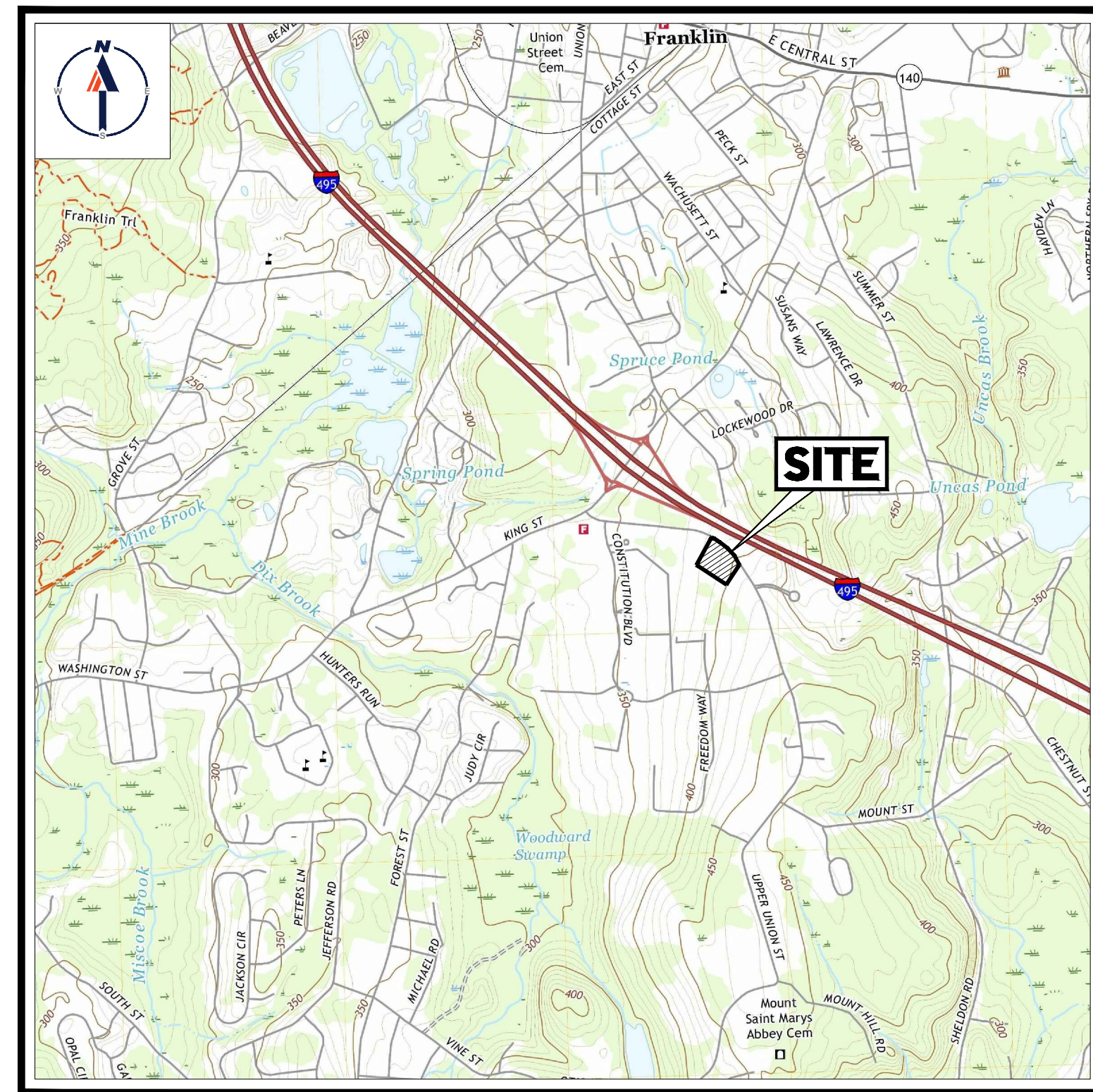
# PROPOSED SITE PLAN DOCUMENTS

FOR

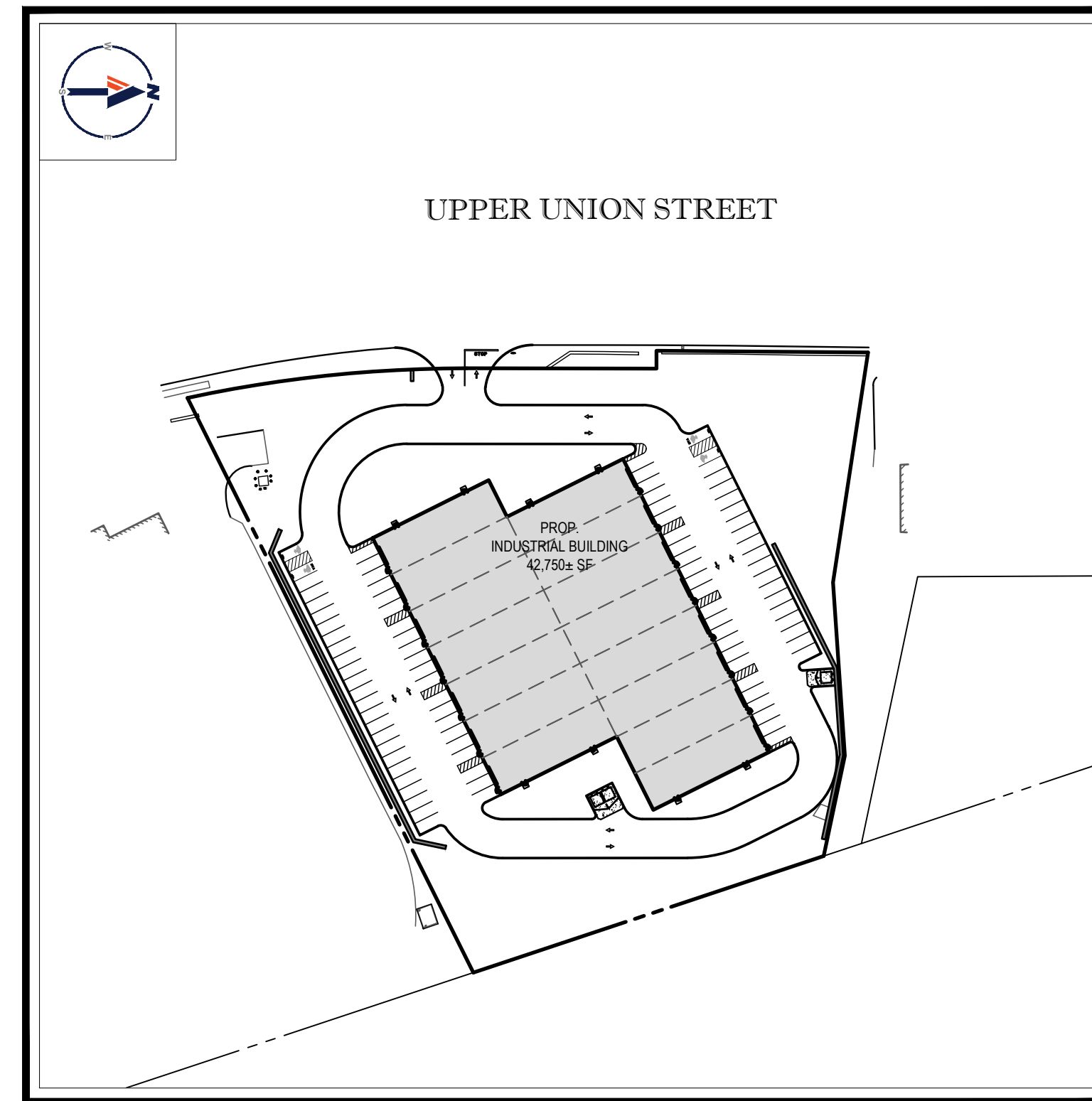
## TMC HOLDINGS & DEVELOPMENT 2, LLC

### PROPOSED INDUSTRIAL DEVELOPMENT UNION STREET BUSINESS PARK II

LOCATION OF SITE:  
839 UPPER UNION STREET, CITY OF FRANKLIN  
NORFOLK COUNTY, MASSACHUSETTS  
MAP #314, BLOCK #20, LOT #1



**USGS MAP**  
SCALE: 1" = 2,000'  
SOURCE: USGS



**SITE MAP**  
SCALE: 1" = 100'

#### DRAWING SHEET INDEX

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ALTA/NSPS LAND TITLE SURVEY (BY OTHERS)	1 SHEET
BOUNDARY & TOPOGRAPHIC SURVEY (BY OTHERS)	1 SHEET

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#### REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



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THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: W211057  
DRAWN BY: NPD  
CHECKED BY: RMM  
DATE: 02/01/2022  
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PROJECT:

#### PROPOSED SITE PLAN DOCUMENTS

FOR  
**TMC HOLDINGS & DEVELOPMENT 2, LLC**

PROPOSED INDUSTRIAL DEVELOPMENT  
UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA

**BOHLER** //  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900  
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SHEET TITLE:

#### COVER SHEET

SHEET NUMBER:  
**C-101**

ORG. DATE - 02/01/2022

PREPARED BY



## GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

- "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 03/23/21.
- "ALTANSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 05/14/21.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AGENCIES AND CONFIRMING THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST VERIFY EXISTING CONDITIONS REGARDING UTILITIES, SOILS, EROSION, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR THIS WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL, ELECTRICAL, PLUMBING AND MECHANICAL, AND SANITARY ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM APPLICABLE. CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

ALL DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO AVOID THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE FOR SAFE WORK AREAS FOR THE PROJECT.

THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDEMPTION, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERSECTIONS, SIGNAGE, LIGHT FIXTURES, AND ALL OTHER DAMAGED DURING THE PROJECT AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, REGULATIONS, STATUTORY REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS/SUPERS OR REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY. SIGNING, SAFETY, AND OTHER SERVICES AS RELATED TO THE PROJECT, THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES AT ANY TIME.

ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYERS' LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST CARRY WORKERS' COMPENSATION INSURANCE AS EVIDENCED BY A CERTIFICATE OF INSURANCE TO COMPLEMENT THE CONTRACTOR'S WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING BUT NOT LIMITED TO, REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LATEST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE CARE AND DUE DILIGENCE, WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ITEM AS A COMPONENT OF THE REVIEW. BOHLER ENGINEERING IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS. ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME.

CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.

ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS) AND DESIGN, AND FURTHER ENGINEER IS RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURERS' STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS "CERTIFY" OR "CERTIFICATION" CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERGROUND PROFESSIONAL'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

## GENERAL GRADING & UTILITY PLAN NOTES

LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR TO APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO THE SCOPE OF WORK SHOWN ON THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF THE UTILITY SERVICE WITH THE SPECIFICATIONS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES, AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-IN/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE, WHERE A CONFLICT EXISTS BETWEEN THESE SITE PLANS AND THE EXISTING UTILITY PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VALVE, PRIOR TO COMMENCING CONSTRUCTION.

ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE, TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTOR REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

THE CONTRACTOR MUST COMPLY TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF SUCH STANDARDS AND REGULATIONS AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF JOINT BUMPS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

ALL TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES, INCLUDING BUT NOT LIMITED TO STORM SEWER, SANITARY SEWER, UTILITIES, AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST MAINTAIN RECORDS OF ALL UTILITIES AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS, 1.0% ON ALL CONCRETE SURFACES, AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADIES), TO PREVENT ponding. CONTRACTOR MUST IMMEDIATELY NOTIFY, IN WRITING, TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, OR THE GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEYS' FEES AND THE LIKE WHICH RESULT FROM SAME.

PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 1' ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.

WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M89 AND TYPE 3 SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR STORM DRAIN CONNECTION MUST BE 30R 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

- UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
  - FOR PIPES LESS THAN 12" DEEP: POLYVINYL CHLORIDE (PVC) 30R 35 PER ASTM D3034
  - FOR PIPES MORE THAN 12" DEEP: POLYVINYL CHLORIDE (PVC) 30R 26 PER ASTM D3034
  - FOR PIPE WITH 18" OF BUILDING PIPE MATERIAL SHALL COMPLY WITH APPLICABLE BUILDING AND PLUMBING CODES. CONTRACTOR TO VERIFY WITH LOCAL OFFICIALS.

STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE TO AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL. REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

- WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DI) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.

CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

## GENERAL DEMOLITION NOTES

THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

- "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 03/23/21.
- "ALTANSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATED, INC., DATED 05/14/21.

CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.) AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY. REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:

A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.

C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL, MEASURES PRIOR TO SITE DISTURBANCE.

D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION.

E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

H. COORDINATING WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.

I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

J. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.

THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S OWN RISK AND EXPENSE.

THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE COMPLETED WITH APPROVED BACKFILL MATERIALS, AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND MUST BE DONE SO AS TO PREVENT WATER ENTRY DURING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE.

EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS MUST BE IN PLACE PRIOR TO CONTRACTOR STARTING AN EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.



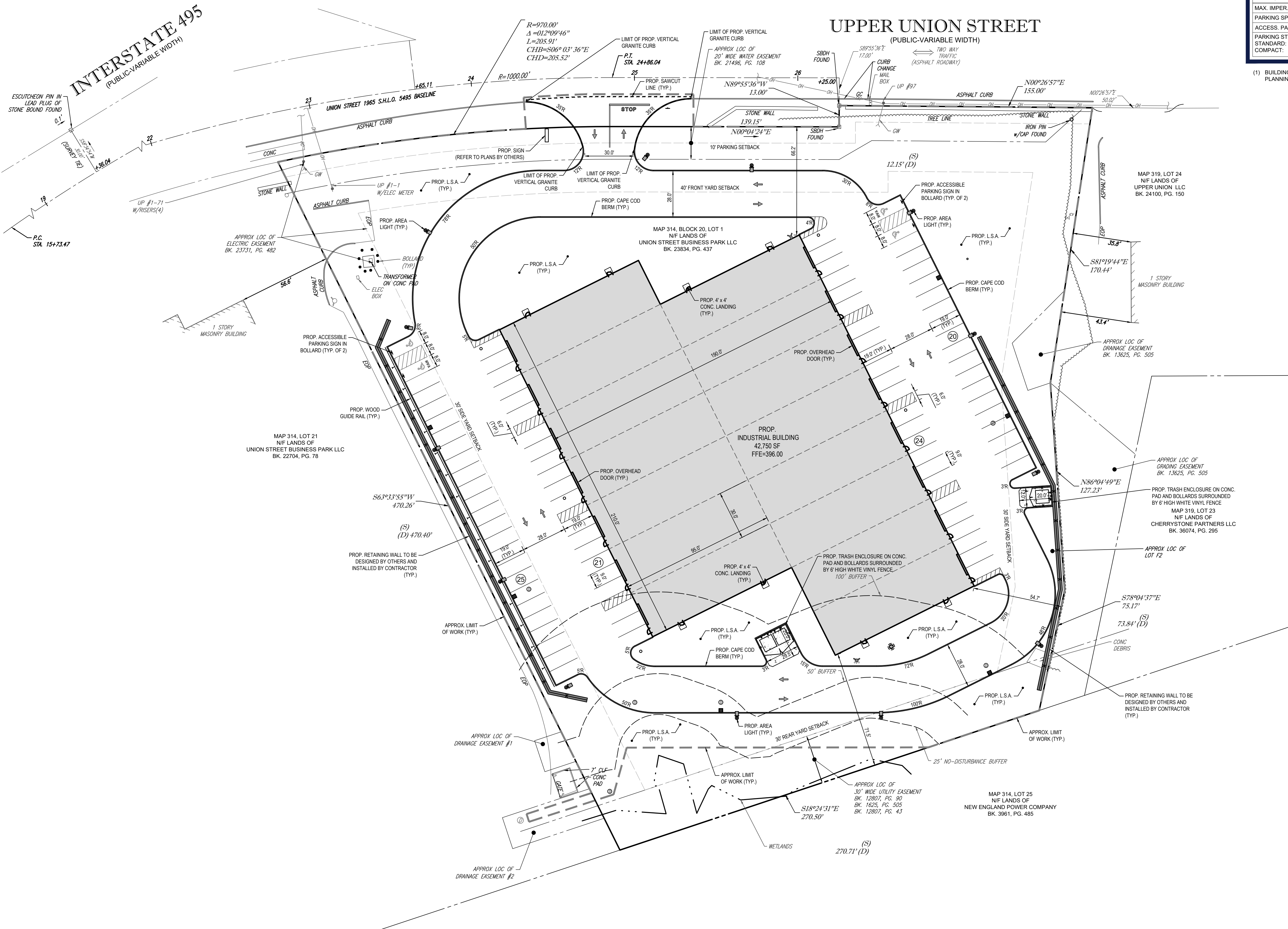


**INTERSTATE 495**  
(PUBLIC-VARIABLE WIDTH)

**UPPER UNION STREET**  
(PUBLIC-VARIABLE WIDTH)

ZONING ANALYSIS TABLE			
ZONING DISTRICT	INDUSTRIAL (I)		
OVERLAY DISTRICT	N/A		
REQUIRED PERMIT	SITE PLAN REVIEW		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	40,000 SF	156,645 SF (3.60 AC.)	NO CHANGE
MIN. LOT FRONTAGE	175 FT	500.06 FT	NO CHANGE
MIN. LOT DEPTH	200 FT	470.26 FT	NO CHANGE
MIN. LOT WIDTH	157.5 FT	270.50 FT	NO CHANGE
MAX. BLDG. LOT COVERAGE	70%	0.0%	27.3%
MIN. FRONT SETBACK	40 FT	N/A	66.2 FT
MIN. SIDE SETBACK	30 FT	N/A	54.7 FT
MIN. REAR SETBACK	30 FT	N/A	71.5 FT
MIN. PARKING SETBACK	N/S	N/A	12.5 FT
MAX. BUILDING HEIGHT	3 STORIES (1)	N/A	< 3 STORIES
MAX. IMPER. COVERAGE	80%	0.1%	55.6%
PARKING SPACES	43	N/A	90
ACCESS. PARKING SPACES	4	N/A	4
PARKING STALL CRITERIA	USE/CATEGORY: WAREHOUSE		
STANDARD: 9 FT x 19 FT	REQUIRED PARKING: 1 SPACE PER 1,000 SF GROSS FLOOR AREA		
COMPACT: 8 FT x 16 FT	CALCULATION: 42,750 SF / 1,000 SF = 42.75 OR 43 SPACES REQUIRED		

(1) BUILDINGS UP TO 60 FEET IN HEIGHT MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.



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PROJECT No.: W211057  
DRAWN BY: NPD  
CHECKED BY: RMM  
DATE: 02/01/2022  
CAD ID: W211057-CVL-0 - USE

**PROPOSED SITE PLAN DOCUMENTS**

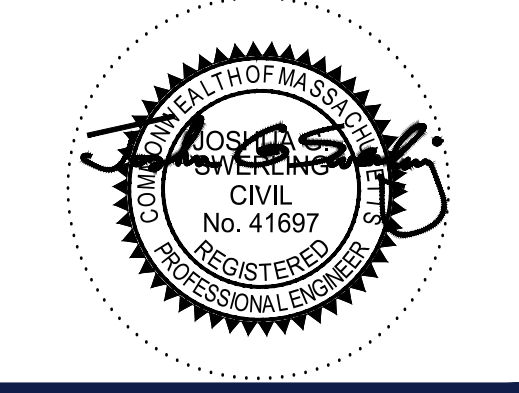
FOR

**TMC HOLDINGS & DEVELOPMENT 2, LLC**

PROPOSED INDUSTRIAL DEVELOPMENT  
UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA

**BOHLER**

352 TURNPIKE ROAD  
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Phone: (508) 480-9900  
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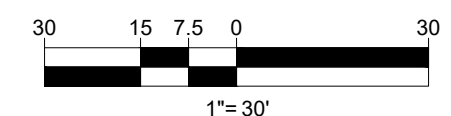
SHEET TITLE:  
**SITE LAYOUT PLAN**

SHEET NUMBER:  
**C-301**

ORG. DATE - 02/01/2022

**GENERAL CONTRACTOR TO PROVIDE A SITE SPECIFIC WALL DESIGN AND CALCULATIONS THROUGH THE GENERAL CONTRACTOR'S SELECTED WALL MANUFACTURER'S LICENSED PROFESSIONAL STRUCTURAL ENGINEER.**

**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES**



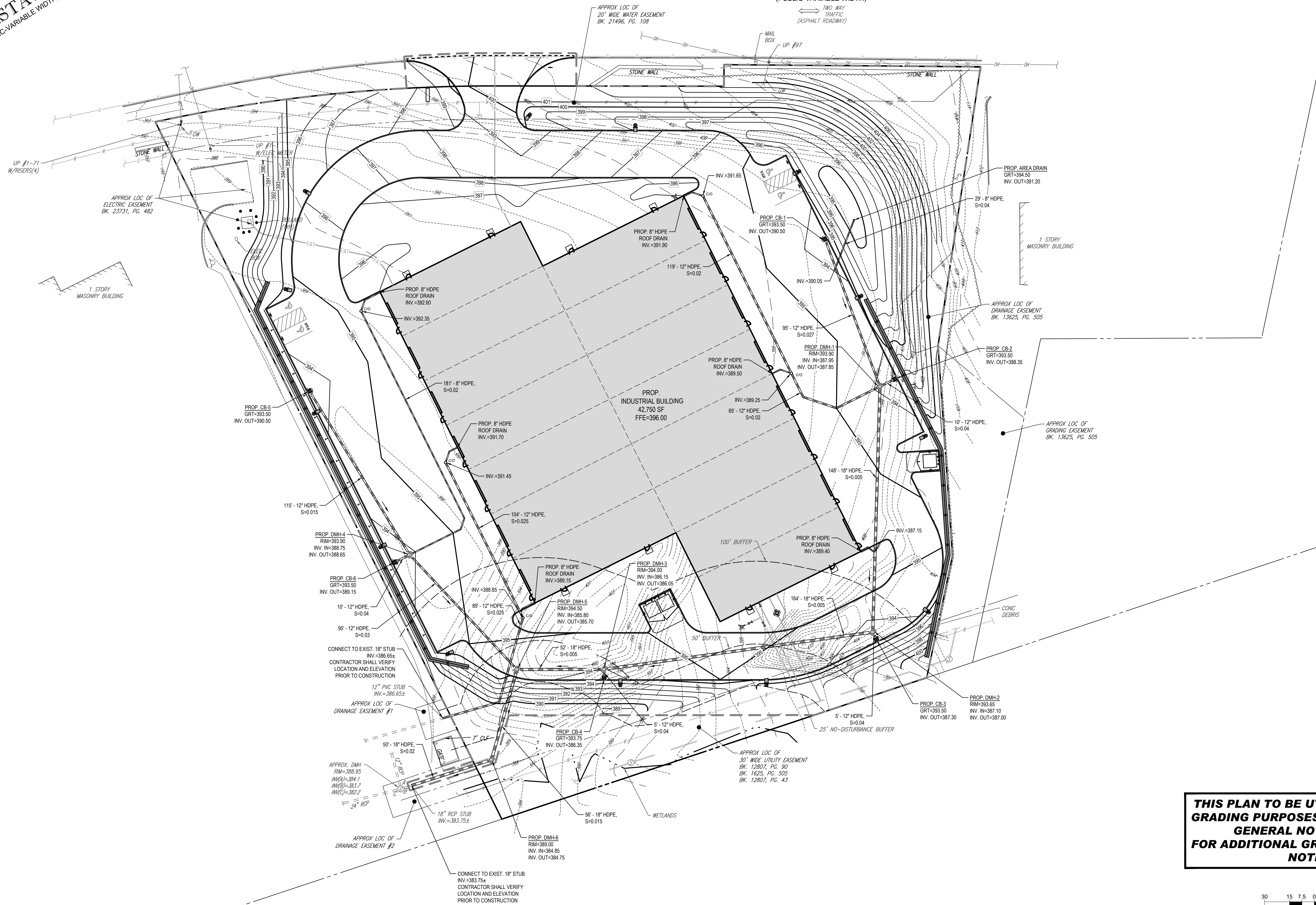
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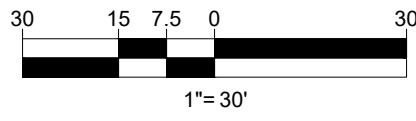


INTERSTATE 495  
(PUBLIC-VARIABLE WIDTH)

UPPER UNION STREET  
(PUBLIC-VARIABLE WIDTH)



**THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL GRADING & UTILITY NOTES**



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PROJECT No.: W211057  
DRAWN BY: NPD  
CHECKED BY: RMM  
DATE: 02/01/2022  
CAD ID: W211057-CVL-0 - USE

**PROPOSED SITE PLAN DOCUMENTS**

FOR

**TMC HOLDINGS & DEVELOPMENT 2, LLC**

PROPOSED INDUSTRIAL DEVELOPMENT  
UPPER UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
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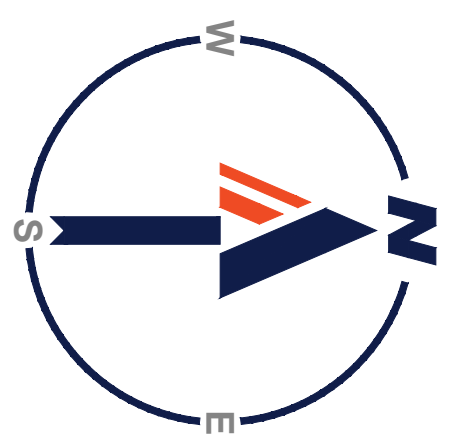
SHEET TITLE:  
**DRAINAGE PLAN**

SHEET NUMBER:  
**C-501**

ORG. DATE - 02/01/2022

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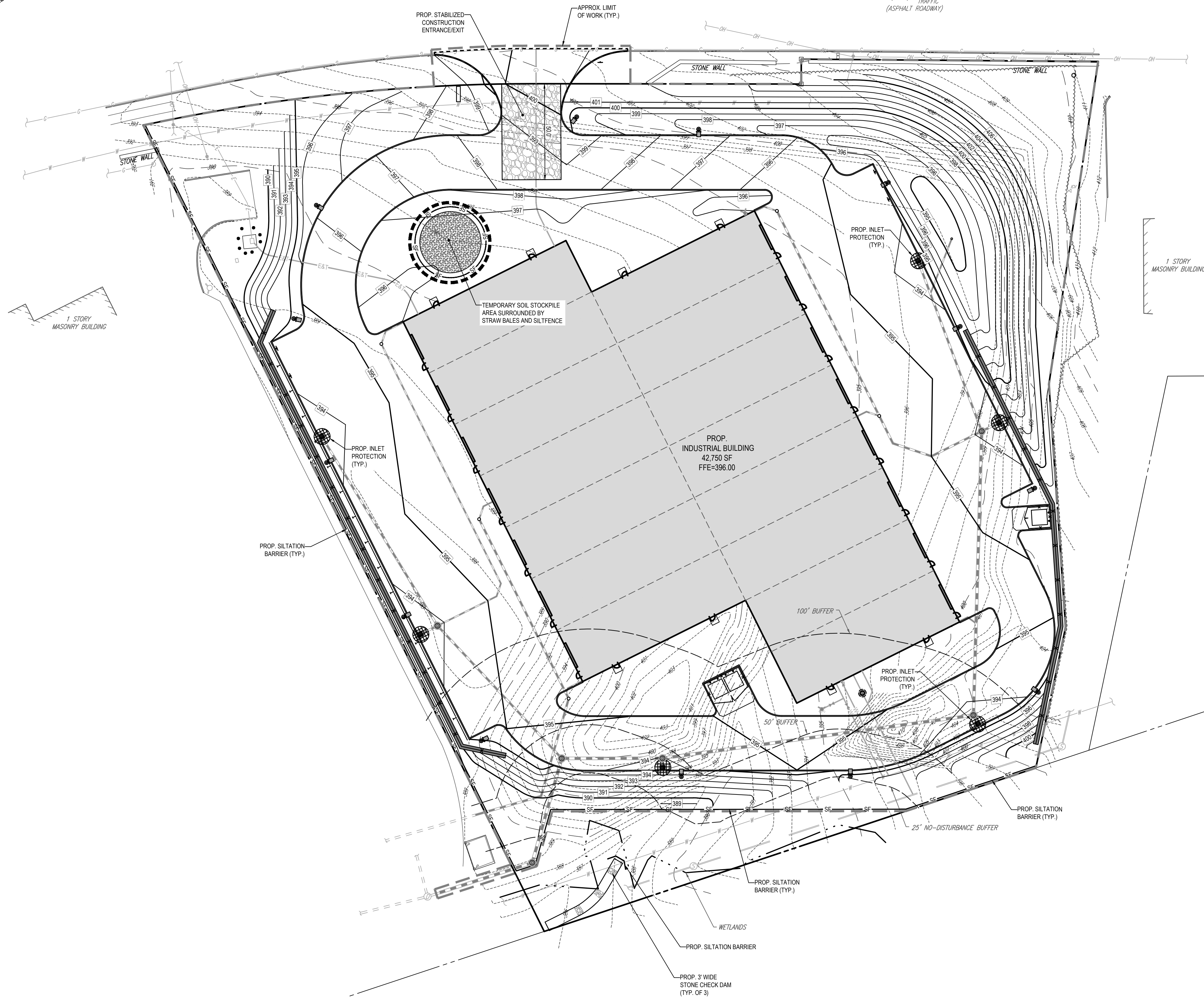




INTERSTATE 495  
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UPPER UNION STREET  
(PUBLIC-VARIABLE WIDTH)

TWO WAY TRAFFIC  
(ASPHALT ROADWAY)



**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
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**PROPOSED SITE PLAN DOCUMENTS**

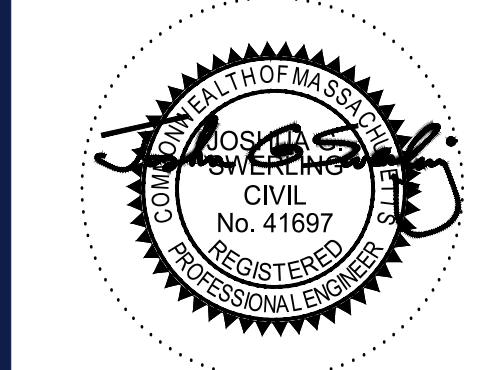
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**TMC HOLDINGS & DEVELOPMENT 2, LLC**

PROPOSED INDUSTRIAL DEVELOPMENT  
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MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA

**BOHLER**

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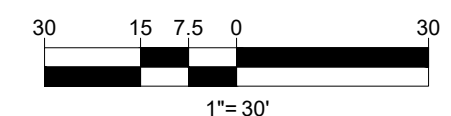
**THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY**

**REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS**

SHEET TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

SHEET NUMBER:  
**C-601**

ORG. DATE - 02/01/2022



180\BOHLER\ENG\NET\SHARES\MA\PROJECTS\211057\DRAWINGS\PLAN SET\REV\W211057-CVL-0 - USE - LAYOUT - C-601-ER03



**EROSION & SEDIMENT CONTROL NOTES**

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #6.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
  - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
  - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
  - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOO MAY BE SUBSTITUTED FOR SEED.
  - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL, OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED BY STRAW, COMPOST, AND/OR SILT FENCE BARRIERS INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.
- THE USE OF STRAW HAY BALES IS PROHIBITED.

**MULCH**

LOCATION	MULCH	RATE (1000 SF)
PROTECT AREA	JUTE MESH OR EXCELSIOR MAT	AS REQUIRE
WINDY AREA	JUTE MESH OR EXCELSIOR MAT	AS REQUIRE
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

\* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON STRAW MULCH FOR WIND CONTROL.

**MULCH ANCHORING**  
ANCHOR MULCH WITH PEG AND TWINE (1 SQ YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

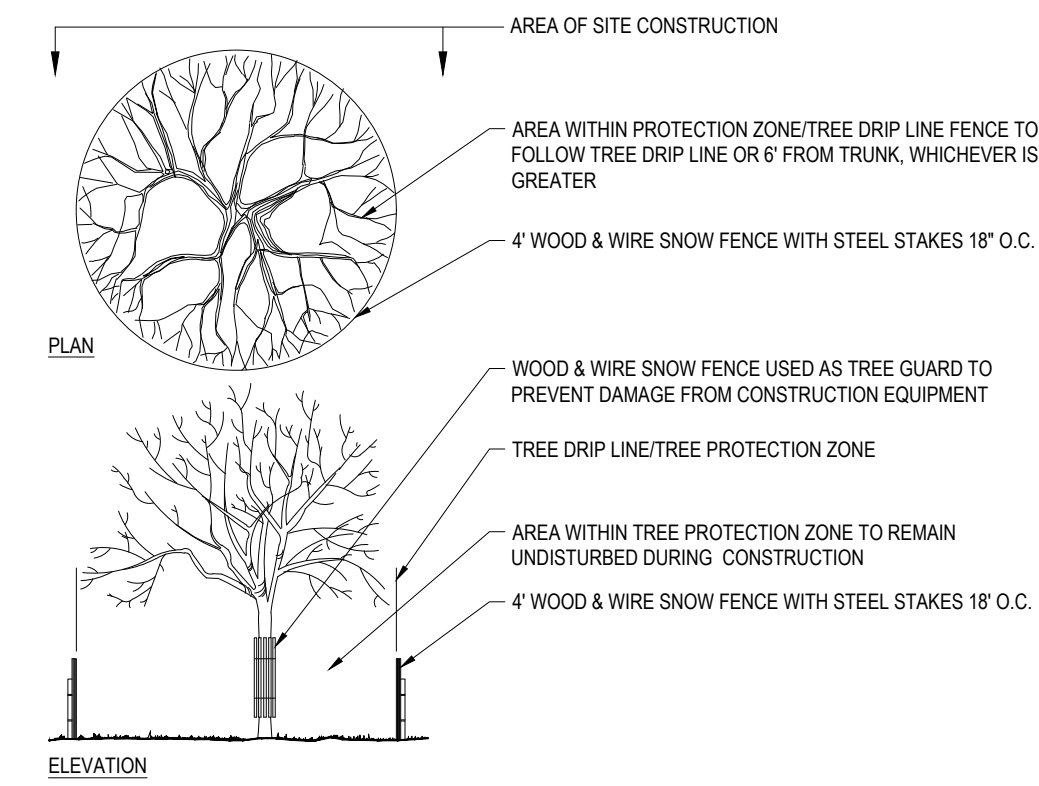
**EROSION CONTROL NOTES DURING WINTER CONSTRUCTION**

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR <sup>size</sup> MULCH AT A RATE OF 100 LB PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOADED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
  - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
  - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

**CONSTRUCTION SEQUENCE**

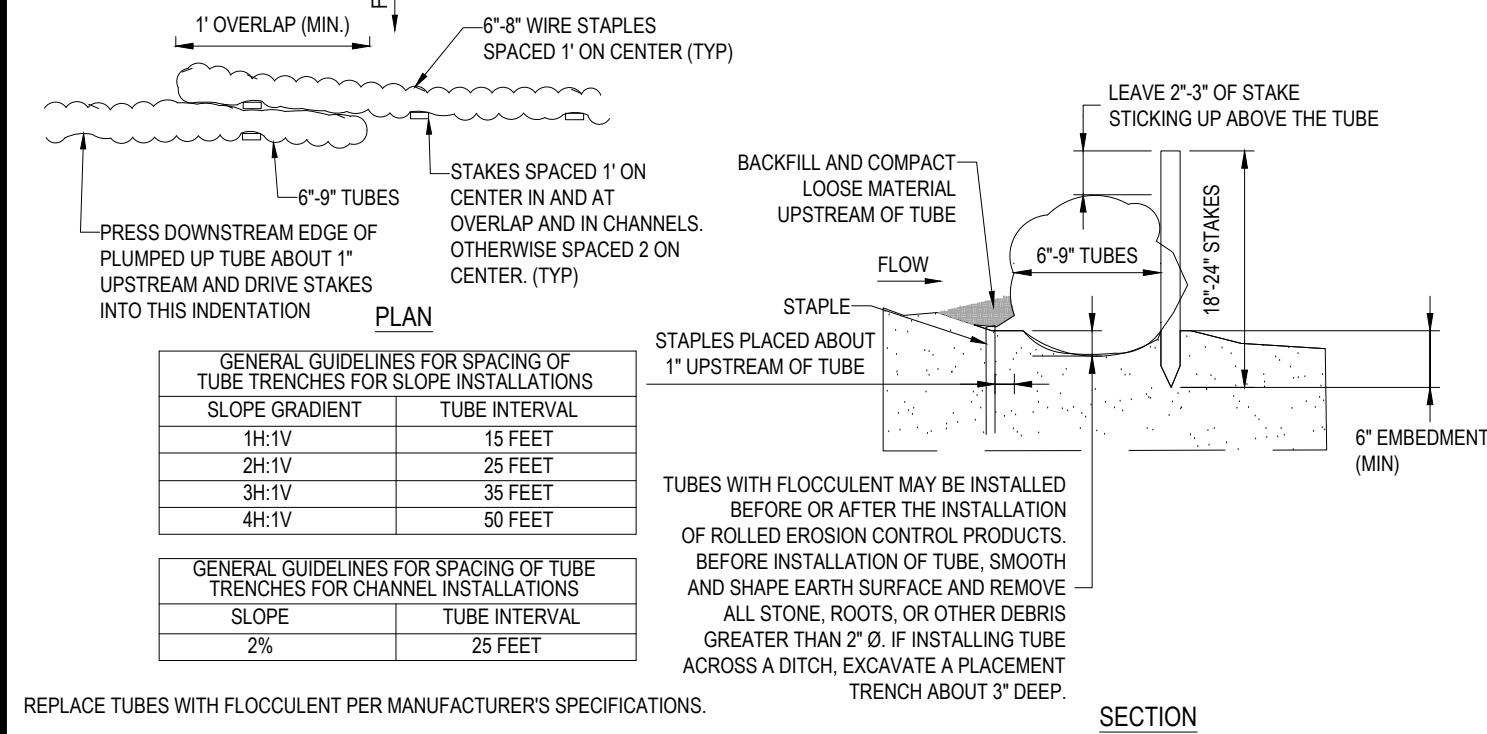
THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (SILT FENCE) (AS SHOWN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- INSTALLATION OF BINDER COURSE PAVEMENT
- INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
- INSTALLATION OF TOP COURSE PAVEMENT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.



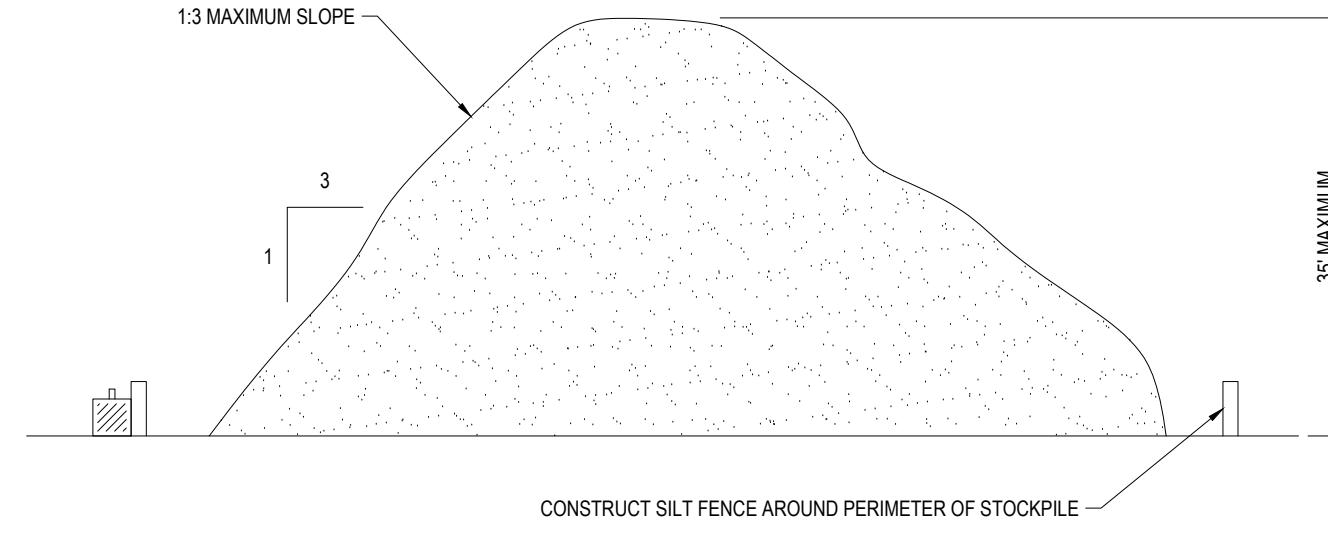
**TREE PROTECTION DURING CONSTRUCTION**

N.T.S.



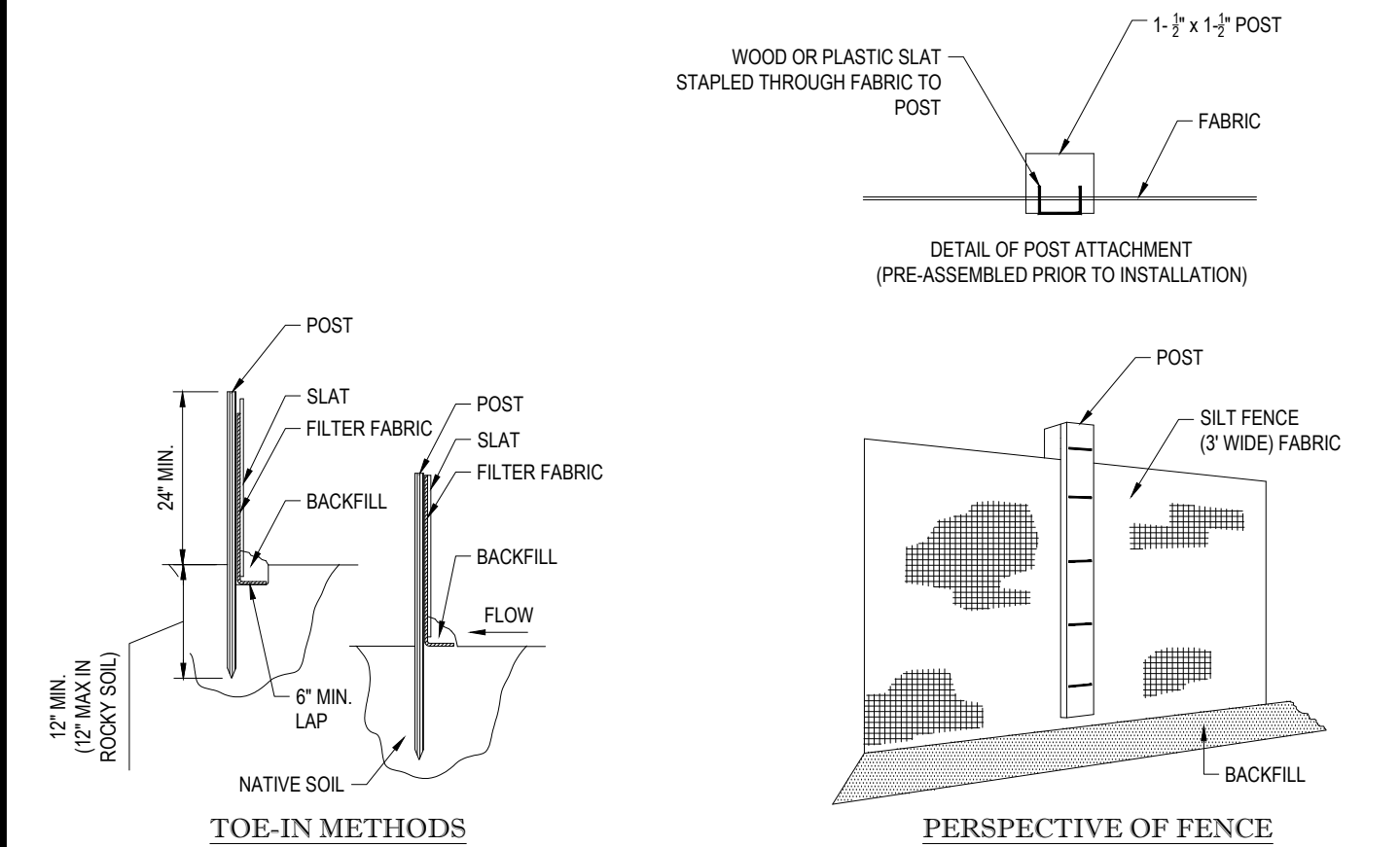
**FIBER FLOCCULENT TUBE**

N.T.S.



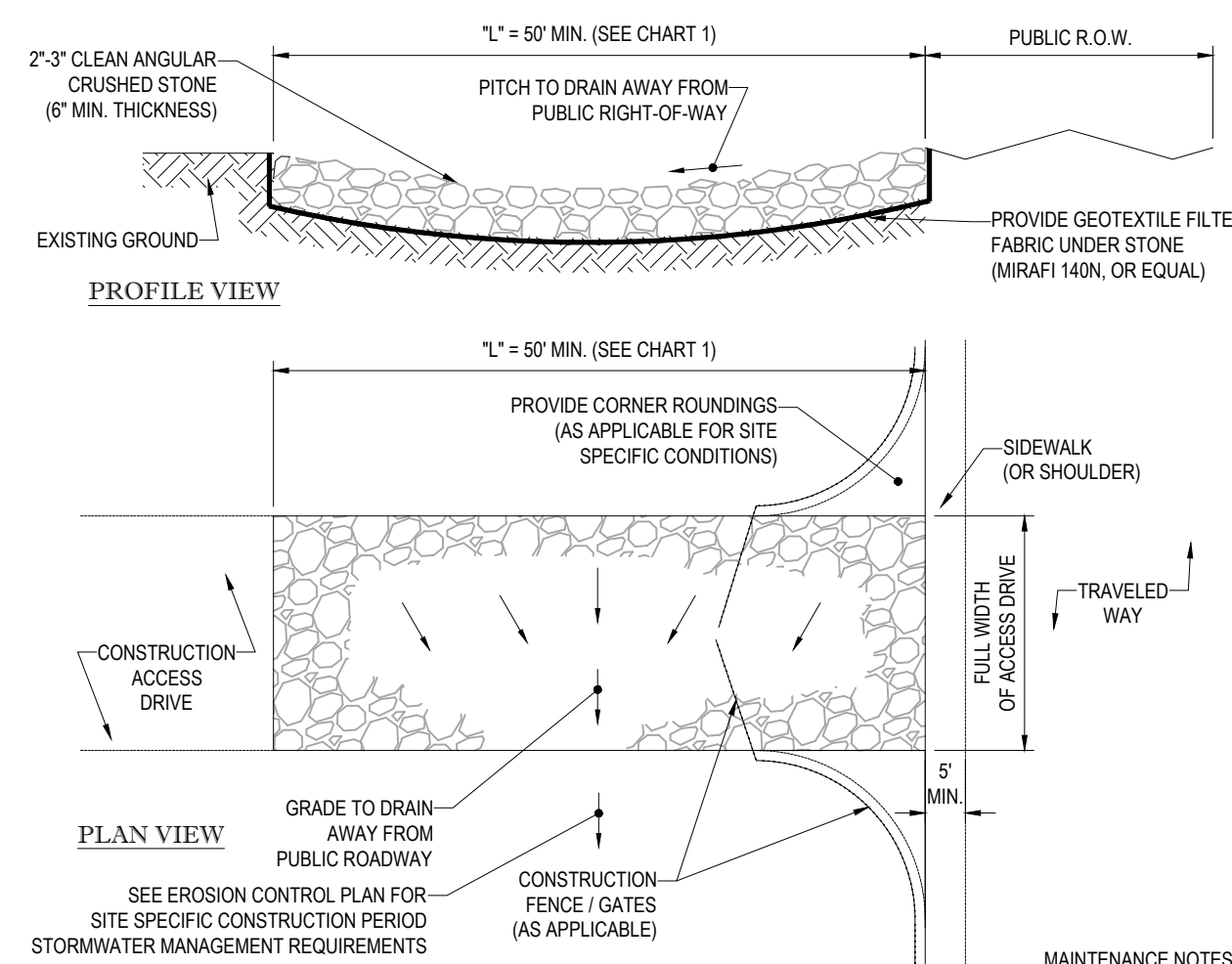
**TEMPORARY STOCKPILE**

N.T.S.



**SILTATION FENCE**

N.T.S.

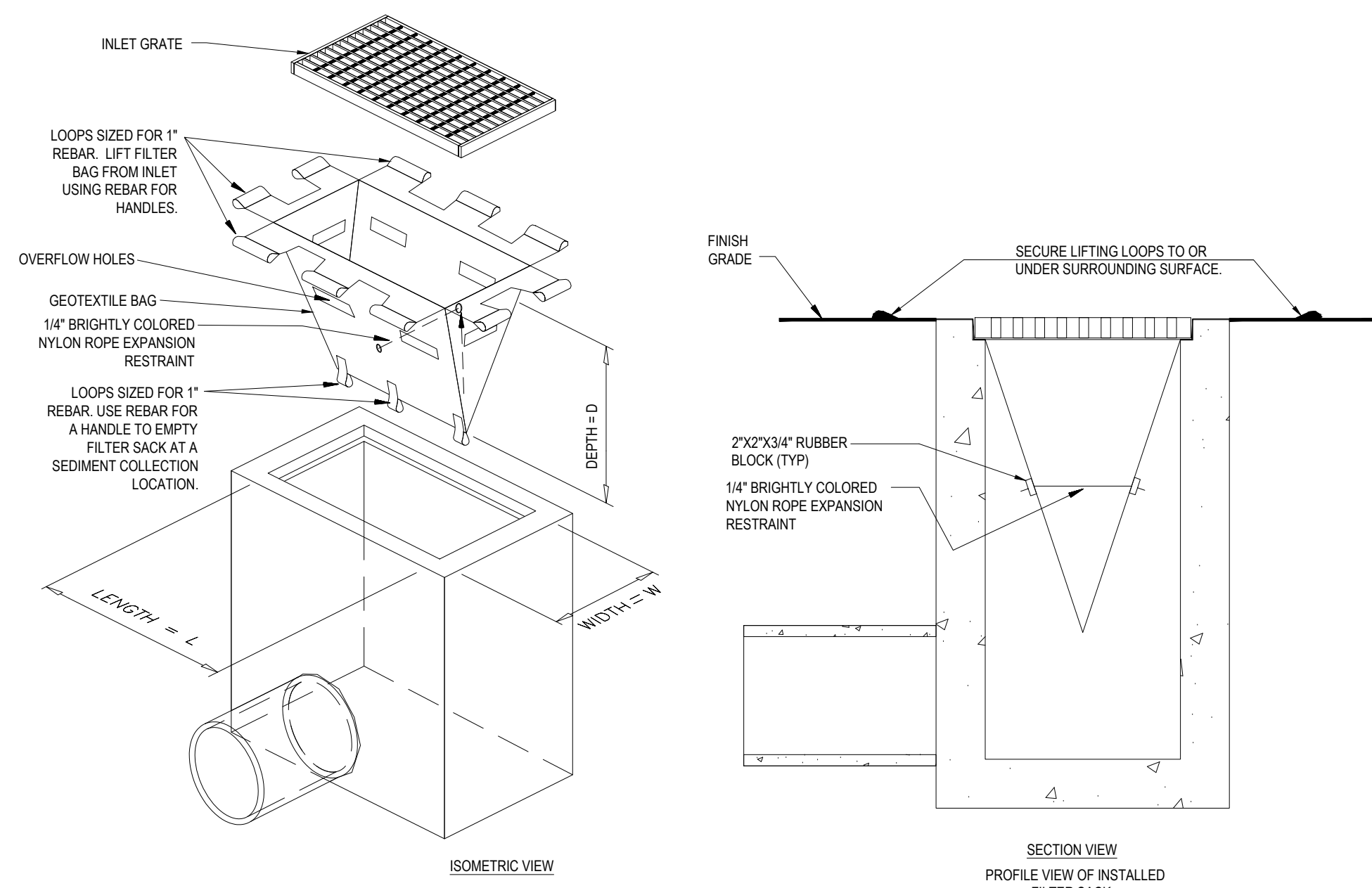


PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2% TO 5%	100 FT	200 FT
>5%	ENTIRE ENTRANCE STABILIZED WITH FABC BASE COURSE (1)	

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

**STABILIZED CONSTRUCTION EXIT**

N.T.S.



**FILTER SACKS (GRATED INLETS)**

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4333	120 LBS
UV RESISTANCE	ASTM D-4355	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC -1

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	255 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4333	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
- THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDI NG MAY CAUSE TRAFFIC HAZARDS.  
TO BE USED IN EXISTING RIGHT OF WAY

N.T.S.

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PROGRAM MANAGEMENT  
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SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

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PROJECT No.: W211057  
DRAWN BY: NPD  
CHECKED BY: RMM  
DATE: 02/01/2022  
CAD ID.: W211057-CVL-0 - USE

**PROJECT:**

**PROPOSED SITE PLAN DOCUMENTS**

**TMC HOLDINGS & DEVELOPMENT 2, LLC**

PROPOSED INDUSTRIAL DEVELOPMENT  
UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA

**BOHLER**  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
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**EROSION AND SEDIMENT CONTROL NOTES AND DETAILS**

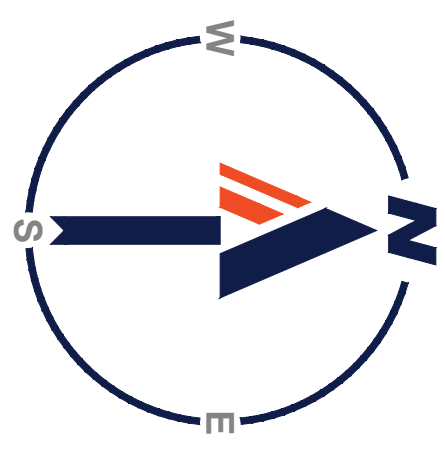
SHEET NUMBER:  
**C-602**

ORG. DATE - 02/01/2022

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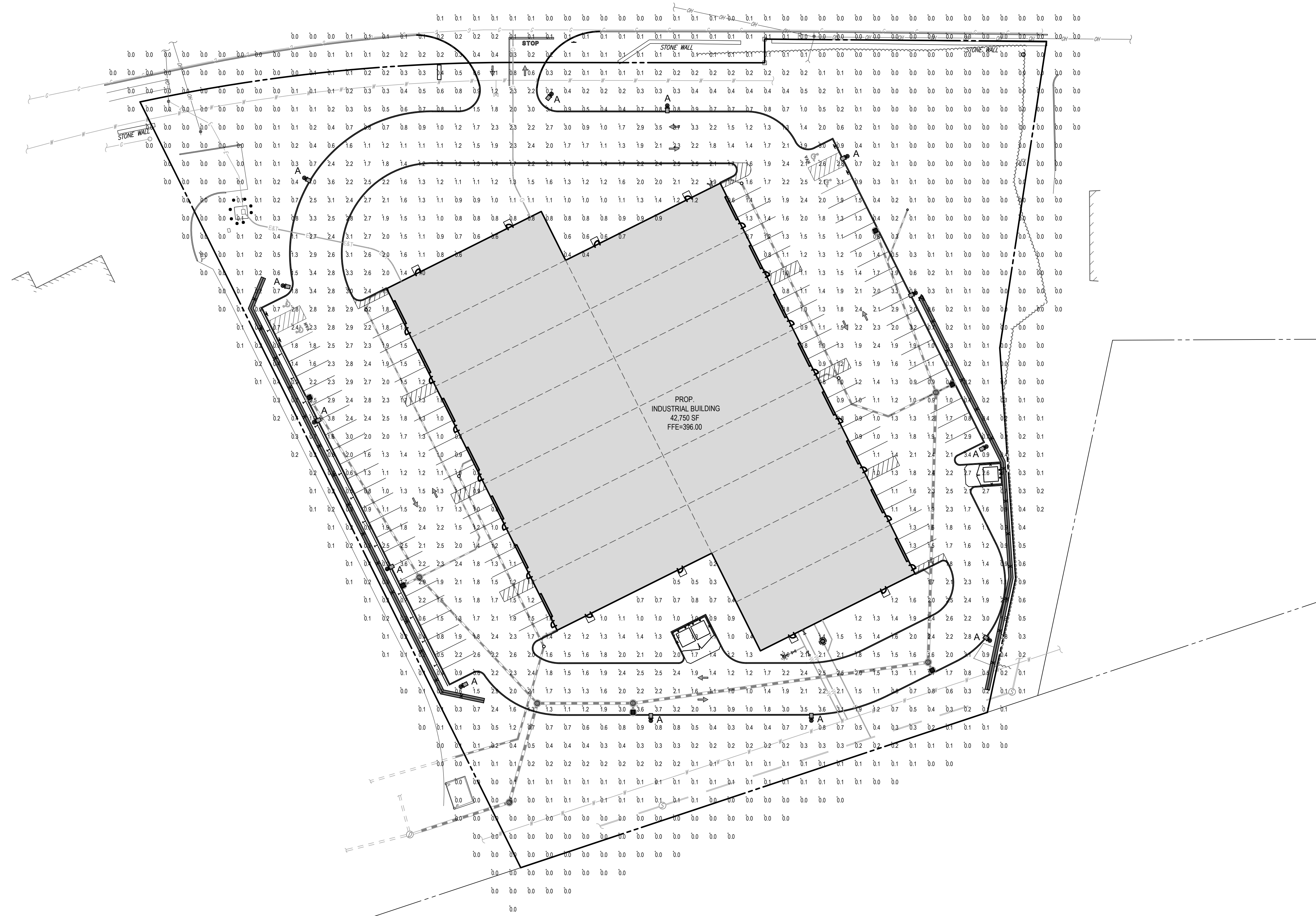






# UPPER UNION STREET (PUBLIC-VARIABLE WIDTH)

TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

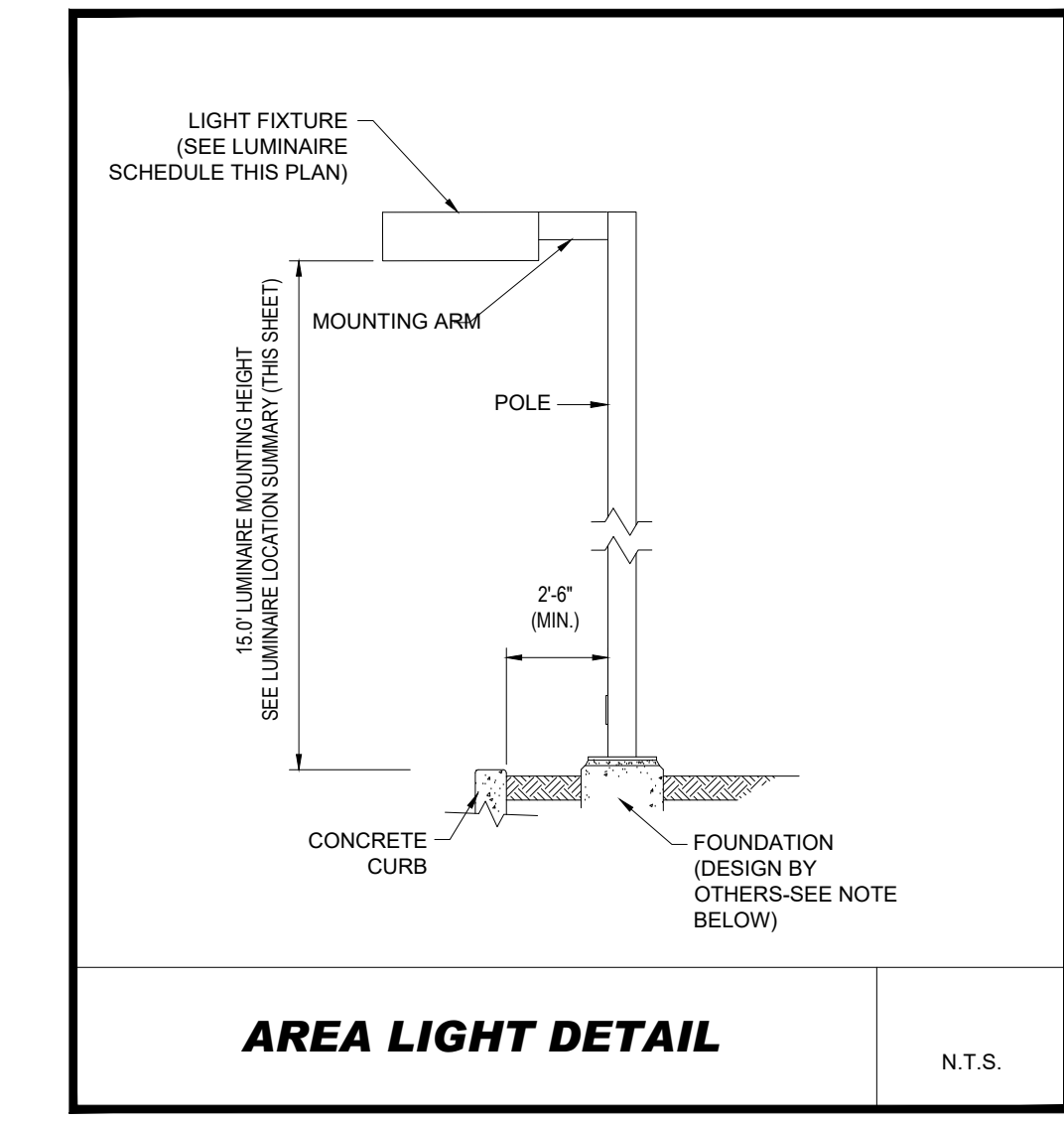


### LIGHTING NOTES

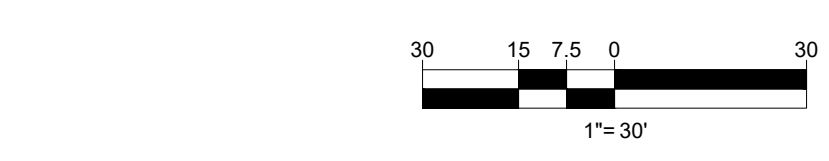
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDLES.
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING IF NECESSARY AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.

NUMERIC SUMMARY						
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN
FRONT PARKING	ILLUMINANCE	FC	1.66	3.8	0.2	8.30
						19.00

LUMINAIRE SCHEDULE						
SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION	
□ A	13	SINGLE	17230	0.90	LSI LIGHTING FORWARD THROW LED AREA LIGHT WITH SHIELD MOUNTED @ 30° XGBM-FT-LED-SS-NW-HSS	



**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**



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PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
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REVISIONS			
REV	DATE	COMMENT	DRAWN BY

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PROJECT No.: W211057  
DRAWN BY: NPD  
CHECKED BY: RMM  
DATE: 02/01/2022  
CAD ID: W211057-CVL-0 - USE

**PROPOSED SITE PLAN DOCUMENTS**

FOR

**TMC HOLDINGS & DEVELOPMENT 2, LLC**

PROPOSED INDUSTRIAL DEVELOPMENT  
UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
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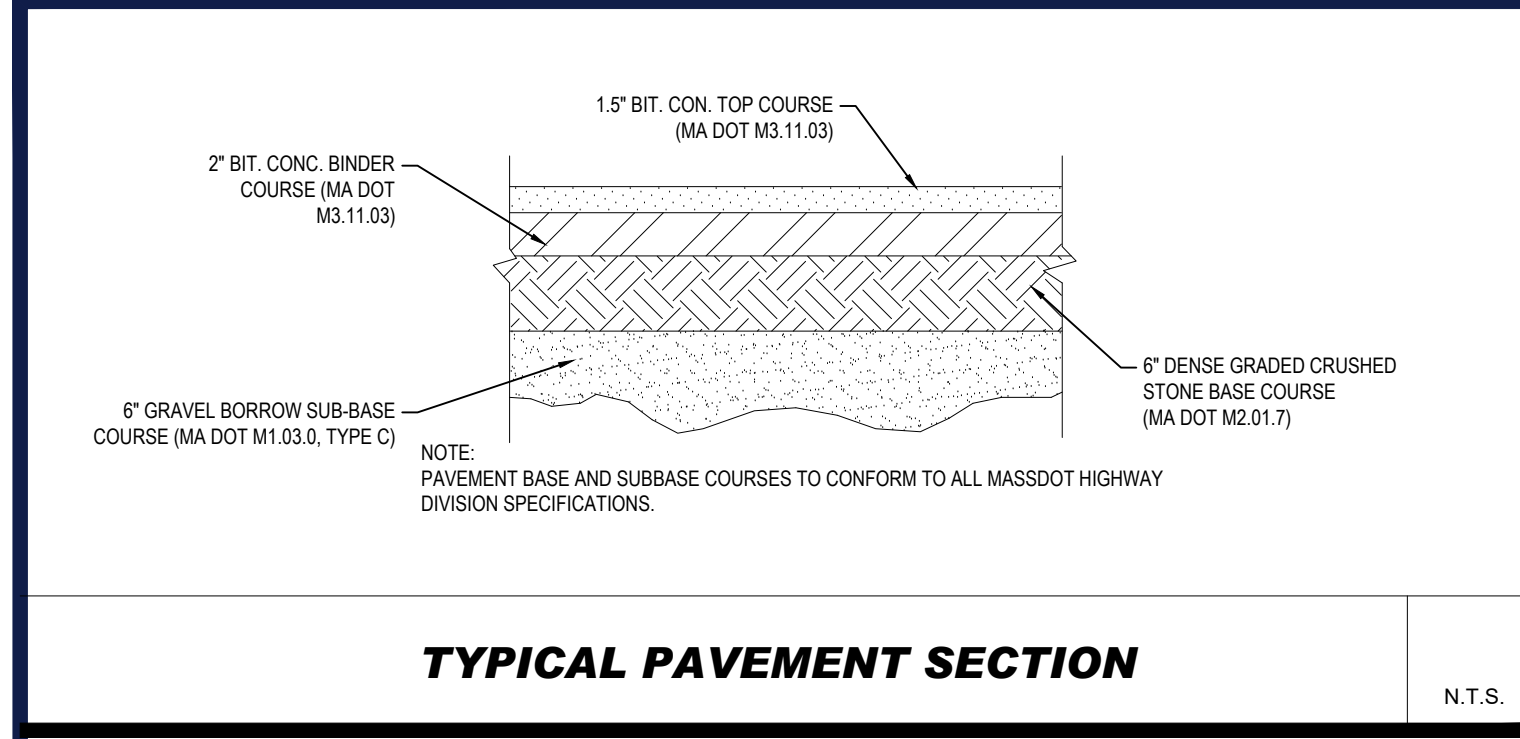


SHEET TITLE:  
**LIGHTING PLAN**

SHEET NUMBER:  
**C-703**

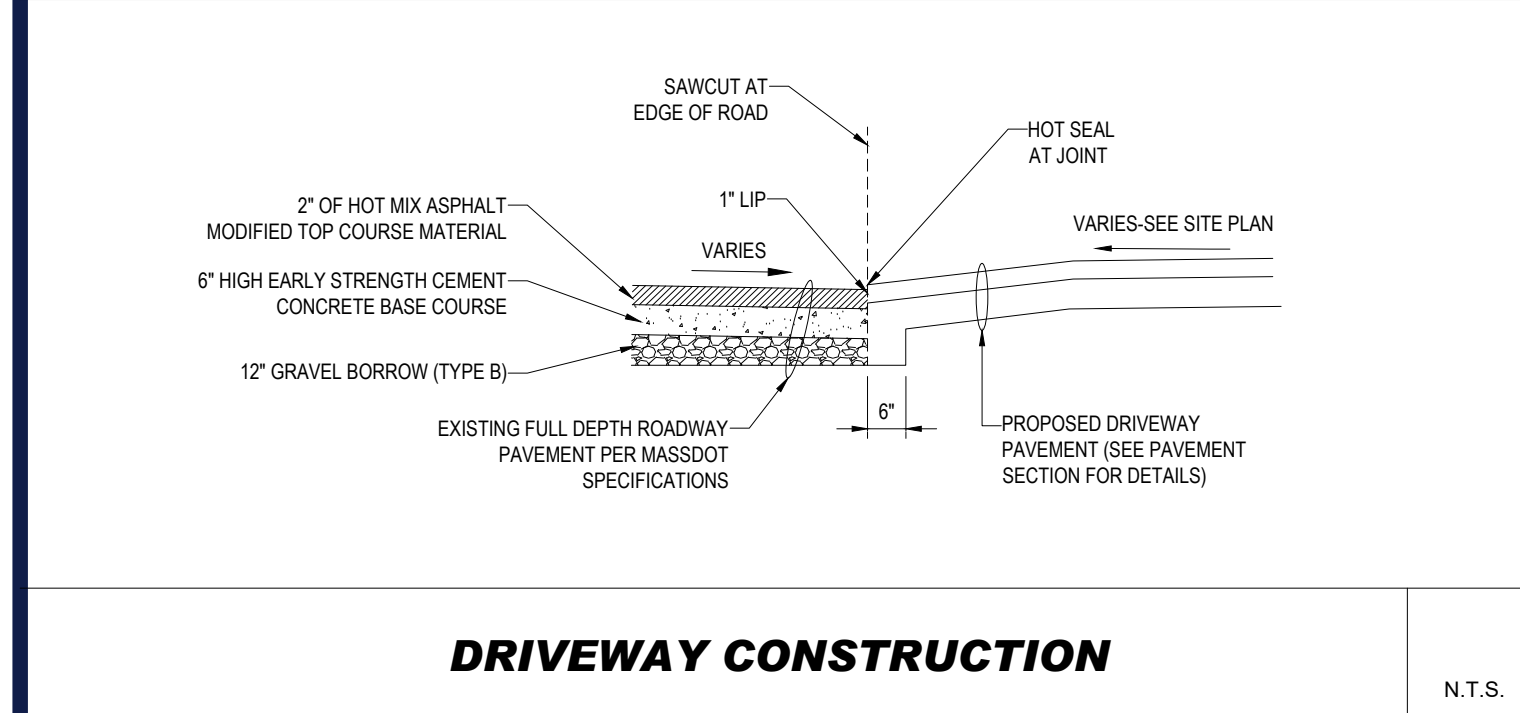
ORG. DATE - 02/01/2022

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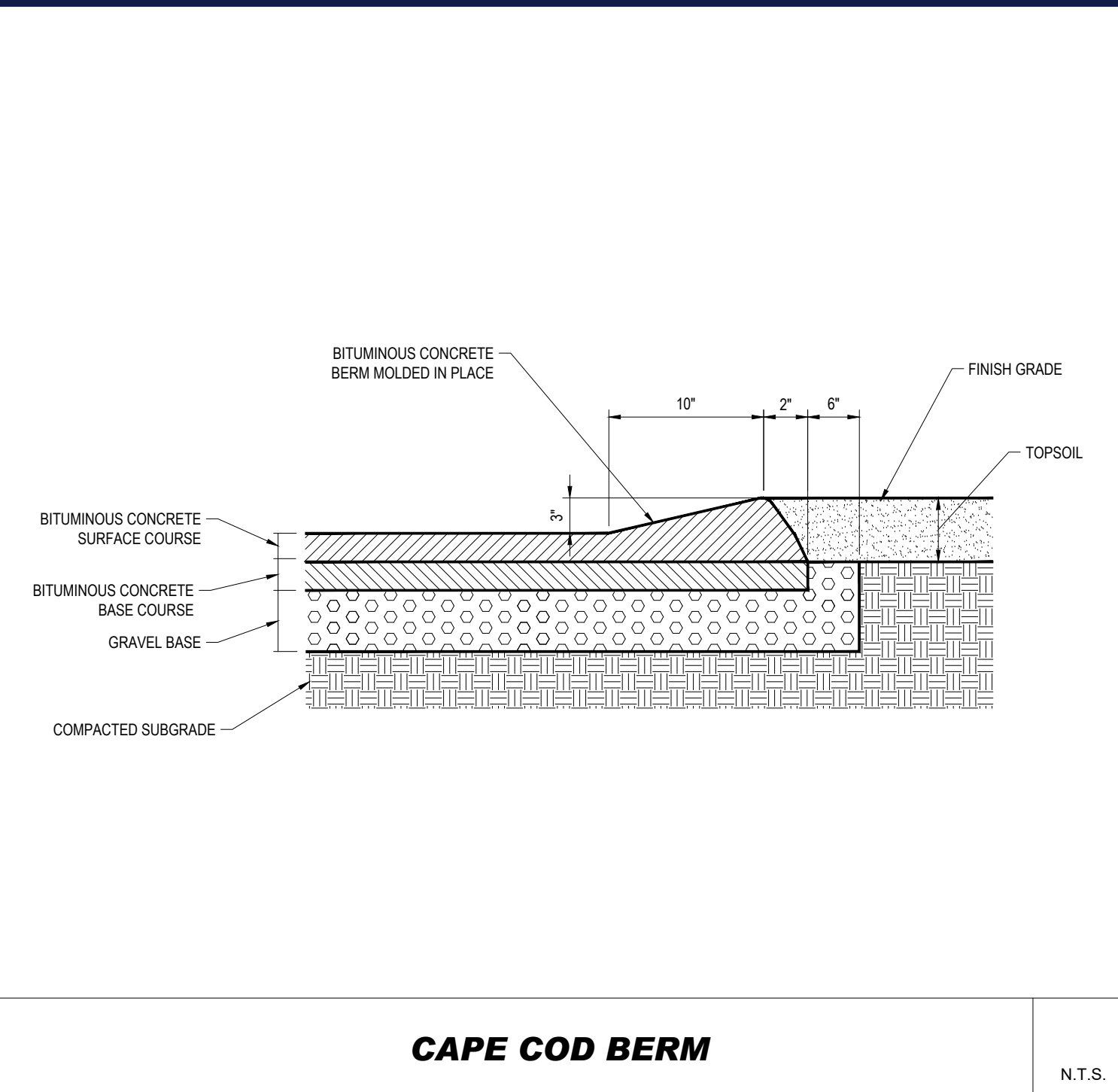
**TYPICAL PAVEMENT SECTION**

N.T.S.



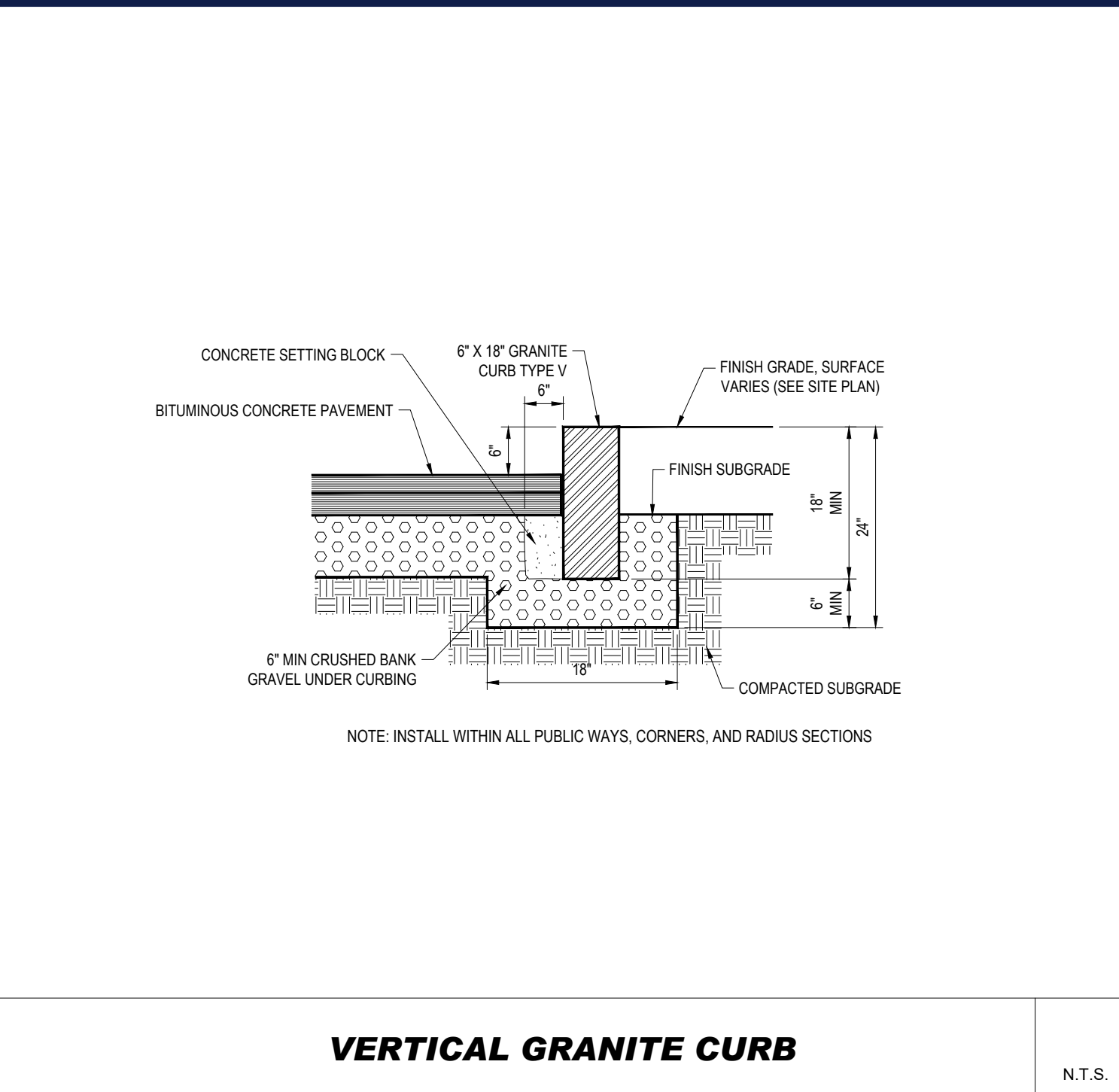
**DRIVEWAY CONSTRUCTION**

N.T.S.



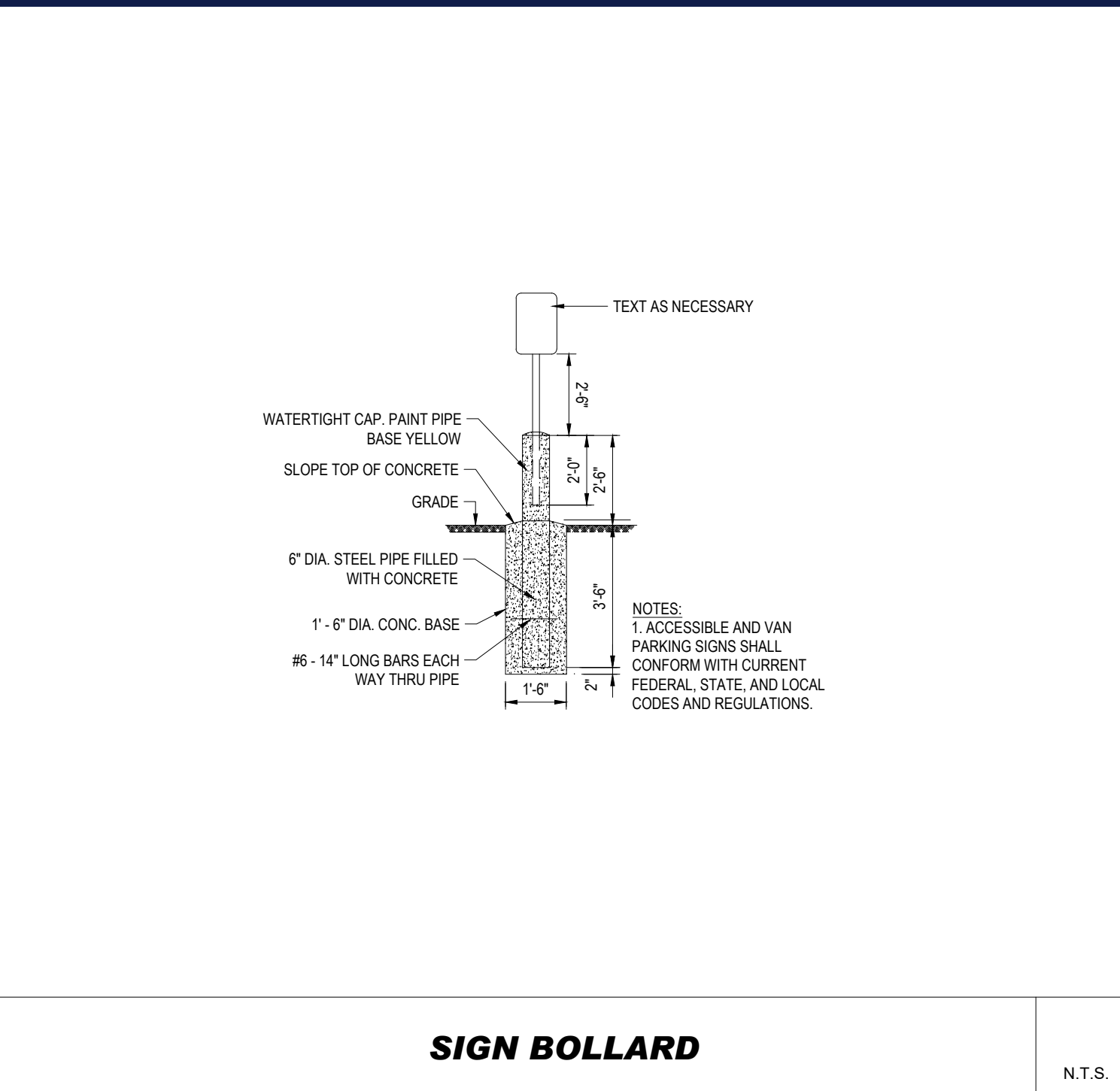
**CAPE COD BERM**

N.T.S.



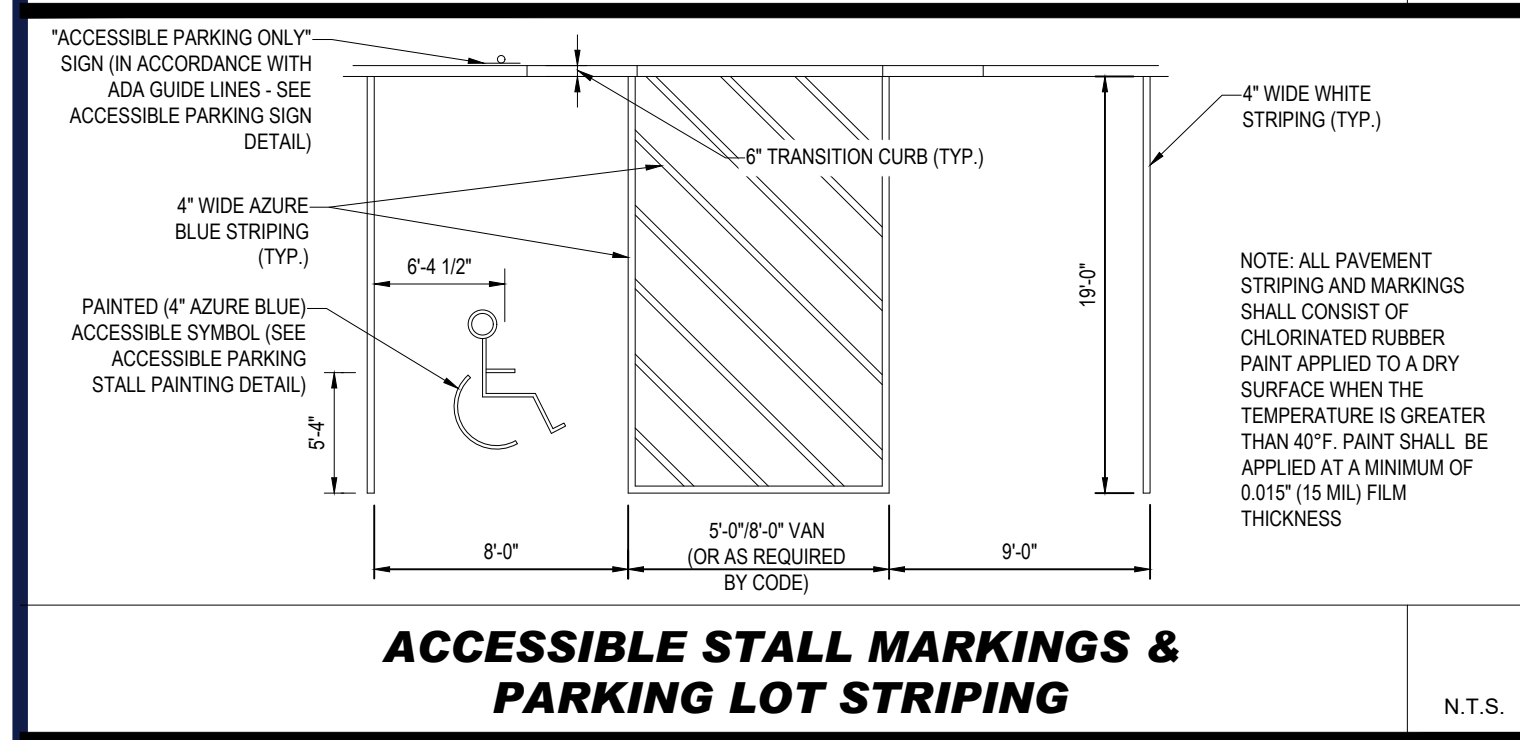
**VERTICAL GRANITE CURB**

N.T.S.



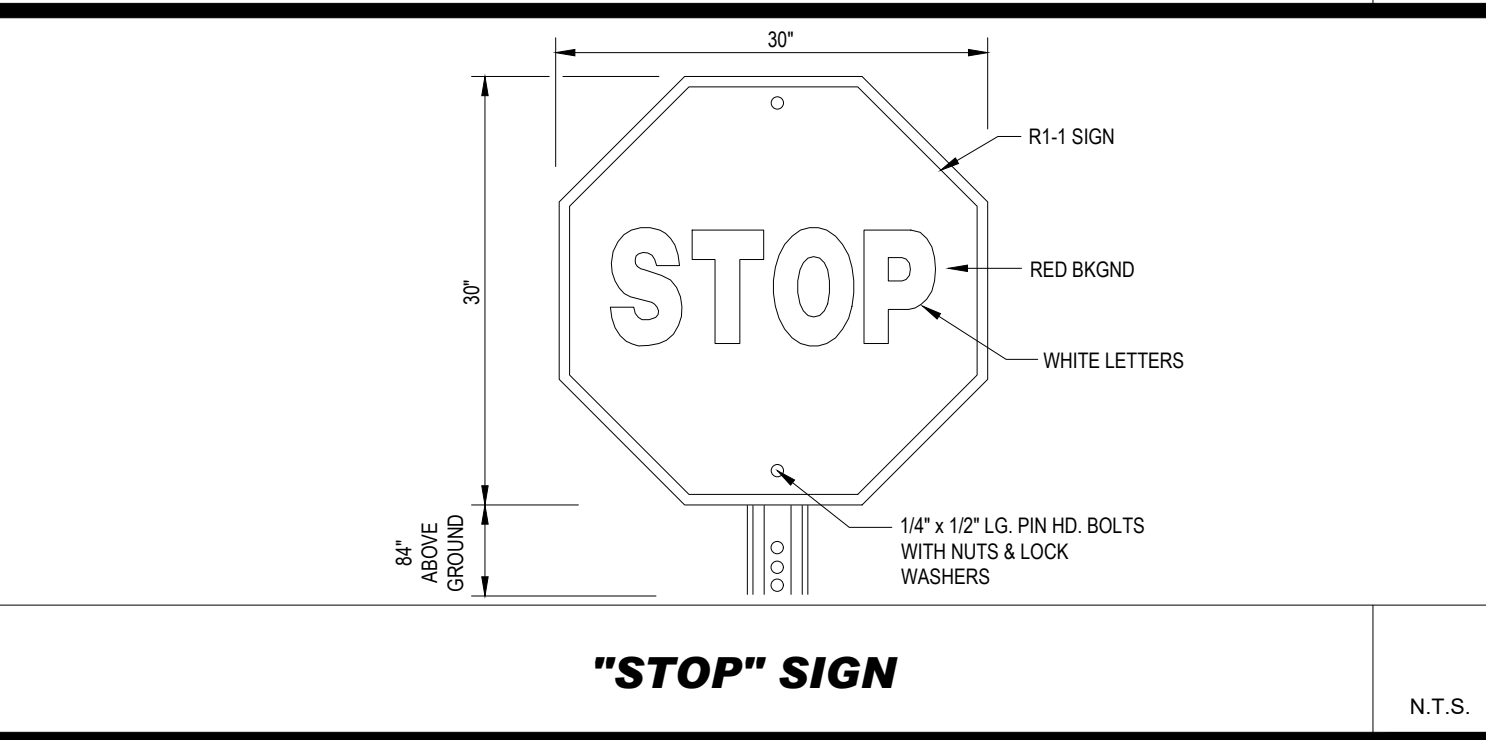
**SIGN BOLLARD**

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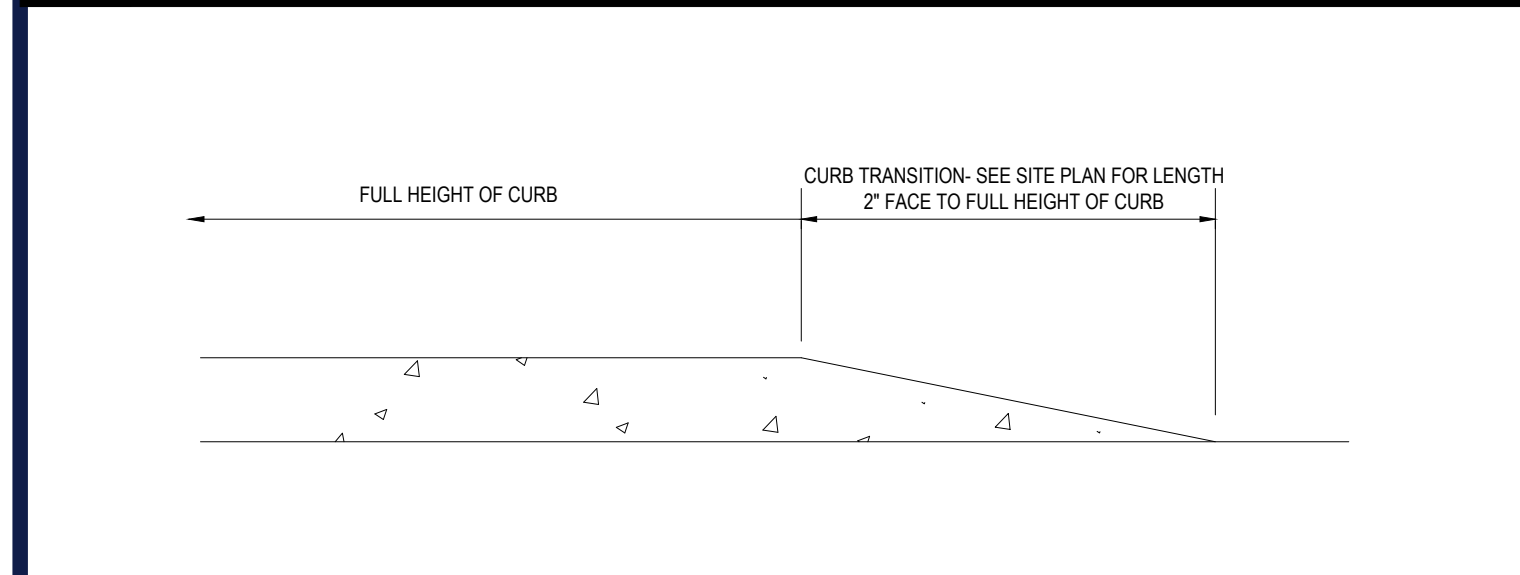
**ACCESSIBLE STALL MARKINGS & PARKING LOT STRIPING**

N.T.S.



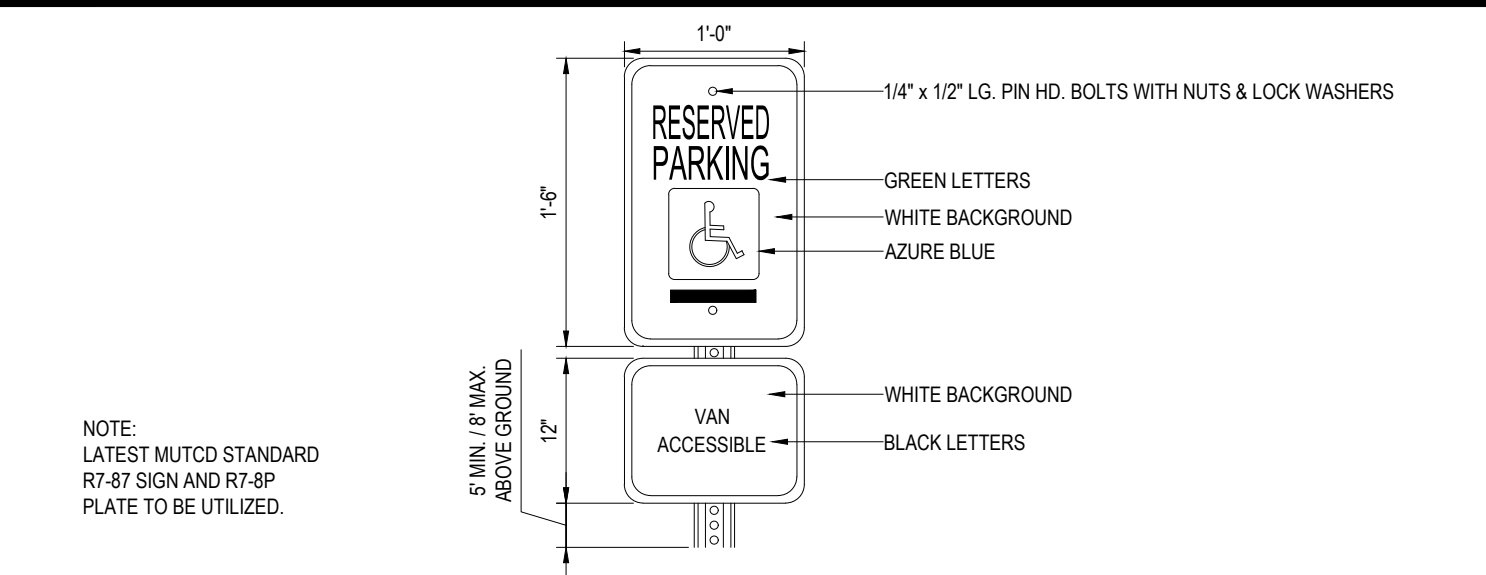
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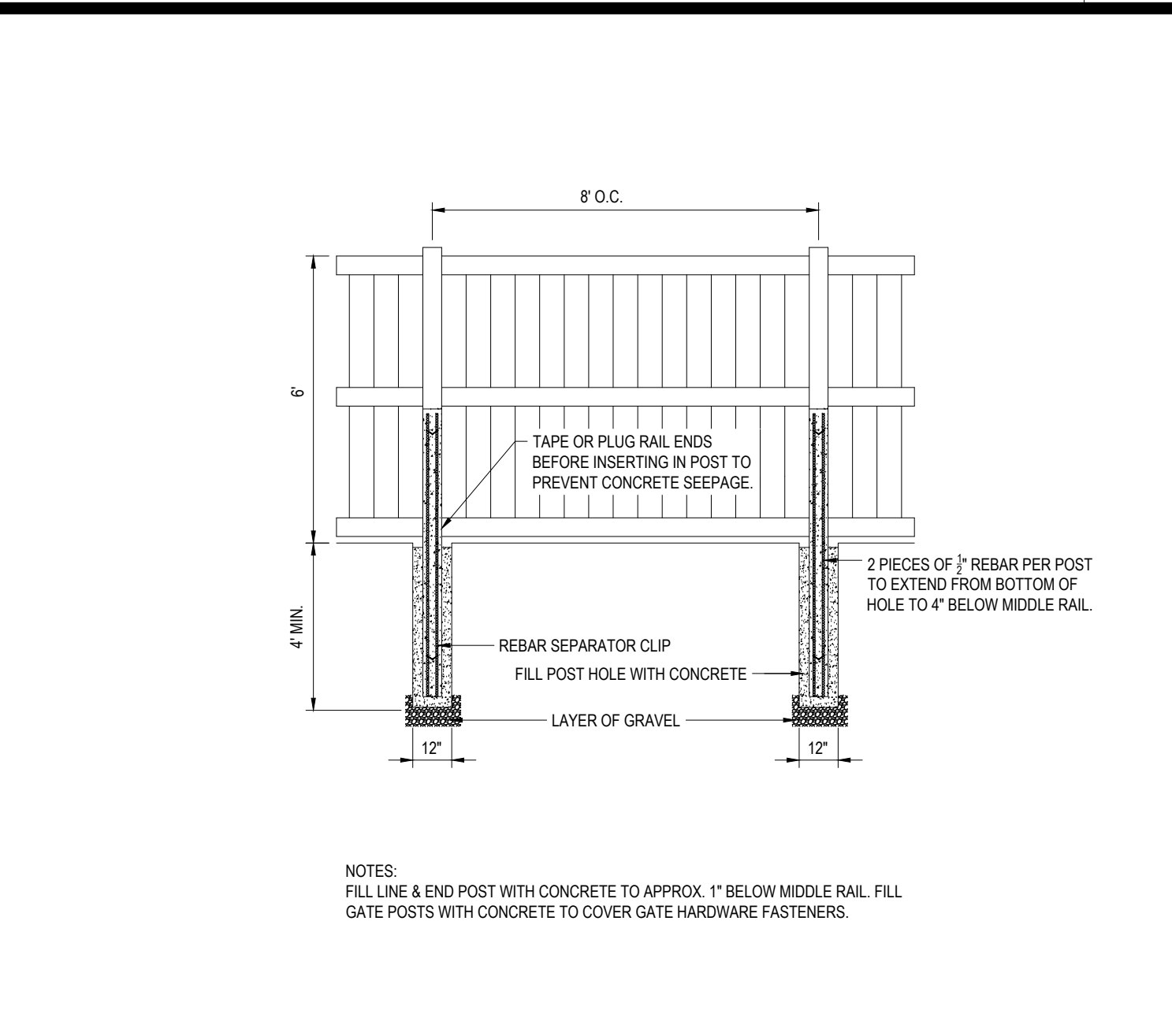
**TRANSITION CURB**

N.T.S.



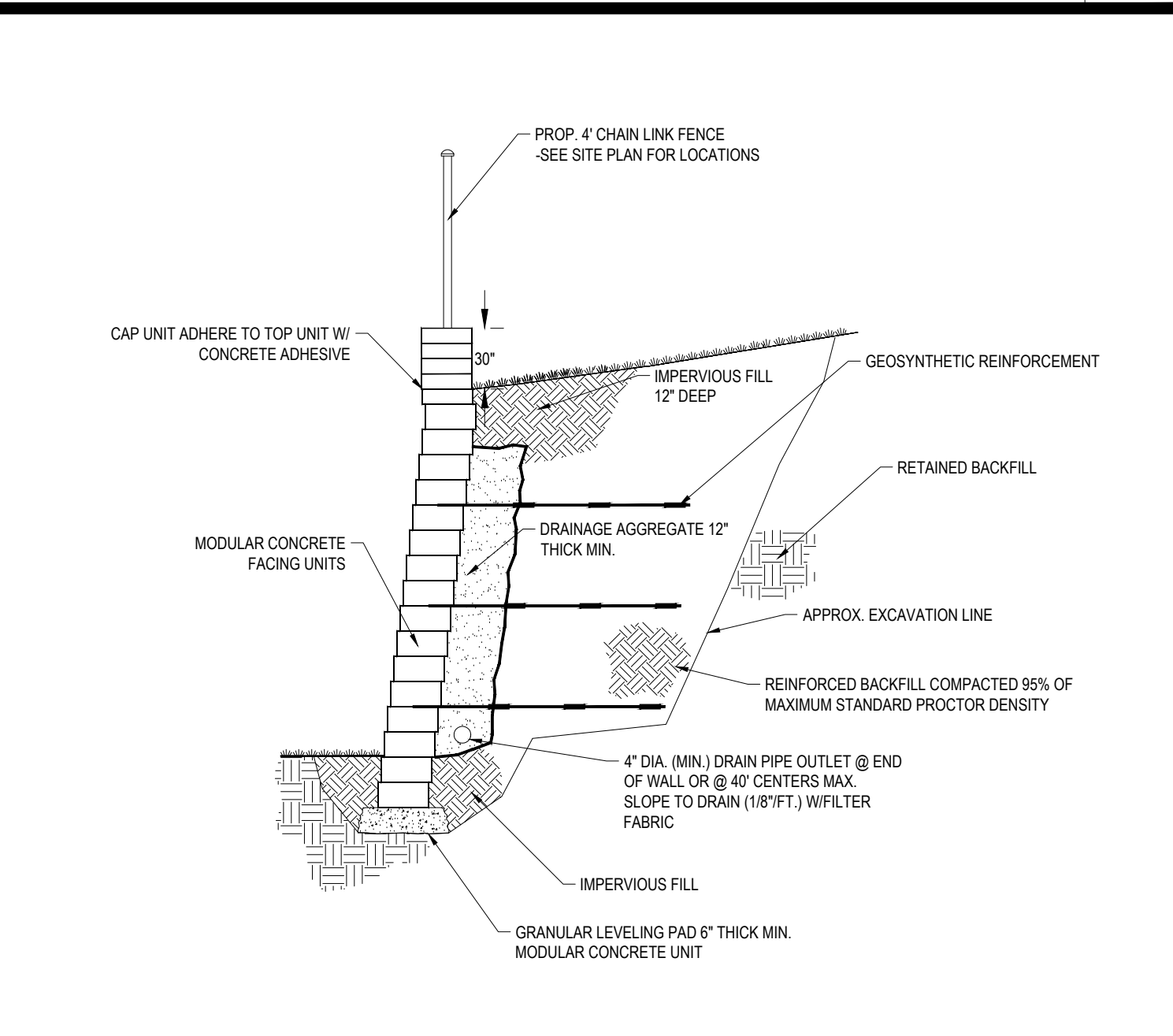
**ACCESSIBLE PARKING SIGN**

N.T.S.



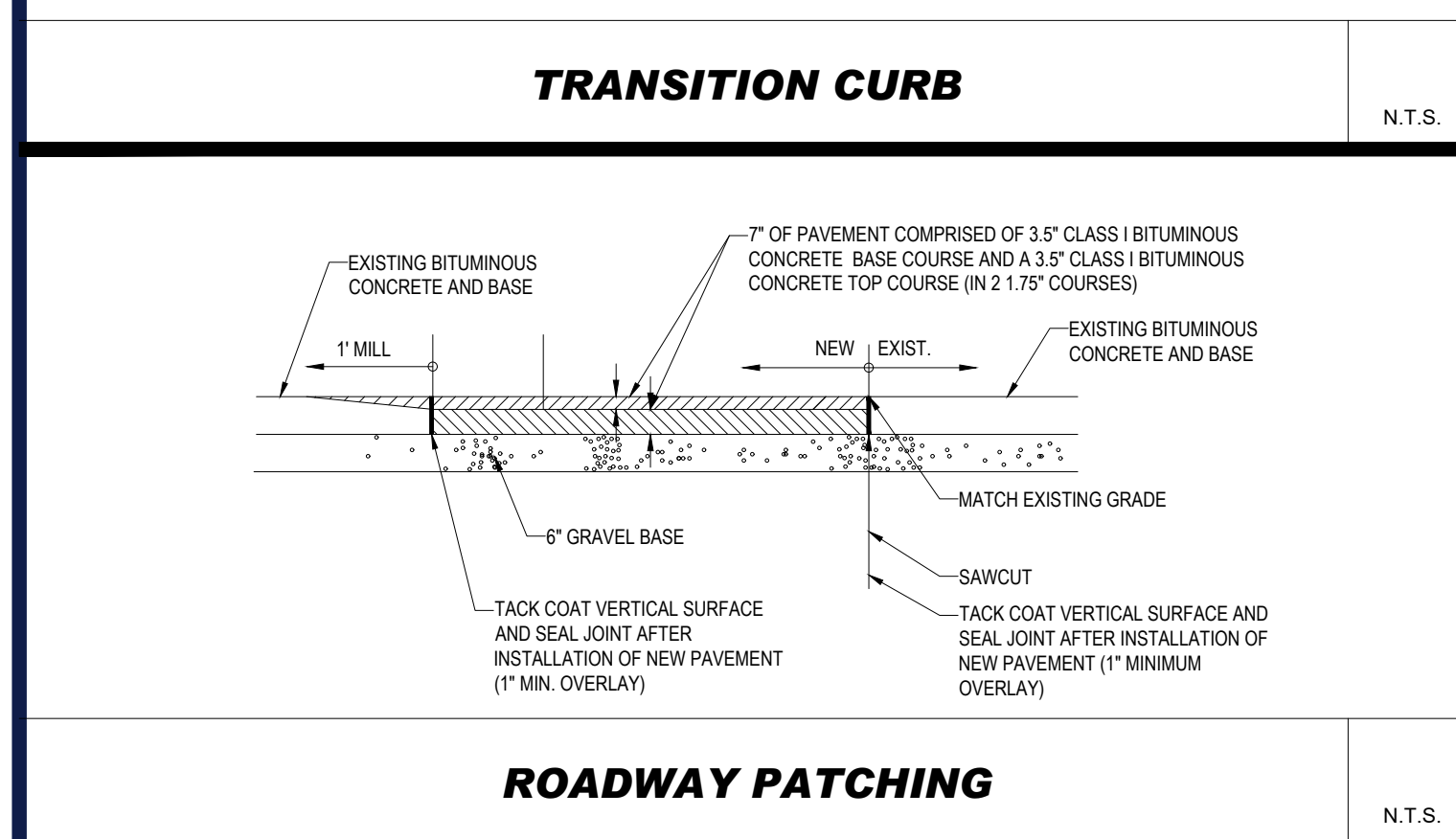
**VINYL FENCE**

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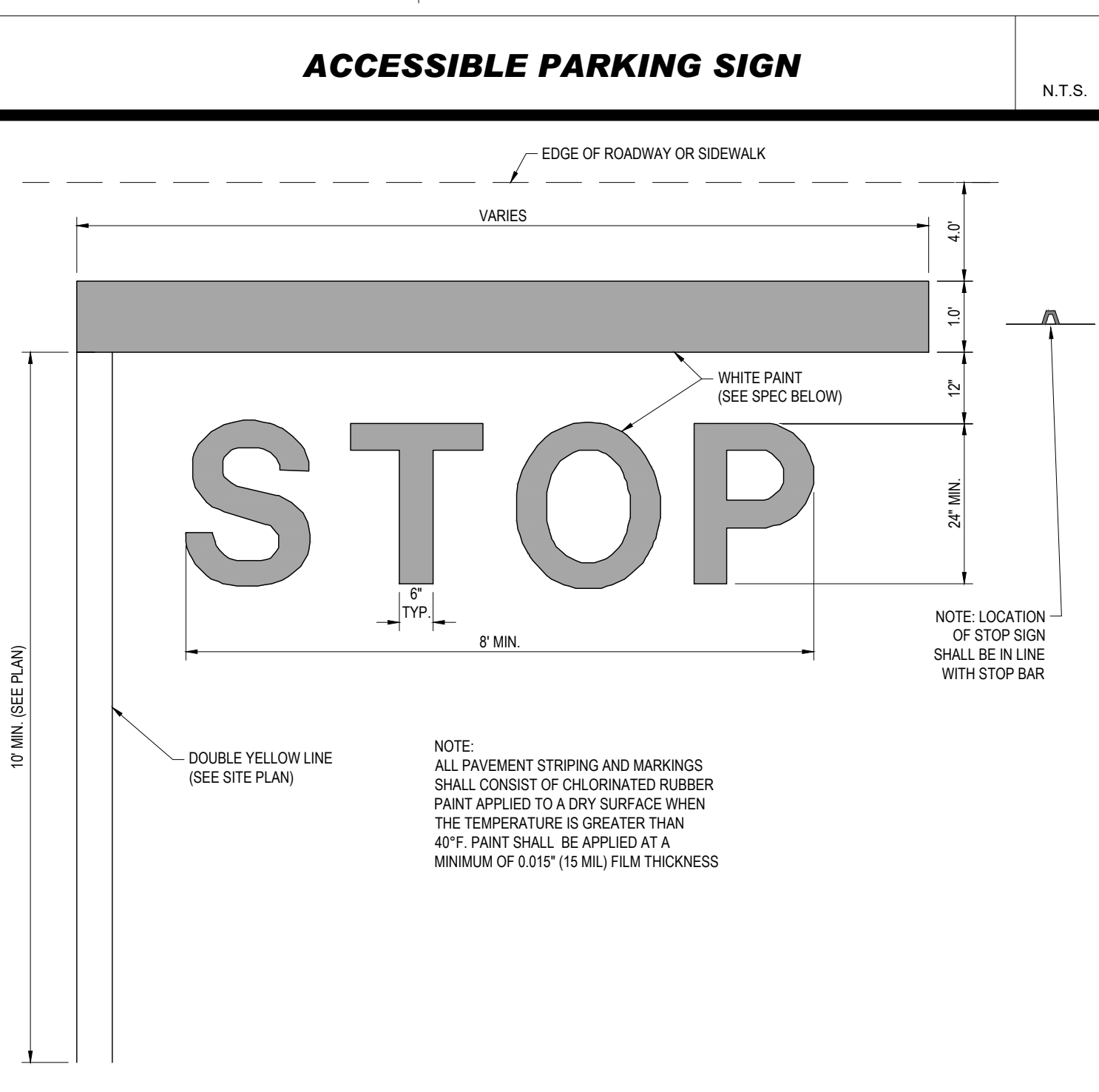
**RETAINING WALL**

N.T.S.



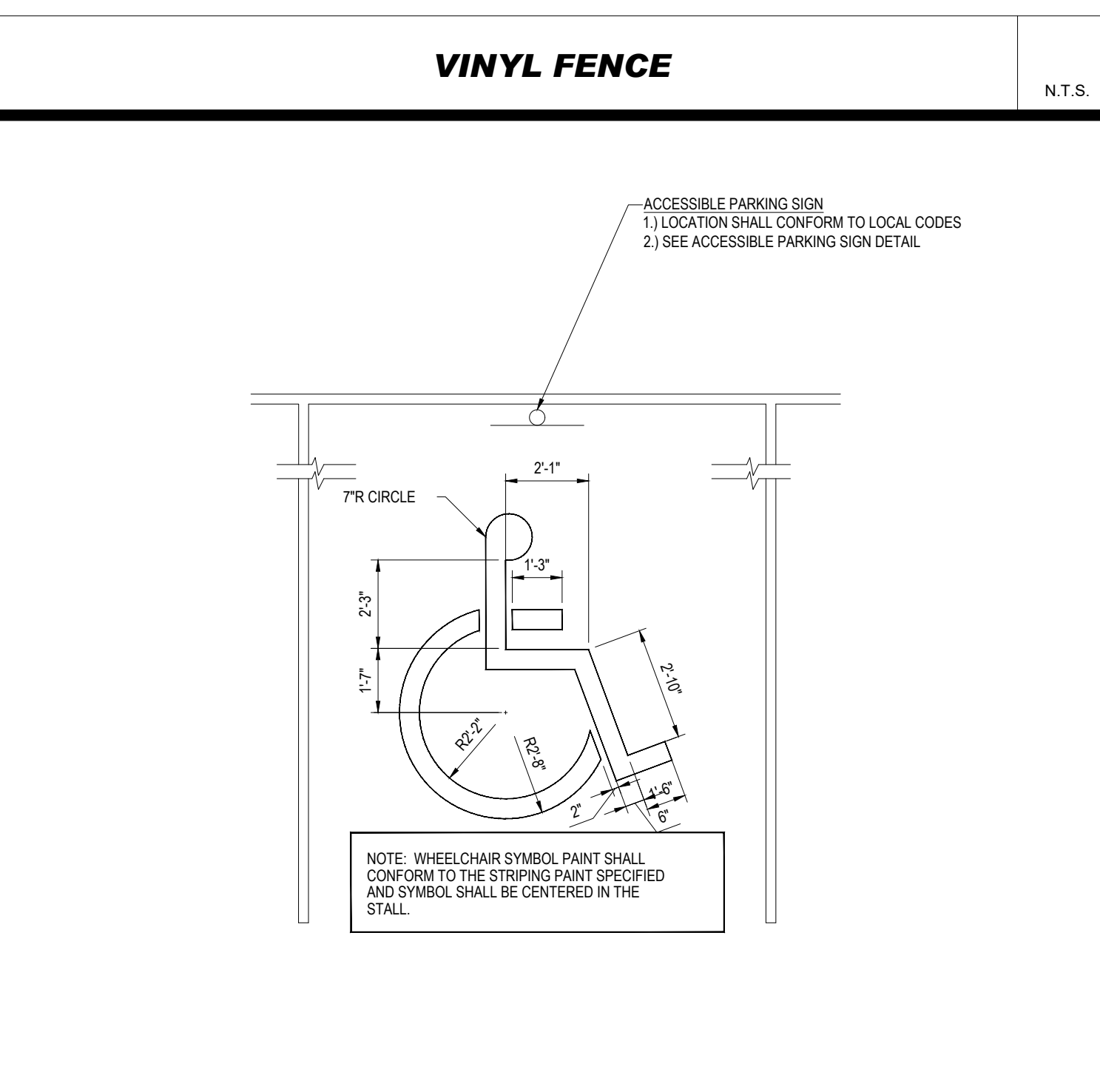
**ROADWAY PATCHING**

N.T.S.



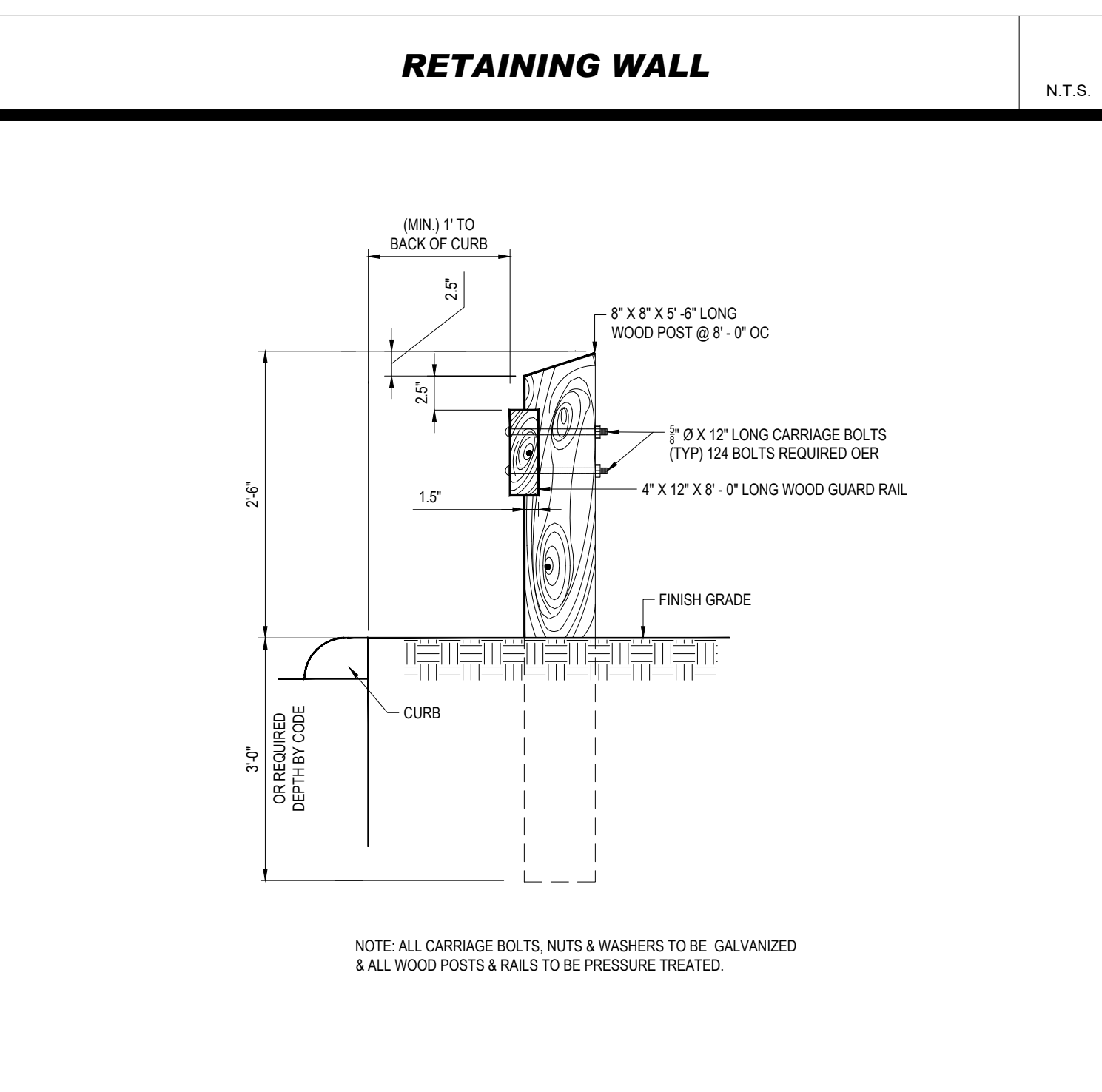
**\"/>**

N.T.S.



**ACCESSIBLE PARKING STALL PAINTING**

N.T.S.



**WOOD GUIDERAIL**

N.T.S.

**BOHLER**  
 SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM MANAGEMENT  
 LANDSCAPE ARCHITECTURE  
 SUSTAINABLE DESIGN  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT No.: W211057  
 NPD  
 DRAWN BY: RMM  
 CHECKED BY: 02/01/2022  
 DATE:  
 CAD ID.: W211057-CVL-0 - USE

**PROPOSED SITE PLAN DOCUMENTS**

FOR

**TMC HOLDINGS & DEVELOPMENT 2, LLC**

PROPOSED INDUSTRIAL DEVELOPMENT  
 UNION STREET BUSINESS PARK II  
 MAP #314, BLOCK #20, LOT #1  
 839 UPPER UNION STREET  
 CITY OF FRANKLIN  
 NORFOLK COUNTY, MA

**BOHLER**

352 TURNPIKE ROAD  
 SOUTHBOROUGH, MA 01772  
 Phone: (508) 480-9900  
 www.BohlerEngineering.com

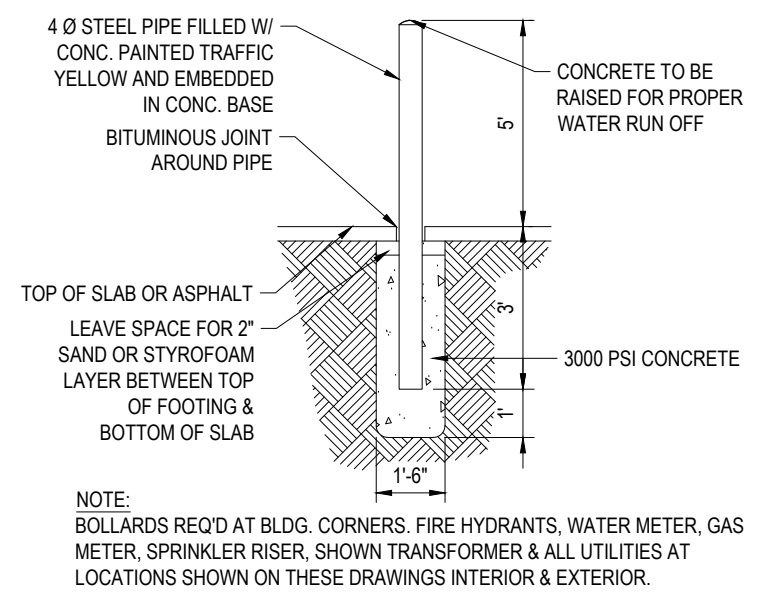
MASSACHUSETTS PROFESSIONAL ENGINEER  
 CIVIL  
 No. 41697  
 REGISTERED

SHEET TITLE:  
**DETAIL SHEET**

SHEET NUMBER:  
**C-901**

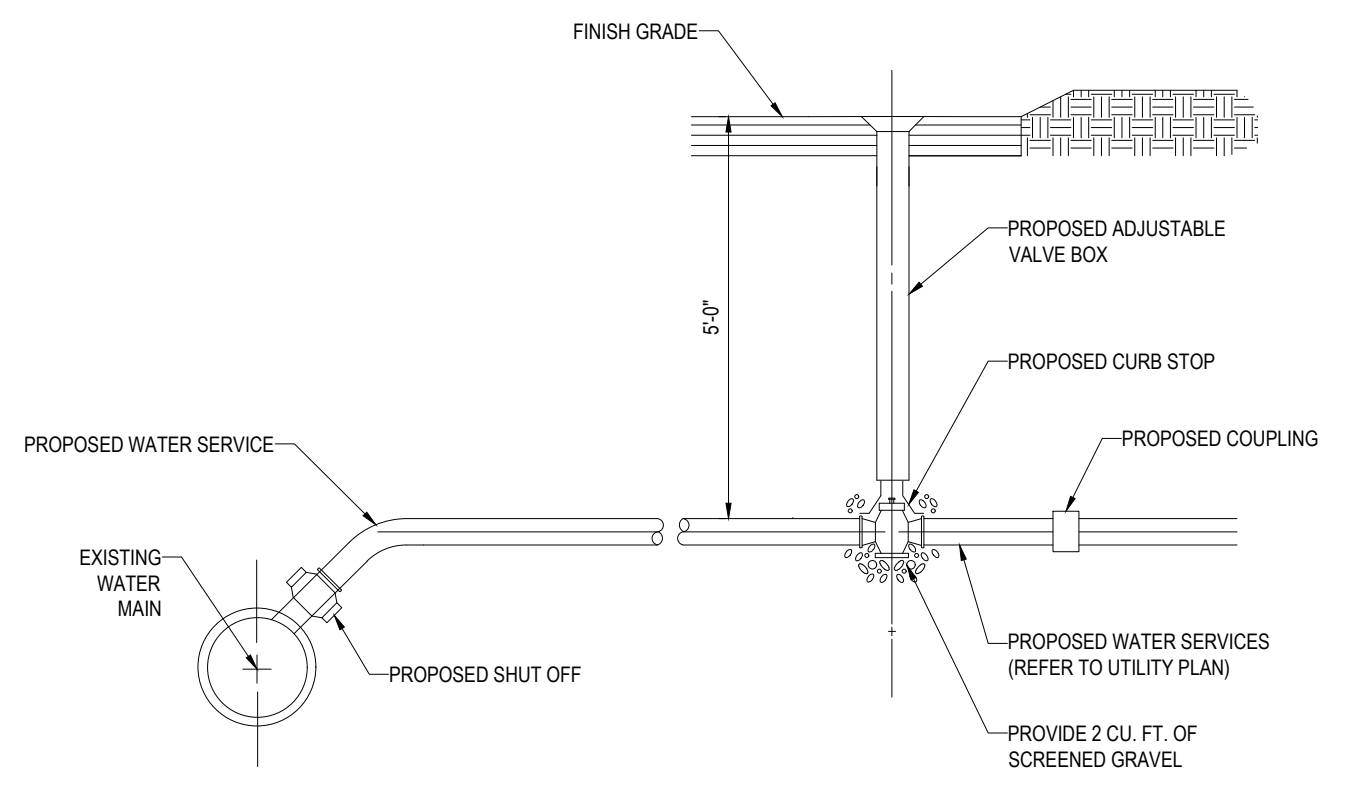
ORG. DATE - 02/01/2022

I:\BOHLER\ENG\NET\SHARES\MA\PROJECTS\21\W211057\DRAWINGS\PLAN SET\REV\W211057-CVL-0 - USE - LAYOUT - C-901-BETL



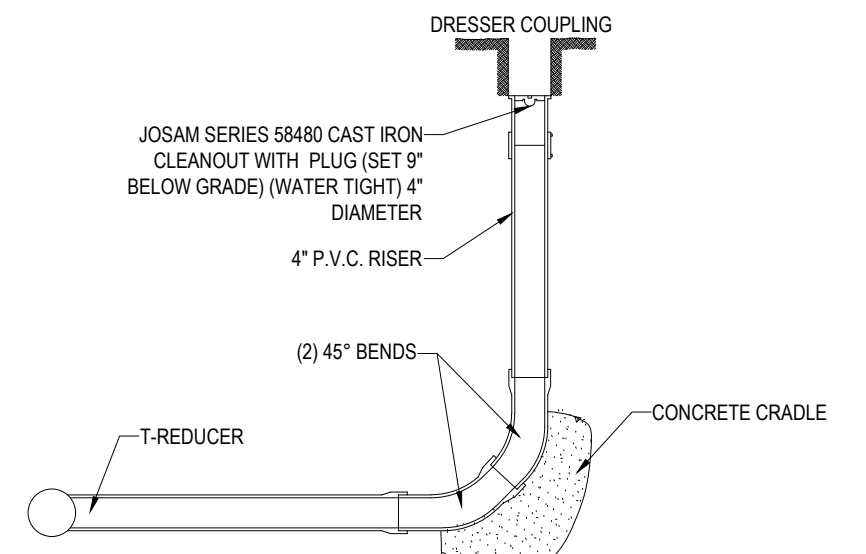
**BOLLARD**

N.T.S.



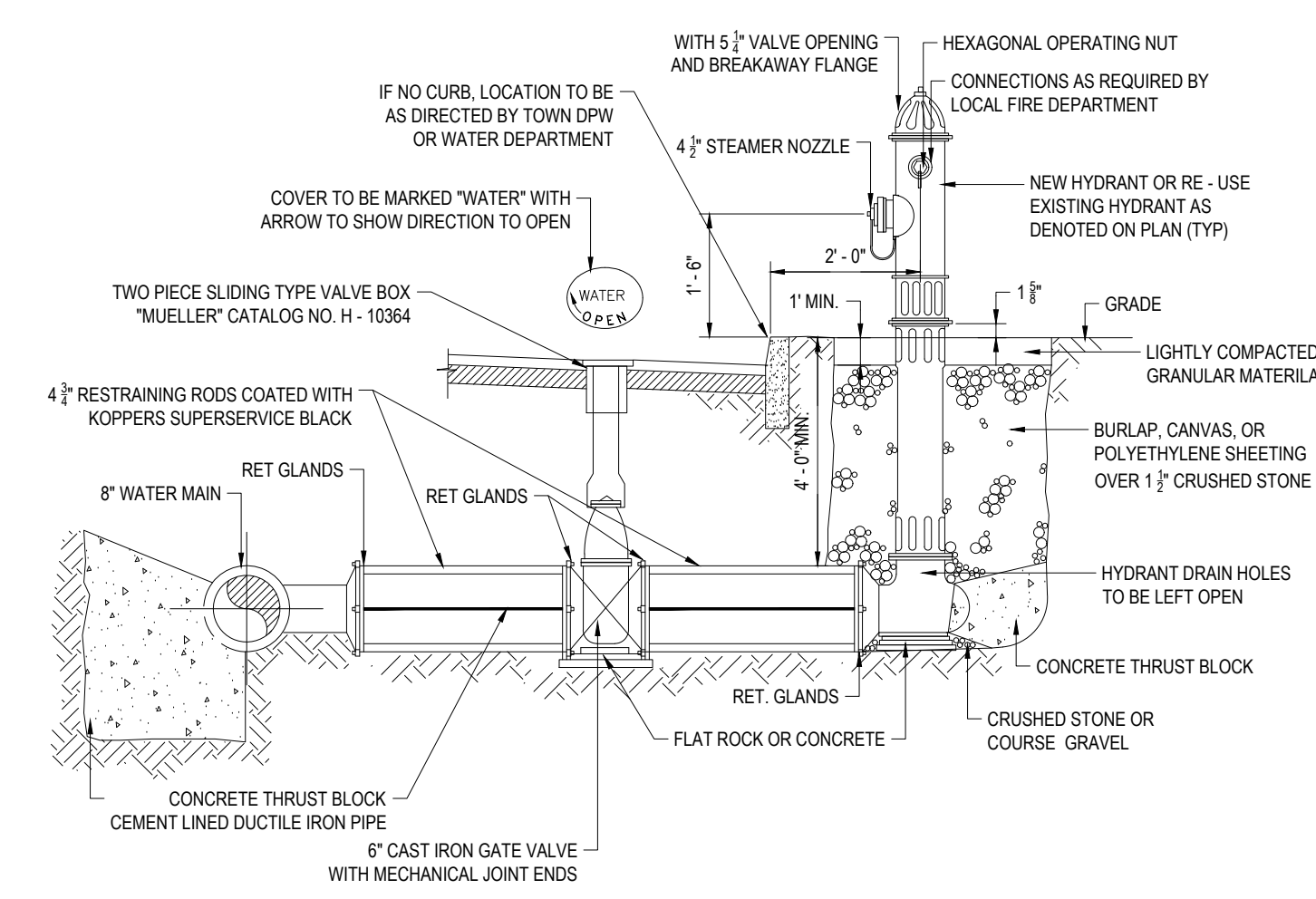
**WATER SERVICE CONNECTION**

N.T.S.



**CLEANOUT**

N.T.S.



**HYDRANT AND VALVE INSTALLATION**

N.T.S.

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT No.: W211057  
DRAWN BY: NPD  
CHECKED BY: RMM  
DATE: 02/01/2022  
CAD LID: W211057-CVL-0 - USE

**PROPOSED SITE PLAN DOCUMENTS**

FOR

**TMC HOLDINGS & DEVELOPMENT 2, LLC**

PROPOSED INDUSTRIAL DEVELOPMENT

UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA

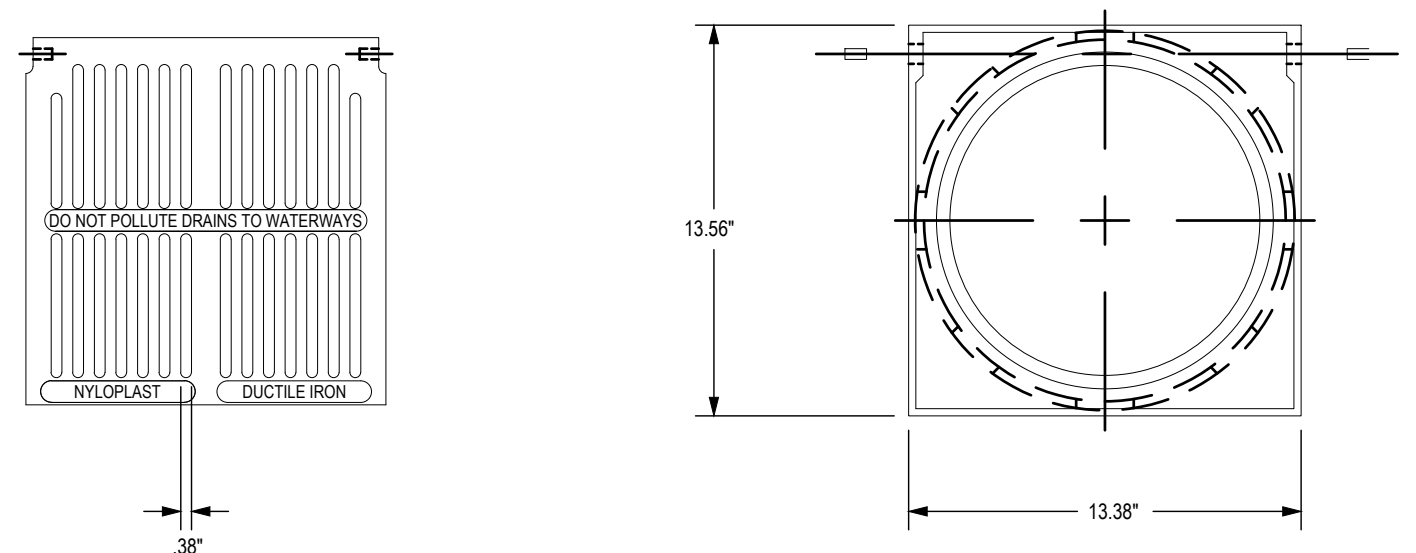
**BOHLER**

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**DETAIL SHEET**

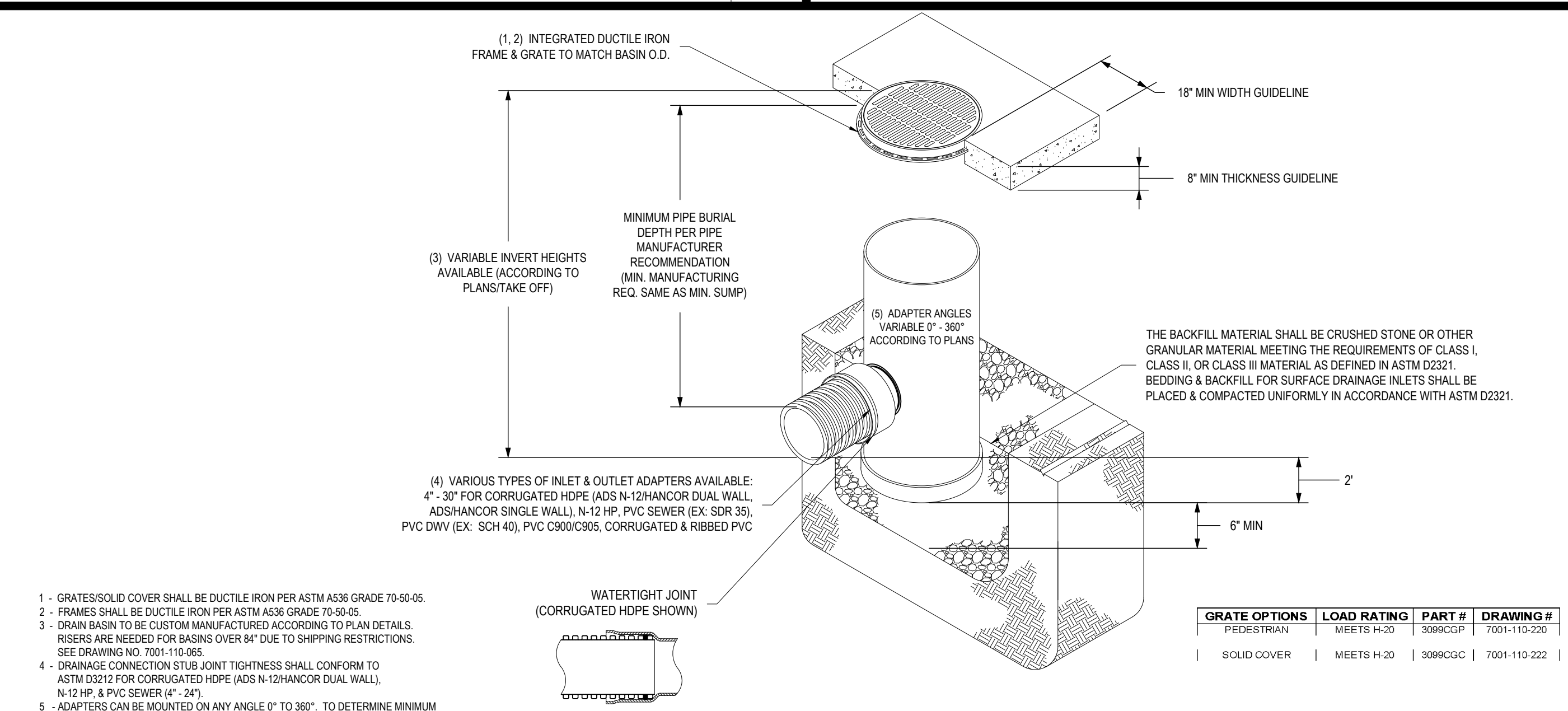
SHEET NUMBER:  
**C-902**

ORG. DATE - 02/01/2022



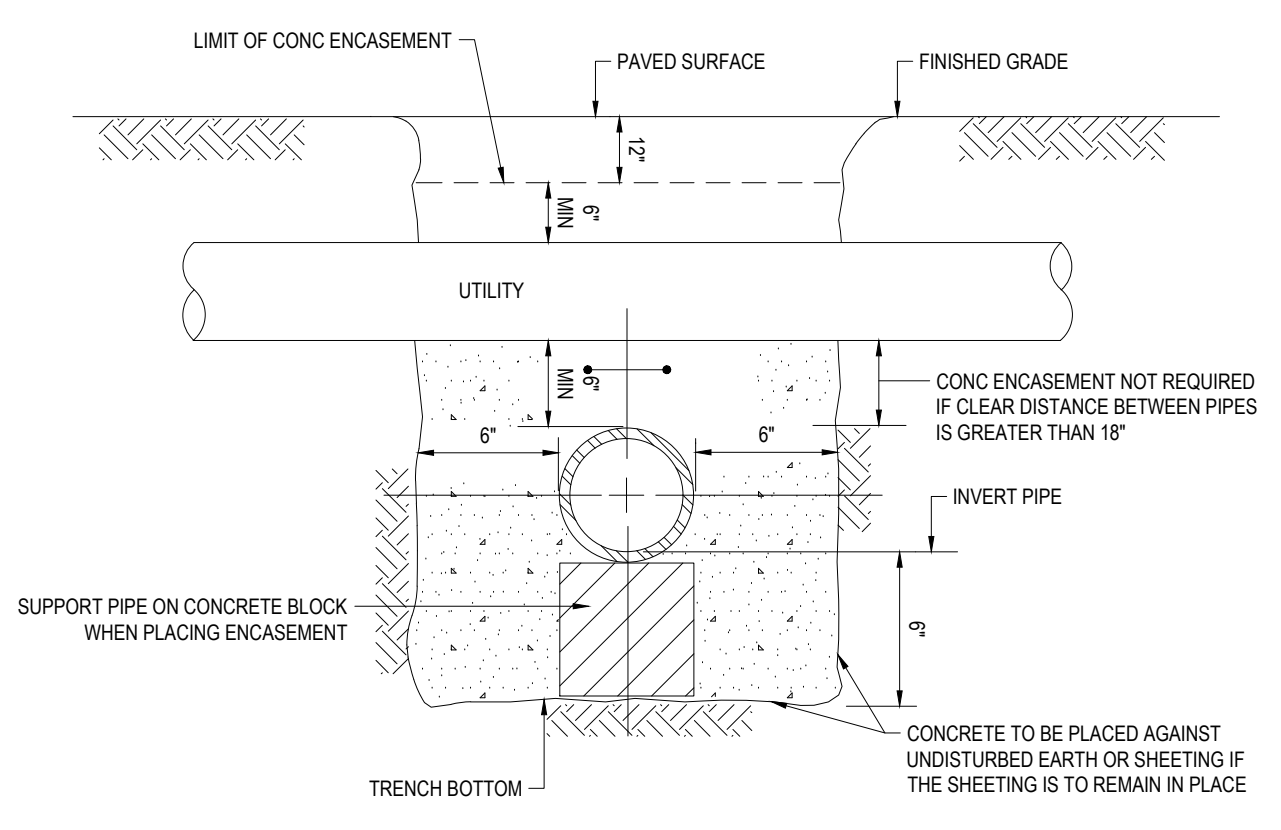
**NYOPLAST 12" LOCKING PEDESTRIAN GRATE**

N.T.S.



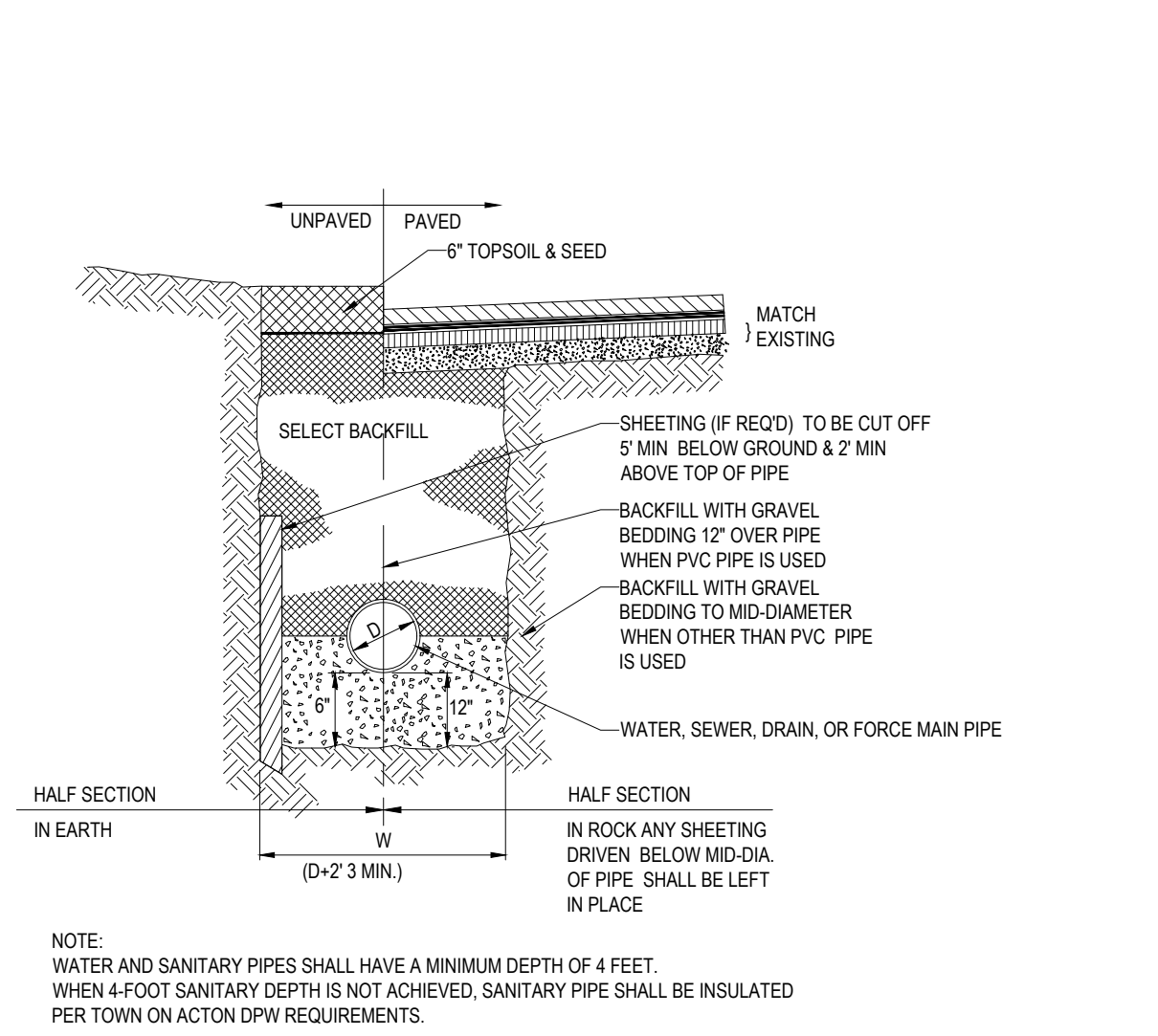
**NYOPLAST 12" DRAIN BASIN (AREA DRAIN)**

N.T.S.



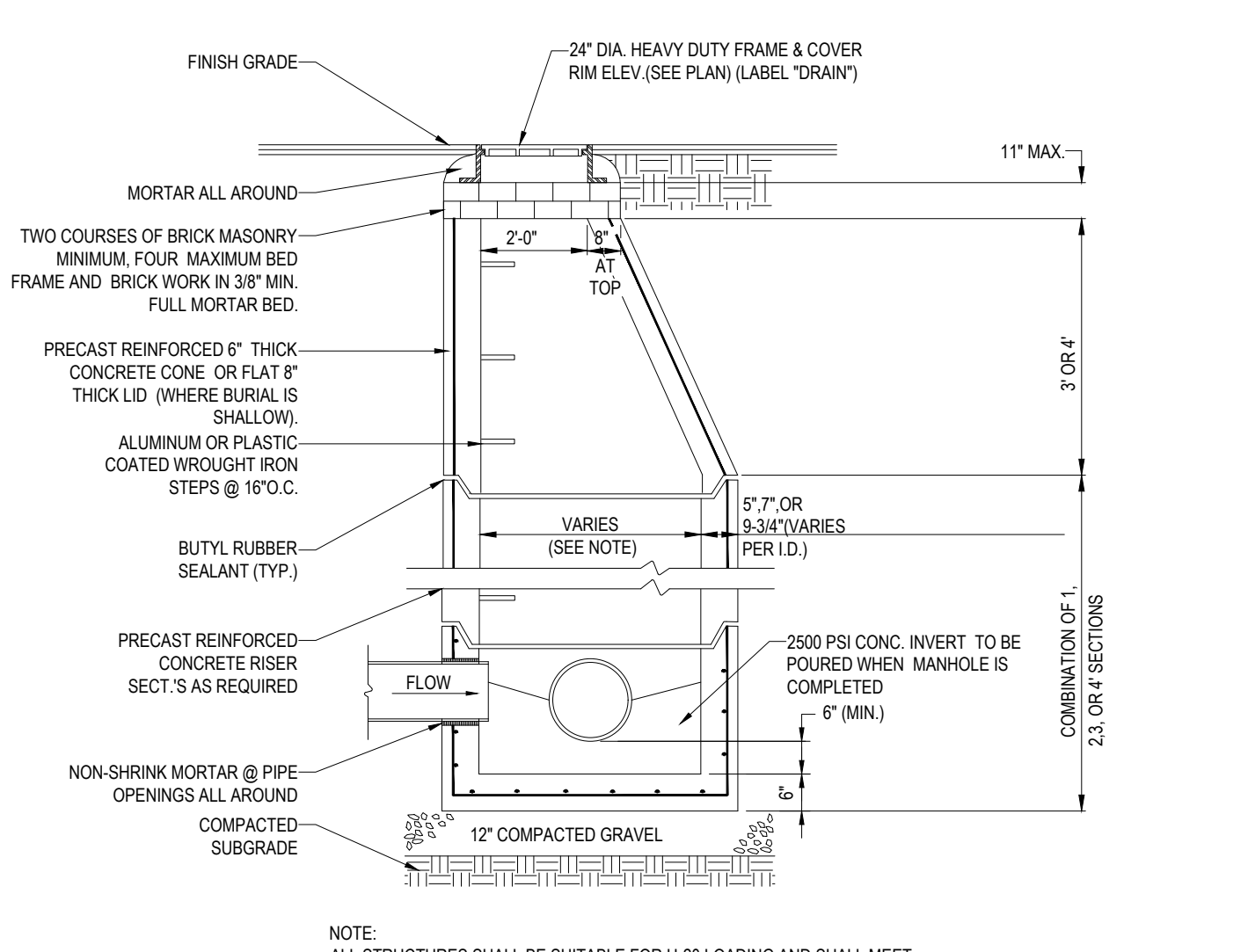
**CONCRETE ENCASEMENT AT UTILITY CROSSING**

N.T.S.



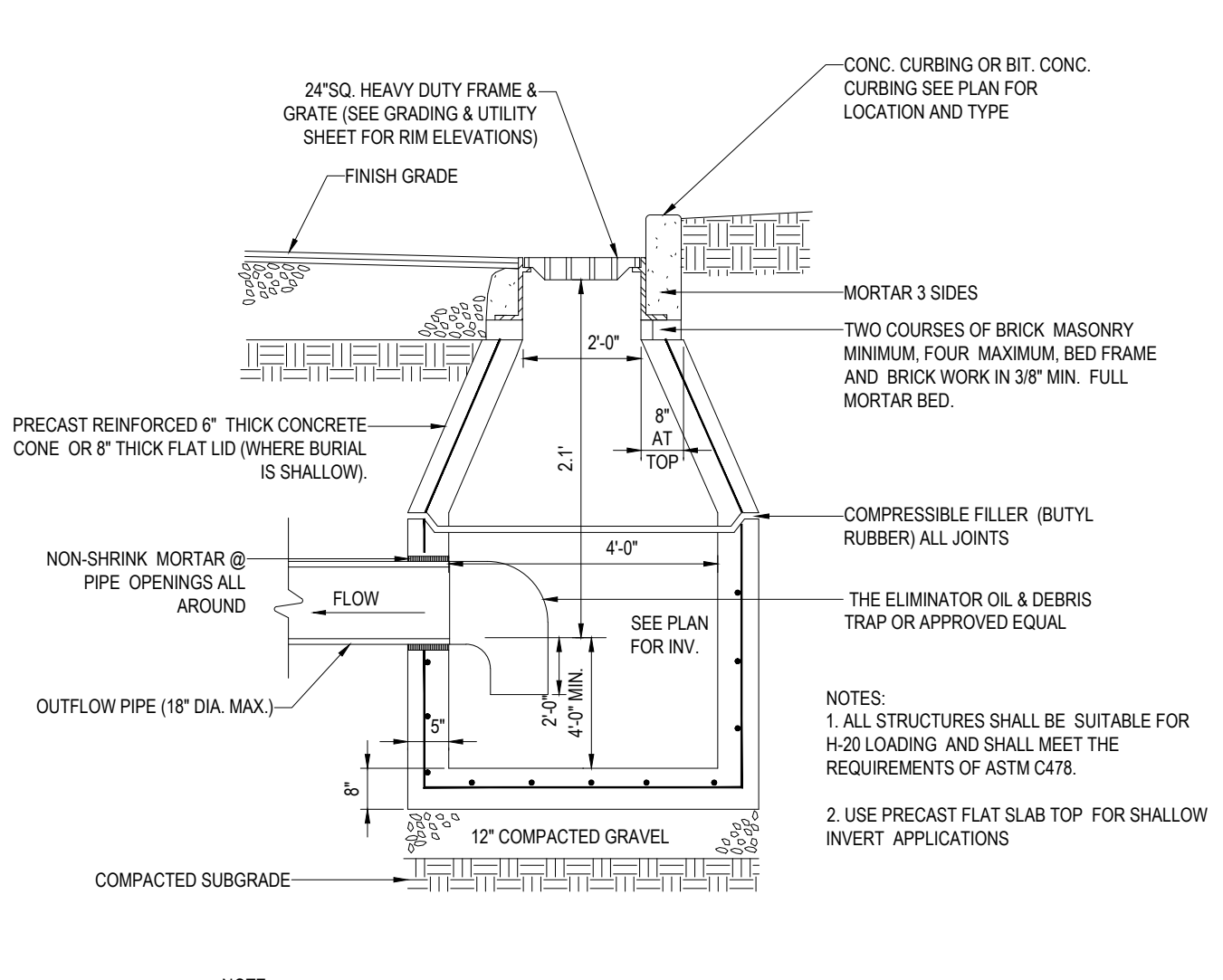
**TYPICAL UTILITY TRENCH**

N.T.S.



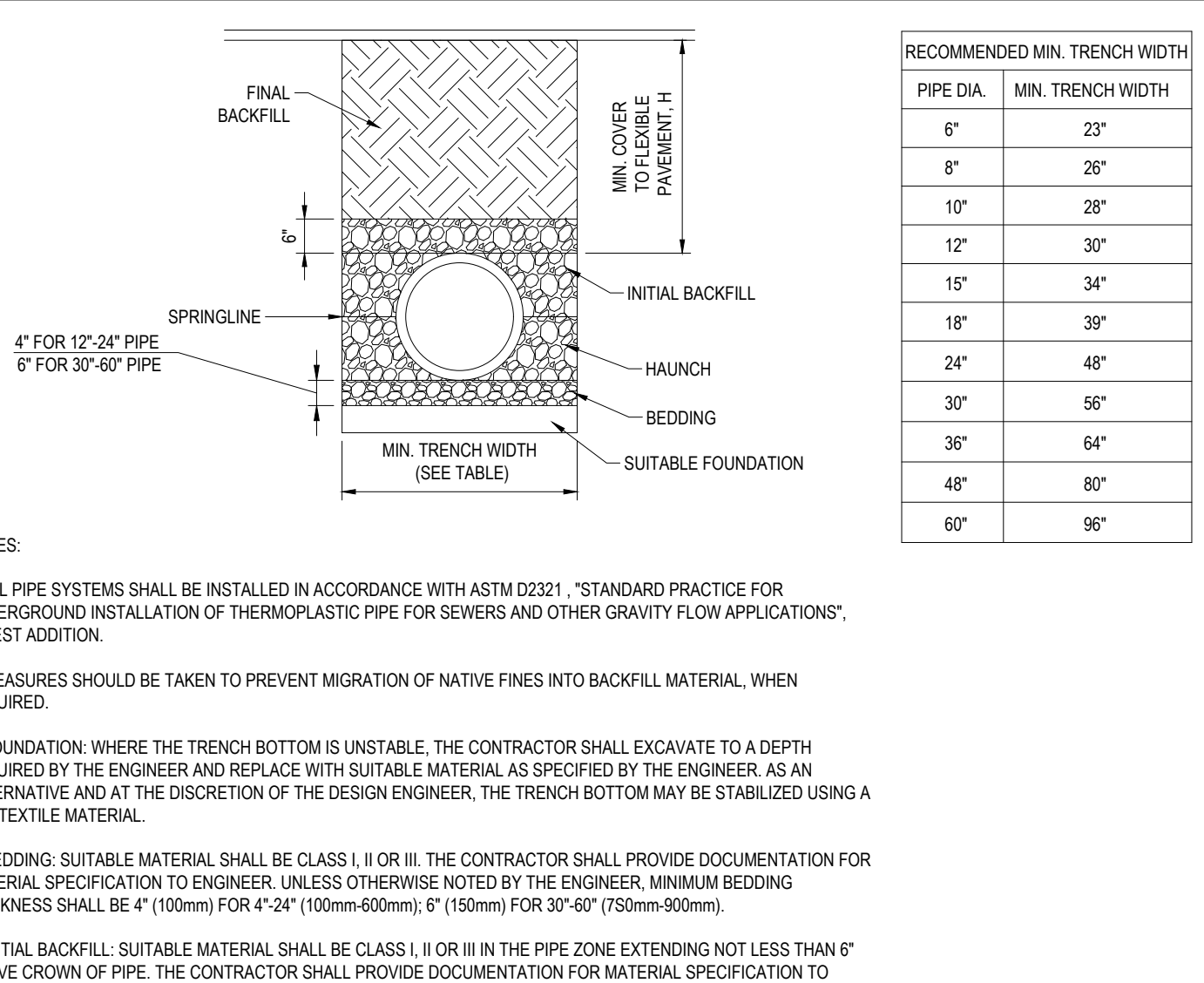
**PRECAST CONCRETE DRAIN MANHOLE**

N.T.S.



**PRECAST CONCRETE DEEP SUMP CATCH BASIN**

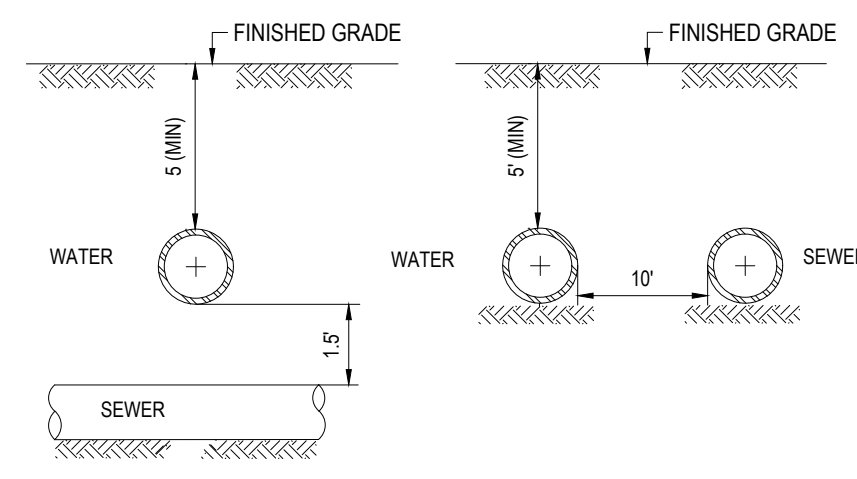
N.T.S.



**HDPE STORM DRAINAGE TRENCH**

N.T.S.

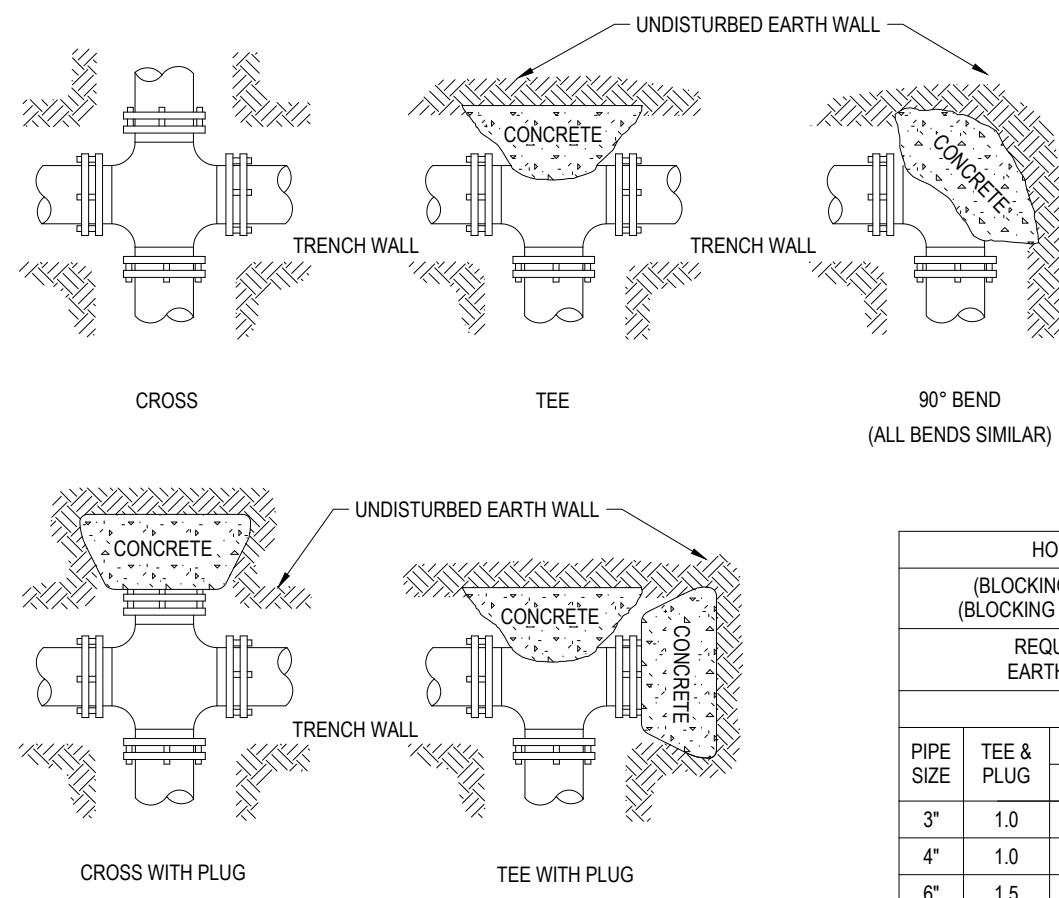
BOHLER ENGINEERING, INC. PROJECT: W211057 (19) DRAWING: PLAN SET (REVISED) 10/07/21 CML-0 - USE - LAY OUT: C-902 (REV. 02/01/2022)



NOTE:  
10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN WATER AND SEWER AS DEPICTED IN THIS DETAIL OR SEWER SHALL BE ENCASED IN CONCRETE (SEE "CONCRETE ENCASEMENT DETAIL AT UTILITY CROSSING" DETAIL THIS SHEET) IN SECTIONS WHERE SEPARATIONS SHALL NOT BE ACHIEVED.

**WATER / SEWER CROSSING**

N.T.S.



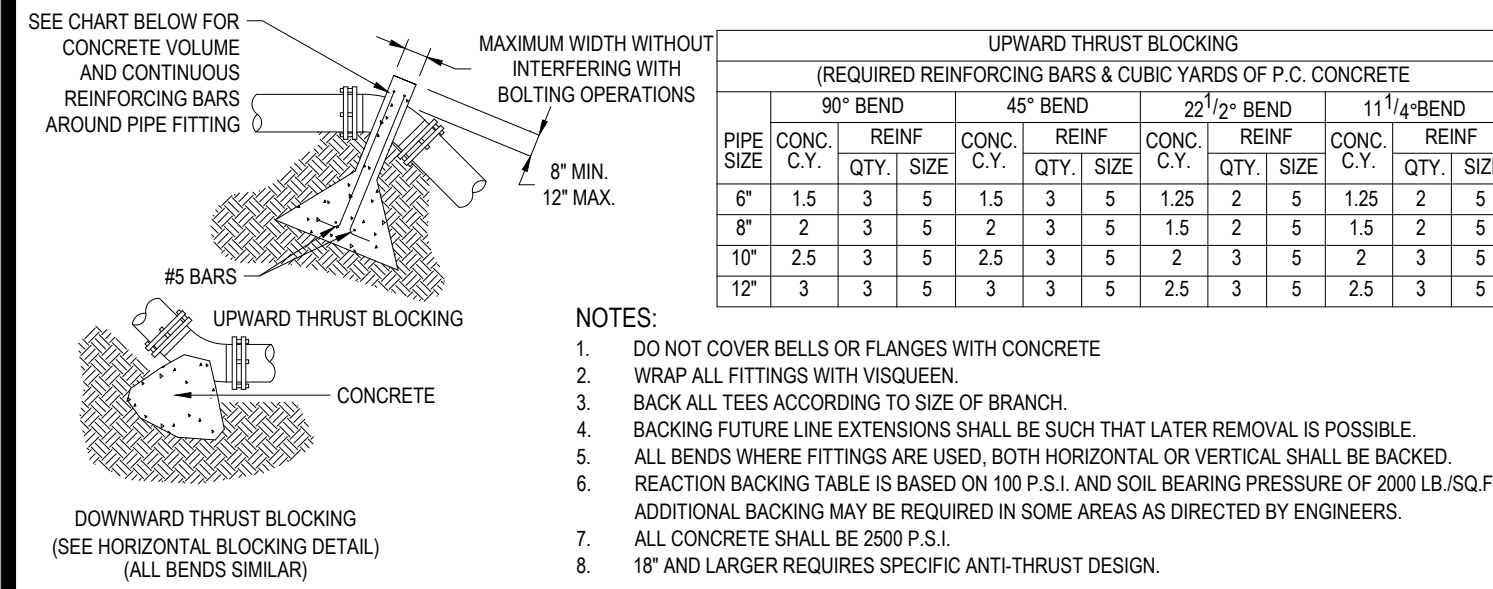
HORIZONTAL THRUST BLOCKING  
(BLOCKING HEIGHT GREATER THAN PIPE O.D.)  
(BLOCKING WIDTH BETWEEN 1 & 2 TIMES HEIGHT)  
REQUIRED SQ. FT. OF UNDISTURBED EARTH WALL FOR REACTION BACKING

PIPE SIZE	TYPE OF FITTINGS				
	TEE & PLUG	BENDS			
		90°	45°	22 1/2°	11 1/4°
3"	1.0	1.0	1.0	1.0	1.0
4"	1.0	1.0	1.0	1.0	1.0
6"	1.5	2.0	1.0	1.0	1.0
8"	2.5	3.5	1.8	1.0	1.0
10"	4.0	5.5	2.8	1.5	1.0
12"	6.0	8.0	4.0	2.0	1.5

- NOTE:  
1. DO NOT COVER BELLS OR FLANGES WITH CONCRETE  
2. WRAP ALL FITTINGS WITH VISQUEEN  
3. BACK ALL TEES ACCORDING TO SIZE OF BRANCH  
4. BACKING FUTURE LINE EXTENSIONS SHALL BE SUCH THAT LATER REMOVAL IS POSSIBLE.  
5. ALL BENDS WHERE FITTINGS ARE USED, BOTH HORIZONTAL OR VERTICAL SHALL BE BACKED.  
6. REACTION BACKING TABLE IS BASED ON 100 P.S.I. AND SOIL BEARING PRESSURE OF 2000 LB./SQ.FT.  
7. ALL CONCRETE SHALL BE 2500 P.S.I.  
8. 18" AND LARGER REQUIRES SPECIFIC ANTI-THRUST DESIGN.

**HORIZONTAL THRUST BLOCKING**

N.T.S.



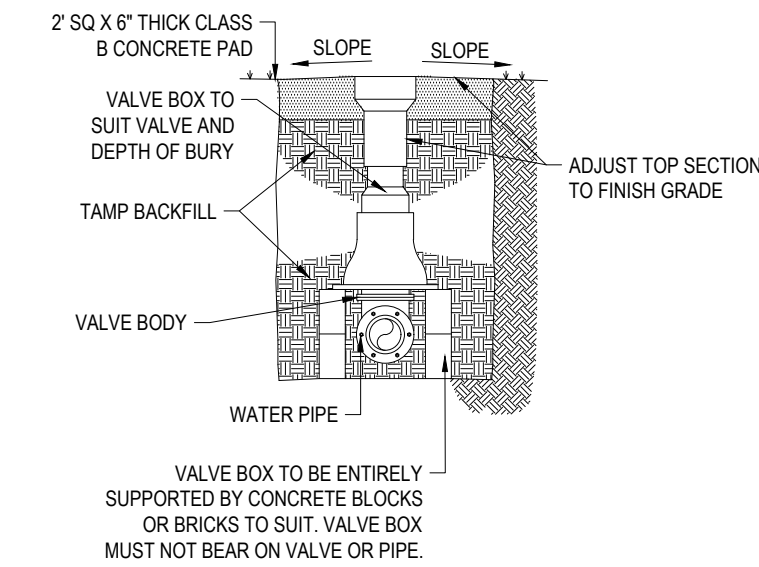
UPWARD THRUST BLOCKING  
(REQUIRED REINFORCING BARS & CUBIC YARDS OF P.C. CONCRETE)

PIPE SIZE	90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	CONC. C.Y.	REINF. QTY.	CONC. C.Y.	REINF. QTY.	CONC. C.Y.	REINF. QTY.	CONC. C.Y.	REINF. QTY.
6"	1.5	3	1.5	3	1.25	2	1.25	2
8"	2	3	2	3	1.5	2	1.5	2
10"	2.5	3	2.5	3	2	3	2	3
12"	3	3	3	3	2.5	3	2.5	3

- NOTES:  
1. DO NOT COVER BELLS OR FLANGES WITH CONCRETE  
2. WRAP ALL FITTINGS WITH VISQUEEN  
3. BACK ALL TEES ACCORDING TO SIZE OF BRANCH  
4. BACKING FUTURE LINE EXTENSIONS SHALL BE SUCH THAT LATER REMOVAL IS POSSIBLE.  
5. ALL BENDS WHERE FITTINGS ARE USED, BOTH HORIZONTAL OR VERTICAL SHALL BE BACKED.  
6. REACTION BACKING TABLE IS BASED ON 100 P.S.I. AND SOIL BEARING PRESSURE OF 2000 LB./SQ.FT.  
7. ALL CONCRETE SHALL BE 2500 P.S.I.  
8. 18" AND LARGER REQUIRES SPECIFIC ANTI-THRUST DESIGN.

**VERTICAL THRUST BLOCKING**

N.T.S.



**GATE VALVE**

N.T.S.

**REVISIONS**

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PROJECT No.: W211057  
DRAWN BY: NPD  
CHECKED BY: RMM  
DATE: 02/01/2022  
CAD I.D.: W211057-CVL-0 - USE

PROJECT:

**PROPOSED SITE PLAN DOCUMENTS**

FOR  
**TMC HOLDINGS & DEVELOPMENT 2, LLC**

PROPOSED INDUSTRIAL DEVELOPMENT  
UNION STREET BUSINESS PARK II  
MAP #314, BLOCK #20, LOT #1  
839 UPPER UNION STREET  
CITY OF FRANKLIN  
NORFOLK COUNTY, MA

**BOHLER**

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SHEET TITLE:

**DETAIL SHEET**

SHEET NUMBER:  
**C-903**

ORG. DATE - 02/01/2022

I:\BOHLER\ENG\NET\SHARES\MA\PROJECTS\21\W211057\DRAWINGS\PLAN SET\REV\W211057-CVL-0 - USE -> LAY OUT - C-903-01.DWG

REFERENCES:

- THE TAX ASSESSOR'S MAP OF CITY OF FRANKLIN, NORFOLK COUNTY, MAP 314.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, NORFOLK COUNTY, MASSACHUSETTS (ALL JURISDICTIONS), PANEL 317 OF 430," COMMUNITY-PANEL NUMBER 250240 0317 E, EFFECTIVE DATE: JULY 17, 2012.
- MAP ENTITLED "PLAN OF LAND, UNION STREET BUSINESS PARK, FRANKLIN, MA (NORFOLK COUNTY), PREPARED FOR UNION STREET BUSINESS PARK, LLC," PREPARED BY WELCH ASSOCIATES LAND SURVEYORS, INC. DATED DECEMBER 7, 2007, UNRECORDED PLAN.
- MAP ENTITLED "PLAN OF LAND IN FRANKLIN, MA (NORFOLK COUNTY)," PREPARED BY ENGINEERING DESIGN CONSULTANTS, INC. DATED APRIL 15, 1999, RECORDED WITH THE NORFOLK COUNTY REGISTRY OF DEEDS AS PLAN 463 OF 1999.
- MAP ENTITLED "EXISTING CONDITIONS PLAN, UNION STREET BUSINESS PARK, 837, 839 & 841 UPPER UNION STREET, FRANKLIN, MASSACHUSETTS, PREPARED FOR ABRAHAM PROPERTIES," PREPARED BY ENGINEERING DESIGN CONSULTANTS, INC., DATED APRIL 22, 2005, SHEET 1 OF 8.
- UNDERGROUND GAS FACILITY MAPPING PROVIDED BY EVERSOURCE GAS.
- MAP ENTITLED "PLAN OF ROAD IN THE TOWN OF FRANKLIN, NORFOLK COUNTY, LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS," PREPARED BY THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS, DATED SEPTEMBER 29, 1965, LAYOUT NO. 5495, SHEETS 9 THROUGH 11 OF 16.

NOTES (CONT'D):

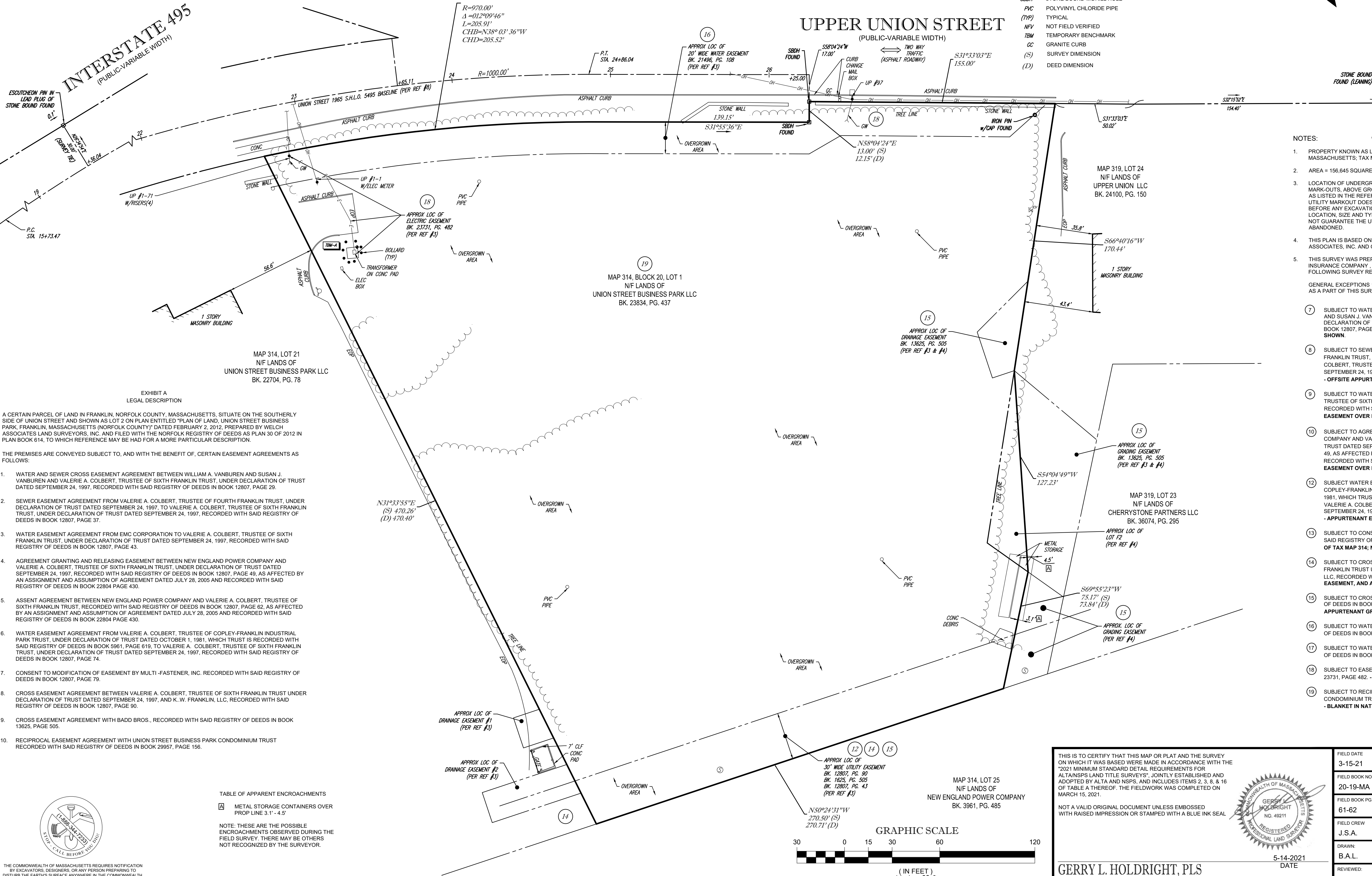
- PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:  
TBM-A: X-CUT ON CORNER OF TRANSFORMER CONCRETE PAD. ELEVATION = 389.82'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- PROPERTY CURRENTLY DOES NOT HAVE DIRECT ACCESS TO UPPER UNION STREET.

LEGEND

- HYDRANT
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND GAS LINE
- APPROX. LOC. UNDERGROUND ELECTRIC LINE
- APPROX. LOC. UNDERGROUND WATER LINE
- UTILITY POLE
- GUY WIRE
- AREA LIGHT
- MAIL BOX
- BOLLARD
- POST
- CONCRETE
- CHAIN LINK FENCE
- EDGE OF PAVEMENT
- SANITARY/SEWER MANHOLE
- DRILL HOLE FOUND
- STONE BOUND W/DRILL HOLE
- POLYVINYL CHLORIDE PIPE
- TYPICAL
- NOT FIELD VERIFIED
- TEMPORARY BENCHMARK
- GRANITE CURB
- SURVEY DIMENSION
- DEED DIMENSION



LOCUS MAP  
© 2015 ESRI WORLD STREET MAPS  
NOT TO SCALE



NOTES:

- PROPERTY KNOWN AS LOT 1 AS SHOWN ON THE CITY OF FRANKLIN, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS; TAX MAP NO. 314.
- AREA = 156,645 SQUARE FEET OR 3.596 ACRES
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY WESTCOR LAND TITLE INSURANCE COMPANY, HAVING A COMMITMENT NO. -, WITH AN EFFECTIVE DATE OF -, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B - PART II:  
GENERAL EXCEPTIONS 1 THRU 6, AND 11 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A PART OF THIS SURVEY.
- SUBJECT TO WATER AND SEWER CROSS EASEMENT AGREEMENT BETWEEN WILLIAM A. VANBUREN AND SUSAN J. VANBUREN AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 29. - OFFSITE APPURTENANT EASEMENT OVER LOT 24 OF TAX MAP 314; NOT SHOWN.
- SUBJECT TO SEWER EASEMENT AGREEMENT FROM VALERIE A. COLBERT, TRUSTEE OF FOURTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 37. - OFFSITE APPURTENANT EASEMENT OVER LOT 58 OF TAX MAP 313; NOT SHOWN.
- SUBJECT TO WATER EASEMENT AGREEMENT FROM EMC CORPORATION TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 43. - OFFSITE APPURTENANT EASEMENT OVER LOT 15 OF TAX MAP 313; NOT SHOWN.
- SUBJECT TO AGREEMENT GRANTING AND RELEASING EASEMENT BETWEEN NEW ENGLAND POWER COMPANY AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 49, AS AFFECTED BY AN ASSIGNMENT AND ASSUMPTION OF AGREEMENT DATED JULY 28, 2005 AND RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 22804 PAGE 430. - OFFSITE APPURTENANT EASEMENT OVER LOT 25 OF TAX MAP 314; NOT SHOWN.
- SUBJECT TO WATER EASEMENT AGREEMENT FROM VALERIE A. COLBERT, TRUSTEE OF COPLEY-FRANKLIN INDUSTRIAL PARK TRUST, UNDER DECLARATION OF TRUST DATED OCTOBER 1, 1981, WHICH TRUST IS RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 5961, PAGE 619, TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 74. - APPURTENANT EASEMENT OVER LOT 23 OF TAX MAP 313; AS SHOWN.
- SUBJECT TO CONSENT TO MODIFICATION OF EASEMENT BY MULTI-FASTENER, INC. RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 79. - OFFSITE APPURTENANT EASEMENT OVER LOT 25 OF TAX MAP 314; NOT SHOWN.
- SUBJECT TO CROSS EASEMENT AGREEMENT BETWEEN VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, AND K. W. FRANKLIN, LLC, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 90. - 30' WIDE UTILITY EASEMENT, AND APPURTENANT EASEMENT OVER LOT 21 OF TAX MAP 314; AS SHOWN.
- SUBJECT TO CROSS EASEMENT AGREEMENT WITH BADD BROS., RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 13625, PAGE 505. - 30' WIDE UTILITY EASEMENT, DRAINAGE EASEMENT, AND APPURTENANT GRADING EASEMENT OVER LOT 24 OF TAX MAP 313; AS SHOWN.
- SUBJECT TO WATER EASEMENT AGREEMENT TO UNION PLACE LLC RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 21496, PAGE 114. - NOT LOCUS.
- SUBJECT TO EASEMENT TO MASS. ELECTRIC RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 23731, PAGE 482. - ELECTRIC LINE EASEMENT SHOWN.
- SUBJECT TO RECIPROCAL EASEMENT AGREEMENT WITH UNION STREET BUSINESS PARK CONDOMINIUM TRUST RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 29957, PAGE 156. - BLANKET IN NATURE

EXHIBIT A  
LEGAL DESCRIPTION

A CERTAIN PARCEL OF LAND IN FRANKLIN, NORFOLK COUNTY, MASSACHUSETTS, SITUATE ON THE SOUTHERLY SIDE OF UNION STREET AND SHOWN AS LOT 2 ON PLAN ENTITLED "PLAN OF LAND, UNION STREET BUSINESS PARK, FRANKLIN, MASSACHUSETTS (NORFOLK COUNTY)" DATED FEBRUARY 2, 2012, PREPARED BY WELCH ASSOCIATES LAND SURVEYORS, INC. AND FILED WITH THE NORFOLK REGISTRY OF DEEDS AS PLAN 30 OF 2012 IN PLAN BOOK 614, TO WHICH REFERENCE MAY BE HAD FOR A MORE PARTICULAR DESCRIPTION.

THE PREMISES ARE CONVEYED SUBJECT TO, AND WITH THE BENEFIT OF, CERTAIN EASEMENT AGREEMENTS AS FOLLOWS:

- WATER AND SEWER CROSS EASEMENT AGREEMENT BETWEEN WILLIAM A. VANBUREN AND SUSAN J. VANBUREN AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 29.
- SEWER EASEMENT AGREEMENT FROM VALERIE A. COLBERT, TRUSTEE OF FOURTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 37.
- WATER EASEMENT AGREEMENT FROM EMC CORPORATION TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 43.
- AGREEMENT GRANTING AND RELEASING EASEMENT BETWEEN NEW ENGLAND POWER COMPANY AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 49, AS AFFECTED BY AN ASSIGNMENT AND ASSUMPTION OF AGREEMENT DATED JULY 28, 2005 AND RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 22804 PAGE 430.
- ASSENT AGREEMENT BETWEEN NEW ENGLAND POWER COMPANY AND VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 62, AS AFFECTED BY AN ASSIGNMENT AND ASSUMPTION OF AGREEMENT DATED JULY 28, 2005 AND RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 22804 PAGE 430.
- WATER EASEMENT AGREEMENT FROM VALERIE A. COLBERT, TRUSTEE OF COPLEY-FRANKLIN INDUSTRIAL PARK TRUST, UNDER DECLARATION OF TRUST DATED OCTOBER 1, 1981, WHICH TRUST IS RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 5961, PAGE 619, TO VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST, UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 74.
- CONSENT TO MODIFICATION OF EASEMENT BY MULTI-FASTENER, INC. RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 79.
- CROSS EASEMENT AGREEMENT BETWEEN VALERIE A. COLBERT, TRUSTEE OF SIXTH FRANKLIN TRUST UNDER DECLARATION OF TRUST DATED SEPTEMBER 24, 1997, AND K. W. FRANKLIN, LLC, RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 12807, PAGE 90.
- CROSS EASEMENT AGREEMENT WITH BADD BROS., RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 13625, PAGE 505.
- RECIPROCAL EASEMENT AGREEMENT WITH UNION STREET BUSINESS PARK CONDOMINIUM TRUST RECORDED WITH SAID REGISTRY OF DEEDS IN BOOK 29957, PAGE 156.

TABLE OF APPARENT ENCROACHMENTS

	METAL STORAGE CONTAINERS OVER PROP LINE 3.1' - 4.5'
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NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 8, & 16 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 15, 2021.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

GERRY L. HOLDRIGHT, PLS  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

5-14-2021  
DATE

FIELD DATE	3-15-21	ALTA/NSPS LAND TITLE SURVEY
FIELD BOOK NO.	20-19-MA	UNION STREET BUSINESS PARK, LLC
FIELD BOOK PGS.	61-62	837 UPPER UNION STREET MAP 314, BLOCK 20, LOT 1 CITY OF FRANKLIN, NORFOLK COUNTY COMMONWEALTH OF MASSACHUSETTS
FIELD CREW	J.S.A.	CONTROL POINT ASSOCIATES, INC.
DRAWN	B.A.L.	ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-8600 HAUPPAUGE, NY 631-890-2645 MANHATTAN, NY 609-780-0411 SOUTH BOKROUIGH, MA 01772 508-948-3000 - 508-948-3003 FAX WARREN, NJ 908-668-2999
REVIEWED:	R.J.K.	APPROVED: G.L.H.
DATE	5-14-2021	SCALE
FILE NO.	03-210095	DWG. NO.
1"=30'		1 OF 1

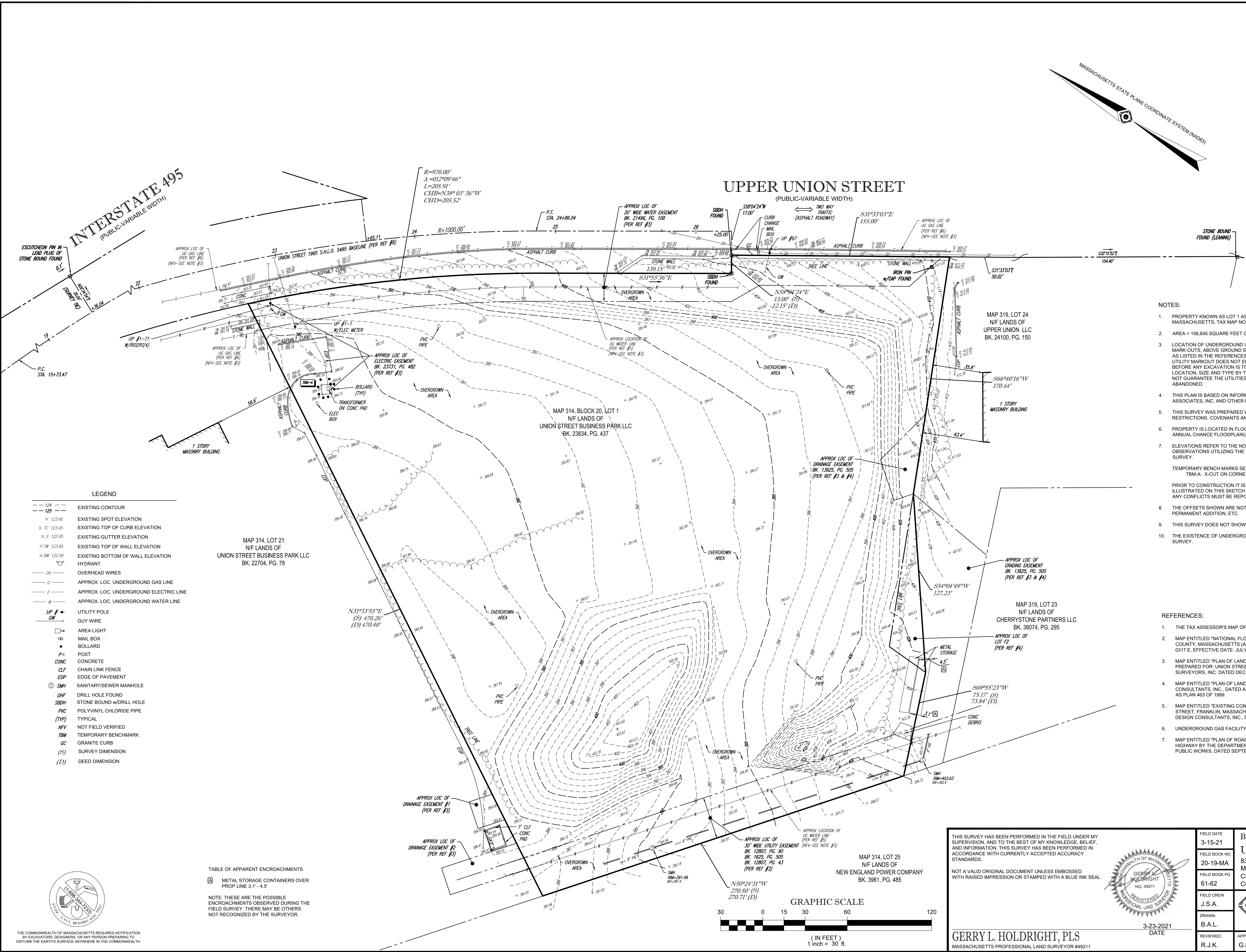
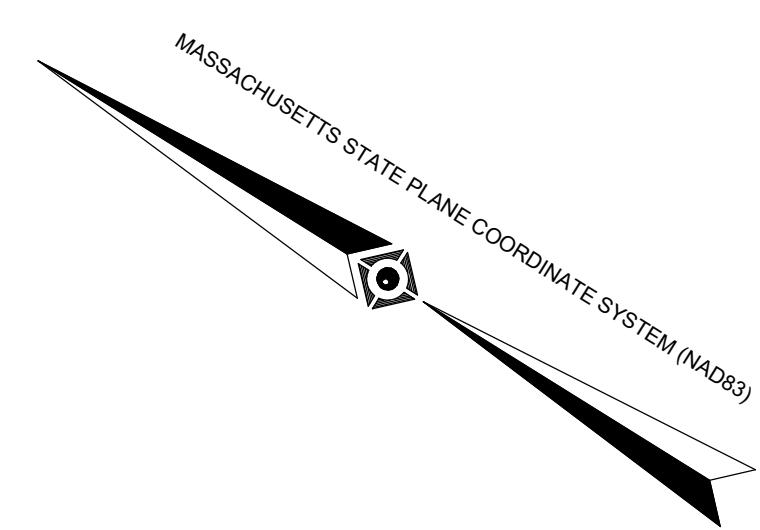


THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.





LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS  
NOT TO SCALE



**UPPER UNION STREET**  
(PUBLIC-VARIABLE WIDTH)

**INTERSTATE 495**  
(PUBLIC-VARIABLE WIDTH)

- NOTES:**
- PROPERTY KNOWN AS LOT 1 AS SHOWN ON THE CITY OF FRANKLIN, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS; TAX MAP NO. 314.
  - AREA = 156,645 SQUARE FEET OR 3.596 ACRES
  - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
  - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
  - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
- TEMPORARY BENCH MARKS SET:  
TBM-A: X-CUT ON CORNER OF TRANSFORMER CONCRETE PAD. ELEVATION = 389.82'
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  - THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.
  - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

- LEGEND**
- 124 --- EXISTING CONTOUR
  - 125 --- EXISTING SPOT ELEVATION
  - × 123.45 EXISTING TOP OF CURB ELEVATION
  - × 7C 122.95 EXISTING GUTTER ELEVATION
  - × 7W 123.45 EXISTING TOP OF WALL ELEVATION
  - × BW 122.95 EXISTING BOTTOM OF WALL ELEVATION
  - HYDRANT
  - OH --- OVERHEAD WIRES
  - G --- APPROX. LOC. UNDERGROUND GAS LINE
  - E --- APPROX. LOC. UNDERGROUND ELECTRIC LINE
  - W --- APPROX. LOC. UNDERGROUND WATER LINE
  - UP # --- UTILITY POLE
  - GW --- GUY WIRE
  - --- AREA LIGHT
  - --- MAIL BOX
  - --- BOLLARD
  - Po --- POST
  - CONC --- CONCRETE
  - CLF --- CHAIN LINK FENCE
  - EDP --- EDGE OF PAVEMENT
  - SMH --- SANITARY/SEWER MANHOLE
  - DHF --- DRILL HOLE FOUND
  - SBWH --- STONE BOUND W/DRILL HOLE
  - PVC --- POLYVINYL CHLORIDE PIPE
  - (TP) --- TYPICAL
  - NFV --- NOT FIELD VERIFIED
  - TBM --- TEMPORARY BENCHMARK
  - GC --- GRANITE CURB
  - (S) --- SURVEY DIMENSION
  - (D) --- DEED DIMENSION

MAP 314, LOT 21  
N/F LANDS OF  
UNION STREET BUSINESS PARK LLC  
BK. 22704, PG. 78

MAP 314, BLOCK 20, LOT 1  
N/F LANDS OF  
UNION STREET BUSINESS PARK LLC  
BK. 23834, PG. 437

MAP 319, LOT 24  
N/F LANDS OF  
UPPER UNION LLC  
BK. 24100, PG. 150

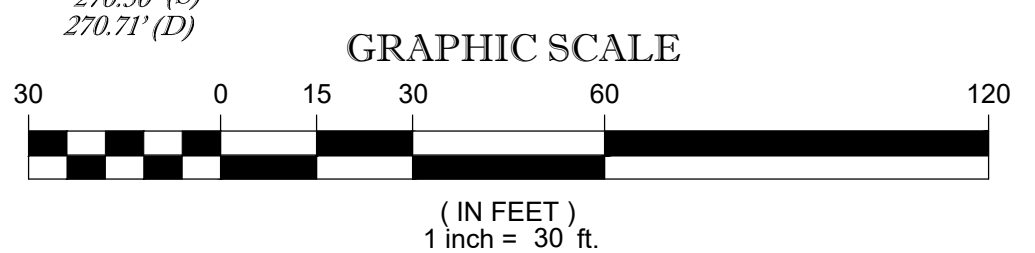
MAP 319, LOT 23  
N/F LANDS OF  
CHERRYSTONE PARTNERS LLC  
BK. 36074, PG. 295

MAP 314, LOT 25  
N/F LANDS OF  
NEW ENGLAND POWER COMPANY  
BK. 3961, PG. 485

**TABLE OF APPARENT ENCROACHMENTS**

☒ METAL STORAGE CONTAINERS OVER PROP LINE 3.1' - 4.5'

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

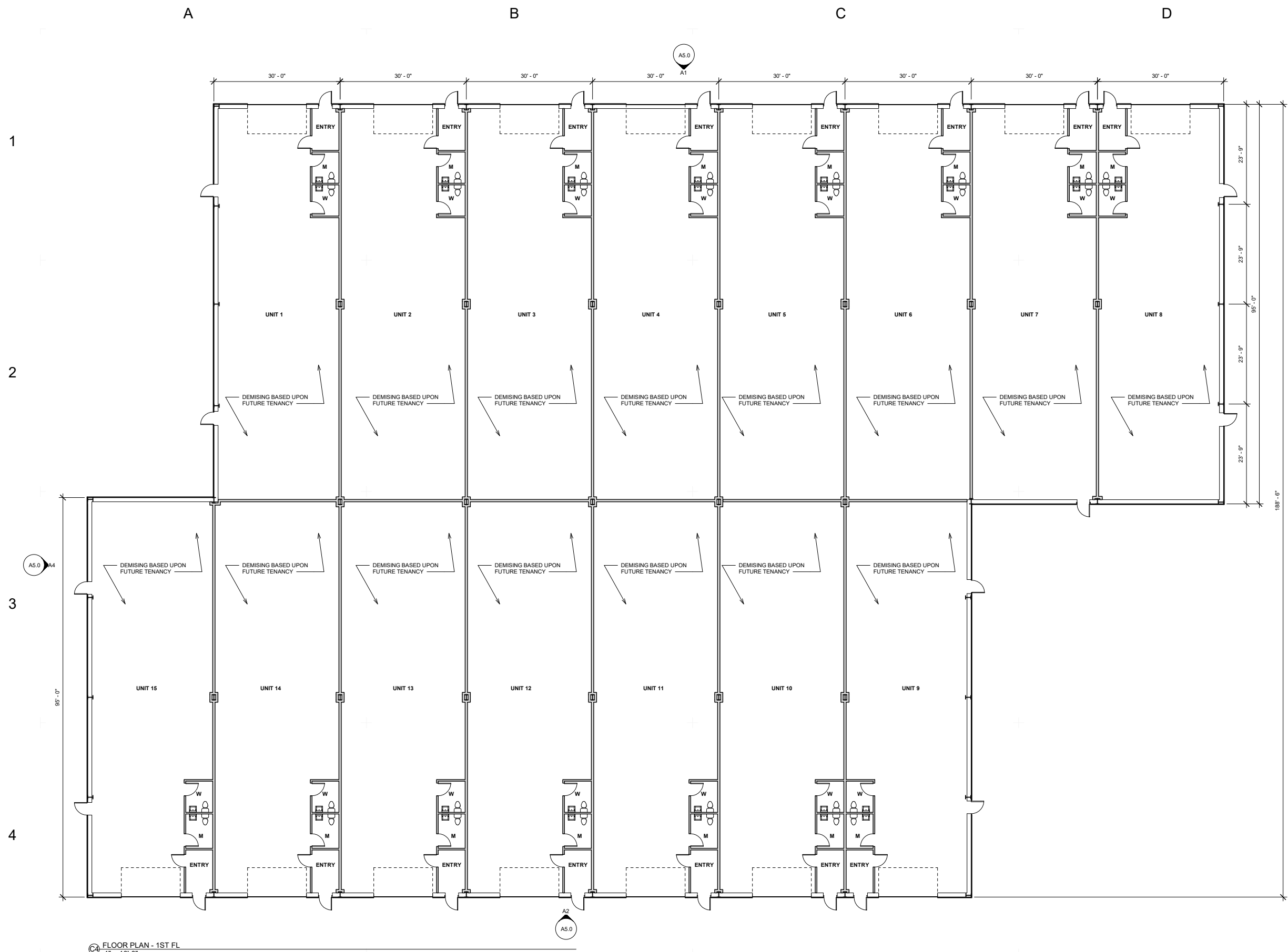
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**GERRY L. HOLDRIGHT, PLS**  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

FIELD DATE	3-15-21	<b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b>	
FIELD BOOK NO.	20-19-MA	<b>UNION STREET BUSINESS PARK, LLC</b>	
FIELD BOOK PGS.	61-62	837 UPPER UNION STREET MAP 314, BLOCK 20, LOT 1 CITY OF FRANKLIN, NORFOLK COUNTY COMMONWEALTH OF MASSACHUSETTS	
FIELD CREW	J.S.A.	<b>CONTROL POINT ASSOCIATES, INC.</b>	
DRAWN	B.A.L.	ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-8600 HAUPPAUGE, NY 631-850-2645 MANHATTAN, NY 646-780-0411 SOUTH BROOKFIELD, MA 01772 508.948.3000 - 508.948.3003 FAX MT LAUREL, NJ 609-857-2999 WARREN, NJ 908-668-0099	
REVIEWED	R.J.K.	APPROVED:	G.L.H.
DATE	3-23-2021	SCALE	1"=30'
FILE NO.	03-210095	DWG. NO.	1 OF 1

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THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



FLOOR PLAN - 1ST FL  
1" = 10'-0"

david sisson architecture pc
   
 365 Taunton Ave. #109214
   
 Attleboro, MA 01924
   
 www.ds-arch.com info@ds-arch.com 401-986-7070

REV. #	DATE	ISSUED FOR:
	2022.02.01	REVISION

**Upper Union Street Business Park II**
  
 889 Upper Union Street, Franklin, MA
   
 TMC Holdings & Development 2, LLC
   
 24 William Way, Bellingham, MA
   
 PROJECT NUMBER: 22005

PLANS 1ST FL

NOT FOR CONSTRUCTION
   
 DATE SIGNED: 2021-08-27

A4.0

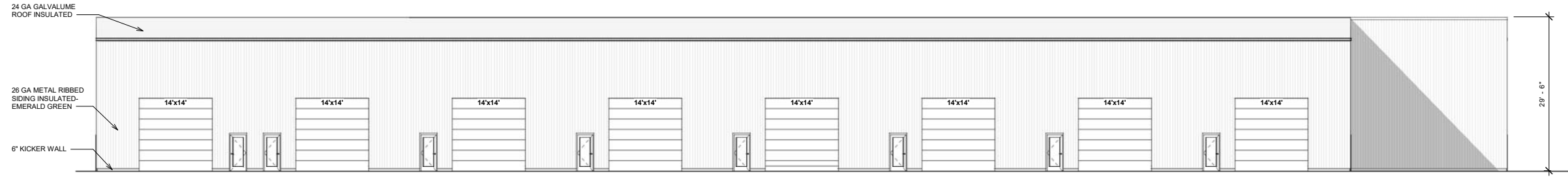
A

B

C

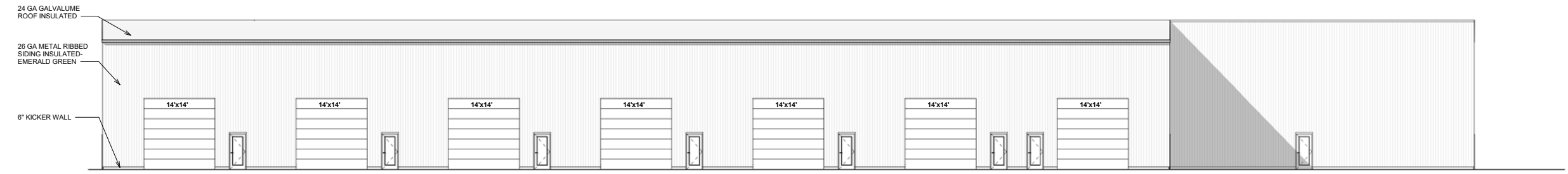
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1



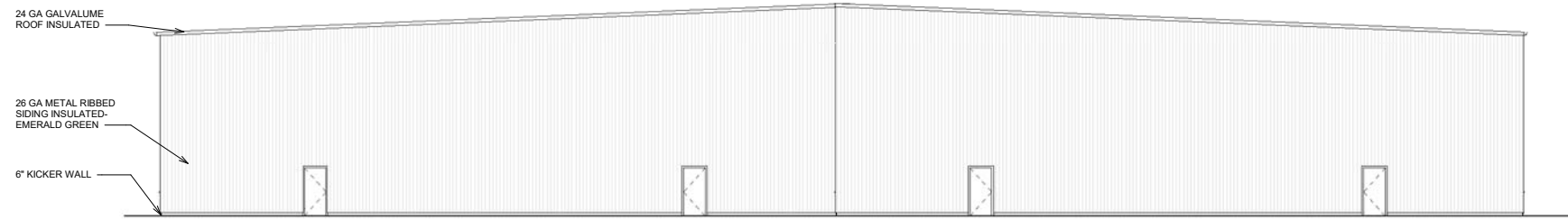
A1 NORTH ELEVATION  
1" = 10'-0"

2



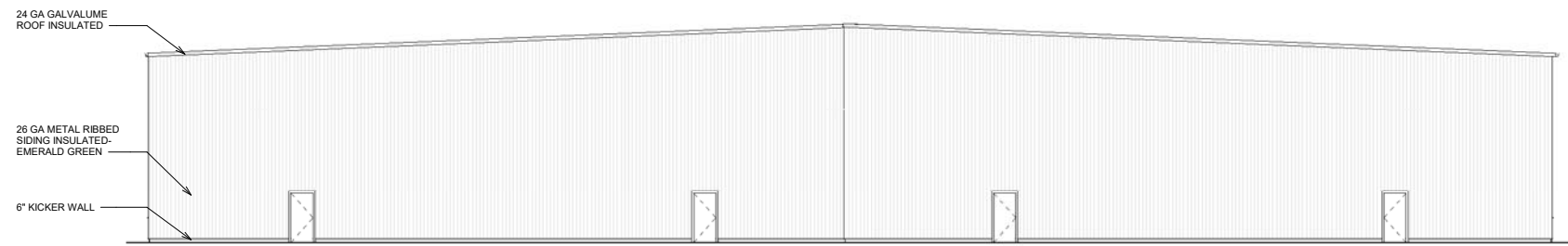
A2 SOUTH ELEVATION  
1" = 10'-0"

3



A3 EAST ELEVATION  
1" = 10'-0"

4



A4 WEST ELEVATION  
1" = 10'-0"

DAVID SISSON ARCHITECTURE PC -- ALL RIGHTS RESERVED

david sisson architecture pc
   
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 Framingham, MA 01904
   
 www.ds-arch.com info@ds-arch.com 401-986-7070

REV. #	DATE	ISSUED FOR:	REVISION
2022-02-01			

Upper Union Street Business Park II
   
 889 Upper Union Street, Franklin, MA
   
 TMC Holdings & Development 2, LLC
   
 24 William Way, Bellingham, MA
   
 PROJECT NUMBER: 22005

ELEVATIONS

NOT FOR CONSTRUCTION
   
 DATE SIGNED: 2021-08-27

A5.0















UNION STREET  
BUSINESS  
P · A · R · K  
II



**\*neighboring sign**



**\*23k gold leaf carved urethane sign**

*Signs By Cam* Inc

Sign & Graphic Solutions • Uncompromising Integrity

**Cam Afonso**

837 Upper Union St., Suite C-18  
Franklin, MA 02038

Phone: 508-364-2905

Fax/Office: 508-528-0766

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Website: [www.signsbycam.com](http://www.signsbycam.com)

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**JOB INFORMATION**

JOB TITLE:  
CONTACT:  
PHONE:  
FAX:  
JOB DESCRIPTION:

SQUARE FOOTAGE=

**SIGN MATERIAL SPECS**

BANNER:  COROPLAST:  WOOD:   
 ACRYLIC:  MAGNETIC:  URETHANE:   
 PVC:  ALUMINUM:  NUEDGE:   
 SINGLE SIDED:  DOUBLE SIDED:   
 OTHER: \_\_\_\_\_

COLOR SPECS:  
BACKGROUND:  
COPY:

OUTLINE:  
SHADOW:  
BORDER:  
LOGO: