



## **FRANKLIN PLANNING & COMMUNITY DEVELOPMENT**

355 EAST CENTRAL STREET  
FRANKLIN, MA 02038-1352  
TELEPHONE: 508-520-4907  
FAX: 508-520-4906

### **MEMORANDUM**

**DATE:** April 5, 2022  
**TO:** Franklin Planning Board  
**FROM:** Department of Planning and Community Development  
**RE:** Washington Street Flex Space  
Site Plan - Endorsement

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#### **General:**

1. The Planning Board voted to approve the Site Plan for Washington Street Flex Space on February 28, 2022.
2. The following are Special Conditions to be met prior to endorsement:
  - a. The retaining wall details are to be submitted and reviewed prior to the start of the construction. *Details have been submitted*
  - b. Prior to endorsement, a note will be added to the plans to say -The builder will have a structural engineer on site during the construction phase to design a wall where needed using large boulders or concrete blocks, as stated in the attached letter from Mike Maglio, Town Engineer *Note added to page 5 of the plans*
  - c. Prior to endorsement, provide a color sketch outlining each phase with parking spaces. *Plan has been submitted*

DPCD has no further comment.

Town of Franklin

355 East Central Street  
Franklin, Massachusetts 02038-1352



PLANNING BOARD

Phone: (508) 540-4997  
www.franklinma.gov

March 1, 2022

Nancy Danello, Town Clerk  
Town of Franklin  
355 East Central Street  
Franklin, MA 02038

**CERTIFICATE OF VOTE**  
Site Plan  
Washington Street

Site Plan: "Site Plan, Washington Street, Franklin, MA"

Owner: Abruzzi Realty Trust  
55 Court Street  
Franklin, MA 02038

Applicant: Franklin Flex Space, LLC  
13 Cloverly Road  
Wellesley, MA

Prepared By: United Consultants, Wrentham, MA  
Surveyor/Engineer: June 21, 2021  
Date: June 21, 2021  
Property Location: Map 304 Lot 064

Dear Mrs. Danello:

Please be advised that at its meeting on Monday, February 28, 2022 the Planning Board voted (4-0-1), upon motion duly made and seconded to APPROVE, with conditions and Special Conditions, the above referenced Site Plan. The Conditions of Approval are listed on page 2-3, attached hereto. Both the Certificate of Vote as well as the conditions of approval shall be referenced on the site plan.

Sincerely,

*Gregory Rondau*  
Gregory Rondau, Chairman  
Franklin Planning Board

cc: Owner/Applicant/ Applicant's Engineer

**CERTIFICATE OF VOTE**  
Site Plan  
Washington Street

- The Planning Board will use outside consultant services to complete construction inspections upon the commencement of construction. The Franklin Department of Public Works Director, directly and through employees of the Department of Public Works and outside consultant services shall act as the Planning Board's inspector to assist the Board with inspections necessary to ensure compliance with all relevant laws, regulations and Planning Board approved plan specifications. Such consultants shall be selected and retained upon a majority vote of the Board.
- Actual and reasonable costs of inspection consulting services shall be paid by the owner/applicant before or at the time of the pre-construction meeting. Should additional inspections be required beyond the original scope of work, the owner/applicant shall be required to submit fees prior to the issuance of a Final Certificate of Completion by the Planning Board (Form H). Said inspection is further outlined in condition #1.
- No alteration of these plans shall be made or affected other than by an affirmative vote of the members of the Board at a duly posted meeting and upon the issuance of a written amended decision.
- All applicable laws, by-laws, rules, regulations, and codes shall be complied with, and all necessary licenses, permits and approvals shall be obtained by the owner/applicant.
- Prior to the endorsement of the site plan, the following shall be done:
  - The owner/applicant shall provide the entire list of conditions and this Certificate of Vote on the front page of the plans.
  - A notation shall be made on the plans that all erosion mitigation measures shall be in place prior to major excavation or soil disturbances commencing on the site.
  - All outstanding invoices for services rendered by the Town's Engineers and other reviewing Departments of the Town relative to their review of the owner/applicant's application and plans shall have been paid in full.
- All required improvements specified in this Certificate of Vote shall be constructed within a one-year period unless the Board grants an extension. No final Certificate of Occupancy shall be issued until all requirements of the approved plan have been completed to the satisfaction of the Board unless the applicant has submitted a Partial Certificate of Completion for the remainder of the required improvements. The applicant's engineer or surveyor, upon completion of all required improvements, shall submit a Certificate of Completion. The Board or its agent(s) shall complete a final inspection of the site upon filing of the Certificate of Completion by the applicant. Said inspection is further outlined in condition #1.
- Prior to any work commencing on the subject property, the owner/applicant shall provide plans to limit construction debris and materials on the site. In the event that debris is carried onto any public way, the owner/applicant and his assigns shall be responsible for all cleanup of the roadway. All cleanups shall occur within twenty-four (24) hours after first written notification to the owner/applicant by the Board or its designee. Failure to complete such cleanup may result in suspension of construction of the site until such public way is clear of debris.
- The owner/applicant shall install erosion control devices as necessary and as directed by the Town's Construction Inspector.
- Maintenance and repair of the parking area, water supply system, sewer pipes, electric distribution system, and stormwater system shall be the responsibility of the owner/applicant and shall never be the responsibility of the Town and the Town shall never be required to perform any service, repair or maintenance with respect to said areas, or any of the aforementioned systems within the subject

property. The Town will never be required to provide snow plowing or trash pickup, with respect to the subject property.

- Prior to construction activities, there shall be a pre-construction meeting with the owner/applicant, and his contractor(s), the Department of Public Works and the Planning Board's Observation Contractor.

**CERTIFICATE OF VOTE**  
Waivers  
Washington Street

- To allow less than 42" of cover over the RCP drain pipe. Proposed use of Class V RCP
- To allow the use of HDPE pipe for the manifolds and Pond 1, Pond 2, Pond 3 and the Trench Drains
- Light spillage allowed only on the NE Power Co. parcel. Light is not to spill on the abutting residential properties
- To allow the plantings of the 15 foot buffer to be completed as shown on sheet 5, per section 185-35.C.

**CERTIFICATE OF VOTE**  
Special Conditions  
Washington Street

- Applicant is to provide soil stabilization designs prior to the start of construction.
- The property line along the top of the proposed slope is to be staked out at least every 100 feet to help ensure construction does not extend onto the adjacent property.
- The retaining wall details are to be submitted and reviewed prior to the start of the construction.
- The parking areas on the plan are to be completed with each phase of development.
- Prior to endorsement, a note will be added to the plans to say -The builder will have a structural engineer on site during the construction phase to design a wall where needed using large boulders or concrete blocks, as stated in the attached letter from Mike Maglio, Town Engineer
- Prior to endorsement, provide a color sketch outlining each phase with parking spaces.
- The owner will not be allowed to lease or sell units to tenants with industrial activities that are subject to the NPDES Multi-sector permit. All industrial activities will take place within the building.
- The Applicant/Owner shall provide source control and pollution plans to be submitted for each Industrial tenant prior to occupancy.
- The Applicant/Owner shall provide a signed statement to include a pollution prevention plan with measures to prevent illicit discharges to the stormwater management system, including wastewater discharges and discharges of stormwater contaminated by contact with process wastes, raw materials, toxic pollutants, hazardous substances, oil, or grease.



TOWN OF FRANKLIN  
DEPARTMENT OF PUBLIC WORKS  
Franklin Municipal Building  
287 Fisher Street  
Franklin, MA 02038-3036

January 20, 2022

Mr. Greg Rondau, Chairman  
Members of the Franklin Planning Board  
355 East Central Street  
Franklin, MA 02038

RE: Site Plan - Washington Street Flex Space

Dear Mr. Chairman and Members:

We have reviewed the latest materials for the subject project and offer the following:

The applicant has provided a letter from a geotechnical engineer regarding the proposed steep slopes on the site. That engineer indicated that they would be providing designs for the long term soil stability on the site. We recommend that this be completed prior to approval of the project, or if the Board decides to approve this project as shown, it is conditioned that the submission of the soil stabilization designs be completed prior to the start of construction.

As we previously noted, the construction of the proposed slopes will extend right up to the property line behind the abutting homes. If approved by the Board, we recommend as a condition that the property line along the top of the proposed slope be staked out at least every 100 feet to help ensure construction activity does not extend onto the adjacent properties.

Should you have any questions or require additional information, please do not hesitate to contact me.

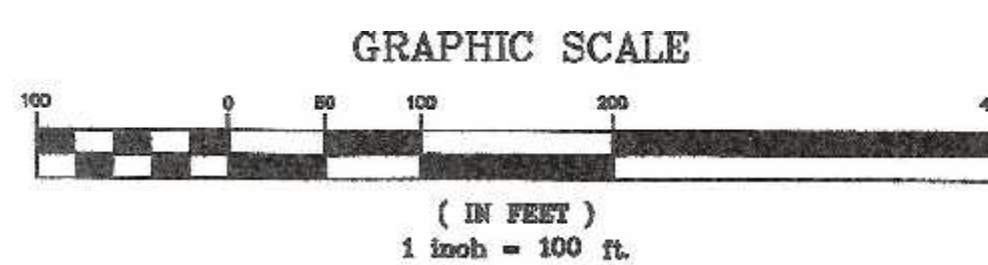
Sincerely,

*Michael Maglio*  
Michael Maglio, P.E.  
Town Engineer

SITE PLAN  
CERTIFICATE OF VOTE  
WASHINGTON STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS  
JUNE 28, 2021  
SCALE: 1" = 100'

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE



NO.	DATE	DESCRIPTION	BY
4	3/30/22	ADDED CERTIFICATE OF VOTE	RRG
3	1/28/22	REVIEW COMMENTS	RRG
2	1/11/22	REVIEW COMMENTS	RRG
1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG

DATE	FIELD BY:	INT.
5/21	FIELD BOOK	BL
6/21	CALCS BY:	RRG
6/21	DESIGNED BY:	RRG
6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ

UNITED  
CONSULTANTS  
INC.  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-8560 FAX 508-384-8566

DATE	SCALE	PROJECT	SHEET
JUNE 28, 2021	1" = 100'	UC1502	1 of 11

# SITE PLAN 275 WASHINGTON STREET FRANKLIN MASSACHUSETTS

**ZONING:**

THE WASHINGTON STREET SITE IS LOCATED WITHIN AN INDUSTRIAL ZONE.

INDUSTRIAL ZONE	REQUIREMENTS:	EXISTING	PROPOSED
AREA:	40,000 S.F.	268,038± S.F.	268,038± S.F.
FRONTAGE:	175'	253.47'	253.47'
DEPTH:	200'	299.9'	299.9'
HEIGHT:	3 STORIES *6	-	22' - 1 STORY
WIDTH:	157.5'	-	REFER TO 185-10.B.

COVERAGE - STRUCTURES:	70%	-	16.9 %
STRUC. & PAVING:	80%	-	51.1%

SETBACKS-	FRONT:	40'	-	99.9'
RIGHT SIDE:	30' *5	-	-	31.0'
LEFT SIDE:	30' *5	-	-	100.4'
REAR:	30' *5	-	-	110.3'

\*5 - INCREASE BY THE COMMON BUILDING HEIGHT OF THE STRUCTURE, WHEN ABUTTING A RESIDENTIAL USE  
\*6 - BUILDINGS UP TO 60 FEET IN HEIGHT MAY BE PERMITTED BY A SPECIAL PERMIT FROM THE PLANNING BOARD.

LOT COVERAGE CALCULATION AREA BASED ON UPLAND AREA

THE ENTIRE PROPERTY IS LOCATED WITHIN A FRANKLIN WATER RESOURCE DISTRICT AND A DEP ZONE II. THE SITE AREA PROPOSED FOR DEVELOPMENT IS LOCATED IN A ZONE X BASED ON FEMA FIRM MAP 25021C0308E DATED JULY 17, 2012.

AREA WITHIN THE WATER RESOURCE DISTRICT - 268,038± SQ. FT.  
UPLAND AREA WITHIN THE WATER RESOURCE DISTRICT - 243,477± SQ. FT.  
IMPERVIOUS AREA WITHIN THE WATER RESOURCE DISTRICT - 136,999± SQ. FT.  
COVERAGE WITHIN THE WATER RESOURCE DISTRICT - = 56.3%

WASHINGTON STREET:  
PROPOSED BUILDINGS USE - OFFICE, WAREHOUSE AND LIGHT MANUFACTURING  
OFFICE - SEE 185 ATTACHMENT 3 - 2.3 - ANTICIPATED WATER USAGE - 1,496 GPD  
WAREHOUSE - SEE 185 ATTACHMENT 4 - 3.10  
LIGHT MANUFACTURING - SEE 185 ATTACHMENT 4 - 3.5.b. ANTICIPATED WATER USAGE - 1,496 GPD

HOUSE OF OPERATION 7 AM TO 5 PM - OFFICE HOURS OF OPERATION 7 AM TO 10 PM MONDAY THROUGH SATURDAY.

REFERENCES:  
ASSESSORS MAP 304 PARCEL 064-000-000  
DEED BOOK 39157 PAGE 493  
ASSESSORS MAP 304 PARCEL 064-001-000  
DEED BOOK 36281 PAGE 195  
PLAN 160 OF 1992  
PLAN 80 OF 2006  
PLOT PLAN BY GUERRIERE & HALNON INC. DATED SEPTEMBER 13, 2003.  
RIGHT OF WAY AND TRACK MAP STATIONS 20+98.18 TO STATION 73+80 DATED JUNE 30, 1915.  
PLAN 829 OF 1981.

**DRAWING INDEX:**

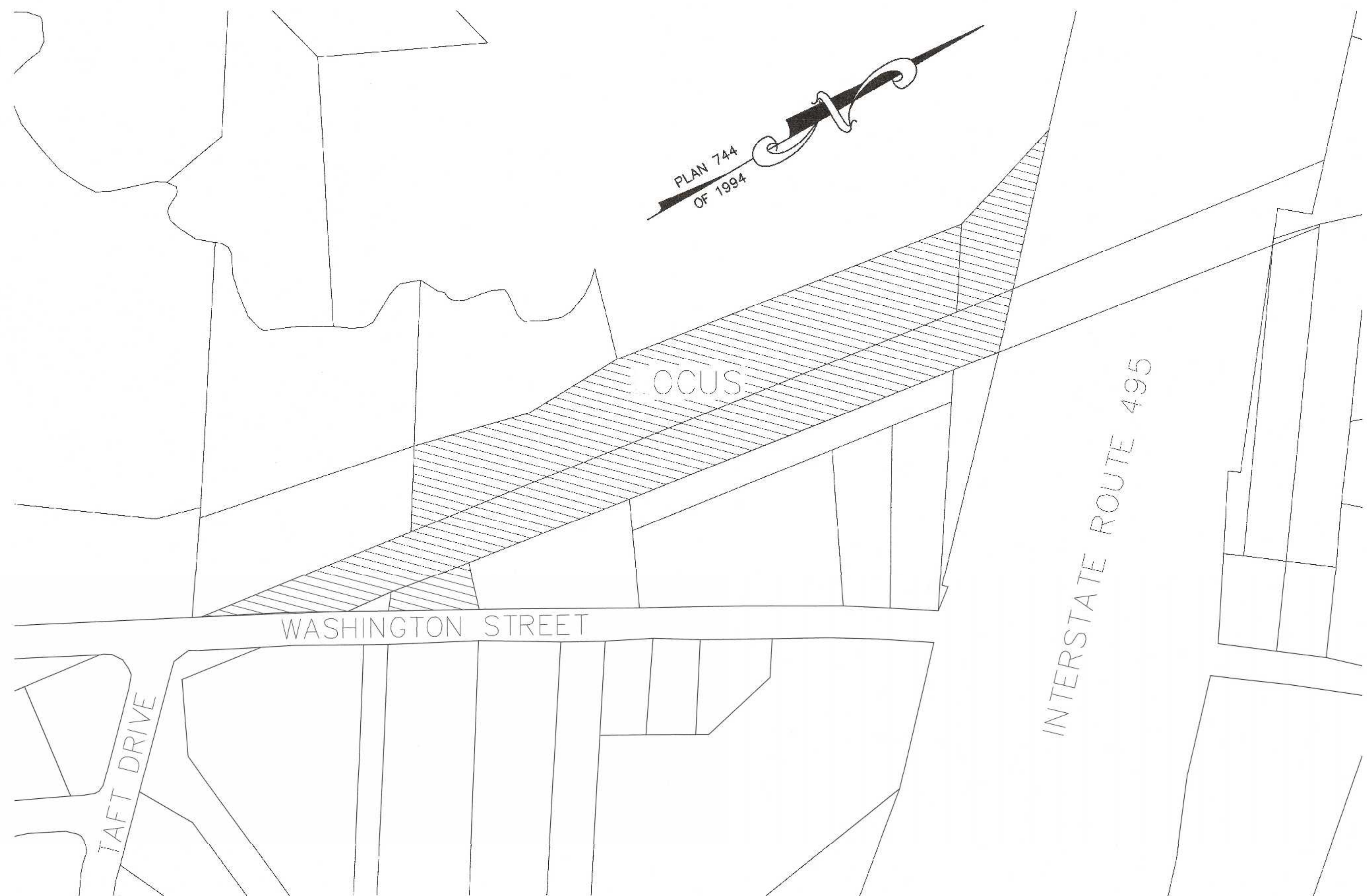
1. CERTIFICATE OF VOTE AND DECISION
  2. COVER SHEET
  3. EXISTING CONDITIONS PLAN
  4. SITE LAYOUT PLAN
  5. SITE GRADING AND UTILITY PLAN
  6. SITE PLANTING PLAN
  7. EROSION CONTROL PLAN
  8. CONSTRUCTION DETAILS - 1
  9. CONSTRUCTION DETAILS - 2
  10. CONSTRUCTION DETAILS - 3
  11. CONSTRUCTION DETAILS - 4
- SITE LIGHTING-LIGHTING PLAN, PHOTOMETRICS AND SCHEDULES BY SK & ASSOCIATES

**OWNERS:**  
MAP 304 PARCEL 064-000  
ABRUZZI REALTY TRUST  
55 COUTU STREET  
FRANKLIN, MASSACHUSETTS

MAP 304 PARCEL 064-001  
FERRARA FAMILY REALTY TRUST  
PO BOX 482  
FRANKLIN, MA 02038

**APPLICANT:**  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS

**GENERAL CONTRACTOR:**  
A & H BUILDING PARTNERS  
- DESIGN BUILD - CONSTRUCTION MANAGERS  
- OWNERS REPRESENTATION - DUE DILLIGENCE ANALYSIS  
MEDWAY MASSACHUSETTS



- WAIVER REQUESTED:**
1. TO ALLOW LESS THAN 42" OF COVER OVER THE RCP DRAIN PIPE. PROPOSED CLASS V RCP.
  2. TO ALLOW THE USE OF HDPE PIPE FOR THE MANIFOLDS AND POND 1, POND 2, POND 3 AND THE TRENCH DRAINS.
  3. TO ALLOW MINIMAL LIGHT SPILLAGE ONTO THE WASHINGTON STREET RIGHT OF WAY.
  4. TO ALLOW THE PLANTING OF THE 15 FOOT BUFFER STRIP TO BE COMPLETED AS SHOW ON SHEET 5. SECTION 185-35C

LOCUS MAP  
SCALE: 1" = 100'

- REFERENCE CERTIFICATE OF VOTE - SITE PLAN WASHINGTON STREET AS WELL AS THE STANDARD AND SPECIAL CONDITIONS OF APPROVAL.  
DATED MARCH 1, 2022 RECORDED WITH THE TOWN CLERK ON MARCH 8, 2022.  
- ALL EROSION CONTROL MITIGATION MEASURES SHALL BE IN PLACE PRIOR TO MAJOR CONSTRUCTION OR SOIL DISTURBANCE COMMENCING ON THE SITE.

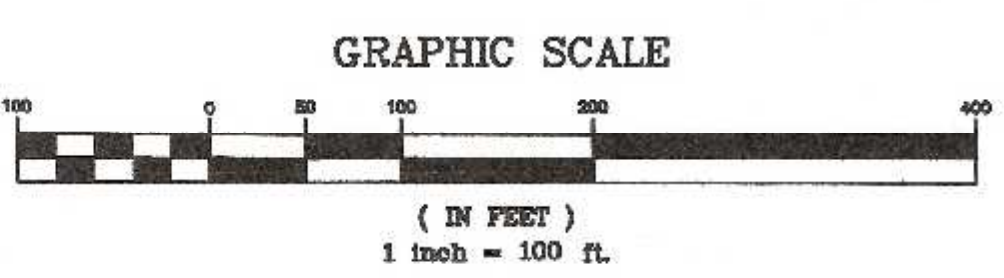


*Carlos A. Quintal*  
CARLOS A. QUINTAL P.E. #35812

SITE PLAN  
COVER SHEET  
275 WASHINGTON STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS  
JUNE 28, 2021  
SCALE: 1" = 100'

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

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BK#	FIELD BOOK	PG#
6/21	CALCS BY:	RRG
6/21	DESIGNED BY:	RRG
6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ

**UNITED CONSULTANTS INC.**  
860 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6560 FAX 508-384-6566

DATE	JUNE 28, 2021
SCALE	1" = 100'
PROJECT	UC1502
SHEET	2 of 11

JUNE 10, 2021, JUNE 16, 2021 AND NOVEMBER 23, 2021

PERFORMED BY:  
CARLOS A. QUINTAL, P.E., SOIL EVALUATOR  
RICHARD GOODREAU

PT 3 ELEV. = 249.41  
0 - 6" A - 10 YR 3/2 SANDY LOAM  
6" - 23" B - 7.5 YR 5/4 SANDY LOAM  
23" - 78" C - 2.5Y 4/5 MEDIUM SAND  
NO GROUNDWATER OR MOTTLING OBSERVED  
PERMEABILITY RATE = 38.22 IN/HR

PT 4 ELEV. = 253.35  
0 - 12" A - 10 YR 3/2 SANDY LOAM  
12" - 38" B - 7.5 YR 5/4 SANDY LOAM  
38" - 96" C - 2.5Y 4/3 SAND & GRAVEL  
NO GROUNDWATER OR MOTTLING OBSERVED  
PERMEABILITY RATE = 51.6 IN/HR

PT 5 ELEV. = 248.34  
0 - 4" A - 10 YR 3/3 SANDY LOAM  
4" - 32" B - 7.5 YR 4/4 SANDY LOAM  
32" - 90" C - 2.5Y 4/4 SAND & GRAVEL  
NO GROUNDWATER OR MOTTLING OBSERVED  
PERMEABILITY RATE = 53.3 IN/HR

PT 6 ELEV. = 245.75  
0 - 8" A - 10 YR 3/3 SANDY LOAM  
8" - 30" B - 7.5 YR 4/4 SANDY LOAM  
30" - 96" C - 2.5Y 4/4 SAND & GRAVEL  
NO GROUNDWATER OR MOTTLING OBSERVED  
PERMEABILITY RATE = 8.94 IN/HR

PT 7 ELEV. = 251.56  
0 - 7" A - 10 YR 3/3 SANDY LOAM  
7" - 20" B - 7.5 YR 4/4 SANDY LOAM  
20" - 72" C - 2.5Y 4/4 SAND & GRAVEL  
NO GROUNDWATER OR MOTTLING OBSERVED  
PERMEABILITY RATE = 30.4 IN/HR

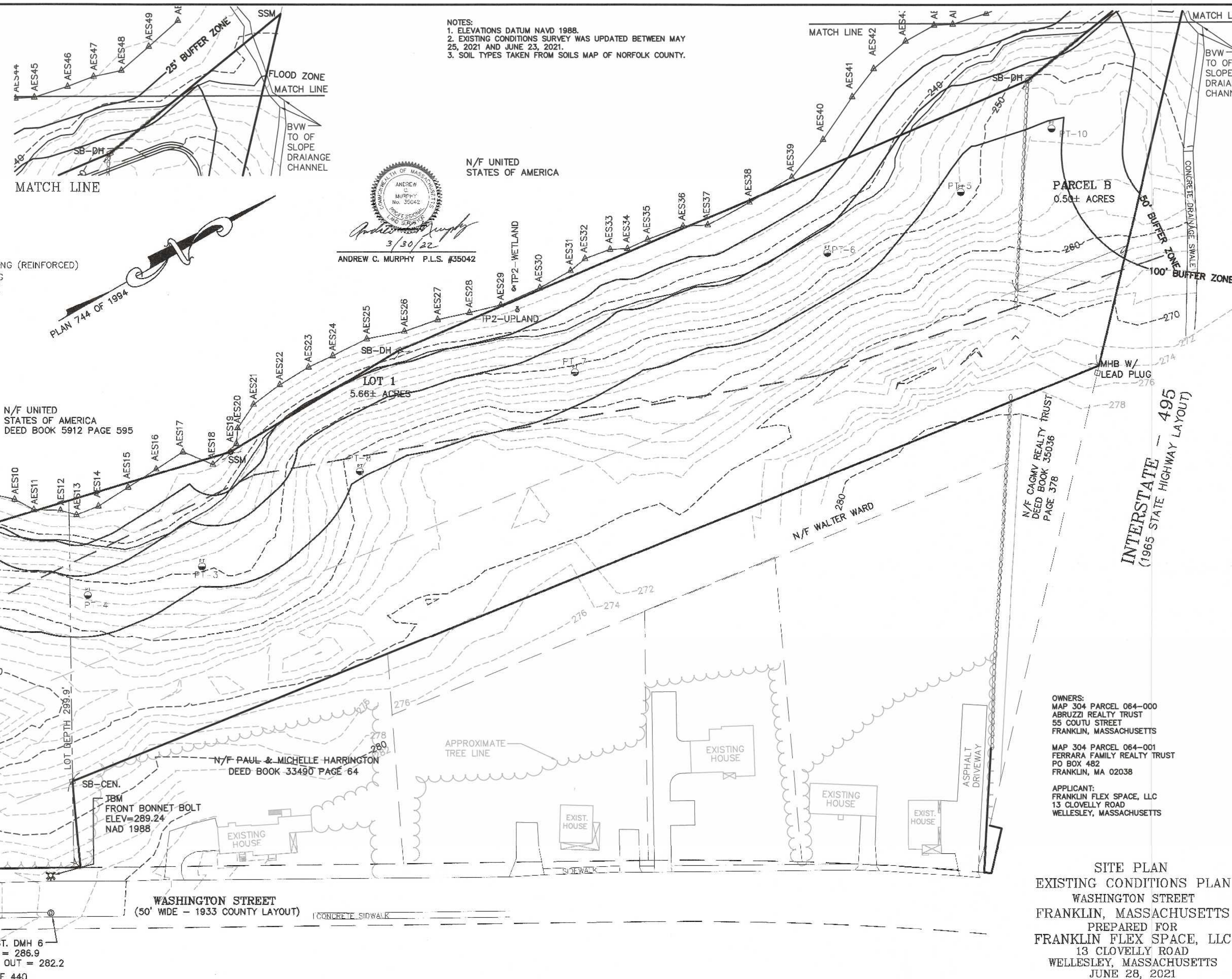
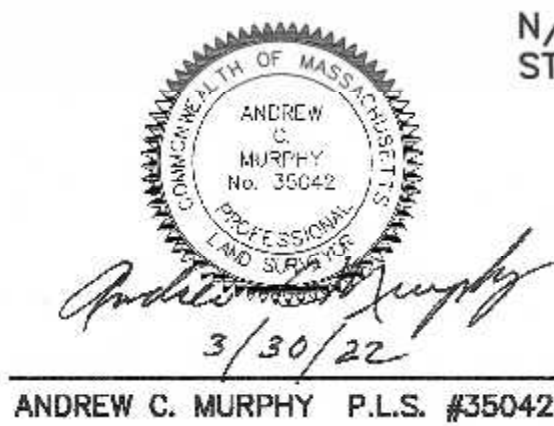
PT 8 ELEV. = 282.70  
0 - 6" A - 10 YR 3/3 SANDY LOAM  
6" - 36" B - 7.5 YR 4/4 SANDY LOAM  
36" - 112" C - 2.5Y 4/4 SAND & GRAVEL  
NO GROUNDWATER OR MOTTLING OBSERVED  
PERMEABILITY RATE = 47.5 IN/HR

PT 10 ELEV. = 253.7  
0 - 6" A - 7.5 YR 3/2 SANDY LOAM  
6" - 40" B - 7.5 YR 4/6 SANDY LOAM  
40" - 82" C1 - 2.5 Y 5/4 SAND & GRAVEL  
82" - 124" C3 - 2.5Y 5/4 LOAMY SAND & GRAVEL  
GROUNDWATER STANDING AT 124" ELEV = 243.37  
PERMEABILITY RARE = 21.6 IN / HR

**LEGEND:**

- SBDH DRILL HOLE STONE BOUND
- SSM STEEL SURVEY MARKER
- 300- EXISTING COUNTOUR
- 297- PROPOSED COUNTOUR
- x274.3 SPOT GRADE - PROPOSED
- EXIST. TREE LINE
- P-262 UTILITY POLE
- OHW OVERHEAD WIRES
- GAS GATE
- WATER CURB STOP
- WATER GATE
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- CLEANOUT
- D DUMPSTER
- VCC VERTICAL CONCRETE CURBING (REINFORCED)
- VGC VERTICAL GRANITE CURBING
- HANDICAP PARKING SPACE
- BUILDING MOUNTED LIGHT
- POLE MOUNTED LIGHT
- R=5' CURB RADIUS
- (5) PARKING SPACE COUNT
- SIGN
- OB BOLLARD

NOTES:  
1. ELEVATIONS DATUM NAVD 1988.  
2. EXISTING CONDITIONS SURVEY WAS UPDATED BETWEEN MAY 25, 2021 AND JUNE 23, 2021.  
3. SOIL TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.



OWNERS:  
MAP 304 PARCEL 064-000  
ABRUZZI REALTY TRUST  
55 COUTU STREET  
FRANKLIN, MASSACHUSETTS

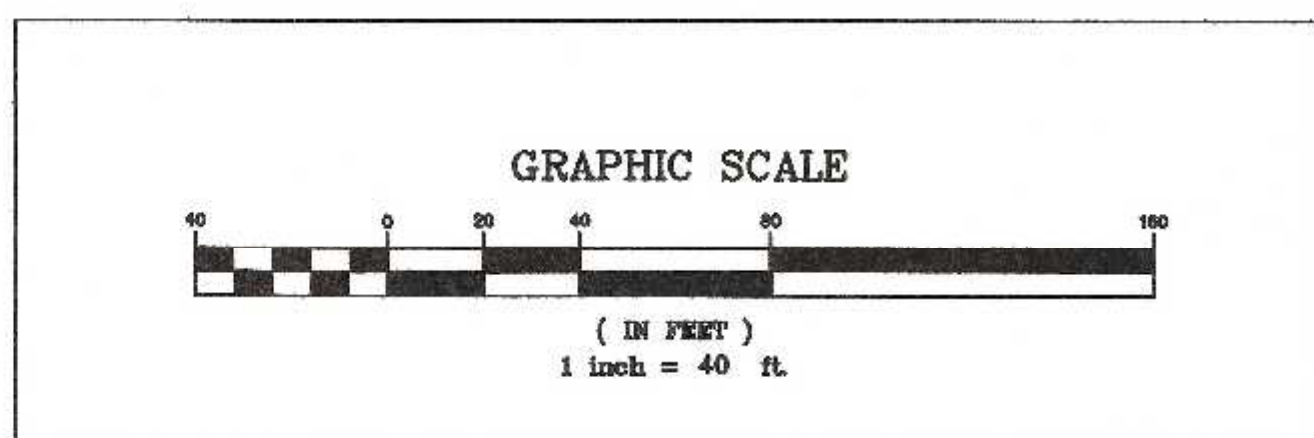
MAP 304 PARCEL 064-001  
FERRARA FAMILY REALTY TRUST  
PO BOX 482  
FRANKLIN, MA 02038

APPLICANT:  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS

**SITE PLAN**  
EXISTING CONDITIONS PLAN  
WASHINGTON STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS  
JUNE 28, 2021  
SCALE: 1" = 40'

**SITE PLAN APPROVAL REQUIRED**  
**FRANKLIN PLANNING BOARD**

DATE



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DATE	DESIGNED BY:	RRG
6/21	RRG	RRG
DATE	DRAWN BY:	COMP
6/21	RRG	RRG
DATE	CHECKED BY:	CAQ
6/21	RRG	RRG

**UNITED CONSULTANTS INC.**  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-364-8560 FAX 508-364-8568

DATE
JUNE 28, 2021
SCALE
1" = 40'
PROJECT
UC1502
SHEET
3 of 11

**PARKING CALCULATIONS:**  
 ZONING BYLAW SECTION 185-21B.(3)(b)iii - OTHER OFFICES AND BANKS - 1 SPACE PER 250 SQUARE FEET OF GROSS FLOOR AREA.  
 EACH BAY WILL CONSIST OF A 204 SQ. FT. OFFICE A 36 SQ. FT. BATHROOM AND A 25 SQ. FT. HALLWAY WHICH TOTALS 265 SQ. FT.  
 27 BAYS x 265 SQ. FT. PER BAY  
 7,155 SQ. FT. / 250 = 29 SPACES

ZONING BYLAW SECTION 185-21B.(3)(b)vi - WAREHOUSE - 1 SPACE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA

REMAINING BUILDING AREA = 12,735 SQ. FT. x 3 BUILDINGS = 38,205 SQ. FT.

38,205 SQ. FT. / 1,000 = 39 SPACES

OFFICE AND WAREHOUSE USE PARKING SPACES REQUIRED = 29 + 39 = 68 SPACES

ALTERNATIVE USE INDUSTRIAL  
 ZONING BYLAW SECTION 185-21B.(3)(b)i - INDUSTRIAL BUILDINGS, EXCEPT WAREHOUSES - 1 SPACE PER 400 SQUARE FEET OF GROSS FLOOR AREA

38,205 SQ. FT. / 400 = 96 SPACES

ALTERNATIVE USE INDUSTRIAL TOTAL SPACES REQUIRED = 29 + 96 = 125 SPACES

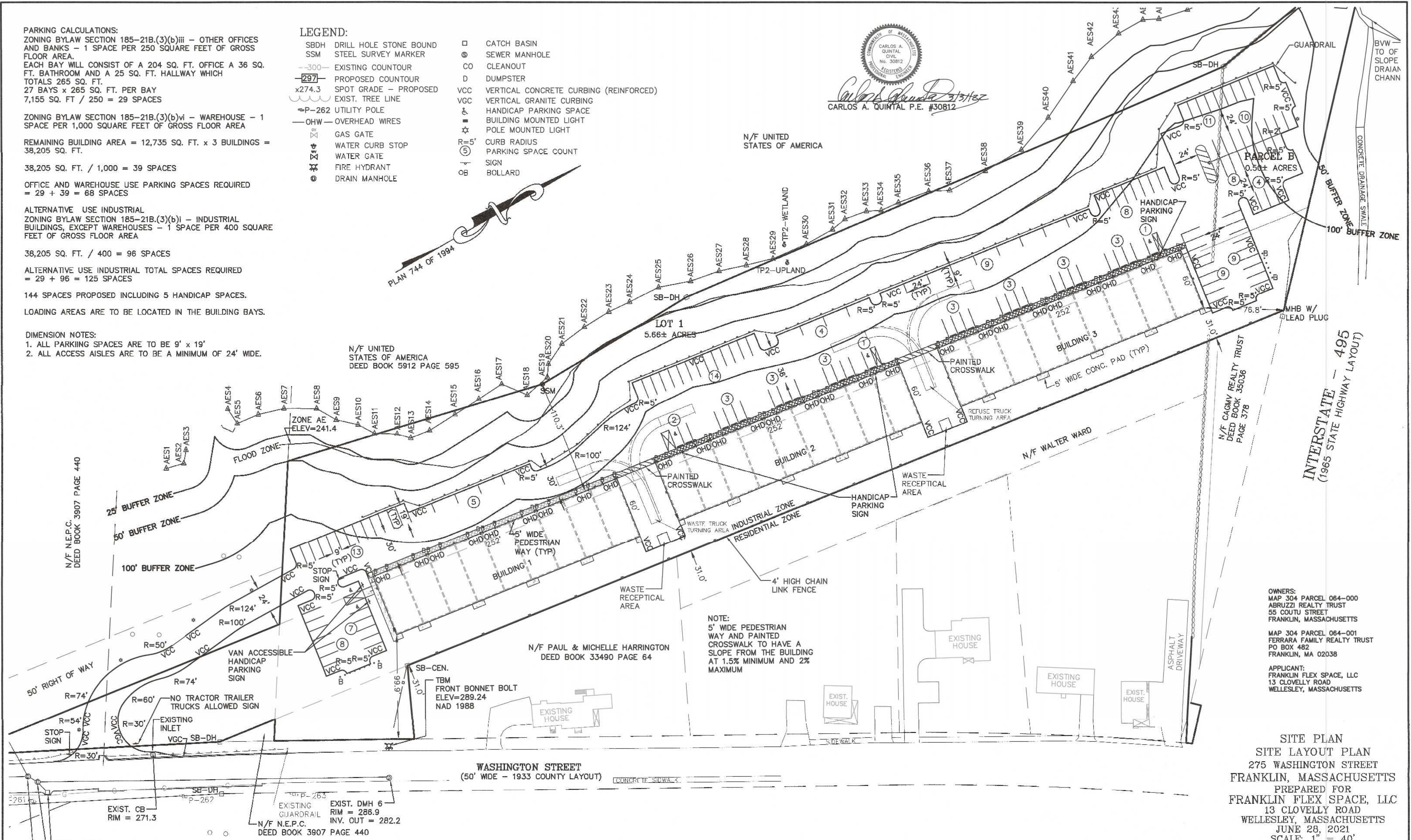
144 SPACES PROPOSED INCLUDING 5 HANDICAP SPACES.

LOADING AREAS ARE TO BE LOCATED IN THE BUILDING BAYS.

**DIMENSION NOTES:**  
 1. ALL PARKING SPACES ARE TO BE 9' x 19'  
 2. ALL ACCESS AISLES ARE TO BE A MINIMUM OF 24' WIDE.

- LEGEND:**
- SBDH DRILL HOLE STONE BOUND
  - SSM STEEL SURVEY MARKER
  - 300- EXISTING COUNTOUR
  - 297- PROPOSED COUNTOUR
  - x274.3 SPOT GRADE - PROPOSED
  - EXIST. TREE LINE
  - P-262 UTILITY POLE
  - OHW OVERHEAD WIRES
  - GAS GATE
  - WATER CURB STOP
  - WATER GATE
  - FIRE HYDRANT
  - DRAIN MANHOLE
  - CATCH BASIN
  - ⊙ SEWER MANHOLE
  - CO CLEANOUT
  - D DUMPSTER
  - VCC VERTICAL CONCRETE CURBING (REINFORCED)
  - VGC VERTICAL GRANITE CURBING
  - HANDICAP PARKING SPACE
  - BUILDING MOUNTED LIGHT
  - POLE MOUNTED LIGHT
  - R=5' CURB RADIUS
  - (5) PARKING SPACE COUNT
  - ⊕ SIGN
  - OB BOLLARD

CARLOS A. QUINTAL  
 CIVIL ENGINEER  
 No. 30812  
 REGISTERED PROFESSIONAL ENGINEER  
 3/3/22  
 CARLOS A. QUINTAL P.E. #30812



**OWNERS:**  
 MAP 304 PARCEL 064-000  
 ABRUZZI REALTY TRUST  
 55 COUTU STREET  
 FRANKLIN, MASSACHUSETTS

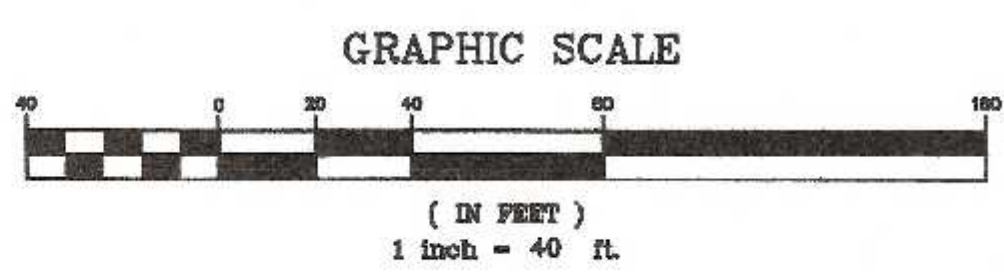
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 PO BOX 482  
 FRANKLIN, MA 02038

**APPLICANT:**  
 FRANKLIN FLEX SPACE, LLC  
 13 CLOVELLY ROAD  
 WELLESLEY, MASSACHUSETTS

**SITE PLAN**  
 SITE LAYOUT PLAN  
 275 WASHINGTON STREET  
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 JUNE 28, 2021  
 SCALE: 1" = 40'

**SITE PLAN APPROVAL**  
 REQUIRED  
 FRANKLIN PLANNING BOARD

DATE \_\_\_\_\_



NO.	DATE	DESCRIPTION	BY
4	3/30/22	ADDED CERTIFICATE OF VOTE	RRG
3	1/28/22	REVIEW COMMENTS	RRG
2	1/11/22	REVIEW COMMENTS	RRG
1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG

DATE	FIELD BY:	INT.
5/21	FIELD BOOK	BL
6/21	CALCS BY:	RRG
6/21	DESIGNED BY:	RRG
6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ

**UNITED CONSULTANTS INC.**  
 850 FRANKLIN STREET SUITE 11D  
 WRENTHAM, MASSACHUSETTS 02093  
 508-384-6560 FAX 508-384-6566

DATE  
 JUNE 28, 2021  
 SCALE  
 1" = 40'  
 PROJECT  
 UC1502  
 SHEET  
 4 of 11

**DRAINAGE STRUCTURE SCHEDULE:**

CB 1 RIM = 260.3 INV = 255.95 12" RCP	DMH 1 RIM = 258.8 INV IN = 255.18 12" RCP INV OUT = 255.08 12" RCP	DMH 8 RIM = 257.8 INV IN = 252.4 12" RCP INV OUT = 252.3 12" RCP
CB 2 RIM = 259.4 INV = 255.66 12" RCP	DMH 3 - CDS 1515-3 RIM = 259.4 INV IN = 254.35 12" RCP INV OUT = 254.25 12" HDPE	DMH 9 RIM = 261.2 INV IN = 256.66 12" RCP INV OUT = 256.56 12" RCP
CB 3 RIM = 258.5 INV = 255.24 12" RCP	DMH 4 RIM = 261.1 INV IN = 256.56 12" RCP INV OUT = 256.46 12" RCP	DMH 10 RIM = 258.8 INV IN = 252.44 12" RCP INV OUT = 252.34 12" RCP
CB 4 RIM = 258.7 INV = 254.66 12" RCP	DMH 5 RIM = 259.5 INV IN = 254.30 12" RCP INV OUT = 254.20 12" RCP	DMH 11 RIM = 259.6 INV IN = 253.8 12" HDPE INV OUT = 247.4 12" RCP
CB 5 - STORMCEPTOR 450I RIM = 258.1 INV = 254.96 12" RCP	DMH 6 RIM = 259.3 INV IN = 251.76 12" RCP INV OUT = 251.66 12" HDPE	DMH 12 RIM = 258.6 INV IN = 251.1 12" HDPE INV OUT = 244.8 12" RCP
CB 6 RIM = 257.6 INV = 252.46 12" RCP	DMH 7 CDS 1515-3 RIM = 258.0 INV IN = 251.7 12" RCP INV OUT = 251.6 12" HDPE	DMH 13 RIM = 258.0 INV IN = 252.15 12" HDPE INV OUT = 246.88 12" RCP
CB 7 RIM = 258.0 INV = 253.6 12" RCP	DMH 8 STORMCEPTOR 450I RIM = 257.8 INV = 253.6 12" RCP	
CB 8 STORMCEPTOR 450I RIM = 257.8 INV = 253.6 12" RCP	DMH 9 STORMCEPTOR 450I RIM = 257.8 INV = 253.6 12" RCP	
CB 9 STORMCEPTOR 450I RIM = 257.8 INV = 253.6 12" RCP	DMH 10 STORMCEPTOR 450I RIM = 257.8 INV = 253.6 12" RCP	
CB 10 - STORMCEPTOR 450I RIM = 258.0 INV = 252.85 12" RCP	DMH 11 STORMCEPTOR 450I RIM = 258.0 INV = 252.85 12" RCP	
CB 14 - CDS 1515-3G RIM = 256.5 INV = 252.5 12" RCP		
TD 11 - 12" PERFORATED HDPE BEG INV = 257.89 END INV = 256.75		
TD 12 - 12" PERFORATED HDPE BEG INV = 257.96 END INV = 256.82		
TD 13 - 12" PERFORATED HDPE BEG INV = 258.04 END INV = 256.91		

**LEGEND:**

SBDH	DRILL HOLE STONE BOUND	□	CATCH BASIN
SSM	STEEL SURVEY MARKER	⊙	SEWER MANHOLE
-300-	EXISTING COUNTOUR	CO	CLEANOUT
297	PROPOSED COUNTOUR	D	DUMPSTER
x274.3	SPOT GRADE - PROPOSED	VCC	VERTICAL CONCRETE CURBING (REINFORCED)
	EXIST. TREE LINE	VGC	VERTICAL GRANITE CURBING
P-262	UTILITY POLE	H	HANDICAP PARKING SPACE
OHW	OVERHEAD WIRES	B	BUILDING MOUNTED LIGHT
	GAS GATE	★	POLE MOUNTED LIGHT
	WATER CURB STOP	R.T. 5'	CURB RADIUS
	WATER GATE	(S)	PARKING SPACE COUNT
	FIRE HYDRANT	○	OB
	DRAIN MANHOLE	○	OB

**DRAINAGE PIPING NOTES:**

- ALL RCP PIPE TO BE CLASS V.
- HDPE PIPE TO BE ADS OR APPROVED EQUAL.
- TRENCH DRAINS TO BE 12" HDPE (PERFORATED).
- WHERE HDPE PIPE CONNECTS TO RCP PIPE INSTALL A FERRO LDC TO 37.00 X 32.00 COUPLING. (OR APPROVED EQUAL)

**UTILITY NOTES:**

- DOMESTIC WATER SUPPLY SHOWN FOR LOCATION ONLY. FINAL SIZING SHALL BE BASED ON PLUMBING ENGINEERS CALCULATIONS.
- FIRE CONNECTION SHOWN FOR LOCATION ONLY. FINAL SIZING SHALL BE BASED ON PLUMBING ENGINEERS CALCULATIONS AND APPROVED BY FRANKLIN FIRE DEPARTMENT.
- ELECTRIC, TELEPHONE AND CABLE TV LOCATIONS TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES.
- THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE STORMWATER INFILTRATION POND PRIOR TO ANY FILL OR STONE BEING PLACED.
- BUILDING TO BE CONNECTED TO GAS MAIN IN WASHINGTON STREET. LOCATIONS TO BE DETERMINED BY THE GAS SUPPLIER.

**NOTES:**

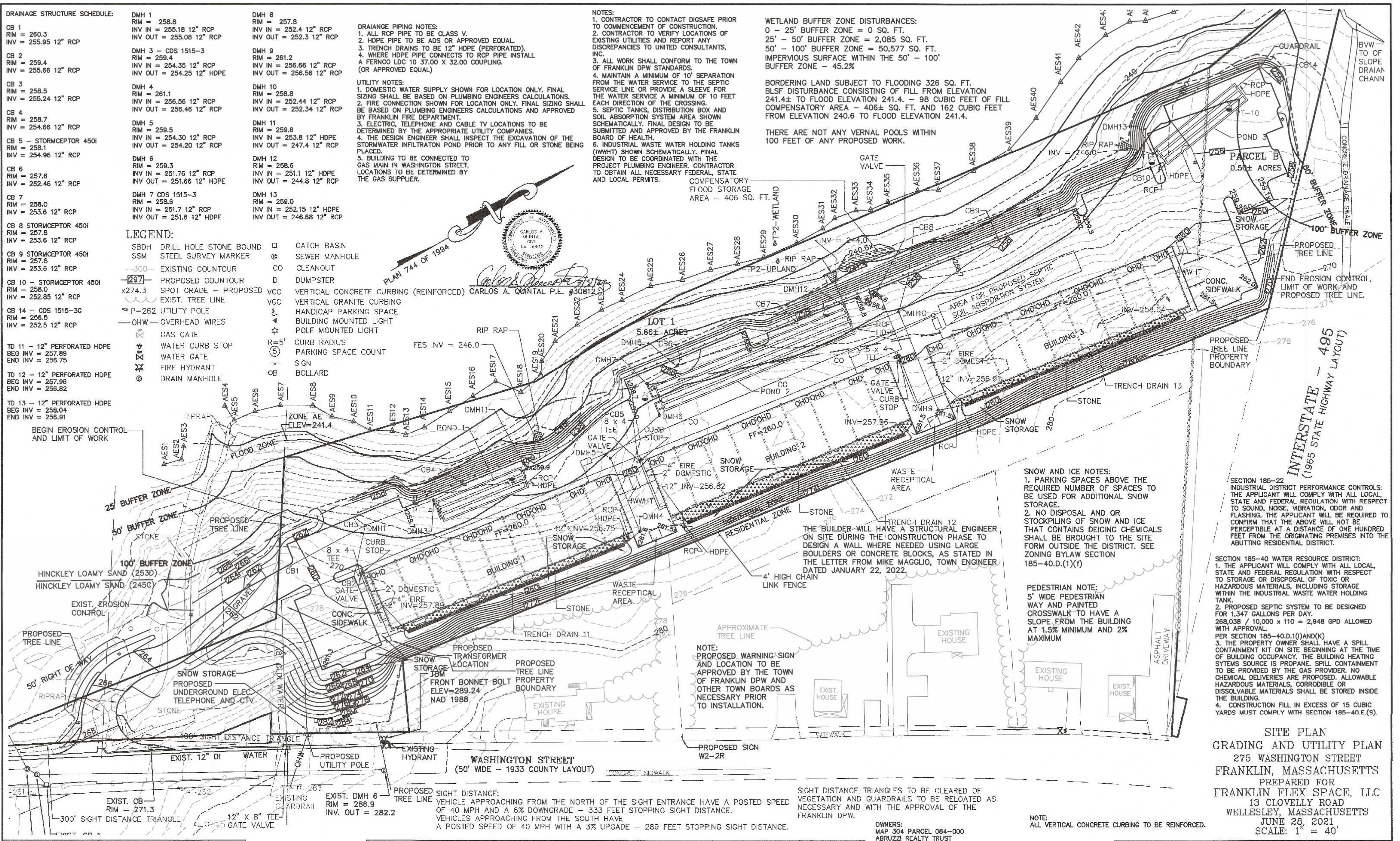
- CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
- ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.
- MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEPTIC SERVICE LINE OR PROVIDE A SLEEVE FOR THE WATER SERVICE A MINIMUM OF 10 FEET EACH DIRECTION OF THE CROSSING.
- SEPTIC TANKS, DISTRIBUTION BOX AND SOIL ABSORPTION SYSTEM AREA SHOWN SCHEMATICALLY. FINAL DESIGN TO BE SUBMITTED AND APPROVED BY THE FRANKLIN BOARD OF HEALTH.
- INDUSTRIAL WASTE WATER HOLDING TANKS (IWWHT) SHOWN SCHEMATICALLY. FINAL DESIGN TO BE COORDINATED WITH THE PROJECT PLUMBING ENGINEER. CONTRACTOR TO OBTAIN ALL NECESSARY FEDERAL, STATE AND LOCAL PERMITS.

**WETLAND BUFFER ZONE DISTURBANCES:**

- 0 - 25' BUFFER ZONE = 0 SQ. FT.
- 25' - 50' BUFFER ZONE = 2,085 SQ. FT.
- 50' - 100' BUFFER ZONE = 50,577 SQ. FT.
- IMPERVIOUS SURFACE WITHIN THE 50' - 100' BUFFER ZONE = 45.2%

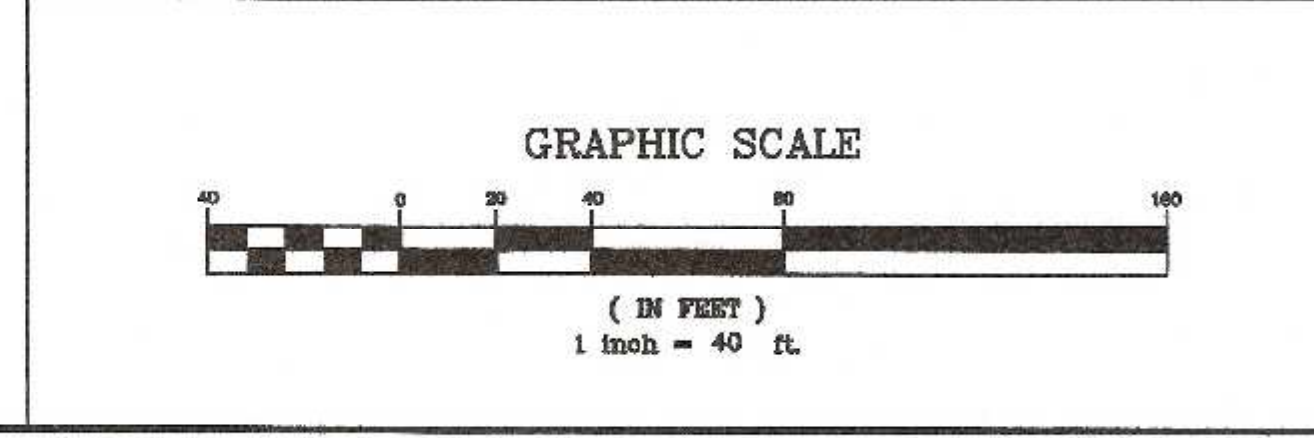
**BORDERING LAND SUBJECT TO FLOODING 326 SQ. FT. BLSF DISTURBANCE CONSISTING OF FILL FROM ELEVATION 241.4± TO FLOOD ELEVATION 241.4. - 98 CUBIC FEET OF FILL COMPENSATORY AREA - 406± SQ. FT. AND 162 CUBIC FEET FROM ELEVATION 240.6 TO FLOOD ELEVATION 241.4.**

**THERE ARE NOT ANY VERNAL POOLS WITHIN 100 FEET OF ANY PROPOSED WORK.**



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**OWNERS:**  
MAP 304 PARCEL 064-000  
ABRUZZI REALTY TRUST  
55 COUTY STREET  
FRANKLIN, MASSACHUSETTS

**APPLICANT:**  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS

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850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6580 FAX 508-384-6586

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**SHEET**  
5 of 11

**SECTION 185-22 INDUSTRIAL DISTRICT PERFORMANCE CONTROLS:**  
THE APPLICANT WILL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATION WITH RESPECT TO SOUND, NOISE, VIBRATION, ODOR AND FLASHING. THE APPLICANT WILL BE REQUIRED TO CONFIRM THAT THE ABOVE WILL NOT BE PERCEPTIBLE AT A DISTANCE OF ONE HUNDRED FEET FROM THE ORIGINATING PREMISES INTO THE ADJACENT RESIDENTIAL DISTRICT.

**SECTION 185-40 WATER RESOURCE DISTRICT:**  
1. THE APPLICANT WILL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATION WITH RESPECT TO STORAGE OR DISPOSAL OF TOXIC OR HAZARDOUS MATERIALS, INCLUDING STORAGE WITHIN THE INDUSTRIAL WASTE WATER HOLDING TANK.  
2. PROPOSED SEPTIC SYSTEM TO BE DESIGNED FOR 1,347 GALLONS PER DAY. 268,038 / 10,000 x 110 = 2,948 GPD ALLOWED WITH APPROVAL.  
3. THE PROPERTY OWNER SHALL HAVE A SPILL CONTAINMENT KIT ON SITE BEGINNING AT THE TIME OF BUILDING OCCUPANCY. THE BUILDING HEATING SYSTEMS SOURCE IS PROPANE. SPILL CONTAINMENT TO BE PROVIDED BY THE GAS PROVIDER. NO CHEMICAL DELIVERIES ARE PROPOSED. ALLOWABLE HAZARDOUS MATERIALS, CORRODIBLE OR DISSOLVABLE MATERIALS SHALL BE STORED INSIDE THE BUILDING.  
4. CONSTRUCTION FILL IN EXCESS OF 15 CUBIC YARDS MUST COMPLY WITH SECTION 185-40.E.(5).

**SNOW AND ICE NOTES:**

- PARKING SPACES ABOVE THE REQUIRED NUMBER OF SPACES TO BE USED FOR ADDITIONAL SNOW STORAGE.
- NO DISPOSAL AND OR STOCKPILING OF SNOW AND ICE THAT CONTAINS DEICING CHEMICALS SHALL BE BROUGHT TO THE SITE FROM OUTSIDE THE DISTRICT. SEE ZONING BYLAW SECTION 185-40.D.(1)(f)

**PEDESTRIAN NOTE:**  
5' WIDE PEDESTRIAN WAY AND PAINTED CROSSWALK TO HAVE A SLOPE FROM THE BUILDING AT 1.5% MINIMUM AND 2% MAXIMUM

THE BUILDER WILL HAVE A STRUCTURAL ENGINEER ON SITE DURING THE CONSTRUCTION PHASE TO DESIGN A WALL WHERE NEEDED USING LARGE BOULDERS OR CONCRETE BLOCKS, AS STATED IN THE LETTER FROM MIKE MAGGIO, TOWN ENGINEER DATED JANUARY 22, 2022.

**NOTE:**  
PROPOSED WARNING SIGN AND LOCATION TO BE APPROVED BY THE TOWN OF FRANKLIN DPW AND OTHER TOWN BOARDS AS NECESSARY PRIOR TO INSTALLATION.

**SIGHT DISTANCE TRIANGLES TO BE CLEARED OF VEGETATION AND GUARDRAILS TO BE RELOCATED AS NECESSARY AND WITH THE APPROVAL OF THE FRANKLIN DPW.**

**SIGHT DISTANCE:**  
VEHICLE APPROACHING FROM THE NORTH OF THE SIGHT ENTRANCE HAVE A POSTED SPEED OF 40 MPH AND A 6% DOWNGRADE - 333 FEET STOPPING SIGHT DISTANCE.  
VEHICLES APPROACHING FROM THE SOUTH HAVE A POSTED SPEED OF 40 MPH WITH A 3% UPGRADE - 289 FEET STOPPING SIGHT DISTANCE.

**SITE PLAN**  
GRADING AND UTILITY PLAN  
275 WASHINGTON STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS  
JUNE 28, 2021  
SCALE: 1" = 40'

# PLANTING SCHEDULE

NUMBER	COMMON NAME	SCIENTIFIC NAME	SIZE	CONDITION
5	AMERICAN ELM - AE	ULMUS AMERICANA	3"	B&B
5	RED MAPLE - RM	ACER RUBRUM	3"	B&B
5	WHITE BIRCH - WB	BETULA Papyrifera	4 - 6 FEET	B&B
143	ARBORVITAE - A	THUJA PLICATA	3 - 3 1/2 FEET	B&B

- PER SECTION 185-21C(5) PROVIDE 1 TREE PER 10 PARKING SPACES.  
 145 TOTAL PARKING SPACES / 10 = 15 TREES  
 - 15 TREES PROVIDED.  
 - ALL PLANTINGS ARE IN ACCORDANCE WITH THE TOWN OF FRANKLIN BEST DEVELOPMENT PRACTICES GUIDEBOOK.

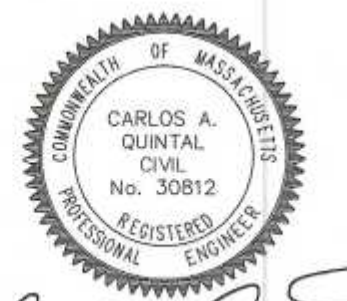
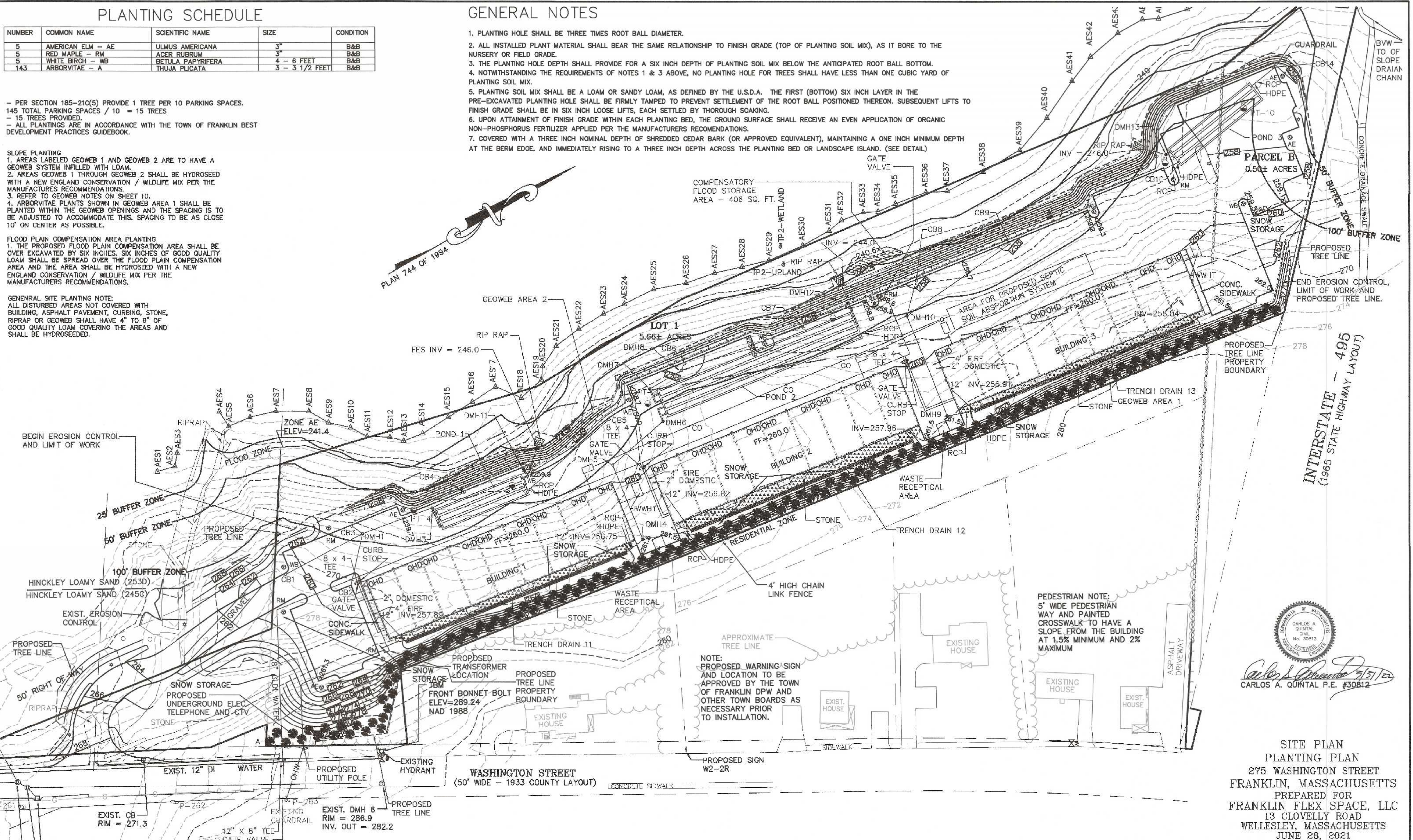
**SLOPE PLANTING**  
 1. AREAS LABELED GEOWEB 1 AND GEOWEB 2 ARE TO HAVE A GEOWEB SYSTEM INFILLED WITH LOAM.  
 2. AREAS GEOWEB 1 THROUGH GEOWEB 2 SHALL BE HYDROSEED WITH A NEW ENGLAND CONSERVATION / WILDLIFE MIX PER THE MANUFACTURER'S RECOMMENDATIONS.  
 3. REFER TO GEOWEB NOTES ON SHEET 10.  
 4. ARBORVITAE PLANTS SHOWN IN GEOWEB AREA 1 SHALL BE PLANTED WITHIN THE GEOWEB OPENINGS AND THE SPACING IS TO BE ADJUSTED TO ACCOMMODATE THIS. SPACING TO BE AS CLOSE 10' ON CENTER AS POSSIBLE.

**FLOOD PLAIN COMPENSATION AREA PLANTING**  
 1. THE PROPOSED FLOOD PLAIN COMPENSATION AREA SHALL BE OVER EXCAVATED BY SIX INCHES. SIX INCHES OF GOOD QUALITY LOAM SHALL BE SPREAD OVER THE FLOOD PLAIN COMPENSATION AREA AND THE AREA SHALL BE HYDROSEED WITH A NEW ENGLAND CONSERVATION / WILDLIFE MIX PER THE MANUFACTURER'S RECOMMENDATIONS.

**GENERAL SITE PLANTING NOTE:**  
 ALL DISTURBED AREAS NOT COVERED WITH BUILDING, ASPHALT PAVEMENT, CURBING, STONE, RIPRAP OR GEOWEB SHALL HAVE 4" TO 6" OF GOOD QUALITY LOAM COVERING THE AREAS AND SHALL BE HYDROSEED.

# GENERAL NOTES

1. PLANTING HOLE SHALL BE THREE TIMES ROOT BALL DIAMETER.
2. ALL INSTALLED PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE (TOP OF PLANTING SOIL MIX), AS IT BORE TO THE NURSERY OR FIELD GRADE.
3. THE PLANTING HOLE DEPTH SHALL PROVIDE FOR A SIX INCH DEPTH OF PLANTING SOIL MIX BELOW THE ANTICIPATED ROOT BALL BOTTOM.
4. NOTWITHSTANDING THE REQUIREMENTS OF NOTES 1 & 3 ABOVE, NO PLANTING HOLE FOR TREES SHALL HAVE LESS THAN ONE CUBIC YARD OF PLANTING SOIL MIX.
5. PLANTING SOIL MIX SHALL BE A LOAM OR SANDY LOAM, AS DEFINED BY THE U.S.D.A. THE FIRST (BOTTOM) SIX INCH LAYER IN THE PRE-EXCAVATED PLANTING HOLE SHALL BE FIRMLY TAMPED TO PREVENT SETTLEMENT OF THE ROOT BALL POSITIONED THEREON. SUBSEQUENT LIFTS TO FINISH GRADE SHALL BE IN SIX INCH LOOSE LIFTS, EACH SETTLED BY THOROUGH SOAKING.
6. UPON ATTAINMENT OF FINISH GRADE WITHIN EACH PLANTING BED, THE GROUND SURFACE SHALL RECEIVE AN EVEN APPLICATION OF ORGANIC NON-PHOSPHORUS FERTILIZER APPLIED PER THE MANUFACTURER'S RECOMMENDATIONS.
7. COVERED WITH A THREE INCH NOMINAL DEPTH OF SHREDDED CEDAR BARK (OR APPROVED EQUIVALENT), MAINTAINING A ONE INCH MINIMUM DEPTH AT THE BERM EDGE, AND IMMEDIATELY RISING TO A THREE INCH DEPTH ACROSS THE PLANTING BED OR LANDSCAPE ISLAND. (SEE DETAIL)

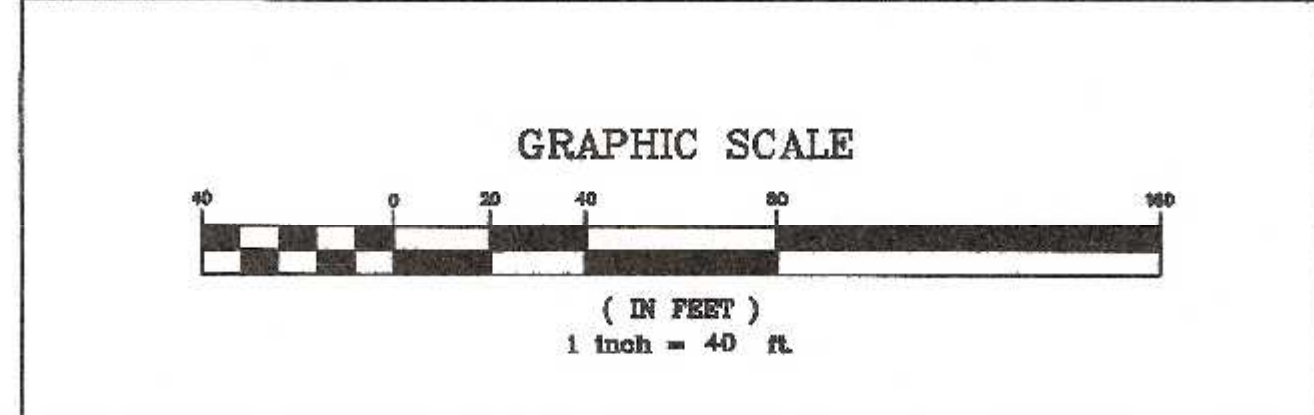


*Carlos A. Quintal* 3/31/21  
 CARLOS A. QUINTAL P.E. #30812

**SITE PLAN  
 PLANTING PLAN**  
 275 WASHINGTON STREET  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 FRANKLIN FLEX SPACE, LLC  
 13 CLOVELLY ROAD  
 WELLESLEY, MASSACHUSETTS  
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 INC.**  
 850 FRANKLIN STREET SUITE 11D  
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 508-884-6560 FAX 508-884-6566

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6 of 11

# OPERATION AND MAINTENANCE PLAN

## CONSTRUCTION PHASE

1. THE OWNERS REPRESENTATIVE, NAME AND PHONE NUMBER TO BE PROVIDED, SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS EXISTING AND PROPOSED AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT SAKS SHALL BE COMPLETED AS NECESSARY.
9. THE STORMCEPTOR AND CDS UNIT SHALL BE CLEANED WITH A VACUUM TRUCK.

## INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANTS ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS. WHEN WORK WITHIN THE 50-FOOT BUFFER ZONE RESULTS IN BARE SOILS OR WHEN SOILS ARE NOT FROZEN OR OTHERWISE STABILIZED THE INSPECTION SHALL BE WEEKLY.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENTS ARE TO BE REMOVED.
3. INSPECTIONS OF THE WATER QUALITY UNITS TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF THE PROPOSED CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
5. INSPECTION OF POND 1, POND 2 AND POND 3 TO DETERMINE IF CLEANING IS NECESSARY.

## OPERATION AND MAINTENANCE SCHEDULE

### CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. ONCE THE PARKING LOT HAS BEEN PAVED DAILY INSPECTIONS SHALL BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT SAKS SHALL BE INSTALLED AT ALL CATCH BASINS, STORMCEPTOR AND CDS UNITS (WITH GRATES). SILT SAKS, ONCE INSTALLED SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
4. THE WATER QUALITY UNITS SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 8"
5. THE PONDS SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.

ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION

BEGIN EROSION CONTROL AND LIMIT OF WORK

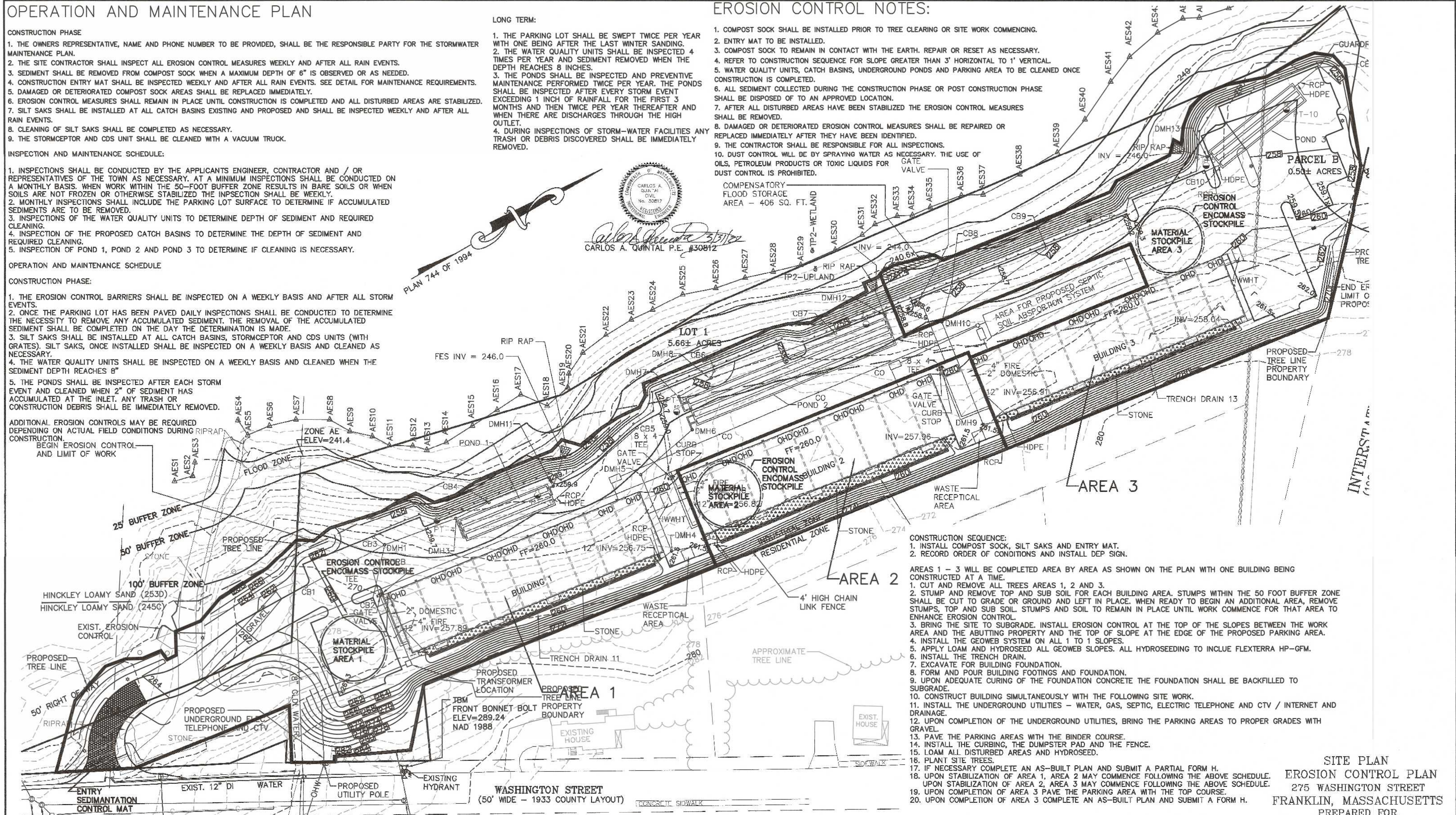
### LONG TERM:

1. THE PARKING LOT SHALL BE SWEEPED TWICE PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING
2. THE WATER QUALITY UNITS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 8 INCHES.
3. THE PONDS SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

# EROSION CONTROL NOTES:

1. COMPOST SOCK SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. ENTRY MAT TO BE INSTALLED.
3. COMPOST SOCK TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
4. REFER TO CONSTRUCTION SEQUENCE FOR SLOPE GREATER THAN 3' HORIZONTAL TO 1' VERTICAL.
5. WATER QUALITY UNITS, CATCH BASINS, UNDERGROUND PONDS AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
6. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
8. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
10. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.

COMPENSATORY FLOOD STORAGE AREA - 406 SQ. FT.



### CONSTRUCTION SEQUENCE:

1. INSTALL COMPOST SOCK, SILT SAKS AND ENTRY MAT.
  2. RECORD ORDER OF CONDITIONS AND INSTALL DEP SIGN.
- AREAS 1 - 3 WILL BE COMPLETED AREA BY AREA AS SHOWN ON THE PLAN WITH ONE BUILDING BEING CONSTRUCTED AT A TIME.
1. CUT AND REMOVE ALL TREES AREAS 1, 2 AND 3.
  2. STUMP AND REMOVE TOP AND SUB SOIL FOR EACH BUILDING AREA. STUMPS WITHIN THE 50 FOOT BUFFER ZONE SHALL BE CUT TO GRADE OR GROUND AND LEFT IN PLACE. WHEN READY TO BEGIN AN ADDITIONAL AREA, REMOVE STUMPS, TOP AND SUB SOIL. STUMPS AND SOIL TO REMAIN IN PLACE UNTIL WORK COMMENCE FOR THAT AREA TO ENHANCE EROSION CONTROL.
  3. BRING THE SITE TO SUBGRADE. INSTALL EROSION CONTROL AT THE TOP OF THE SLOPES BETWEEN THE WORK AREA AND THE ADJUTING PROPERTY AND THE TOP OF SLOPE AT THE EDGE OF THE PROPOSED PARKING AREA.
  4. INSTALL THE GEOWEB SYSTEM ON ALL 1 TO 1 SLOPES.
  5. APPLY LOAM AND HYDROSEED ALL GEOWEB SLOPES. ALL HYDROSEEDING TO INCLUDE FLEXTERRA HP-GFM.
  6. INSTALL THE TRENCH DRAIN.
  7. EXCAVATE FOR BUILDING FOUNDATION.
  8. FORM AND POUR BUILDING FOOTINGS AND FOUNDATION.
  9. UPON ADEQUATE CURING OF THE FOUNDATION CONCRETE THE FOUNDATION SHALL BE BACKFILLED TO SUBGRADE.
  10. CONSTRUCT BUILDING SIMULTANEOUSLY WITH THE FOLLOWING SITE WORK.
  11. INSTALL THE UNDERGROUND UTILITIES - WATER, GAS, SEPTIC, ELECTRIC TELEPHONE AND CTV / INTERNET AND DRAINAGE.
  12. UPON COMPLETION OF THE UNDERGROUND UTILITIES, BRING THE PARKING AREAS TO PROPER GRADES WITH GRAVEL.
  13. PAVE THE PARKING AREAS WITH THE BINDER COURSE.
  14. INSTALL THE CURBING, THE DUMPSTER PAD AND THE FENCE.
  15. LOAM ALL DISTURBED AREAS AND HYDROSEED.
  16. PLANT SITE TREES.
  17. IF NECESSARY COMPLETE AN AS-BUILT PLAN AND SUBMIT A PARTIAL FORM H.
  18. UPON STABILIZATION OF AREA 1, AREA 2 MAY COMMENCE FOLLOWING THE ABOVE SCHEDULE. UPON STABILIZATION OF AREA 2, AREA 3 MAY COMMENCE FOLLOWING THE ABOVE SCHEDULE.
  19. UPON COMPLETION OF AREA 3 PAVE THE PARKING AREA WITH THE TOP COURSE.
  20. UPON COMPLETION OF AREA 3 COMPLETE AN AS-BUILT PLAN AND SUBMIT A FORM H.

**SITE PLAN  
EROSION CONTROL PLAN**  
275 WASHINGTON STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS  
JUNE 28, 2021  
SCALE: 1" = 40'

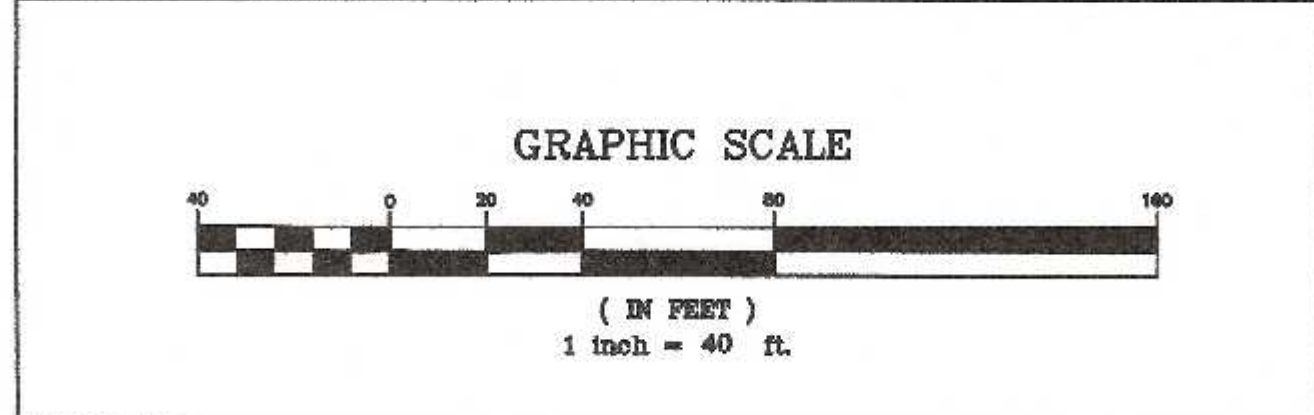
**UNITED CONSULTANTS INC.**  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6560 FAX 508-384-6566

DATE: JUNE 28, 2021  
SCALE: 1" = 30'  
PROJECT: UC1502  
SHEET: 7 of 11

**SITE PLAN APPROVAL REQUIRED**  
FRANKLIN PLANNING BOARD  
DATE: \_\_\_\_\_

OWNER:  
ABRUZZI REALTY TRUST  
55 COUTH STREET  
FRANKLIN, MASSACHUSETTS

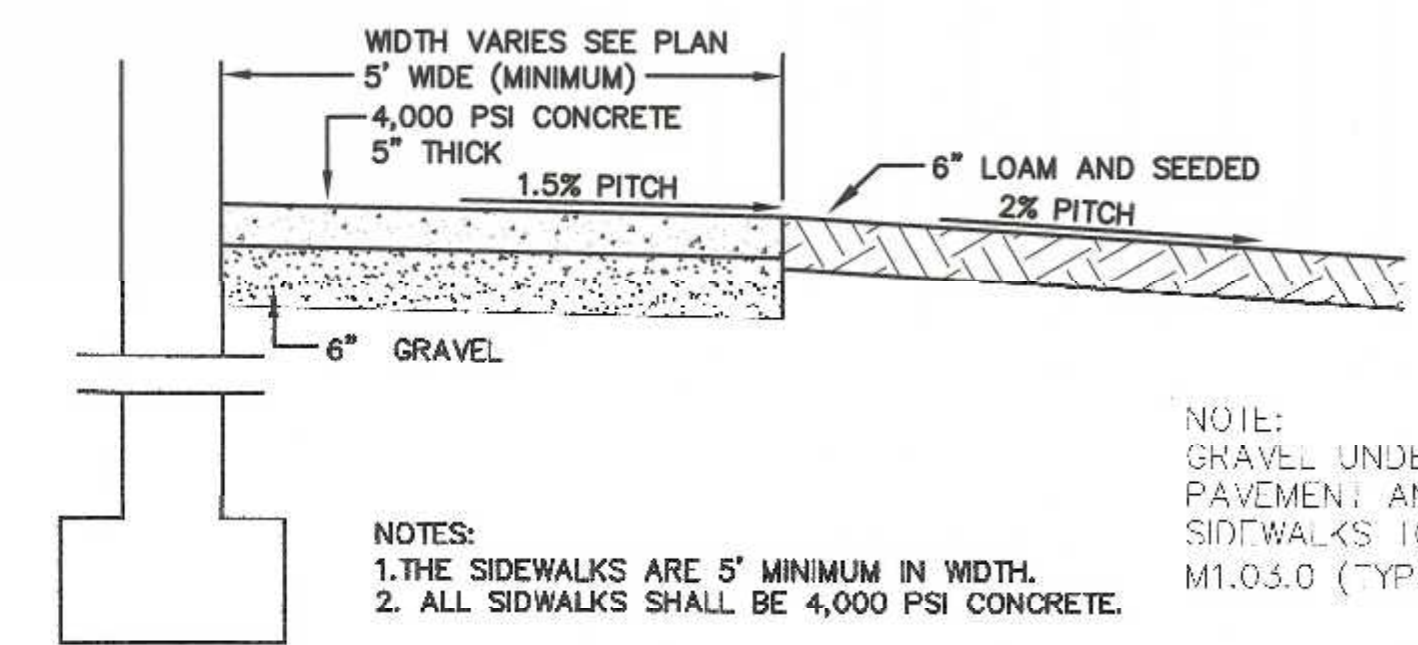
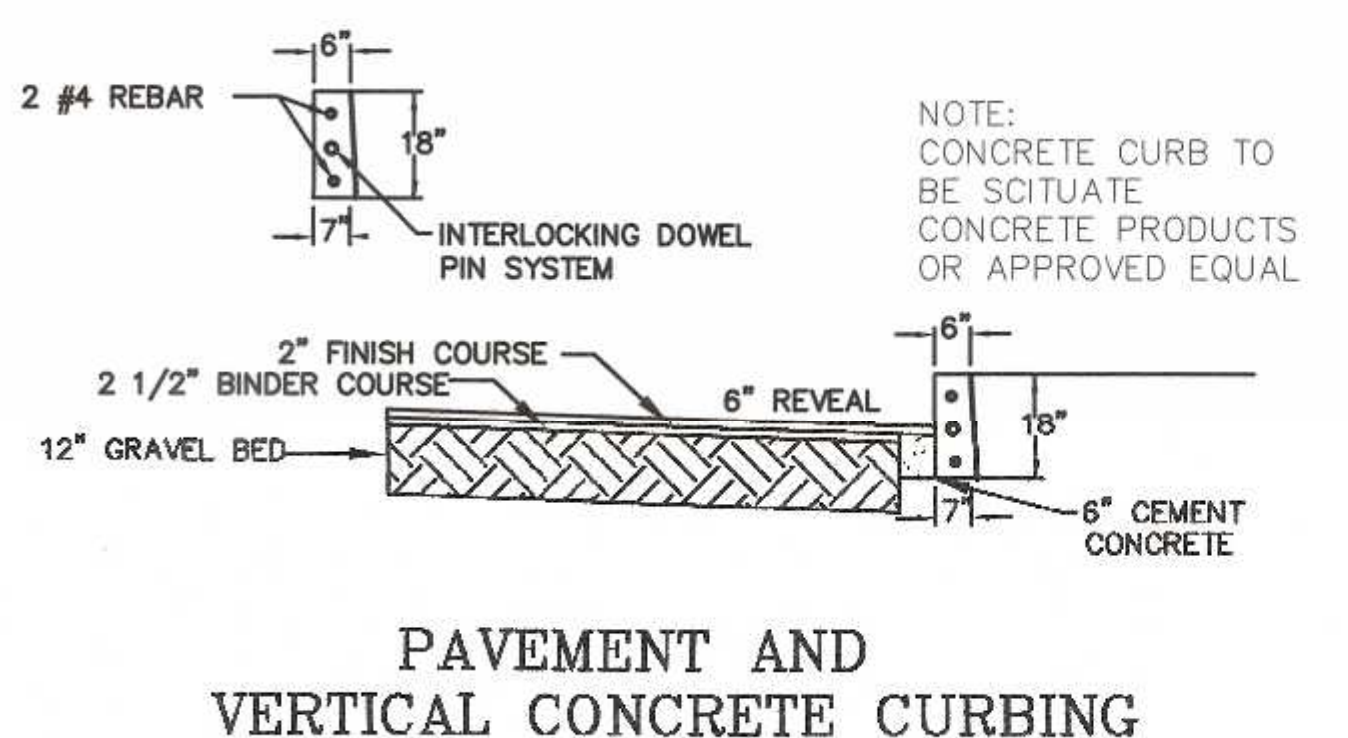
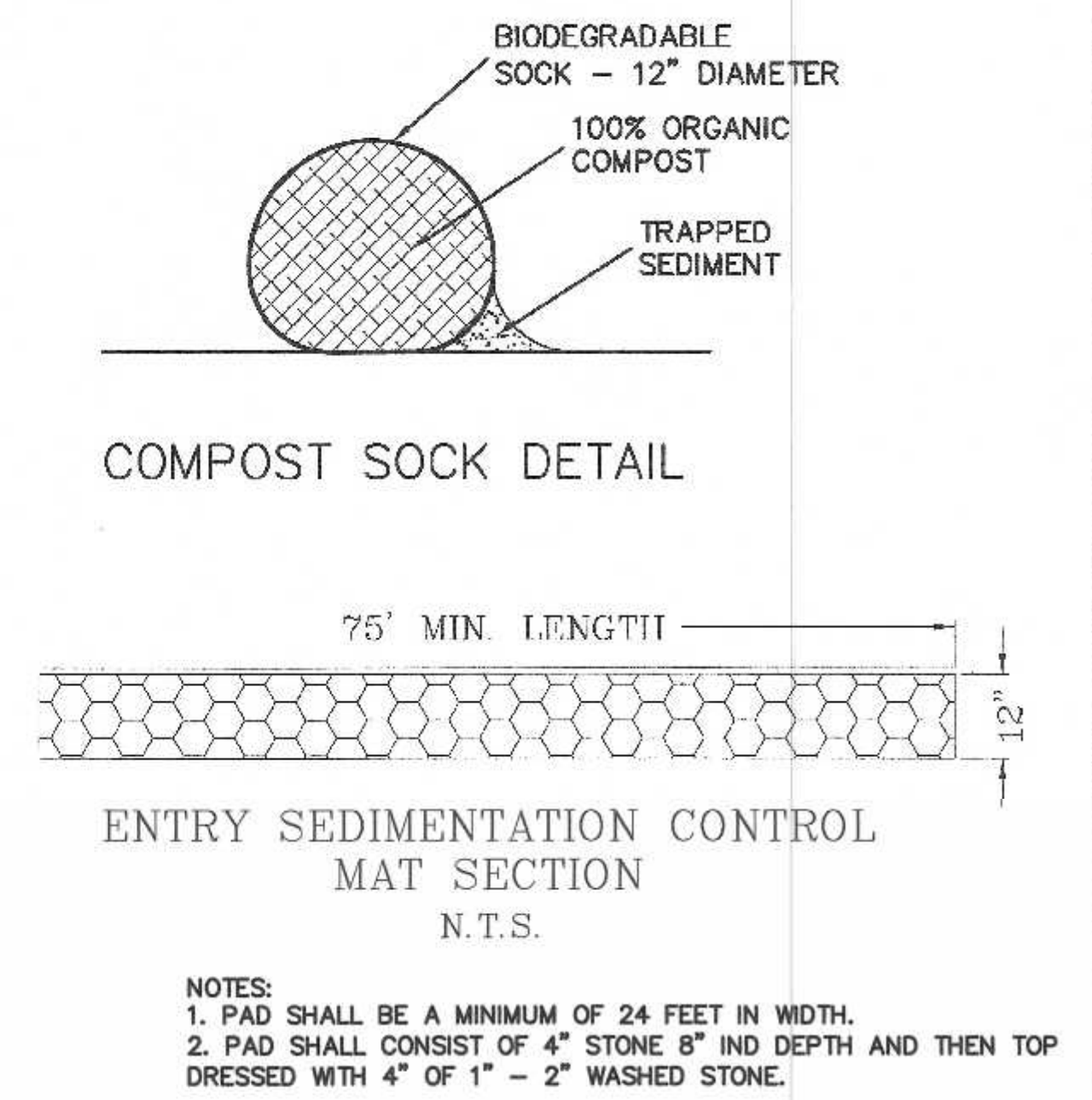
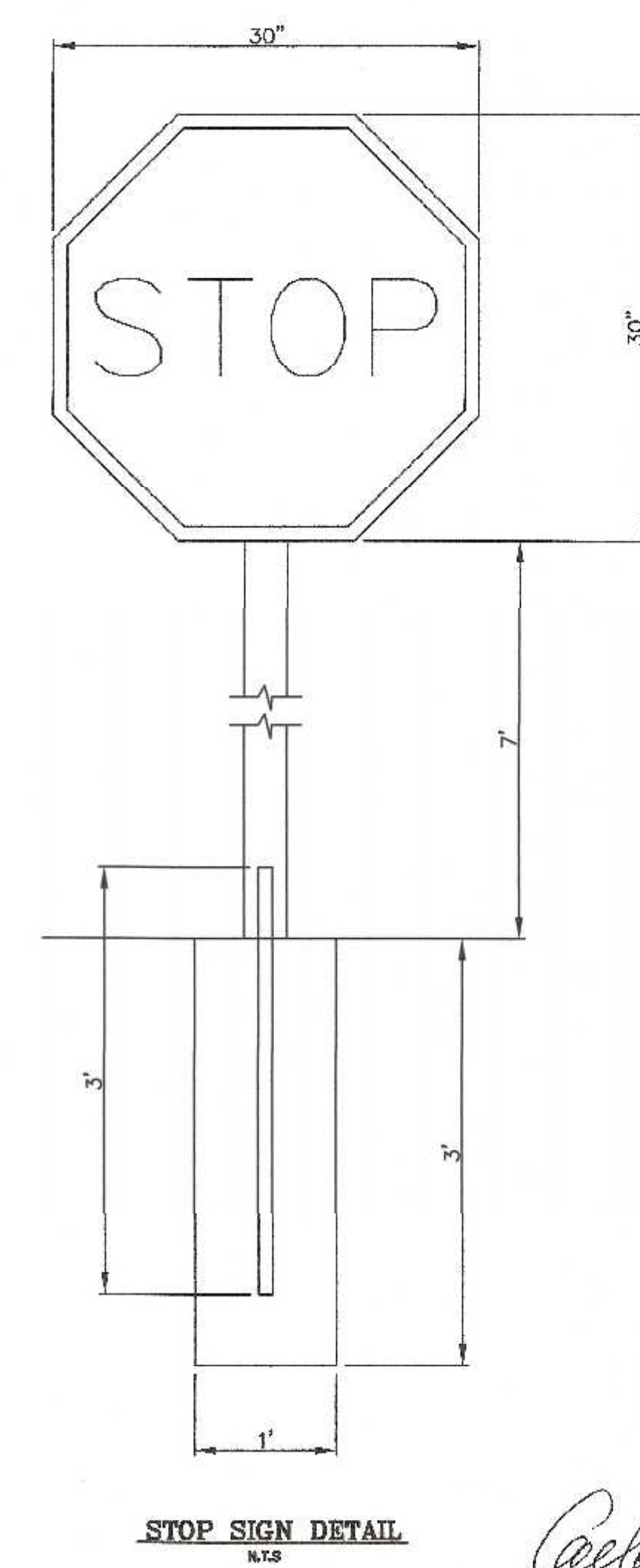
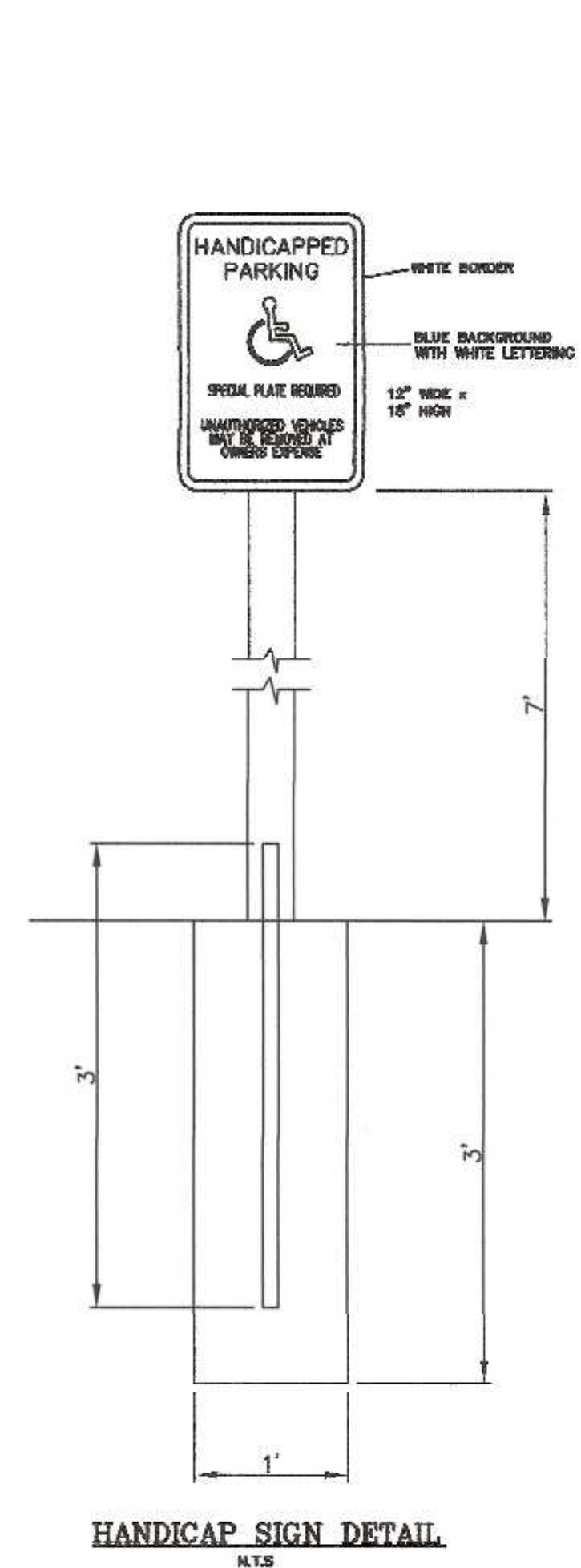
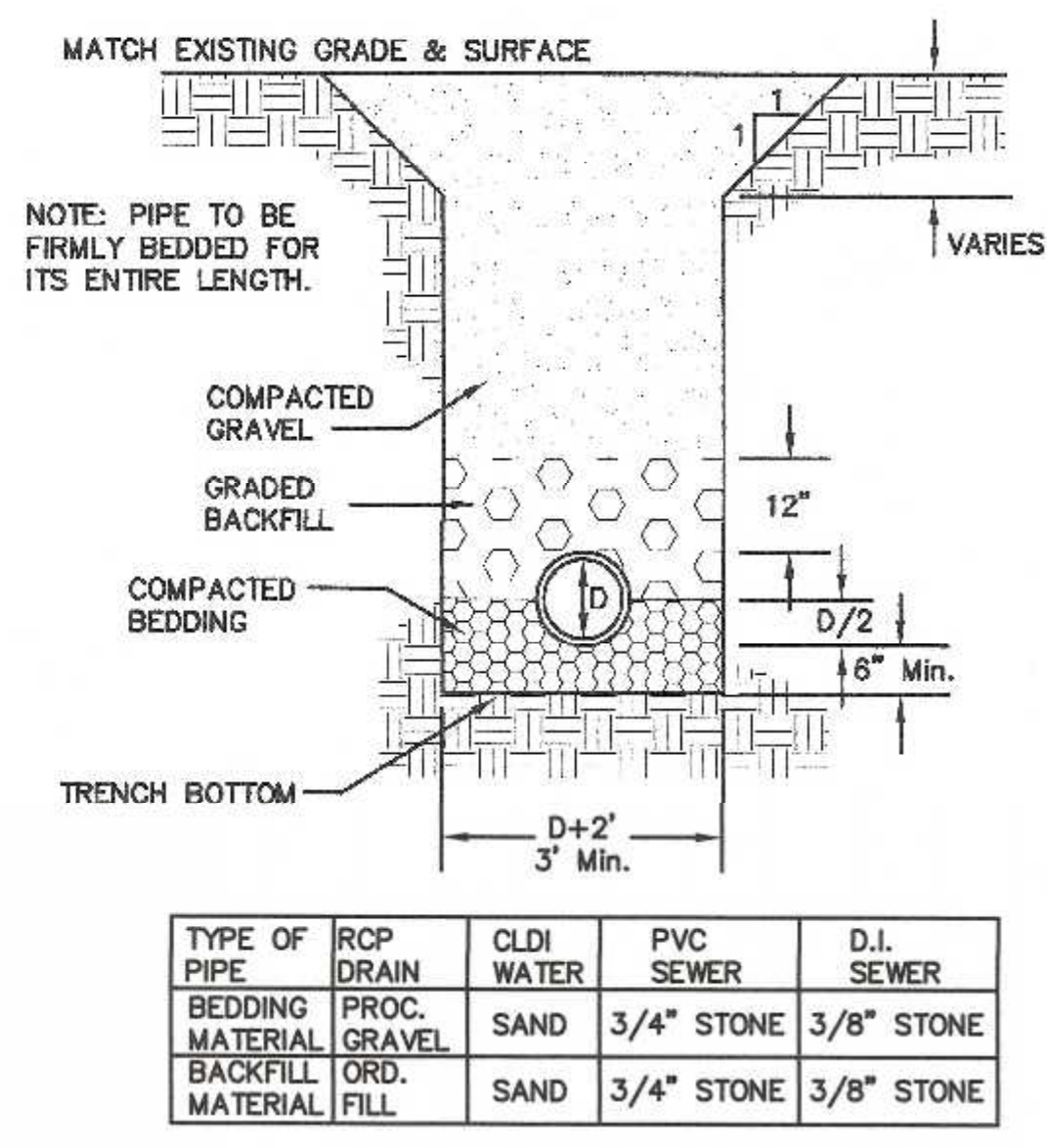
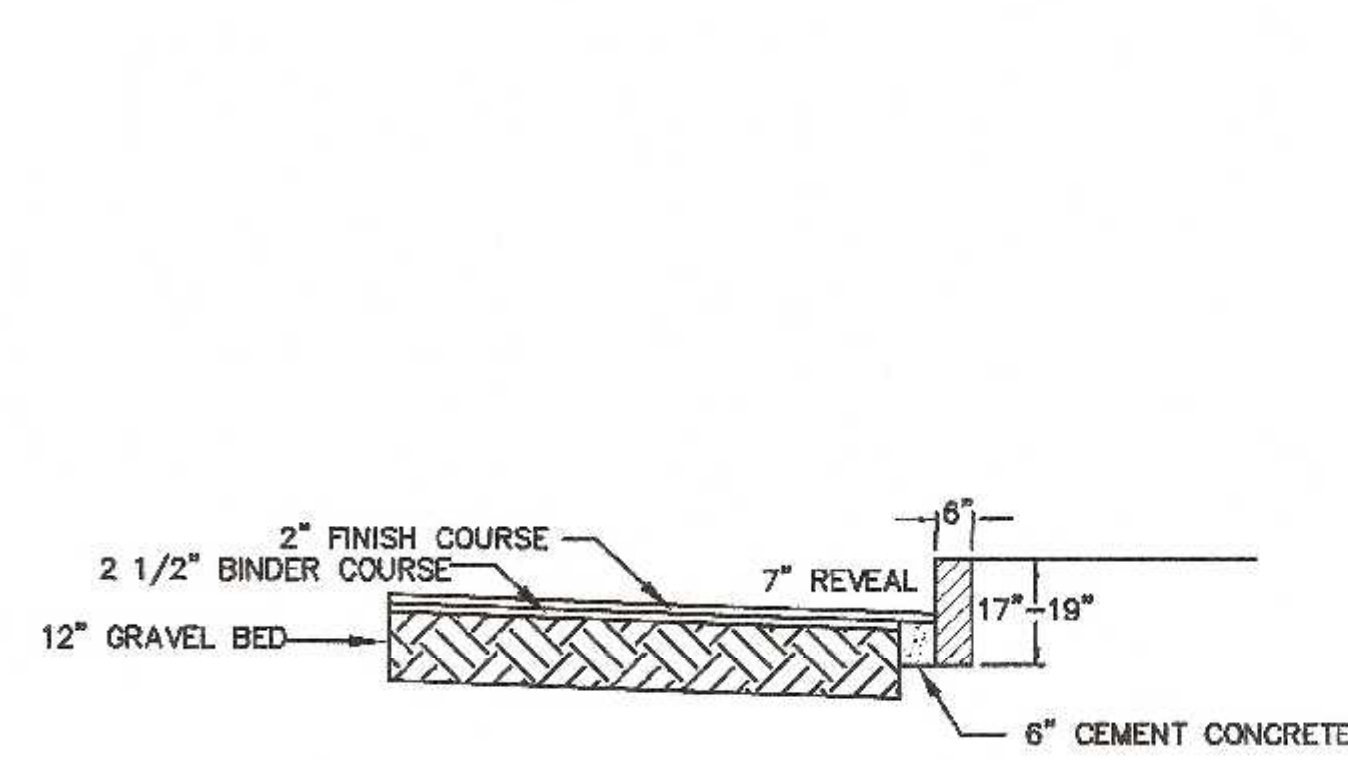
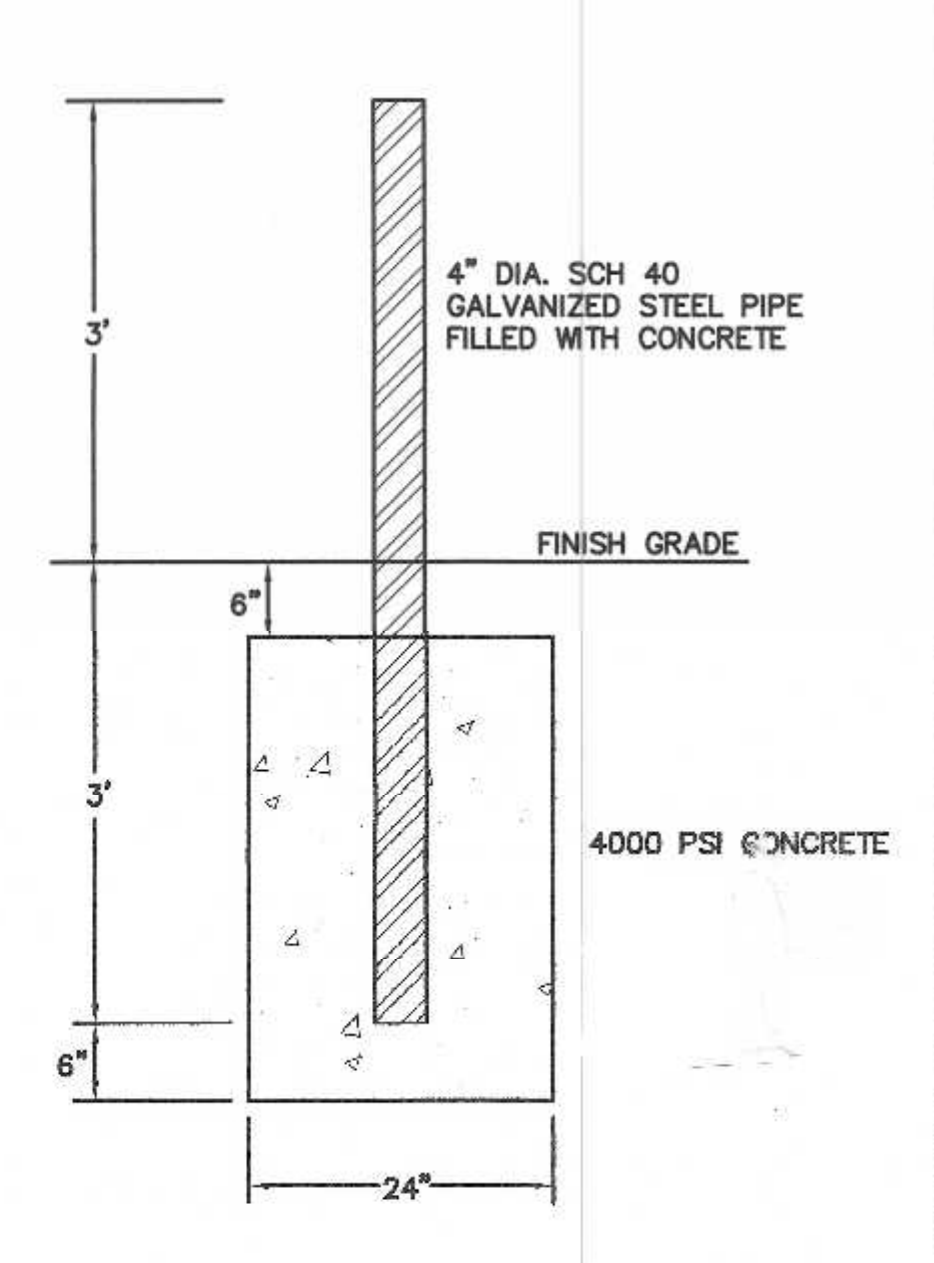
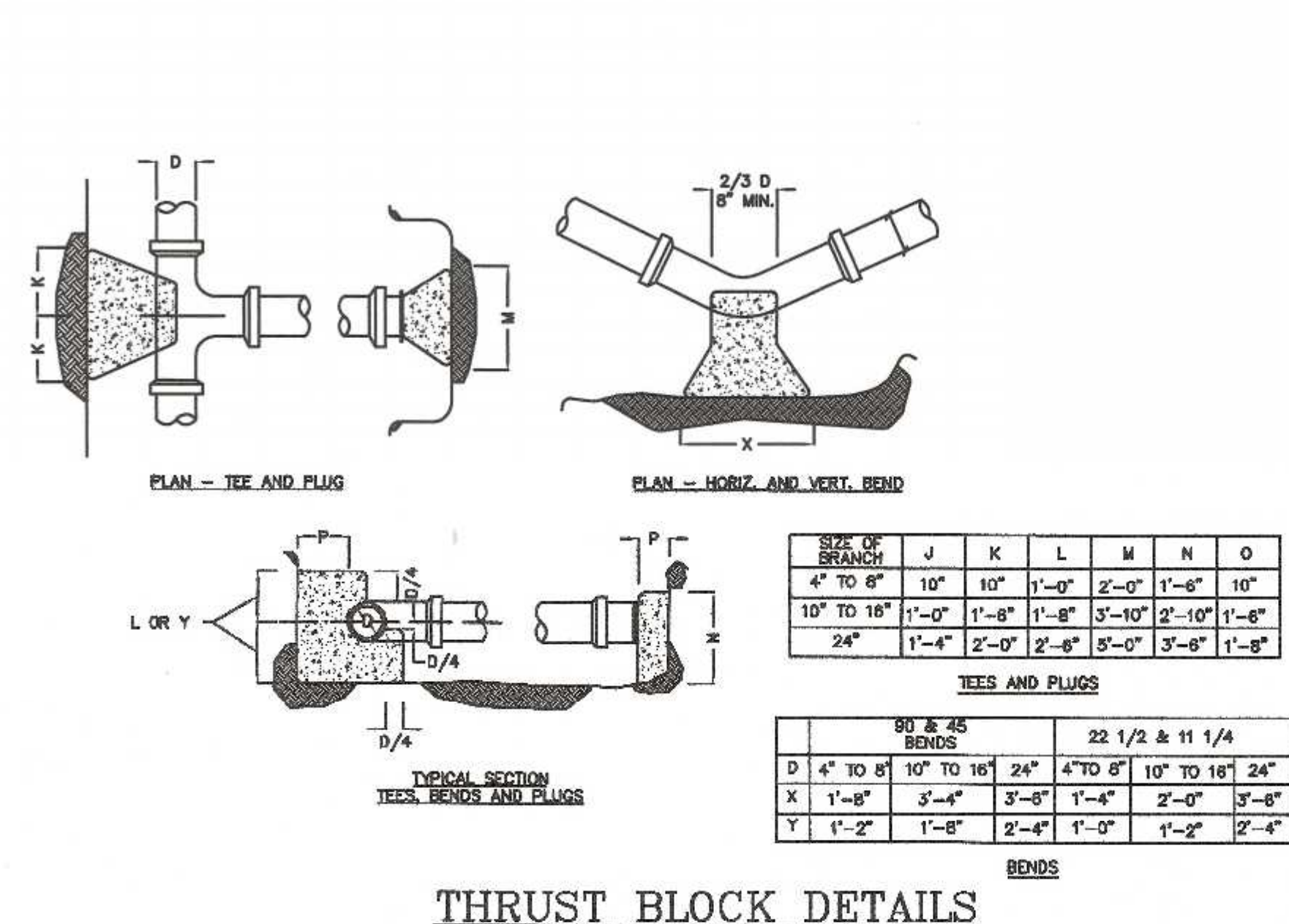
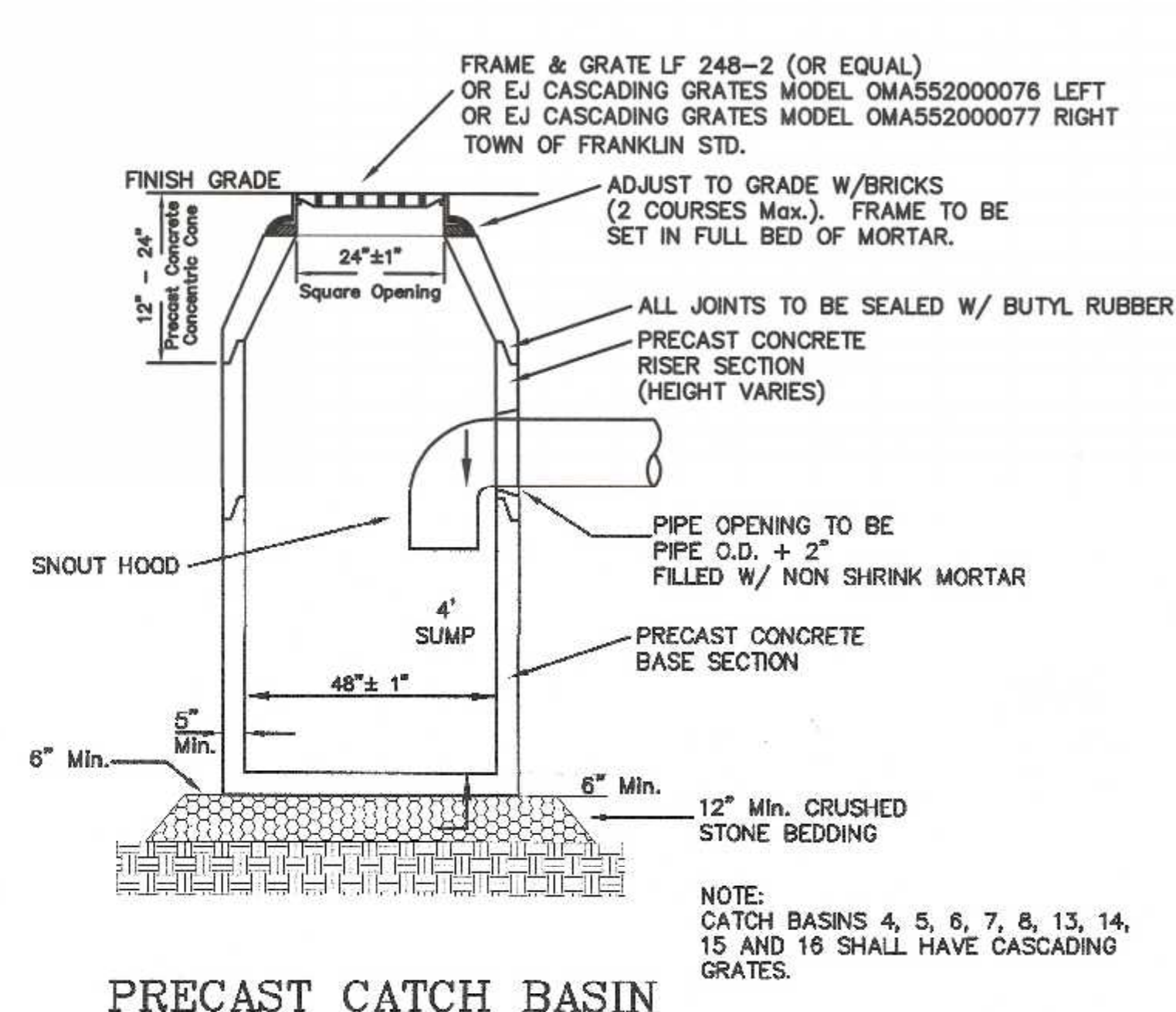
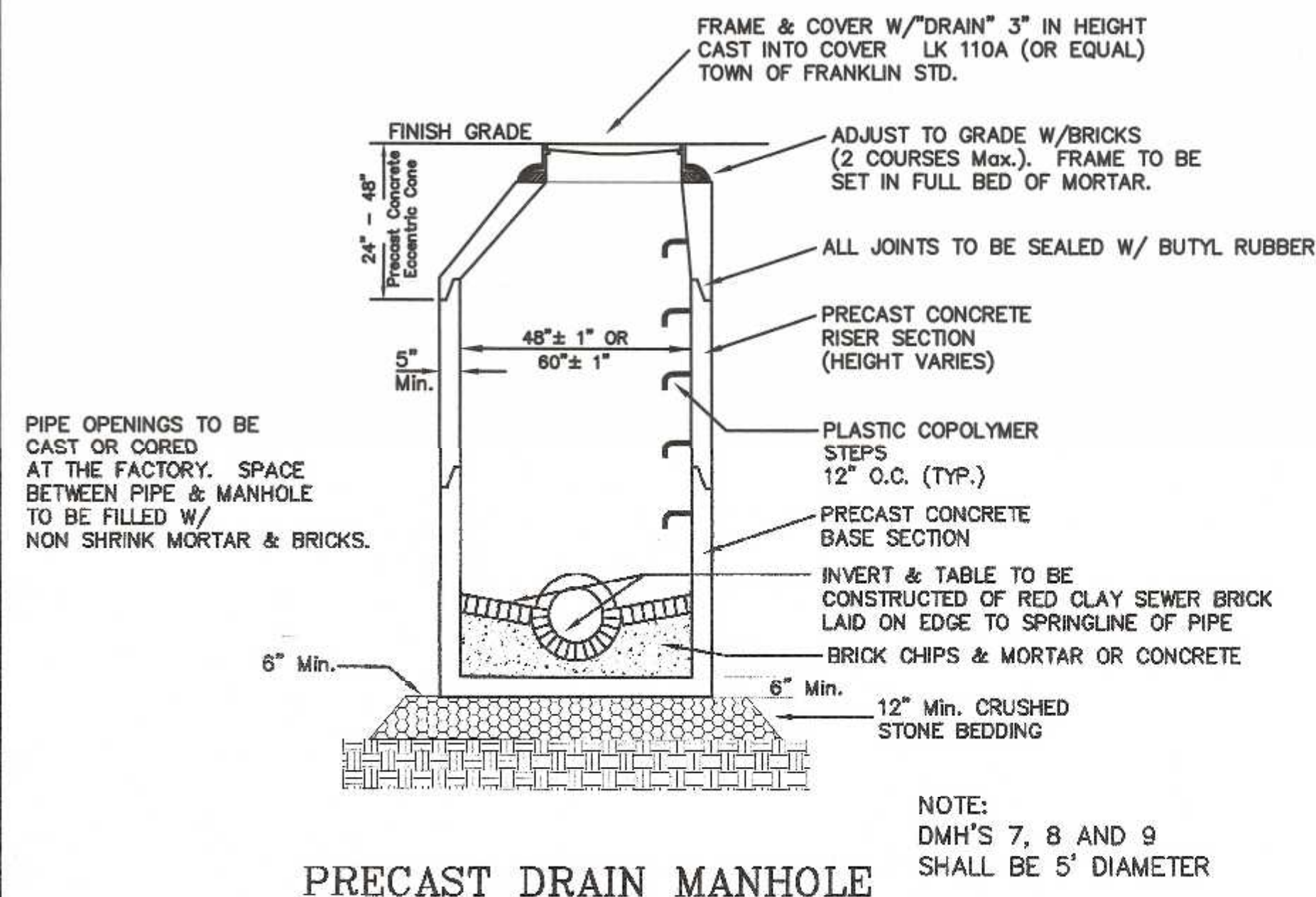
APPLICANT:  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS



NO.	DATE	DESCRIPTION	BY
4	3/30/22	ADDED CERTIFICATE OF VOTE	RRG
3	1/28/22	REVIEW COMMENTS	RRG
2	1/11/22	REVIEW COMMENTS	RRG
1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG
		DESCRIPTION	BY

DATE	FIELD BY:	INT.
5/21	FIELD BOOK	BL
6/21	CALCS BY:	RRG
6/21	DESIGNED BY:	RRG
6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ





OWNERS:  
MAP 304 PARCEL 064-000  
ABRUZZI REALTY TRUST  
55 COULT STREET  
FRANKLIN, MASSACHUSETTS

MAP 304 PARCEL 064-001  
FERRARA FAMILY REALTY TRUST  
PO BOX 482  
FRANKLIN, MA 02038

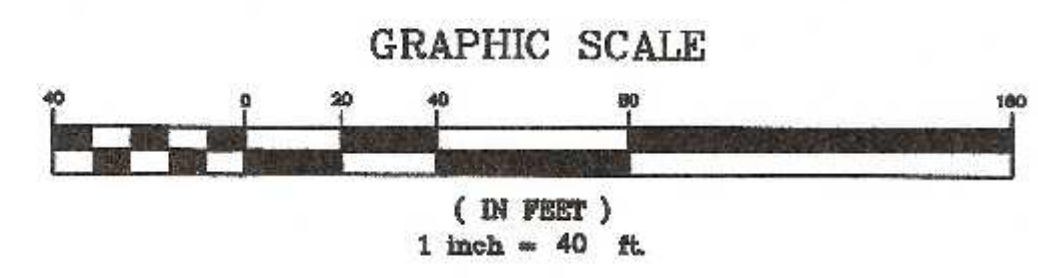
APPLICANT:  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS

CARLOS A. QUINTAL P.E. #30812

SITE PLAN  
CONSTRUCTION DETAILS - 1  
275 WASHINGTON STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS  
JUNE 28, 2021  
SCALE: 1" = 40'

SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD

DATE \_\_\_\_\_



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DATE	FIELD BY:	INT.
5/21	BL	BL
BK#	FIELD BOOK	PG#
6/21	RRG	RRG
DATE	DESIGNED BY:	RRG
6/21	RRG	RRG
DATE	DRAWN BY:	COMP
6/21	CAQ	CAQ
DATE	CHECKED BY:	CAQ
6/21	CAQ	CAQ

UNITED CONSULTANTS INC.  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-6560 FAX 508-384-6566

DATE  
JUNE 28, 2021  
SCALE  
1" = 30'  
PROJECT  
UC1502  
SHEET  
8 of 11

**Hydro Conduit**

STC 450i Precast Concrete Stormceptor®  
(600 US Gallon Capacity)

PROJECT: \_\_\_\_\_ LOCATION: \_\_\_\_\_

DR. BY:	DATE:
CK. BY:	SCALE:
DWG. #:	N.T.S.

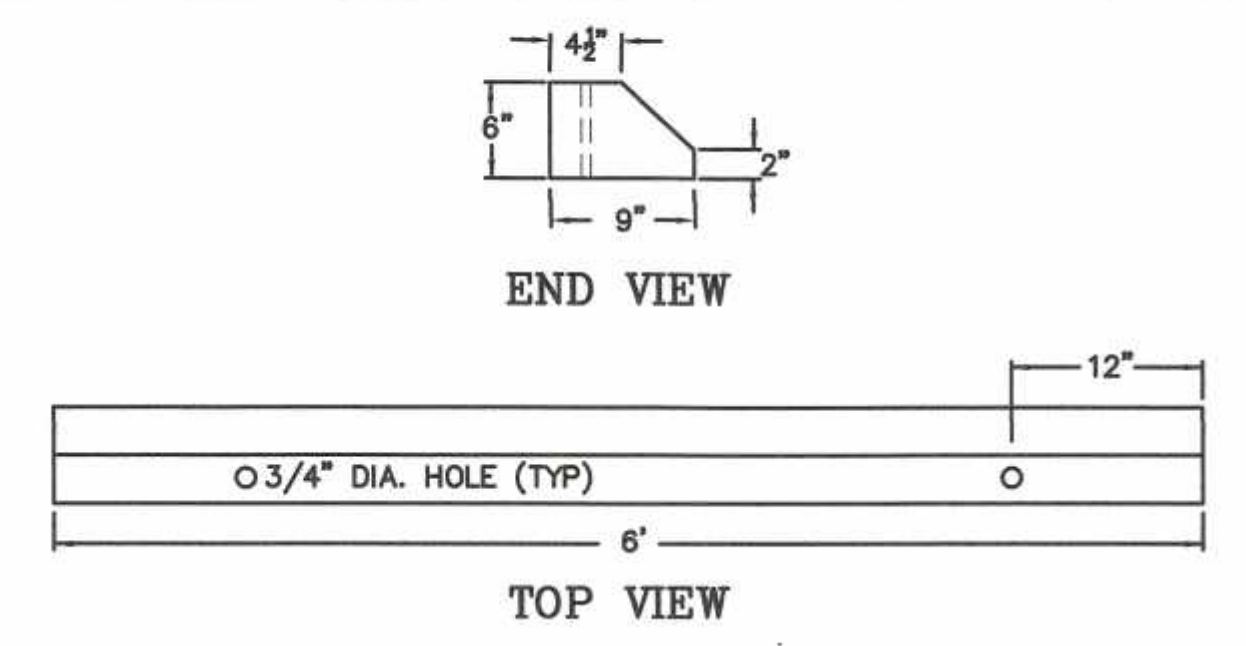
**SECTION THRU CHAMBER**

**SECTION THRU PLAN VIEW**

CB 5, CB 8 AND CB 9

**NOTE:**

1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2. THE COVER SHOULD BE POSITIONED OVER THE CLEANOUT/ VENT PIPE.
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181.



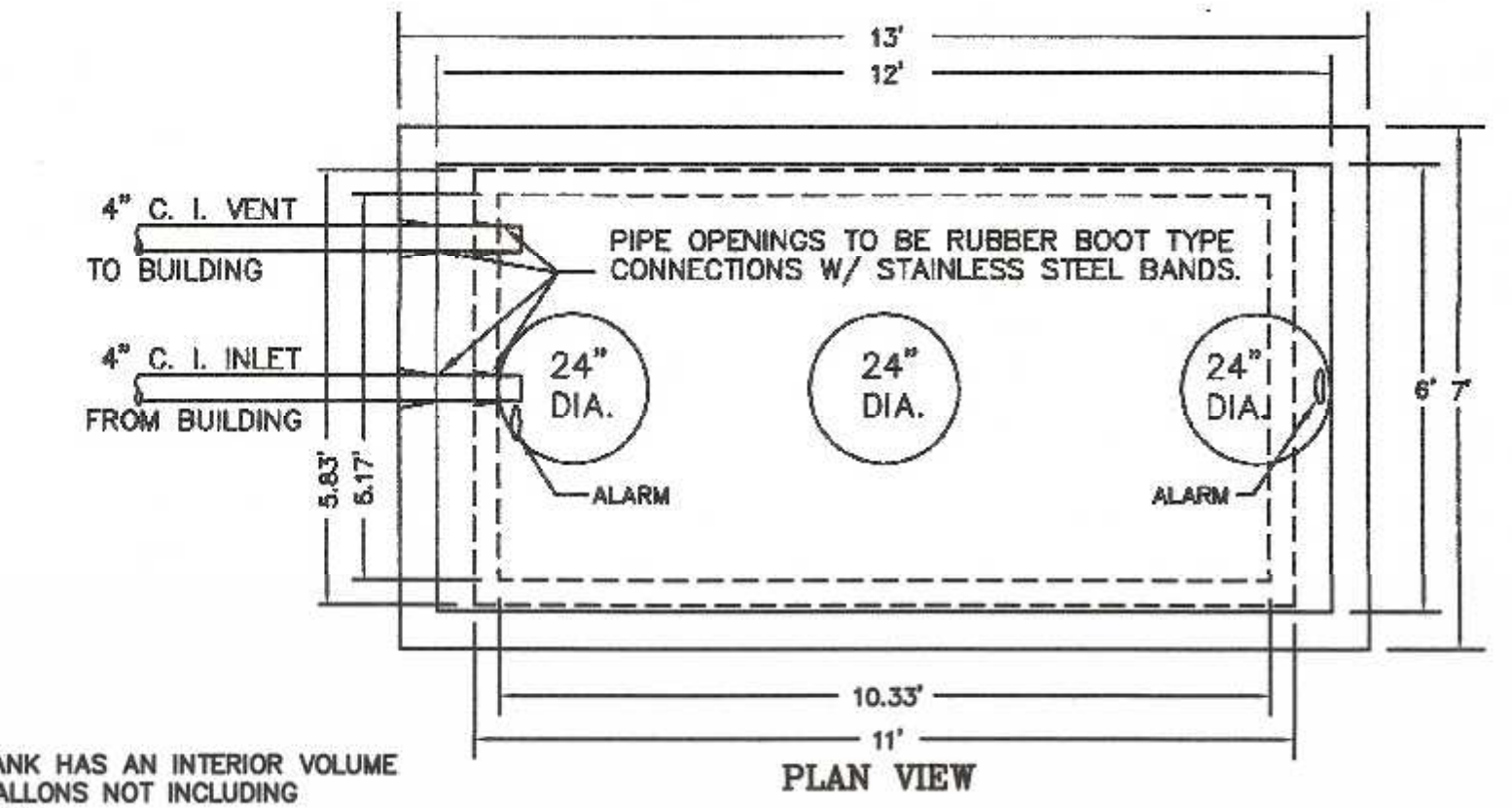
**PRECAST CONCRETE CURB BUMPER**

**NOTES:**

1. CONTRACTOR TO CONTACT DIGSAFE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DEP STANDARDS.
4. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.



CARLOS A. QUINTAL P.E. #30812



**NOTE:** EXTERIOR TANK HAS AN INTERIOR VOLUME OF 3,500 GALLONS NOT INCLUDING INTERIOR TANK.

CDS1515-3-C DESIGN NOTES

THE STANDARD CDS1515-3-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION	
<input type="checkbox"/> GRATED INLET ONLY (NO INLET PIPE)	
<input type="checkbox"/> GRATED INLET WITH INLET PIPE OR PIPES	
<input type="checkbox"/> CURB INLET ONLY (NO INLET PIPE)	
<input type="checkbox"/> CURB INLET WITH INLET PIPE OR PIPES	
<input type="checkbox"/> SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)	
<input type="checkbox"/> SEDIMENT WEIR FOR HURDLE/NUCAT CONFORMING UNITS	

SITE SPECIFIC DATA SHEET

ITEM NO.	DESCRIPTION	UNIT	VALUE
1.	STRENGTH		
2.	GRAVEL DRAINAGE RATE (GPM OR LPS)		
3.	GRAVEL DRAINAGE (GPM OR LPS)		
4.	RETENTION TIME (MIN)		
5.	SURFACE AREA (SQ FT)		

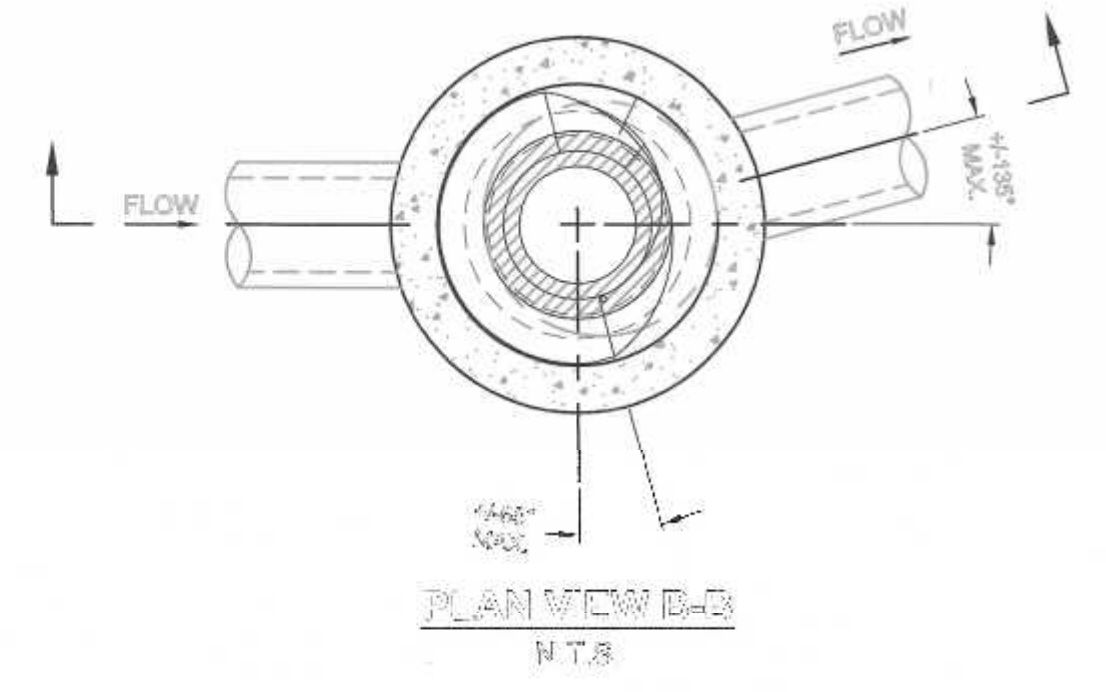
  

TYPE	E	MATERIAL	THICKNESS
INLET PIPE			
OUTLET PIPE			
GRATE			
CONCRETE			

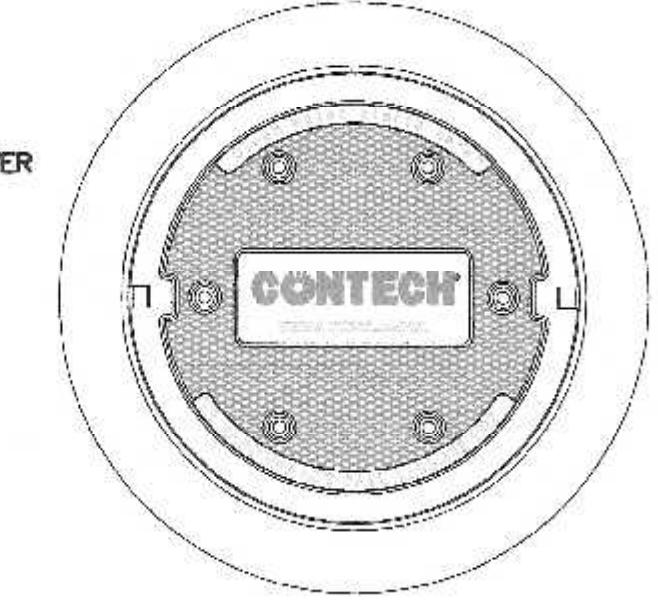
  

CONFIGURATION	WIDTH	HEIGHT
1.		
2.		

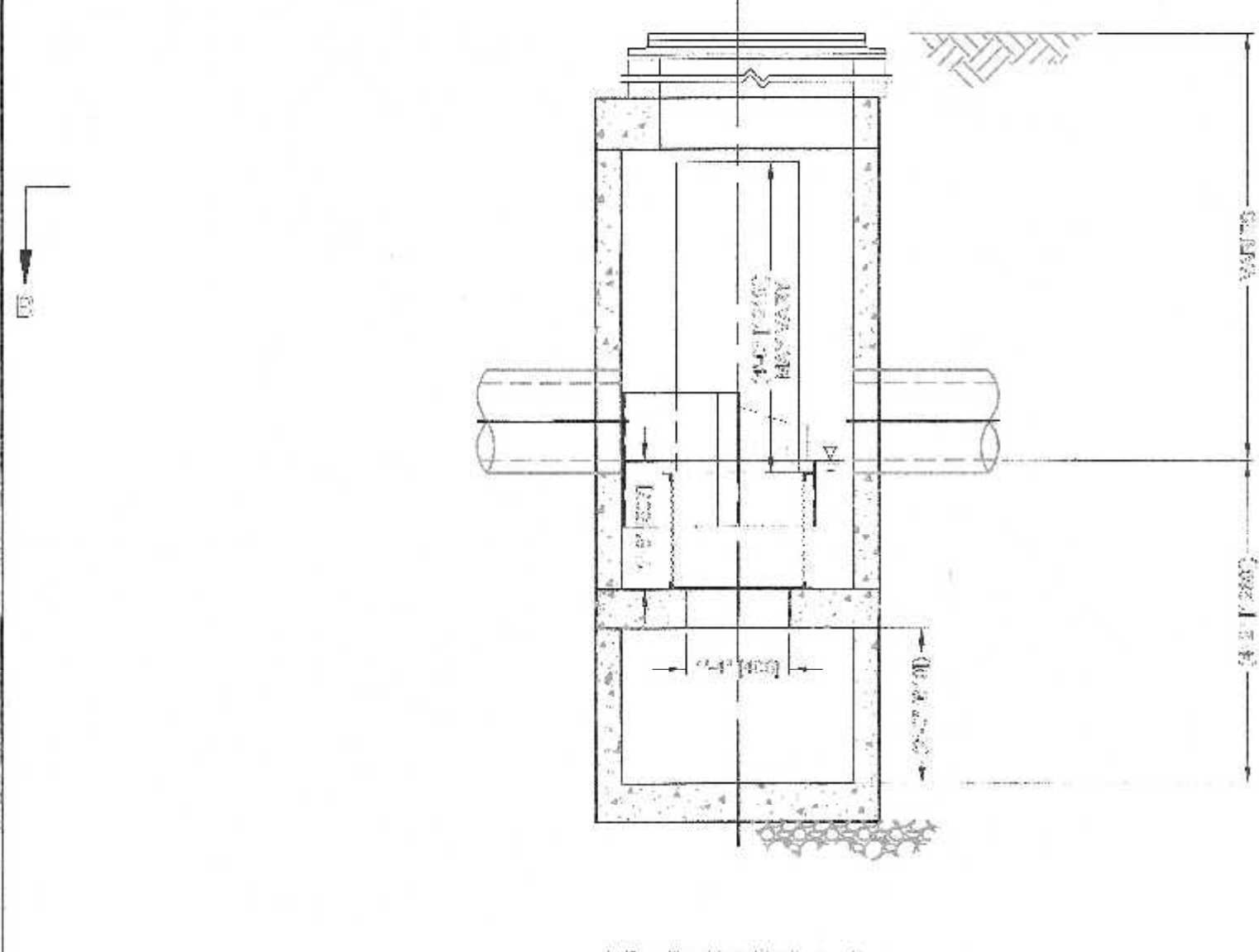
BY: \_\_\_\_\_ DATE: \_\_\_\_\_



**CB 10 - GRATED INLET**  
DMH 3 AND DMH 7 - FRAME AND COVER



**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.

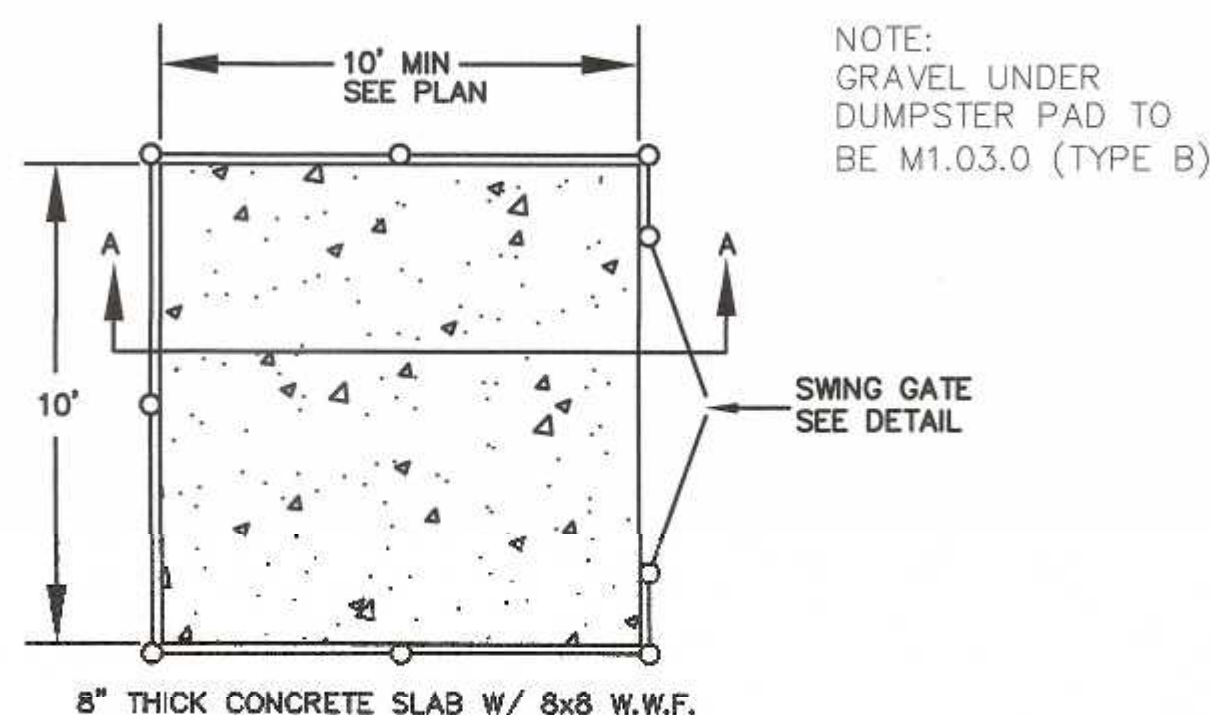


**ELEVATION**  
N.T.S.

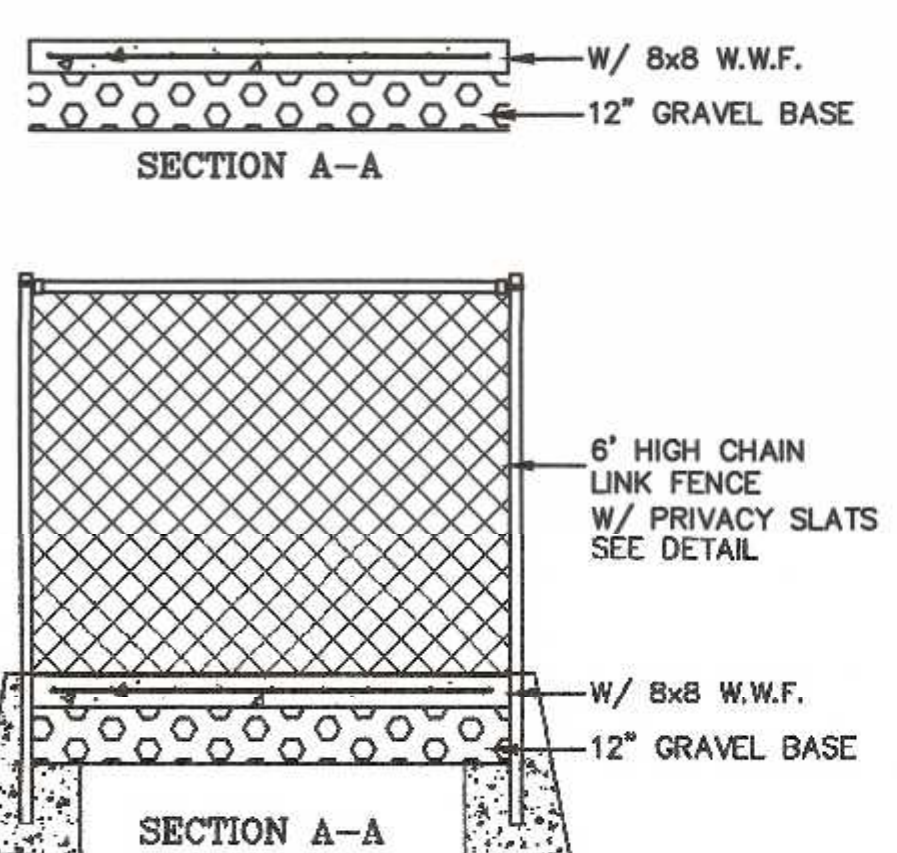
- GENERAL NOTES:**
1. CONTRACTOR TO VERIFY ALL MATERIALS UNLESS NOTED OTHERWISE.
  2. FOR ALL GRATED INLET CHAMBERS WITH CURB INLET OR INLET PIPE, CONTACT YOUR LOCAL ENGINEER FOR THE CORRECT GRATE SIZE.
  3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DEP STANDARDS.
  4. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES ANY REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
  5. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DEP STANDARDS.
  6. MAINTAIN A MINIMUM OF 10' SEPARATION FROM THE WATER SERVICE TO THE SEWER SERVICE.

CONTECH  
ENGINEERED SOLUTIONS LLC  
1000 Centre Street, Suite 100, West Chester, OH 41008  
513-386-1122

CDS1515-3-C  
ONLINE CDS  
STANDARD DETAIL

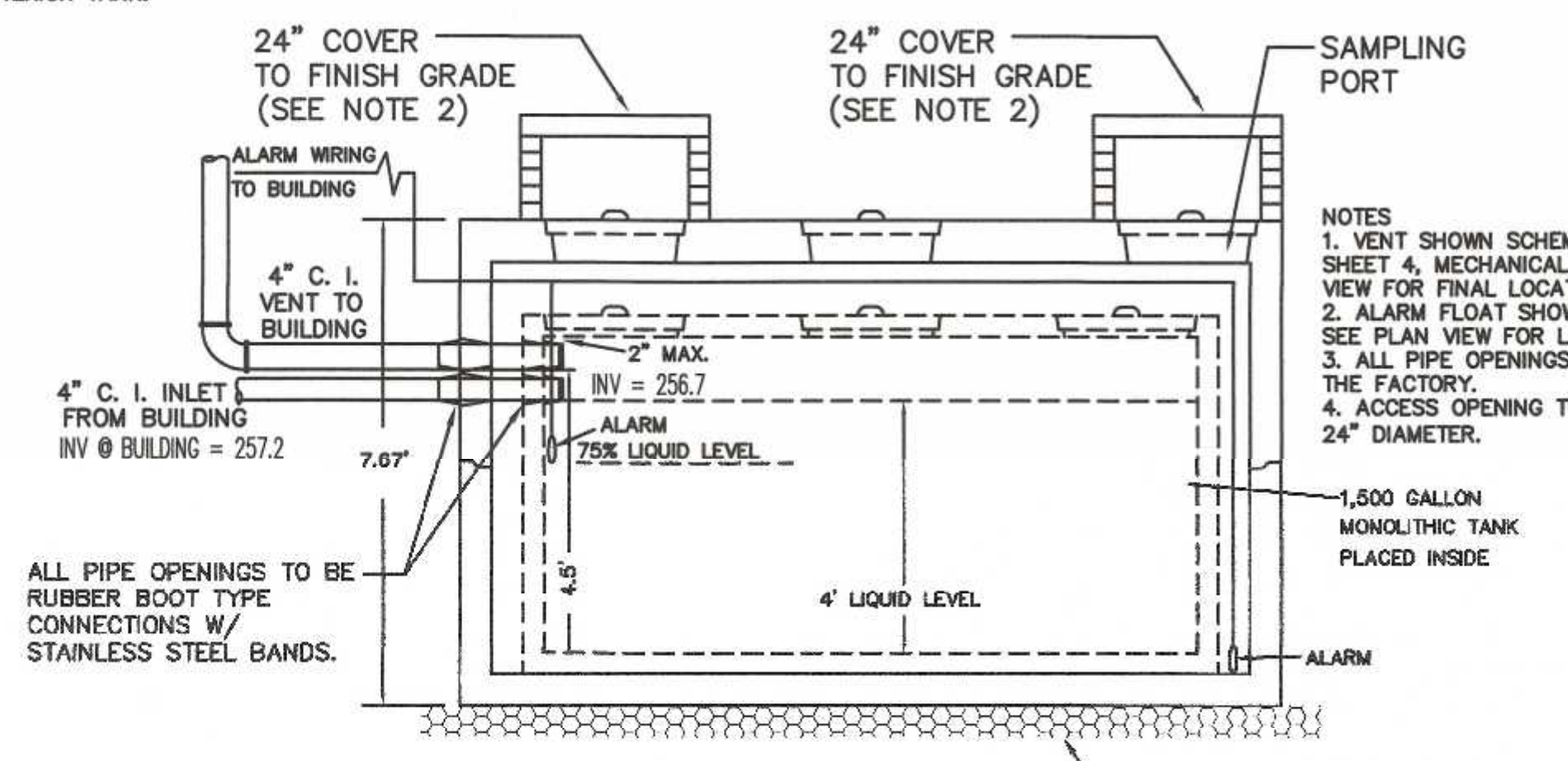


**NOTE:** DUMPSTER PAD AT BUILDING 1 WILL HAVE THE FENCE CONNECT TO THE RETAINING WALL. NO FENCE IS PROPOSED TO THE REAR OF THE DUMPSTER PAD.



**DUMPSTER AREA FENCE**

- HOLDING TANK NOTES:**
1. HOLDING TANK TO BE H-20 LOADING.
  2. PROVIDE A 24" FRAME AND COVER MARKED "NON-HAZARDOUS INDUSTRIAL WASTEWATER". FRAME AND COVER TO BE SET TO FINISH GRADE.
  3. PROVIDE A HIGH LIQUID LEVEL ALARM DEVICE WHICH SHALL BE CONNECTED TO AN AUDIO AND VISUAL ALARM SYSTEM LOCATED WITHIN A STAFFED AREA OF THE BUILDING. ALARM SHALL BE ACTIVATED WHEN LIQUID LEVEL REACHES 75% OF THE TANK CAPACITY.
  4. HIGH LIQUID LEVEL MERCURY FLOAT SWITCH SHALL BE SET AT 3" LIQUID LEVEL.
  5. SPACE BETWEEN THE INNER TANK AND OUTER TANK SHALL BE KEPT FREE FROM DEBRIS AND MATERIALS AND SHALL PROVIDE SPACE AND ACCESS TO DETECT AND REMOVE ANY LEAKAGE FROM THE INNER TANK.
  6. SEAL ALL TANK SEAMS AND PENETRATION WITH BIT. BUTYL MASTIC SEALANT.
  7. TANK TO BE INSPECTED ON A WEEKLY BASIS FOR LEAKAGE.
  8. TANK TO BE IMMEDIATELY REPLACED IF LEAKAGE IS DISCOVERED.
  9. POTENTIAL AVERAGE DAILY FLOW TO GALLONS - 500K CAPACITY 50 GALLONS. PRIMARY HOLDING TANK CAPACITY - 1,500 GALLONS BELOW INLET INVERT.
  10. WASTE ANTICIPATED TO BE RAIN WATER AND SNOW MELT CARRIED IN ON VEHICLES AND EQUIPMENT.
  11. HOLDING TANK PUMPING TO BE COMPLETED BY: TO BE DETERMINED.
  12. EMERGENCY RESPONSE, SPILL CONTROL AND CONTAINMENT TO BE COMPLETED BY: TO BE DETERMINED.
  13. TANK TO BE VENTED THROUGH ROOF FOR ODOR CONTROL.
  14. OWNER TO COMPLY WITH ALL PERMITS OR OTHER REQUIREMENTS MANDATED BY THE LOCAL AUTHORITIES PERTAINING TO THE HOLDING TANK.



**SCITUATE COMPANIES**  
**1,500 GALLON DOUBLE WALL TANK**  
N.T.S.

- DESIGN NOTES:**
1. CONCRETE 5,000 PSI @ 28 DAYS.
  2. HS-20-44 LOADING WITH 12" - 60" COVER.
  3. REINFORCEMENT ASTM A-615 GRADE 60.
  4. CONST. JOINT TO HAVE MIN. 1" BUTYL SEALANT.
  5. EXTERIOR OF INNER AND OUTER TANKS TO BE COVERED WITH A BITUMINOUS COATING. (INCLUDING BOTTOM OF TANKS)
- TANK NOTES:**
1. OUTER TANK - 6" SIDEWALLS AND BOTTOM AND 8" TOP.
  2. INNER TANK - 4" SIDEWALL, BOTTOM AND TOP.
  3. INNER AND OUTER TANK TO BE PRECAST CONCRETE.
  4. PROVIDE MIN. 24" DIAMETER OPENING.

**OWNERS:**  
MAP 304 PARCEL 064-000  
ABRUZZI REALTY TRUST  
55 COUTY STREET  
FRANKLIN, MASSACHUSETTS

MAP 304 PARCEL 064-001  
FERRARA FAMILY REALTY TRUST  
PO BOX 482  
FRANKLIN, MA 02038

**APPLICANT:**  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS

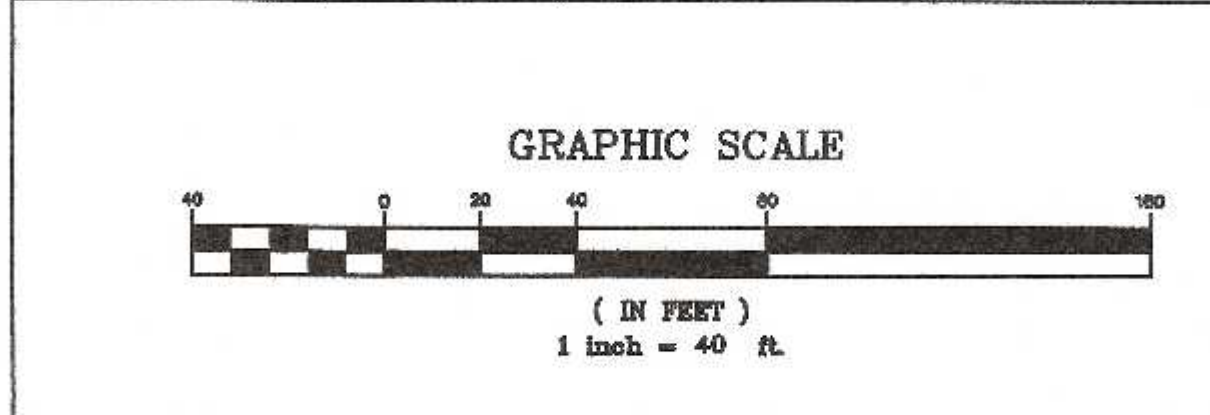
**SITE PLAN**  
**CONSTRUCTION DETAILS - 2**  
275 WASHINGTON STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS  
JUNE 28, 2021  
SCALE: 1" = 40'

**SITE PLAN APPROVAL**  
**REQUIRED**  
**FRANKLIN PLANNING BOARD**

DATE: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



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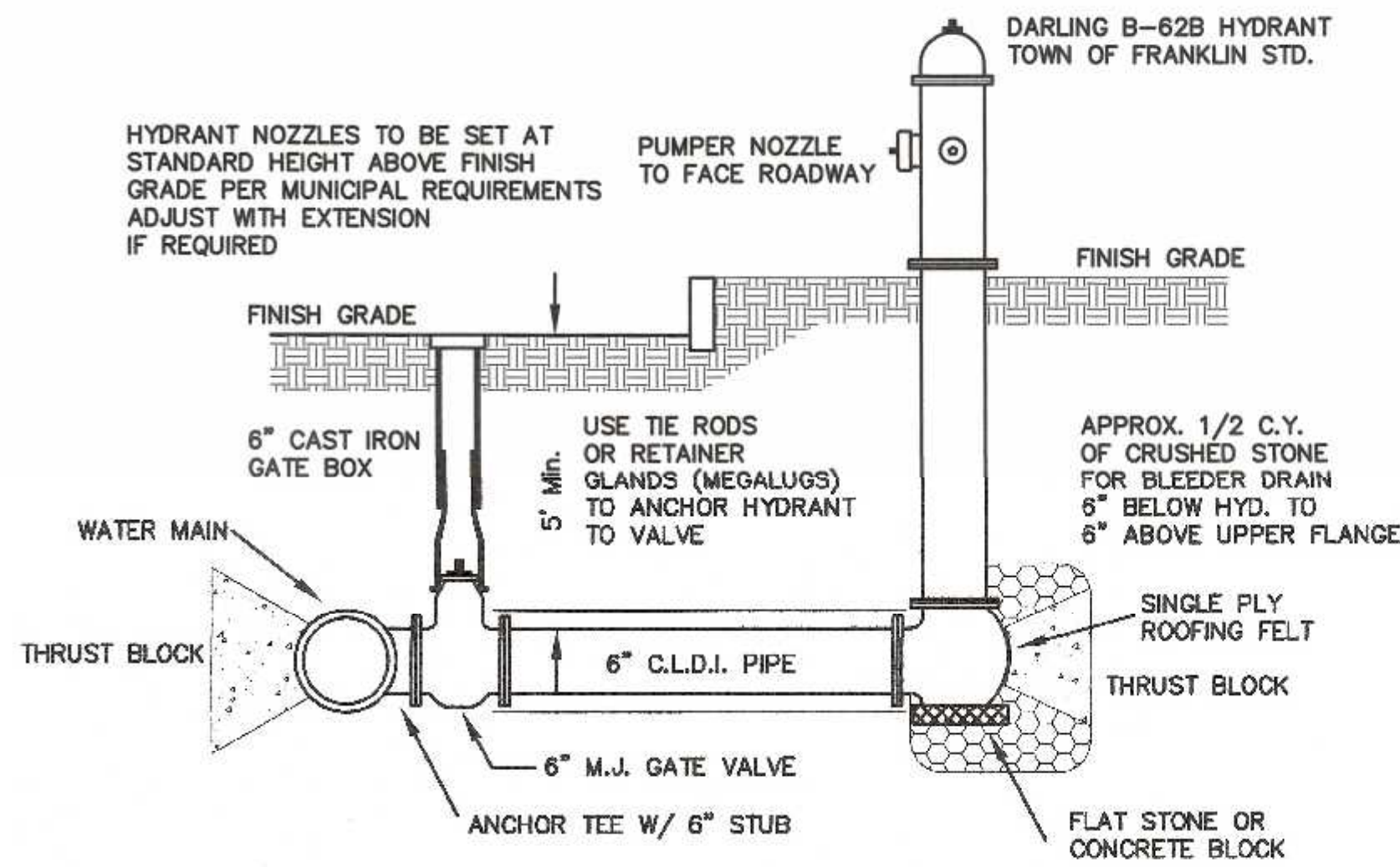
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6/21		PG#
6/21		RRG
6/21		RRG
6/21		COMP
6/21		CAQ

U

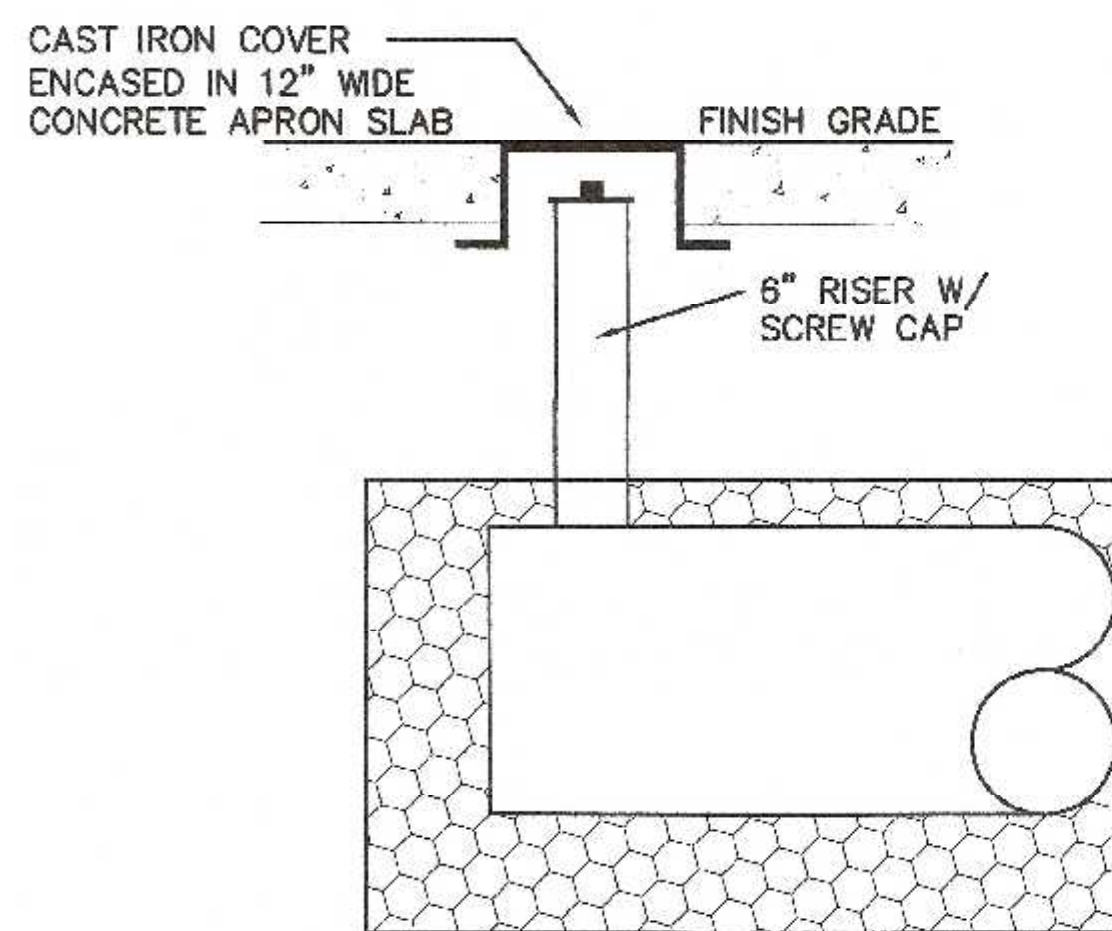
CONSULTANTS  
INC.

850 FRANKLIN STREET SUITE 11D  
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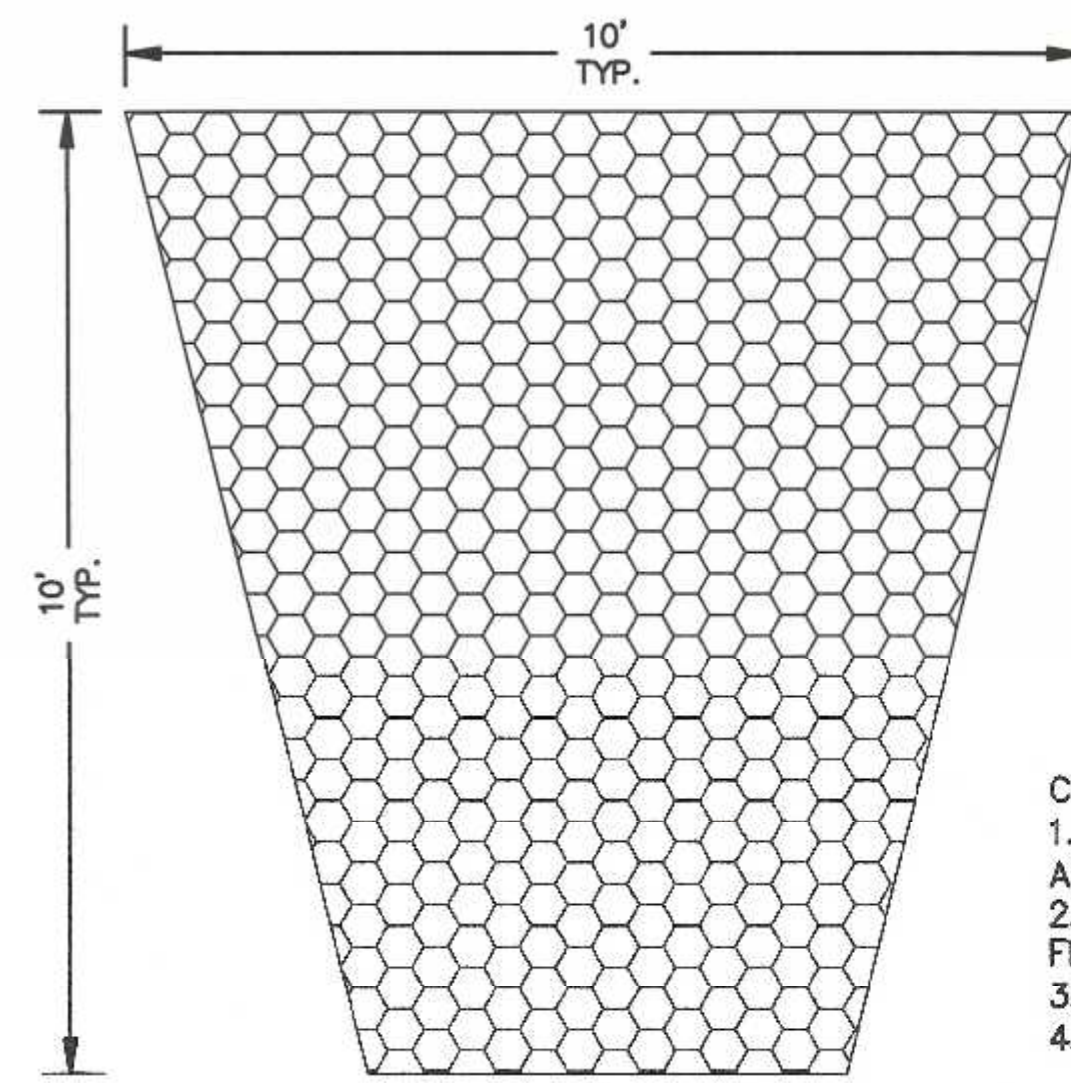
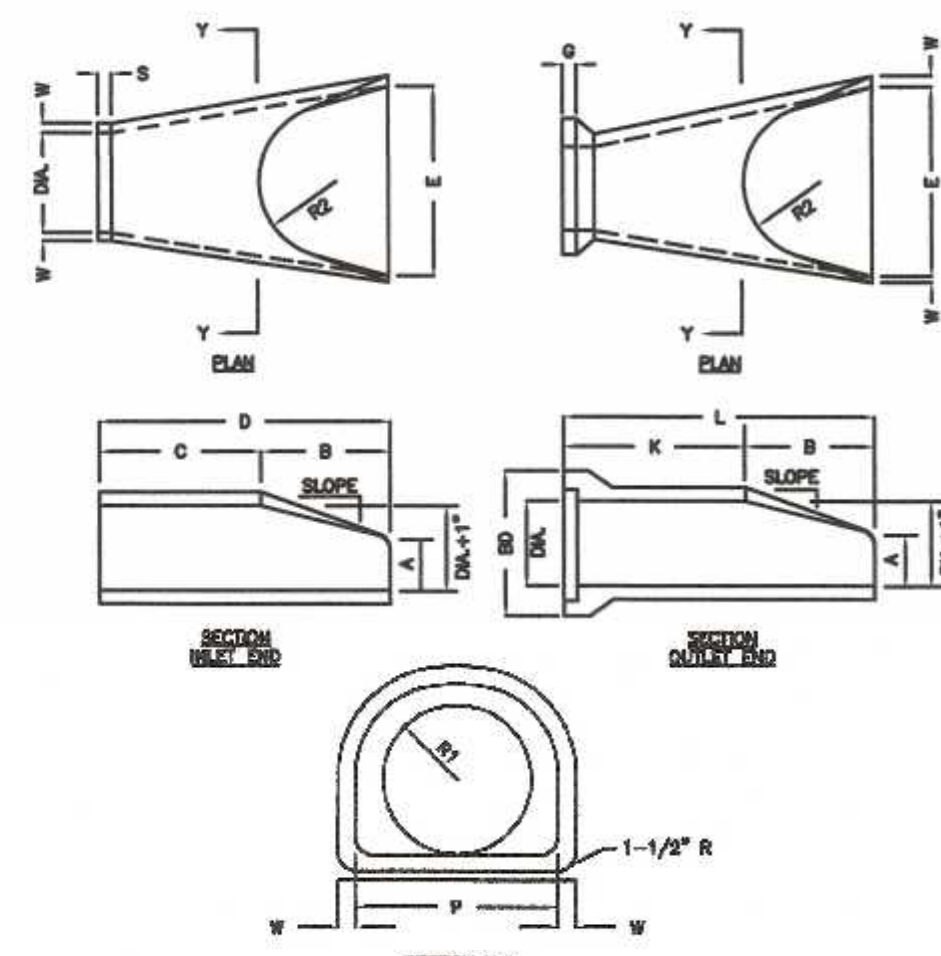
DATE	JUNE 28, 2021
SCALE	1" = 30'
PROJECT	UC1502
SHEET	9 of 11



HYDRANT CONNECTION



INSPECTION PORT DETAIL  
DRAINAGE INFILTRATION AREAS  
N.T.S.



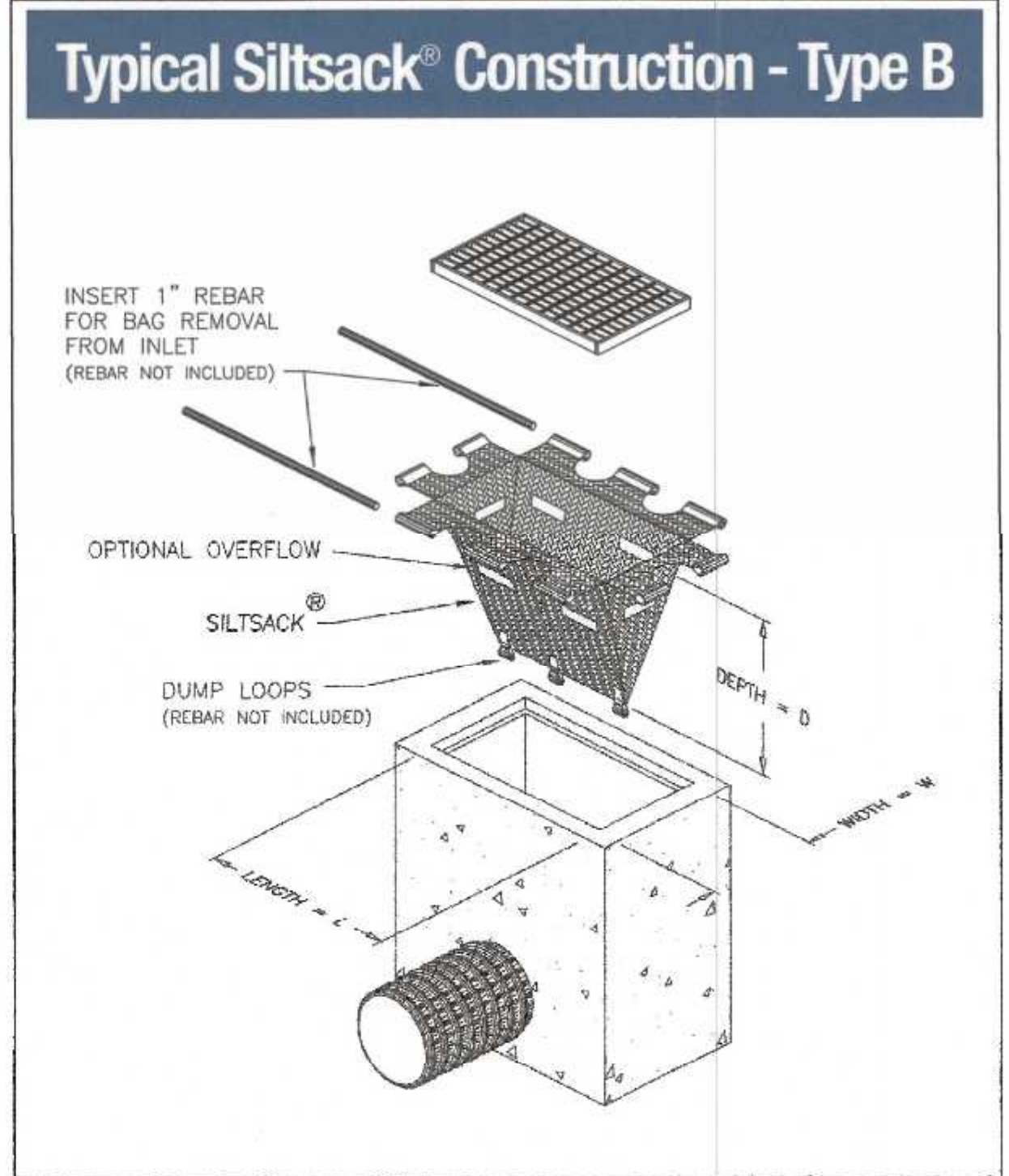
RIP RAP AT PIPE OUTLETS  
N.T.S.

DIA.	W	A	S	C	D	E	RD
12"	2"	4"	2'-0"	4'-0 7/8"	6'-1 3/8"	2'-0"	20'
15"	2-1/4"	6"	2'-3"	3'-10"	6'-1 1/2"	2'-6"	24'
18"	2-1/2"	8"	2'-3"	3'-10"	6'-1 1/2"	2'-6"	24'
21"	2-3/4"	8"	2'-11"	3'-2"	6'-1"	3'-0"	28'
24"	3"	8-1/2"	3'-7 1/2"	3'-2"	6'-1"	4'-0"	32'

DIA.	K	L	P	DIA. C.Y.	R1	R2	S	G	SLOPE
12"	4'-8 1/8"	6'-0 1/8"	18 5/16"	13'	10 1/8"	9"	4"	2 1/2"	3:1
15"	4'-3 11/16"	6'-0 11/16"	24 5/16"	18'	12 1/2"	11"	4"	2 1/2"	3:1
18"	4'-3 7/8"	6'-0 7/8"	20"	18'	11 1/2"	12"	4"	2 3/4"	3:1
21"	3'-8 5/16"	6'-7 5/16"	31 5/8"	22'	16 1/8"	13"	4"	2 3/4"	3:1
24"	3'-0 1/2"	6'-0"	33 3/16"	28'	18 13/16"	14"	4"	3"	3:1

REINFORCED CONCRETE PIPE FLARED END  
NOT TO SCALE

- CONSTRUCTION NOTES:
1. RIP RAP TO BE MAXIMUM OF 18" AVERAGE OF 12" AND MINIMUM OF 8".
  2. RIP RAP TO BE PLACED OVER A FILTER FABRIC.
  3. RIP RAP MINIMUM DEPTH SHALL BE 18"
  4. RIP RAP OUTLET TO BE 25' x 34'.



INFILTRATION PONDS 1, 2 AND 3  
EXCAVATION AND FILL NOTES:

SOIL REMOVAL AT INFILTRATION SYSTEM IN FILL AREAS:  
ALL EXISTING TOP (A HORIZON) AND SUB-SOIL (B HORIZON) SOILS SHALL BE REMOVED UNDER THE INFILTRATION SYSTEMS AND FIVE FEET FROM THE OUTER EDGE OF THE STONE ENVELOPE.

Fill material for drainage systems constructed in fill shall consist of select on-site or imported soil material. The fill shall be comprised of clean granular sand, free from organic matter and deleterious substances. Mixtures and layers of different classes of soil shall not be used. The fill shall not contain any material larger than two inches. A sieve analysis, using a #4 sieve, shall be performed on a representative sample of the fill. Up to 45% by weight of the fill sample may be retained on the #4 sieve. Sieve analyses also shall be performed on the fraction of the fill sample passing the #4 sieve, such analyses must demonstrate that the material meets each of the following specifications:

SIEVE SIZE	EFFECTIVE PARTICLE SIZE	% THAT MUST PASS SIEVE
# 4	4.75 mm	100%
# 50	0.30 mm	10% - 100%
#100	0.15 mm	0% - 20%
#200	0.075 mm	0% - 2%

A minimum of two representative sample shall be taken from the in-place fill and tested for compliance with the grain size distribution specification. Where fill is required to replace unsuitable or impermeable soils, the excavation of the unsuitable material shall extend a minimum of five feet laterally in all directions beyond the outer perimeter of the soil drainage systems to the depth of naturally occurring pervious material and replaced with fill. Prior to placement of the fill, the bottom surface of the excavation shall be scarified and relatively dry. Fill shall not be placed during rain or snow storms. If the water table elevation is above the elevation of the bottom of the excavation, the excavation shall be dewatered as necessary.

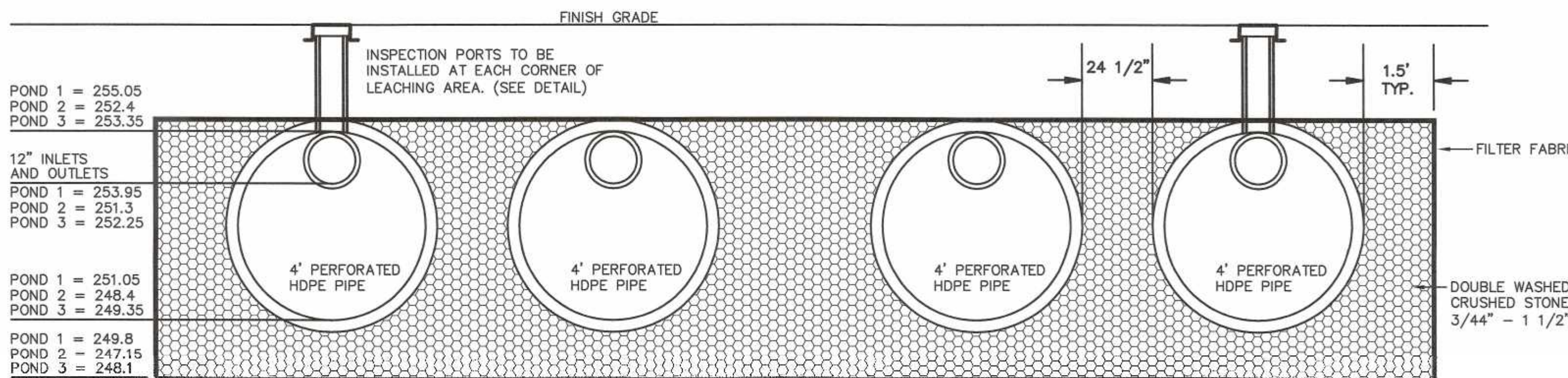
THE DESIGN ENGINEER SHALL INSPECT AND CERTIFY THE EXCAVATION OF THE SOIL INFILTRATION AREAS AND THE RAIN GARDEN AREA PRIOR TO ANY FILL BEING PLACED.

OWNERS:  
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ABRUZZI REALTY TRUST  
55 COUTU STREET  
FRANKLIN, MASSACHUSETTS

MAP 304 PARCEL 064-001  
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PO BOX 482  
FRANKLIN, MA 02038

APPLICANT:  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS

CARLOS A. QUINTAL  
REGISTERED PROFESSIONAL ENGINEER  
#30812

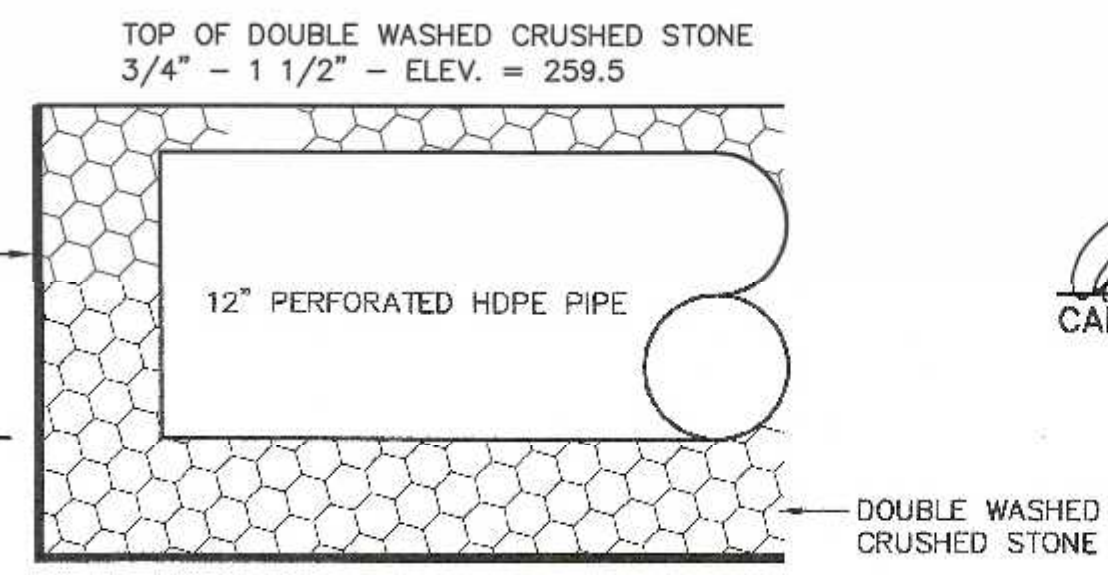


INFILTRATION PONDS 1, 2 AND 3

- NOTES:
1. INFILTRATION POND 1 CONSISTS OF 3 ROWS OF 4' DIAMETER PERFORATED HDPE PIPE 86' IN LENGTH. STONE ENVELOPE IS 20.7' x 89'
  2. INFILTRATION POND 2 CONSISTS OF 4 ROWS OF 4' DIAMETER PERFORATED HDPE PIPE 197' IN LENGTH. STONE ENVELOPE IS 27.3' x 200'
  3. INFILTRATION POND 3 CONSISTS OF 3 ROWS OF 4' DIAMETER PERFORATED HDPE PIPE 97' IN LENGTH. STONE ENVELOPE IS 20.7' x 100'

IMPERVIOUS AREA - 134,702 x 0.0833 = 11,411 FT<sup>3</sup> STORAGE REQUIRED  
 POND 1 STORAGE BELOW OUTLET INVERT = 4,513 FT<sup>3</sup>  
 POND 2 STORAGE BELOW OUTLET INVERT = 13,507 FT<sup>3</sup>  
 POND 3 STORAGE BELOW OUTLET INVERT = 5,077 FT<sup>3</sup>  
 TOTAL VOLUME = 23,097 FT<sup>3</sup>

ESHGW - POND 1 = 242.91 BOTTOM TEST PIT (PT) 3  
 ESHGW - POND 2 = 242.91 BOTTOM TEST PIT (PT) 3  
 ESHGW - POND 3 = 243.37 STANDING WATER TEST PIT (PT) 10

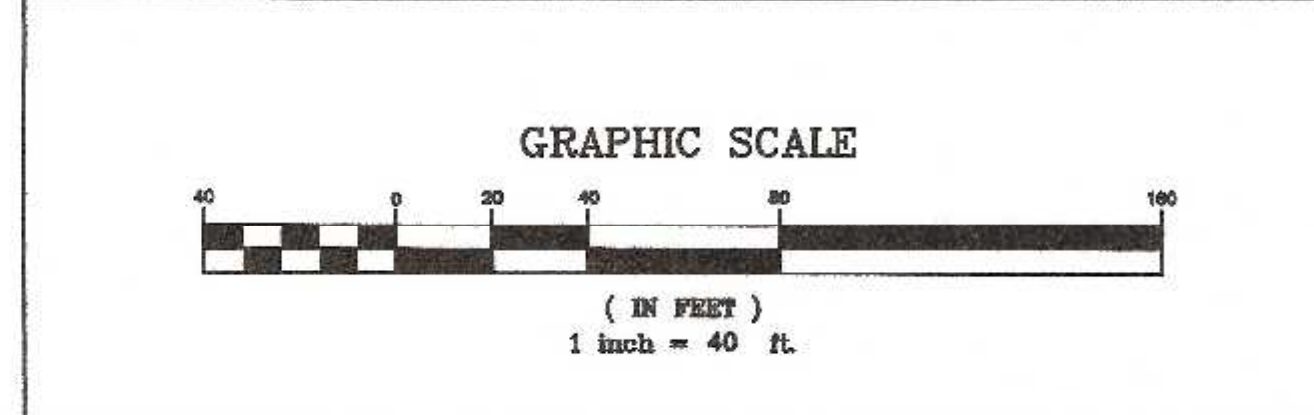


TRENCH DRAIN DETAIL  
TRENCH DRAIN NOTE:  
1. TRENCH WIDTH 3'.  
2. REFER TO SHEET 4 FOR INVERT ELEVATION LOCATIONS.

SITE PLAN  
CONSTRUCTION DETAILS - 3  
275 WASHINGTON STREET  
FRANKLIN, MASSACHUSETTS  
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13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS  
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DATE \_\_\_\_\_

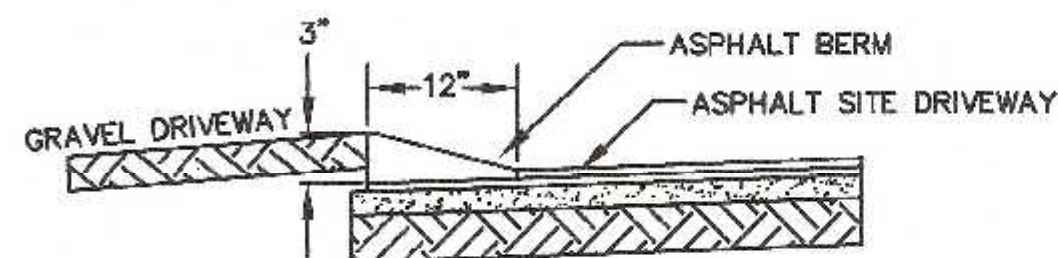
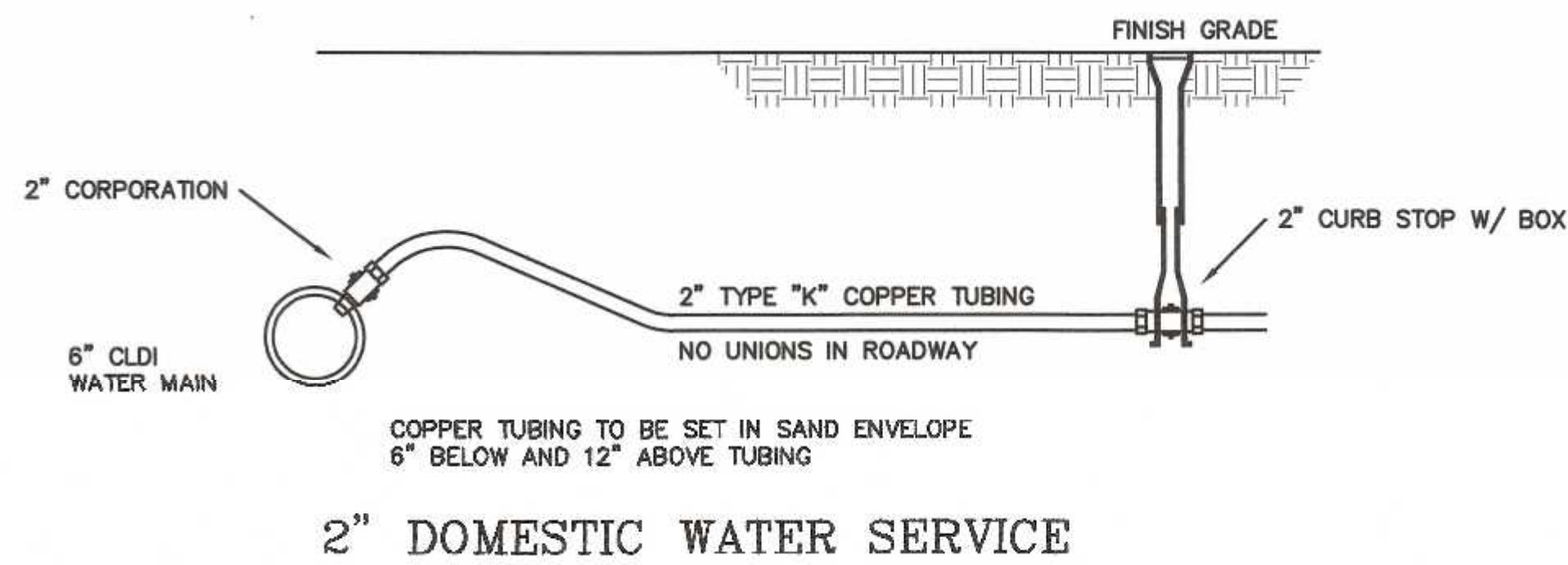


NO.	DATE	DESCRIPTION	BY
4	3/30/22	ADDED CERTIFICATE OF VOTE	RRG
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2	1/11/22	REVIEW COMMENTS	RRG
1	11/22/21	REVIEW COMMENTS - SITE LAYOUT	RRG

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6/21	CALCS BY:	RRG
6/21	DESIGNED BY:	RRG
6/21	DRAWN BY:	COMP
6/21	CHECKED BY:	CAQ

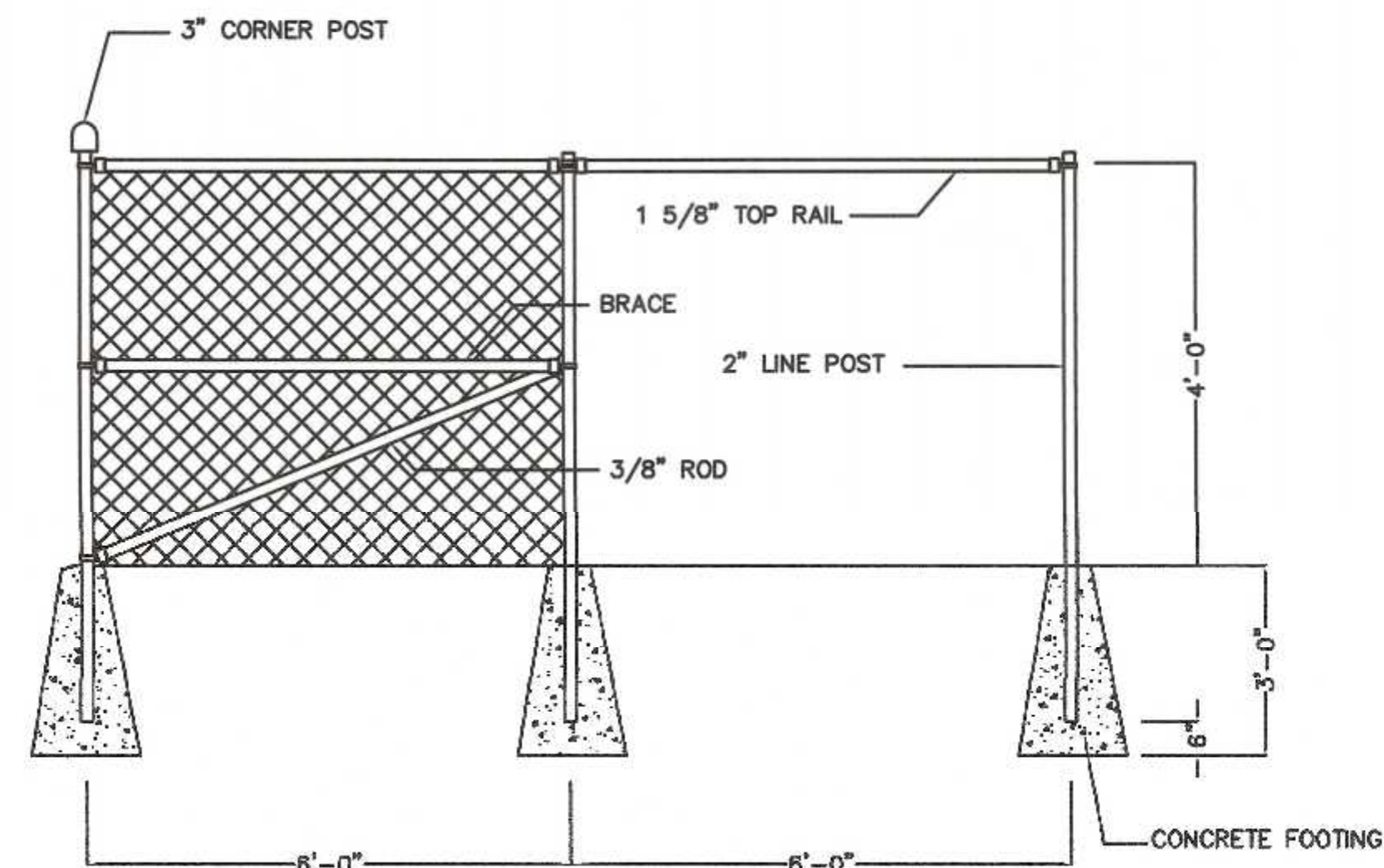
UNITED CONSULTANTS INC.  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-864-6560 FAX 508-384-6566

DATE  
JUNE 28, 2021  
SCALE  
1" = 30'  
PROJECT  
UC1502  
SHEET  
10 of 11



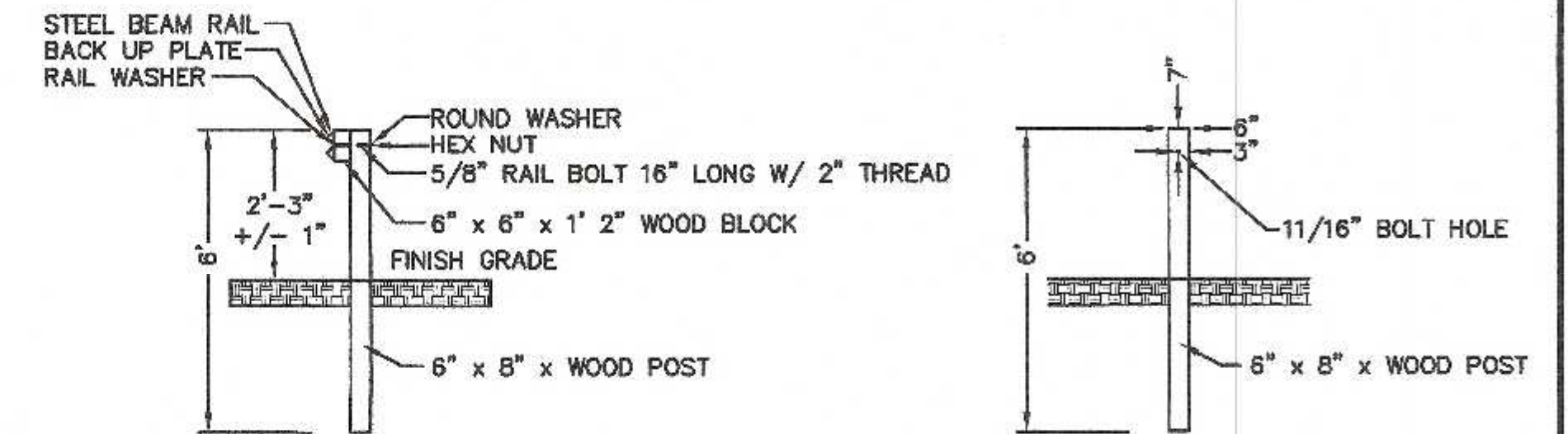
**GUTTER DETAIL @  
ELECTRIC COMPANY GRAVEL DRIVE**

- NOTES:  
1. PROVIDE PRE-CAST CONCRETE TRANSITION CURBS AT EACH SIDE OF GRAVEL DRIVEWAY OPENING.  
2. ASPHALT BERM TO EXTEND FROM TRANSITION CURB TO TRANSITION CURB.



**CHAIN LINK FENCE - COUNCIL & LINE SECTION**

NOT TO SCALE  
NOTE: CHAIN LINK FENCE TO BE INSTALLED AT RETAINING WALLS EXCEEDING 4' IN HEIGHT.

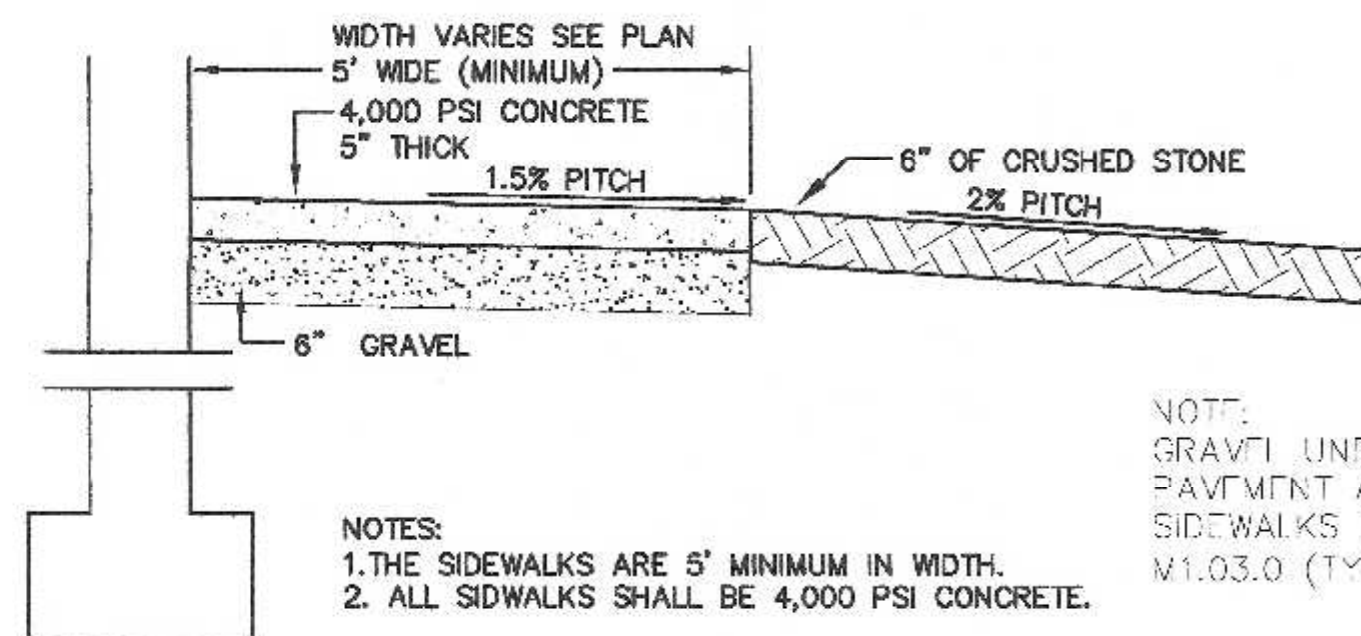


**GUARDRAIL DETAIL**  
N.T.S.

**POST DETAIL**  
N.T.S.

- GUARDRAIL NOTES:**  
1. POST TO BE SPACED 6' 3" ON CENTER.  
2. ALL NUTS, BOLTS AND WASHERS TO BE GALVANIZED.  
3. ALL SPLICES ARE TO BE MADE AT A POST.  
4. BACK UP PLATE IS PLACED BEHIND RAIL ELEMENTS AT INTERMEDIATE POSTS I.E.: NON SPLICE LOCATIONS.  
5. REFER TO MASSDOT STANDARDS FOR DIMENSIONS OF FITTINGS THAT ARE NOT SHOWN.

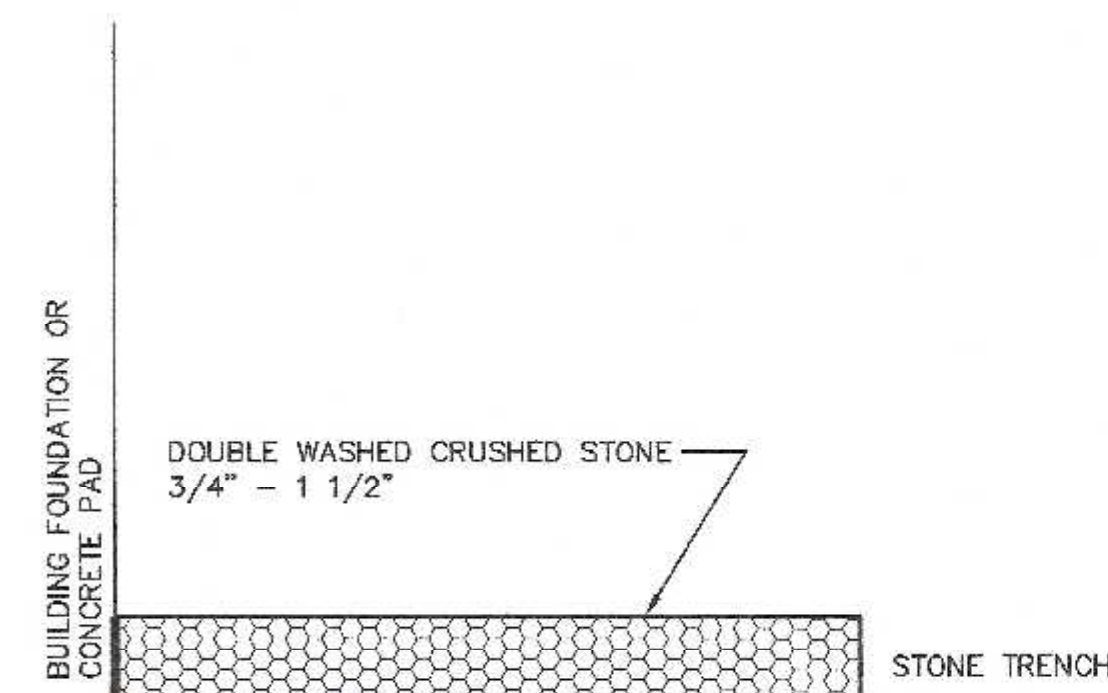
- GUARDRAIL NOTES:**  
1. FINAL DESIGN OF THE GUARDRAILS SHALL BE COMPLETED BY THE PROJECT STRUCTURAL ENGINEER.



- NOTES:  
1. THE SIDEWALKS ARE 5' MINIMUM IN WIDTH.  
2. ALL SIDEWALKS SHALL BE 4,000 PSI CONCRETE.

**EXIT DOOR PAD DETAIL**

N.T.S.



**STONE APRON DETAIL**

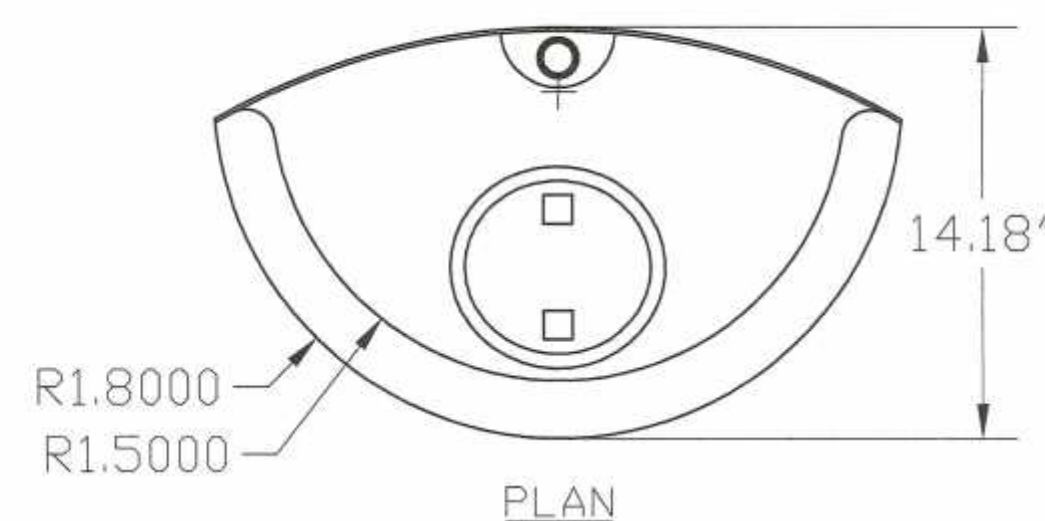
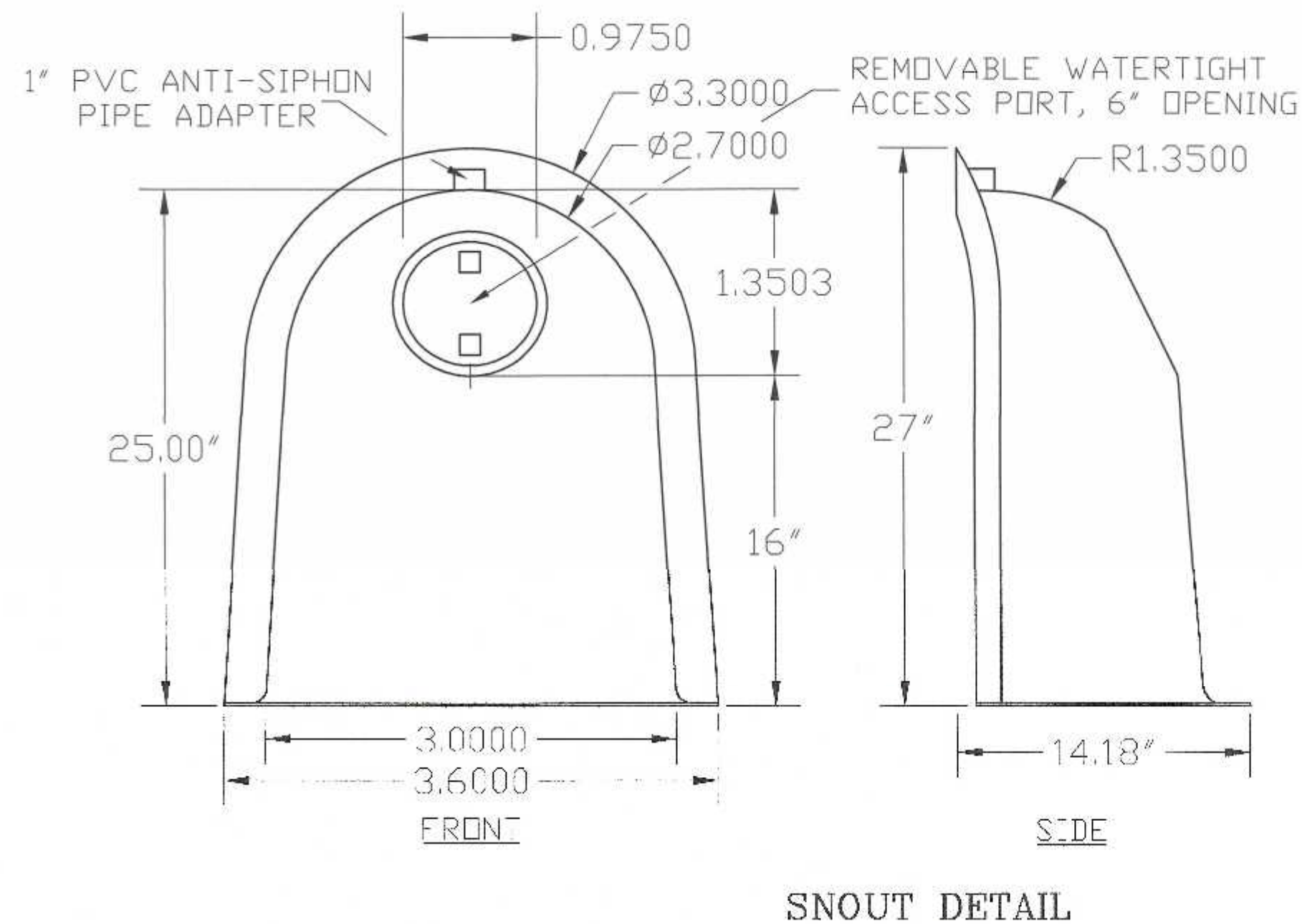
N.T.S.

- GEOWEB MATERIALS AND RECOMMENDATIONS:**  
SEE PRESTO GEOSYSTEMS LETTER DATED AUGUST 31, 2021 BY BRYAN WEDIN, P.E.  
1. PROVIDE A NON-WOVEN GEOTEXTILE SEPARATION LAYER AND INSTALL PER MANUFACTURERS RECOMMENDATIONS.  
2. PRESTO PRODUCTS CO. GEOWEB GW30V4 (4" PANELS)  
3. CONNECT THE GEOWEB SECTIONS WITH ATRA KEYS AT EACH INTERLEAF AND END TO END CONNECTION.  
4. PROVIDE FOUR, TP-93 TENDONS PER GEOWEB SECTIONS IN CELLS 1, 3, 5 & 7.  
5. PROVIDE AN ATRA TENDON CLIP TIED TO EACH TENDON EVERY 4TH CELL DOWN THE SLOPE.  
6. PROVIDE AN 8-INCH SOLID WALL PVC PIPE DEADMAN BURIED A MINIMUM OF 3 FEET BELOW CREST ELEVATION. IF A DEADMAN IS NOT FEASIBLE, PROVIDE EARTH ANCHORS WITH A MINIMUM TENSION OF 1,650 LBS (579 LBS/FT X 8.5 FT/PANEL / 3 TENDONS/PANEL) PLUS THE RECOMMENDED MANUFACTURERS FACTOR OF SAFETY TIED TO EACH TENDON. EARTH ANCHORS PULLOUT STRENGTH SHALL BE DETERMINED BY THE ENGINEER OF RECORD BASED ON RECOMMENDED MANUFACTURERS FACTOR OF SAFETY AND SITE SOIL CONDITIONS.  
7. PRE-SHAPE THE GEOWEB BEFORE INFILL PLACEMENT.  
8. LIMIT THE DROP OF THE INFILL INTO THE GEOWEB PANELS TO PREVENT DISTORSION.  
9. PROVIDE SURFACE PROTECTION (HYDROSEED, EROSION CONTROL BLANKET OR TURF REINFORCEMENT MAT) OVER THE GEOWEB SIZED FOR HYDRAULIC CONDITIONS TO PREVENT SOIL WASHOUT PRIOR TO ESTABLISHMENT OF VEGETATION.

**OWNERS:**  
MAP 304 PARCEL 064-000  
ABRUZZI REALTY TRUST  
55 COUTU STREET  
FRANKLIN, MASSACHUSETTS

MAP 304 PARCEL 064-001  
FERRARA FAMILY REALTY TRUST  
PO BOX 482  
FRANKLIN, MA 02038

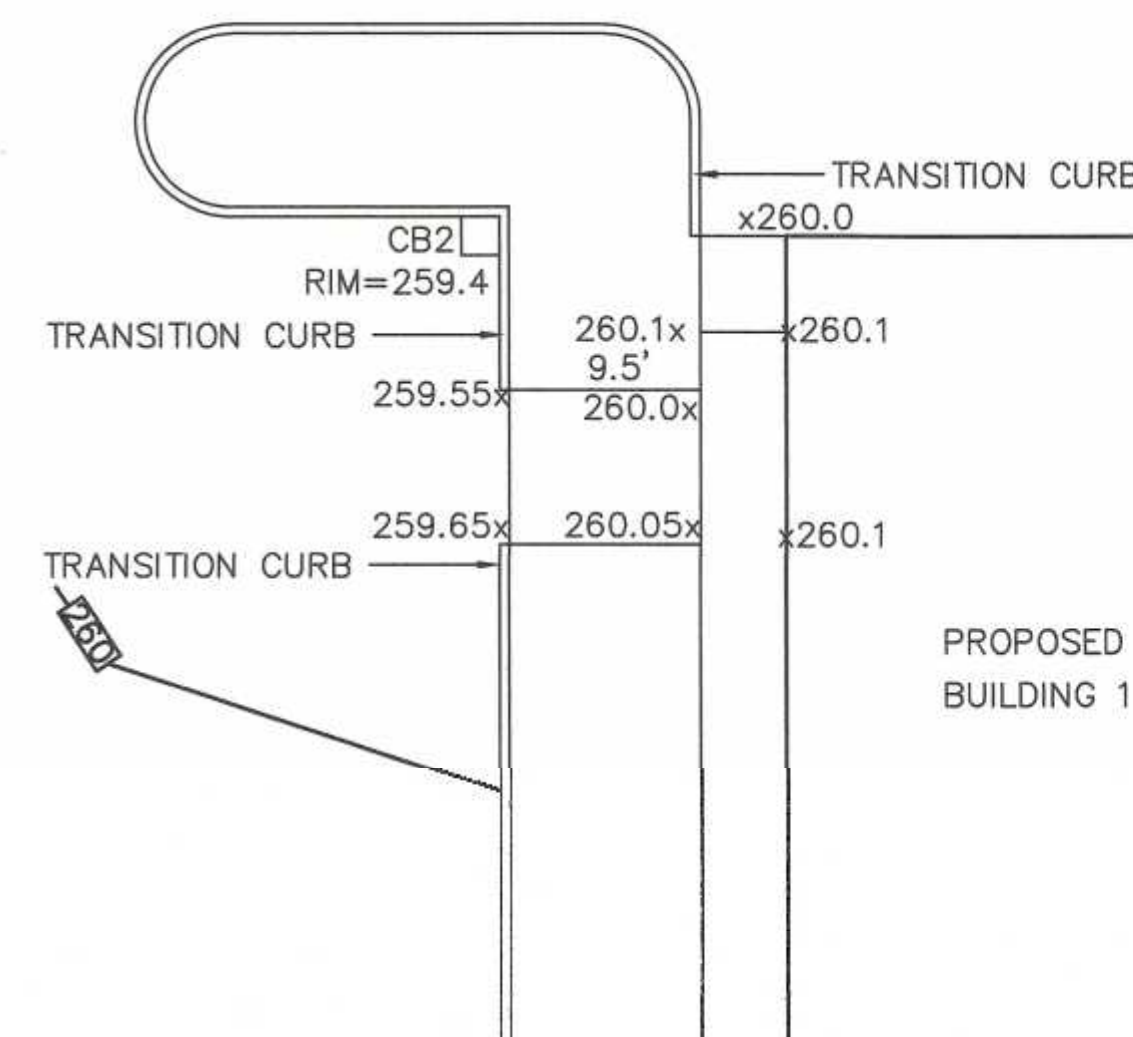
**APPLICANT:**  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS



DESIGNED TO FIT  
48"-80" DIAM.  
STRUCTURES

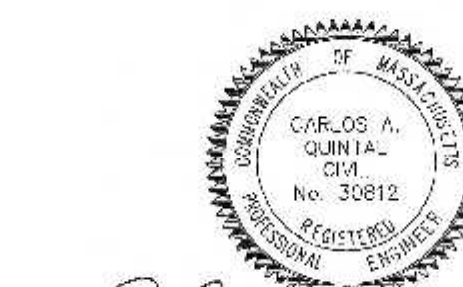
US PATENT # 6126817  
ADDITIONAL PATENTS PENDING

<b>BVP, INC.</b> 69 MT. ARCHER ROAD, LIME, CT. 06037 (860) 504-8000 FAX: (860) 504-8100		
DESCRIPTION 18R SNOUT OIL & DEBRIS STOP	DATE 09/06/99	SCALE NONE
DRAWING NUMBER 18R		



**SIDEWALK DETAIL**

N.T.S.

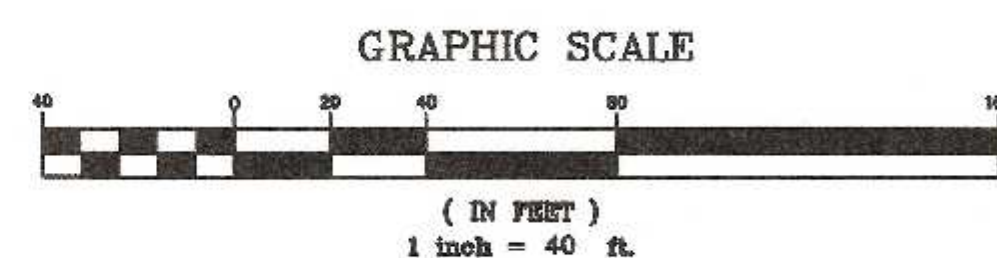


*Carlos A. Quintal* 6/28/22  
CARLOS A. QUINTAL P.E. #30812

**SITE PLAN  
CONSTRUCTION DETAILS - 4**  
275 WASHINGTON STREET  
FRANKLIN, MASSACHUSETTS  
PREPARED FOR  
FRANKLIN FLEX SPACE, LLC  
13 CLOVELLY ROAD  
WELLESLEY, MASSACHUSETTS  
JUNE 28, 2021  
SCALE: 1" = 40'

**SITE PLAN APPROVAL  
REQUIRED  
FRANKLIN PLANNING BOARD**

DATE

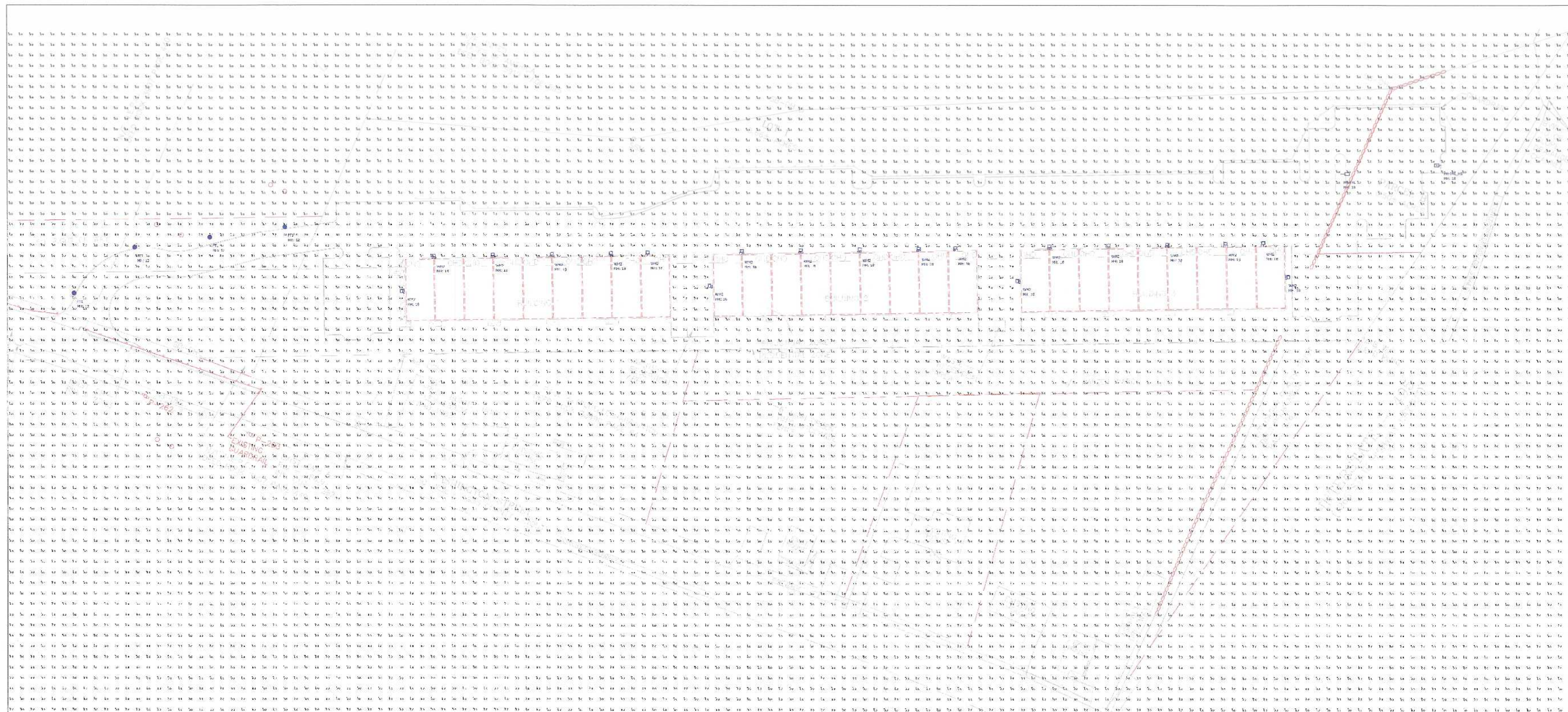


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**UNITED  
CONSULTANTS  
INC.**  
850 FRANKLIN STREET SUITE 11D  
WRENTHAM, MASSACHUSETTS 02093  
508-384-8560 FAX 508-384-8568

DATE  
JUNE 28, 2021  
SCALE  
1" = 30'  
PROJECT  
UC1502  
SHEET  
11 of 11



1 Photometric Layout and Calculations  
SCALE: 1:30

Symbol	Label	Qty	Description	LLF	Lum. Watts	Lum. Lumens
[Symbol]	PM-T4L	1	Visionaire # VSX-II-T4L-15L-3K-UNV-AM-TBD	0.900	101.7	12597
[Symbol]	PM-T4L_HS	1	Visionaire # VSX-II-T4L-15L-3K-UNV-AM-TBD-HS	0.900	102	4190
[Symbol]	PT1	4	HCI # HCI-45LED-II-M-5W01509240013	0.900	43.8	4325
[Symbol]	WM2	19	Visionaire # VSX-II-T4L-15L-3K-UNV-WM-TBD	0.900	101.7	12597

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE CALCS	Illuminance	Fc	0.18	7.1	0.0	N.A.	N.A.
DRIVE	Illuminance	Fc	1.41	7.1	0.1	14.10	71.00
LOT	Illuminance	Fc	1.81	6.0	0.1	18.10	60.00
SIDE LOT	Illuminance	Fc	0.80	3.2	0.1	8.00	32.00

PRODUCT TECHNICAL DATA SHEET

**F102-LED SERIES**

**FEATURES**

- Modular design allows for easy installation and maintenance.
- Available in multiple finishes and colors.
- Energy efficient LED technology.

**SPECIFICATIONS**

Model	Length	Height	Weight	Power	Beam Angle	Color Temp	Life Span
F102-1	12.5"	12.5"	1.5 lbs	10W	30°	3000K	50,000 hrs

**PHOTOMETRICS**

2 HCI Type F102-LED Specifications

**VSX-II Array LED Specifications**

**ORDERING INFORMATION**

Model	Finish	Color	Beam Angle	Power	Color Temp	Life Span
VSX-II-1	Black	Black	30°	10W	3000K	50,000 hrs

**VISIONAIRE LIGHTING**

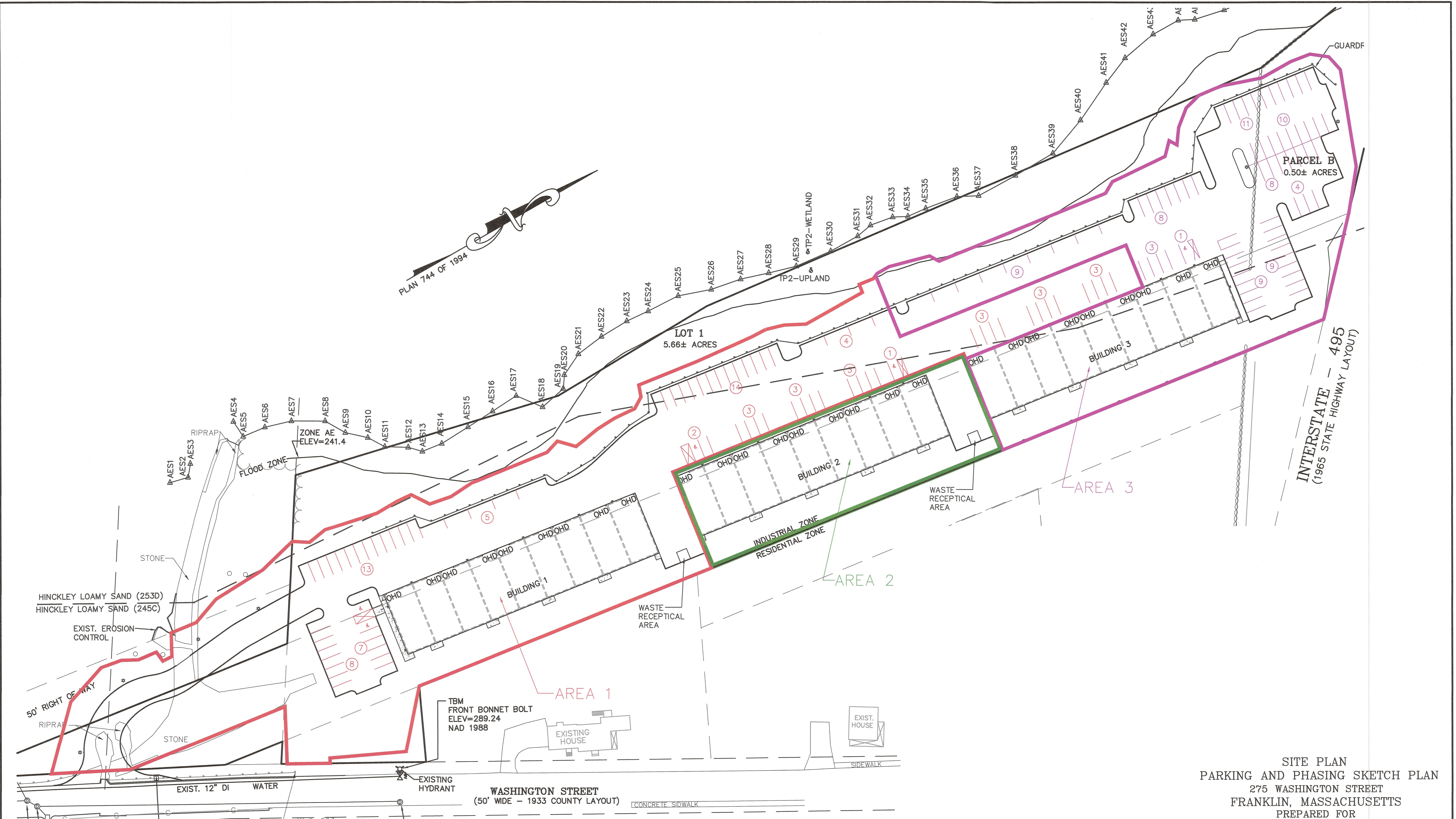
3 Visionaire Type VSX II Array Specifications

- NOTES:**
- A LIGHT LOSS FACTOR OF 0.900 HAS BEEN APPLIED TO FIXTURES UNLESS OTHERWISE NOTED. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR AND LUMEN INFORMATION.
  - SEE "MH" ON LIGHTING FIXTURE TAG LOCATED ON PLAN FOR MOUNTING HEIGHT INFORMATION.
  - CALCULATION POINTS ARE TAKEN AT GRADE.
  - CALCULATION RESULTS ARE BASED ON IES STANDARDS UNLESS OTHERWISE REQUESTED.

**SITE PLAN APPROVAL REQUIRED**  
**FRANKLIN PLANNING BOARD**

DATE \_\_\_\_\_

DATE	REV/ISSUES	DESCRIPTION	DATE
5/25/2021	1	PROJECT SUBMITTAL	
	2		
	3		
	4		
	5		
	6		
	7		



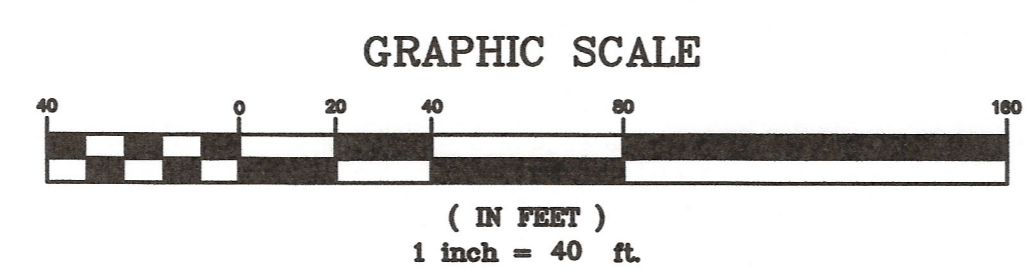
SITE PLAN  
 PARKING AND PHASING SKETCH PLAN  
 275 WASHINGTON STREET  
 FRANKLIN, MASSACHUSETTS  
 PREPARED FOR  
 FRANKLIN FLEX SPACE, LLC  
 13 CLOVELLY ROAD  
 WELLESLEY, MASSACHUSETTS  
 JUNE 28, 2021  
 SCALE: 1" = 40'

SITE PLAN APPROVAL  
 REQUIRED  
 FRANKLIN PLANNING BOARD

DATE \_\_\_\_\_

OWNER:  
 ABRUZZI REALTY TRUST  
 55 COUTU STREET  
 FRANKLIN, MASSACHUSETTS

APPLICANT:  
 FRANKLIN FLEX SPACE, LLC  
 13 CLOVELLY ROAD  
 WELLESLEY, MASSACHUSETTS



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BK#	FIELD BOOK	PG#
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6/21	CHECKED BY:	CAQ

**UNITED CONSULTANTS INC.**  
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 508-384-6560 FAX 508-384-6566

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SCALE  
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 UC1502

SHEET  
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