

OPERATION AND MAINTENANCE PLAN

CONSTRUCTION PHASE

1. THE OWNER'S REPRESENTATIVE, NAME AND PHONE NUMBER TO BE PROVIDED, SHALL BE THE RESPONSIBLE PARTY FOR THE STORMWATER MAINTENANCE PLAN.
2. THE SITE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES WEEKLY AND AFTER ALL RAIN EVENTS.
3. SEDIMENT SHALL BE REMOVED FROM COMPOST SOCK WHEN A MAXIMUM DEPTH OF 6" IS OBSERVED OR AS NEEDED.
4. CONSTRUCTION ENTRY MAT SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS. SEE DETAIL FOR MAINTENANCE REQUIREMENTS.
5. DAMAGED OR DETERIORATED COMPOST SOCK AREAS SHALL BE REPLACED IMMEDIATELY.
6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND ALL DISTURBED AREAS ARE STABILIZED.
7. SILT BANS SHALL BE INSTALLED AT ALL CATCH BASINS EXISTING AND PROPOSED AND SHALL BE INSPECTED WEEKLY AND AFTER ALL RAIN EVENTS.
8. CLEANING OF SILT BANS SHALL BE COMPLETED AS NECESSARY.
9. THE ODS UNIT SHALL BE CLEANED WITH A VACUUM TRUCK.

INSPECTION AND MAINTENANCE SCHEDULE:

1. INSPECTIONS SHALL BE CONDUCTED BY THE APPLICANT'S ENGINEER, CONTRACTOR AND / OR REPRESENTATIVES OF THE TOWN AS NECESSARY. AT A MINIMUM INSPECTIONS SHALL BE CONDUCTED ON A MONTHLY BASIS.
2. MONTHLY INSPECTIONS SHALL INCLUDE THE PARKING LOT SURFACE TO DETERMINE IF ACCUMULATED SEDIMENTS ARE TO BE REMOVED.
3. INSPECTIONS OF THE WATER QUALITY UNIT TO DETERMINE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
4. INSPECTION OF THE PROPOSED CATCH BASINS TO DETERMINE THE DEPTH OF SEDIMENT AND REQUIRED CLEANING.
5. INSPECTION OF POND 1 TO DETERMINE IF CLEANING IS NECESSARY.

OPERATION AND MAINTENANCE SCHEDULE

CONSTRUCTION PHASE:

1. THE EROSION CONTROL BARRIERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER ALL STORM EVENTS.
2. ONCE THE PARKING LOT HAS BEEN PAVED DAILY INSPECTIONS SHALL BE CONDUCTED TO DETERMINE THE NECESSITY TO REMOVE ANY ACCUMULATED SEDIMENT. THE REMOVAL OF THE ACCUMULATED SEDIMENT SHALL BE COMPLETED ON THE DAY THE DETERMINATION IS MADE.
3. SILT BANS SHALL BE INSTALLED AT ALL CATCH BASINS. SILT BANS, ONCE INSTALLED SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED AS NECESSARY.
4. THE WATER QUALITY UNIT SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED WHEN THE SEDIMENT DEPTH REACHES 6"
5. THE POND SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED WHEN 2" OF SEDIMENT HAS ACCUMULATED AT THE INLET. ANY TRASH OR CONSTRUCTION DEBRIS SHALL BE IMMEDIATELY REMOVED.

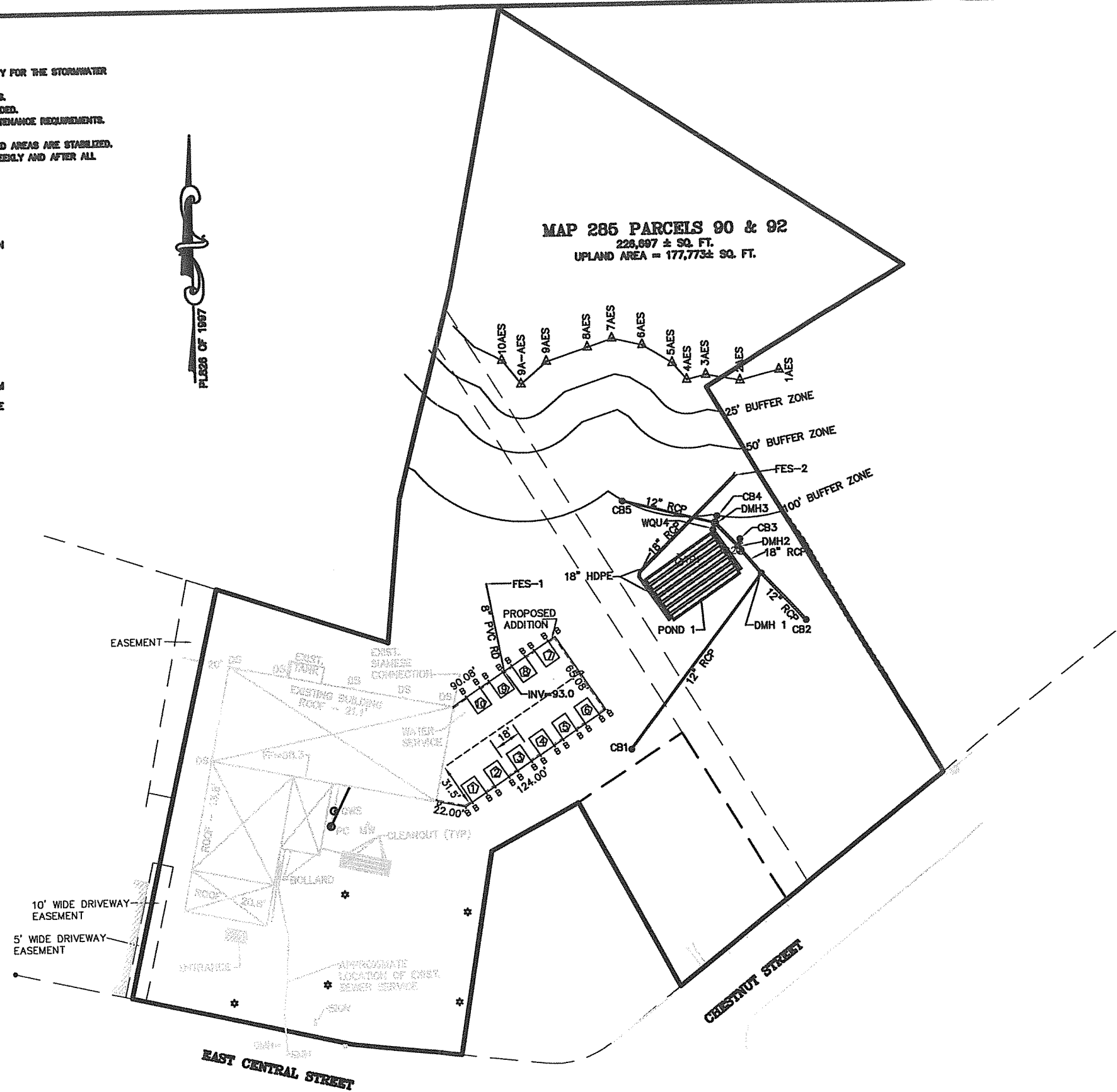
ADDITIONAL EROSION CONTROLS MAY BE REQUIRED DEPENDING ON ACTUAL FIELD CONDITIONS DURING CONSTRUCTION.

LONG TERM:

1. THE PARKING LOT SHALL BE SHEPT FOUR TIMES PER YEAR WITH ONE BEING AFTER THE LAST WINTER SANDING.
2. THE WATER QUALITY UNITS SHALL BE INSPECTED 4 TIMES PER YEAR AND SEDIMENT REMOVED WHEN THE DEPTH REACHES 6 INCHES.
3. THE PONDS SHALL BE INSPECTED AND PREVENTIVE MAINTENANCE PERFORMED TWICE PER YEAR. THE PONDS SHALL BE INSPECTED AFTER EVERY STORM EVENT EXCEEDING 1 INCH OF RAINFALL FOR THE FIRST 3 MONTHS AND THEN TWICE PER YEAR THEREAFTER AND WHEN THERE ARE DISCHARGES THROUGH THE HIGH OUTLET.
4. DURING INSPECTIONS OF STORM-WATER FACILITIES ANY TRASH OR DEBRIS DISCOVERED SHALL BE IMMEDIATELY REMOVED.

EROSION CONTROL NOTES:

1. COMPOST SOCK SHALL BE INSTALLED PRIOR TO TREE CLEARING OR SITE WORK COMMENCING.
2. COMPOST SOCK TO REMAIN IN CONTACT WITH THE EARTH. REPAIR OR RESET AS NECESSARY.
3. REFER TO CONSTRUCTION SEQUENCE FOR SLOPE GREATER THAN 3" HORIZONTAL TO 1" VERTICAL.
4. WATER QUALITY UNITS, CATCH BASINS, UNDERGROUND POND AND PARKING AREA TO BE CLEANED ONCE CONSTRUCTION IS COMPLETED.
5. ALL SEDIMENT COLLECTED DURING THE CONSTRUCTION PHASE OR POST CONSTRUCTION PHASE SHALL BE DISPOSED OF TO AN APPROVED LOCATION.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE EROSION CONTROL MEASURES SHALL BE REMOVED.
7. DAMAGED OR DETERIORATED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY AFTER THEY HAVE BEEN IDENTIFIED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
9. DUST CONTROL WILL BE BY SPRAYING WATER AS NECESSARY. THE USE OF OILS, PETROLEUM PRODUCTS OR TOXIC LIQUIDS FOR DUST CONTROL IS PROHIBITED.



MAP 285 PARCELS 90 & 92
228,897 ± SQ. FT.
UPLAND AREA = 177,773± SQ. FT.



OWNER:
MAP 285
FRANKLIN
175 EAST
FRANKLIN

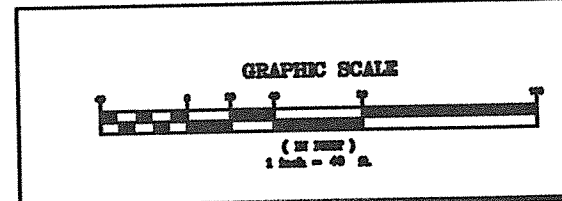
MAP 285
HERBERT
9 CHEST
FRANKLIN

APPLICANT
FRANKLIN
175 EAST
FRANKLIN

S
STORMWATER
175 EAST
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SITE PLAN APPROVAL REQUIRED
FRANKLIN PLANNING BOARD

DATE _____



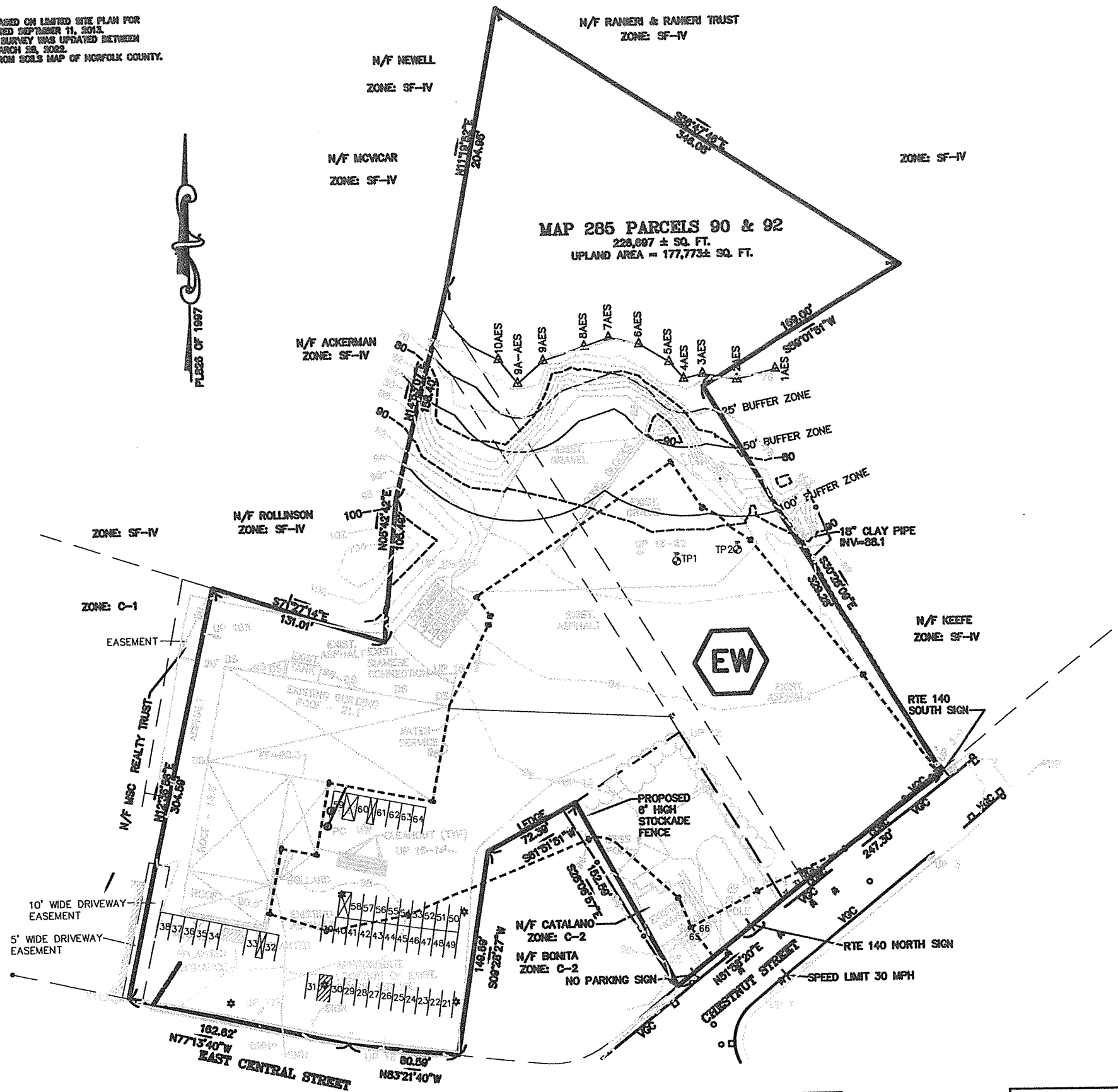
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4/22	PC/	PC/
4/22	RRG	RRG
4/22	RRG	RRG
4/22	COMP	COMP
4/22	CAQ	CAQ

UNITED CONSULTANTS INC.

800 FRANKLIN STREET SUITE
WRENTHAM, MASSACHUSETTS 02
606-884-8888 FAX 606-884-88

NOTES:
 1. ELEVATIONS DATUM BASED ON LIMITED SITE PLAN FOR FRANKLIN FORD, LLC DATED SEPTEMBER 11, 2013.
 2. EXISTING CONDITIONS SURVEY WAS UPDATED BETWEEN AUGUST 3, 2021 AND MARCH 28, 2022.
 3. SOL. TYPES TAKEN FROM SOILS MAP OF NORFOLK COUNTY.

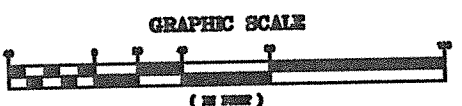


OWNER:
 MAP 285
 FRANKLIN
 175 EAST
 FRANKLIN,
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 APPLICANT:
 MAP 285
 HERBERT
 9 CHESTNUT
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SITE PLAN APPROVAL
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4/22	DESIGNED BY:	RRQ
4/22	DRAWN BY:	COMP

UNITED CONSULTANTS INC.
 860 FRANKLIN STREET SUITE 1
 WRENTHAM, MASSACHUSETTS 01905
 508-894-8880 FAX 508-894-8880

SECTION 185-40 WATER RESOURCE DISTRICT
 1. THE APPLICANT WILL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATION WITH RESPECT TO STORAGE OR DISPOSAL OF TOXIC OR HAZARDOUS MATERIALS, INCLUDING STORAGE WITHIN THE INDUSTRIAL WASTE WATER HOLDING TANK.
 2. CONSTRUCTION FILL IN EXCESS OF 15 CUBIC YARDS MUST COMPLY WITH SECTION 185-40.E.(5).

NOTES:
 1. CONTRACTOR TO CONTACT DISAFA PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 2. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO UNITED CONSULTANTS, INC.
 3. ALL WORK SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARDS.

SNOW AND ICE NOTES:
 1. PARKING SPACES ABOVE THE REQUIRED NUMBER OF SPACES TO BE USED FOR ADDITIONAL SNOW STORAGE.
 2. NO DISPOSAL OF SNOW OR STOCKPILING OF SNOW AND ICE THAT CONTAINS DEICING CHEMICALS SHALL BE BROUGHT TO THE SITE FROM OUTSIDE THE DISTRICT. SEE ZONING BYLAW SECTION 185-40.D.(1)(f)

WETLAND BUFFER ZONE DISTURBANCES:
 0 - 25' BUFFER ZONE = 0 SQ. FT.
 25' - 50' BUFFER ZONE = 1,429 SQ. FT.
 50' - 100' BUFFER ZONE = 8,501 SQ. FT.
 IMPERVIOUS SURFACE WITHIN THE 50' - 100' BUFFER ZONE = 10%

THERE ARE NOT ANY VERNAL POOLS WITHIN 100 FEET OF ANY PROPOSED WORK.

UTILITY NOTES:
 1. DOMESTIC WATER SUPPLY SHOWN FOR LOCATION ONLY.
 2. ELECTRIC, TELEPHONE AND CABLE TV LOCATIONS TO BE DETERMINED BY THE APPROPRIATE UTILITY COMPANIES.
 3. THE DESIGN ENGINEER SHALL INSPECT THE EXCAVATION OF THE STORMWATER INFILTRATION POND PRIOR TO ANY FILL OR STONE BEING PLACED.

DRAINAGE PIPING NOTES:
 1. ALL RCP PIPE TO BE CLASS V.
 2. HOPE PIPE TO BE ADS OR APPROVED EQUAL.
 3. 3" ROOF DRAIN TO BE SCH 40 PVC
 4. WHERE HOPE PIPE CONNECTS TO RCP PIPE INSTALL A FERROD LDC 10 37.00 X 32.00 COUPLING (OR APPROVED EQUAL)

PROPOSED DRAINAGE STRUCTURE SCHEDULE:

CB 1 RM = 84.85 INV OUT = 80.85 12" RCP	DMH 1 RM = 81.7 INV IN = 87.57 12" RCP INV OUT = 87.47 12" RCP
CB 2 RM = 82.5 INV OUT = 88.47 12" RCP	DMH 2 RM = 82.5 INV IN = 89.55 12" RCP INV OUT = 89.05 10" RCP
CB 3 RM = 88.90 INV OUT = 88.88 12" RCP	DMH 3 RM = 89.3 INV IN = 88.17 12" RCP INV IN = 88.67 15" RCP INV OUT = 88.57 15" RCP
CB 4 RM = 88.2 INV OUT = 88.19 12" RCP	WQU 4 RM = 88.5 INV IN = 88.88 15" RCP INV OUT = 88.88 15" HOPE
CB 5 RM = 88.8 INV OUT = 88.8 12" RCP	FES 1 INV = 82.34 FES 2 INV = 82.00

WATER AND ELECTRIC SERVICES - TO BE VERIFIED IN THE FIELD AND REDIRECTED AS NECESSARY. FLOOR DRAINS TO DISCHARGE TO EXISTING FLOOR DRAIN INSIDE BUILDING. ROOF DRAINS TO BE COLLECTED AND DISCHARGED, AS SHOWN ON PLAN.

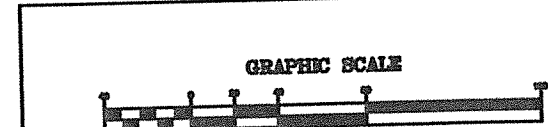
LEGEND:

SSDH DRILL HOLE STONE BOUND	□ CATCH BASIN
SSM STEEL SURVEY MARKER	⊙ SEWER MANHOLE
— 257 — EXISTING CONTOUR	⊙ CLEANOUT
— 227 — PROPOSED CONTOUR	D DUMPSTER
227.3 SPOT GRADE - PROPOSED	VCC VERTICAL CONCRETE CURBING (REINFORCED)
— 227.3 — EXIST. TREE LINE	VOC VERTICAL GRANITE CURBING
— 227.3 — UTILITY POLE	HANDICAP PARKING SPACE
— 227.3 — OVERHEAD WIRES	BUILDING MOUNTED LIGHT
— 227.3 — GAS GATE	POLE MOUNTED LIGHT
— 227.3 — WATER CURB STOP	⊙ CURB RADIUS
— 227.3 — WATER GATE	⊙ PARKING SPACE COUNT
— 227.3 — FIRE HYDRANT	— SIGN
⊙ DRAIN MANHOLE	⊙ BOLLARD

NOTE:
 ALL VERTICAL CONCRETE CURBING TO BE REINFORCED.

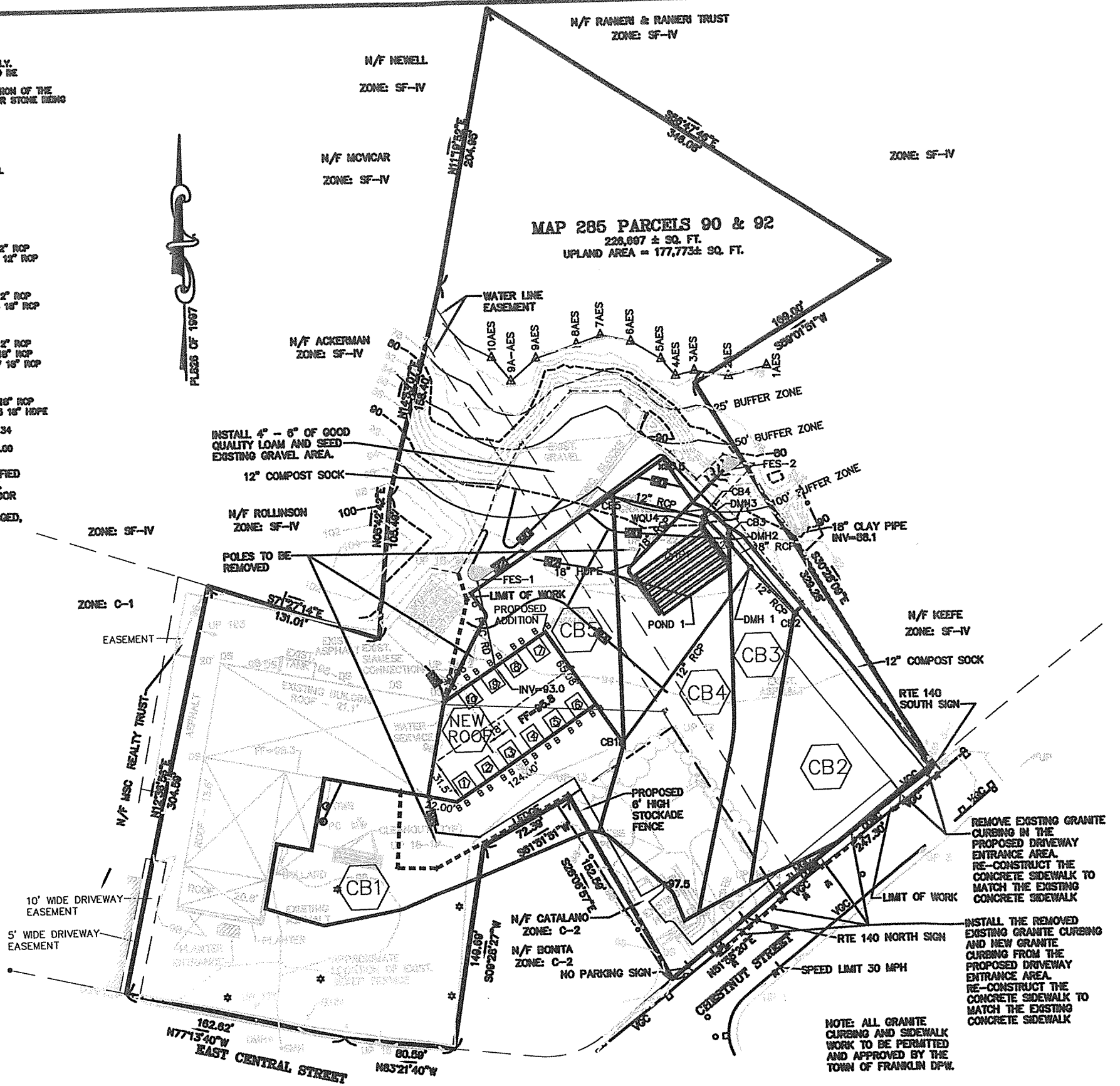
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UNITED CONSULTANTS INC.
 850 FRANKLIN STREET SUITE WRENTHAM, MASSACHUSETTS 01963



OWNERS:
 MAP 285
 FRANKLIN
 175 EAST
 FRANKLIN
 MAP 285
 HERRERT
 9 CHEST
 FRANKLIN
 APPLICANT
 FRANKLIN
 175 EAST
 FRANKLIN
 PROPOSE
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NOTE: ALL GRANITE CURBING AND SIDEWALK WORK TO BE PERMITTED AND APPROVED BY THE TOWN OF FRANKLIN DPW.

REMOVE EXISTING GRANITE CURBING IN THE PROPOSED DRIVEWAY ENTRANCE AREA. RE-CONSTRUCT THE CONCRETE SIDEWALK TO MATCH THE EXISTING CONCRETE SIDEWALK

INSTALL THE REMOVED EXISTING GRANITE CURBING AND NEW GRANITE CURBING FROM THE PROPOSED DRIVEWAY ENTRANCE AREA. RE-CONSTRUCT THE CONCRETE SIDEWALK TO MATCH THE EXISTING CONCRETE SIDEWALK