OWNER/CLIENT: THE COMMUNITY BUILDERS

185 Dartmouth St 9th floor, Boston, MA 02116 T: 617.695.9595

## ARCHITECT:

## DBVW ARCHITECTS, INC.

111 CHESTNUT STREET PROVIDENCE, RI 02903 T: 401.831.1240 F: 401.331.1945

## STRUCTURAL ENGINEER:

RSE ASSOCIATES INC.

63 PLEASEANT STREET, SUITE 300, WATERTOWN, MA 02472 T: 617.926.9300

MEP ENGINEER: ENGINEERING DESIGN SERVICES

141 INDUSTRIAL DRIVE SLATERVILLE, RI 02876 T: 401.765.7659 F: 401.765.2984

CIVIL ENGINEER:

LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC.

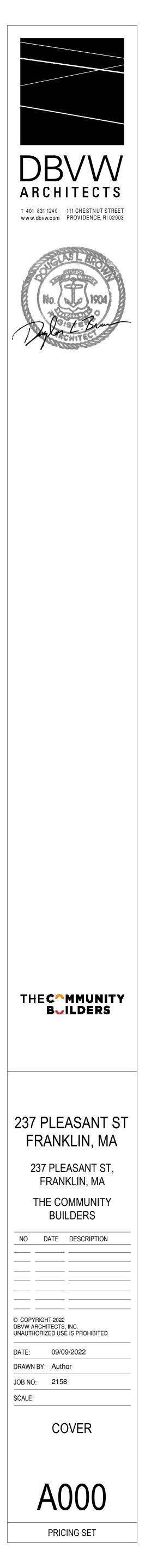
100 CAMBRIDGE STREET, SUITE 1310, BOSTON, MA 02114 T: 617.824.9100 F: 617.824.9101

	237 Pleasant Street Franklin, MA																		
PROPERTY INFORMATION																			
BUILDING TYPE	Level	1BR + 1 Bath	2BR + 1 Bath Flat	2BR + 1.5 Bath Townhouse	3BR + 2 Bath	TOTAL UNITS PROPOSED	1 BEDROOM ADA	1 BEDROOM	2 BEDROOM ADA	2 BEDROOM - Type 1	2 BEDROOM - Type 2	2 BEDROOM TOWNHOUSE	3 BEDROOM ADA	3 BEDROOM FLAT	3 BEDROOM TOWNHOUSE	NET RESIDENTIAL AREA	TOTAL (GROSS) BLDG AREA	PARKING SPACES PROVIDED	COMMENTS
Α	2	2	2			4		578		823						2,802	3,548		
	1					0										0	3,528	6	
B1	3	2				2				791						1,582	3,769		
	2		2	3		5				793		960				4,466	3,850		
	1	2			1	3		578						1,074		2,230	3,821	20	
B1	3	2				2				791						1,582	3,769		
	2		2	3		5				793		960				4,466	3,850		
	1	2			1	3		578						1,074		2,230	3,821	20	
B2	3	2				2		712								1,424	3,135		
	2		2	3		5				793		960				4,466	3,842		
	1	2	1			3		578	981							2,137	3,810	19	Includes 2BR ADA Unit
B3	3	2				2		712								1,424	3,135		
	2		2	3		5				793		960				4,466	3,842		
	1	2			1	3		578					1,088			2,244	3,810	19	Includes 3BR ADA Unit
C1	3		2			2		770								1,540	2,629		
	2		2		2	4				794					1,204	3,996	4,078		
	1	1	3			4		689		802	791					3,073	4,078	10	
C2	3		2			2		770								1,540	2,629		
	2		2		2	4				794					1,204	3,996	4,078		
	1	1	3			4	708		800	802	791					3,101	4,078	10	Includes 1 BR & 2 BR ADA Units
D	1					0										0	903		
TOTAL		20	3	7	7	64										52,765	74,003	104	
	1	8	1							l I				1					

# 237 PLEASANT ST FRANKLIN, MA

## DRAWING LIST

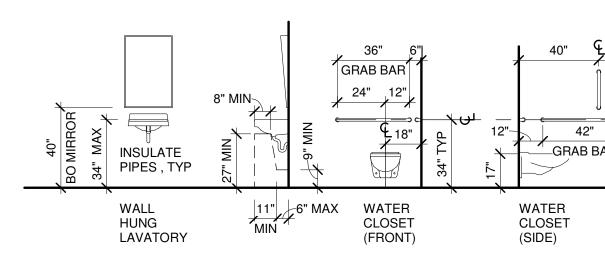
GENERAL	
A000	COVER
A001	NOTES, KEYNOTES, SYMBOLS & ABBREVIATIONS
A010	CODE REVIEW & LIFE SAFETY SHEET
A011	BUILDING TYPE B - CODE PLANS
A012	BUILDING TYPE C - CODE PLANS
ARCHITEC	
A100 A200A	ARCHITECTURAL SITE PLAN BUILDING TYPE A - FIRST FLOOR PLAN
A200A A201A	BUILDING TYPE A - FIRST FLOOR FLAN BUILDING TYPE A - SECOND FLOOR FLAN
A201A	BUILDING TYPE A - ROOF PLAN
A200B1	BUILDING TYPE B1 - LOWER LEVEL & FIRST FLOOR PLANS
A201B1	BUILDING TYPE B1 - SECOND FLOOR & ROOF PLANS
A200B2	BUILDING TYPE B2 - LOWER LEVEL & FIRST FLOOR PLANS
A201B2	BUILDING TYPE B2 - SECOND FLOOR & ROOF PLANS
A200B3	BUILDING TYPE B3 - LOWER LEVEL & FIRST FLOOR PLANS
A201B3	BUILDING TYPE B3 - SECOND FLOOR & ROOF PLANS
A200C1	BUILDING TYPE C1 - FIRST & SECOND FLOOR PLANS
A201C1	BUILDING TYPE C1 - THIRD FLOOR & ROOF PLANS
A200C2	BUILDING TYPE C2 - FIRST & SECOND FLOOR PLANS
A201C2 A200D	BUILDING TYPE C2 - THIRD FLOOR & ROOF PLANS BUILDING D - FIRST FLOOR PLANS & RCP
A200D A250	TYPICAL UNIT FLOOR PLANS
A250 A251	TYPICAL UNIT FLOOR PLANS
A252	TYPICAL UNIT FLOOR PLANS
A300A	BUILDING TYPE A - EXTERIOR ELEVATIONS
A301A	BUILDING TYPE A - EXTERIOR ELEVATIONS
A300B1	BUILDING TYPE B1 - EXTERIOR ELEVATIONS
A301B1	BUILDING TYPE B1 - EXTERIOR ELEVATIONS
A300B2	BUILDING TYPE B2 - EXTERIOR ELEVATIONS
A301B2	BUILDING TYPE B2 - EXTERIOR ELEVATIONS
A300B3	BUILDING TYPE B3 - EXTERIOR ELEVATIONS
A301B3	BUILDING TYPE B3 - EXTERIOR ELEVATIONS
A300C1	BUILDING TYPE C1 - EXTERIOR ELEVATIONS
A301C1 A300C2	BUILDING TYPE C1 - EXTERIOR ELEVATIONS BUILDING TYPE C2 - EXTERIOR ELEVATIONS
A300C2 A301C2	BUILDING TYPE C2 - EXTERIOR ELEVATIONS
A400A	BUILDING TYPE A - BUILDING SECTIONS
A401A	BUILDING TYPE A - BUILDING SECTIONS
A400B	BUILDING TYPE B1 - BUILDING SECTIONS
A401B	BUILDING TYPE B1 - BUILDING SECTIONS
A402B	BUILDING TYPE B2 & B3 - BUILDING SECTIONS
A403B	BUILDING TYPE B2 & B3 - BUILDING SECTIONS
A400C	BUILDING TYPE C1 & C2 - BUILDING SECTIONS
A401C	BUILDING TYPE C1 & C2 - BUILDING SECTIONS
A400D	BUILDING TYPE D - BUILDING ELEVATIONS AND BUILDING SECTIONS EXTERIOR DETAILS
A500 A501	EXTERIOR DETAILS
A502	EXTERIOR DETAILS
A600	INTERIOR ELEVATIONS
A601	INTERIOR ELEVATIONS
A700	INTERIOR DETAILS
A800	WALL TYPES, CEILING TYPES & TYPICAL DETAILS
A801	DOOR SCHEDULE, DOOR TYPES & FRAME TYPES
A802	WINDOW TYPES & DETAILS
A900A	BUILDING TYPE A - FIRST FLOOR RCP
A901A	BUILDING TYPE A - SECOND FLOOR RCP
A900B1 A901B1	BUILDING TYPE B1 - LOWER LEVEL & FIRST FLOOR RCP BUILDING TYPE B1 - SECOND FLOOR RCP
A901B1 A900B2	BUILDING TYPE B1 - SECOND FLOOR RCP BUILDING TYPE B2 - LOWER LEVEL & FIRST FLOOR RCP
A900B2 A901B2	BUILDING TYPE B2 - SECOND FLOOR RCP
A900B3	BUILDING TYPE B3 - LOWER LEVEL & FIRST FLOOR RCP
A901B3	BUILDING TYPE B3 - SECOND FLOOR RCP
A900C1	BUILDING TYPE C1 - FIRST & SECOND FLOOR RCP
A901C1	BUILDING TYPE C1 - THIRD FLOOR RCP
A900C2	BUILDING TYPE C2 - FIRST & SECOND FLOOR RCP
A901C2	BUILDING TYPE C2 - THIRD FLOOR RCP
A950	TYPICAL UNIT RCP
A951	
A952	TYPICAL UNIT RCP



ABBREV	IATIONS				
ABV	-ABOVE	GA	-GAUGE	S	-SOUTH
ACT	-ACOUSTICAL CEILING TILE	GALV	-GALVANIZED	SB	-SPLASH BLOCK
AD ADJ	-AREA DRAIN -ADJUSTABLE	GB GND	-GRAB BAR -GROUND	SC SCHD	-SOLID CORE -SCHEDULE
AFF	-ABOVE FINISH FLOOR	GC	-GENERAL CONTRACTOR	SD	-SCHEMATIC DESIGN
ALUM	-ALUMINUM	GEN	-GENERAL	SEAL	-SEALANT
ANOD	-ANODIZED	GL	-GLASS	SECT	-SECTION
APPROX	-APPROXIMATE(LY)	GL BLK	-GLASS BLOCK	SEJ	-SEISMIC EXPANSION JOINT
ARCH ASPH	-ARCHITECT -ASPHALT	GRD GRAN	-GRADE -GRANITE	SEL SF	-SELECT -SQUARE FEET(FOOT)
AVB	-AIR VAPOR BARRIER	GWB	-GYPSUM WALL BOARD	SHEATH	-SHEATHING
		GYP	-GYPSUM	SIM	-SIMILAR
BO	-BOTTOM OF			SHT	-SHEET
BB	-BASEBOARD	Н	-HIGH	SJ	-SEALANT JOINT
BBH BD	-BASEBOARD HEAT -BOARD	HB HC	-HOSE BIB -HOLLOW CORE	SM SOF	-SOLID MATERIAL -SOFFIT
BEJ	-BRICK EXPANSION JOINT	HD	-HAND DRYER	SPEC	-SPECIFICATION
BIT	-BITUMINOUS	HDW	-HARDWARE	SPD	-SOAP DISPENSER
BLDG	-BUILDING	HDWD	-HARDWOOD	SSTL	-STAINLESS STEEL
BLK BLKG	-BLOCK -BLOCKING	HEWC HM	-HANDICAP ACC. WATER COOLER -HOLLOW METAL	STD STL	-STANDARD -STEEL
BM	-BEAM	HT	-HEIGHT	STRCT	-STRUCTURAL
BRK	-BRICK	HORZ	HORIZONTAL	SQ	-SQUARE
		HR	-HOUR	SUSP	-SUSPENDED
CAB CB	-CABINET -CATCH BASIN	HW HVAC	-HOT WATER -HEATING / VENTILATION	SY	-SQUARE YARD
CEM	-CEMENT	IVAC	AIR CONDITIONING	Т	-TREAD
CI	-CAST IRON			TO	-TOP OF
CJ	-CONTROL JOINT	I.D.	-INSIDE DIMENSION	Т.О.	-TOP OF
CL	-CENTER LINE	IN	-INCH	TB	-TACK BOARD
CLG CLR	-CEILING -CLEAR	INCL INSUL	-INCLUDING -INSULATION	TBB TBD	-TILE BACKER BOARD -TO BE DETERMINED
CMT	-CERAMIC MOSAIC TILE	INT	-INTERIOR	TEL	-TELEPHONE
CMU	-CONCRETE MASONRY UNIT	INV	-INVERT	TEMP	-TEMPORARY
CO	-CLEAN OUT			THK	-THICK (NESS)
COL	-COLUMN	JST	-JOIST	THRES	-THRESHOLD
CONC CONN	-CONCRETE -CONNECTION	JSTH JT	-JOIST HANGER -JOINT	TOIL TOS	-TOILET -TOP OF STEEL
CONST	-CONSTRUCTION	LAM	-LAMINATE	TZ	-TERRAZZO
CONST JT	-CONSTRUCTION JOINT	LCC	-LEAD COATED COPPER	TTD	-TOILET TISSUE DISPENSER
CONT	-CONTINUOUS	LG	-LONG	TV	-TELEVISION
CONTR	-CONTRACTOR	LH		TYP	-TYPICAL
COORD CPT	-COORDINATE -CARPET	LSF	-LINOLEUM SHEET FLOORING	T&G	-TONGUE & GROVE
CRC	-COLD ROLLED COPPER	MACH	-MACHINE	UR	-URINAL
CRS	-COURSE	MAR	-MARBLE	UNFIN	-UNFINISHED
СТ	-CERAMIC TILE	MAS	-MASONRY	UON	-UNLESS OTHERWISE NOTED
CTR	-CENTER	MATL	-MATERIAL		
CF CW	-CUBIC FOOT -COLD WATER	MAX MDF	-MAXIMUM -MEDIUM DENSITY FIBERBOARD	VB VCT	-VAPOR BARRIER -VINYL COMPOSITION TILE
011		MDO	-MEDIUM DENSITY OVERLAY PLYWOOD		-VENTILATE
D	-DEEP	MECH	-MECHANICAL	VERT	-VERTICAL
DBL	-DOUBLE	MEM	-MEMBRANE	VET	-VINYL ENHANCED TILE
DEPT DI	-DEPARTMENT -DRAIN INLET	MFR MIN	-MANUFACTURER -MINIMUM	VIF VP	-VERIFY IN FIELD -VENEER PLASTER
DIA	-DIAMETER	MISC	-MISCELLANEOUS	VF VT	-VINYL TILE
DIM	-DIMENSION	ML	-METAL LAMINATE	VWB	-VINYL WALL BASE
DISP	-DISPENSER	MO	-MASONRY OPENING	VWC	-VINYL WALL COVERING
DN		MR	-MOISTURE RESISTANT	14/	MIDE
DPF DR	-DAMPPROOF(ING) -DOOR	MTL MTD	-METAL -MOUNTED	W W	-WIDE -WEST
DRN	-DRAIN	WID	WOUTED	W/	-WITH
DS	-DOWNSPOUT	Ν	-NORTH	W/O	-WITHOUT
DW	-DISHWASHER	NIC	-NOT IN CONTRACT	WC	-WATER CLOSET
DTL DWG	-DETAIL -DRAWING	NO NOM	-NUMBER -NOMINAL	WCV WD	-WALLCOVERING -WOOD
DWR	-DRAWING	NSO	-NOMINAL -NON-SIMULTANEOUS OCCUPANCY	WDW	-WINDOW
DWT	-DUMBWAITER	NTS	-NOT TO SCALE	WNSCT	-WAINSCOT
_				WP	-WATERPROOF
E	-EAST	OA	-OVERALL	WR	-WATER RESISTANT
EA EJ	-EACH -EXPANSION JOINT	OC OD	-ON CENTER -OUTSIDE DIMENSION	WS WWM	-WEATHER STRIP -WELDED WIRE MESH
EL	-ELEVATION	OPNG	-OPENING		
ELEC	-ELECTRIC(AL)	OPP	-OPPOSITE	ZCC	-ZINC COATED COPPER
ELEV	-ELEVATOR	DAD			
EMER EPDM	-EMERGENCY -ELASTOMERIC ROOFING	PARL PART	-PARALLEL -PARTITION		
EPTF	-EPOXY TOPPING FINISH	PB	-PARTICLE BOARD		
EQ	-EQUAL	PERP	-PERPENDICULAR		
EQUIP	-EQUIPMENT	PJF	-PREMOLDED JOINT FILLER		
ETR	-EXISTING TO REMAIN	PLAS			
EWC EXDK	-ELECTRIC WATER COOLER -EXISTING DECK	PLAM PLBG	-PLASTIC LAMINATE -PLUMBING		
	-EXISTING	PLYWD	-PLYWOOD		
	-EXPOSED	PMJ	-PREMOLDED JOINT FILLER		
	-EXTERIOR	PNL	-PANEL (ING)		
EXTG	-EXISTING	POL PR	-POLISHED -PAIR		
FO	-FACE OF	PREFIN	-PREFINISHED		
FCO	-FLOOR CLEANOUT	PSC	-PLASTER SKIM COAT		
	-FAN COIL UNIT	PSI	-POUNDS PER SQUARE INCH		
FD FDN	-FLOOR DRAIN -FOUNDATION	PSF P.T.	-POUNDS PER SQUARE FOOT -PRESSURE TREATED		
FE	-FIRE EXTINGUISHER	PTD	-PAINTED		
FEC	-FIRE EXTINGUISHER CABINET				
		QT			
FHC FIN	-FIRE HOSE CABINET -FINISH	QTY	-QUANTITY		
	-FINISH -FIXTURE	R	-RISER		
FL	-FLOOR	RAD	-RADIUS		
FLUOR	-FLUORESCENT	RCP	-REFLECT CEILING PLAN		
	-FINISH PLYWOOD	RD			
FRTW FRWK	-FIRE RETARDANT TREATED WOOD -FRAMEWORK	RECP REF	-RECEPTACLE -REFERENCE		
FRWK	-FRAMEWORK	REFRIG	-REFRIGERATOR		
FTG	-FOOTING	REIN	-REINFORCED		
	-FURNISH(ED)	REQD	-REQUIRED		
FURR FUT	-FURRING -FUTURE	RES RF			
	-FOTORE -FABRIC WRAPPED PANEL	RF RH	-RESILIENT FLOORING -RIGHT HAND		
	··· <b>··································</b>	RL	-RAIN LEADER		
		RM	-ROOM		
		RN	-RUN -ROUGH OPENING		
		RO			

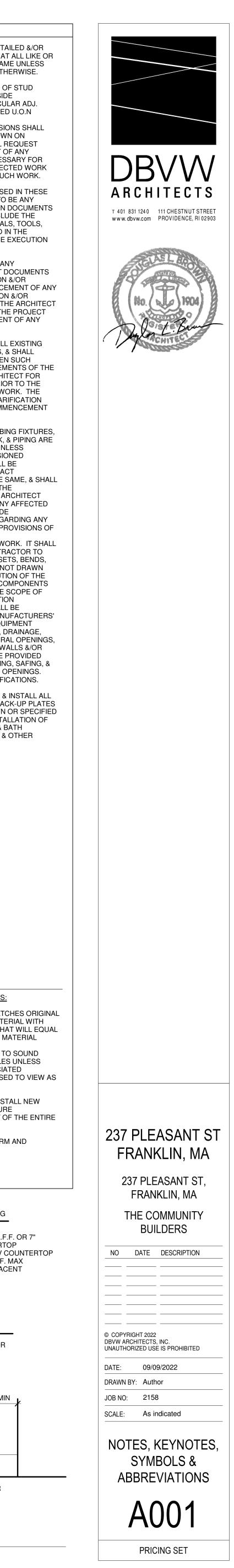
AD -AREA DRAIN ADJ AFF -ADJUSTABLE -ABOVE FINISI ALUM -ALUMINUM ANOD -ANODIZED APPROX -APPROXIMAT ARCH ASPH AVB -ARCHITECT -ASPHALT -AIR VAPOR B BO BB -BOTTOM OF -BASEBOARD BBH -BASEBOARD BD BEJ BIT -BOARD -BRICK EXPAI -BITUMINOUS BLDG BLK -BUILDING -BLOCK BLKG -BLOCKING BM BRK -BEAM -BRICK CAB CB CEM CI -CABINET -CATCH BASIN -CEMENT -CAST IRON CI CJ CL CLG CLR CMT CMU CO COL CONC CONN CONST -CONTROL JO -CENTER LINE -CEILING -CLEAR -CERAMIC MO -CONCRETE M -CLEAN OUT -COLUMN -CONCRETE -CONNECTION CONST -CONSTRUCTI -CONSTRUCT CONST JT CONT -CONTINUOUS CONTR -CONTRACTO COORD CPT CRC CRS CT CTR CF CW -COORDINATI -CARPET -COLD ROLLEI -COURSE -CERAMIC TILI -CENTER -CUBIC FOOT -COLD WATER D DBL DEPT -DEEP -DOUBLE -DEPARTMEN -DRAIN INLET DI DIA DIM DISP DN DPF DR DRN DS DW DS DW DTL DWG DWR DWT -DIAMETER -DIMENSION -DISPENSER -DOWN -DAMPPROOF -DOOR -DRAIN -DOWNSPOU -DISHWASHEF -DETAIL -DRAWING -DRAWER -DUMBWAITEF -EAST E EA EJ -EACH -EXPANSION J EL ELEC ELEV EMER -ELEVATION -ELECTRIC(AL -ELEVATOR -EMERGENCY -EMERGENCY -ELASTOMERI -EPOXY TOPP -EQUAL -EQUIPMENT -EXISTING TO -ELECTRIC WA -EXISTING DEU -EXISTING -EXPOSED -EXTERIOR -EXISTING EPDM EPTF EQ EQUIP ETR EWC EXDK EXIST EXP EXT EXTG FO FCO FCU FD FDN FE FEC FF FHC FIN FIXT FL FLUOR EPLYMD -FACE OF -FLOOR CLEAI -FAN COIL UNI -FLOOR DRAIN -FLOOR DRAIN -FOUNDATION -FIRE EXTING -FIRE EXTING -FINISH FLOOI -FIRE HOSE C. -FINISH -FIXTURE -FLOOR -FLOOR -FLUORESCEN FPLYWD -FINISH PLYW -FINISH PLTW -FIRE RETARD -FRAMEWORK -FOOT -FOOTING -FURNISH(ED) -FURRING -FUTURE -FABRIC WRAF FRTW FRTW FRWK FT FTG FURN FURR FUT FWP GA GALV GB GND GC GEN GL BLK GRD GRAN GWB GYP -GAUGE -GAUGE -GALVANIZED -GRAB BAR -GROUND -GENERAL CO -GENERAL -GLASS -GLASS BLOCI -GRADE -GRADE -GYPSUM WAL -GYPSUM -HIGH -HOSE BIB -HOLLOW COF -HAND DRYER -HARDWARE -HARDWOOD -HANDICAP AC -HOLLOW MET -HOILOW MET -HEIGHT -HORIZONTAL -HOUR -HOT WATER -HEATING / VE H HB HC HD HDW HDWD HEWC HM HT HORZ HR HW HVAC AIR CONDITIO I.D. -INSIDE DIMEN -INCH -INCLUDING -INSULATION -INTERIOR -INVERT IN INCL INSUL INT INV JST JSTH JT LAM LCC LG LH LSF -JOIST -JOIST HANGE -JOINT -LAMINATE -LEAD COATEI -LONG -LEFT HAND -LINOLEUM SH

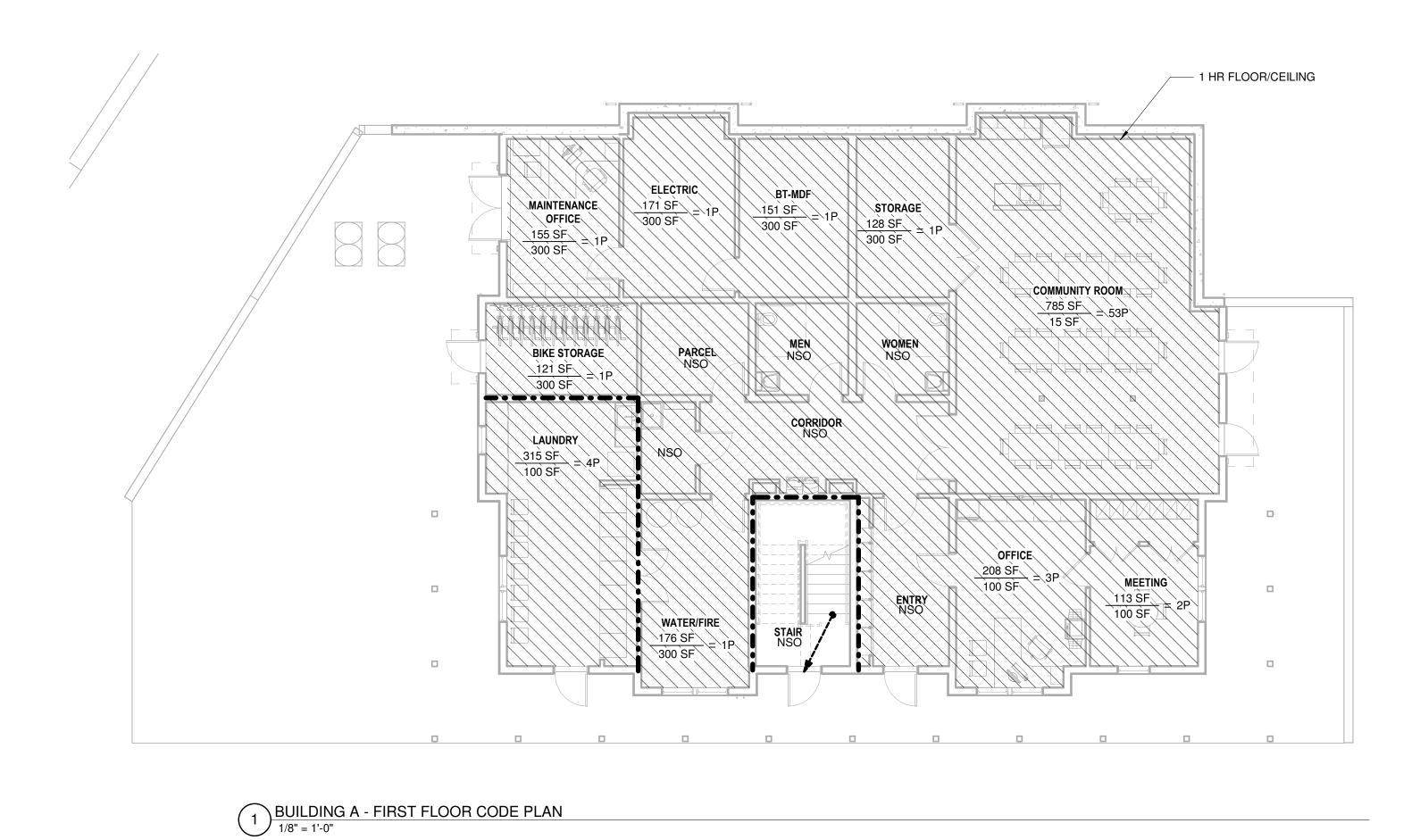
ACT



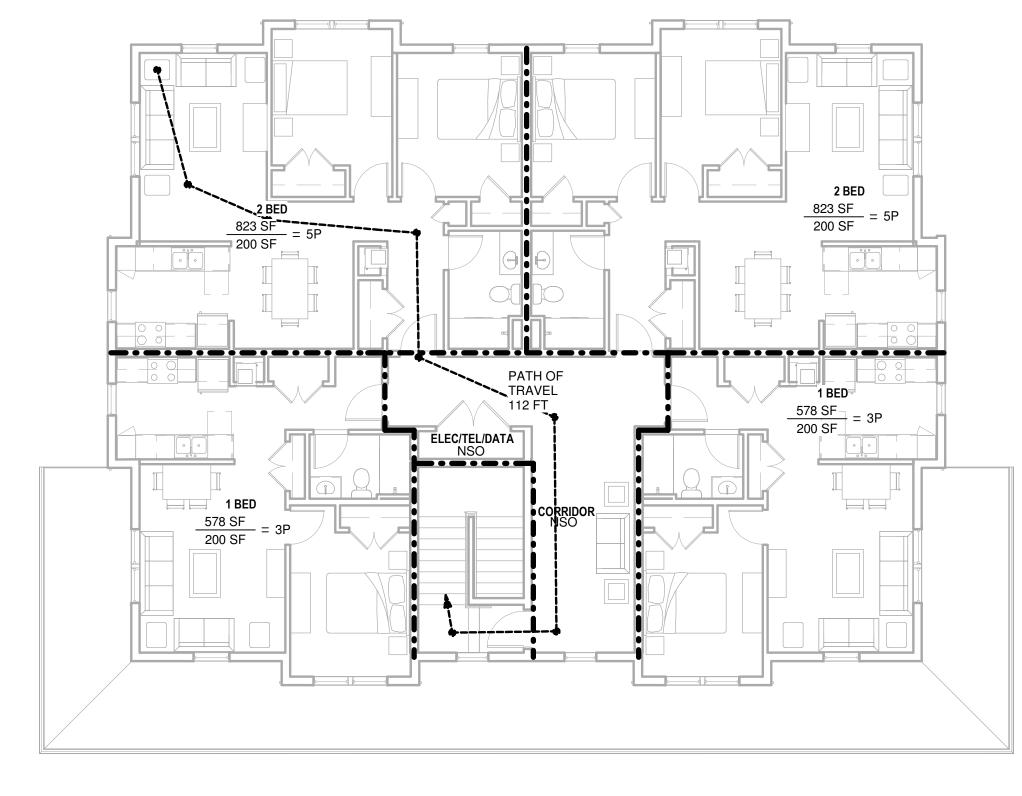
1 TYPICAL MOUNTING HEIGHTS 1/4" = 1'-0"

	IATIONS			SYMBOLS			GENERAL NOT	ES
ABV ACT AD ADJ	-ABOVE -ACOUSTICAL CEILING TILE -AREA DRAIN -ADJUSTABLE	MACH MAR MAS MATL	-MACHINE -MARBLE -MASONRY -MATERIAL	REMOVE EXISTING W			NOTED, IT SHALL B	AL CONDITION IS DETAILED BE UNDERSTOOD THAT ALI NS SHALL BE THE SAME U
ADJ AFF ALUM ANOD	-ADJUSTABLE -ABOVE FINISH FLOOR -ALUMINUM -ANODIZED	MATL MAX MDF MDO	-MATERIAL -MAXIMUM -MEDIUM DENSITY FIBERBOARD -MEDIUM DENSITY OVERLAY PLYWOOD				SPECIFICALLY DET 2. ALL DIMENSION	AILED OR NOTED OTHERV
APPROX ARCH ASPH	-APPROXIMATE(LY) -ARCHITECT -ASPHALT	MECH MEM MFR	-MEDIOM DENSITY OVERLATTETWOOD -MECHANICAL -MEMBRANE -MANUFACTURER	REMOVE EXISTING DOOR AND FRAME			OF DOORS TO BE 5	THERWISE. HINGE SIDE 5" FROM PERPENDICULAR ORS TO BE CENTERED U.C
AVB	-AIR VAPOR BARRIER -BOTTOM OF	MIN MISC ML	-MINIMUM -MISCELLANEOUS -METAL LAMINATE				TAKE PRECEDENC	DRAWINGS. DIMENSIONS E OVER SCALE SHOWN OF
BB BBH BD	-BASEBOARD -BASEBOARD HEAT -BOARD	MO MR MTL	-MASONRY OPENING -MOISTURE RESISTANT -METAL	EXISTING WALL CONSTRUCTION			CLARIFICATION FRO DIMENSIONAL REQ	CONTRACTOR SHALL REQUE OM THE ARCHITECT OF AN OUREMENT AS NECESSAR
BEJ BIT BLDG	-BRICK EXPANSION JOINT -BITUMINOUS -BUILDING	MTD	-MOUNTED	NEW PARTITION AS P SCHEDULE	ER		PRIOR TO THE COM	CUTION OF ANY AFFECTED
BLKG BM	-BLOCK -BLOCKING -BEAM	NIC NO NOM	-NOT IN CONTRACT -NUMBER -NOMINAL	NEW MASONRY AS PE			GENERAL NOTES S REQUIREMENT OF	ECTED WORK" AS USED IN SHALL BE DEEMED TO BE A THE CONSTRUCTION DOC
BRK	-BRICK	NSO NTS	-NOMINAL -NON-SIMULTANEOUS OCCUPANCY -NOT TO SCALE		8'-6" 8'-6"		PROCUREMENT OF LABOR, ETC., AS FL	IER DEEMED TO INCLUDE F ANY & ALL MATERIALS, T URTHER DESCRIBED IN TH
CAB CB CEM	-CABINET -CATCH BASIN -CEMENT -CAST IRON	OA OC OD	-OVERALL -ON CENTER -OUTSIDE DIMENSION	CEILING HEIGHT & TY	PE CLG-1		OF SUCH WORK.	, REQUIRED FOR THE EXE
CI CJ CL	-CONTROL JOINT -CENTER LINE	OD OPNG OPP	-OPENING -OPPOSITE	DOOR NUMBER WINDOW TYPE LABEL	101A		DISCREPANCY WIT	OR SHALL REPORT ANY THIN THE CONTRACT DOCU T FOR CLARIFICATION &/O
CLG CLR CMT	-CEILING -CLEAR -CERAMIC MOSAIC TILE	PARL PART	-PARALLEL -PARTITION	WINDOW TYPE WINDOW TYPE WINDOW NUMBER	= wo wxx		AFFECTED WORK. RESOLUTION SHAL	R TO THE COMMENCEMEN SUCH CLARIFICATION &/C L BE PROVIDED BY THE A
CMU CO COL	-CONCRETE MASONRY UNIT -CLEAN OUT -COLUMN	PB PERP PJF	-PARTICLE BOARD -PERPENDICULAR -PREMOLDED JOINT FILLER	STOREFRONT TYPE L STOREFRONT TYPE				IE PROVISIONS OF THE PR THE COMMENCEMENT OF
CONC CONN CONST	-CONCRETE -CONNECTION -CONSTRUCTION	PLAS PLAM PLBG	-PLASTER -PLASTIC LAMINATE -PLUMBING	ROOM LABEL	-n		SITE, BUILDING, & L	OR SHALL VERIFY ALL EXI JTILITY CONDITIONS, & SH
CONST JT CONT CONTR	-CONSTRUCTION JOINT -CONTINUOUS -CONTRACTOR	PLYWD PMJ PNL	-PLYWOOD -PREMOLDED JOINT FILLER -PANEL (ING)	ROOM NAME ROOM NUMBER	ROOM NAME		EXISTING CONDITION	REPANCIES BETWEEN SU ONS & THE REQUIREMENT MENTS TO THE ARCHITECT
COORD CPT CRC	-COORDINATE -CARPET -COLD ROLLED COPPER	Pol Pr Prefin	-POLISHED -PAIR -PREFINISHED	WALL TYPE			COMMENCEMENT ( ARCHITECT SHALL	OR RESOLUTION, PRIOR TO OF ANY AFFECTED WORK. PROVIDE SUCH CLARIFIC
CRS CT CTR	-COURSE -CERAMIC TILE -CENTER	PSC PSI PSF	-PLASTER SKIM COAT -POUNDS PER SQUARE INCH -POUNDS PER SQUARE FOOT	REVISION KEY	$\Delta$		OF ANY AFFECTED	
CF CW	-CUBIC FOOT -COLD WATER	P.T. PTD	-PRESSURE TREATED -PAINTED	KEY NOTE	(X.XX) (DX.XX)		MECHANICAL EQUI TO BE CONSIDERE	S OF ALL NEW PLUMBING F IPMENT, DUCTWORK, & PIF D DIAGRAMMATIC UNLESS
D DBL DEPT	-DEEP -DOUBLE -DEPARTMENT	QT QTY	-QUARRY TILE -QUANTITY	APPLY KEYNOTE TO A	ALL		OTHERWISE. THE RESPONSIBLE FOR	ED AND/OR DIMENSIONED CONTRACTOR SHALL BE VERIFYING THE EXACT
DI DIA DIM	-DRAIN INLET -DIAMETER -DIMENSION	R RAD RCP	-RISER -RADIUS -REFLECT CEILING PLAN	CONDITIONS THAT AF BETWEEN ARROWHE			REPORT ANY CONF	JIREMENTS FOR THE SAMI FLICTS AFFECTING THE OCUMENTS TO THE ARCH
DISP DN DPF	-DISPENSER -DOWN -DAMPPROOF(ING)	RD RECP REF	-ROOF DRAIN -RECEPTACLE -REFERENCE	PLAN DETAIL			WORK. THE ARCHI CLARIFICATION &/C	MMENCEMENT OF ANY AFF ITECT SHALL PROVIDE DR RESOLUTION REGARDI
DR DRN DS	-DOOR -DRAIN -DOWNSPOUT	REFRIG REIN REQD	-REFRIGERATOR -REINFORCED -REQUIRED	DETAIL NUMBER DRAWING SHEET			THE PROJECT MAN COMMENCEMENT (	CCORDING TO THE PROVISIONAL PRIOR TO THE NUAL PRIOR TO THE OF ANY AFFECTED WORK.
DW DTL DWG	-DISHWASHER -DETAIL -DRAWING	RES RF RH	-RESILIENT -RESILIENT FLOORING -RIGHT HAND				VERIFY REQUIREM ELBOWS, &/OR OTH	BILITY OF THE CONTRACTO ENTS FOR ALL OFFSETS, I HER COMPONENTS NOT D
DWR DWT	-DRAWER -DUMBWAITER	RL RM RN	-RAIN LEADER -ROOM -RUN	DETAIL SECTION			WORK, & ALL SUCH SHALL BE DEEMED	OR PROPER EXECUTION ( HMISCELLANEOUS COMPO TO BE PART OF THE SCO
E EA EJ	-EAST -EACH -EXPANSION JOINT	RO S	-ROUGH OPENING -SOUTH	DETAIL NUMBER DRAWING SHEET			DOCUMENTS. THE RESPONSIBLE FOR	BY THE CONSTRUCTION CONTRACTOR SHALL BE VERIFYING ALL MANUFAC OR MECHANICAL EQUIPME
EL ELEC ELEV	-ELEVATION -ELECTRIC(AL) -ELEVATOR	SB SC SCHD	-SPLASH BLOCK -SOLID CORE -SCHEDULE	WALL SECTION DETAIL NUMBER	SIM		RELATED TO POWE PADS, BASES, ANC	ER, WATER SUPPLY, DRAIN HORAGE, STRUCTURAL O CTS PENETRATING WALLS
emer EPDM EPTF	-EMERGENCY -ELASTOMERIC ROOFING -EPOXY TOPPING FINISH	SD SEAL SECT	-SCHEMATIC DESIGN -SEALANT -SECTION	DRAWING SHEET	A101		FLOOR/CEILING AS	SEMBLIES SHALL BE PRO ARY FRAMES, BRACING, S
EQ EQUIP ETR	-EQUAL -EQUIPMENT -EXISTING TO REMAIN	SEJ SEL SF	-SEISMIC EXPANSION JOINT -SELECT -SQUARE FEET(FOOT)	BUILDING SECTION DETAIL NUMBER			SEE MECHANICAL I	ANT AROUND SUCH OPEN DRAWINGS & SPECIFICATI
EWC EXDK EXIST	-ELECTRIC WATER COOLER -EXISTING DECK -EXISTING	SHEATH SIM SHT	-SHEATHING -SIMILAR -SHEET	DRAWING SHEET			STIFFENERS, BRAC & SUPPORTING BR	OR SHALL PROVIDE & INS CINGS, BLOCKING, BACK-U ACKETS NOT DRAWN OR S R THE PROPER INSTALLA
EXP EXT EXTG	-EXPOSED -EXTERIOR -EXISTING	SJ SM SOF	-SEALANT JOINT -SOLID MATERIAL -SOFFIT	EXTERIOR ELEVATION	<u>N KEY</u>		ALL CASEWORK &	SHELVING, TOILET & BATH ND & GUARD RAILS, & OTH
FO FCO	-FACE OF -FLOOR CLEANOUT	SPEC SPD SSTL	-SPECIFICATION -SOAP DISPENSER -STAINLESS STEEL	DRAWING SHEET			FIAI UNES.	
FCU FD FDN	-FAN COIL UNIT -FLOOR DRAIN -FOUNDATION	STD STL STRCT	-STANDARD -STEEL -STRUCTURAL	INTERIOR ELEVATION ELEVATION NUMBER				
FE FEC FF	-FIRE EXTINGUISHER -FIRE EXTINGUISHER CABINET -FINISH FLOOR	SQ SUSP SY	-SQUARE -SUSPENDED -SQUARE YARD	DRAWING SHEET				
FHC FIN FIXT	-FIRE HOSE CABINET -FINISH -FIXTURE	т то	-TREAD -TOP OF	MATCH LINE				
FL FLUOR FPLYWD	-FLOOR -FLUORESCENT -FINISH PLYWOOD	T.O. TB	-TOP OF -TOP OF -TACK BOARD -TILE BACKER BOARD					
FRTW FRWK	-FIRE RETARDANT TREATED WOOD -FRAMEWORK	TBB TBD TEL	-TO BE DETERMINED -TELEPHONE -TEMPORARY					
FT FTG FURN	-FOOT -FOOTING -FURNISH(ED)	TEMP THK THRES	-THICK (NESS) -THRESHOLD	COLUMN GRID AND DESIGNATION				
FURR FUT FWP	-FURRING -FUTURE -FABRIC WRAPPED PANEL	TOIL TOS TZ	-TOILET -TOP OF STEEL -TERRAZZO					
GA GALV	-GAUGE -GALVANIZED	TTD TV TYP	-TOILET TISSUE DISPENSER -TELEVISION -TYPICAL	FLOOR ELEVATION				
GB GND GC	-GRAB BAR -GROUND -GENERAL CONTRACTOR	T&G UR	-TONGUE & GROVE	SEALANT	S		DEFINITIONS:	
GEN GL GL BLK	-GENERAL -GLASS -GLASS BLOCK	UNFIN UON	-UNFINISHED -UNLESS OTHERWISE NOTED	SEALANT		-		RATION DEFINITIONS:
GRD GRAN GWB	-GRADE -GRANITE -GYPSUM WALL BOARD	VB VCT VENT	-VAPOR BARRIER -VINYL COMPOSITION TILE -VENTILATE				MATERIAL IN ALL I	IATERIAL WHICH MATCHES RESPECTS. USE MATERIAI HARACTERISTICS THAT W
GYP H	-GYPSUM -HIGH	VERT VET VIF	-VERTICAL -VINYL ENHANCED TILE -VERIFY IN FIELD				<u>REPAIR</u> - RETURN	AT OF THE ORIGINAL MATE
HB HC HD	-HOSE BIB -HOLLOW CORE -HAND DRYER	VP VT VWB	-VENEER PLASTER -VINYL TILE -VINYL WALL BASE				NOTED OTHERWIS	CH ORIGINAL PROFILES UN SE. INCLUDE ASSOCIATED THER OR NOT EXPOSED TO
HDW HDWD HEWC	-HARDWARE -HARDWOOD -HANDICAP ACC. WATER COOLER -HOLLOW METAL	VWC W	-VINYL WALL COVERING -WIDE -WEST					VE EXISTING AND INSTALL
HM HT HORZ	-HOLLOW METAL -HEIGHT -HORIZONTAL -HOUR	W W/ W/O WC	-WEST -WITH -WITHOUT -WATER CLOSET					H A WAY AS TO INSURE O VISUAL INTEGRITY OF TH
HR HW HVAC	-HOT WATER -HEATING / VENTILATION	WCV WD	-WATER CLOSET -WALLCOVERING -WOOD -WINDOW				<u>RESTORE</u> - RETUR CONDITION	RN TO ORIGINAL FORM AN
I.D.	AIR CONDITIONING	WDW WNSCT WP	-WAINSCOT -WATERPROOF					
IN INCL INSUL	-INCH -INCLUDING -INSULATION	WR WS WWM	-WATER RESISTANT -WEATHER STRIP -WELDED WIRE MESH					
INT INV	-INTERIOR -INVERT	ZCC	-ZINC COATED COPPER				- EMERGENCY LIGHTING UNIT	CEILING
JST JSTH JT	-JOIST -JOIST HANGER -JOINT			MIN 80" AND MAX AS HIGH AS POSS VISUAL OBSTRUC	IBLE W/O TIONS. PROVIDE			PANTRY: 43" A.F.F. O ABV COUNTERTOP
LAM LCC LG	-LAMINATE -LEAD COATED COPPER -LONG			FIRE ALARM AUDIO			- WALL PHONE & THERMOSTAT	TOILET: 7" ABV COUN OR 48" CL A.F.F. MAX ALIGN W/ ADJACENT
LH LSF	-LEFT HAND -LINOLEUM SHEET FLOORING			DEVICE FIRE ALARM MANU STATION LIGHT SWITCH —	لى الله الله الله الله الله الله الله ال	80" 90"	× 1 1	SWITCHES
				TEL / DATA OUTLE	۲۵ ۲۰ ۲۵ ۲۰۰۰ T	48"	, 44" MAX 34" COUNTER	
				RECEPTACLE				FINISHED FLOOR
				2. INSTALL DEVIC	ES ON ONE COMMON VERTICAL ( ES AT INDICATED HEIGHTS WHEF DEVICES ARE NOT ACCEPTABLE	EVER APPLIC		
	CLEAR حلی "00							
ł			_					→ 36" MIN
<del></del> 12"	MIN 112 1	2"					×	80
	42" GRAB BAR 6 WINC		30" MAX	СООНД	48" MAX	MAX H.C.	4'-0" MAX 18" MIN 48" MAX	
	ATER SANITARY —	8"	ー てのILET PAPER URINAL	BABY HAND	PAPER HYDRATION	SOAP	FIRE	ADA SHOWER
	OSET NAPKIN IDE) RECEPTACLE	Ę	DISPENSER	CHANGIN DRYER G STATION	TOWEL STATION DISPENSER/ WASTE RECEPTACLE	DISPENSER	EXTINGUISHE R CABINET	COAT CURTAIN HOOK ROD





2 BUILDING A - SECOND FLOOR CODE PLAN 1/8" = 1'-0"





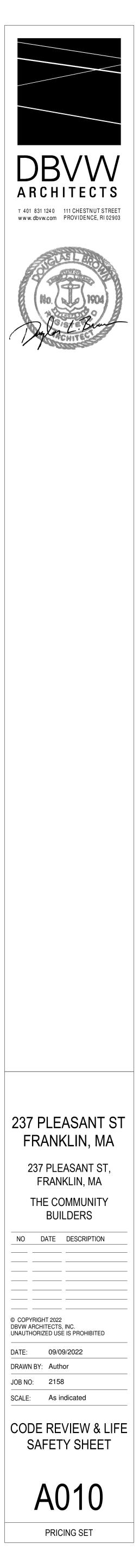


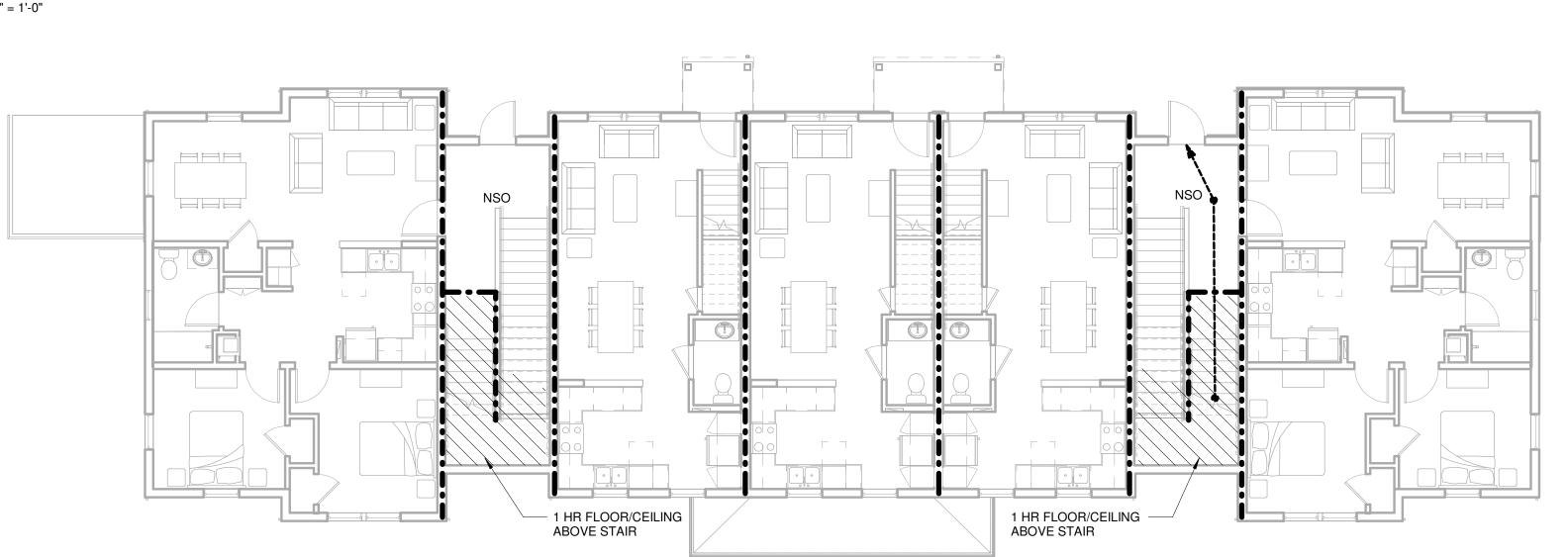


FIRE RATING DESIGNATIONS SMOKE PARTITION ■ ● ● ● ● ● ■ 1 HOUR FIRE SEPAF 2 HOUR FIRE SEPAR 3 HOUR FIRE SEPAR 4 HOUR FIRE SEPAR

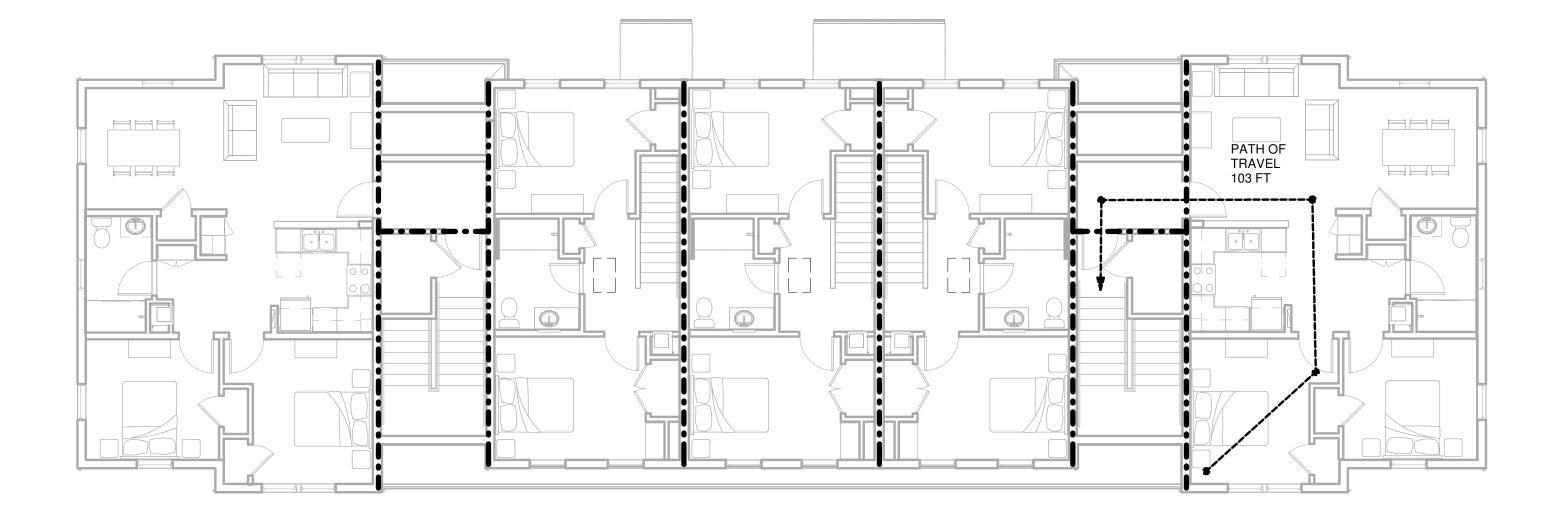
	FIRE SAFETY LEGE	ND
١	REFER TO FLOOR PLANS A SPECIFIC PARTITION LOCA	AND PARTITION TYPES FOR ATIONS AND DETAILS.
ARATION WALL ARATION WALL ARATION WALL ARATION WALL	$\frac{XXX SF}{XX SF} = XX P$	ROOM OCCUPANT LOAD AREA IN SQ FT OCCUPANT LOAD OCCUPANT LOAD FACTOR
	ACTUAL = XX P -	- ACTUAL OCCUPANT LOAD (IF APPLICABLE)
	15 200	EXIT CAPACITY ACTUAL LOAD EXIT CAPACITY
	<b>{-</b> 15	DIRECTION OF TRAVEL WITH ACCUMULATED OCCUPANT LOAD
	<b>Қ-</b> HE	HORIZONTAL EXIT
	← 200'—	MAXIMUM TRAVEL DISTANCE FROM FURTHEST POINT
	$\ominus$	EXIT
	Ġ.	AREA OF REFUGE
	۲	NON-ACCESSIBLE EXIT
	٨	ACCESSIBLE EXIT

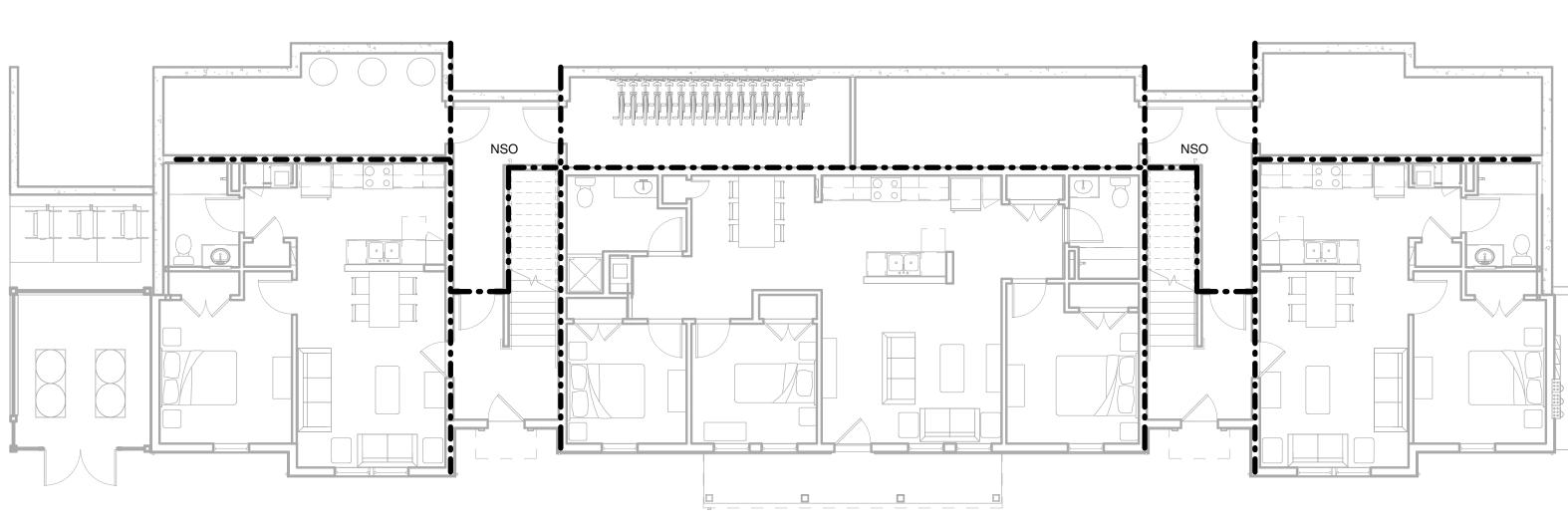
APPLICABLE CODES THE BUILDING SHALL COMPLY AND/OB CONFORM WITH THE FOLLOWING CONSTRI	
THE BUILDING SHALL COMPLY AND/OR CONFORM WITH THE FOLLOWING CONSTRU TANDARDS & GUIDELINES: MASSACHUSETTS STATE BUILDING CODE, 780 CMR - 9TH EDITION (IBC 2015 + MA A MA DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT (DHCD) MA DHCD COMMUNITY BASED HOUSING (CBH)	·
NERGY CONSERVATION CODE (IECC 2018) TRETCH CODE (780 CM, APPENDIX AA) - 2020 AMENDMENT NERGY STAR NATIONAL PROGRAM MULTIFAMILY VERSION 1.1 NTERPRISE GREEN COMMUNITIES	
ASSACHUSETTS FIRE CODE, 527 CMR (NFPA 1-2015 & IFC 2015) ASSACHUSETTS FIRE ALARM CODE (NFPA 72-2013) ASSACHUSETTS ARCHITECTURAL ACCESS BOARD, 521 CMR (MAAB 2006)	
IASSACHUSETTS PLUMBING CODE, 248 CMR CHAPTER 10 (2017) IASSACHUSETTS MECHANICAL CODE (IMC 2015) IASSACHUSETTS UNIFORM SHEET METAL INSTALLATION RULES, 271 CMR (2016)	
IASSACHUSETTS ELECTRICAL CODE, 527 CMR CHAPTER 12 & NFPA 70 (NEC 2020) FPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS FPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS	
<b>ISE AND OCCUPANCY CLASSIFICATION</b> USE CLASSIFICATION: R-2 (APARTMENT HOUSE), A-3 ASSEMBLY, & U (UTILITY)	CODE REFERENCE 780 CMR SECTION 310.4
CONSTRUCTION TYPE CONSTRUCTION CLASSIFICATION: VB CLIMATE ZONE: 5A	780 CMR SECTION 602.1.1 780 CMR TABLE C301.1 (IECC)
WIND SPEED	
ISK CATEGORY:       RISK CATEGORY II         ASIC WIND SPEED:       129 MPH         XPOSURE CATEGORY:       129 MPH         VIND BORNE DESIGN REGION:       129 MPH	780 CMR TABLE 1604.5 780 CMR TABLE 1604.11 780 CMR 1609.4.3 780 CMR SECTION 202
SNOW LOADGROUND SNOW LOAD:40 PSFCLAT ROOF SNOW LOAD:35 PSF	780 CMR TABLE 1604.11 780 CMR TABLE 1604.11
BUILDING HEIGHT AND AREABUILDING HEIGHT (STORIES/FEET):3 STORIES/60'ACUTAL HEIGHT (STORIES/FEET):3 STORIES/34'	780 CMR TABLE 504.3 & TABLE 504.4
BUILDING A - MULTI-STORY MIXED USE (A-3 / R-2) - SM TOTAL BUILDING AREA (ACTUAL): 1ST FLOOR (A-3)=3,531/2ND FLOOR (R-2)=3,548 TOTAL BUILDING AREA (ALLOWABLE): 18,000(A-3)/7000(R-2) FRONTAGE INCREASE: NOT REQUIRED	780 CMR TABLE 506.2
CALCULATED ALLOWABLE AREA PER USE: 18,000(A-3)/7,000(R-2) BUILDING B - MULTI-STORY MIXED USE (R-2) - SM TOTAL BUILDING AREA (ACTUAL): 11,443	
TOTAL BUILDING AREA (ALLOWABLE):       21,000         TOTAL ALLOWABLE AREA W/ FRONTAGE INCREASE:       NOT REQUIRED         CALCULATED ALLOWABLE AREA PER FLOOR:       21,000         BUILDING C - MULTI-STORY SINGLE USE (R-2) - S13R	780 CMR TABLE 506.2
BUILDING C - MULTI-STORY SINGLE USE (R-2) - S13RTOTAL BUILDING AREA (ACTUAL):10,984TOTAL BUILDING AREA (ALLOWABLE):7,000TOTAL ALLOWABLE AREA W/ FRONTAGE INCREASE:[7000 + 7000*.63)]*3 = 34,230CALCULATED ALLOWABLE AREA PER FLOOR:11,410	780 CMR TABLE 506.2 780 CMR EQUATION 5-2
BUILDING D - SINGLE STORY SINGLE USE (U) - NSTOTAL BUILDING AREA (ACTUAL):1,128TOTAL BUILDING AREA (ALLOWABLE):5,500	780 CMR TABLE 506.2
TOTAL ALLOWABLE AREA W/ FRONTAGE INCREASE: NOT REQUIRED CALCULATED ALLOWABLE AREA PER FLOOR: 5,500	
STRUCTURAL FRAME (INC. COLUMNS, GIRDERS, TRUSSES)       0 HR         BEARING WALLS       0 HR         EXTERIOR       0 HR	780 CMR TABLE 601 & 602
INTERIOR 0 HR NON-BEARING WALLS AND PARTITIONS EXTERIOR 0 HR	
INTERIOR 0 HR FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS 0 HR	
ROOF CONSTRUCTION         INCLUDING SUPPORTING BEAMS AND JOISTS         0 HR         FIRE BARRIERS         SUMATE (STAIDMANC)         OUND (STAIDMANC)	
SHAFTS/ STAIRWAYS:       2 HR (4 STORIES OR MORE)         1HR (LESS THAN 4 STORIES)         LAUNDRY ROOMS OVER 100 SF       1 HR OR AUTOMATIC SPRINKLER	780 CMR SECTION 713.4 780 CMR SECTION 1023.2 780 CMR TABLE 509
DWELLING UNIT SEPARATION       1/2 HOUR FLOOR AND WALL         MIN ROOF COVERING CLASSIFICATION:       CLASS C ROOF ASSEMBLY	780 CMR SECTION 708.3 780 CMR TABLE 1505.1
CORRIDOR FIRE RATING (R-2 W/SPRINKLER)       0.5 HR         DWELLING UNIT SEPARATION       1/2 HOUR FLOOR AND WALL         MIN ROOF COVERING CLASSIFICATION:       CLASS C ROOF ASSEMBLY         FIRE SEPARATION DISTANCE       1/2 HOUR FLOOR AND WALL	
WALL OPENINGS0' TO LESS THAN 3' (SPRINKLERED)NOT PERMITTED3' TO LESS THAN 5' (SPRINKLERED)15%5' TO LESS THAN 10' (SPRINKLERED)25%	
10' TO LESS THAN 15' (SPRINKLERED)45%15' TO LESS THAN 20' (SPRINKLERED)75%20' TO LESS THAN 25' (SPRINKLERED)NO LIMIT	
DOORS AT EXTERIOR STAIRS       45 MINUTE         FIRE PROTECTION SYSTEMS         FIRE PROTECTION SYSTEM: NEW SUPERVISED FULLY ADDRESSABLE FIRE	780 CMR SECTION 1027.6
ALARM PANEL  TERIOR FINISHES CORRIDORS: CLASS C	780 CMR TABLE 803.11
ROOMS & ENCLOSED SPACES: CLASS C INTERIOR EXIT STAIR & PASSAGEWAY: CLASS C MEANS OF EGRESS	
REFER TO CODE PLANS FOR ROOM OCCUPANT LOADS; NUMBER, LOCATION AND CAPACITY OF EXITS AND MAXIMUM TRAVEL DISTANCE	NFPA 101, CH. 7, TABLE 7.3.1.2 & IBC TABLE 1004.1.1
OCCUPANT LOAD FACTORS: OCCUPANT/SQUARE FEET BUSINESS: 1/100 GROSS OFFICE: 1/100 GROSS RESIDENTIAL 1/200 GROSS ACCESSORY MECH & STORAGE: 1/200 GROSS	
ACCESSORY MECH & STORAGE: 1/300 GROSS OCCUPANCY LOAD & EXIT CAPACITY: REFER TO CODE PLANS MAX. COMMON PATH OF TRAVEL (R): 125' IF SERVING ≤ 50 PERSONS	780 CMR TABLE 1017.2
TRAVEL DISTANCE TO EXITS: 250 FT (R), 300 FT (B)	780 CMR SECTION 1020.4
TRAVEL DISTANCE TO EXITS:250 FT (R), 300 FT (B)DEAD END CORRIDOR:50 FT (B & R)EGRESS CAPACITIES WIDTH:	
TRAVEL DISTANCE TO EXITS:       250 FT (R), 300 FT (B)         DEAD END CORRIDOR:       50 FT (B & R)         EGRESS CAPACITIES WIDTH:       50 FT (B & R)         STAIRS: 0.2"       0THER EGRESS COMPONENTS 0.15"         SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED)	780 CMR SECTION 1005.3.1 780 CMR SECTION 1005.3.2 780 CMR SECTION 1006.2.1
TRAVEL DISTANCE TO EXITS:       250 FT (R), 300 FT (B)         DEAD END CORRIDOR:       50 FT (B & R)         EGRESS CAPACITIES WIDTH:       50 FT (B & R)         STAIRS: 0.2"       0THER EGRESS COMPONENTS 0.15"         SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED)       (UP TO 3 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS)         EXIT ACCESS TRAVEL DISTANCE       250' MAX (SPRINKLERED)	780 CMR SECTION 1005.3.1 780 CMR SECTION 1005.3.2 780 CMR SECTION 1006.2.1 780 CMR SECTION 1006.3.1 & 1006.3 780 CMR SECTION 1017.2
TRAVEL DISTANCE TO EXITS: $250 \text{ FT (R)}, 300 \text{ FT (B)}$ DEAD END CORRIDOR: $50 \text{ FT (B \& R)}$ EGRESS CAPACITIES WIDTH: $50 \text{ FT (B \& R)}$ STAIRS: 0.2" $0 \text{THER EGRESS COMPONENTS 0.15"}$ SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED) $(UP \text{ TO 3 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS)}$ EXIT ACCESS TRAVEL DISTANCE $250' \text{ MAX (SPRINKLERED)}$ EGRESS BALCONIES: SEPARATE FROM INTERIOR OF BUILDING PER FIRE SEPARATION DISTANCE $1 \text{ HR}$ $X < 5$ ALL CONSTRUCTION TYPES $1 \text{ HR}$ $5 \leq X \leq 10$ OTHER THAN 1A $1 \text{ HR}$	780 CMR SECTION 1005.3.1 780 CMR SECTION 1005.3.2 780 CMR SECTION 1006.2.1 780 CMR SECTION 1006.3.1 & 1006.3
TRAVEL DISTANCE TO EXITS:250 FT (R), 300 FT (B)DEAD END CORRIDOR:50 FT (B & R)EGRESS CAPACITIES WIDTH:50 FT (B & R)STAIRS: 0.2"0THER EGRESS COMPONENTS 0.15"SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED) (UP TO 3 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS)EXIT ACCESS TRAVEL DISTANCE250' MAX (SPRINKLERED)EGRESS BALCONIES: SEPARATE FROM INTERIOR OF BUILDING PER FIRE SEPARATION DISTANCE1 HR $5 \leq X \leq 10$ OTHER THAN 1A1 HR $10 \leq X \leq 30$ TYPE VB0 HR $X \geq 30$ ALL CONSTRUCTION TYPES0 HREXTERIOR STAIRWAY0 HR. 5.7 SF (24" H X 20"W) 44" A.F.F.	780 CMR SECTION 1005.3.1 780 CMR SECTION 1005.3.2 780 CMR SECTION 1006.2.1 780 CMR SECTION 1006.3.1 & 1006.3 780 CMR SECTION 1017.2 780 CMR SECTION 1021 780 CMR SECTION 1021 780 CMR SECTION 602
TRAVEL DISTANCE TO EXITS:250 FT (R), 300 FT (B)DEAD END CORRIDOR:50 FT (B & R)EGRESS CAPACITIES WIDTH:STAIRS: 0.2"OTHER EGRESS COMPONENTS 0.15"0SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED)(UP TO 3 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS)EXIT ACCESS TRAVEL DISTANCE250' MAX (SPRINKLERED)EGRESS BALCONIES: SEPARATE FROM INTERIOR OF BUILDING PERFIRE SEPARATION DISTANCEX<5	780 CMR SECTION 1005.3.1 780 CMR SECTION 1005.3.2 780 CMR SECTION 1006.2.1 780 CMR SECTION 1006.3.1 & 1006.3 780 CMR SECTION 1017.2 780 CMR SECTION 1021 780 CMR SECTION 1021 780 CMR SECTION 602
TRAVEL DISTANCE TO EXITS:250 FT (B), 300 FT (B)DEAD END CORRIDOR:50 FT (B & R)EGRESS CAPACITIES WIDTH:50 FT (B & R)STAIRS: 0.2"0THER EGRESS COMPONENTS 0.15"OTHER EGRESS COMPONENTS 0.15"50 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS)EXIT ACCESS TRAVEL DISTANCE250' MAX (SPRINKLERED)(UP TO 3 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS)EXIT ACCESS TRAVEL DISTANCE250' MAX (SPRINKLERED)EGRESS BALCONIES: SEPARATE FROM INTERIOR OF BUILDING PER FIRE SEPARATION DISTANCEX<5	780 CMR SECTION 1005.3.1         780 CMR SECTION 1005.3.2         780 CMR SECTION 1006.2.1         780 CMR SECTION 1006.3.1 & 1006.3         780 CMR SECTION 1017.2         780 CMR SECTION 1017.2         780 CMR SECTION 1021         780 CMR SECTION 1027         780 CMR SECTION 1030.2
TRAVEL DISTANCE TO EXITS: $250 \text{ FT (B)}, 300 \text{ FT (B)}$ DEAD END CORRIDOR: $50 \text{ FT (B \& R)}$ EGRESS CAPACITIES WIDTH: $50 \text{ FT (B \& R)}$ STAIRS: 0.2"OTHER EGRESS COMPONENTS 0.15"OTHER EGRESS COMPONENTS 0.15"SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED)(UP TO 3 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS)EXIT ACCESS TRAVEL DISTANCEFIRE SEPARATION DISTANCEFIRE SEPARATION DISTANCEX<5	780 CMR SECTION 1005.3.1         780 CMR SECTION 1005.3.2         780 CMR SECTION 1006.2.1         780 CMR SECTION 1006.3.1 & 1006.3         780 CMR SECTION 1017.2         780 CMR SECTION 1017.2         780 CMR SECTION 1021         780 CMR SECTION 1027         780 CMR SECTION 1030.2
TRAVEL DISTANCE TO EXITS:250 FT (R), 300 FT (B)DEAD END CORRIDOR:50 FT (B & R)EGRESS CAPACITIES WIDTH:51 FT (B & R)STAIRS: 0.2"0THER EGRESS COMPONENTS 0.15"SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED)(UP TO 3 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS)EXIT ACCESS TRAVEL DISTANCE250' MAX (SPRINKLERED)EQRESS BALCONIES: SEPARATE FROM INTERIOR OF BUILDING PER FIRE SEPARATION DISTANCE1 HR $5 \leq x \leq 10$ OTHER THAN 1A1 HR $10 \leq X \leq 30$ ALL CONSTRUCTION TYPES0 HR $x \geq 30$ ALL CONSTRUCTION TYPES0 HR $x \geq 30$ ALL CONSTRUCTION TYPES0 HREXTERIOR STAIRWAYEMERGENCY ESCAPE & RESCUEENERGY CONSERVATIONEXTERIOR MASS/CMU WALLS (ABOVE GRADE): R-13.3CI (R-15 PROVIDED)EXTERIOR MASS/CMU WALLS (ABOVE GRADE): R-13.3CI (R-15 PROVIDED)SLAB ON GRADE: R-10 (UNHEATED SLAB) FOR 24" BELOW (UNDER ENTIRE SLAB P)BELOW GRADE MASS WALLS: R-7.5 CIROOF: R-30 CI (ABOVE DECK) OR R-49 (ATTIC)FRAMED FLOORS TO UNCONDITIONED SPACE: R-30EXTERIOR DOORS: U-0.37 (OPAQUE) & U-0.75 (OPERABLE) WITH SHGC 0.38 (S. E, W)ROOF SH: 64 (3 YEARS AGED) ORROOF THERMAL EMITTANCE: 0.75 (3 YEAR AGED) & ROOF SOLAR REFLECTANCE II	780 CMR SECTION 1005.3.1 780 CMR SECTION 1005.3.2 780 CMR SECTION 1006.2.1 780 CMR SECTION 1006.3.1 & 1006.3 780 CMR SECTION 1017.2 780 CMR SECTION 1021 780 CMR SECTION 1027 780 CMR SECTION 1027 780 CMR SECTION 1030.2
TRAVEL DISTANCE TO EXITS: 250 FT (B), 300 FT (B) DEAD END CORRIDOR: 50 FT (B & R) STAIRS: 0.2" OTHER EGRESS COMPONENTS 0.15" SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED) (UP TO 3 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS) EXIT ACCESS TRAVEL DISTANCE 250' MAX (SPRINKLERED) EGRESS BALCONIES: SEPARATE FROM INTERIOR OF BUILDING PER FIRE SEPARATION DISTANCE 250' MAX (SPRINKLERED) EGRESS BALCONIES: SEPARATE FROM INTERIOR OF BUILDING PER FIRE SEPARATION DISTANCE 104 MAX (SPRINKLERED) EXIT ACCESS TRAVEL DISTANCE 250' MAX (SPRINKLERED) EGRESS BALCONIES: SEPARATE FROM INTERIOR OF BUILDING PER FIRE SEPARATION DISTANCE 104 MAX (SPRINKLERED) EXTERION DISTANCE 0 HR 5x5310 OTHER THAN 1A 1 HR 105X530 TYPE VB 0 HR X230 ALL CONSTRUCTION TYPES 0 HR EXTERIOR STAIRWAY EMERGENCY ESCAPE & RESCUE MIN. 5.7 SF (24" H X 20"W) 44" A.F.F. FALL PROTECTION SASH LIMITERS ENERGY CONSERVATION COMMERCIAL EXTERIOR WOOD FRAMED WALLS: R-13 + R-3.8CI OR R-20 (R-21 + R-5 PROVIDED) EXTERIOR MASS/CMU WALLS (ABOVE GRADE): R-13.3CI (R-15 PROVIDED) EXTERIOR MASS/CMU WALLS: (ABOVE GRADE): R-13.3CI (R-15 PROVIDED) EXTERIOR MASS/CMU WALLS: (ABOVE GRADE): R-13.3CI (R-15 PROVIDED) EXTERIOR DOORS: U-0.37 (OPAQUE) & U-0.77 (GLASS) EXTERIOR DOORS: U-0.37 (OPAQUE) & U-0.77 (GLASS) EXTERIOR DOORS: U-0.37 (OPAQUE) & U-0.77 (GLASS) EXTERIOR MODD FRAMED WALLS: R-13 + R-5 CI OR R-20 ROOF SRI: 64 (3 YEARS AGED) OR ROOF THERMAL EMITTANCE: 0.75 (3 YEAR AGED) & ROOF SOLAR REFLECTANCE IF <b>RESIDENTIAL</b> EXTERIOR WOOD FRAMED WALLS: R-13 + R-5 CI OR R-20 EXTERIOR WINDOWS: U-0.38 (FIXED) & U-0.45 (OPERABLE) WITH SHGC 0.38 (S. E, W ROOF SRI: 64 (3 YEARS AGED) OR ROOF THERMAL EMITTANCE: 0.75 (3 YEAR AGED) & ROOF SOLAR REFLECTANCE IF <b>RESIDENTIAL</b> EXTERIOR WOOD FRAMED WALLS: R-13 + R-5 CI OR R-17 IF >50% IS ON THE SLAB ON GRADE : R-10 (UNHEATED SLAB) FOR 24"	780 CMR SECTION 1005.3.1 780 CMR SECTION 1005.3.2 780 CMR SECTION 1006.2.1 780 CMR SECTION 1006.3.1 & 1006.3 780 CMR SECTION 1017.2 780 CMR SECTION 1021 780 CMR SECTION 602 780 CMR SECTION 1027 780 CMR SECTION 1030.2 780 CMR SECTION 1030.2
TRAVEL DISTANCE TO EXITS: 250 FT (R), 300 FT (B) DEAD END CORRIDOR: 50 FT (B & R) EGRESS CAPACITIES WIDTH: STAIRS: 0.2" OTHER EGRESS COMPONENTS 0.15" SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED) (UP TO 3 STORIES ABOVE GRADE PLANE/4 DWELLING UNITS) EXIT ACCESS TRAVEL DISTANCE 250' MAX (SPRINKLERED) EGRESS BALCONIES: SEPARATE FROM INTERIOR OF BUILDING PER FIRE SEPARATION DISTANCE 1 HR 55X≤10 OTHER THAN 1A 1 HR 10≤X≤30 TYPE VB 0 HR X≥30 ALL CONSTRUCTION TYPES 0 HR EXTERIOR STAILE ALL CONSTRUCTION TYPES 0 HR EXTERIOR MAY EMERGENCY ESCAPE & RESCUE MIN. 5.7 SF (24" H X 20"W) 44" A.F.F. FALL PROTECTION SASH LIMITERS ENERGY CONSERVATION COMMERCIAL EXTERIOR MOOD FRAMED WALLS: R-13 + R-3.8CI OR R-20 (R-21 + R-5 PROVIDED) SLAB ON GRADE: R-10 (UNHEATED SLAB) FOR 24" BELOW (UNDER ENTIRE SLAB P) BELOW GRADE MASS WALLS: R-7.5 CI ROOF: R-30 CI (ABOVE DECK) OR R-49 (ATTIC). FRAMED FLOORS TO UNCONDITIONED SPACE: R-30 EXTERIOR MOODS TO UNCONDITIONED SPACE: R-30 EXTERIOR WINDOWS: U-0.37 (GPAQUE) & U-0.45 (OPERABLE) WITH SHGC 0.38 (S, E, W ROOF SRI: 64 (3 YEARS AGED) OR ROOF THERMAL EMITTANCE: 0.75 (3 YEAR AGED) & ROOF SOLAR REFLECTANCE II <b>RESIDENTIAL</b> EXTERIOR WOOD FRAMED WALLS: R-13 + R-5 CI OR R-20 EXTERIOR MOOD FRAMED WALLS: R-13 + R-5 CI OR R-17 IF >50% IS ON THE SLAB ON GRADE: R-10 (UNHEATED SLAB) FOR 24" BELOW GRADE R-10 (UNCONDITIONED SPACE: R-30 OR TO FILL FRAMING (NOT LE EXTERIOR MOOS TO UNCONDITIONED SPACE: R-30 O	780 CMR SECTION 1005.3.1         780 CMR SECTION 1006.2.1         780 CMR SECTION 1006.3.1 & 1006.3         780 CMR SECTION 1017.2         780 CMR SECTION 1017.2         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1027         780 CMR SECTION 1030.2         ROVIDED)         NDEX: 0.55 (3 YEAR AGED)         NTERIOR
TRAVEL DISTANCE TO EXITS:250 FT (B), 300 FT (B)DEAD END CORRIDOR:50 FT (B & R)EGRESS CAPACITIES WIDTH:STAIRS: 0.2"OTHER EGRESS COMPONENTS 0.15"SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED)(UP TO 3 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS)EXIT ACCESS TRAVEL DISTANCEEXIT ACCESS TRAVEL DISTANCE250' MAX (SPRINKLERED)EGRESS BALCONIES: SEPARATE FROM INTERIOR OF BUILDING PER FIRE SEPARATION DISTANCE1 HR $X = 5$ ALL CONSTRUCTION TYPES1 HR $X = 5$ ALL CONSTRUCTION TYPES0 HREXTERIOR STAIRWAYEMERGENCY ESCAPE & RESCUEMIN. 5.7 SF (24" H X 20"W) 44" A.F.F.FALL PROTECTION SASH LIMITERSENERGY CONSERVATIONCOMMERCIALEXTERIOR WALLS: R-13 + R-3.8CI OR R-20 (R-21 + R-5 PROVIDED)EXTERIOR WASS/CMU WALLS: R-15 FA: 3.20 (R-15 PROVIDED)EXTERIOR MASS/CMU WALLS: R-7.5 CIROOF: R-30 CI (ABOVE DECK) OR R-49 (ATTIC)FRAMED FLOORS: U-0.37 (OPAQUE) & U-0.77 (GLASS)EXTERIOR DOORS: U-0.38 (FIXED) ORROOF: R: 64 (3 YEARS AGED) ORROOF SI: 64 (3 YEARS AGED) ORROOF THERMAL EMITTANCE: 0.75 (3 YEAR AGED) & ROOF SOLAR REFLECTANCE INRESIDENTIALEXTERIOR MINDOWS: U-0.30 (EXTERIOR PLACE: R-30 OR TO FILL FRAMING (NOT LEEXTERIOR MASS WALLS: R-15 CI OR R-20	780 CMR SECTION 1005.3.1         780 CMR SECTION 1006.2.1         780 CMR SECTION 1006.3.1 & 1006.3         780 CMR SECTION 1017.2         780 CMR SECTION 1017.2         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1027         780 CMR SECTION 1030.2         ROVIDED)         ) AND 0.51 (N)         NDEX: 0.55 (3 YEAR AGED)         NTERIOR
TRAVEL DISTANCE TO EXITS: 250 FT (R), 300 FT (B) DEAD END CORRIDOR: 50 FT (B & R) EGRESS CAPACITIES WIDTH: STAIRS: 0.2" OTHER EGRESS COMPONENTS 0.15" SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED) (UP TO 3 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS) EXIT ACCESS TRAVEL DISTANCE 250' MAX (SPRINKLERED) EGRESS BALCONIES: SEPARATE FROM INTERIOR OF BUILDING PER FIRE SEPARATION DISTANCE 1 HR 55X≤10 OTHER THAN 1A 1 HR 105X≤30 TYPE VB 0 HR X≥30 ALL CONSTRUCTION TYPES 0 HR EXTERIOR STAIRWAY EMERGENCY ESCAPE & RESCUE MIN. 5.7 SF (24" H X 20"W) 44" A.F.F. FALL PROTECTION SASH LIMITERS ENERGY CONSERVATION COMMERCIAL EXTERIOR WOOD FRAMED WALLS: R-13 + R-3.8CI OR R-20 (R-21 + R-5 PROVIDED) EXTERIOR MASS WALLS: R-7.5 CI ROOF: R-30 CI (ABOVE DECK) OR R-49 (ATTIC). FRAMED FLOORS TO UNCONDITIONED SPACE: R-30 EXTERIOR DOORS: U-0.37 (OPAQUE) & U-0.77 (GLASS) EXTERIOR DOORS: U-0.37 (OPAQUE) & U-0.77 (GLASS) EXTERIOR MOOD FRAMED WALLS: R-13 + R-5 CI OR R-20 EXTERIOR DOORS: U-0.37 (OPAQUE) & U-0.77 (GLASS) EXTERIOR MOOD FRAMED WALLS: R-7.5 CI ROOF: R-30 CI (ABOVE DECK) OR R-49 (ATTIC). FRAMED FLOORS TO UNCONDITIONED SPACE: R-30 EXTERIOR MOOD FRAMED WALLS: R-13 + R-5 CI OR R-20 EXTERIOR MOOD STOLUNCONDITIONED SPACE: R-30 EXTERIOR MOOD STOLUNCONDITIONED SPACE: R-30 EXTERIOR WIDOWS: U-0.38 (FIXED) & U-0.45 (OPERABLE) WITH SHGC 0.38 (S. E. W ROOF SRI: 64 (3 YEARS AGED) OR ROOF THERMAL EMITTANCE: 0.75 (3 YEAR AGED) & ROOF SOLAR REFLECTANCE II RESIDENTIAL EXTERIOR MOOD FRAMED WALLS: R-13 + R-5 CI OR R-20 EXTERIOR MOOD FRAMED WALLS: R-13 + R-5 CI OR R-17 IF >50% IS ON THE SLAB ON GRADE: R-10 (UNHEATED SLAB) FOR 24" BELOW GRADE MASS WALLS: R-13 + R-5 CI OR R-10 F.17 IF >50% IS ON THE SLAB ON GRADE: R-10 (UNHEATED SLAB) FOR 24" BELOW GRADE MASS WALLS: R-13 + R-5 CI OR R-10 F.17 IF >50% IS ON THE SLAB ON GRADE: R-49 FRAMED FLOORS TO UNCONDITIONED SPACE: R-30 OR TO FILL FRAMING (NOT LE EXTERIOR MOOD FRAMED WALLS: R-13 + R-5 CI OR R-10 F.17 IF >50% IS ON THE SLAB ON GRADE: R-49 FRAMED FLOORS TO UNCONDITIONED SPACE: R-30 OR TO FILL FR	780 CMR SECTION 1005.3.1         780 CMR SECTION 1006.2.1         780 CMR SECTION 1006.3.1 & 1006.3         780 CMR SECTION 1017.2         780 CMR SECTION 1017.2         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1027         780 CMR SECTION 1030.2         ROVIDED)         ) AND 0.51 (N)         NDEX: 0.55 (3 YEAR AGED)         NTERIOR
TRAVEL DISTANCE TO EXITS: 250 FT (R), 300 FT (B) DEAD END CORRIDOR: 50 FT (B & R) EGRESS CAPACITIES WIDTH: STAIRS: 0.2" OTHER EGRESS COMPONENTS 0.15" SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED) (UP TO 3 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS) EXIT ACCESS TRAVEL DISTANCE 250' MAX (SPRINKLERED) EGRESS BALCONIES: SEPARATE FROM INTERIOR OF BUILDING PER FIRE SEPARATION DISTANCE 1 HR 5x5410 OTHER THAN 1A 1 HR 105x530 TYPE VB 0 HR EXTERIOR STAIRWAY EMERGENCY ESCAPE & RESCUE MIN. 5.7 SF (24" H X 20"W) 44" A.F.F. FALL PROTECTION SASH LIMITERS ENERGY CONSERVATION COMMERCIAL EXTERIOR MOOD FRAMED WALLS: R-13 + R-3.8CI OR R-20 (R-21 + R-5 PROVIDED) ELAW GNADE MASS (MU WALLS (ABOVE GRADE): R-13 3CI (R-15 PROVIDED) SLAB ON GRADE: R-10 (UNHEATED SLAB) FOR 24" BELOW (UNDER ENTIRE SLAB P) BELOW GRADE MASS WALLS: R-7.5 CI ROOF: R-30 CI (ABOVE DECK) OR R-49 (ATTIC) FRAMED FLOORS TU ONCONDITIONED SPACE: R-30 EXTERIOR MOOD FRAMED WALLS: R-13 + R-5. CI OR R-20 (RADE MASS WALLS: R-15 + R-5 CI OR R-20 EXTERIOR DORS: U-0.37 (OPAQUE) & U-0.45 (OPERABLE) WITH SHGC 0.38 (S. E, W ROOF SRI: 64 (3 YEARS AGED) OR ROOF INFERIOR WIDDOWS: U-0.38 (FIXED) & U-0.45 (OPERABLE) WITH SHGC 0.38 (S. E, W ROOF SRI: 64 (3 YEARS AGED) OR ROOF THERMAL EMITTANCE: 0.75 (3 YEAR AGED) & ROOF SOLAR REFLECTANCE II RESIDENTIAL EXTERIOR WOOD FRAMED WALLS: R-13 + R-5 CI OR R-20 EXTERIOR MASS/CMU WALLS (ABOVE GRADE): R-13CI OR R-17 IF >50% IS ON THE SLAB ON GRADE: R-10 (UNHEATED SLAB) FOR 24" BELOW GRADE RASS WALLS: R-15 CI OR R-20 EXTERIOR MASS/CMU WALLS: (R-15 CI OR R-20 EXTERIOR MASS/CMU WALLS: (R-15 CI OR R-20 EXTERIOR MOOD FRAMED WALLS: R-13 + R-5 CI OR R-20 EXTERIOR MOOD FRAMED WALLS: R-13 + R-5 CI OR R-20 EXTERIOR MOOD FRAMED WALLS: R-13 + R-5 CI OR R-20 EXTERIOR MOSS/CMU WALLS: (ABOVE GRADE): R-13CI OR R-17 IF >50% IS ON THE SLAB ON GRADE: R-10 (UNHEATED SLAB) FOR 24" BELOW GRADE FRAMED WALLS: R-15 CI OR R-19 EXTERIOR MASS/CMU WALLS (ABOVE GRADE): R-13CI OR R-17 IF >50% IS ON THE SLAB ON GRADE: R-10 (UNHEATED SLAB) FOR 24" BELOW GRADE MASS	780 CMR SECTION 1005.3.1         780 CMR SECTION 1006.2.1         780 CMR SECTION 1006.3.1 & 1006.3         780 CMR SECTION 1017.2         780 CMR SECTION 1017.2         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1027         780 CMR SECTION 1030.2         ROVIDED)         ) AND 0.51 (N)         NDEX: 0.55 (3 YEAR AGED)         NTERIOR
TRAVEL DISTANCE TO EXITS: 250 FT (R), 300 FT (B) DEAD END CORRIDOR: 50 FT (B & R) STAIRS: 0.2" OTHER EGRESS COMPONENTS 0.15" SINGLE EXIT (R-2 W/ MAX. OCCUPANT LOAD OF 20, SPRINKLERED) (UP TO 3 STORIES ABOVE GRADE PLANE/ 4 DWELLING UNITS) EXIT ACCESS TRAVEL DISTANCE 250' MAX (SPRINKLERED) EXIT ACCESS TRAVEL DISTANCE 250' MAX (SPRINKLERED) FIRE SEPARATION DISTANCE 1 HR 55X510 OTHER THAN 1A 1 HR 105X530 TYPE VB 0 HR EXTERIOR STAIRWAY EMERGENCY ESCAPE & RESCUE MIN. 5.7 SF (24" H X 20"W) 44" A.F.F. FALL PROTECTION SASH LIMITERS EXTERIOR MASS/CMU WALLS (ABOVE GRADE): R-13.3CI (R-15 PROVIDED) EXTERIOR MASS/CMU WALLS (ABOVE GRADE): R-13.3CI (R-15 PROVIDED) SLAB ON GRADE: R-10 (UNHEATED SLAB) FOR 24" BELOW (UNDER ENTIRE SLAB PI BELOW GRADE MASS/CMU WALLS : R-13 + R-3.8CI OR R-20 (R-21 + R-5 PROVIDED) EXTERIOR MASS/CMU WALLS (ABOVE GRADE): R-13.3CI (R-15 PROVIDED) SLAB ON GRADE: R-10 (UNHEATED SLAB) FOR 24" BELOW (UNDER ENTIRE SLAB PI BELOW GRADE MASS WALLS: R-7.5 CI ROOF: R-30 CI (ABOVE DECK) OR R-49 (ATTIC) FRAMED FLOORS TU-0.37 (OPAQUE) & U-0.77 (GLASS) EXTERIOR WINDOWS: U-0.37 (OPAQUE) & U-0.45 (OPERABLE) WITH SHGC 0.38 (S. E, W ROOF SR: 64 (3 YEARS AGED) OR ROOF THERMAL EMITTANCE: 0.75 (3 YEAR AGED) & ROOF SOLAR REFLECTANCE II <b>RESIDENTIAL</b> EXTERIOR WOOD FRAMED WALLS: R-13 + R-5 CI OR R-20 EXTERIOR WOOD FRAMED WALLS: R-13 + R-5 CI OR R-20 EXTERIOR WINDOWS: U-0.30 (FIXED) & U-0.47 (GLASS) EXTERIOR MASS/CMU WALLS (ABOVE GRADE): R-13CI OR R-17 IF >50% IS ON THE SLAB ON GRADE: R-10 (UNHEATED SLAB) FOR 24" BELOW GRADE MASS WALLS: R-15 CI OR R-20 EXTERIOR MOSO THAMED WALLS: R-15 CI OR R-20 EXTERIOR MOSO TRAMED WALLS: R-15 CI OR R-20 EXTERIOR MOSO'S U-0.30 EXTERIOR MOOD STO UNCONDITIONED SPACE: R-30 OR TO FILL FRAMING (NOT LE EXTERIOR MOOD STO UNCONDITIONED SPACE: R-30 OR TO FILL FRAMING (NOT LE EXTERIOR MOOD STO UNCONDITIONED SPACE: R-30 OR TO FILL FRAMING (NOT LE EXTERIOR WINDOWS: U-0.30 EXTERIOR MODORS: U-0.30 EXTERIOR MODORS: U-0.30	780 CMR SECTION 1005.3.1         780 CMR SECTION 1006.2.1         780 CMR SECTION 1006.3.1 & 1006.3         780 CMR SECTION 1017.2         780 CMR SECTION 1017.2         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1021         780 CMR SECTION 1027         780 CMR SECTION 1030.2         700 CMR SECTION



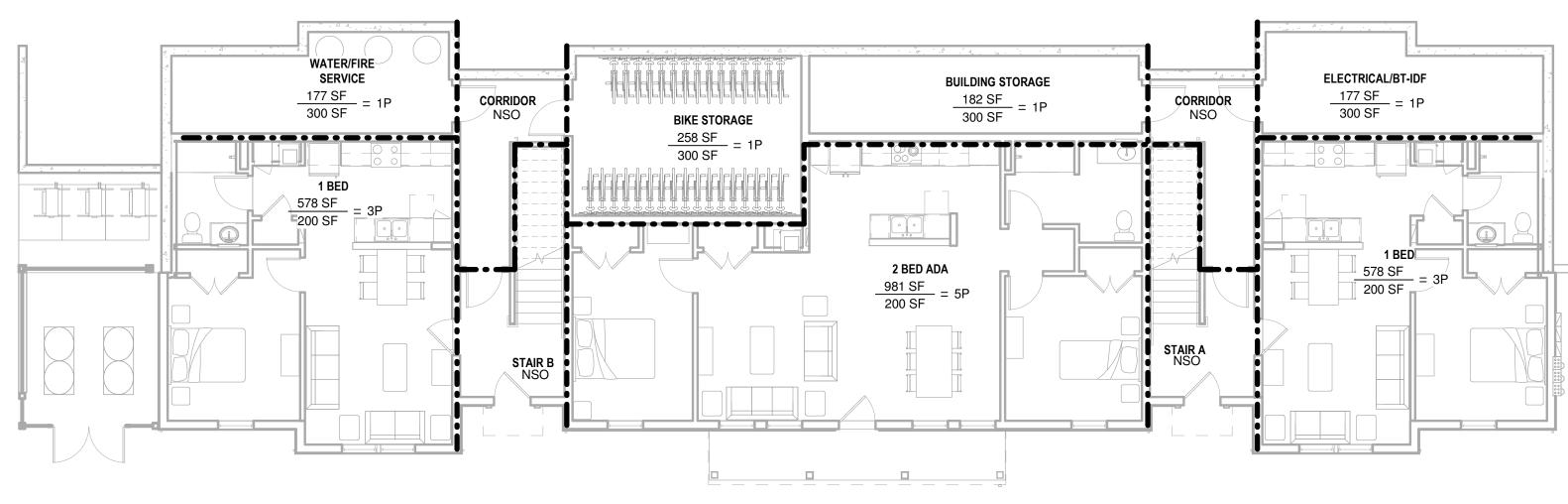


5 BUILDING B - SECOND FLOOR CODE PLAN 1/8" = 1'-0"

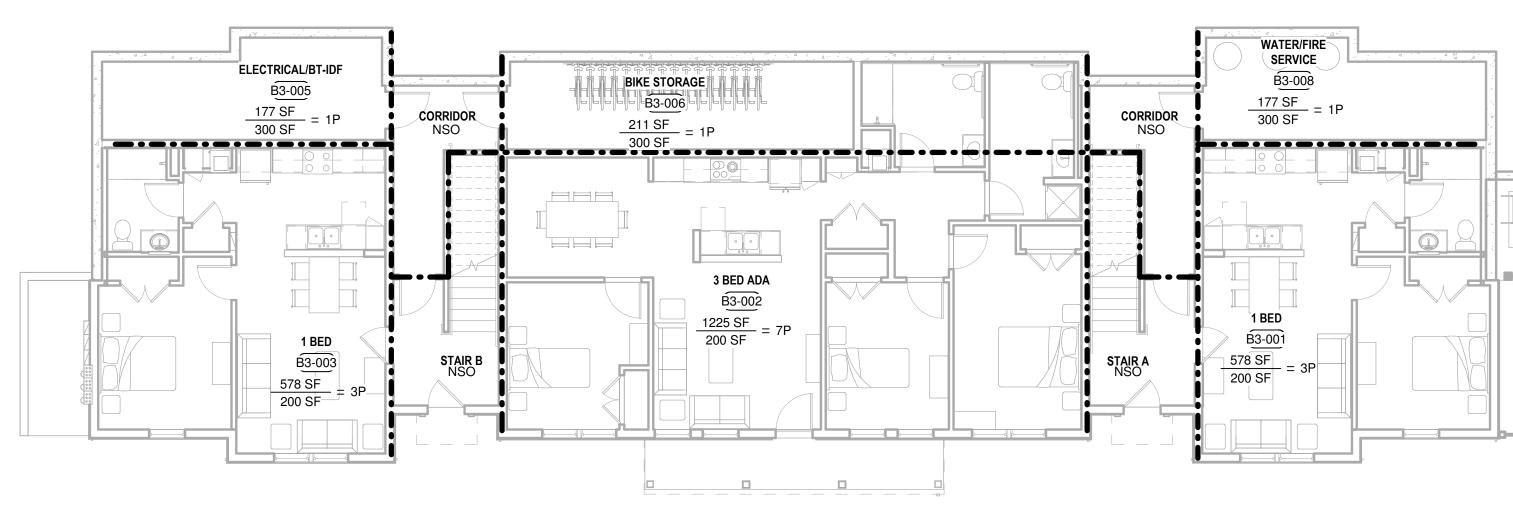




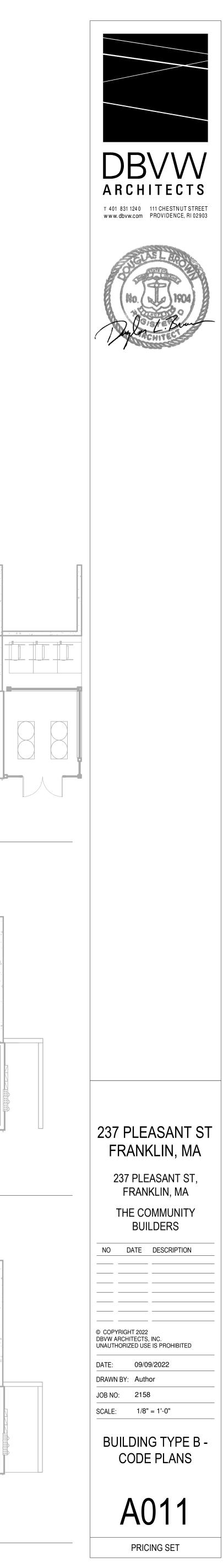


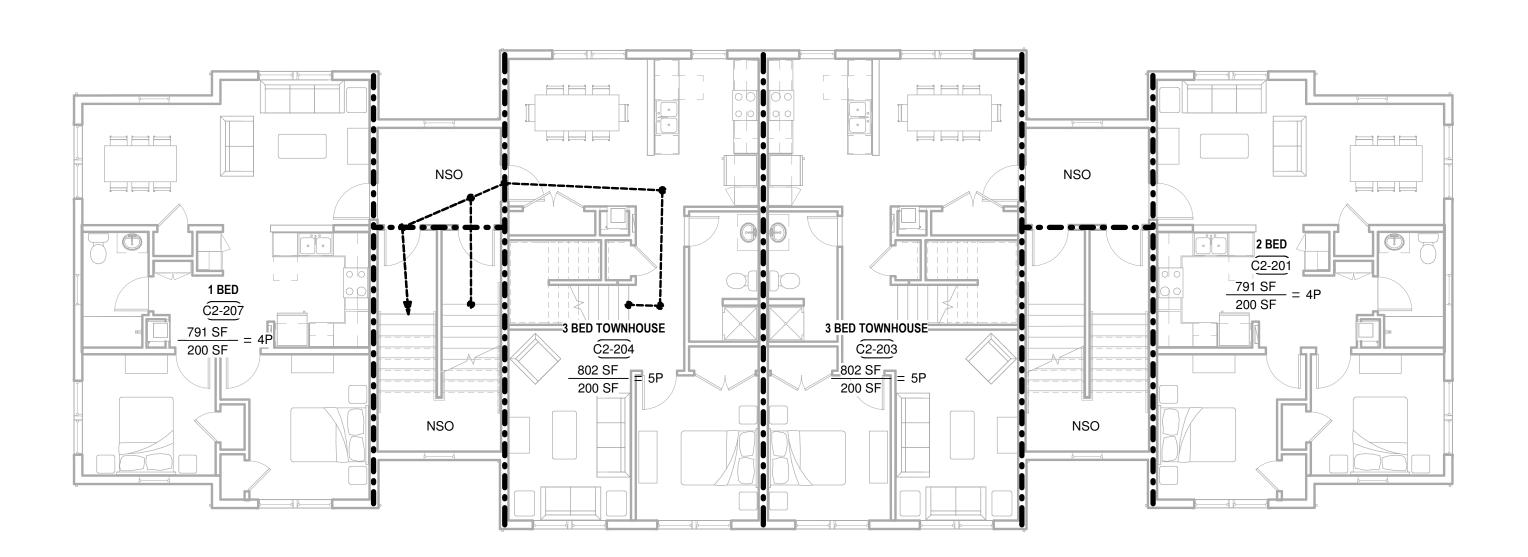


3 BUILDING B3 - LOWER LEVEL CODE PLAN 1/8" = 1'-0"

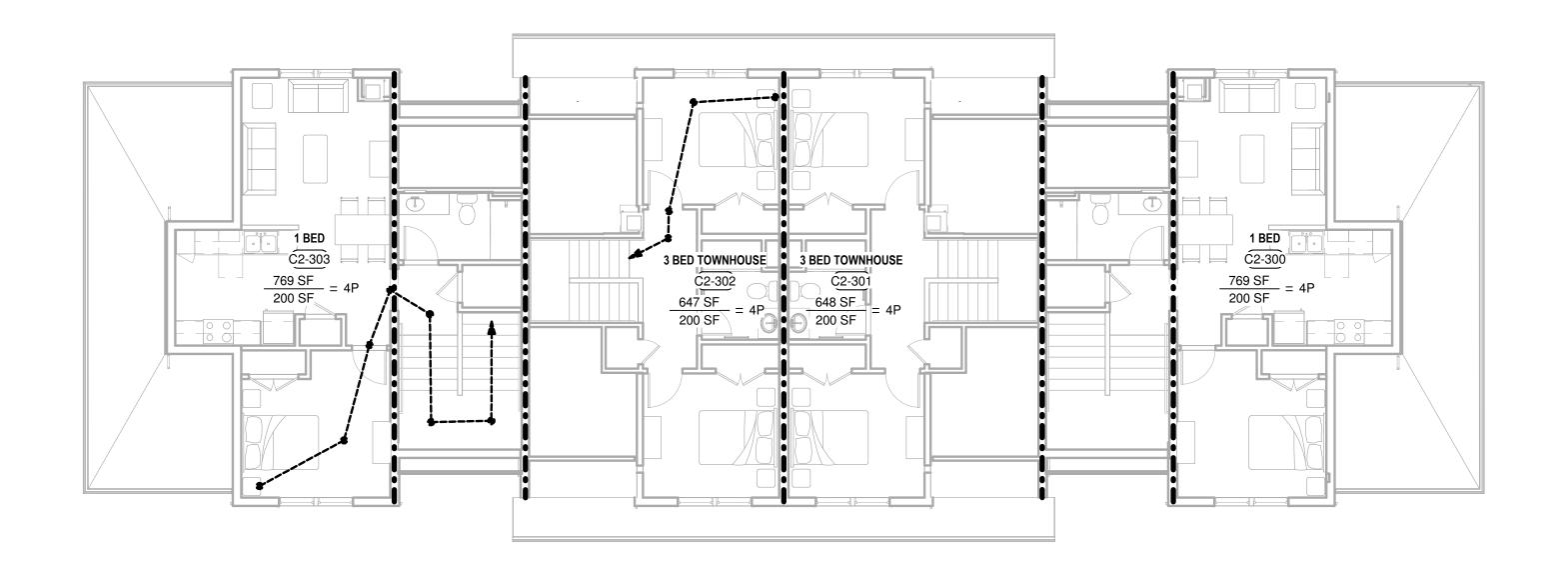


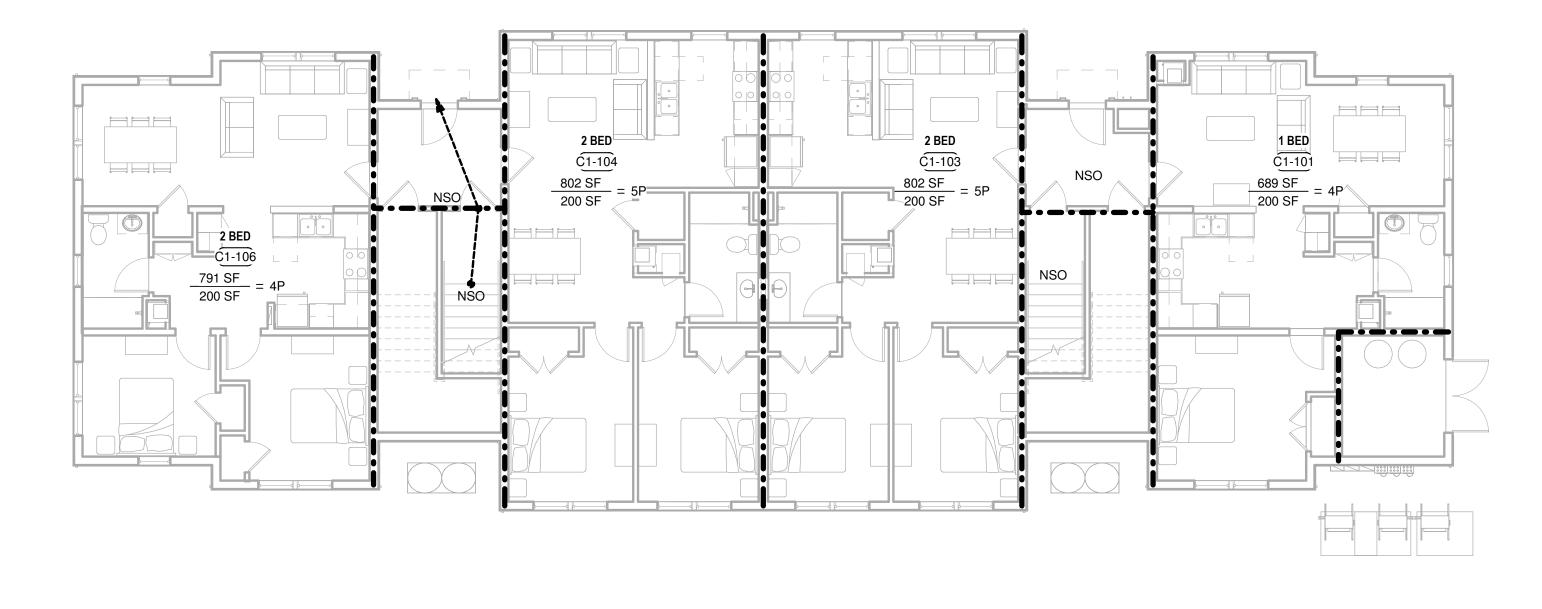




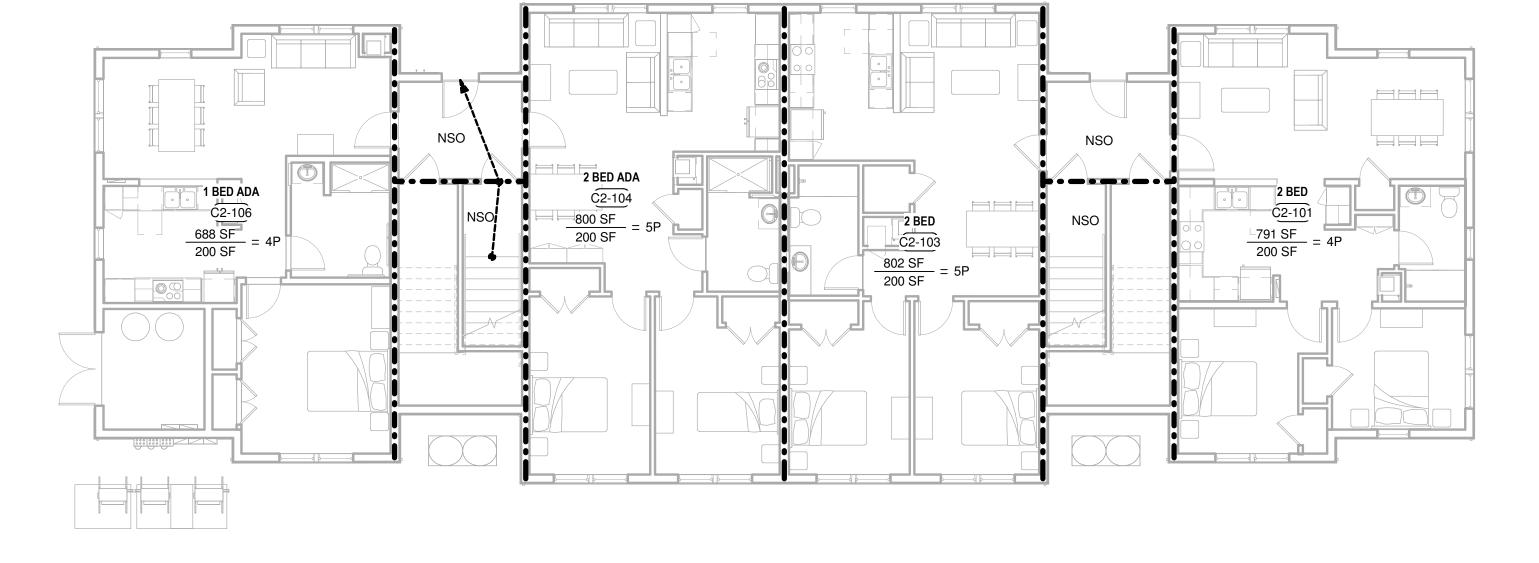


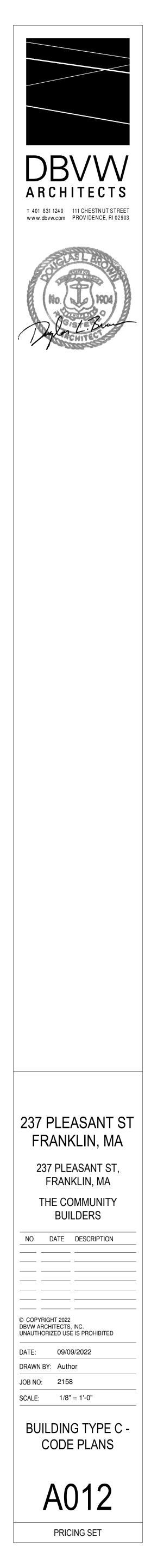
### 4 BUILDING C - THIRD FLOOR 1/8" = 1'-0"

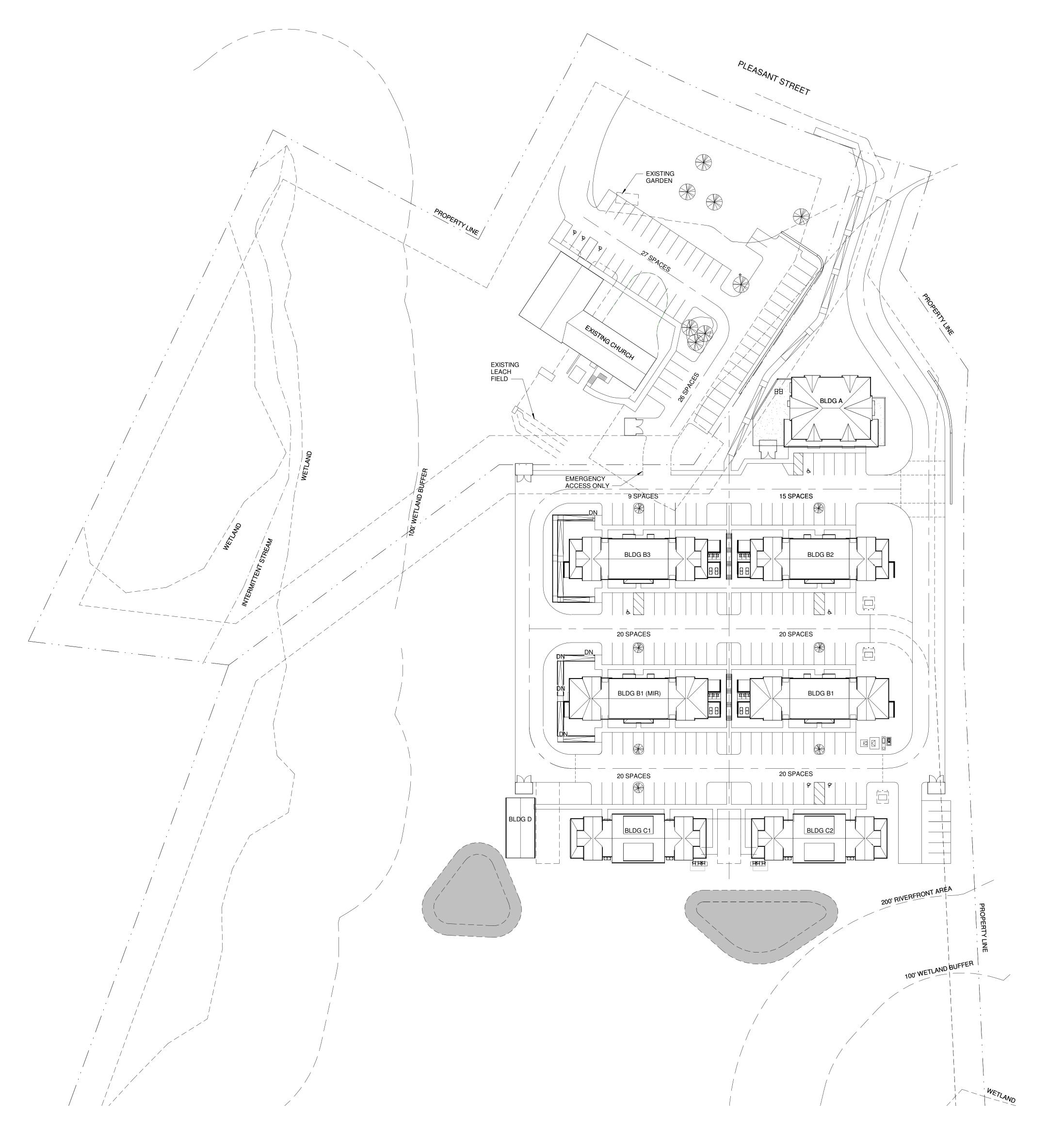




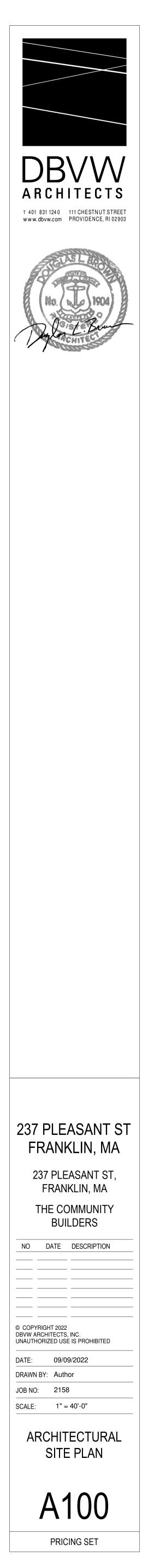
## 2 BUILDING C2 - FIRST FLOOR 1/8" = 1'-0"

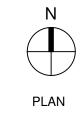


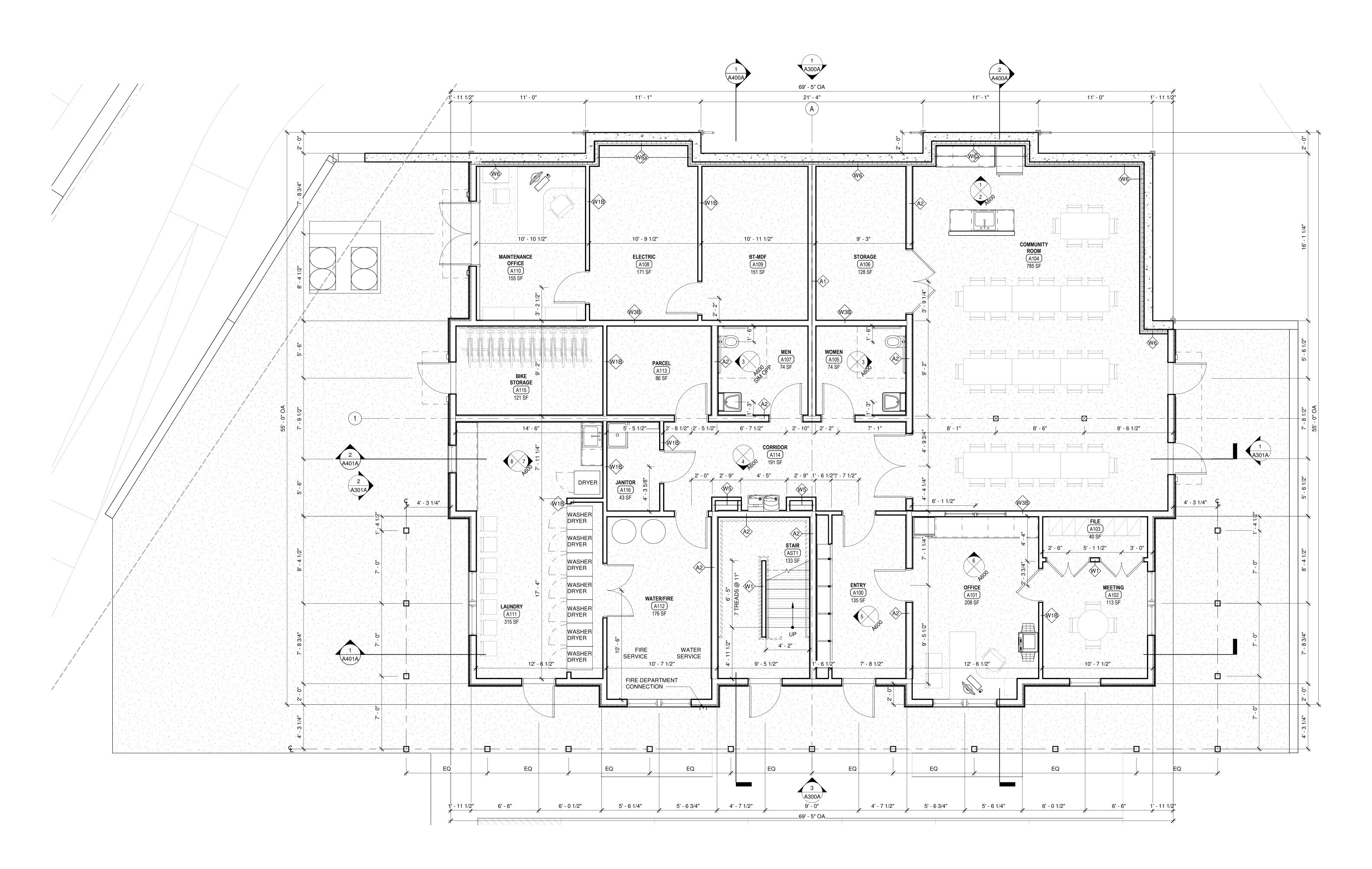


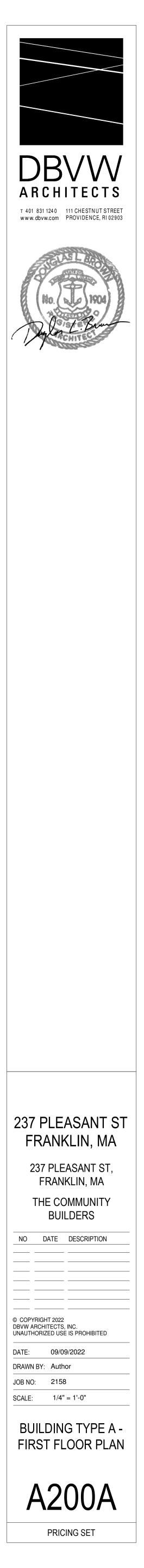


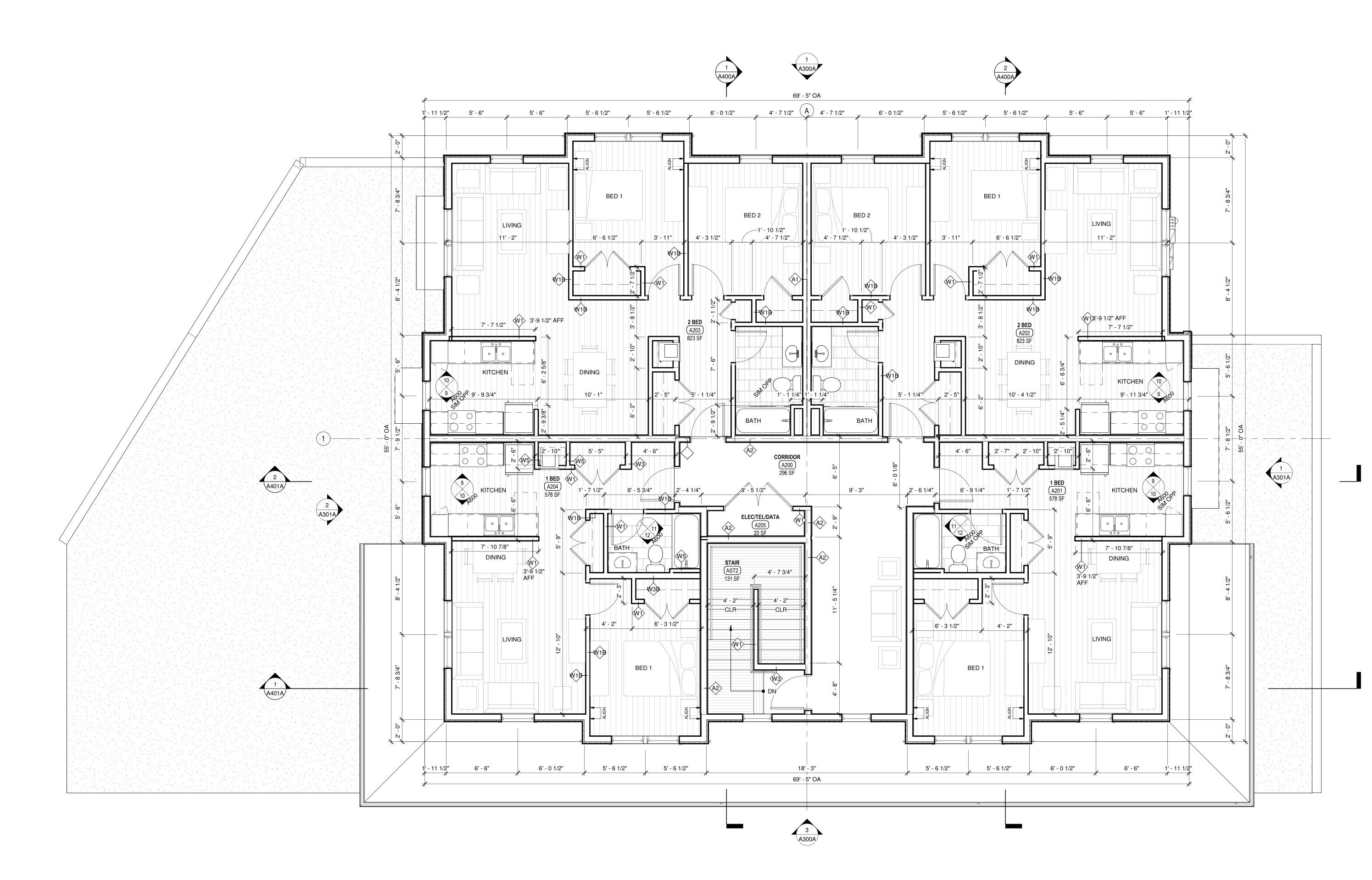
PROJECT

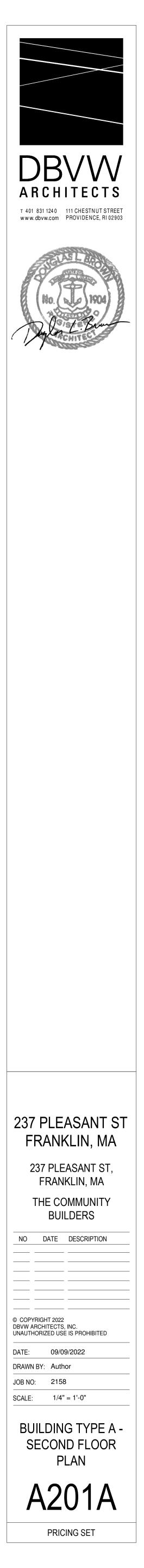


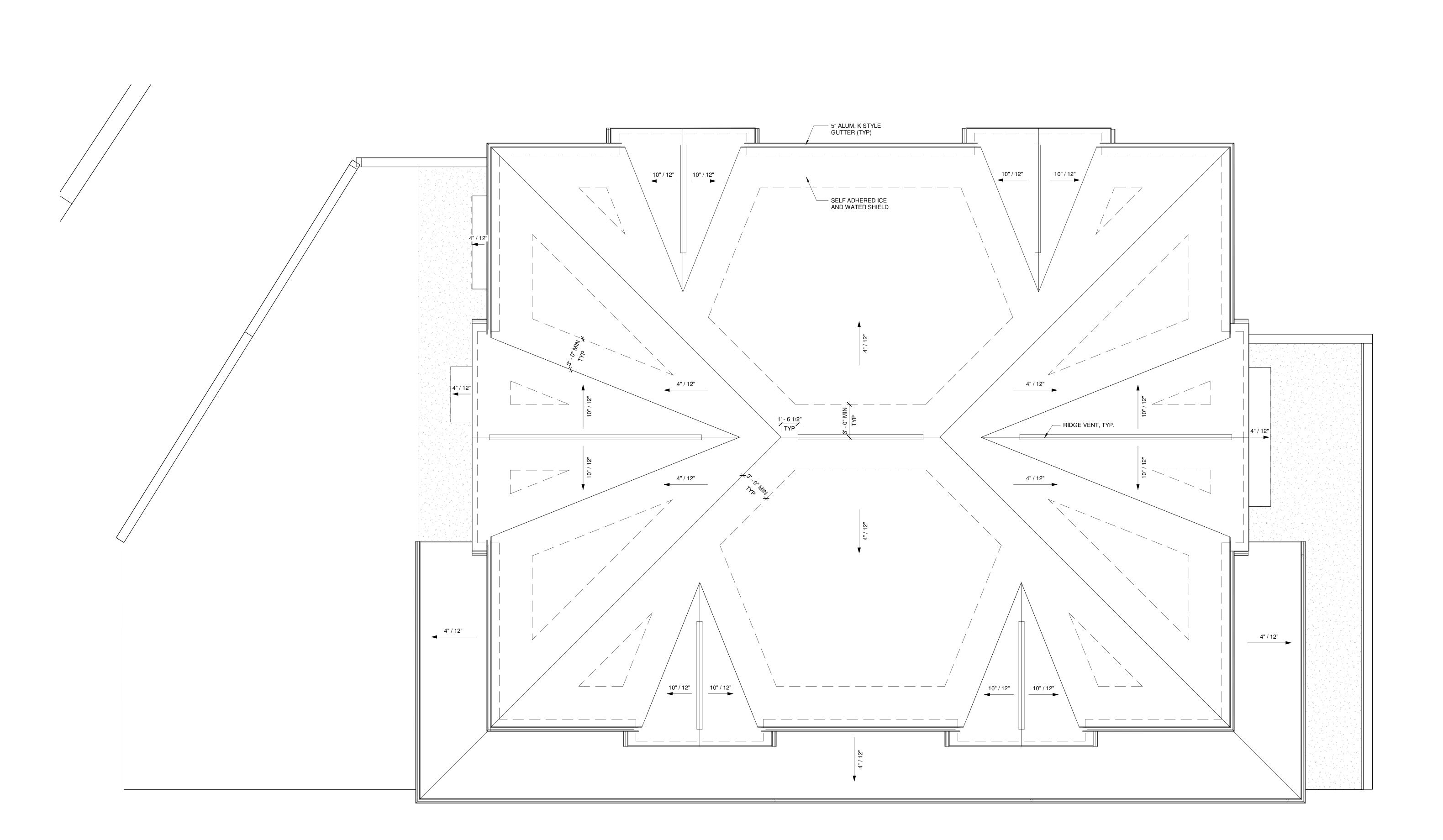


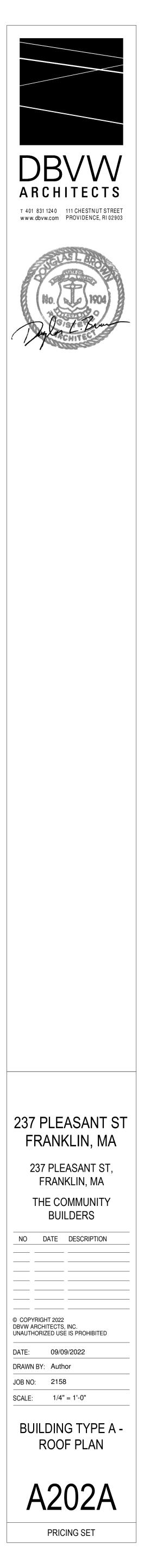


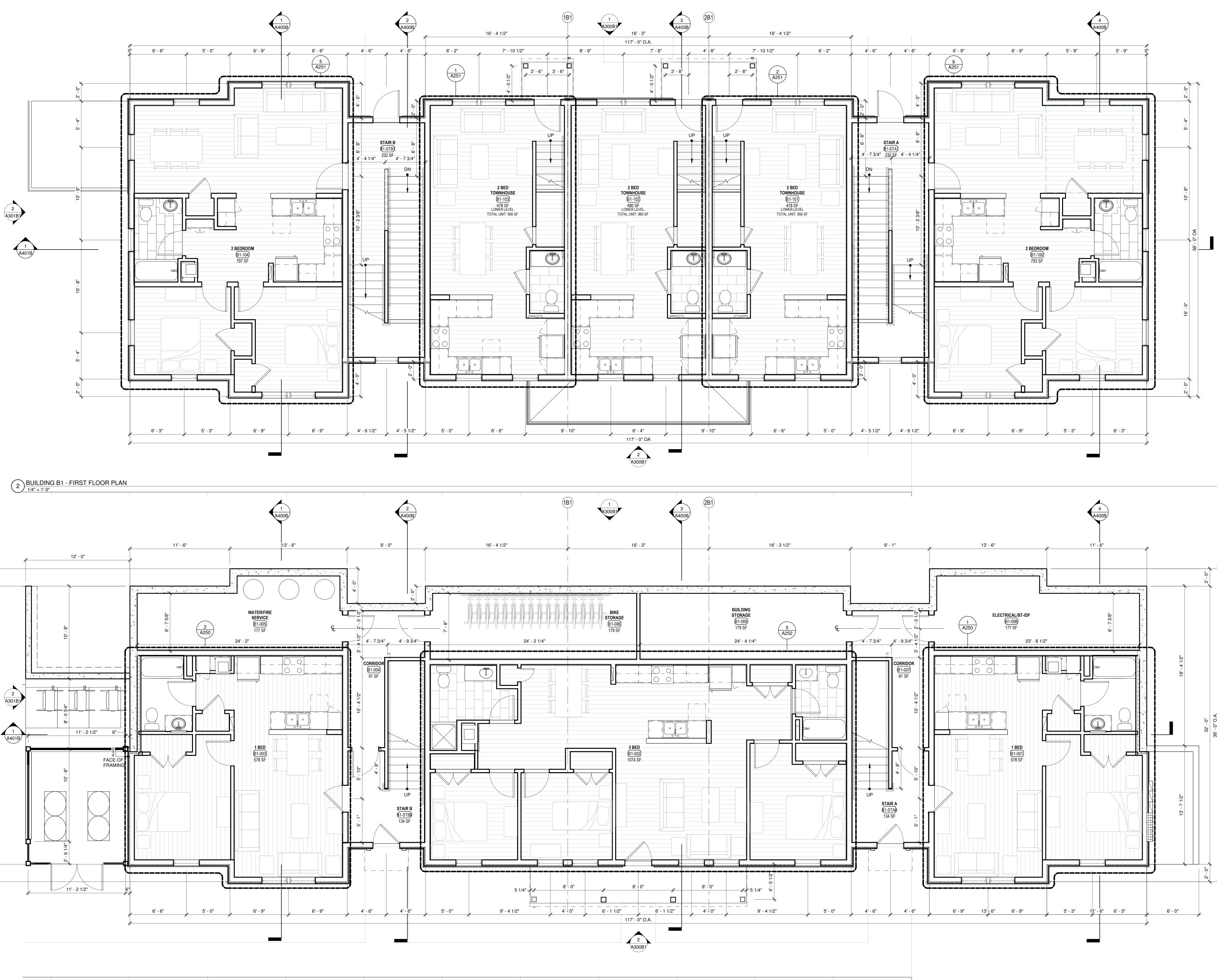




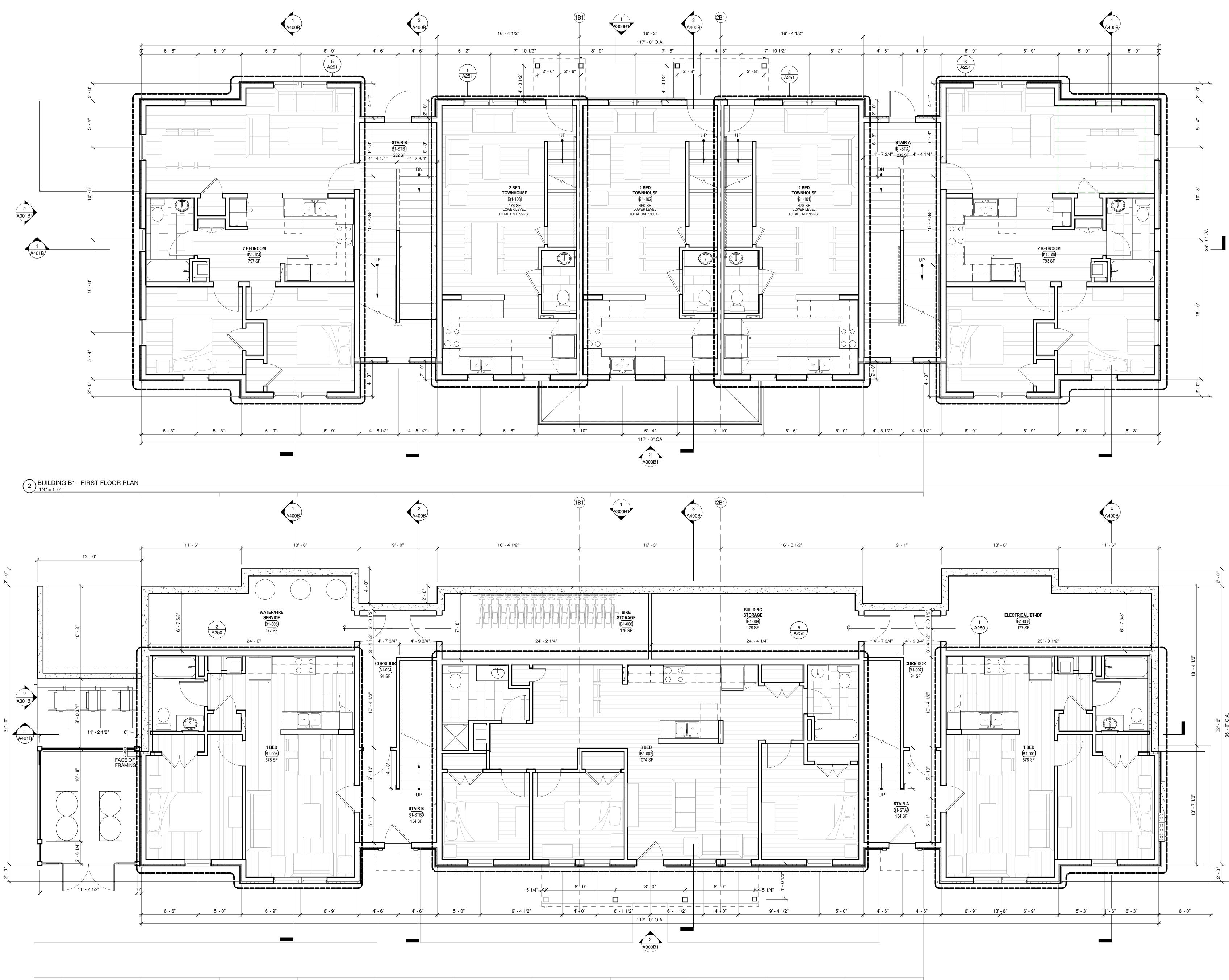


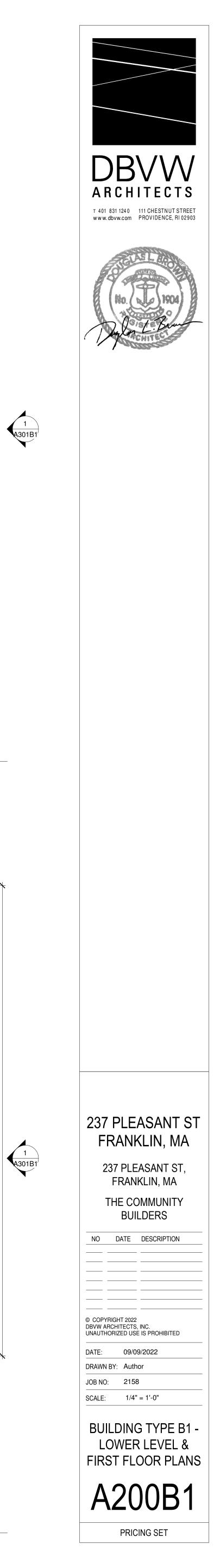


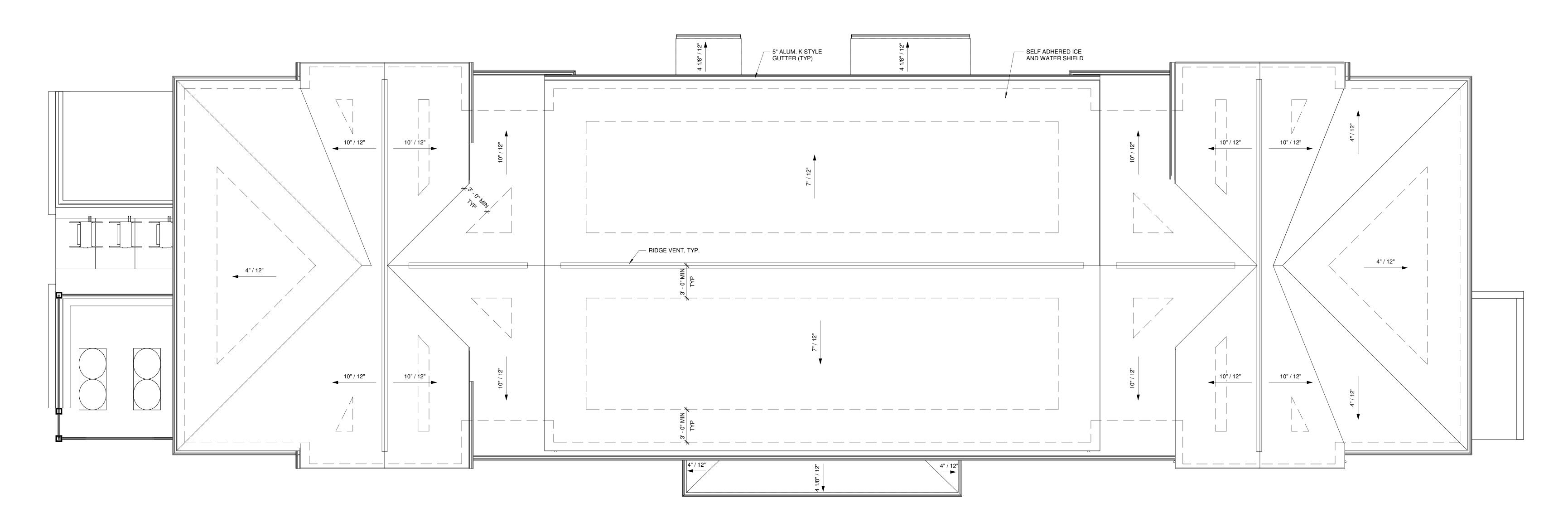


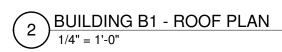


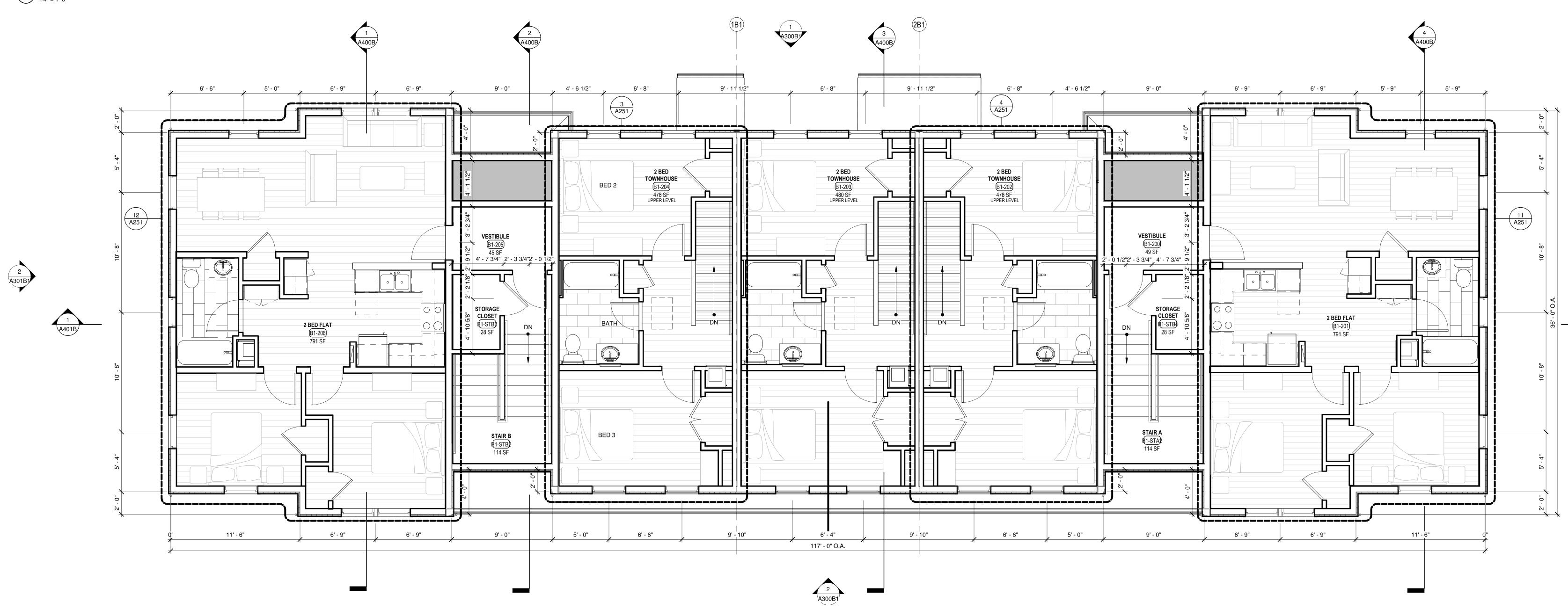


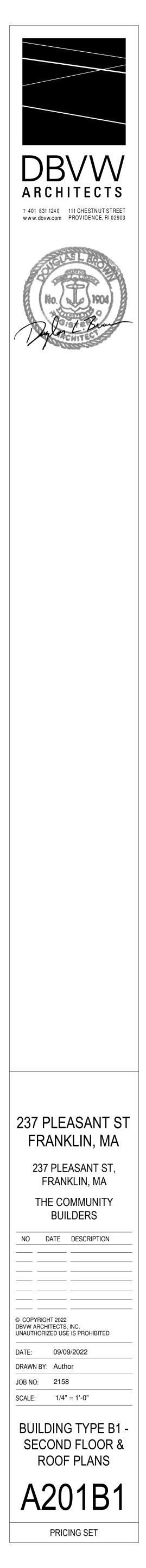


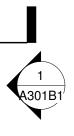


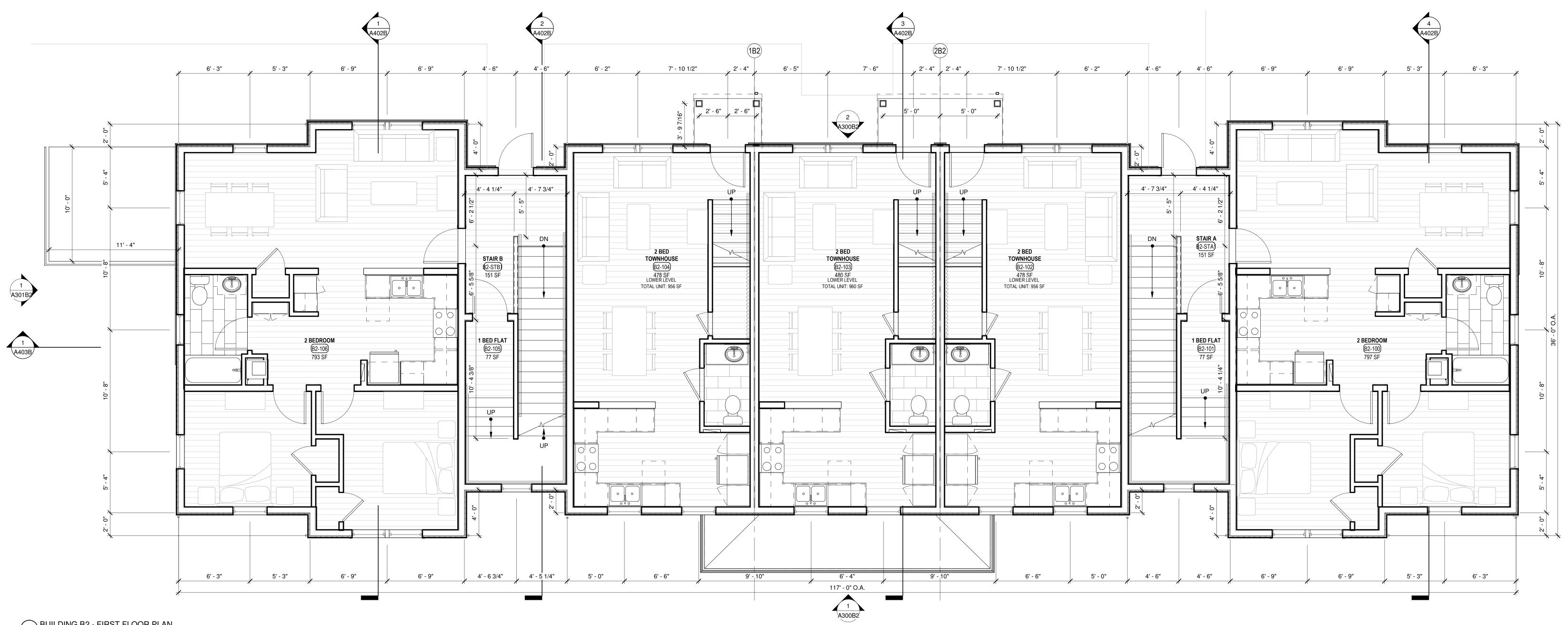




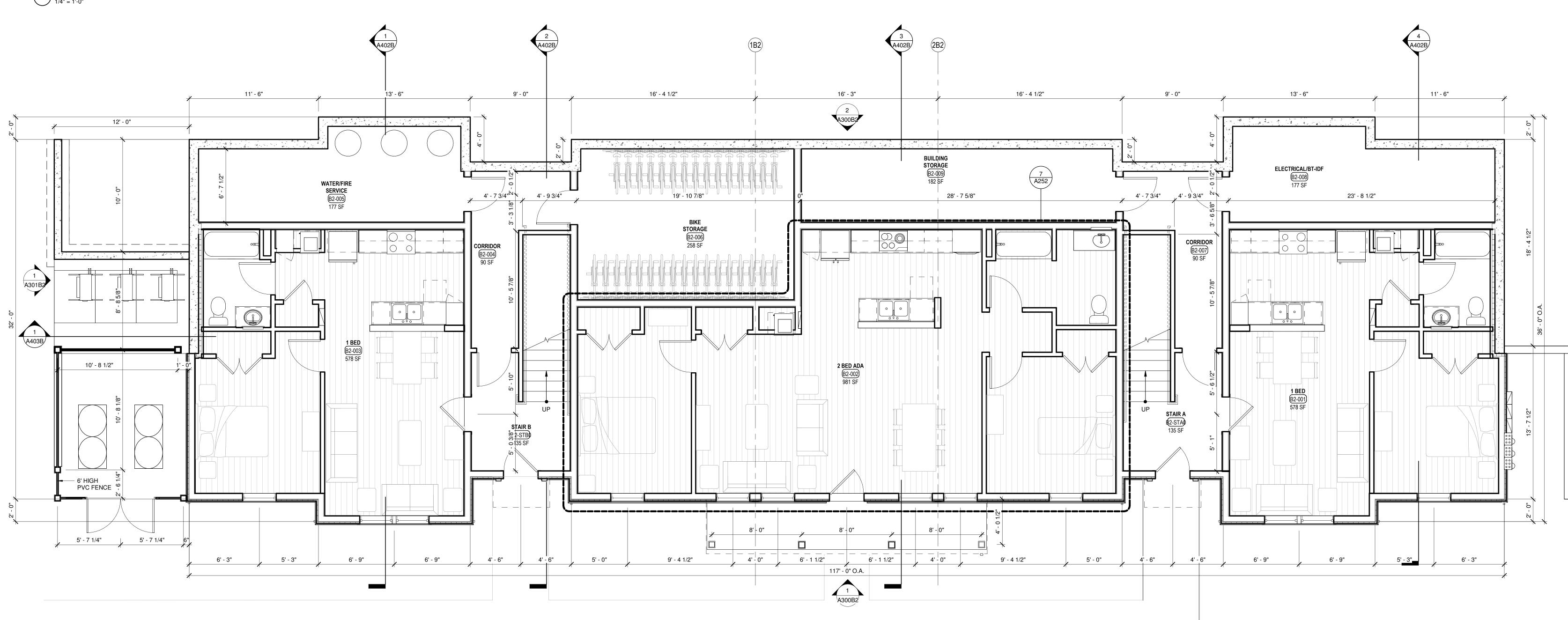


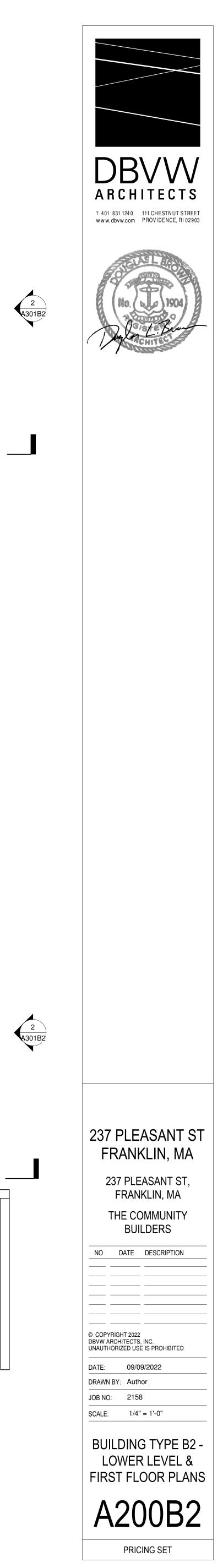


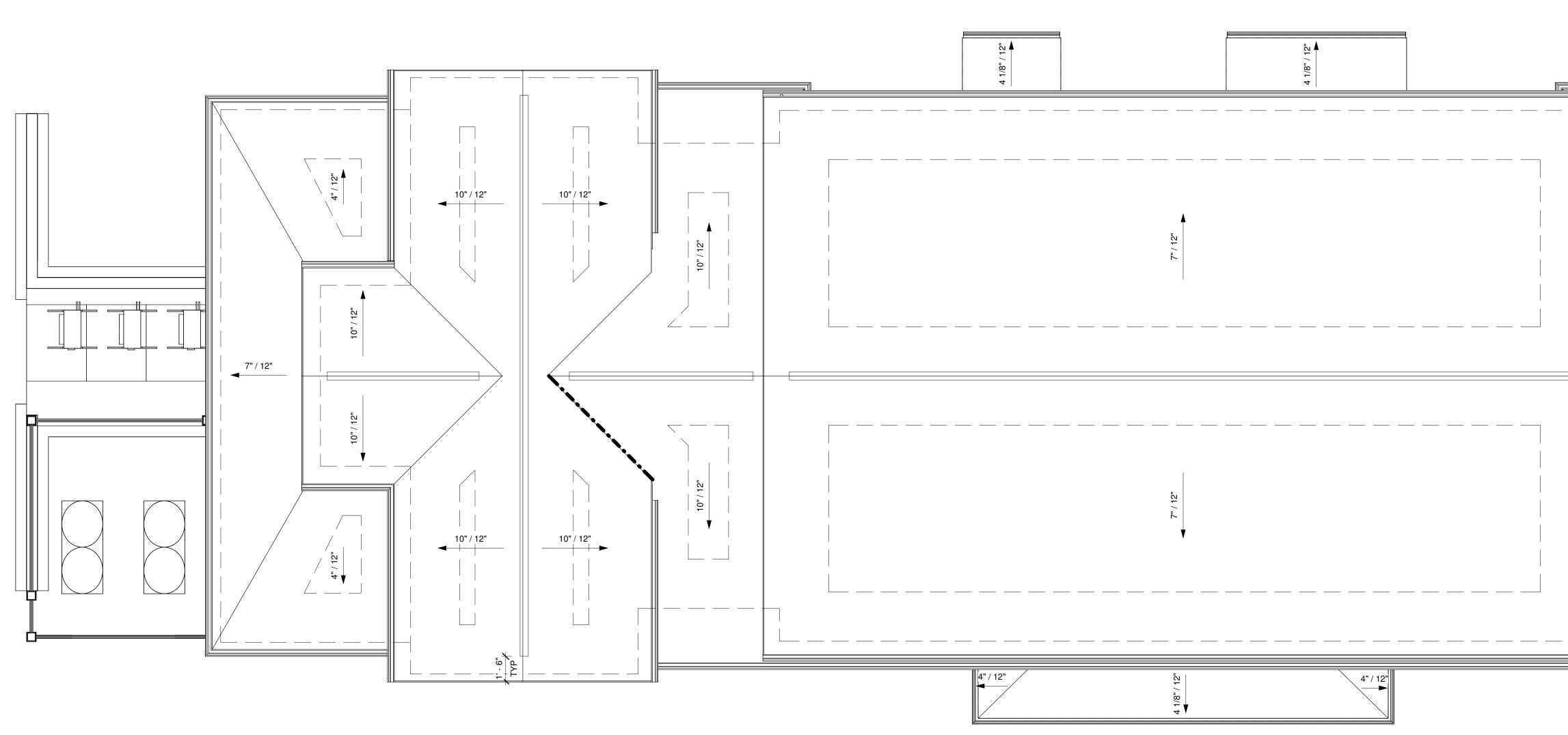




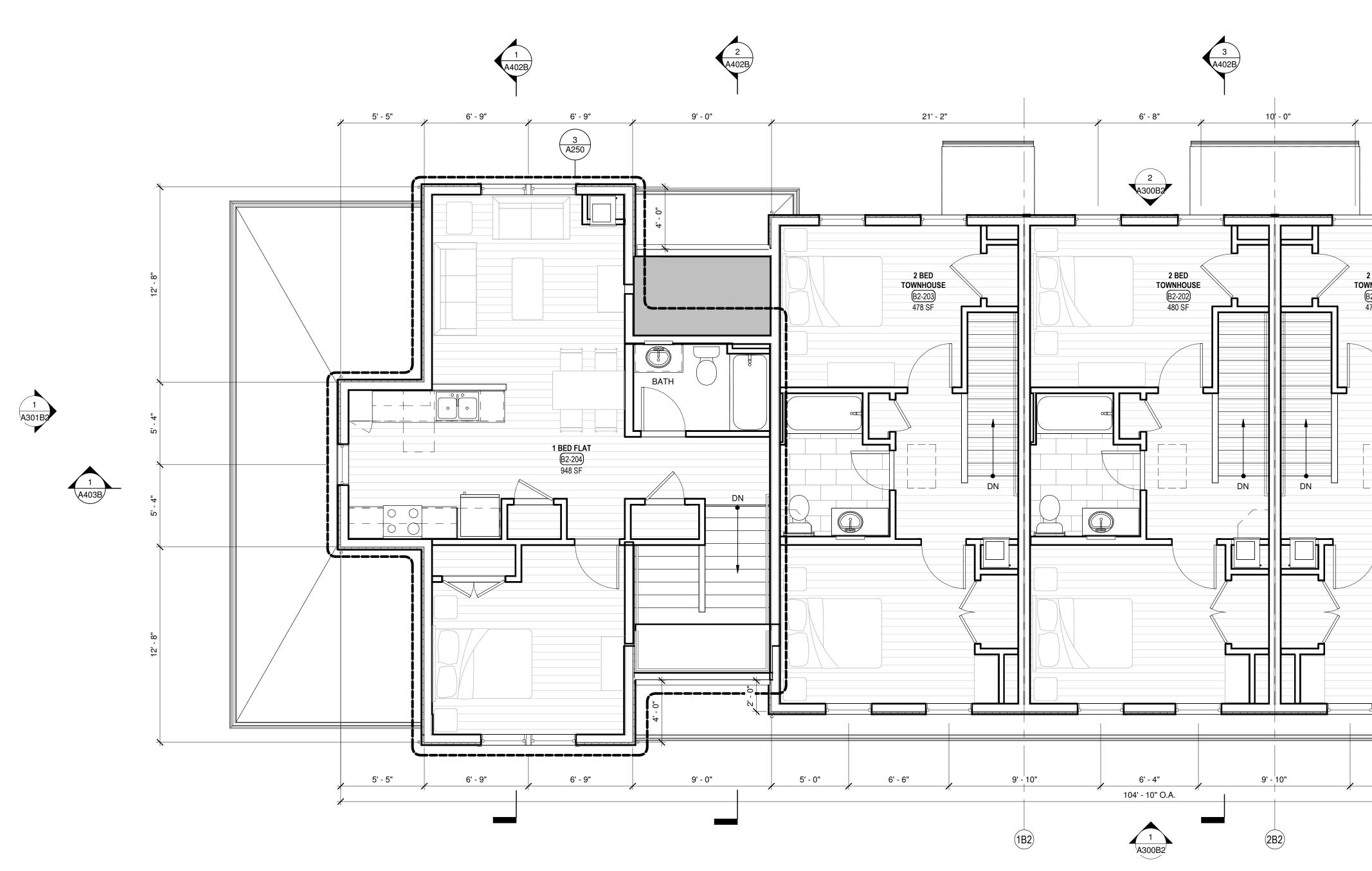


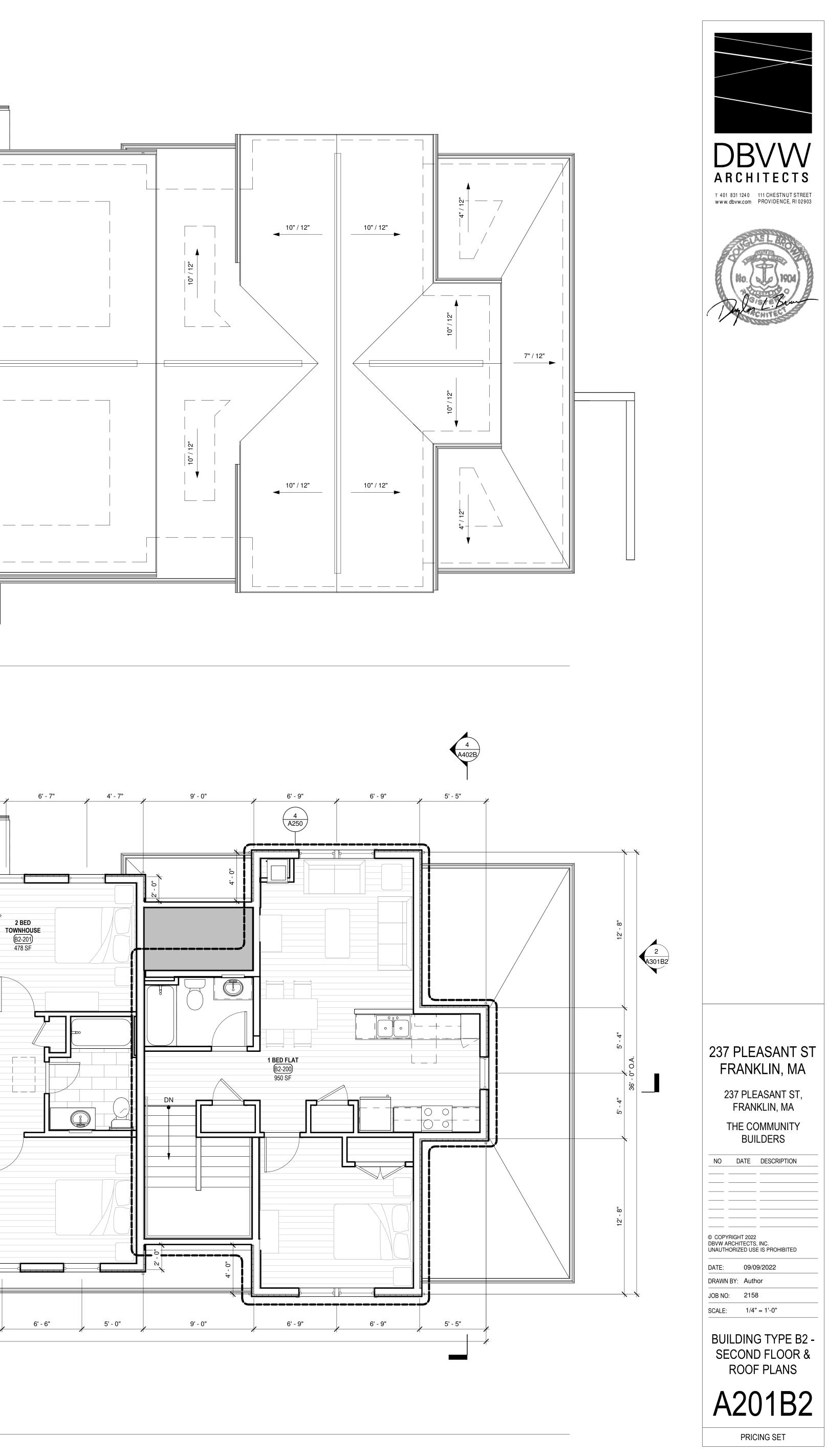


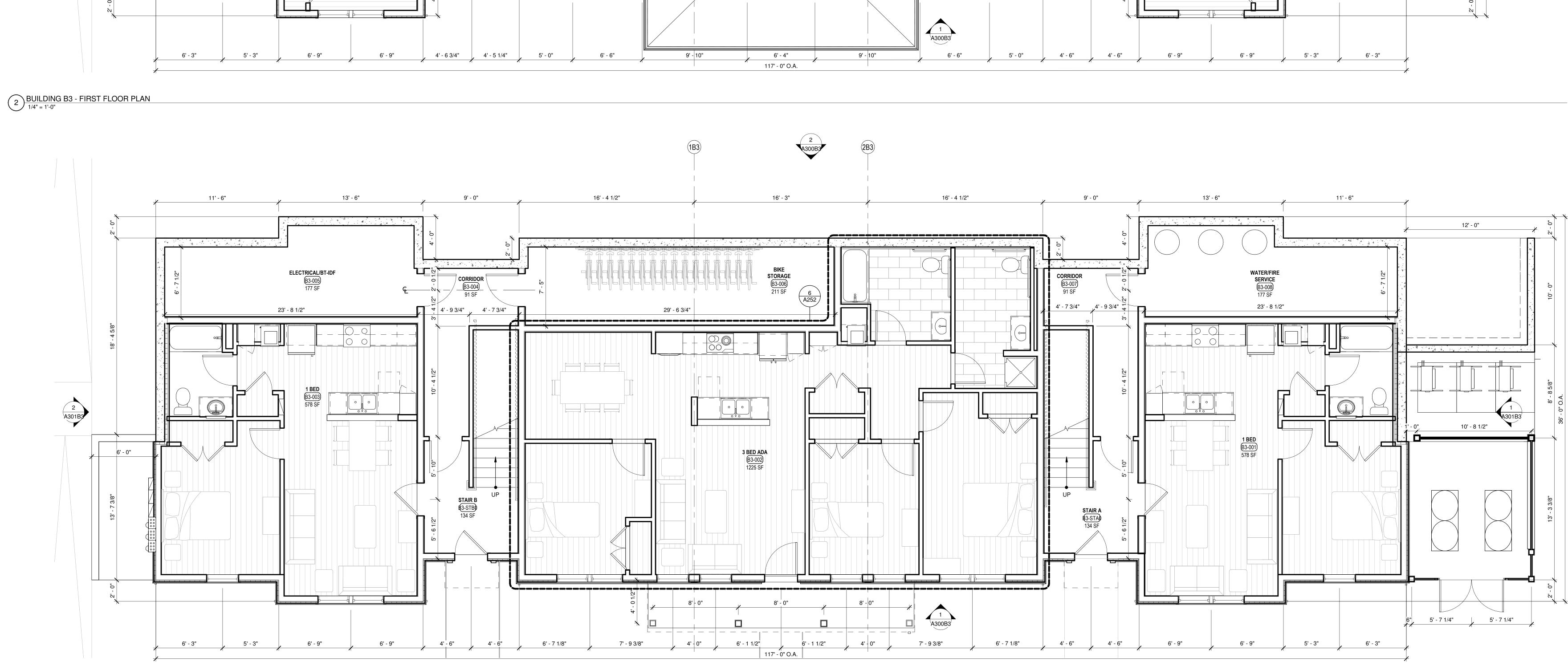




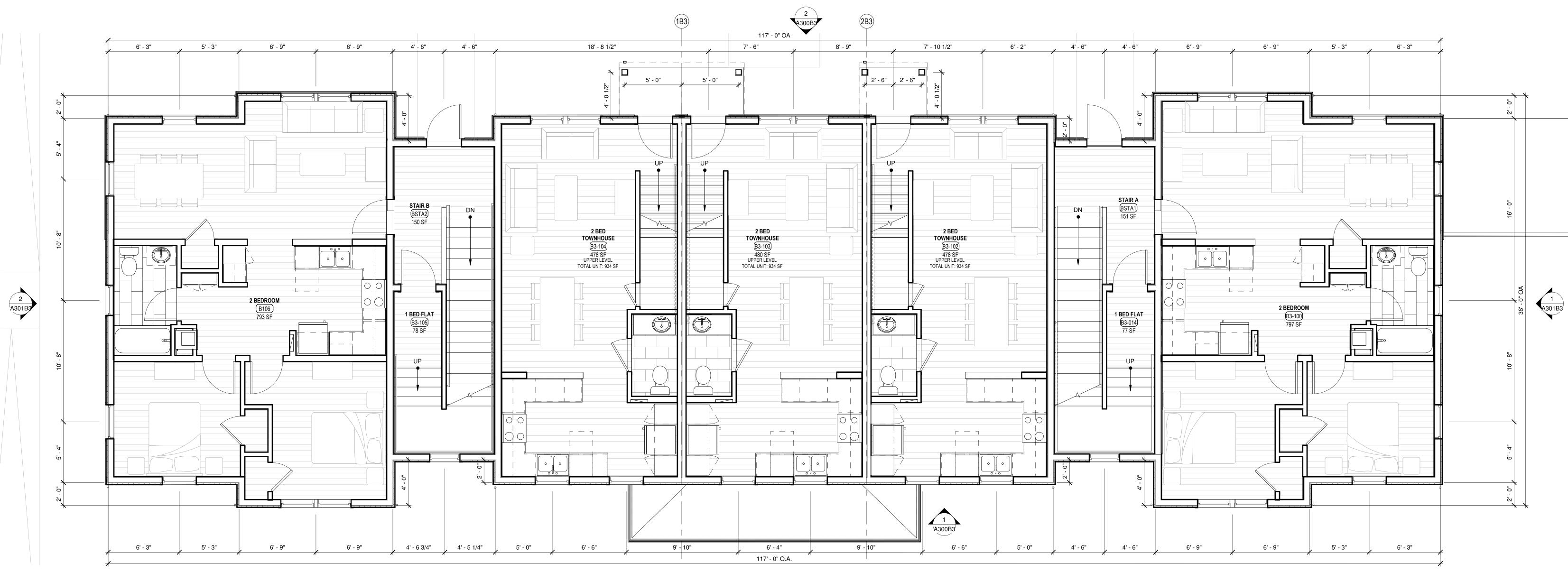
<sup>2</sup> BUILDING B2 - ROOF PLAN 1/4" = 1'-0"

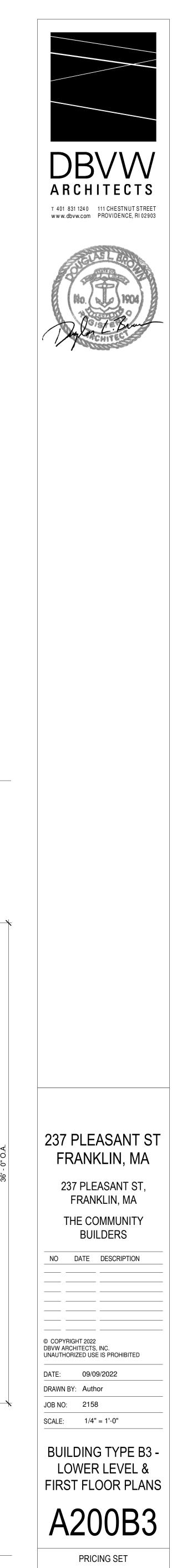


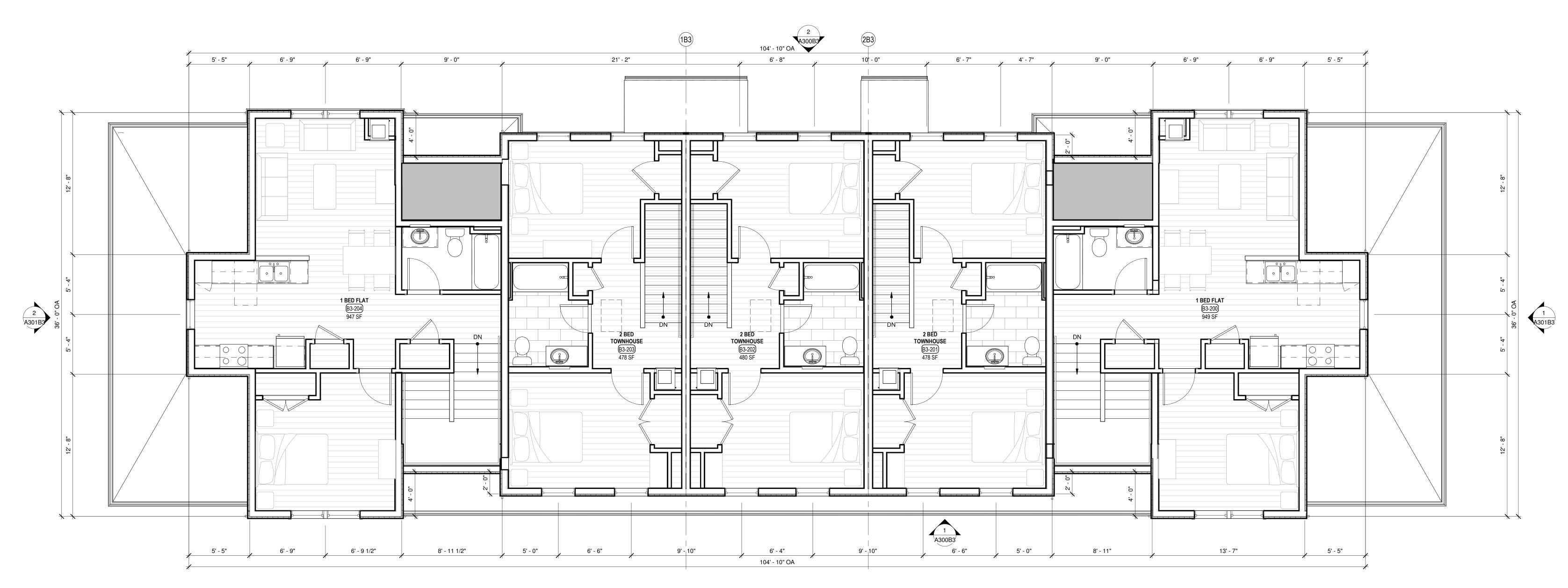




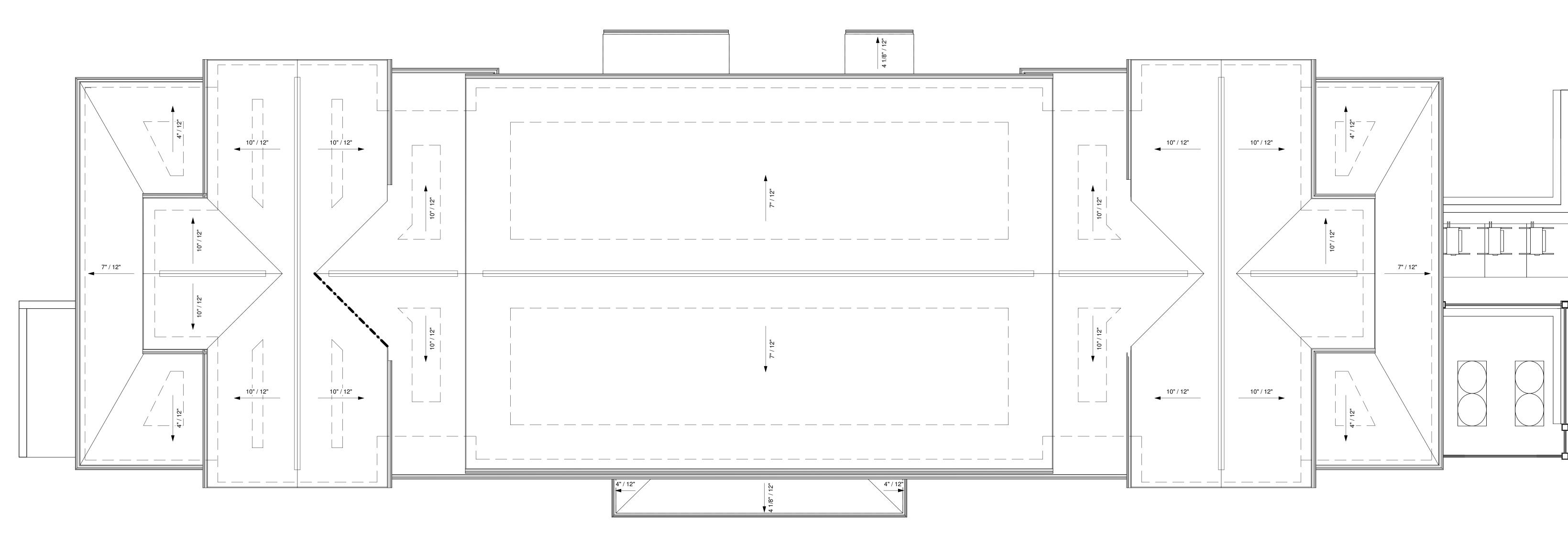


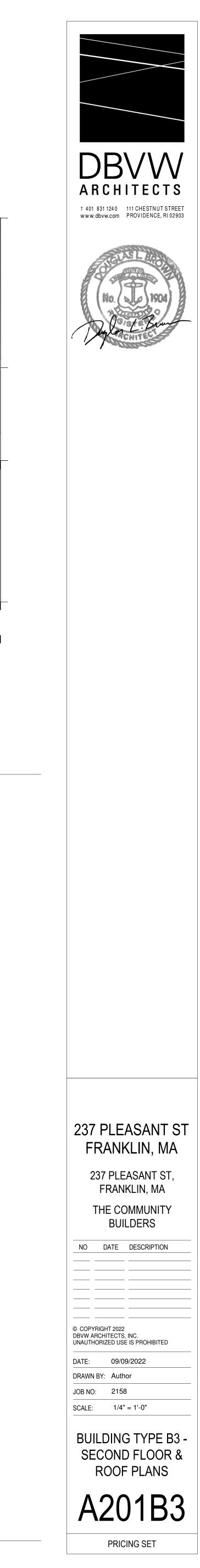


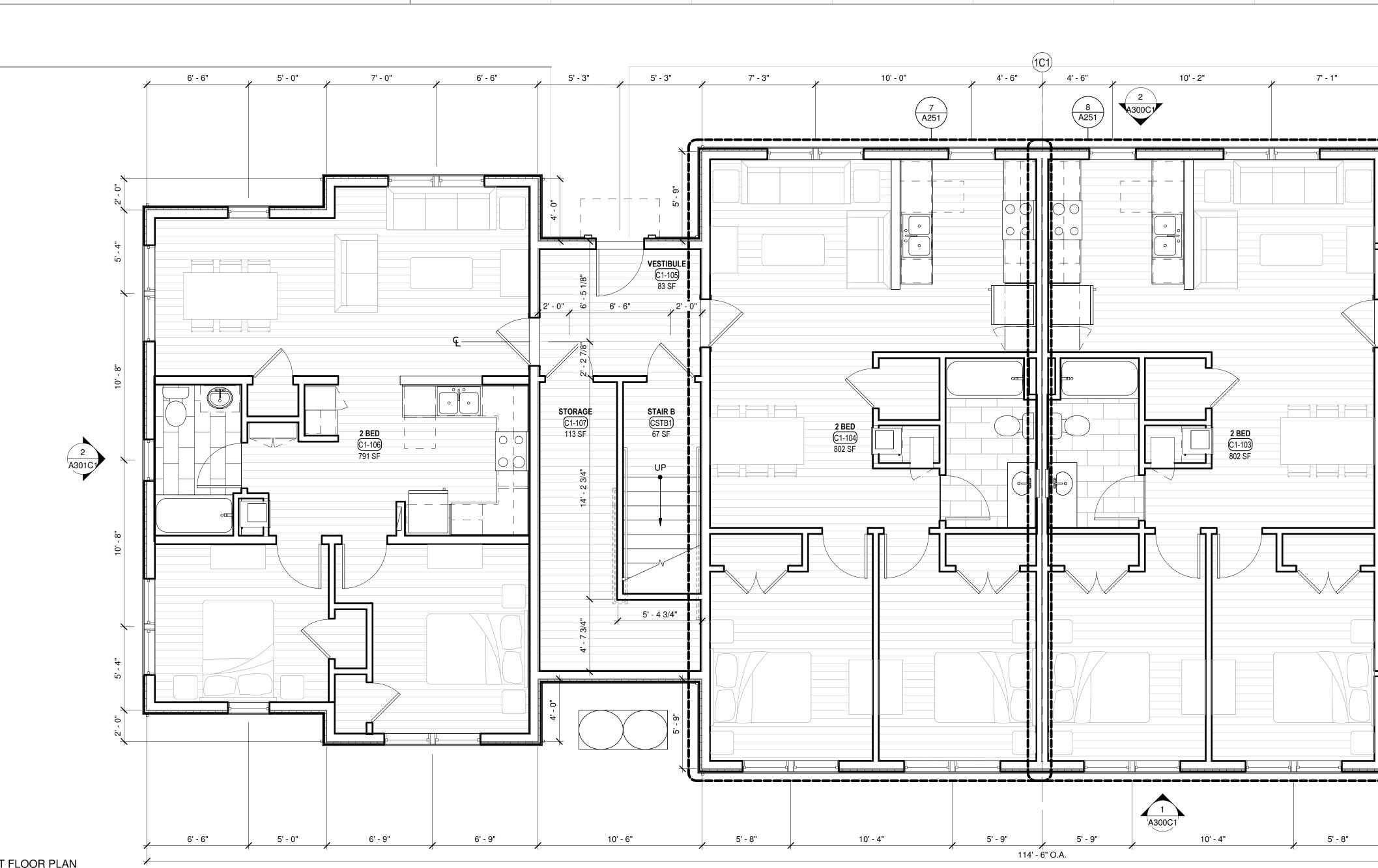




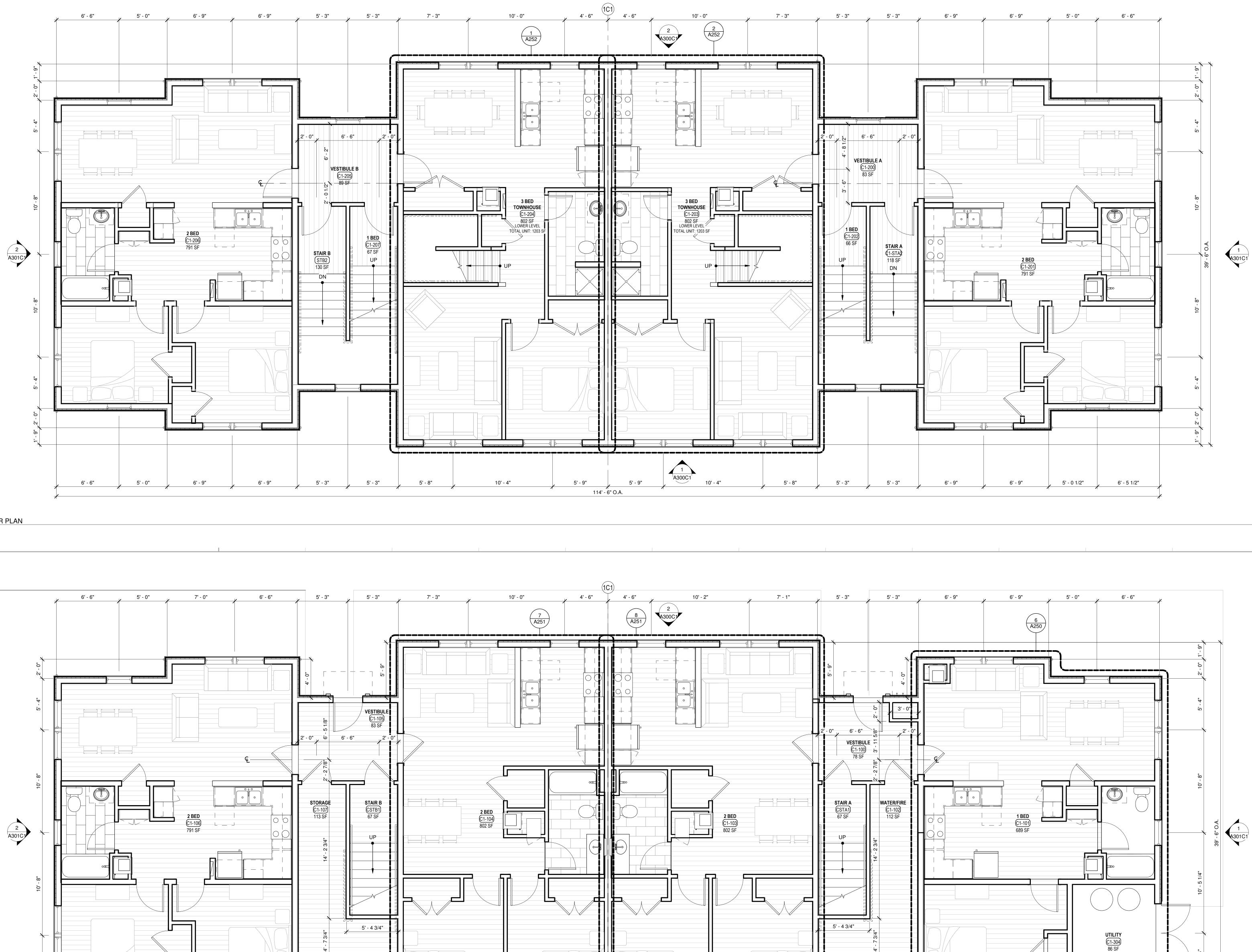
2 BUILDING B3 - ROOF PLAN 1/4" = 1'-0"

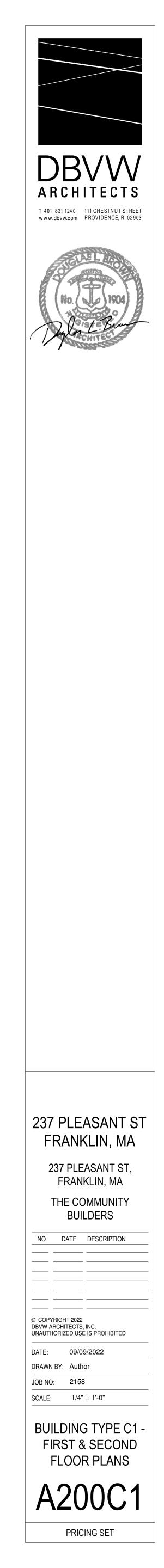






2 BUILDING C1 - SECOND FLOOR PLAN 1/4" = 1'-0"





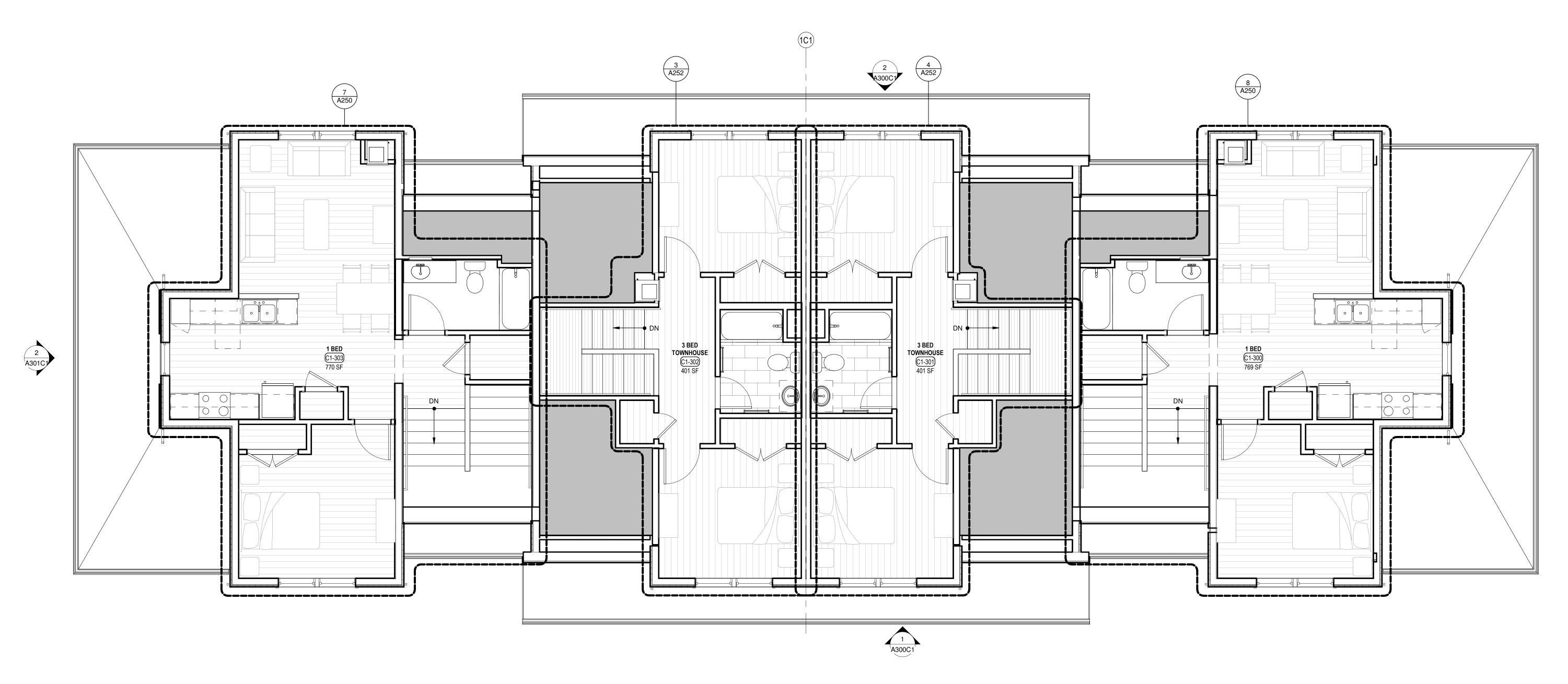
11' - 6"

6' - 9"

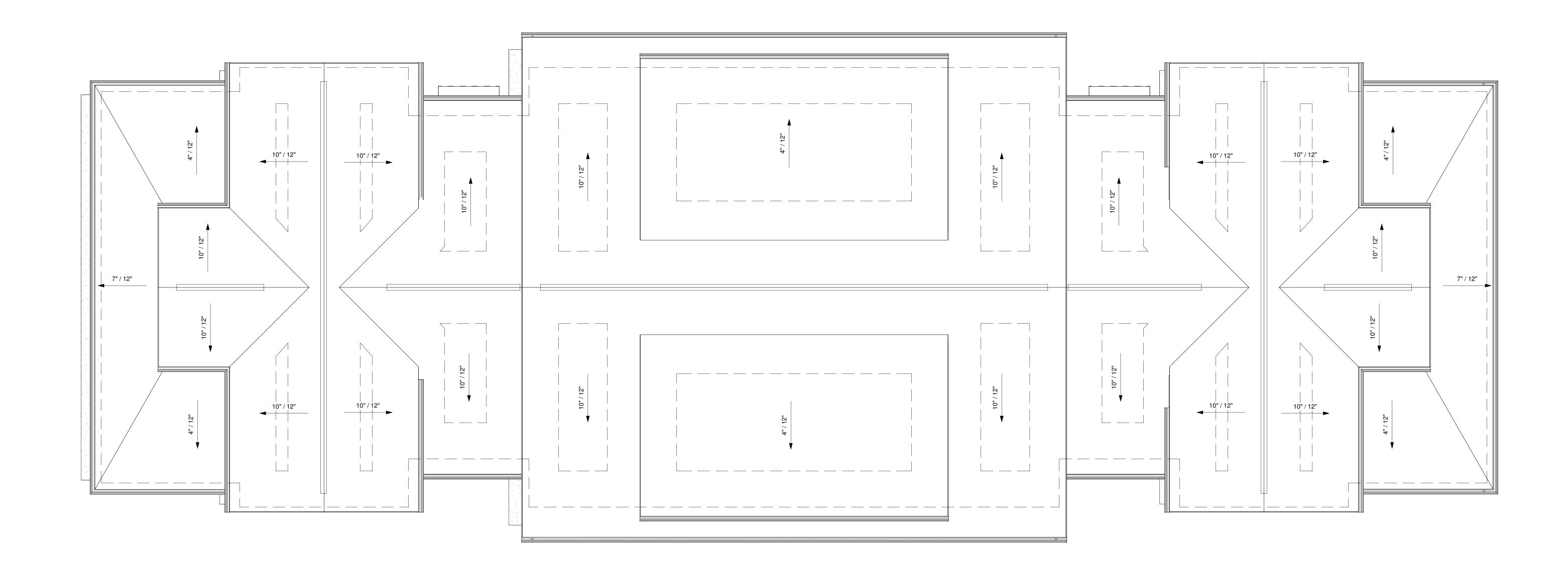
6' - 9"

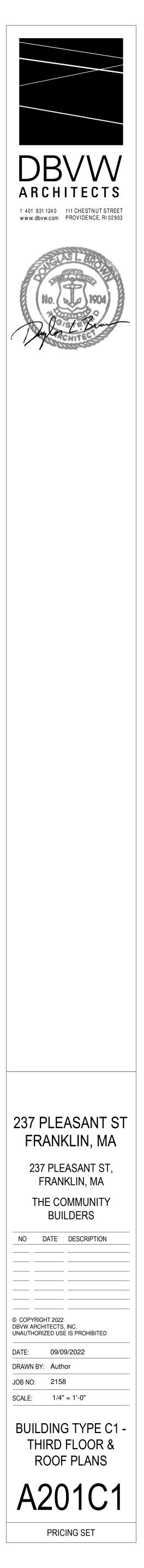
5' - 8"

10' - 6"

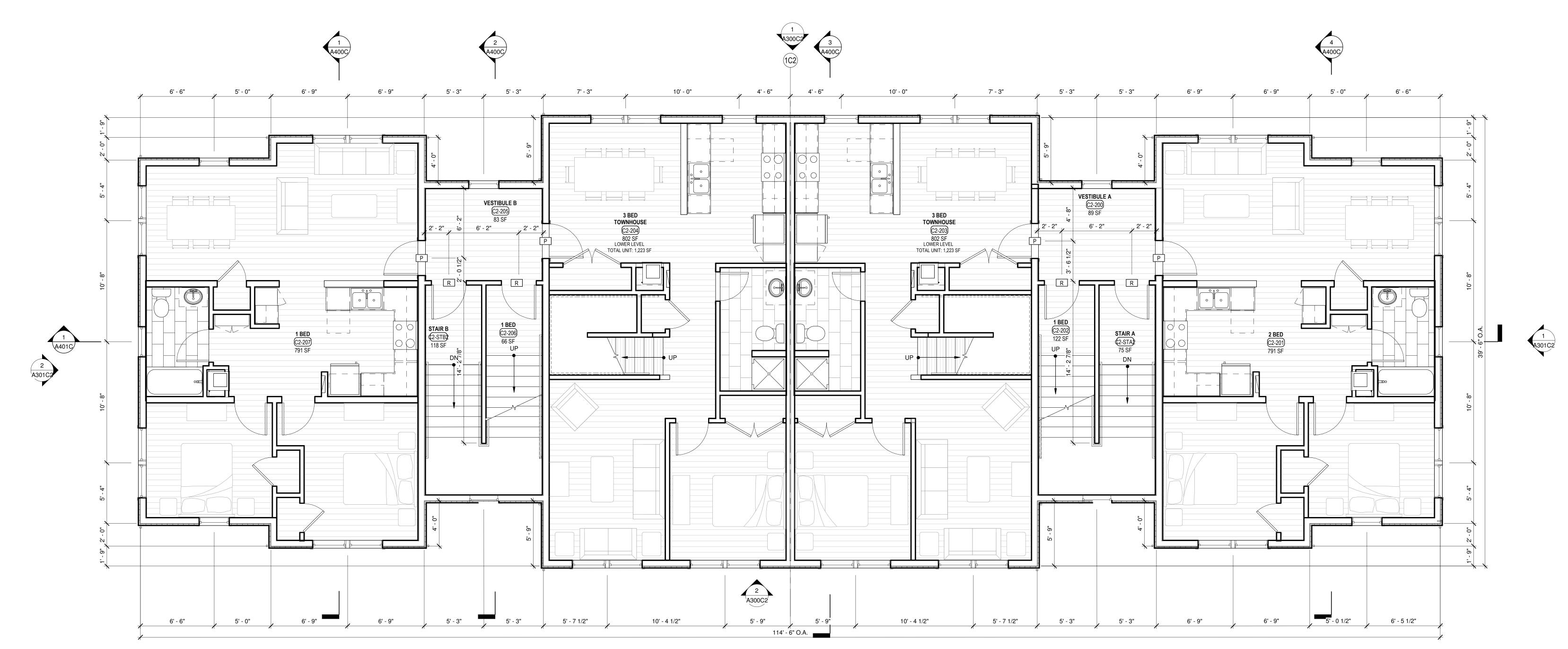


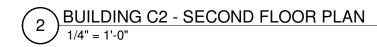
2 BUILDING C1 - ROOF PLAN 1/4" = 1'-0"

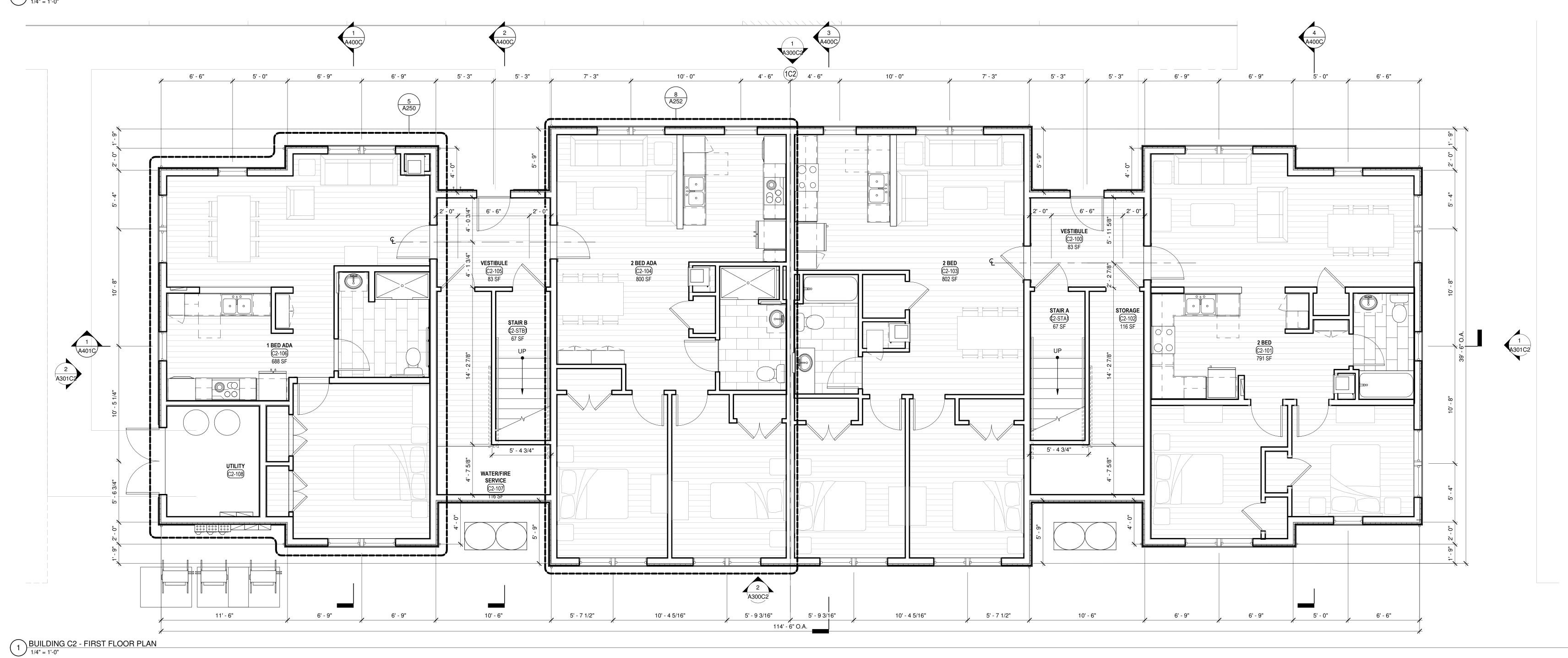


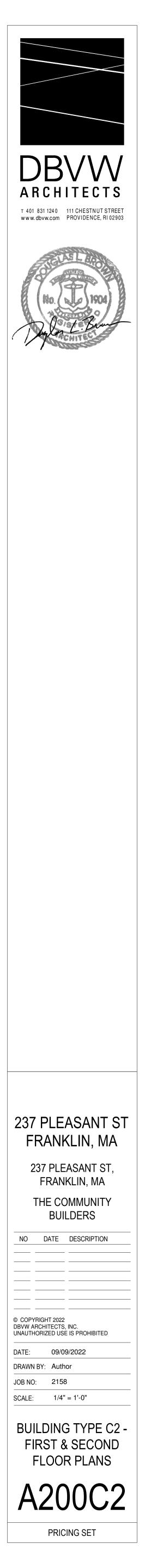


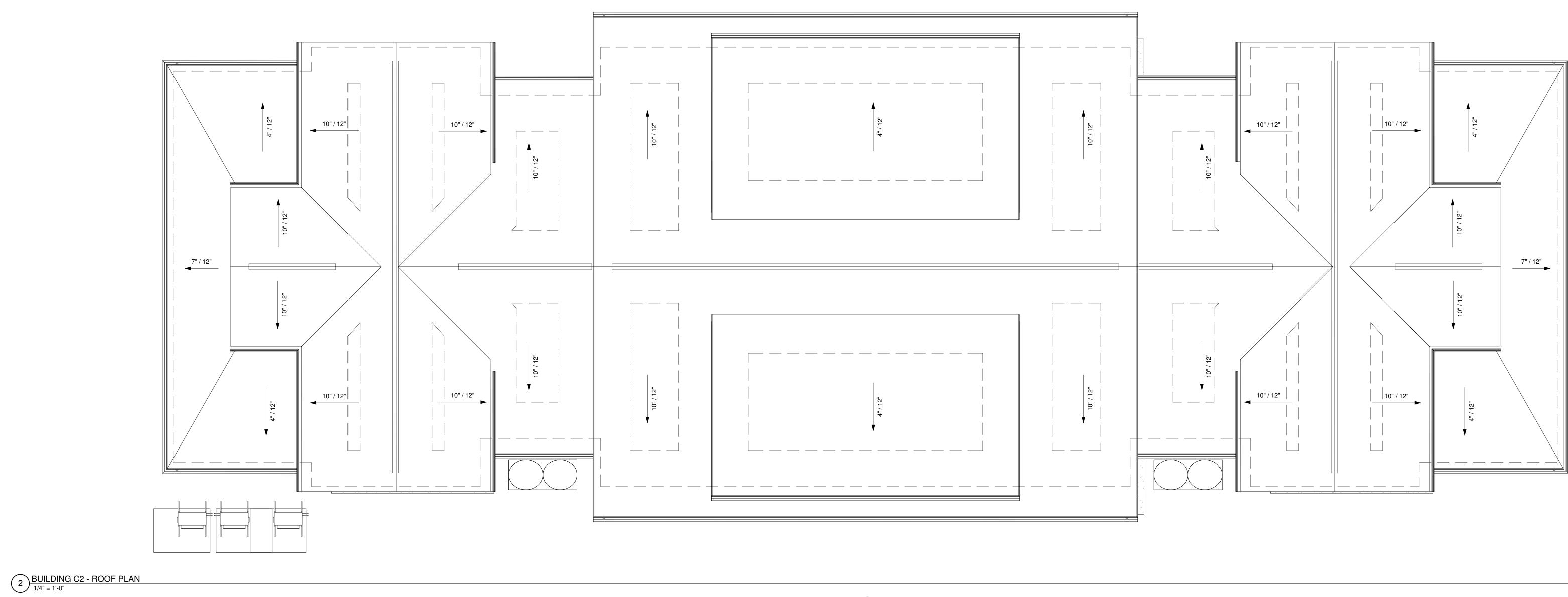
1 A301C



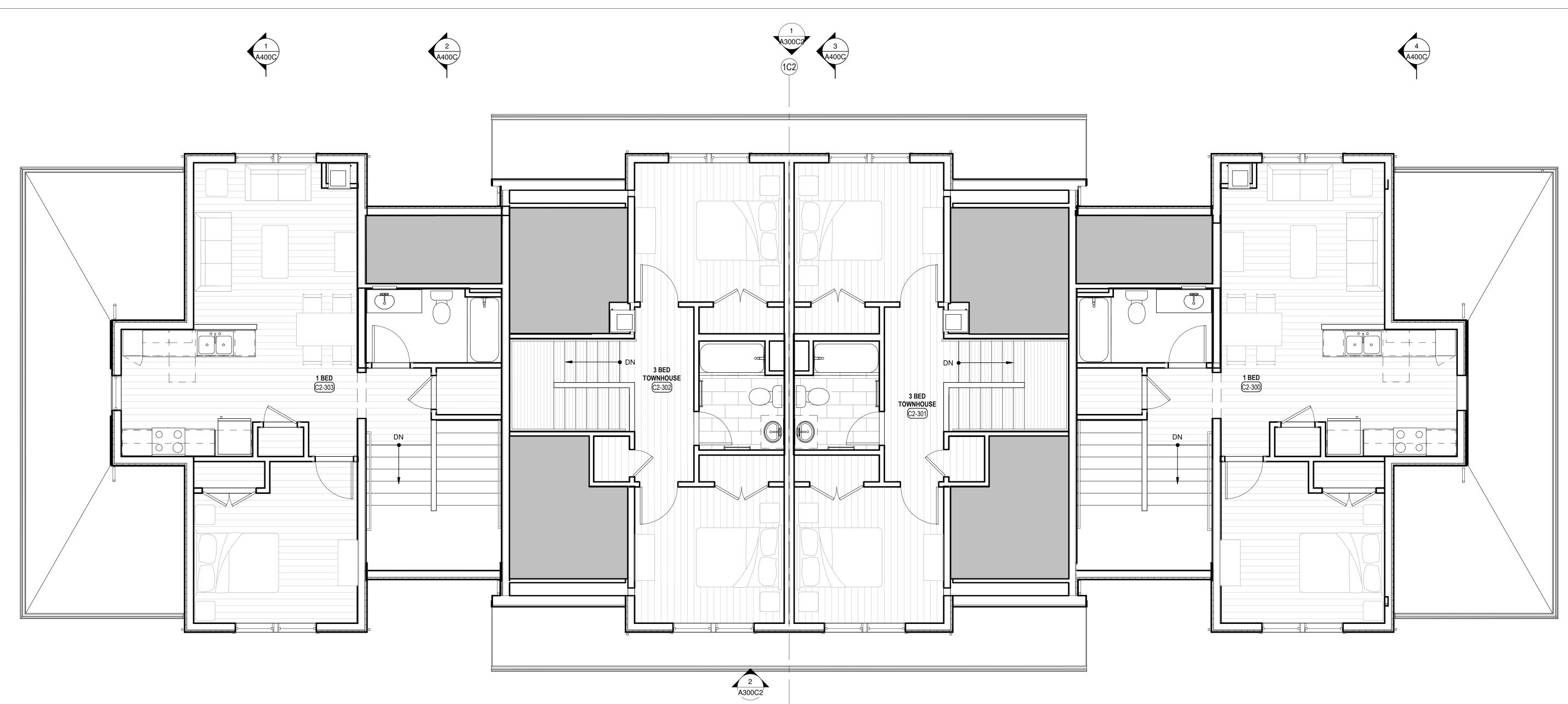


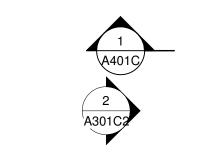




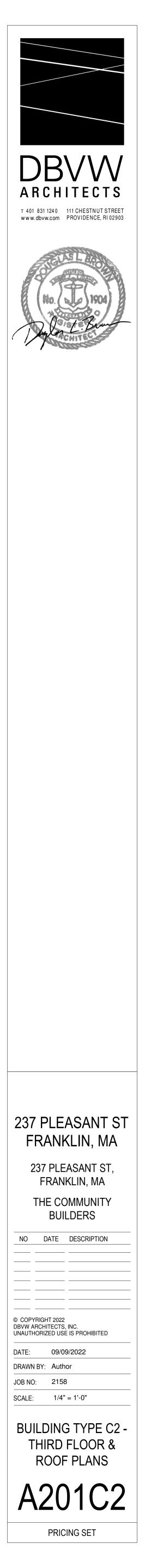


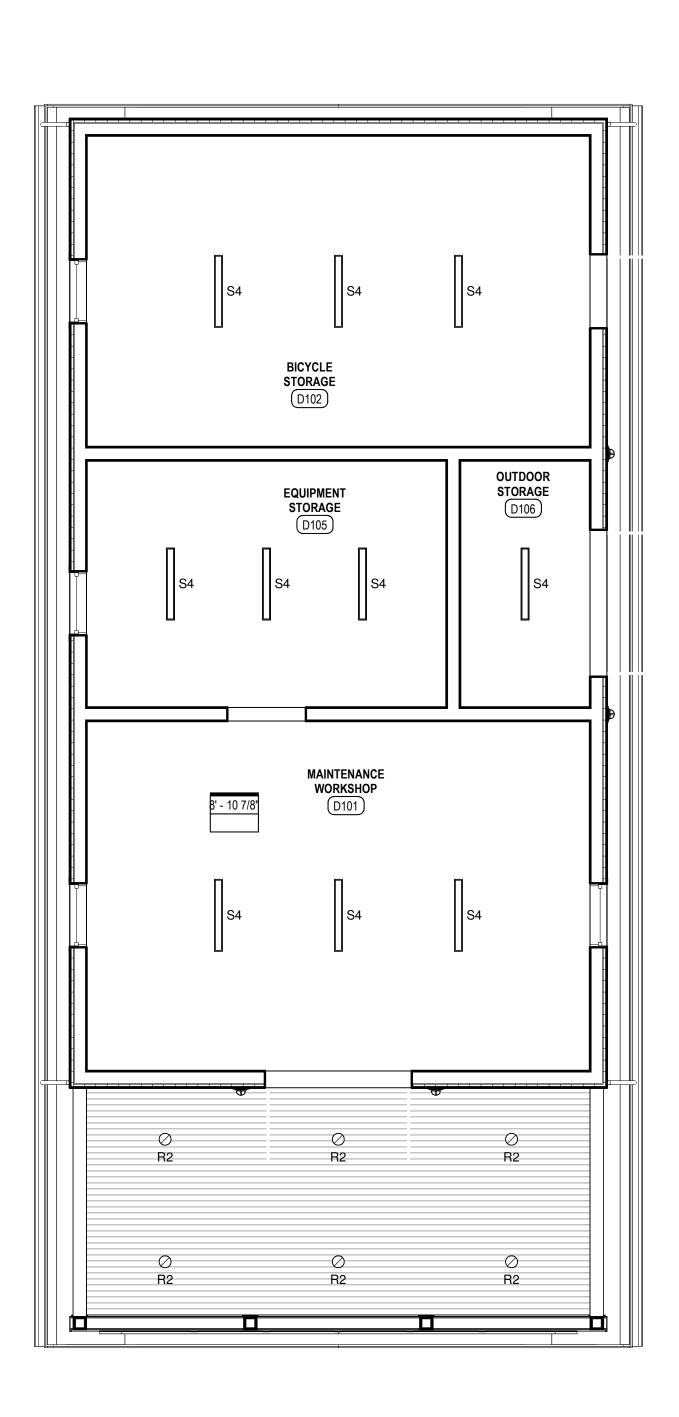


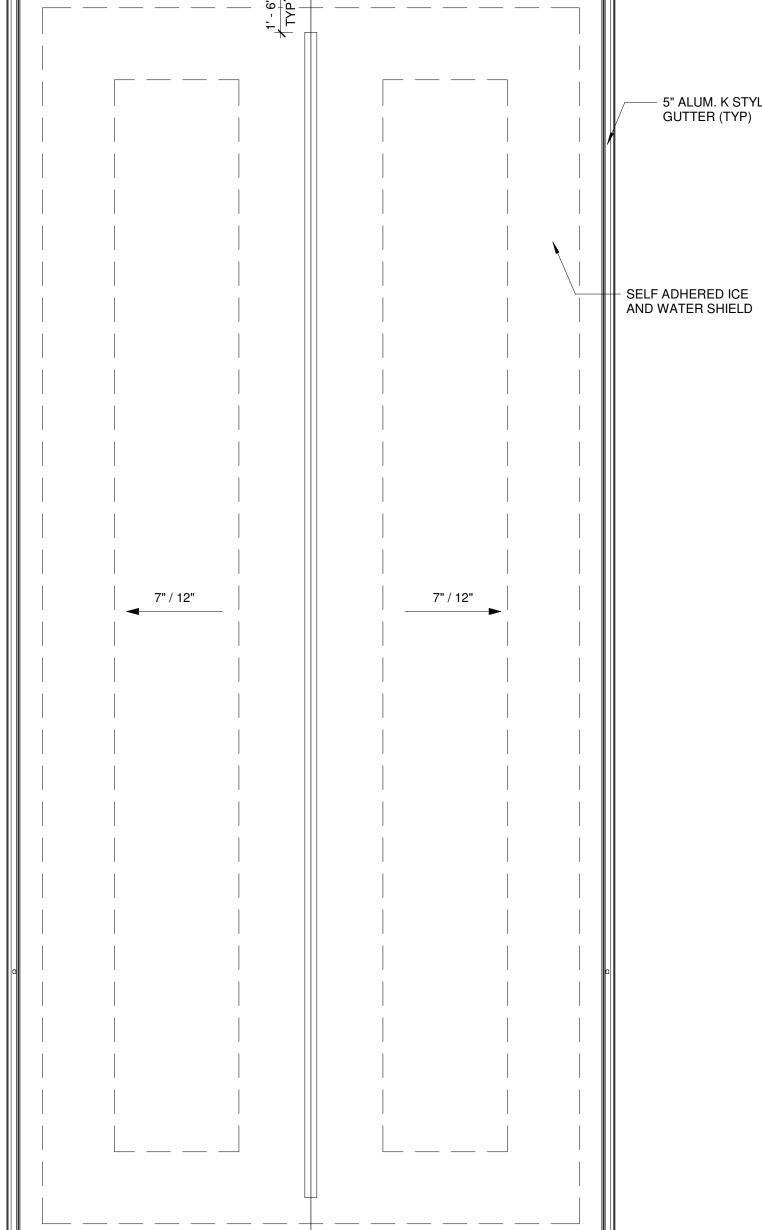


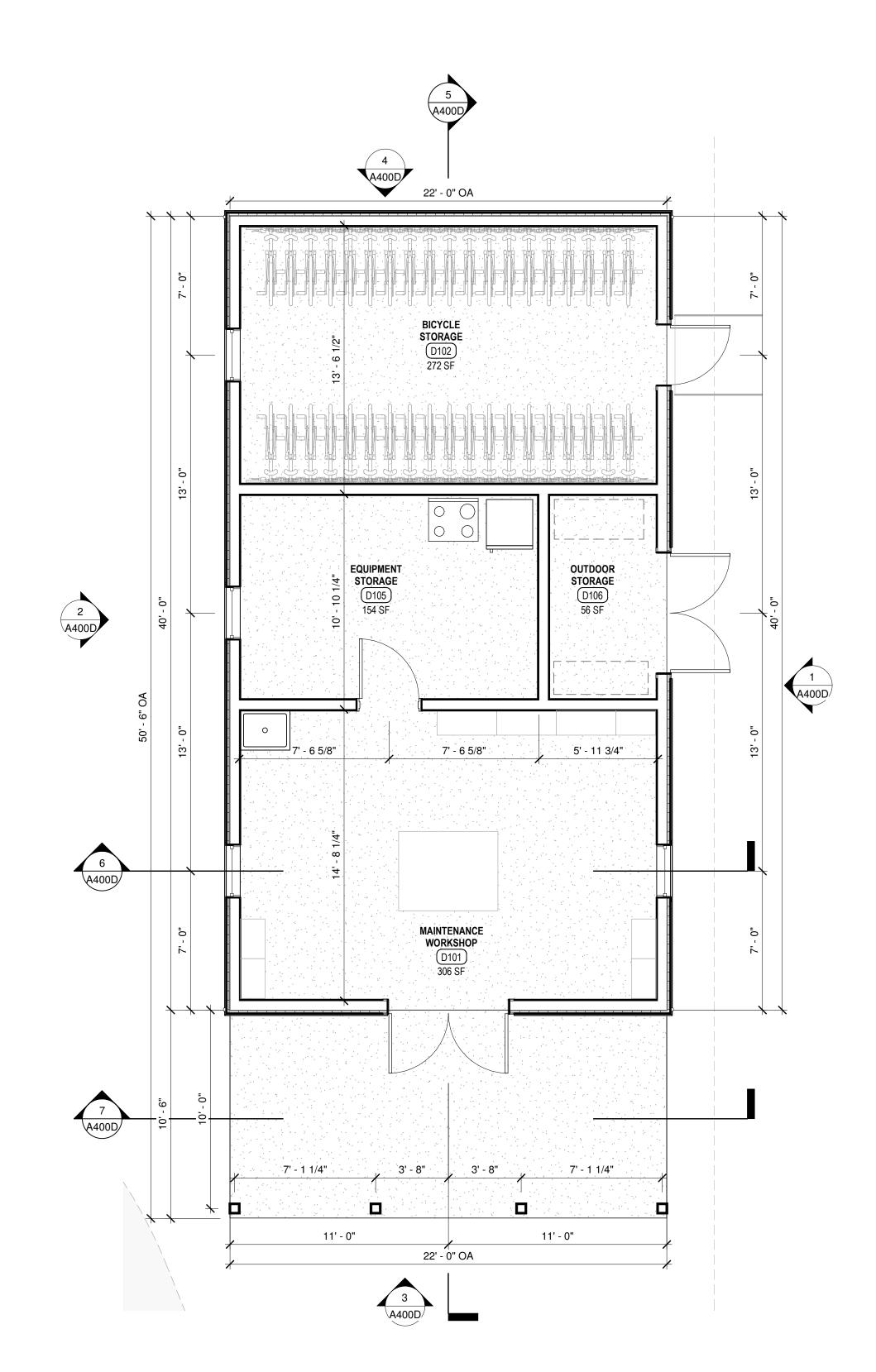


1 4301C2

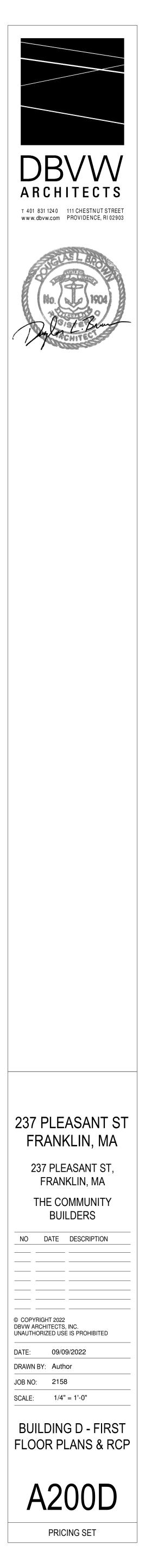




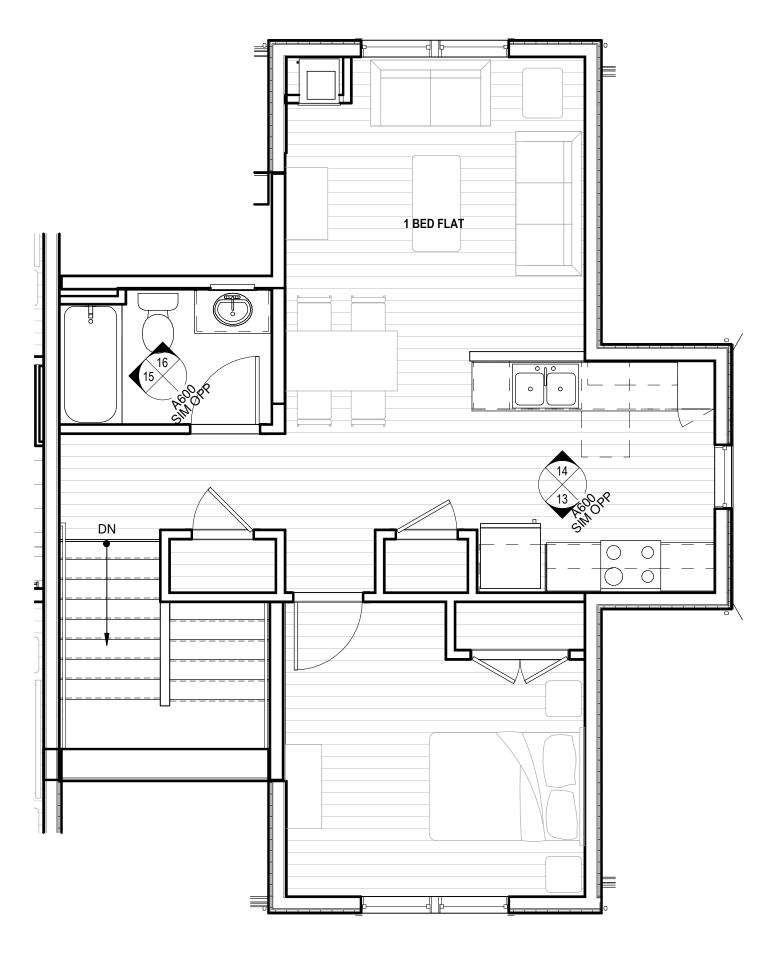




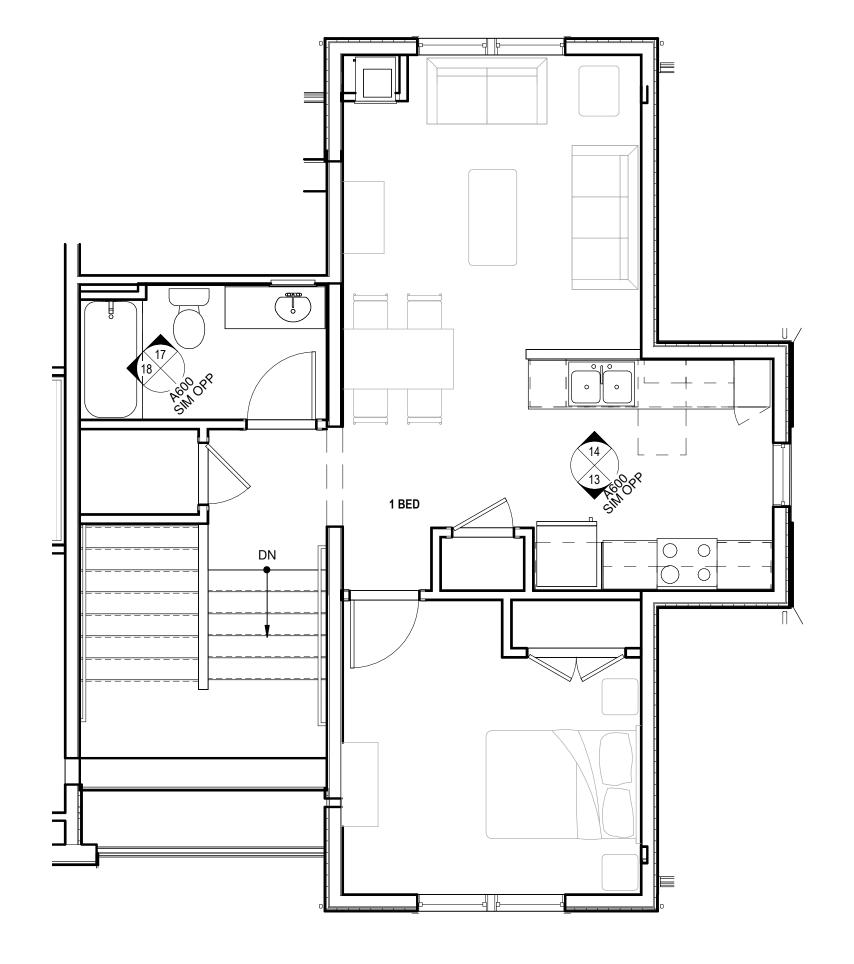
— 5" ALUM. K STYLE GUTTER (TYP)



4 TYPICAL 1 BED - UPPER FLOOR (MIRROR) 1/4" = 1'-0"



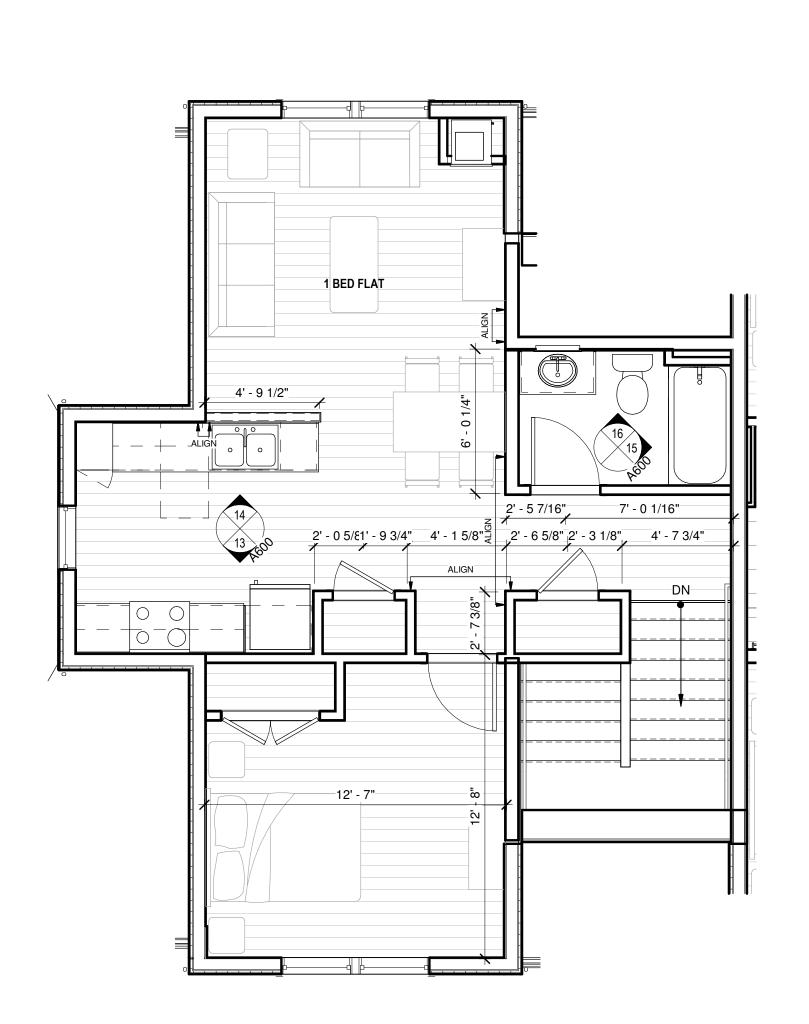
8 <u>1 BED - UPPER FLOOR BLD C1-2 (MIRROR)</u> 1/4" = 1'-0"



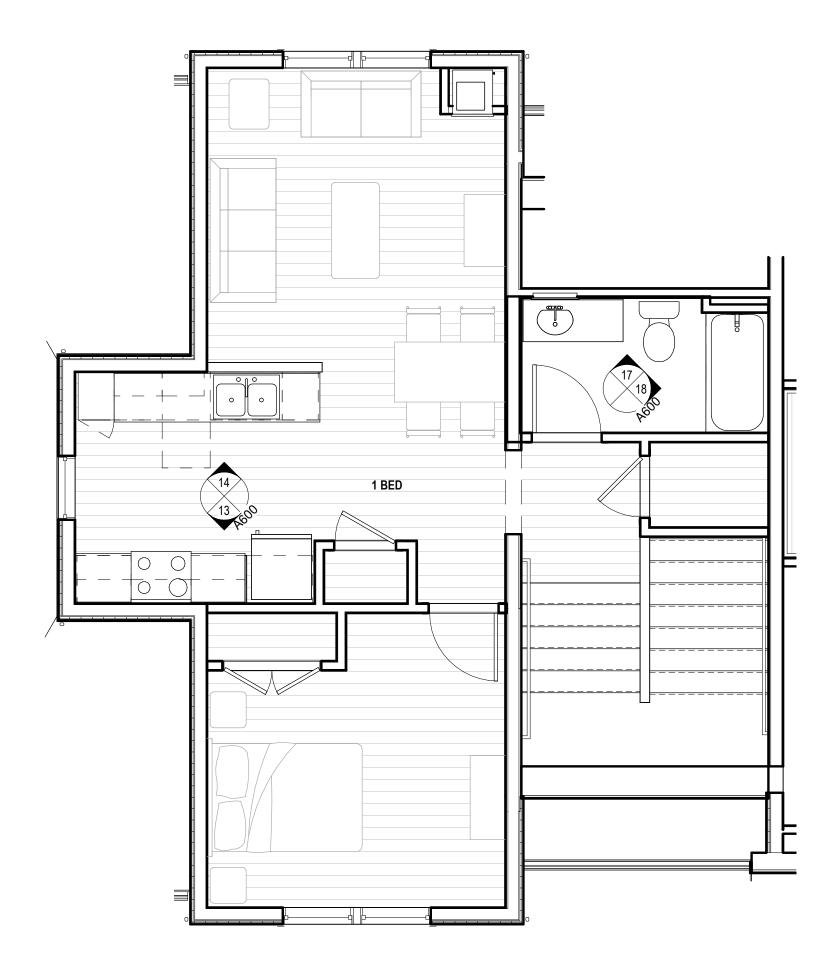


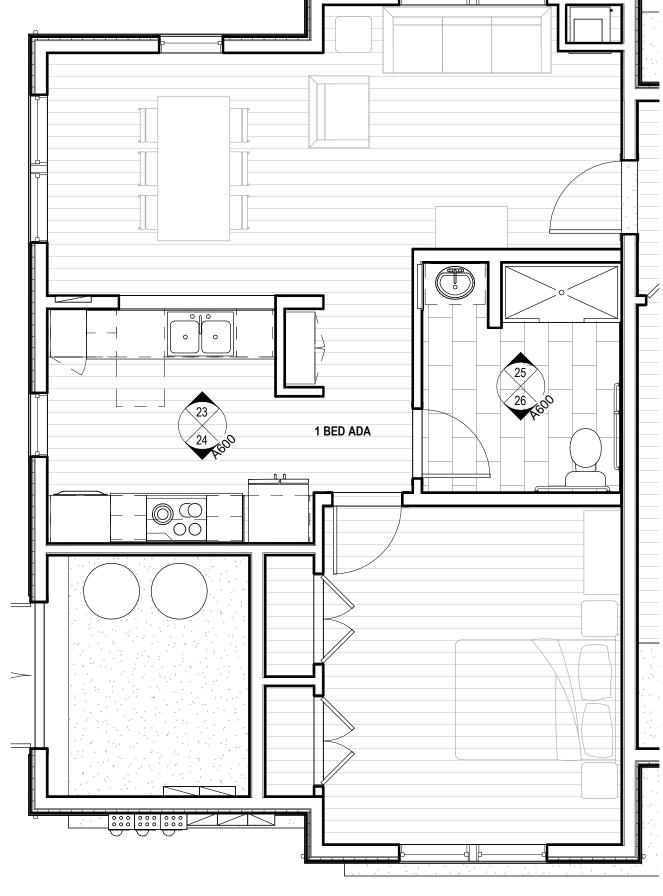
5 <u>1 BED ADA FLAT / UTILITY</u> 1/4" = 1'-0"

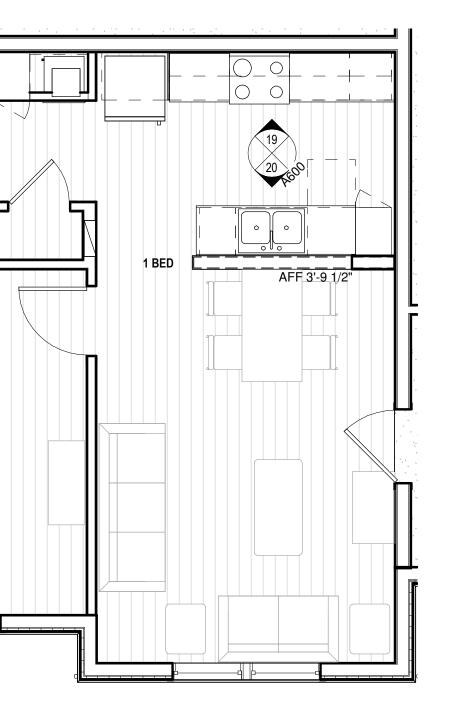
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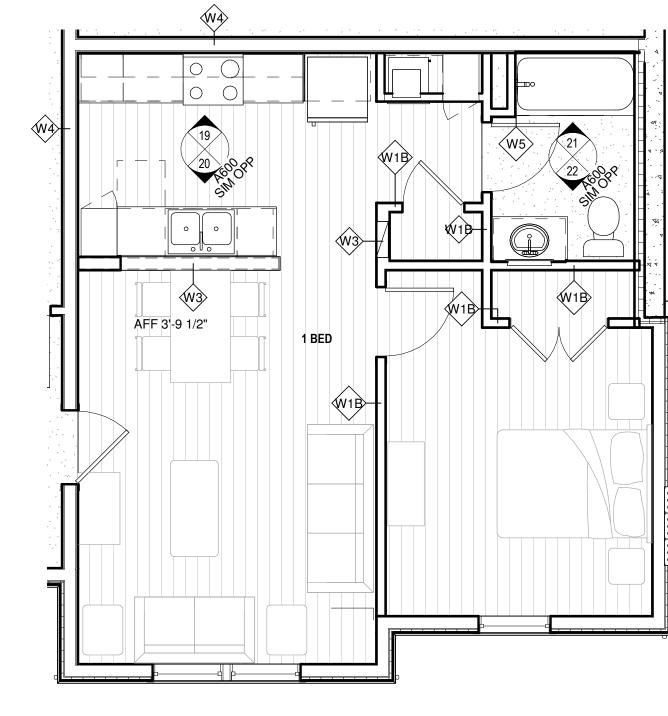


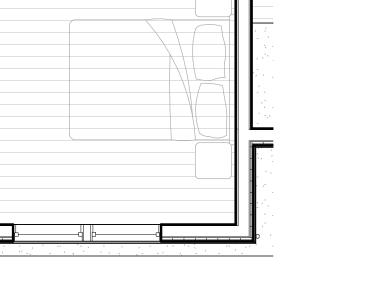




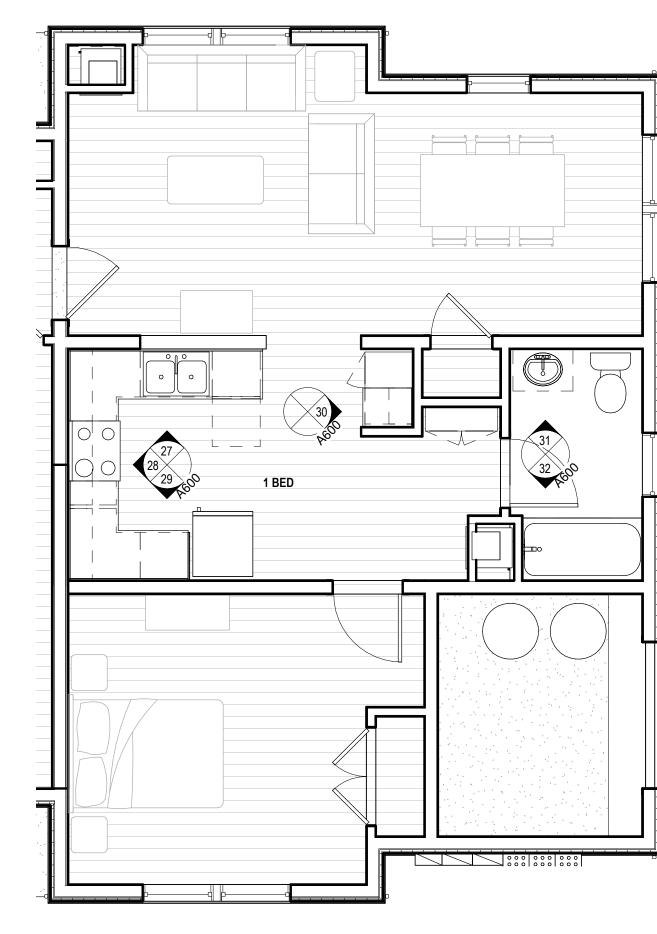


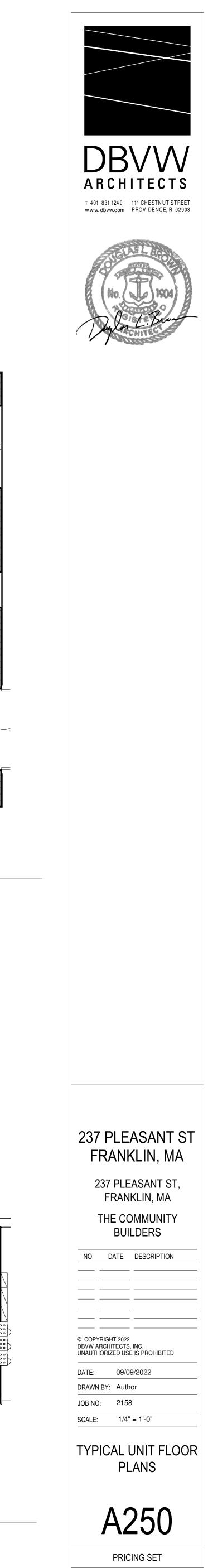






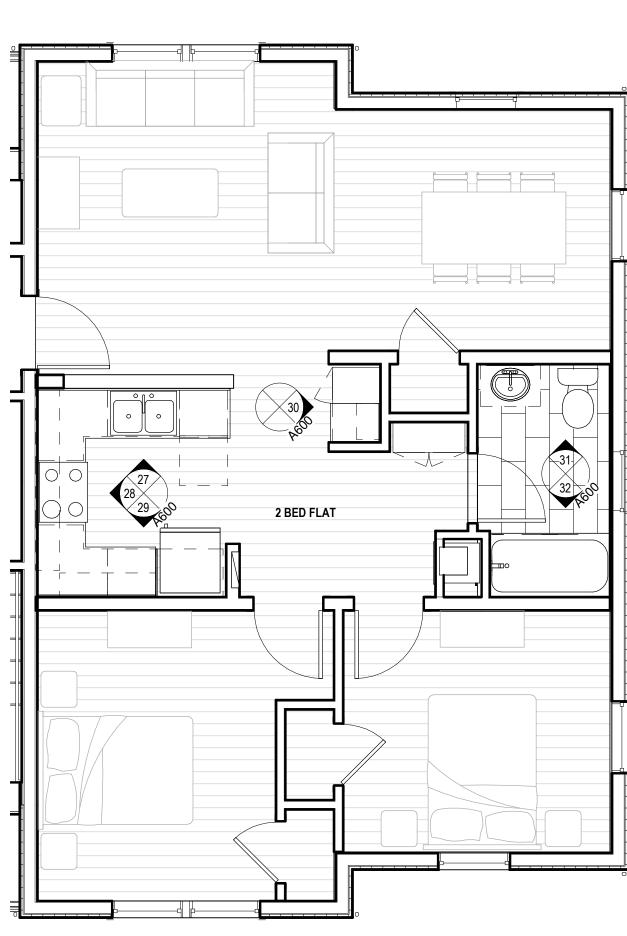
6 <u>1 BED FLAT / UTILITY</u> 1/4" = 1'-0"

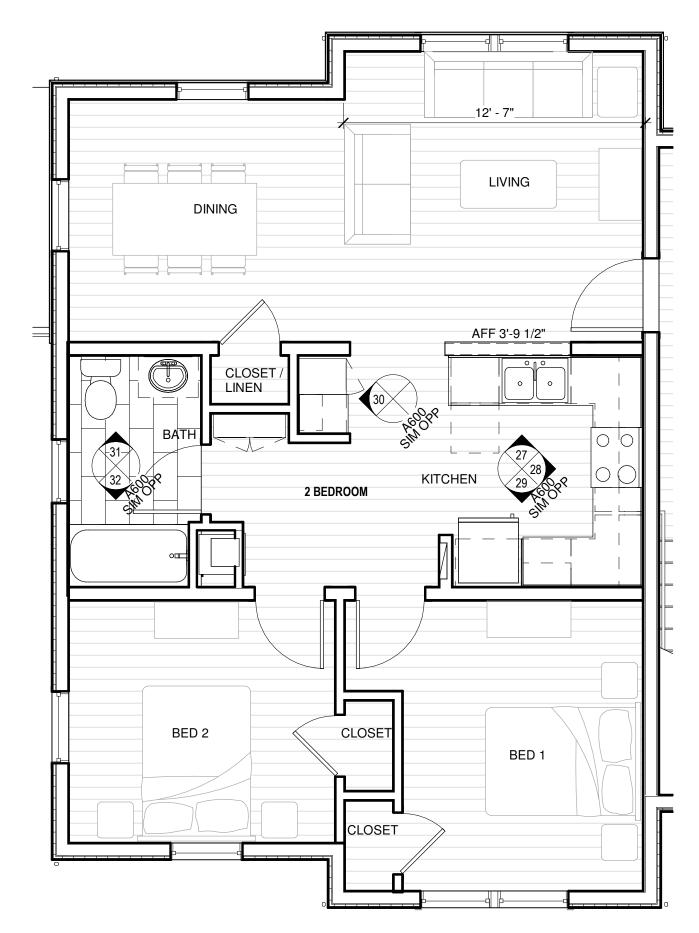




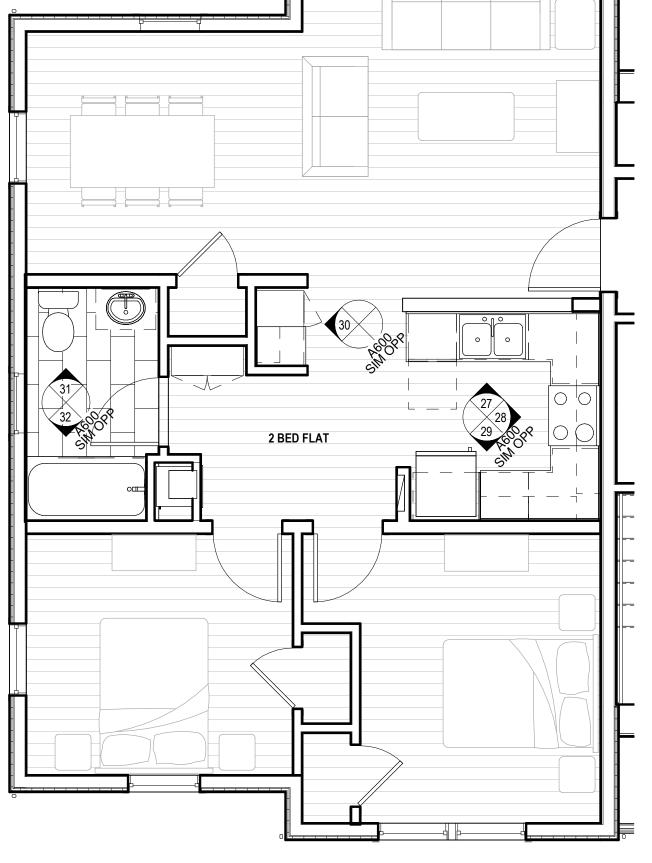
(11) 2 BED - UPPER FLOOR BLD B1 1/4" = 1'-0"

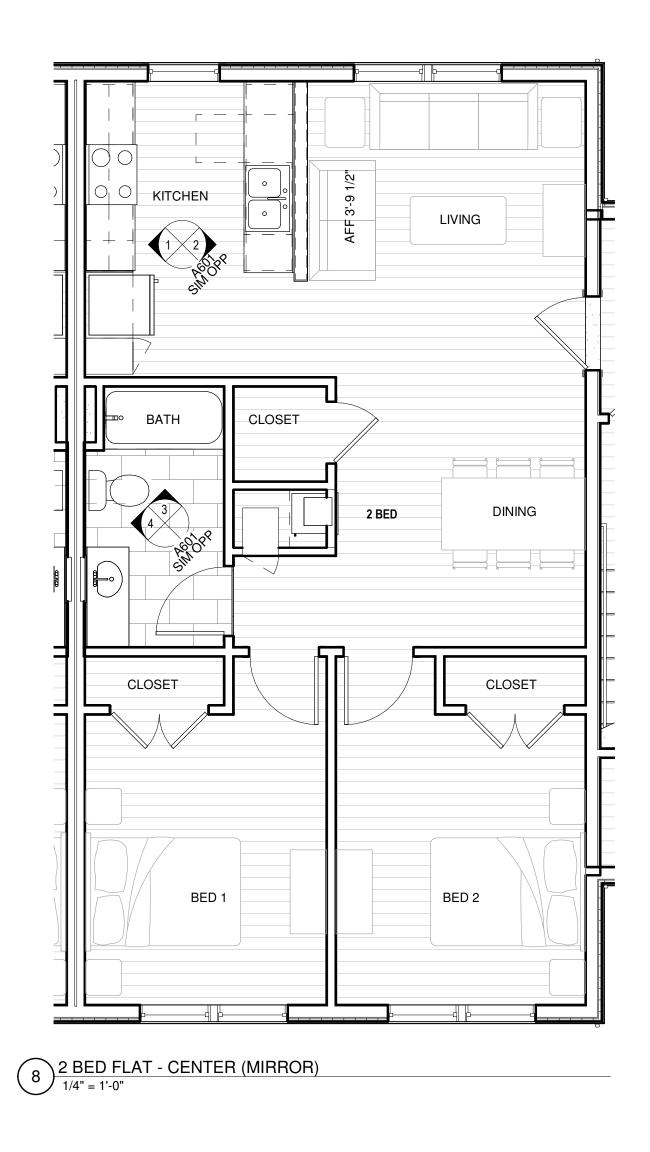
5 <u>TYPICAL 2 BED FLAT</u> 1/4" = 1'-0"

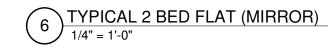


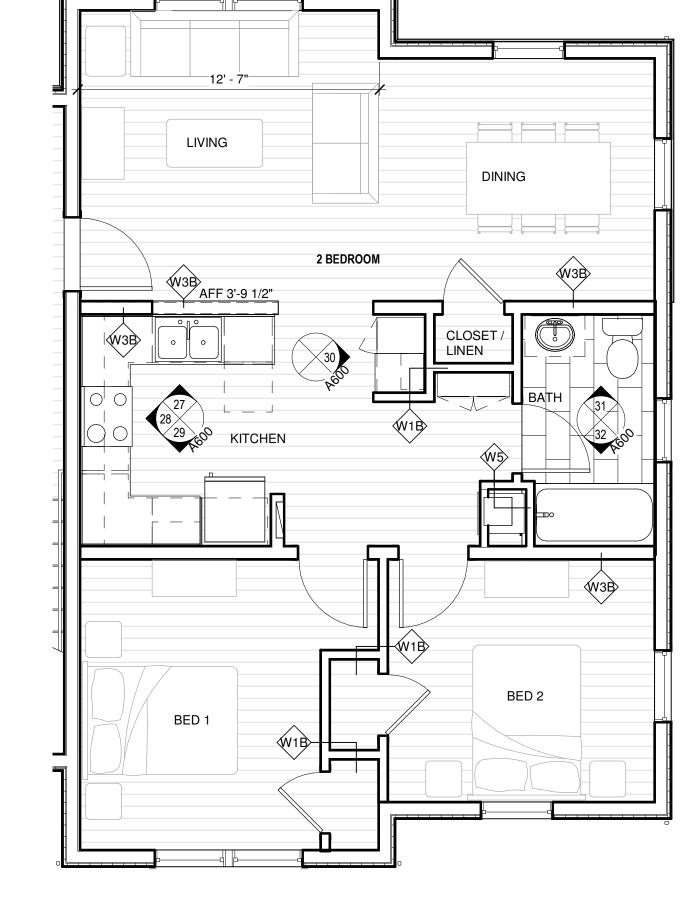




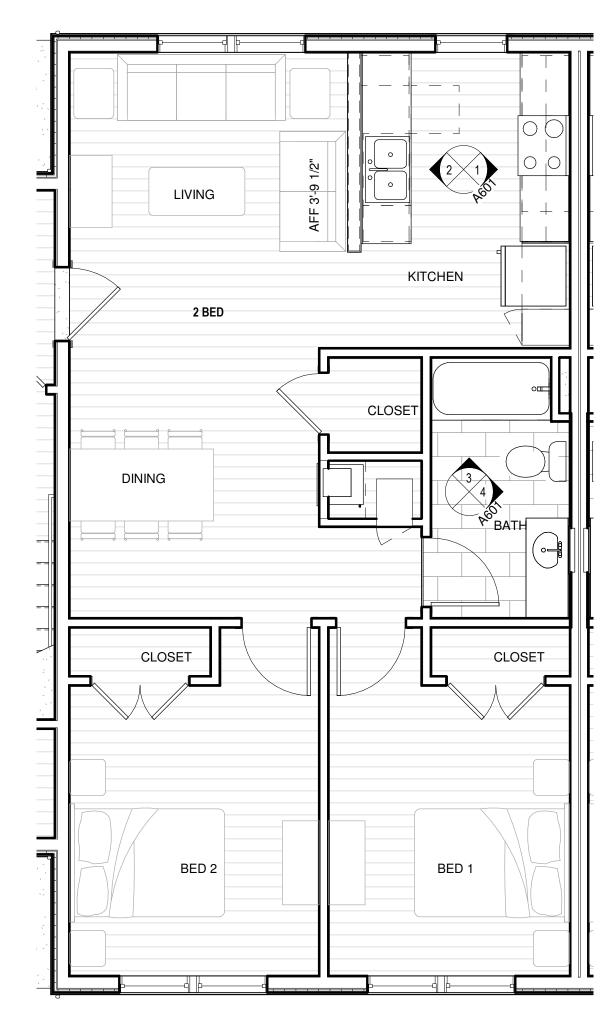


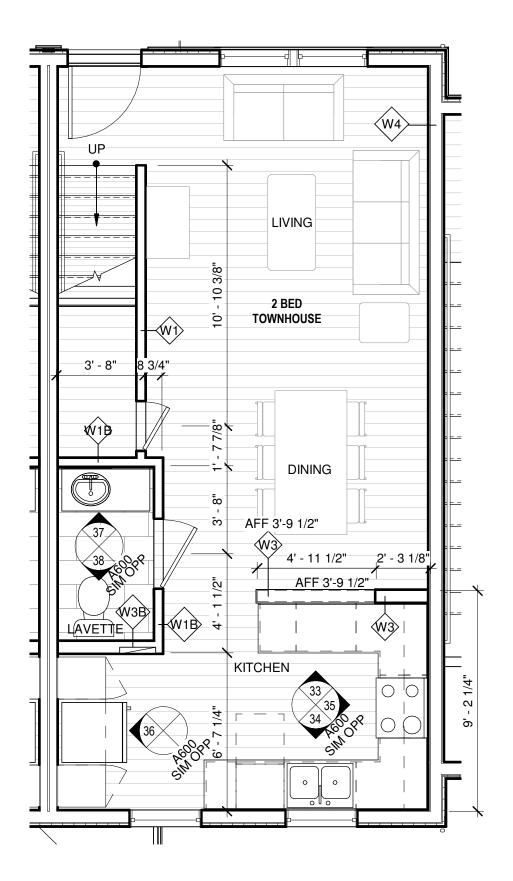




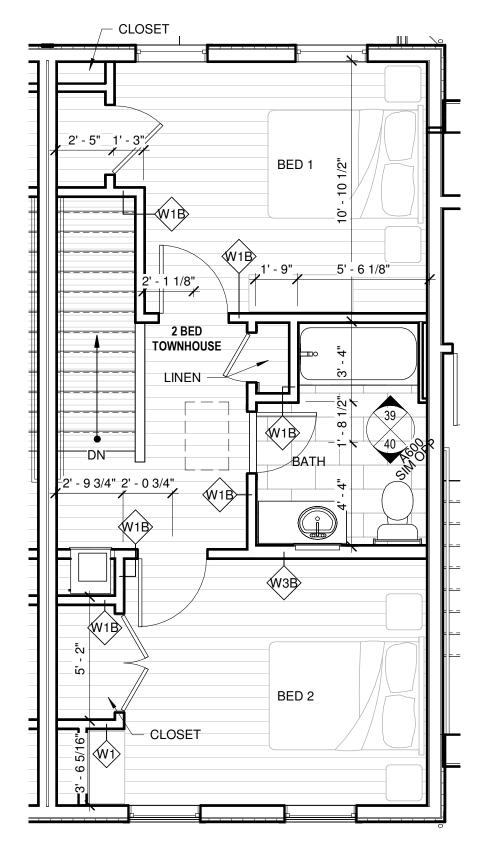


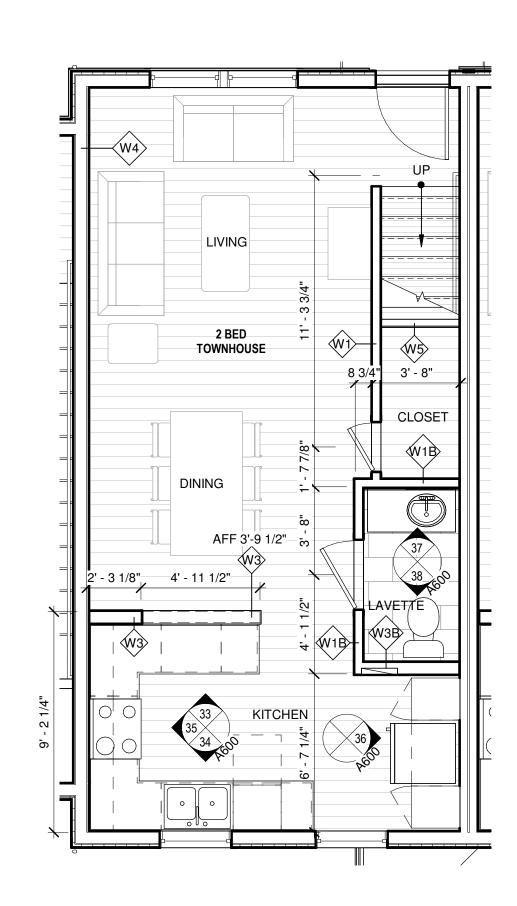
7 2 BED FLAT - CENTER 1/4" = 1'-0"



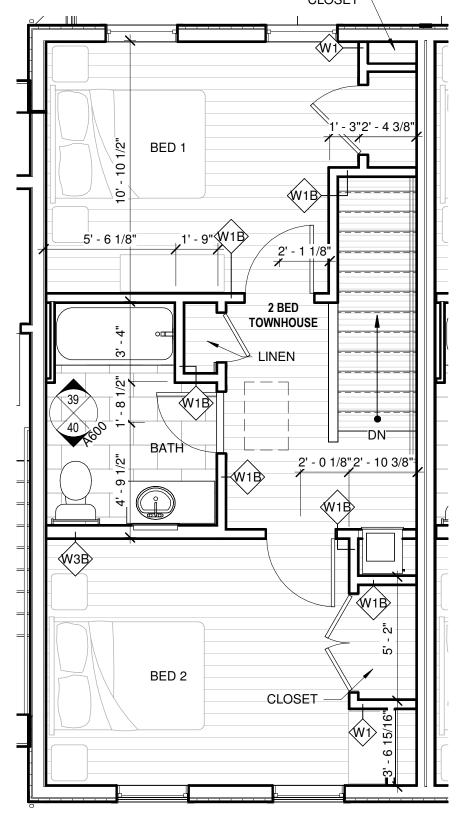


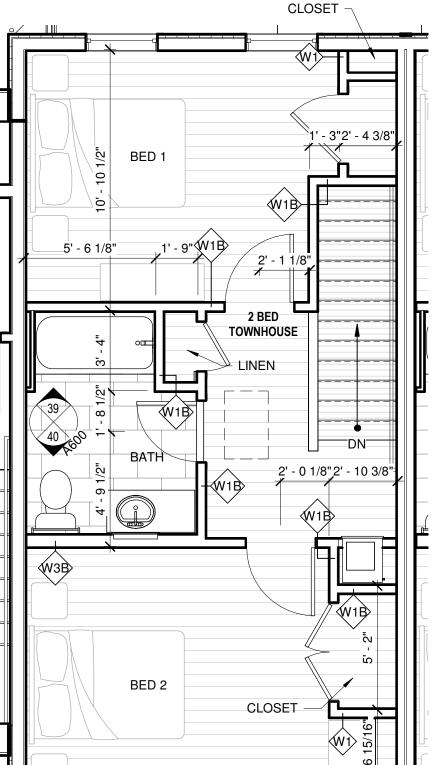




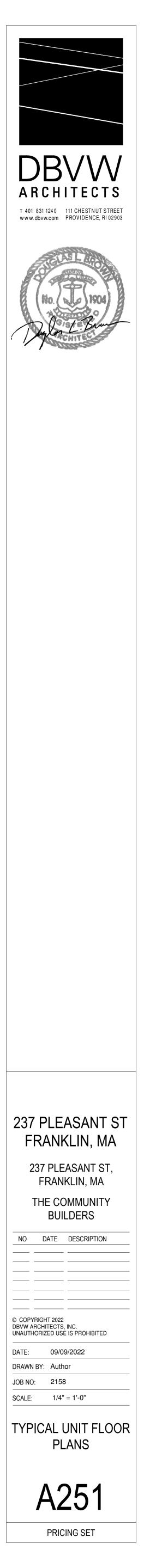


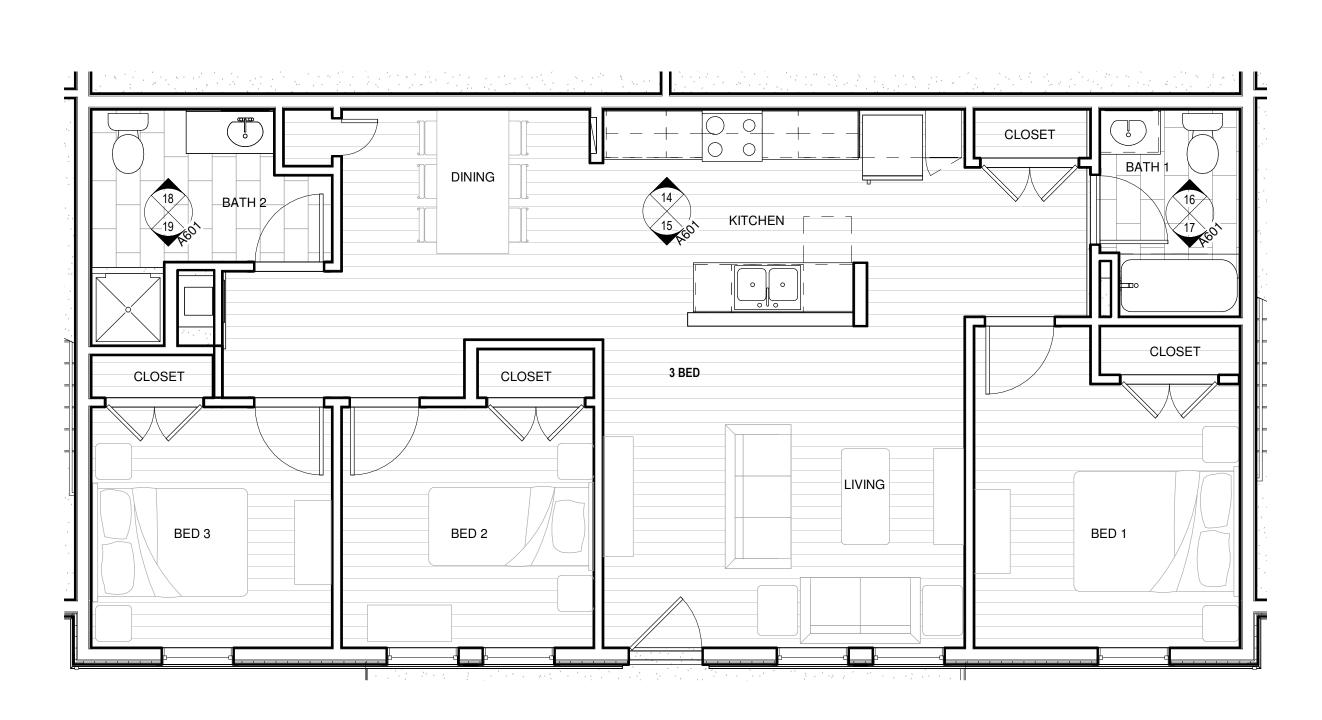
3 TYPICAL 2 BED TOWN - SECOND FLOOR 1/4" = 1'-0"

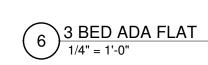


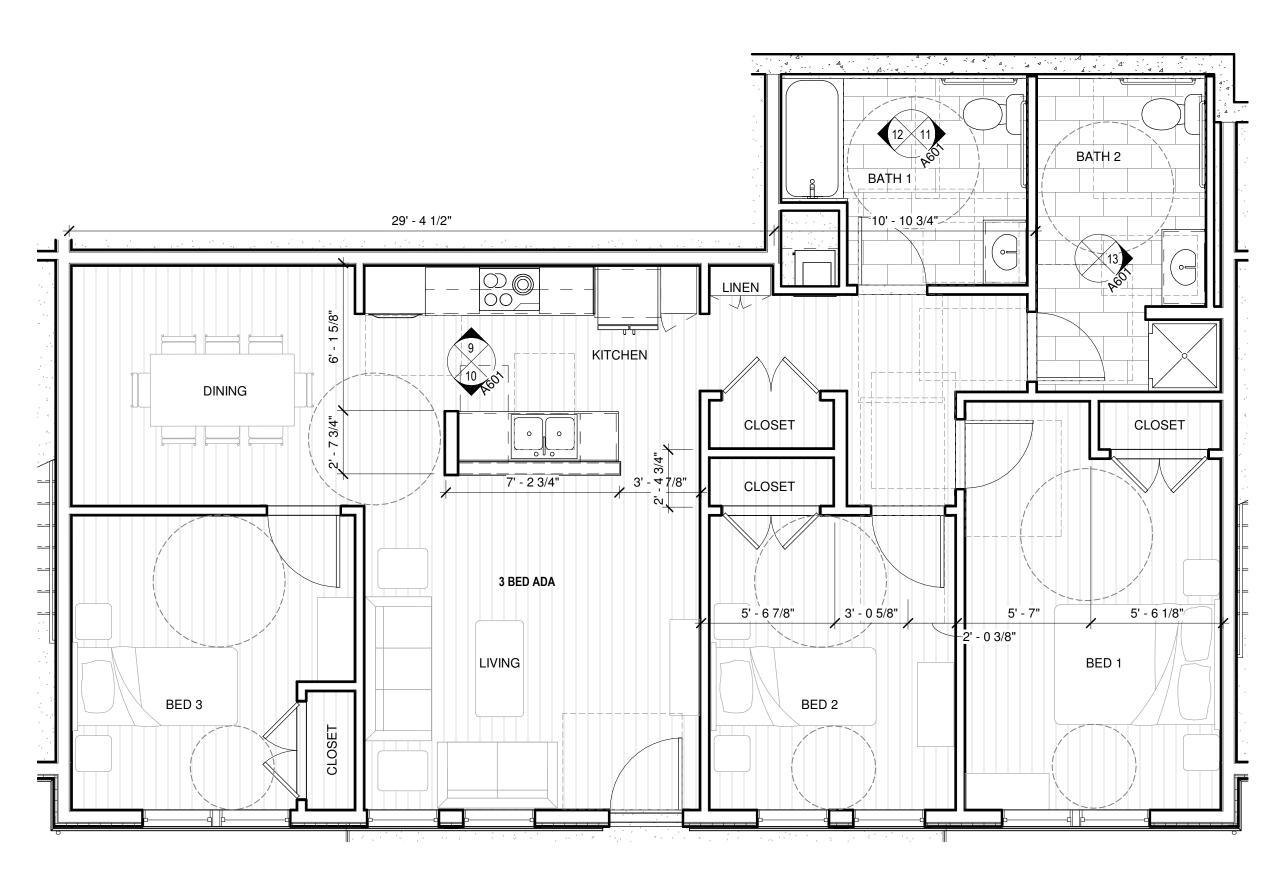


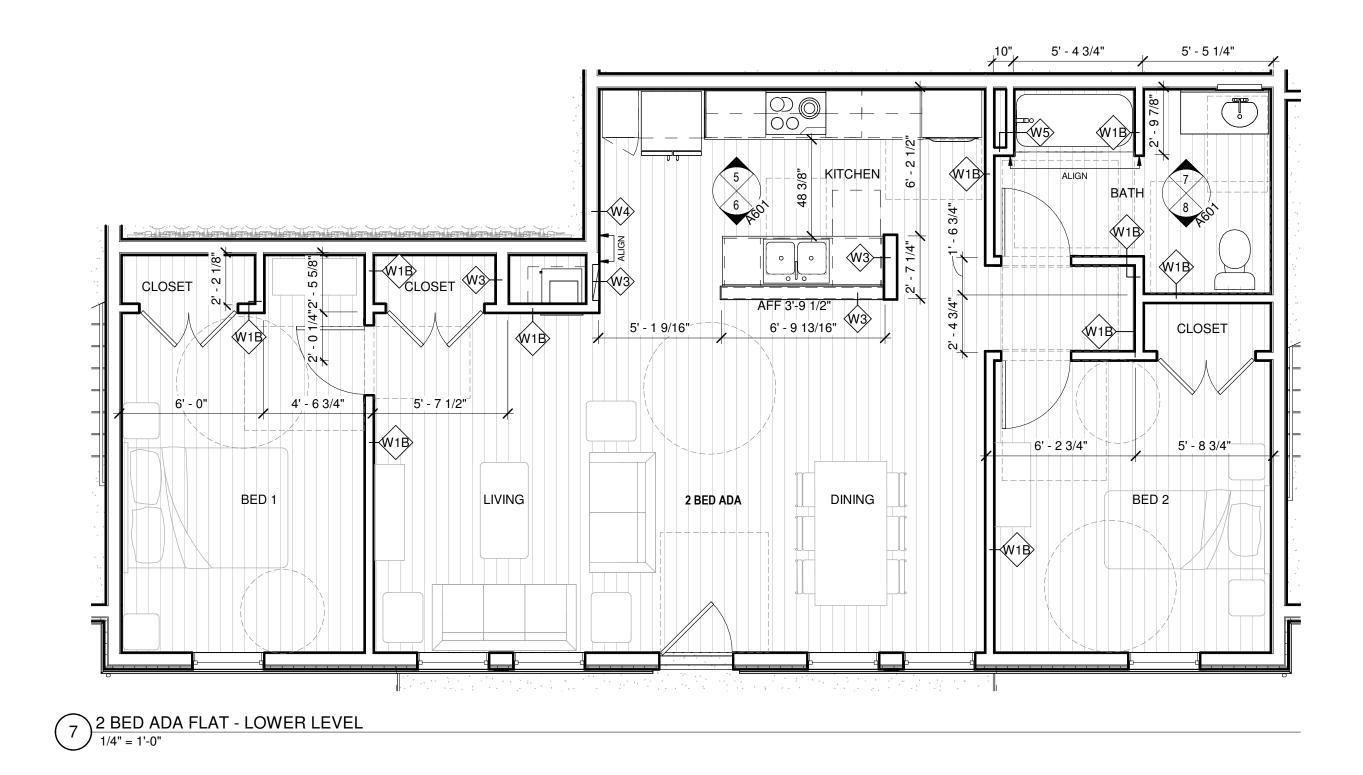


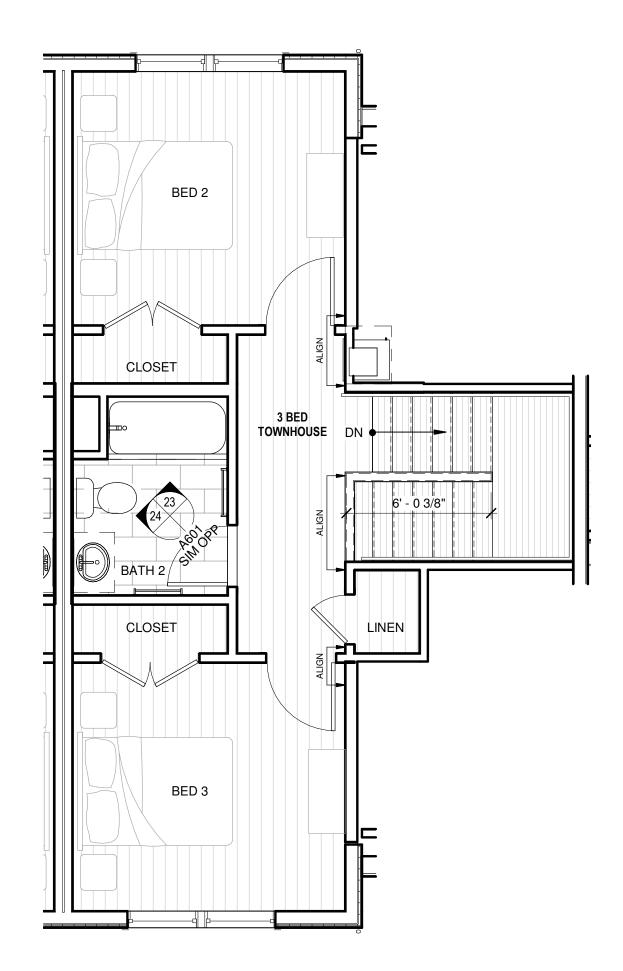




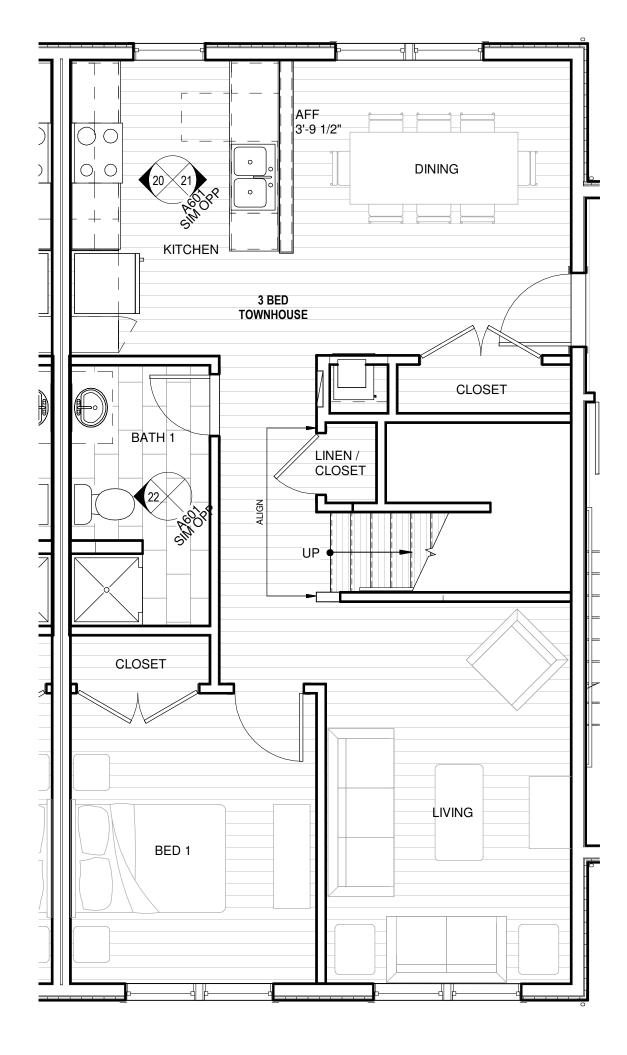


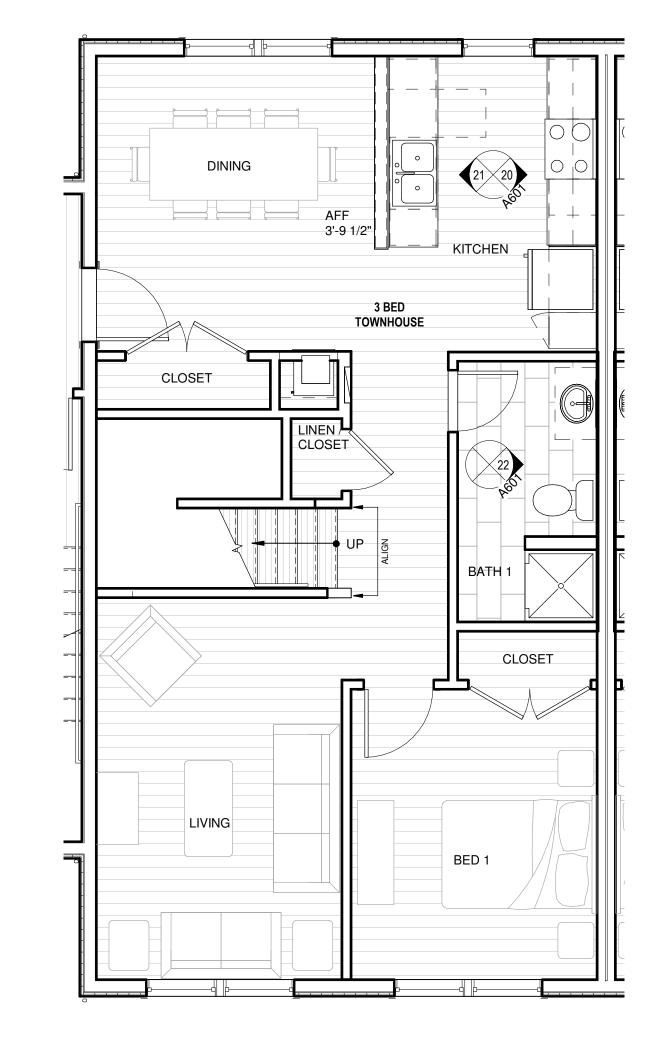




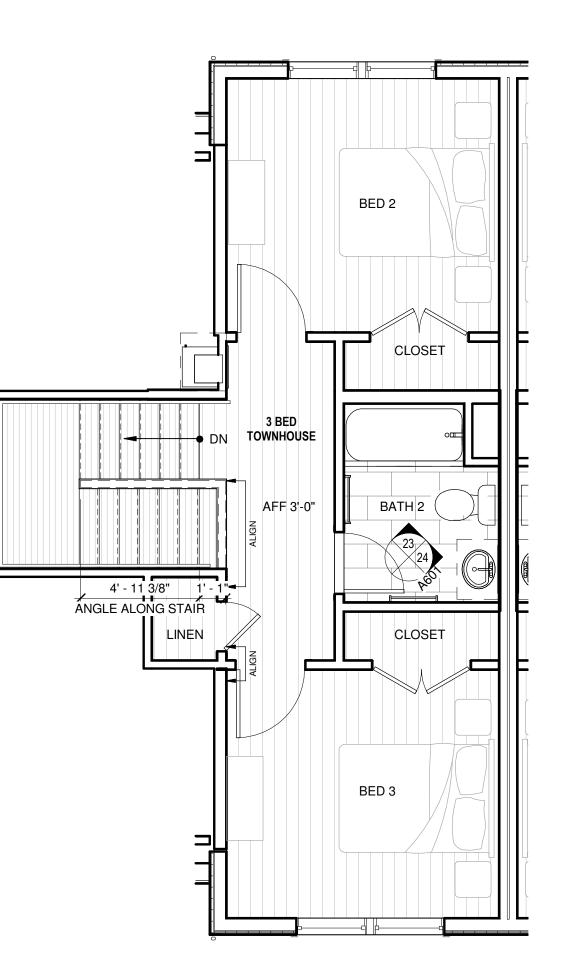




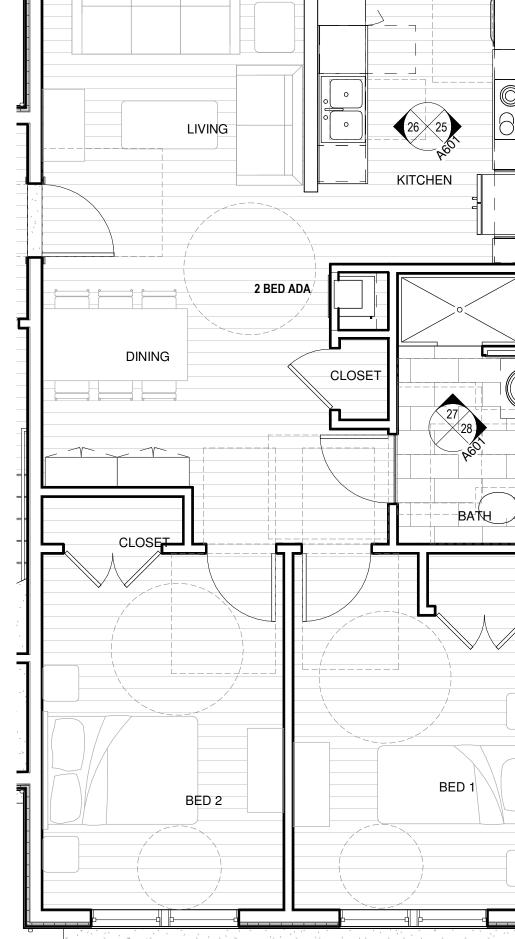




2 TYPICAL 3 BED TOWN - FIRST FLOOR (MIRROR) 1/4" = 1'-0"

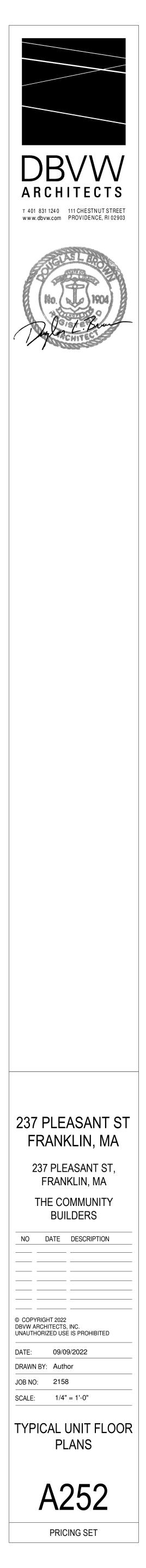


3 TYPICAL 3 BED TOWN - SECOND FLOOR



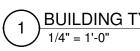
1 TYPICAL 3 BED TOWN - FIRST FLOOR

8 2 BED ADA FLAT 1/4" = 1'-0"







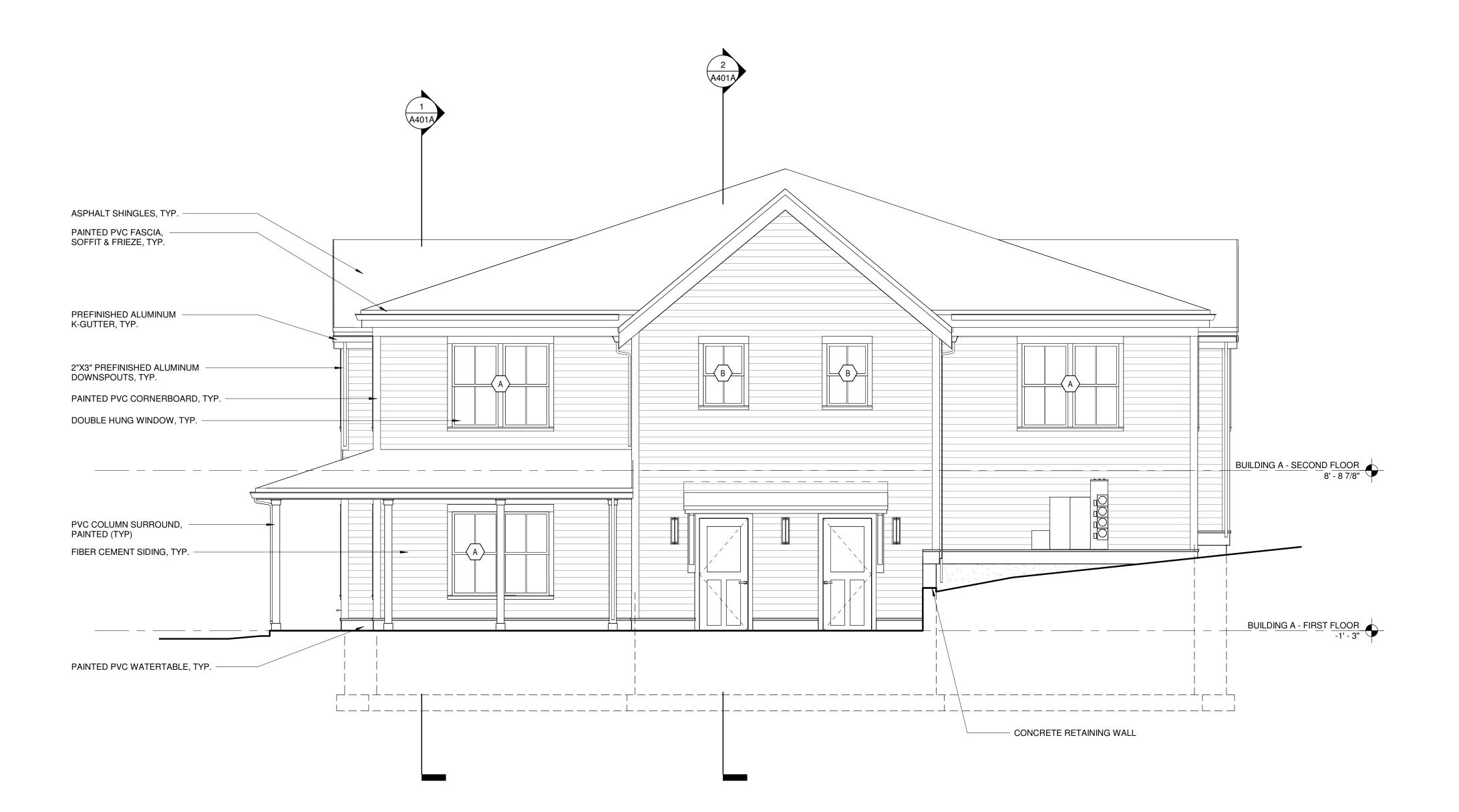


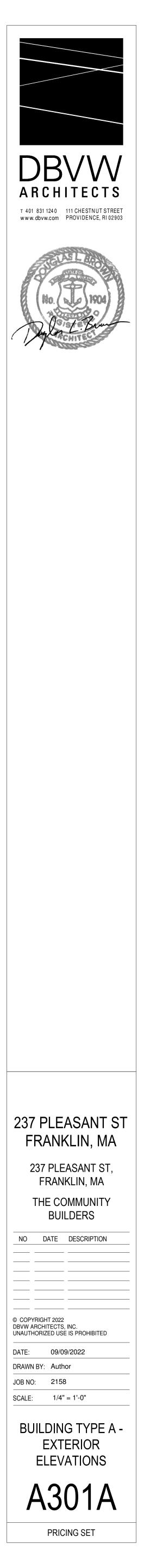


DBVW ARCHITECTS T 401 831 1240 111 CHESTNUT STREET www.dbvw.com PROVIDENCE, RI 02903 237 PLEASANT ST FRANKLIN, MA 237 PLEASANT ST, FRANKLIN, MA THE COMMUNITY BUILDERS BUILDING A - SEC NO DATE DESCRIPTION \_\_\_\_ \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_ \_\_\_\_\_ © GOPYRIGHT 2022 DBVW ARCHITECTS, INC. UNAUTHORIZED USE IS PR BUILDING A - I DATE:\_\_\_\_09/09/202 DRAWN BY: Author JOB NO: 2158 SCALE: 1/4" = 1'-0" BUILDING TYPE A -EXTERIOR ELEVATIONS A300A PRICING SET



2 BUILDING TYPE A - WEST ELEVATION 1/4" = 1'-0"







## 2 BUILDING TYPE B1 - SOUTH ELEVATION 1/4" = 1'-0"

	1 A400B	
ASPHALT SHINGLES, TYP		
PAINTED PVC FASCIA, SOFFIT & FRIEZE, TYP. PREFINISHED ALUMINUM K-GUTTER, TYP.		
2"X3" PREFINISHED ALUMINUM DOWNSPOUTS, TYP. PAINTED PVC CORNERBOARD, TYP.		
FIBER CEMENT SIDING, TYP.		
PREFINISHED PVC FENCE WITH PVC COLUMN SURROUND, PTD, TYP.		

## ASPHALT SHINGLES, TYP. -DOUBLE HUNG WINDOW, TYP. PAINTED PVC FASCIA, -SOFFIT & FRIEZE, TYP. PREFINISHED ALUMINUM K-GUTTER, TYP. 2"X3" PREFINISHED ALUMINUM -DOWNSPOUTS, TYP. PAINTED PVC \_\_\_\_\_ CORNERBOARD, TYP. FIBER CEMENT SIDING, TYP.

PVC COLUMN SURROUND, -PAINTED (TYP)

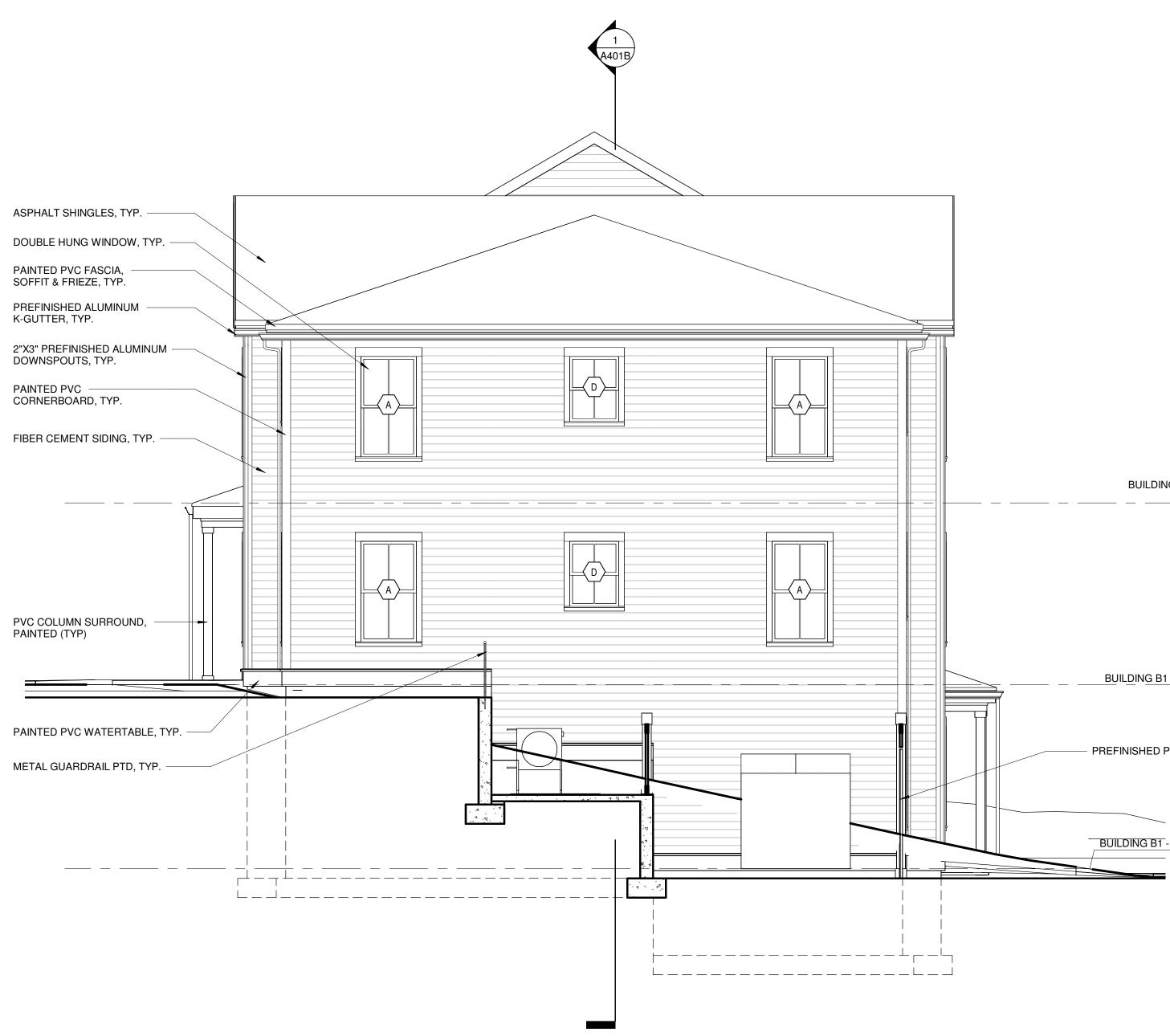
METAL GUARDRAIL PTD, TYP.

\_\_\_\_\_

\_\_\_\_\_

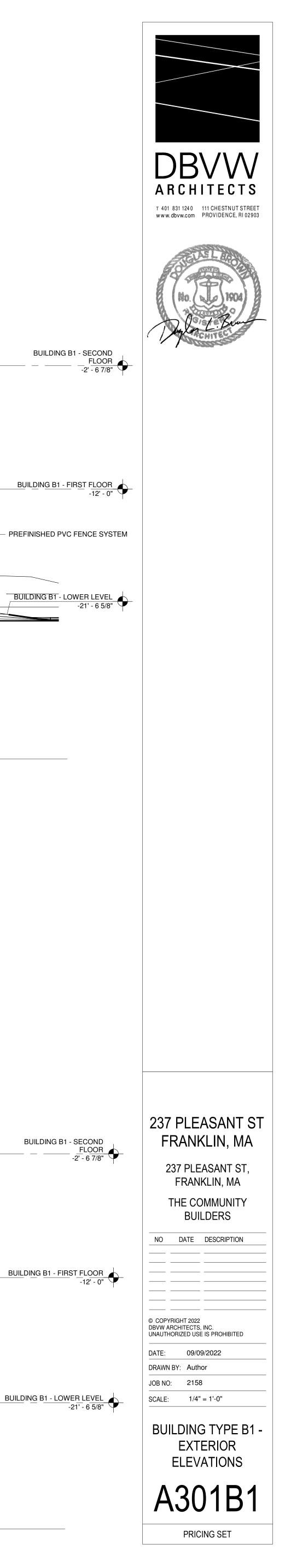
2 BUILDING TYPE B1 - WEST E





ELEVATION	

		A401B		
ASPHALT SHINGLES, TYP DOUBLE HUNG WINDOW, TYP PAINTED PVC FASCIA, SOFFIT & FRIEZE, TYP. PREFINISHED ALUMINUM				
K-GUTTER, TYP. 2"X3" PREFINISHED ALUMINUM DOWNSPOUTS, TYP. PAINTED PVC CORNERBOARD, TYP. FIBER CEMENT SIDING, TYP.				
PVC COLUMN SURROUND,				BUIL
PAINTED PVC WATERTABLE, TYP. —				







PAINTED PVC CORNERBOARD, TYP. PVC COLUMN SURROUND, PAINTED (TYP) \_\_\_\_\_

PAINTED PVC WATERTABLE, TYP.

\_\_\_\_\_

DOUBLE HUNG WINDOW, TYP.

2"X3" PREFINISHED ALUMINUM -DOWNSPOUTS, TYP. FIBER CEMENT SIDING, TYP.

PREFINISHED ALUMINUM K-GUTTER, TYP.

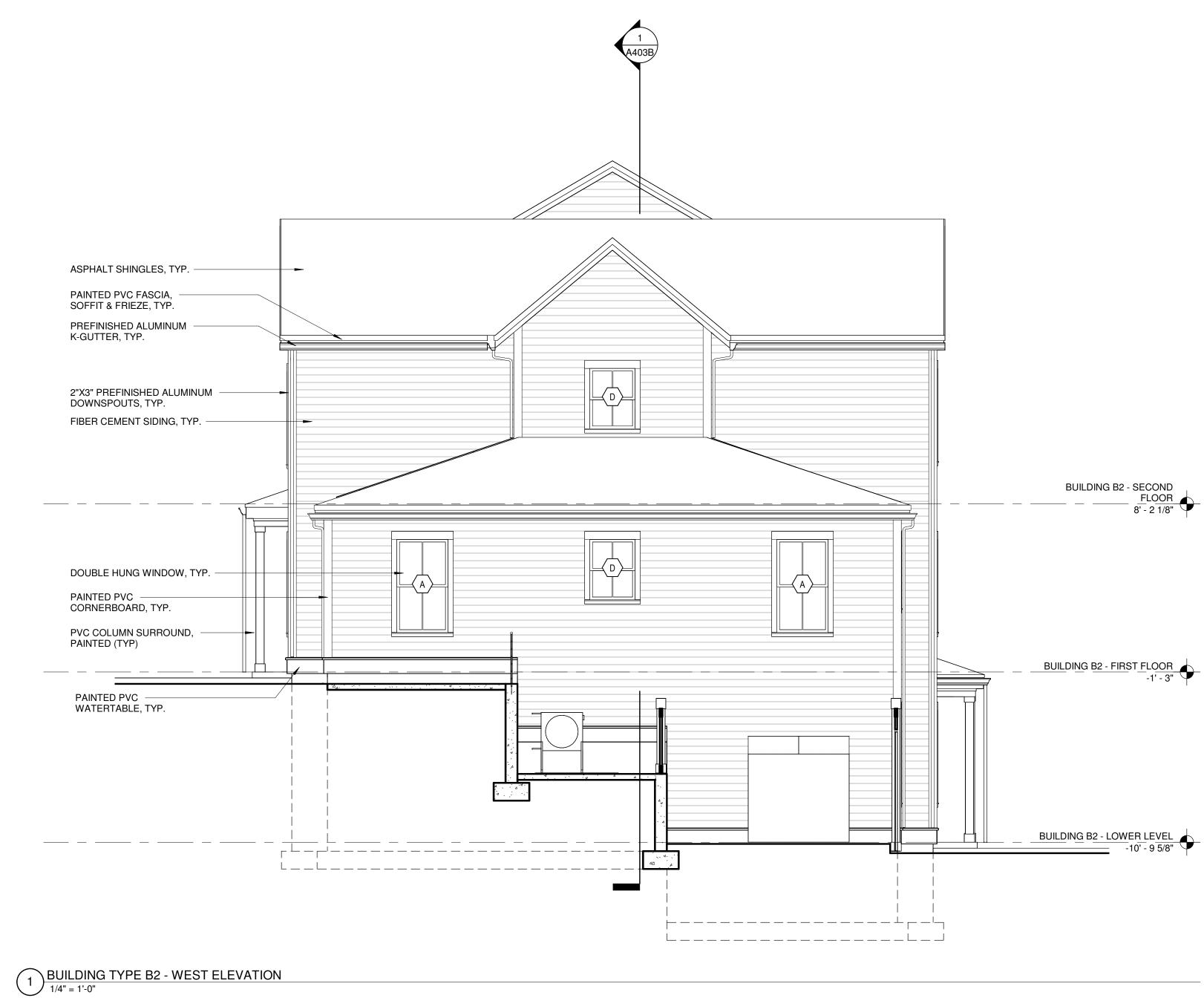
PAINTED PVC FASCIA, -SOFFIT & FRIEZE, TYP. ASPHALT SHINGLES, TYP.

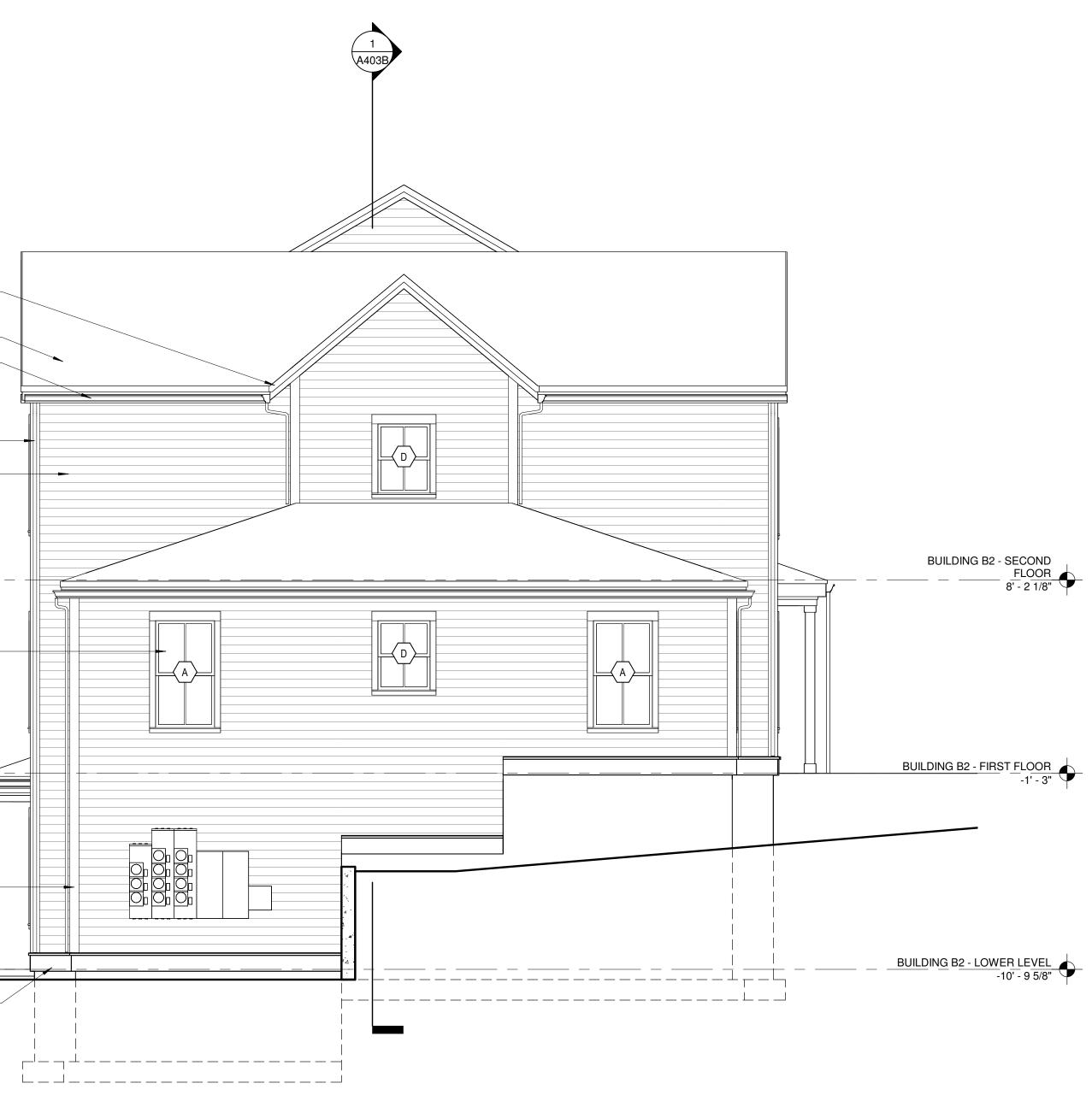
DOUBLE HUNG WINDOW, TYP. -PVC COLUMN SURROUND, PAINTED (TYP)

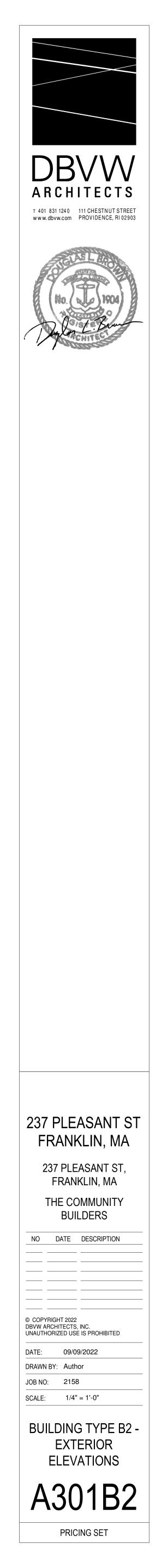
PAINTED PVC ——— WATERTABLE, TYP.

2"X3" PREFINISHED ALUMINUM DOWNSPOUTS, TYP. FIBER CEMENT SIDING, TYP. \_\_\_\_\_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_

ASPHALT SHINGLES, TYP. -PAINTED PVC FASCIA, SOFFIT & FRIEZE, TYP. PREFINISHED ALUMINUM -K-GUTTER, TYP.

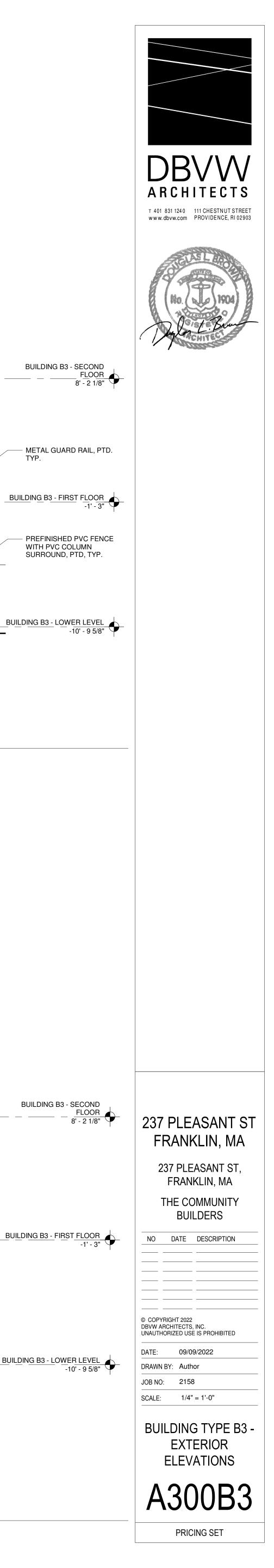




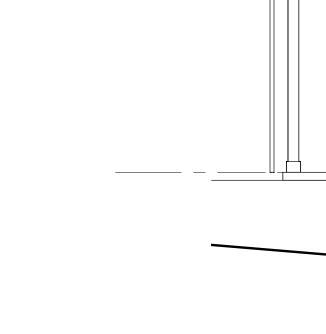






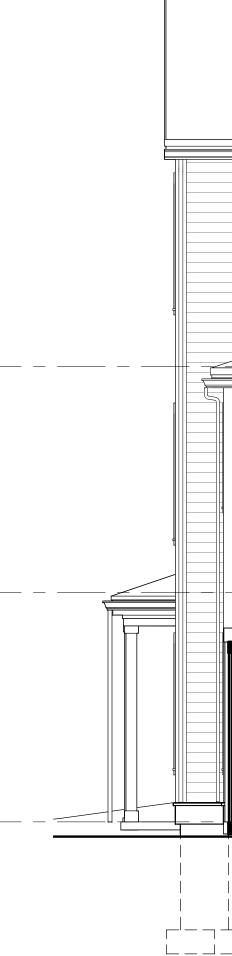


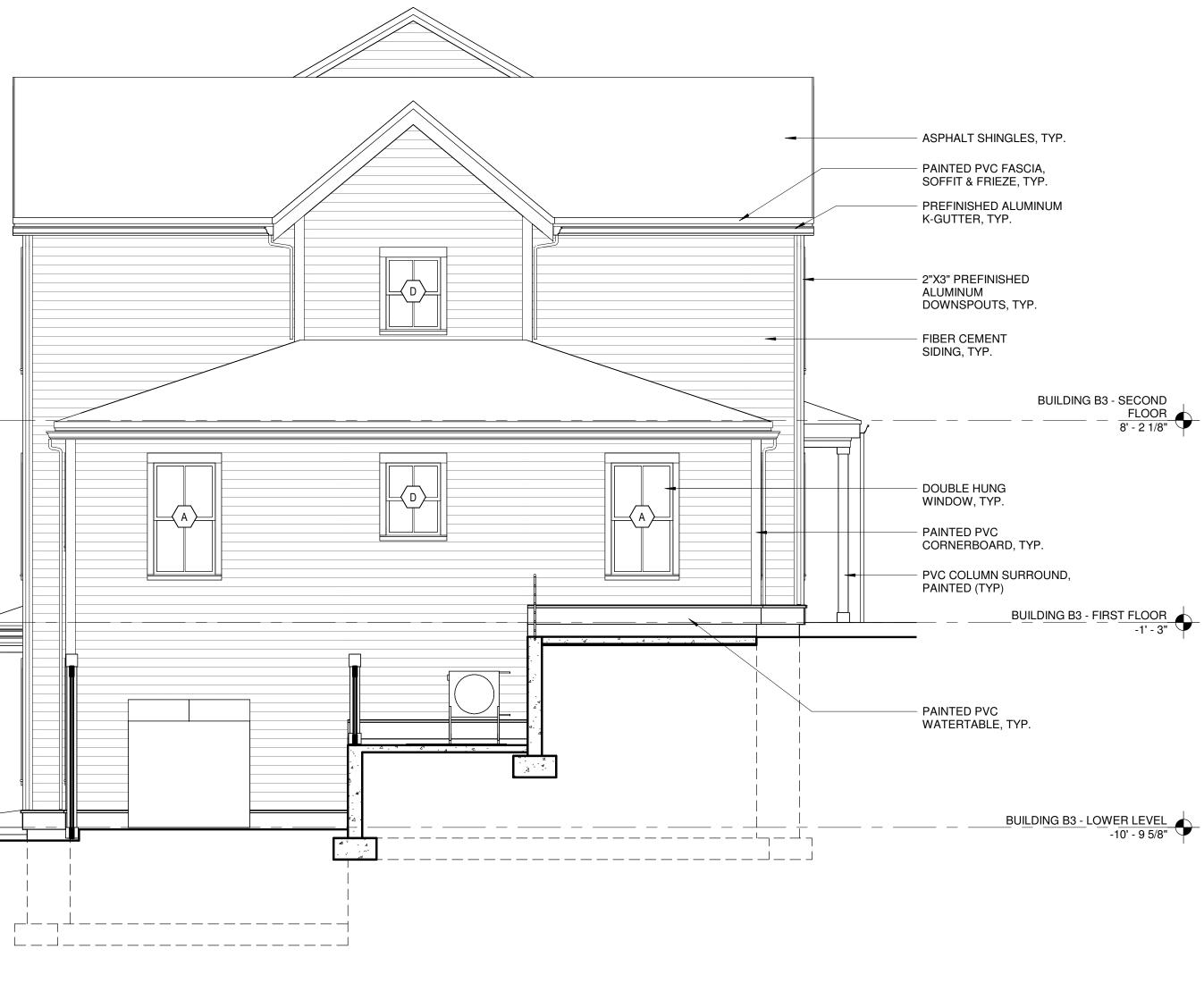




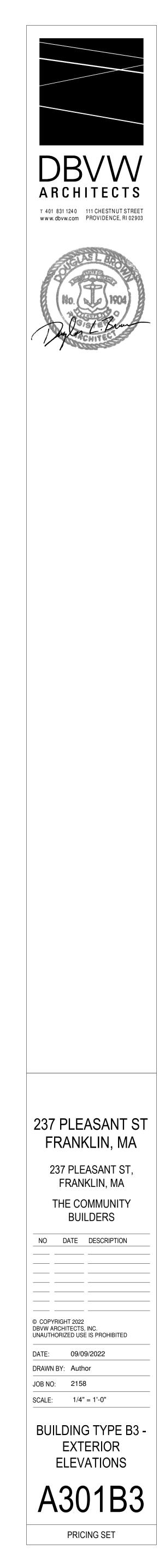








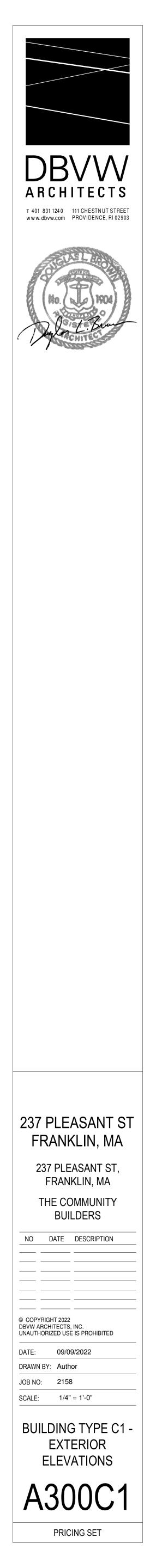
1 BUILDING TYPE B3 - EAST ELEVATION 1/4" = 1'-0"





1 BUILDING TYPE C1 - SOUTH ELEVATION 1/4" = 1'-0"





FLOOR -12' - 0"

## FIBER CEMENT SIDING, TYP. DOUBLE HUNG -WINDOW, TYP. PAINTED PVC \_\_\_\_\_ CORNERBOARD, TYP. \_\_\_\_\_ \_\_\_\_\_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_

2"X3" PREFINISHED – ALUMINUM DOWNSPOUTS, TYP.

ASPHALT SHINGLES, TYP. -PAINTED PVC FASCIA, -SOFFIT & FRIEZE, TYP.

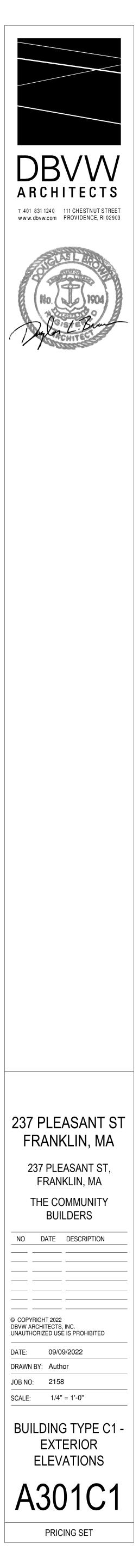
PREFINISHED ALUMINUM -K-GUTTER, TYP.

1 BUILDING TYPE C1 - EAST ELEVATION 1/4" = 1'-0"

\_\_\_\_\_ A =\_\_\_\_\_



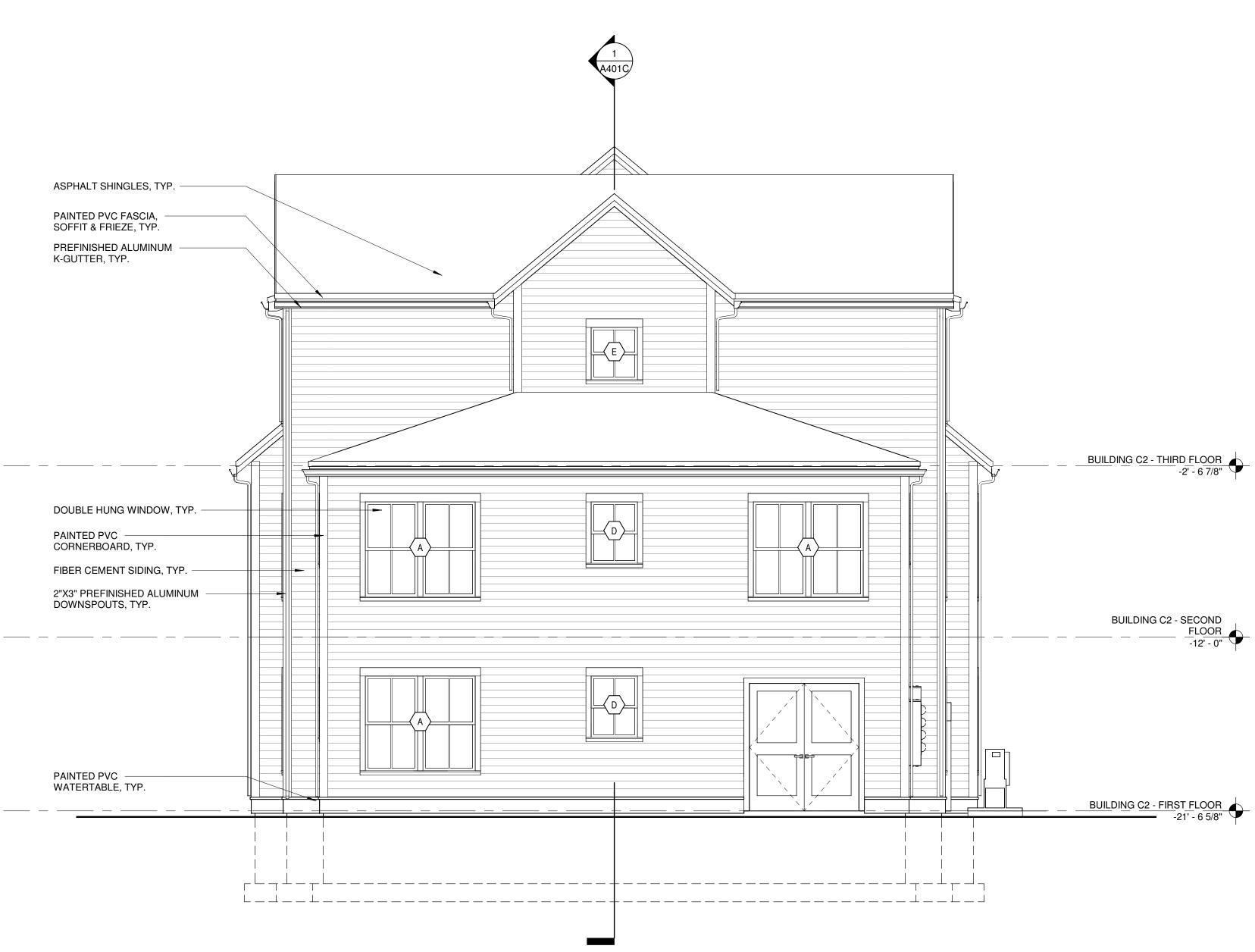






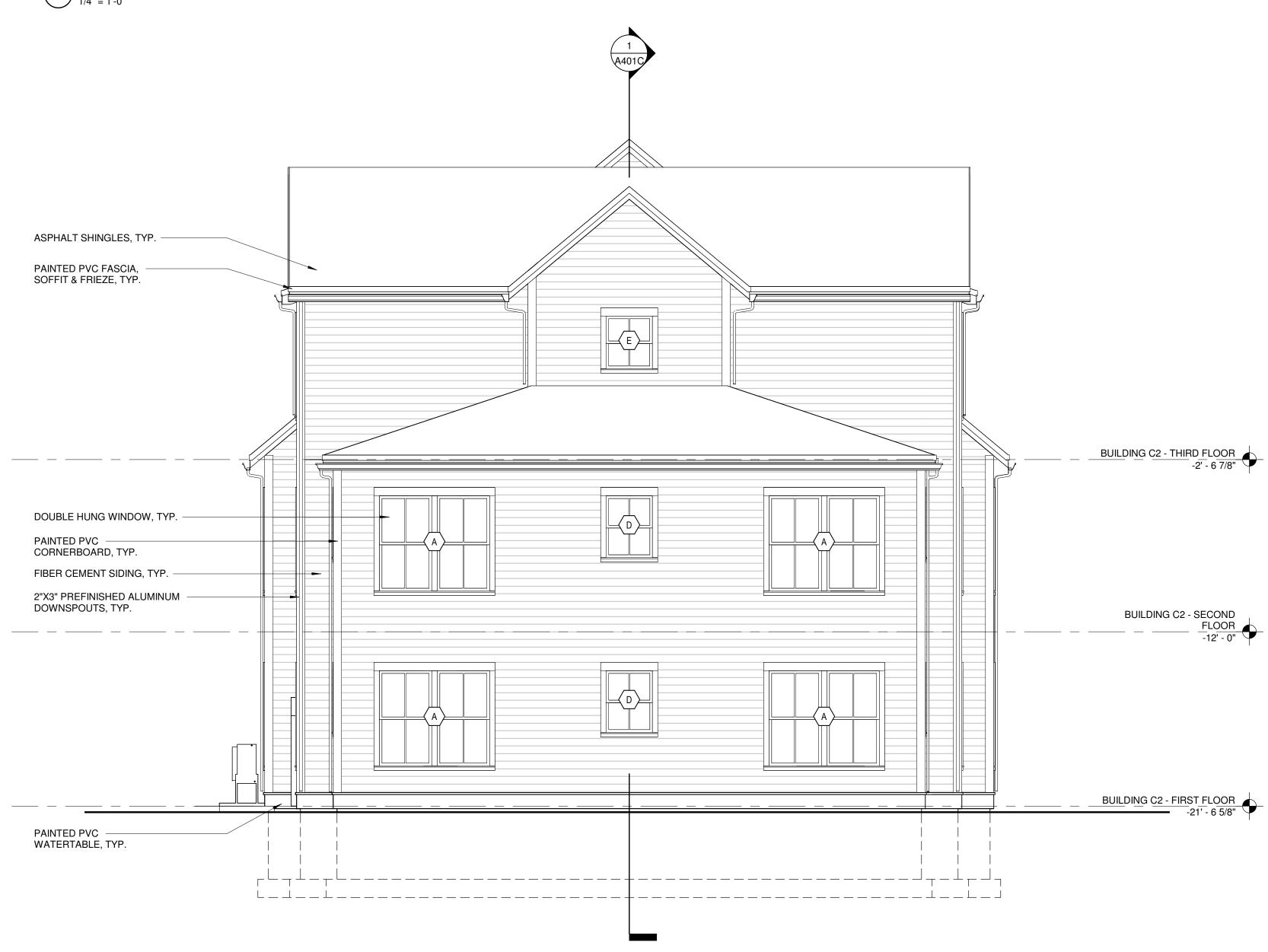


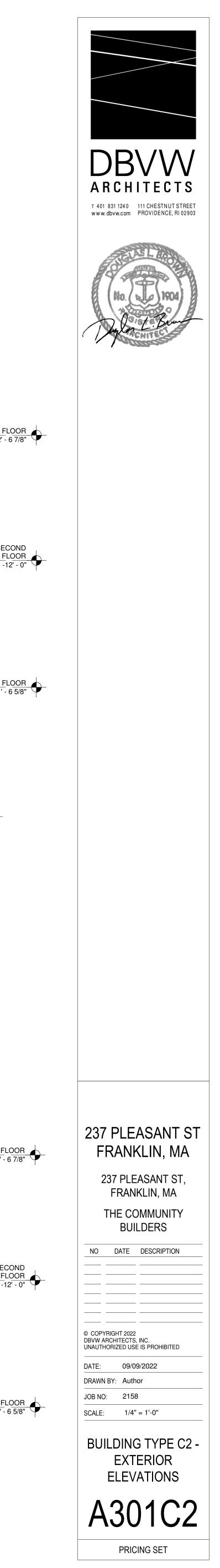
ASPHALT SHINGLES, TYP. -

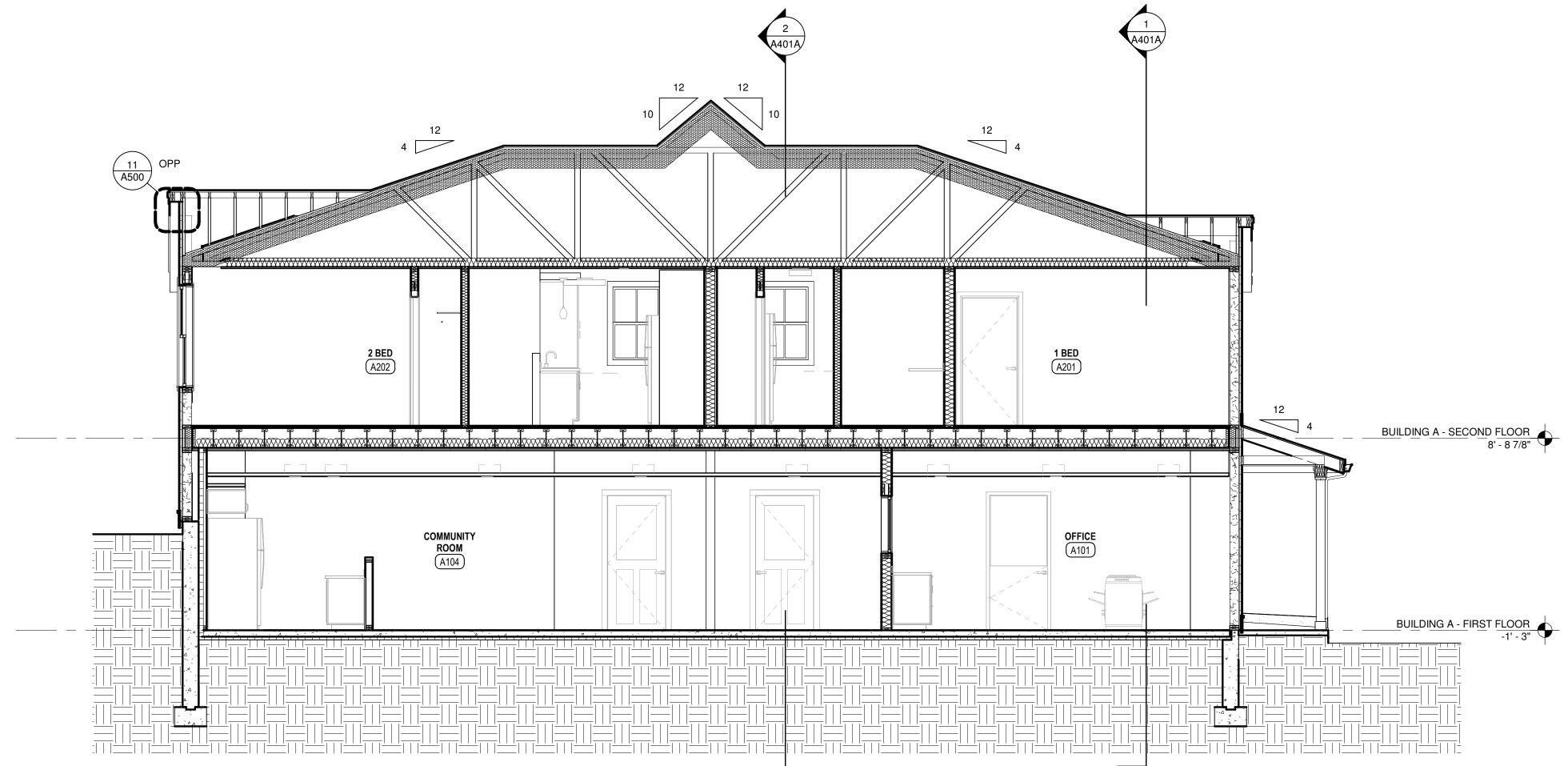


## 2 BUILDING TYPE C2 - WEST ELEVATION 1/4" = 1'-0"

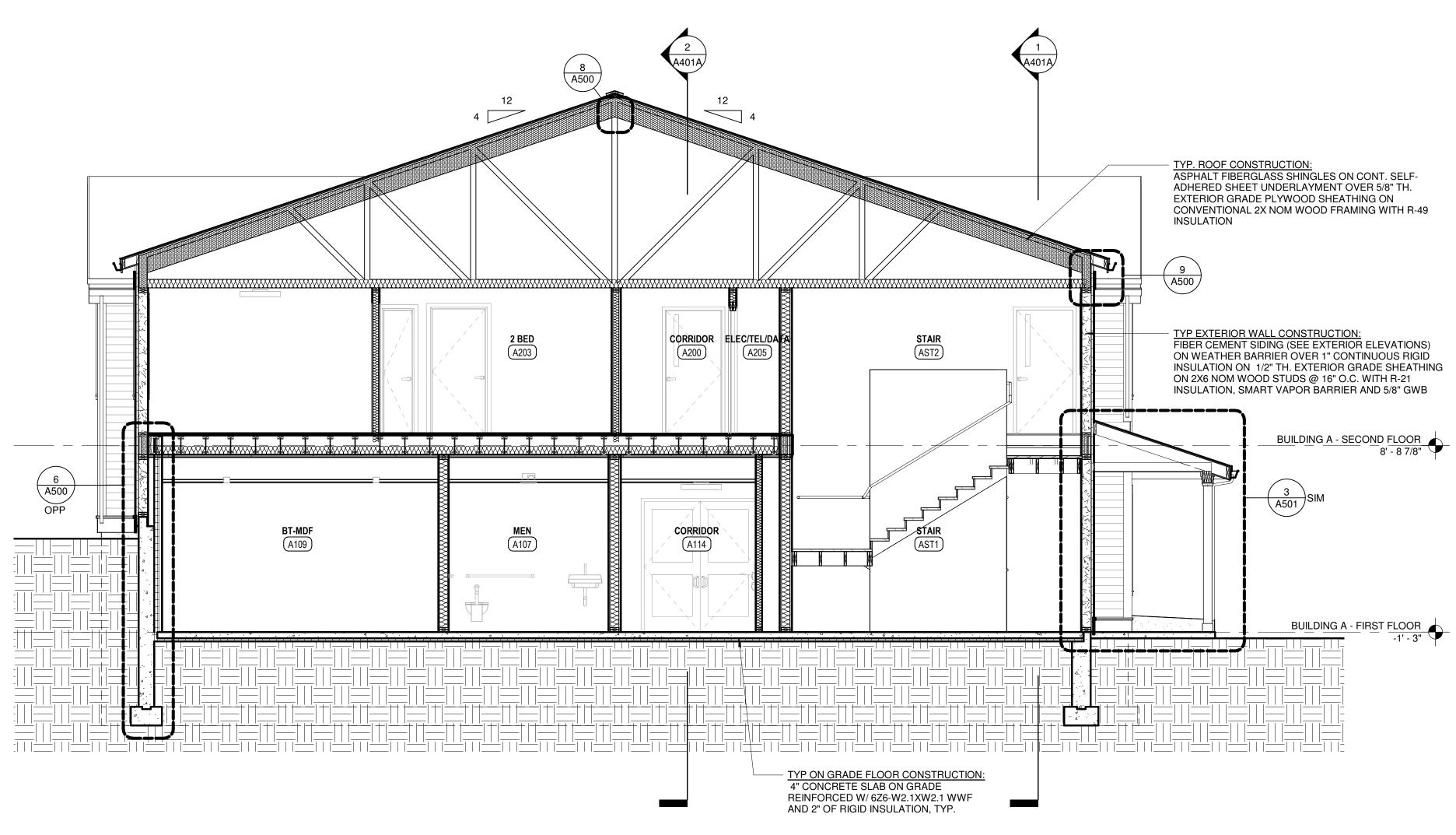
ASPHALT SHINGLES, TYP. PAINTED PVC FASCIA, SOFFIT & FRIEZE, TYP.

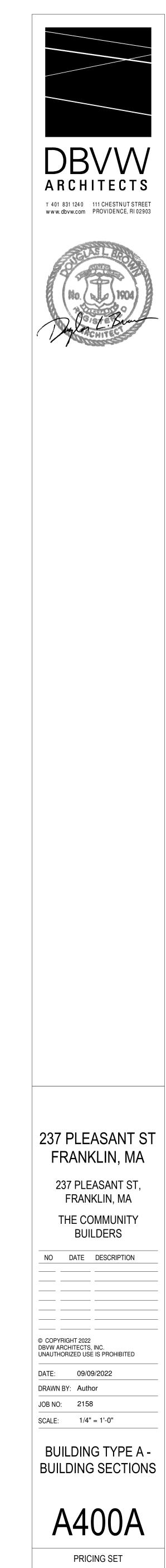


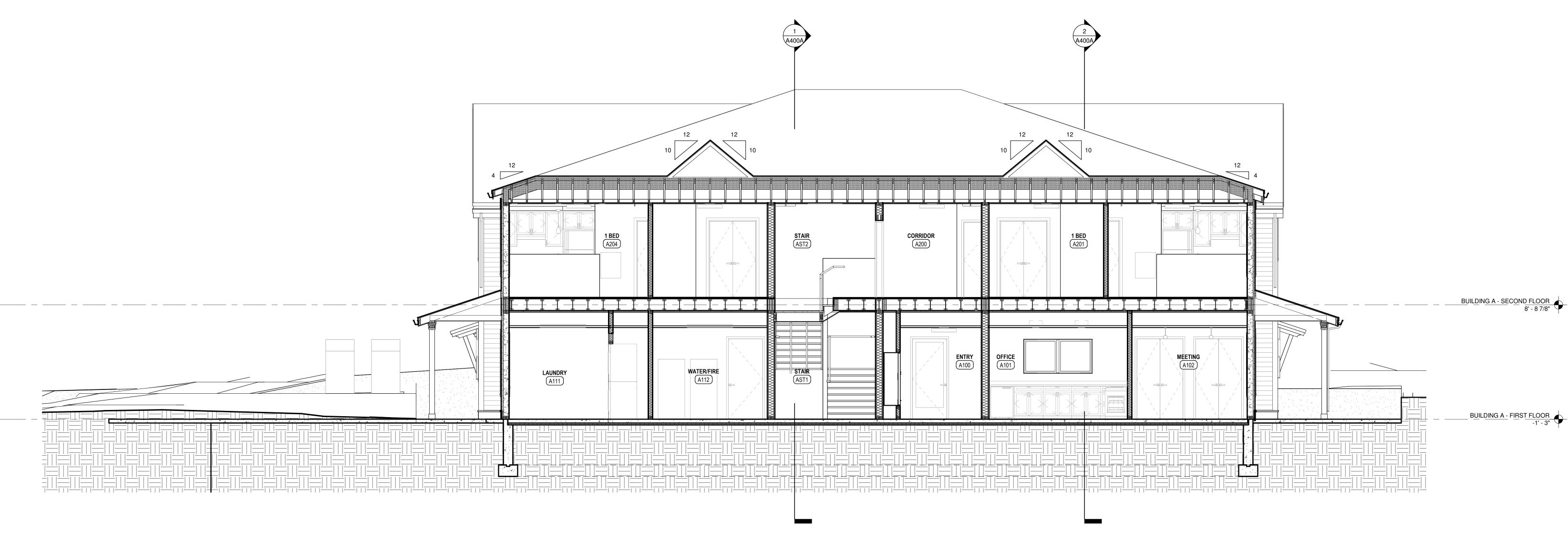




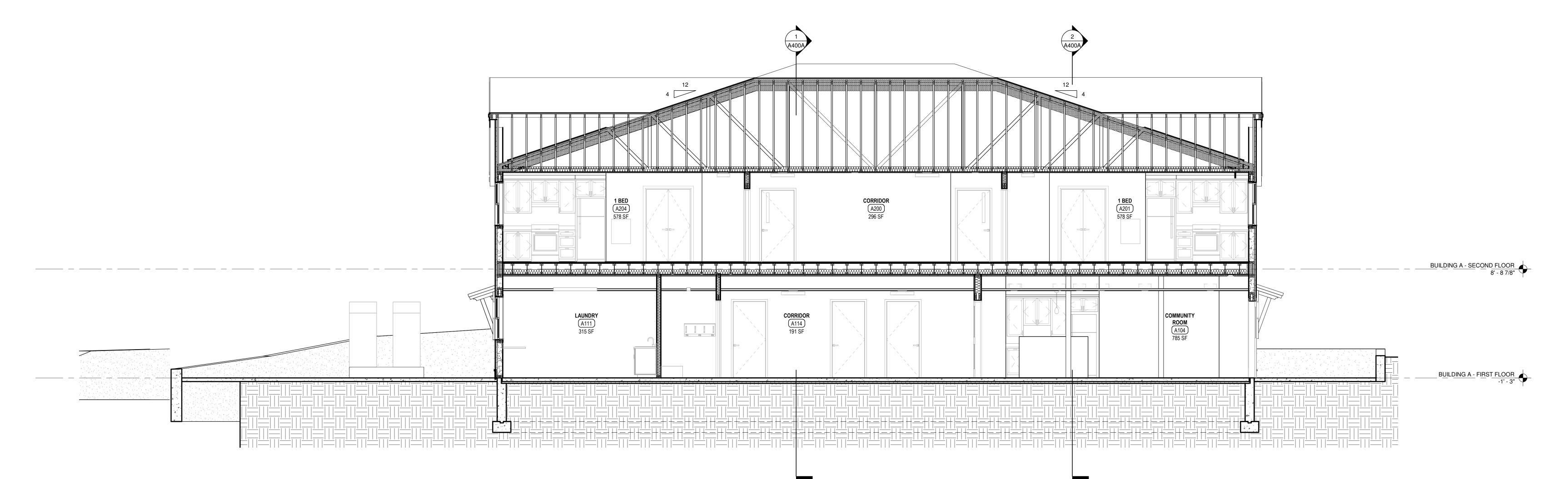
1 BUILDING TYPE A - STAIR TRANSVERSE SECTION 1/4" = 1'-0"

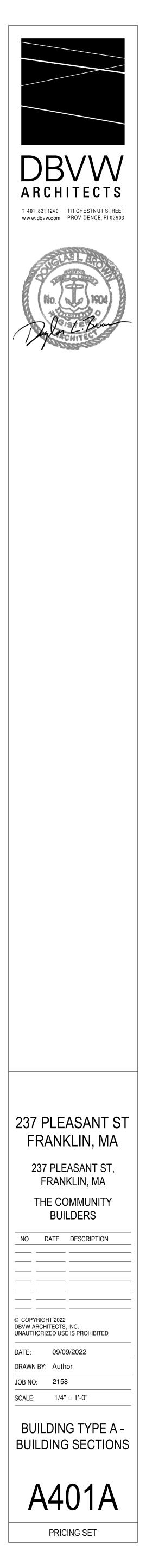




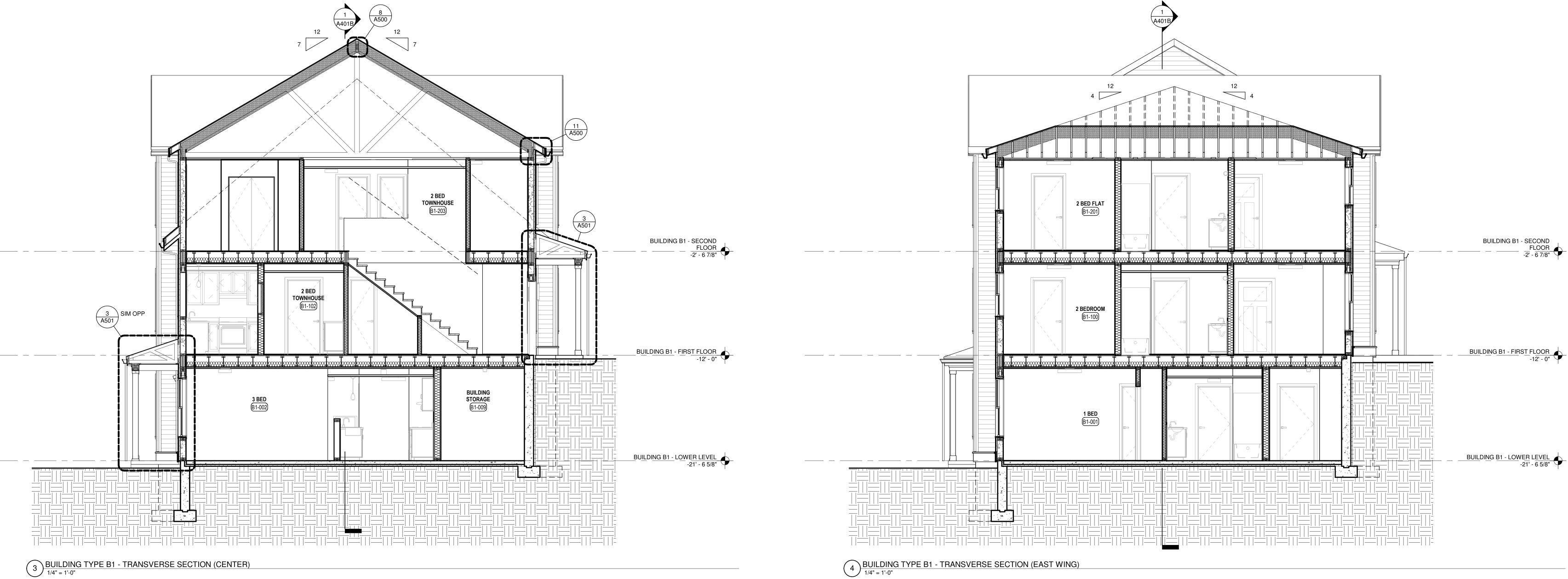




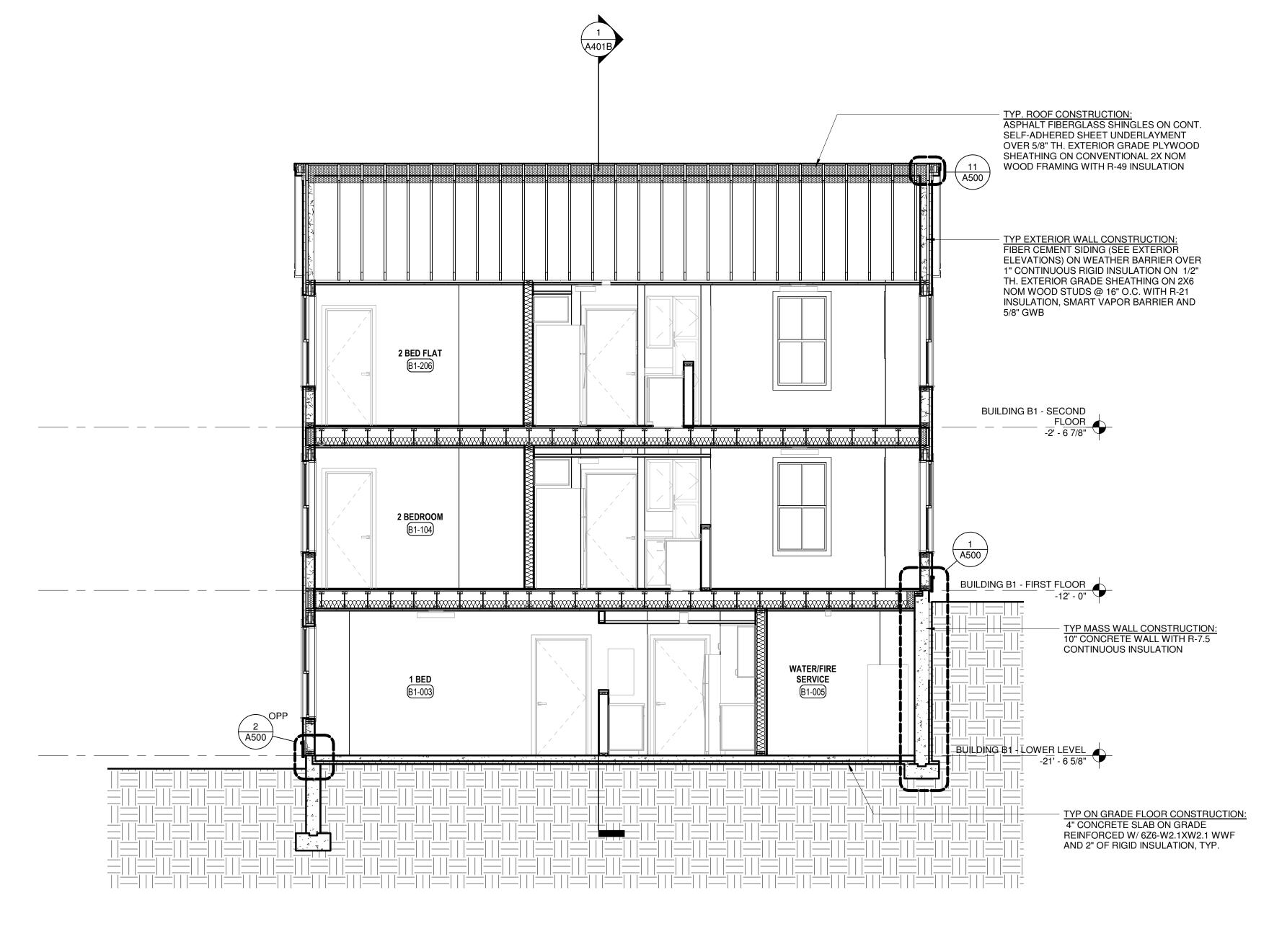


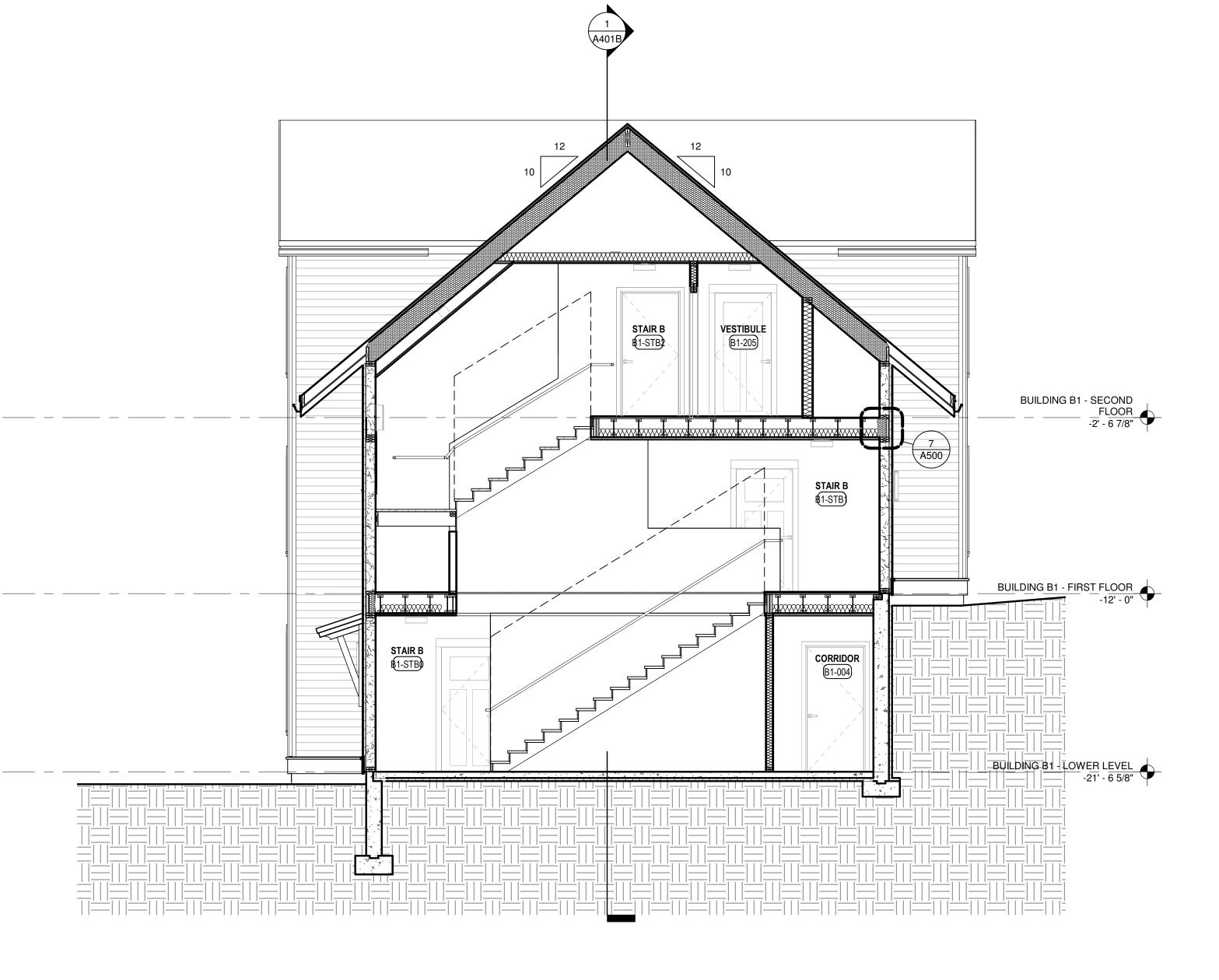






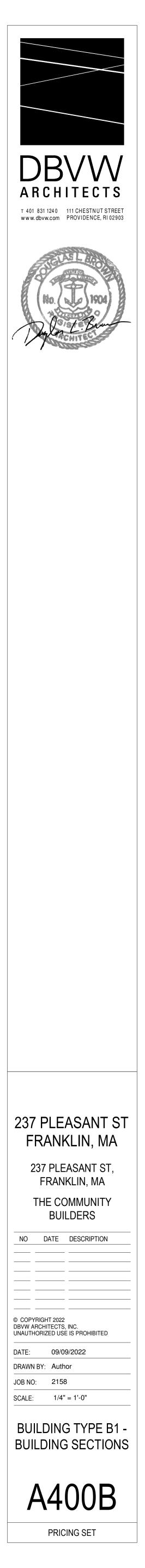
1 BUILDING TYPE B1 - TRANSVERSE SECTION (WEST WING) 1/4" = 1'-0"

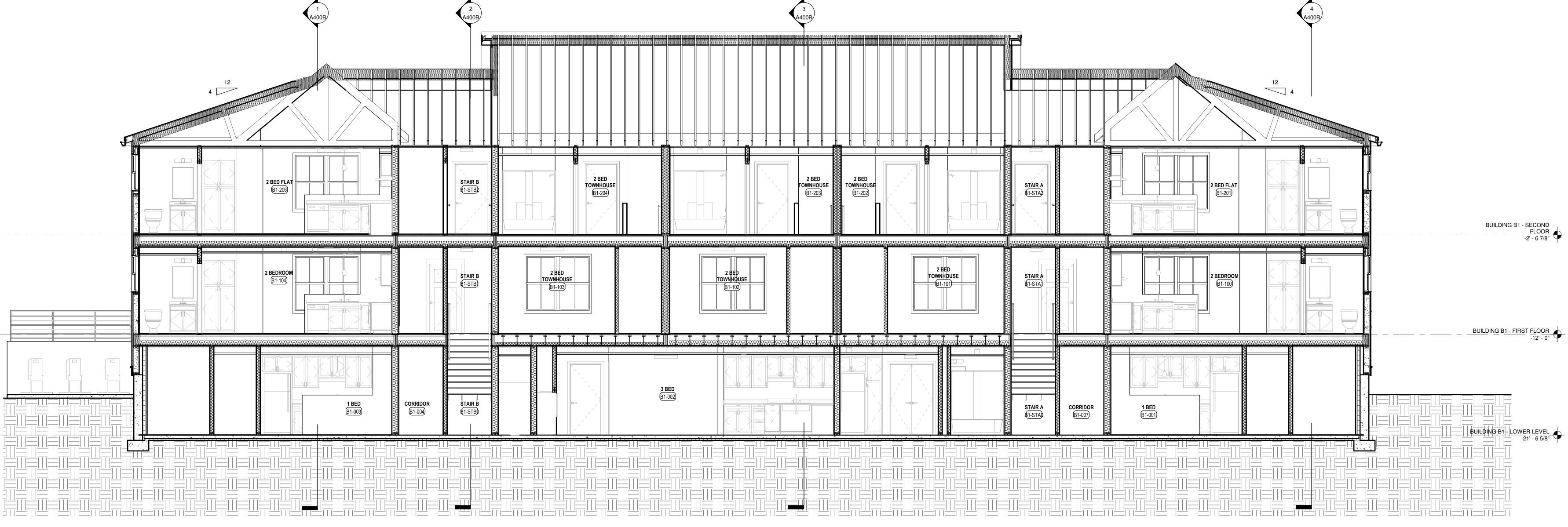


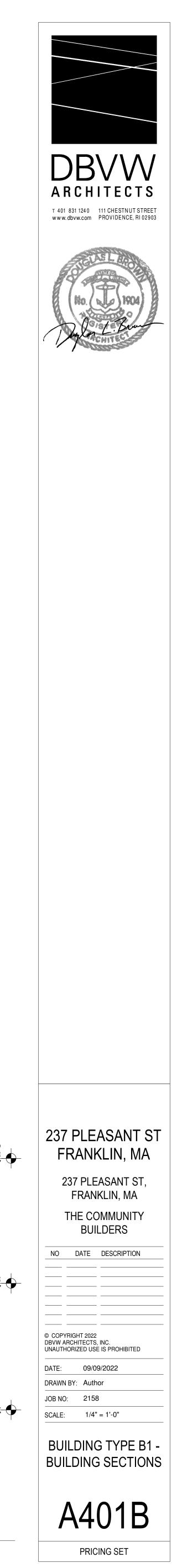


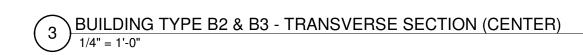
2 BUILDING TYPE B1 - VESTIBULE TRANSVERSE SECTION 1/4" = 1'-0"

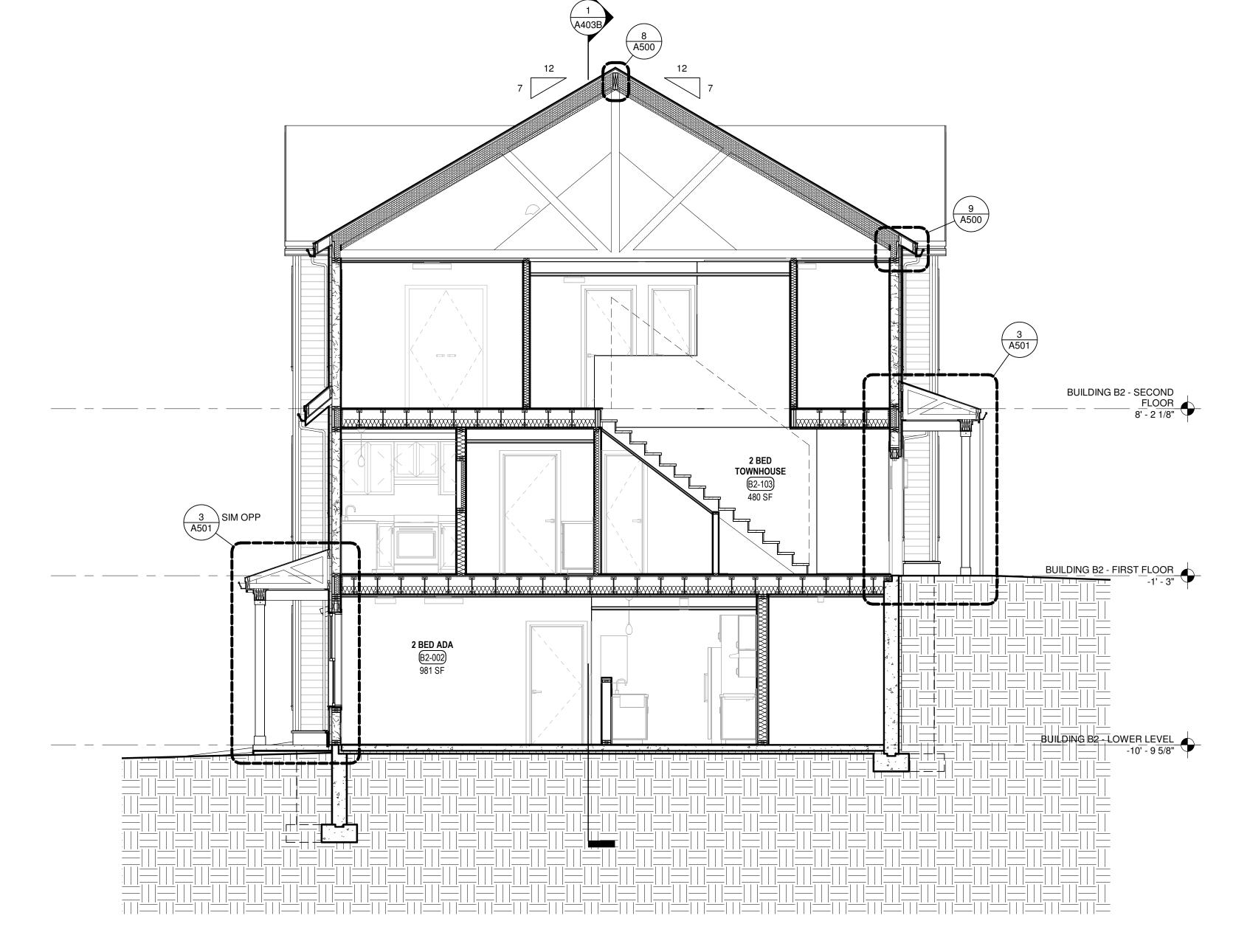


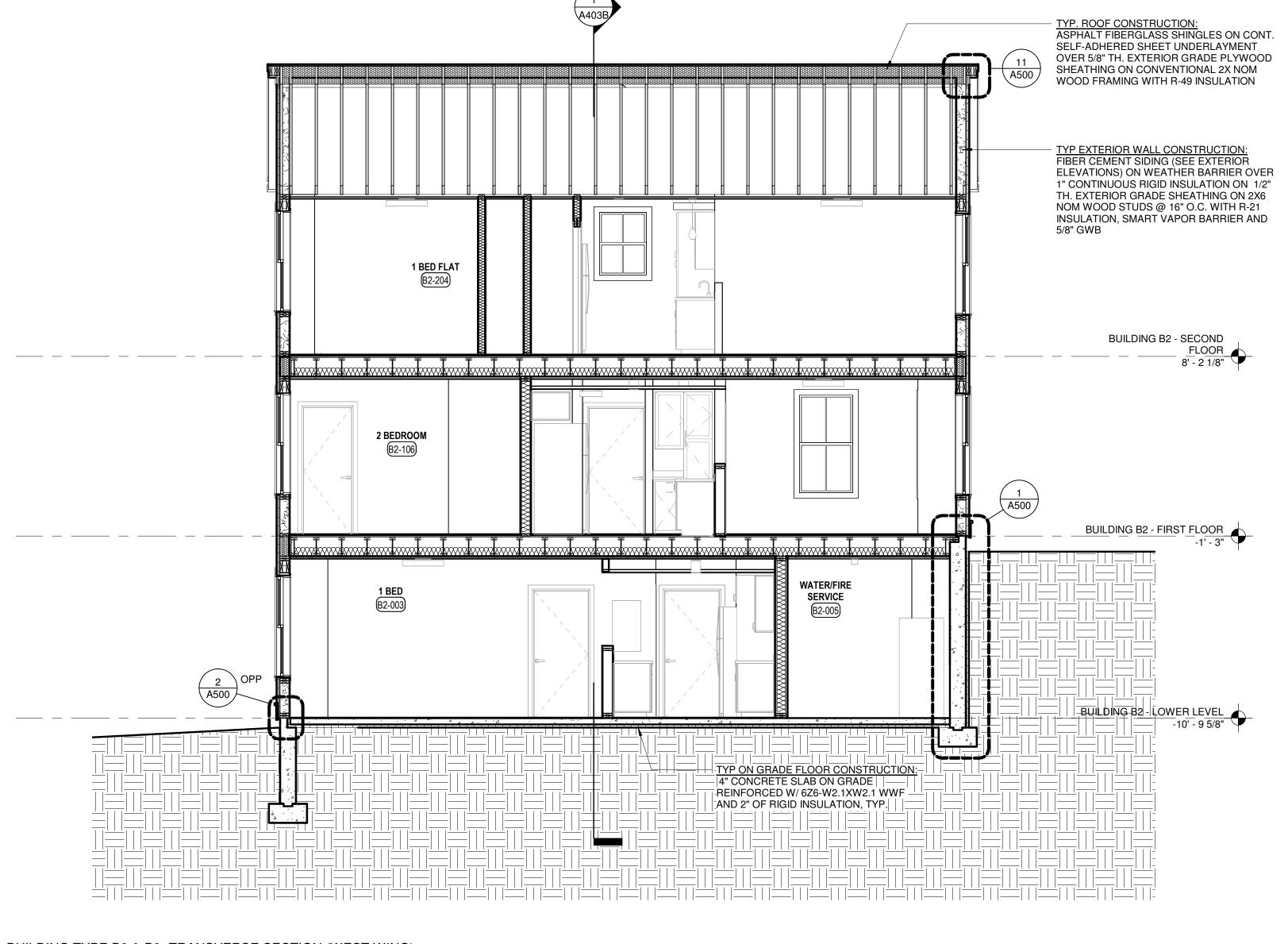




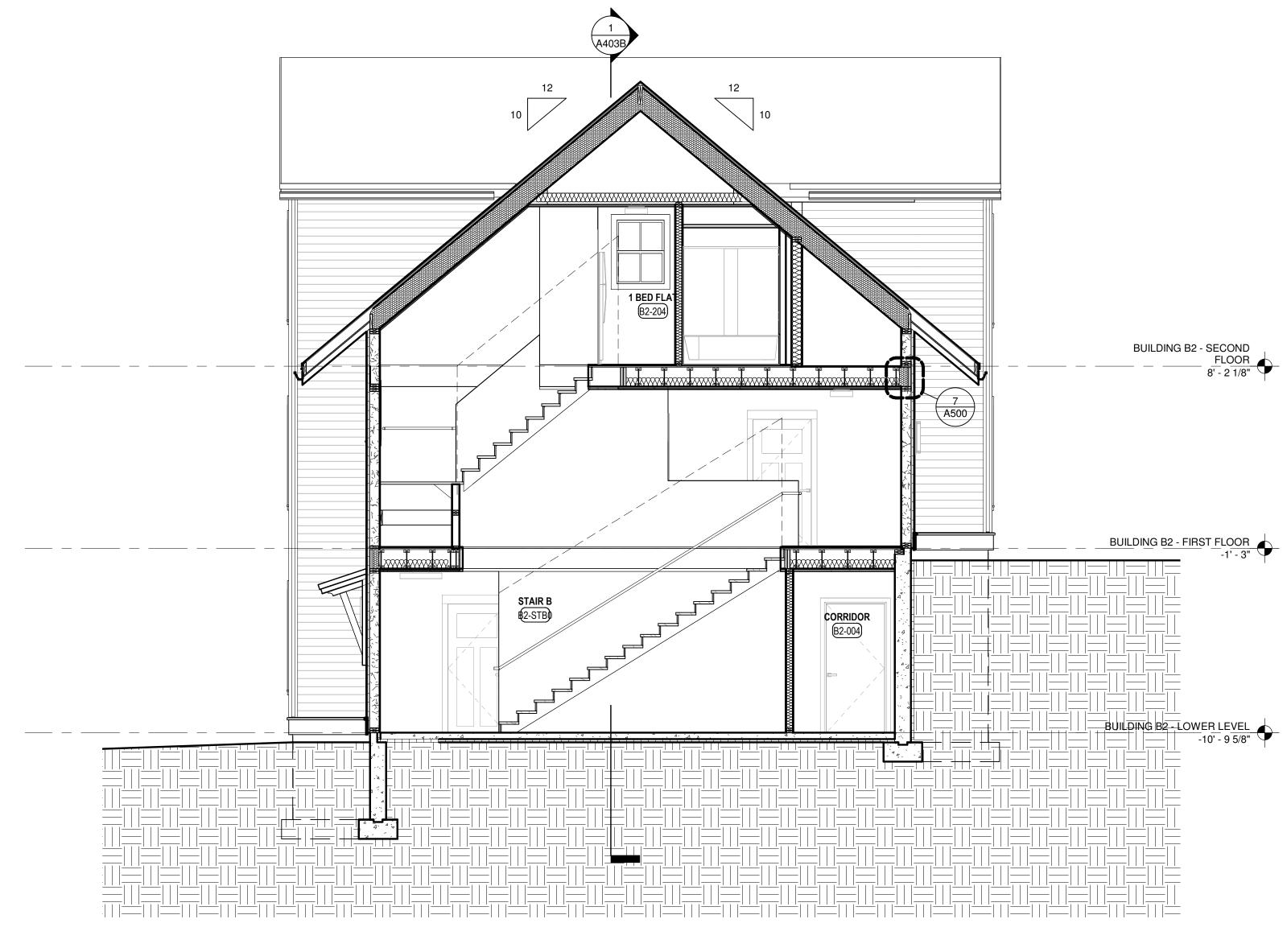




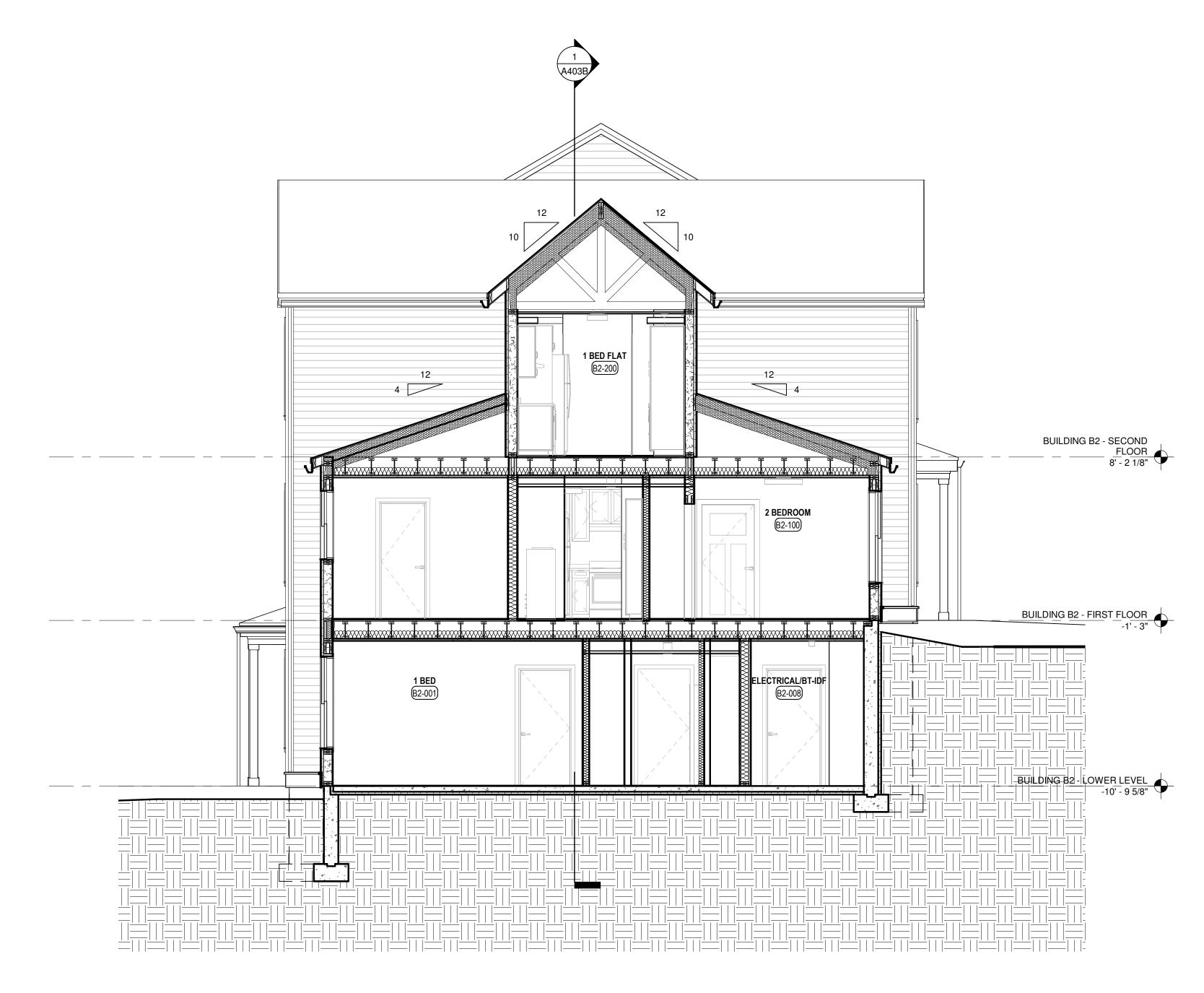


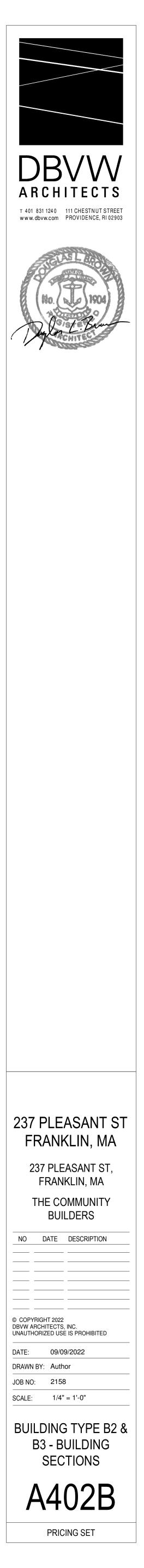


1 BUILDING TYPE B2 & B3- TRANSVERSE SECTION (WEST WING) 1/4" = 1'-0"

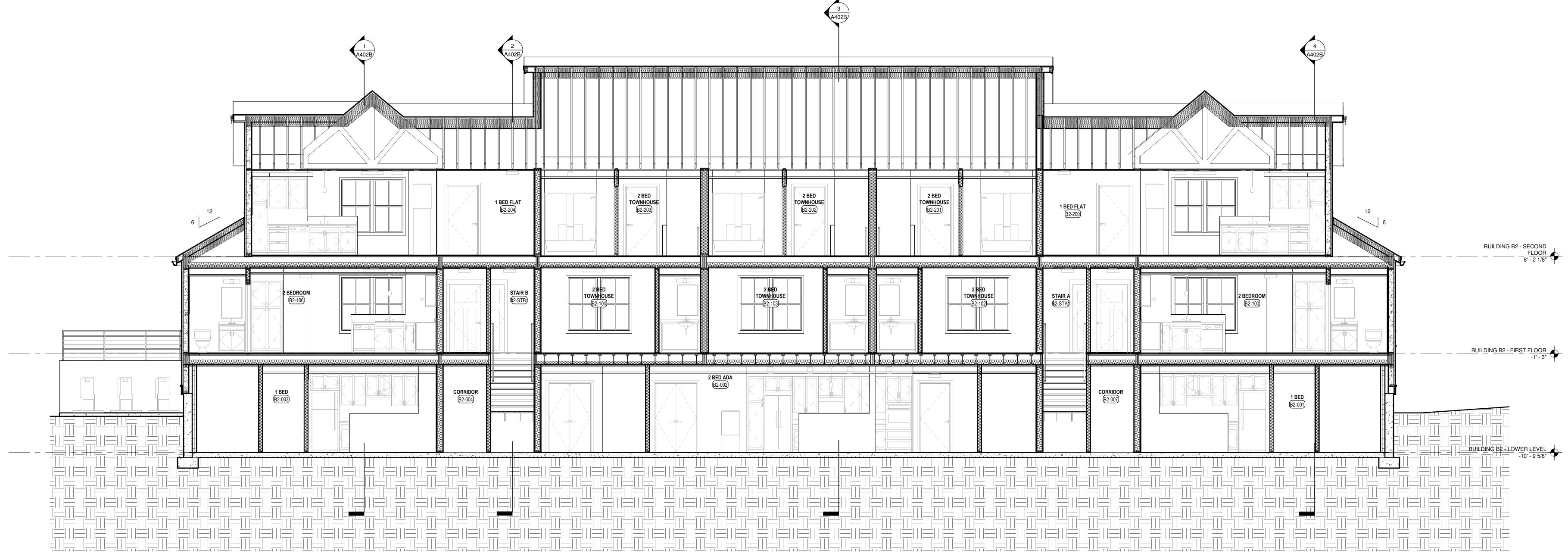


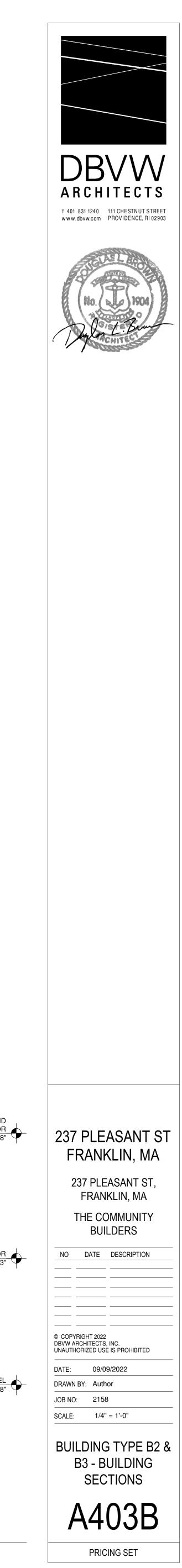
2 BUILDING TYPE B2 & B3 - TRANSVERSE SECTION (VESTIBULE) 1/4" = 1'-0"

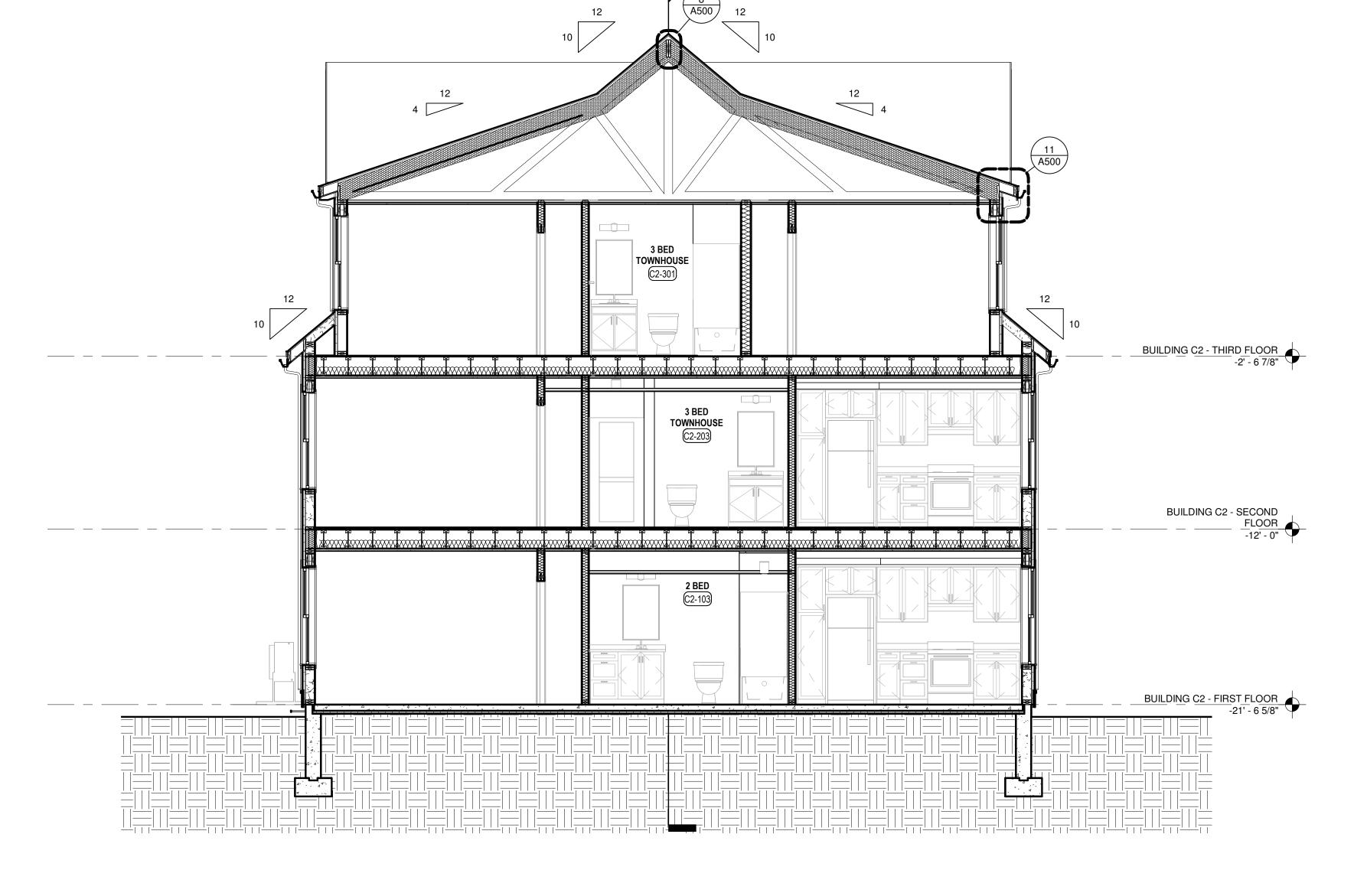




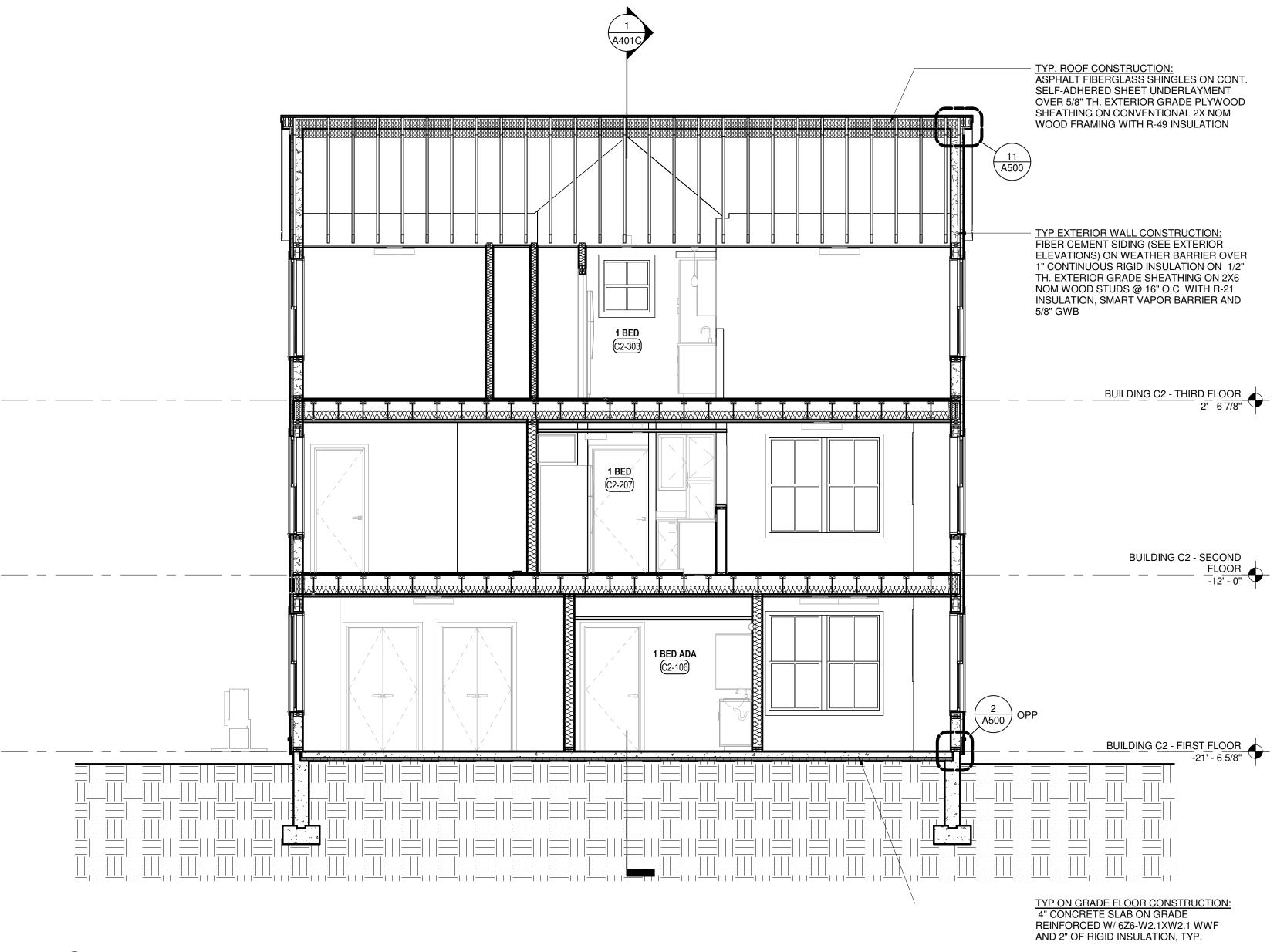
# 1 BUILDING TYPE B2 & B3 - LONGITUDINAL SECTION 1/4" = 1'-0"

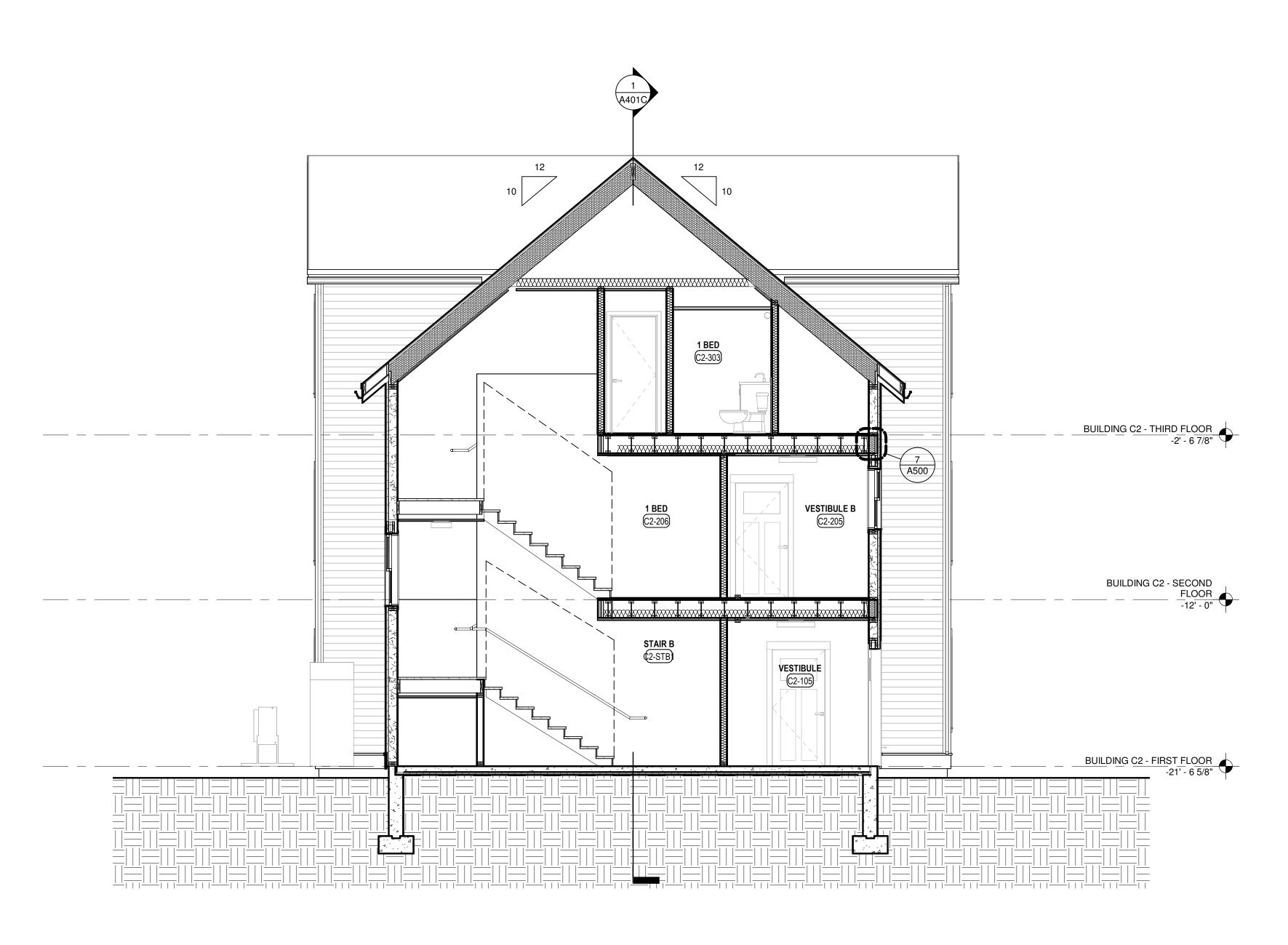




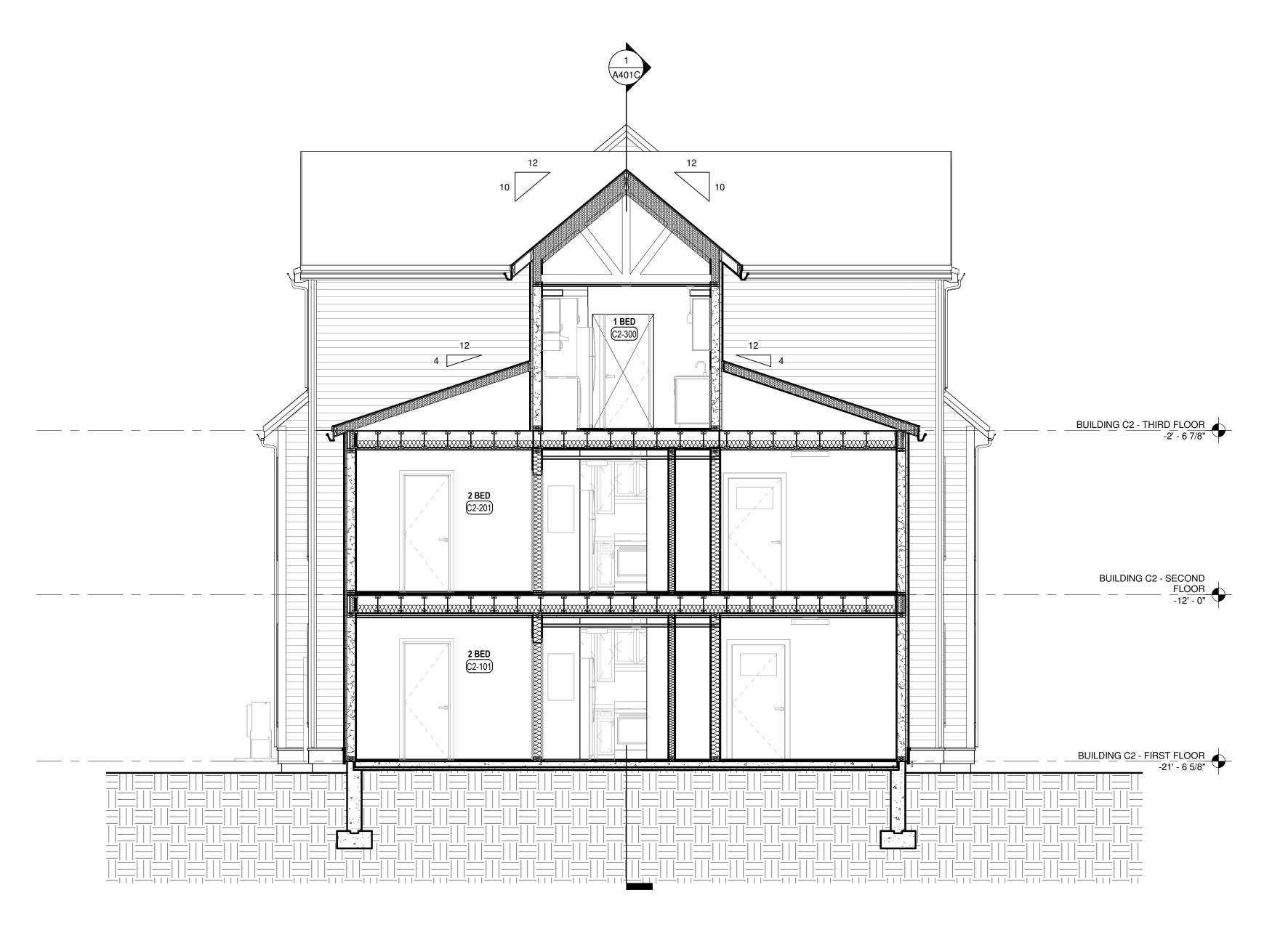


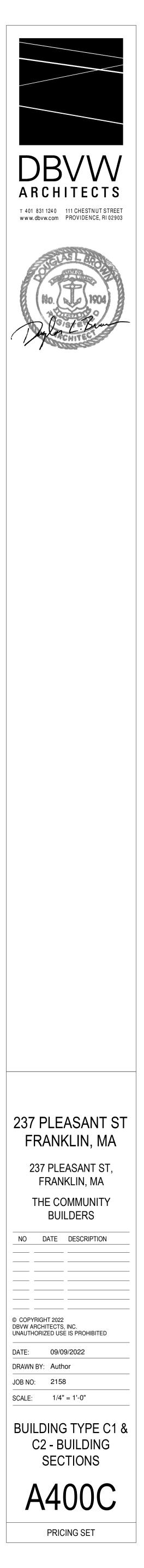
1 BUILDING TYPE C1 & C2 - TRANSVERSE SECTION (WEST WING) 1/4" = 1'-0"

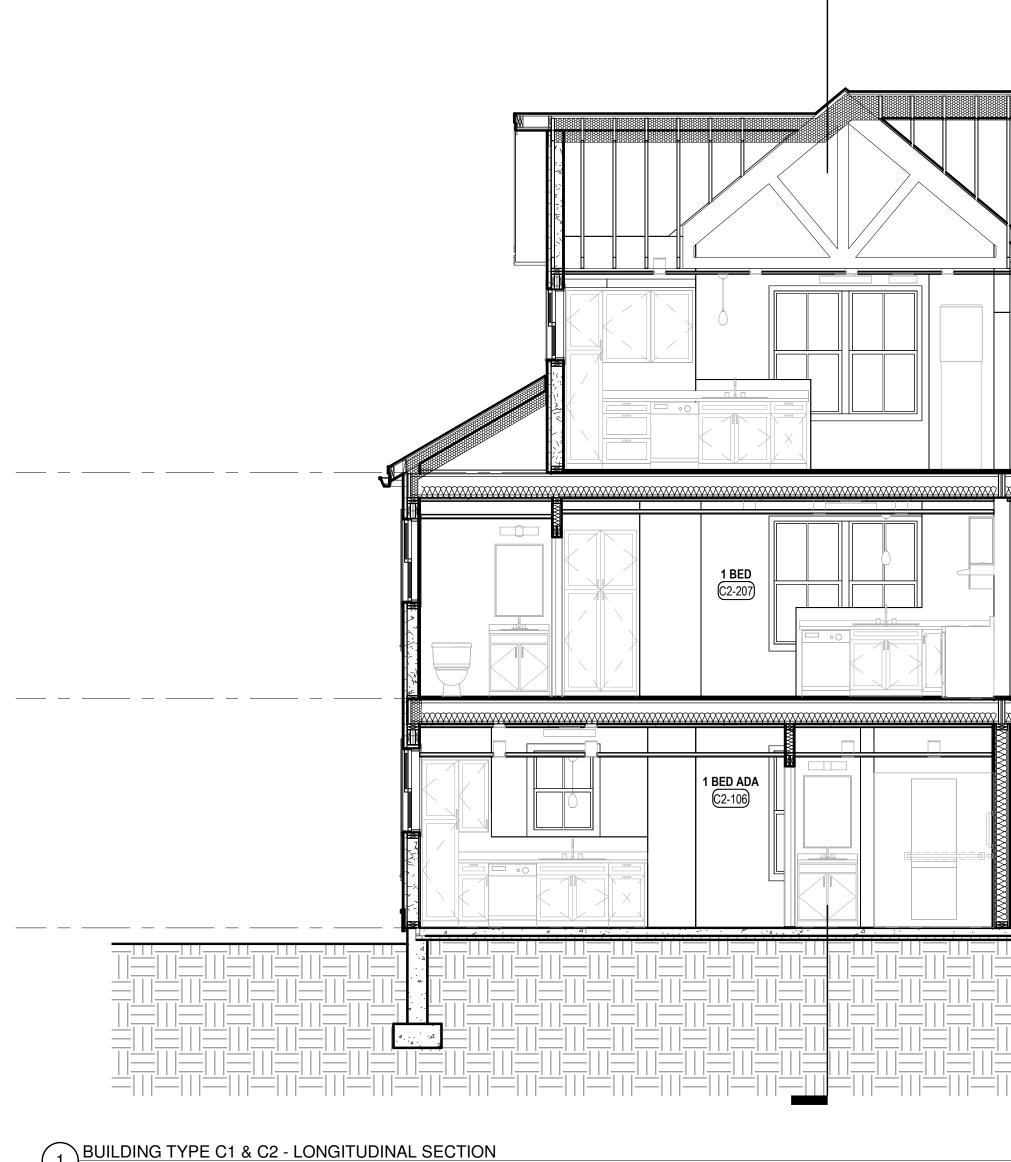




2 BUILDING TYPE C1 & C2 - VESTIBULE TRANSVERSE SECTION 1/4" = 1'-0"



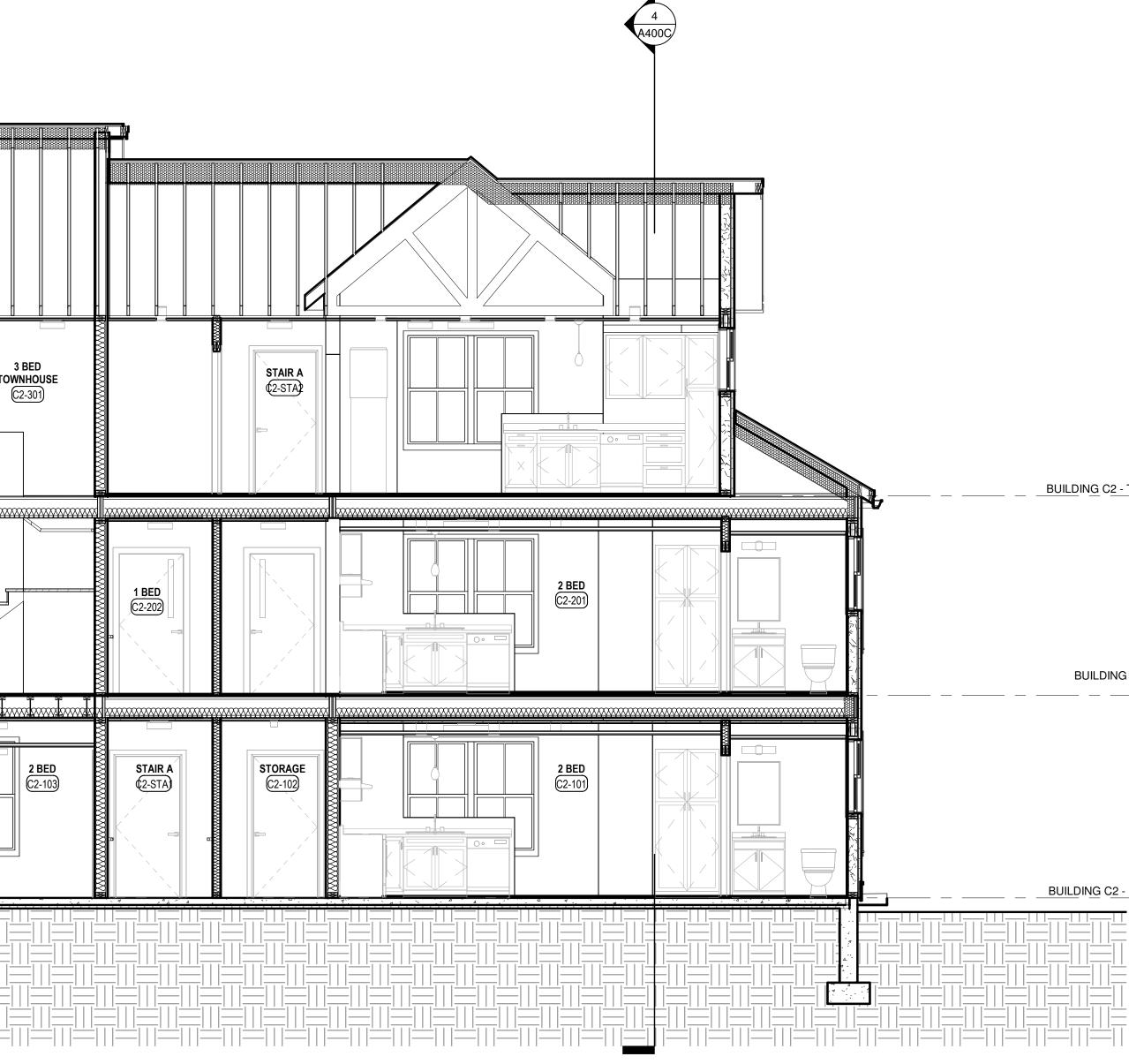


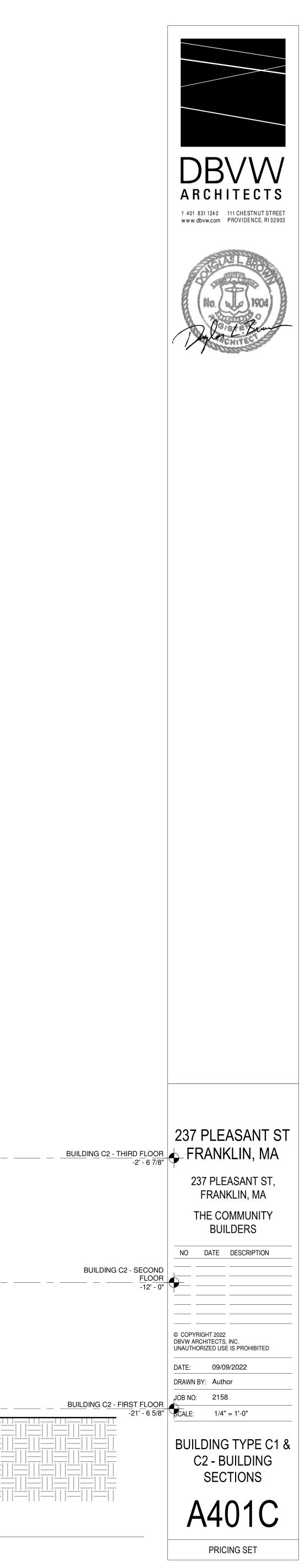


1 A400C

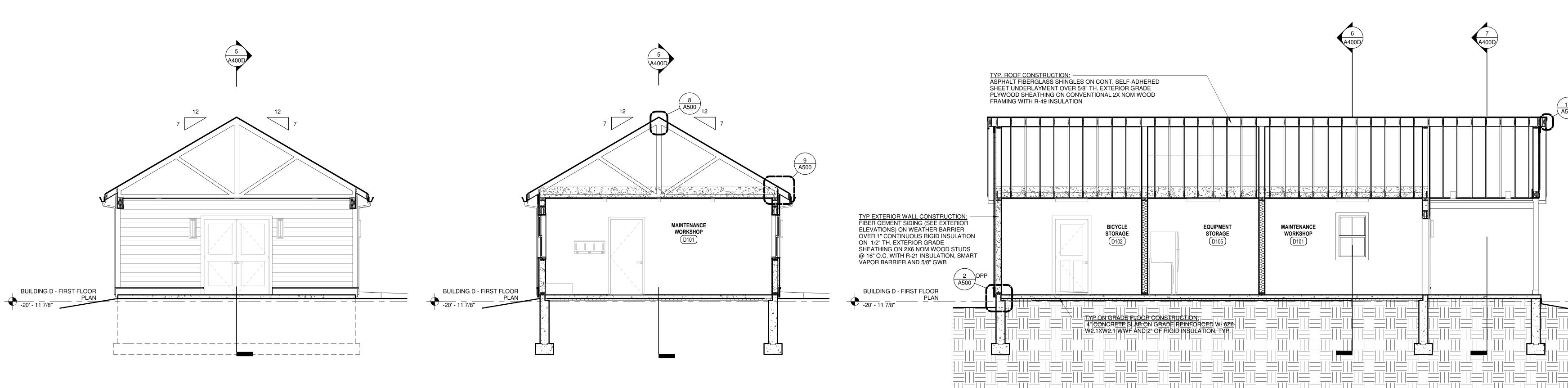
1 BUILDING TYPE C1 & C2 - LONGITUDINAL SECTION 1/4" = 1'-0"

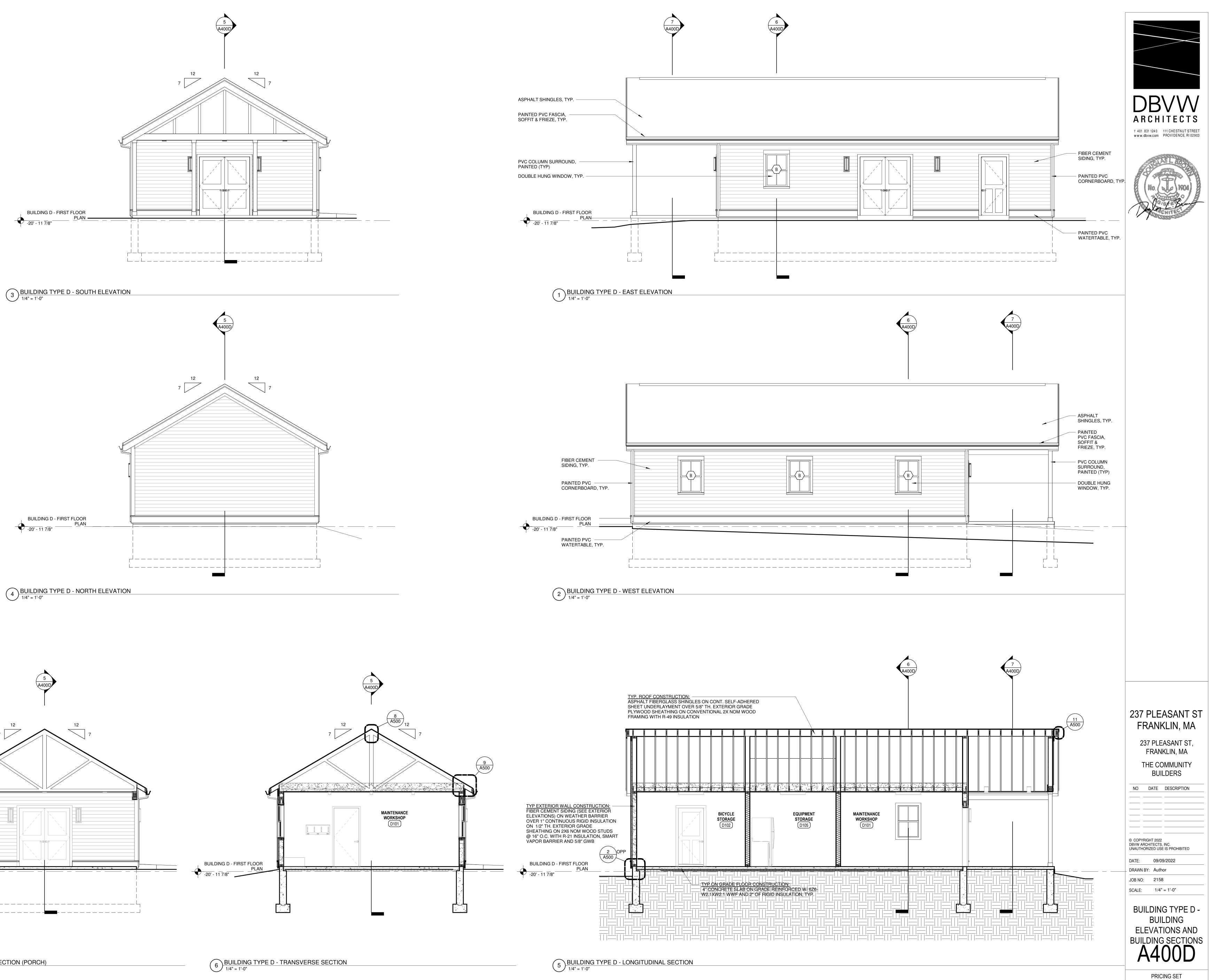
2 A400C			
1.BED (C2-303)	3 BED TOWNHOUSE C2-302		3 B TOWNI C2-
STAIR B (2-STB)		3 BED TOWNHOUSE C2-204 C2-203	3 BED TOWNHOUSE C2-203
STAIR B   (2-STB)     (2-STB)     (2-206)     (2-206)     (2-206)     (2-206)     (2-206)     (2-206)     (2-206)     (2-206)     (2-206)     (2-206)     (2-206)     (2-206)     (2-206)     (2-206)     (2-206)     (2-207)     (2-2107) <td></td> <td></td> <td>3 BED TOWNHOUSE C2-203</td>			3 BED TOWNHOUSE C2-203

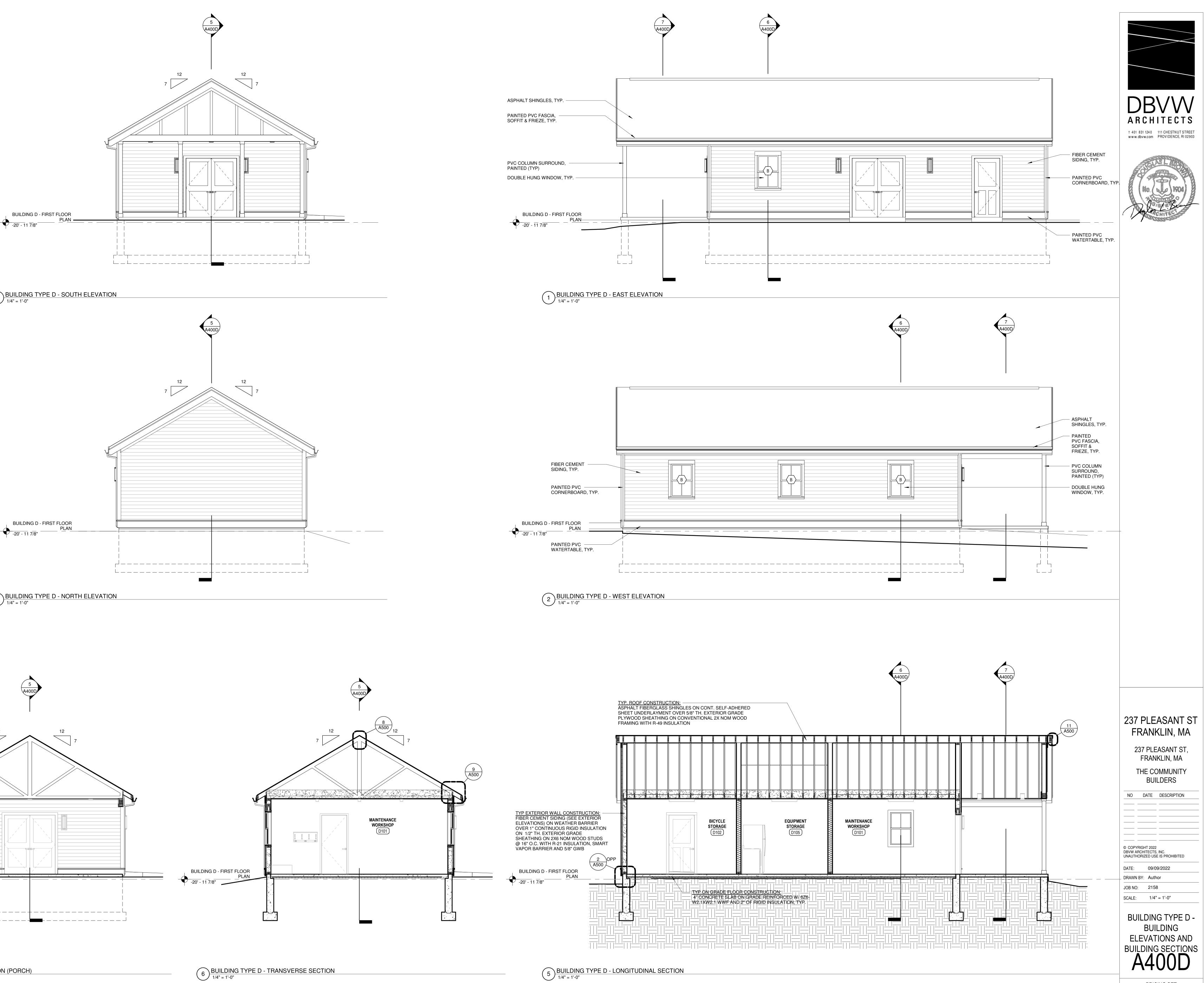


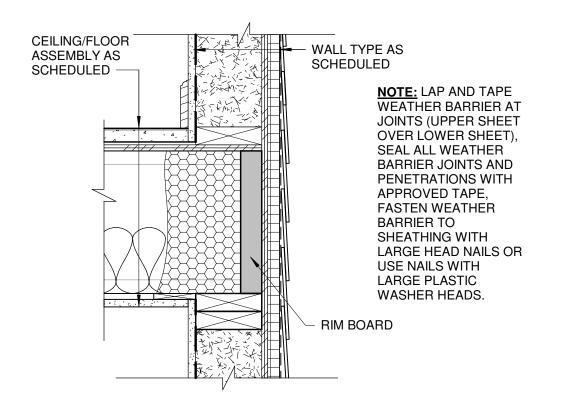




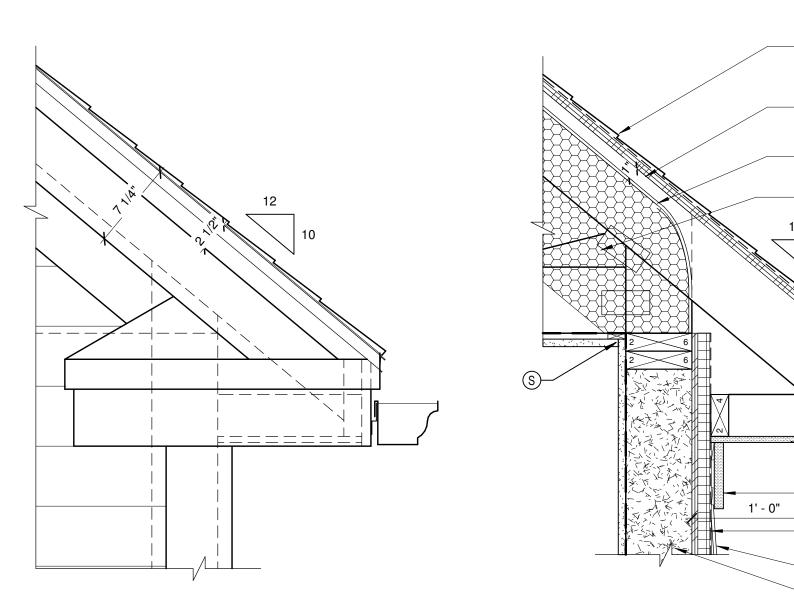




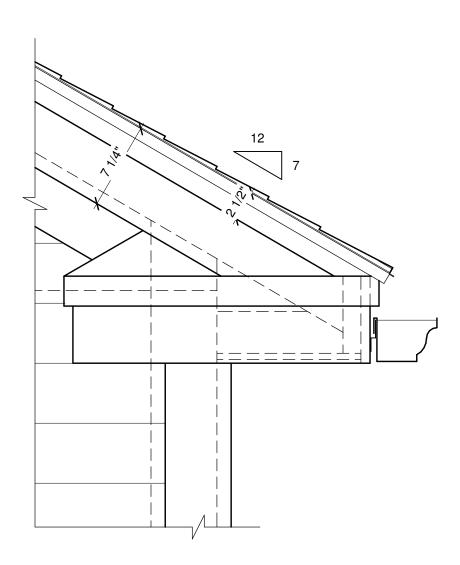


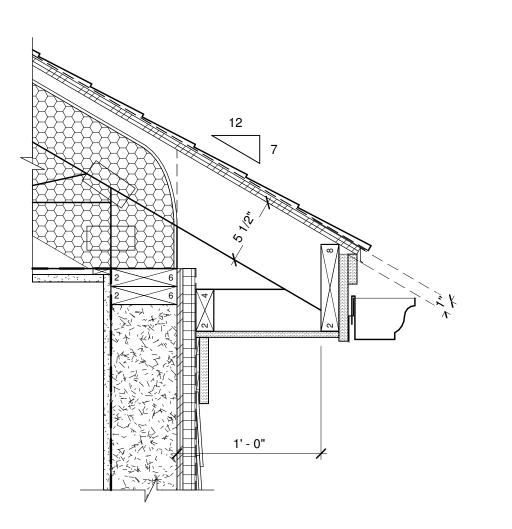


7 TYPICAL END WALL FLOOR FRAMING 1 1/2" = 1'-0"



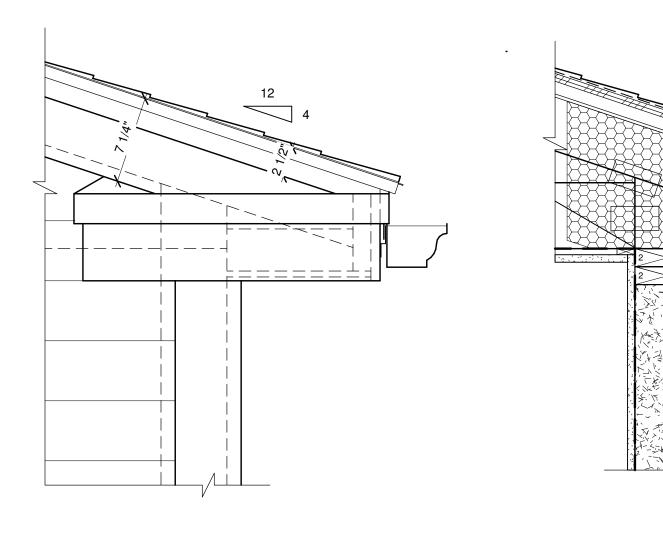
9 <u>TYPICAL EAVE DETAIL 10/12</u> 1 1/2" = 1'-0"



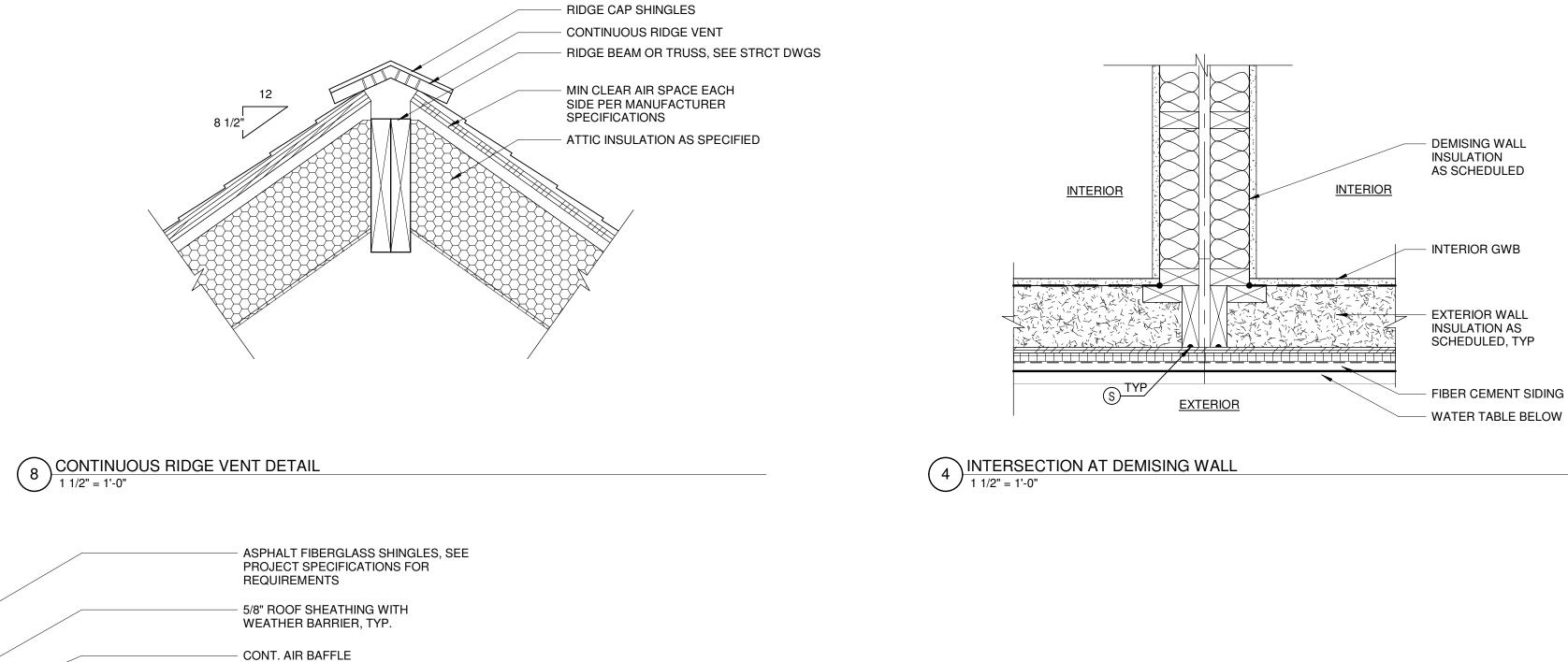


1' - 0"

10 TYPICAL EAVE DETAIL 7/12 1 1/2" = 1'-0"



12 <u>TYPICAL EAVE DETAIL 4/12</u> 1 1/2" = 1'-0"



ATTIC INSULATION AS SPECIFIED

- 1" X 3" PVC SHADOW BOARD ON

1/2" PERFORATED PVC SOFFIT, PAINTED

1 X 6 PTD. PVC TRIM ON 1/4" SHIM

CONTINUOUS WEATHER BARRIER ON 1" RIGID INSULATION ON 1/2"

PREFINISHED FIBER CEMENT SIDING

THICK EXTERIOR SHEATHING

WALL AS SCHEDULED

1X8 PVC FASCIA, PAINTED

PREFINISHED, ALUM

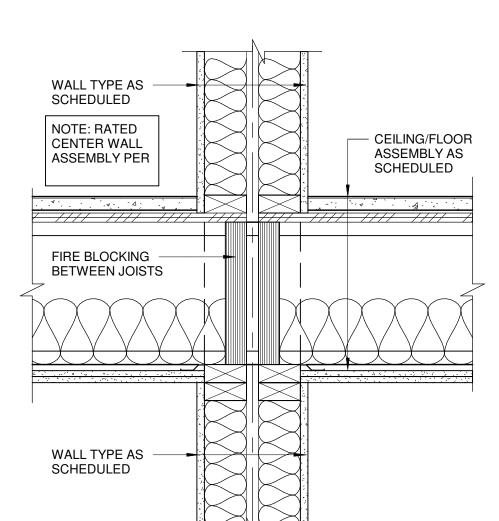
- CONTINUOUS Z CLIP

ALUMINUM K-GUTTER

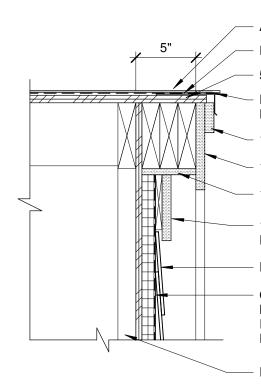
GUTTER HANGER

PREFINISHED 5"

EXTENDED DRIP EDGE



5 TYPICAL FLOOR FRAMING AT DEMISING WALL 1 1/2" = 1'-0"



ASPHALT SHINGLES ROOFING UNDERLAYMENT 5/8" ROOF SHEATHING PREFINISHED, ALUM EXTENDED DRIP EDGE

- 1 X 3 PVC SHADOW BOARD - 1 X 8 PVC RAKE BOARD - 1/2" PAINTED PVC SOFFIT BD

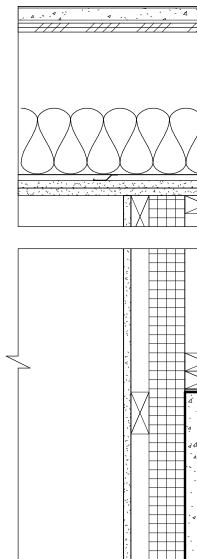
1 X 6 PVC FRIEZE BOARD, PAINTED, ON 1/2" FURRING - FIBER CEMENT SIDING

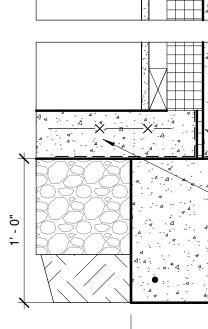
CONTINUOUS WEATHER BARRIER ON 1" RIGID INSULATION ON 1/2" THICK EXTERIOR SHEATHING

- ROOF FRAMING

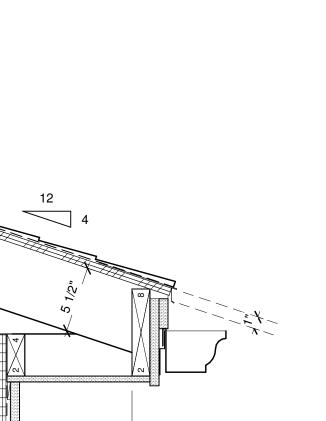
### BASE PER SCHED -FINISH FLR PER FINISH SCHED ON UNDERLAYMENT ON FLOOR FRAMING, SEE STRUCT DWGS

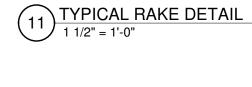
WALL TYPE AS SCHEDULED -





6 PARTIAL FOUNDATION WALL 1 1/2" = 1'-0"







# 3 RAISED FOUNDATION WALL 1 1/2" = 1'-0"

WALL TYPE AS SCHEDULED

**1" RIGID INSULATION** 

FINISH FLR PER FINISH SCHED ON 4" CONC SLAB OVER VAPOR

1 A- O

●<sup>▲</sup> <sup>▲</sup> ▲

1' - 10"

× × × × ×

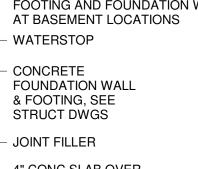
BASE PER SCHED

**BARRIER & RIGID** 

INSULATION, SEE

STRUCT DWGS -

P.T. NAILER —



- 4" CONC SLAB OVER VAPOR BARRIER, SEE STRUCT DWGS

WITH WEATHER BARRIER MFR FOR TERMINATION - 1/4" FOAM SILL SEALER, TYP @ PERIMETER WALLS - DAMPPROOFING

FOOTING AND FOUNDATION WALL

- CONT CAPILLARY BREAK BETWEEN

- 5/4 X 10 CONT PVC TRIM BAND, PTD PROVIDE SEALANT OR FLASHING TAPE BEHIND WEATHER BARRIER, COORD.

LAP OVER WATER TABLE - 2 3/4"H X 2"D PRE-FAB PVC WATER TABLE W/ DRIP

- SELF ADHERED MEMBRANE FLASHING TO

KERF, PTD

11/2 D'C

. .4

· 440.

1' - 10"

A 4

LAP WEATHER BARRIER TO PROVIDE POSITIVE DRAINAGE

- MIN. R-20 SPRAY FOAM

INSULATION BEHIND RIM JOIST

**1" THICK RIGID INSULATION** 

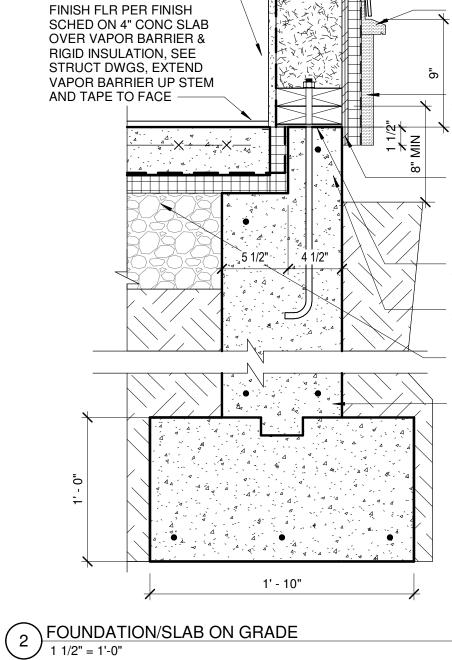
- PRE-FINISHED CEMENT BD SIDING, SEE EXT ELEVATIONS











→ 2 3/4"H X 2"D PRE-FAB PVC WATER TABLE W/ DRIP KERF, PTD 5/4 X 10 CONT PVC TRIM BAND, PTD PROVIDE SEALANT OR FLASHING TAPE BEHIND WEATHER BARRIER, COORD. WITH WEATHER BARRIER MFR FOR TERMINATION - 1/4" FOAM SILL SEALER, TYP @ PERIMETER WALLS FOUNDATION WALL TO BE PAINTED RIGID INSULATION CONTINUOUS HORIZONTALLY CONCRETE FOUNDATION WALL & FOOTING, SEE STRUCT DWGS

REFER TO

BALANCE OF NOTES

PROVIDE PEEL & STICK
 FLASHING AT RAISED

FOUNDATION STEM WALL

– 5/4 CONT PVC TRIM BAND, —HEIGHT VARIES, ALIGN

AROUND PERIMETER OF BUILDING

TOP OF WATERTABLE

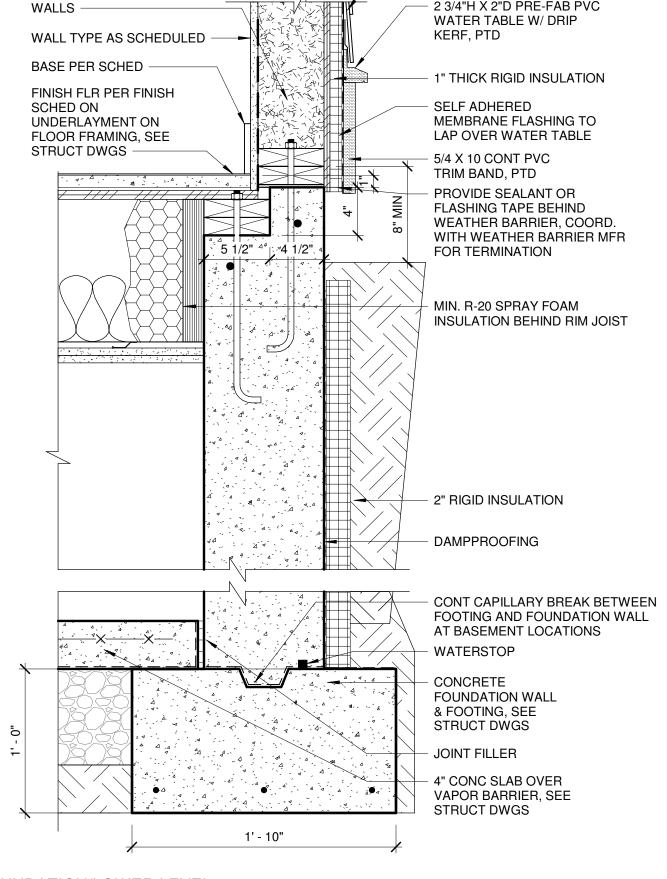
FOR

PRE-FINISHED CEMENT BD SIDING, SEE EXT ELEVATIONS

1 FOUNDATION/LOWER LEVEL 1 1/2" = 1'-0"

WALL TYPE AS SCHEDULED -

BASE PER SCHED



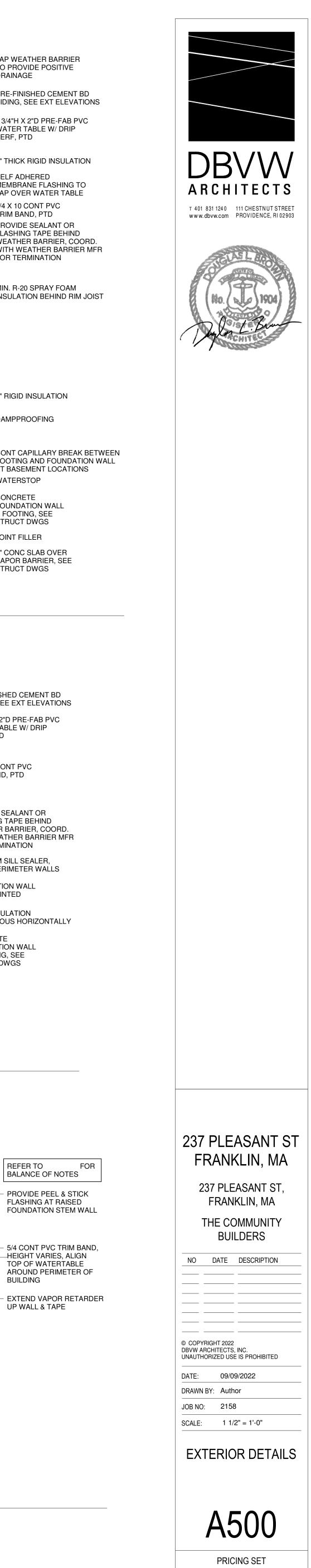
1/4" FOAM SILL SEALER,

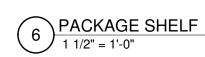
TYP @ PERIMETER

LAP WEATHER BARRIER TO PROVIDE POSITIVE DRAINAGE

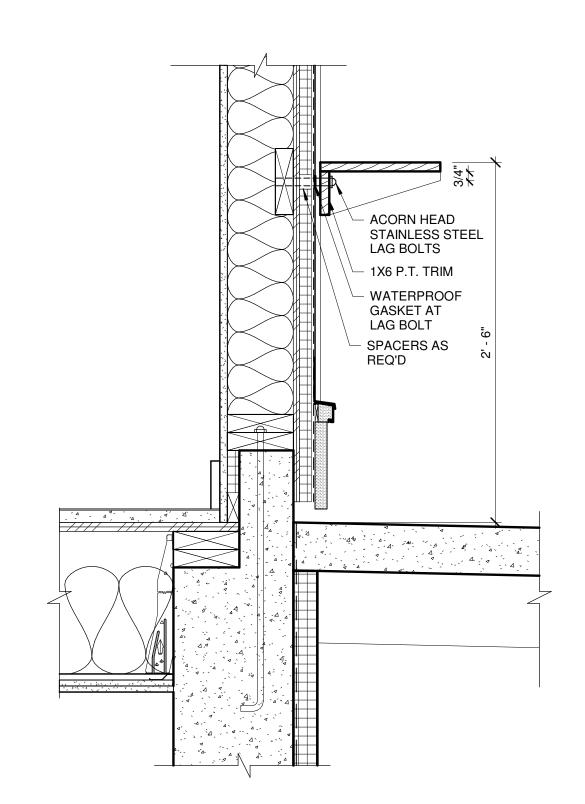
PRE-FINISHED CEMENT BD SIDING, SEE EXT ELEVATIONS - 2 3/4"H X 2"D PRE-FAB PVC WATER TABLE W/ DRIP KERF, PTD

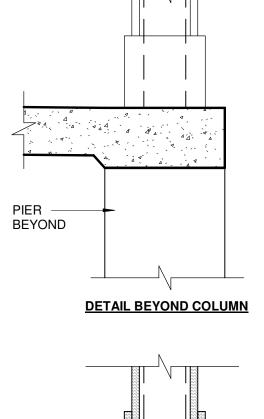
- 1" THICK RIGID INSULATION

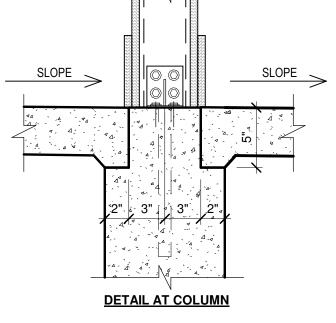


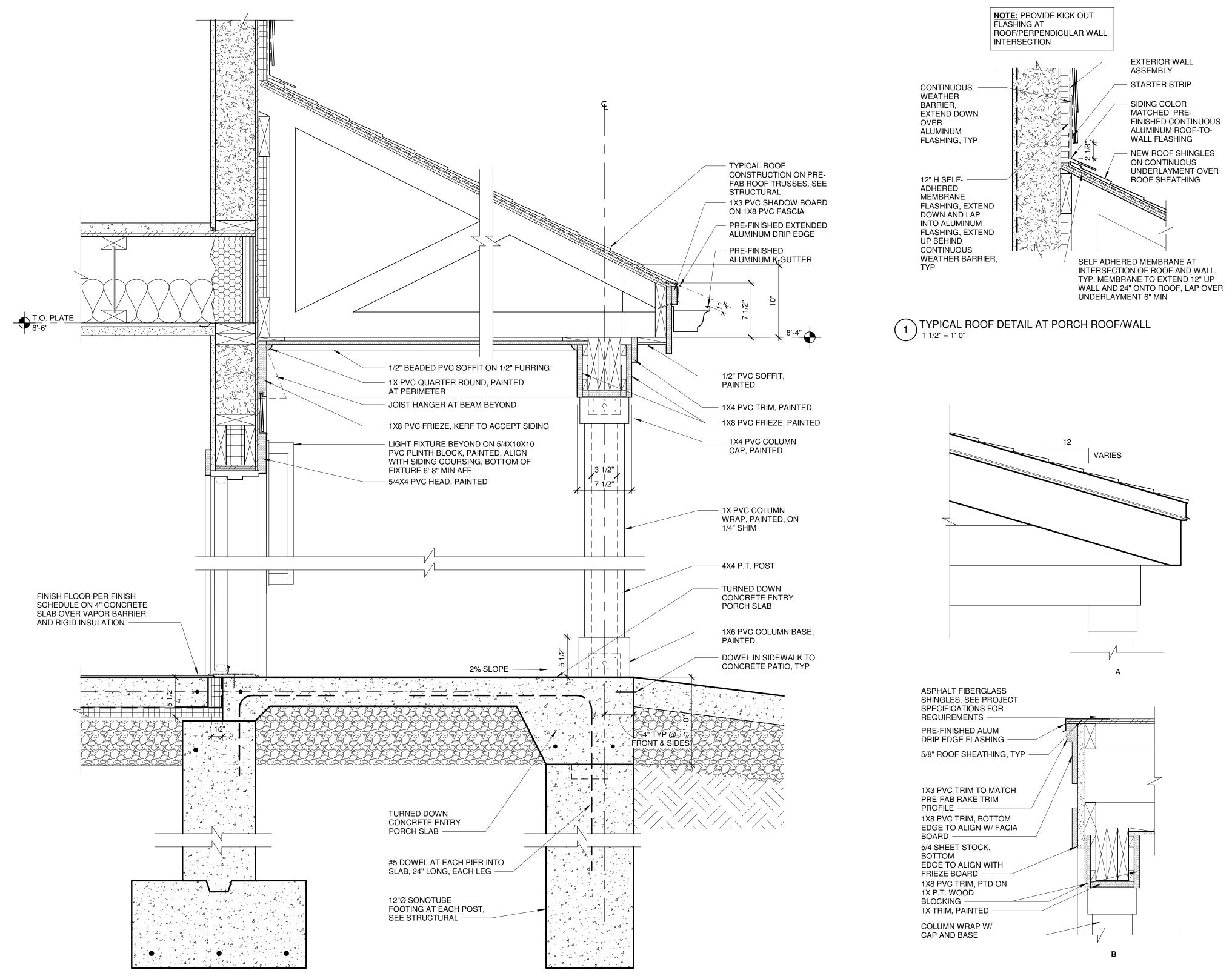






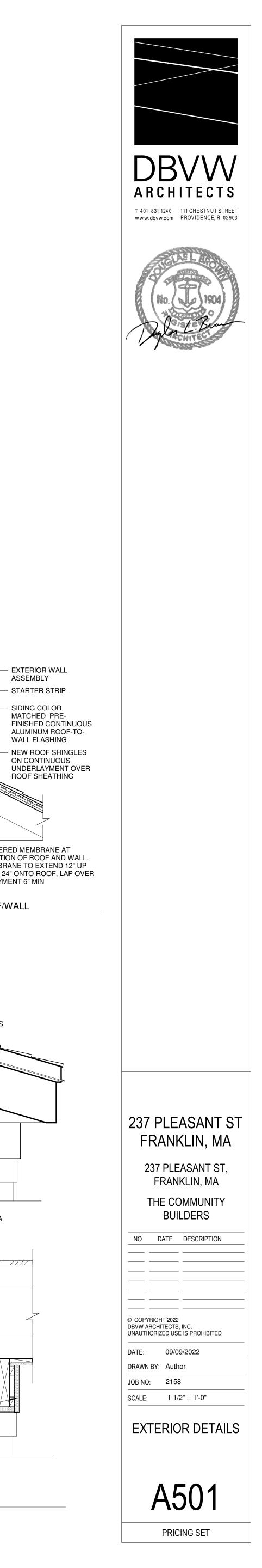


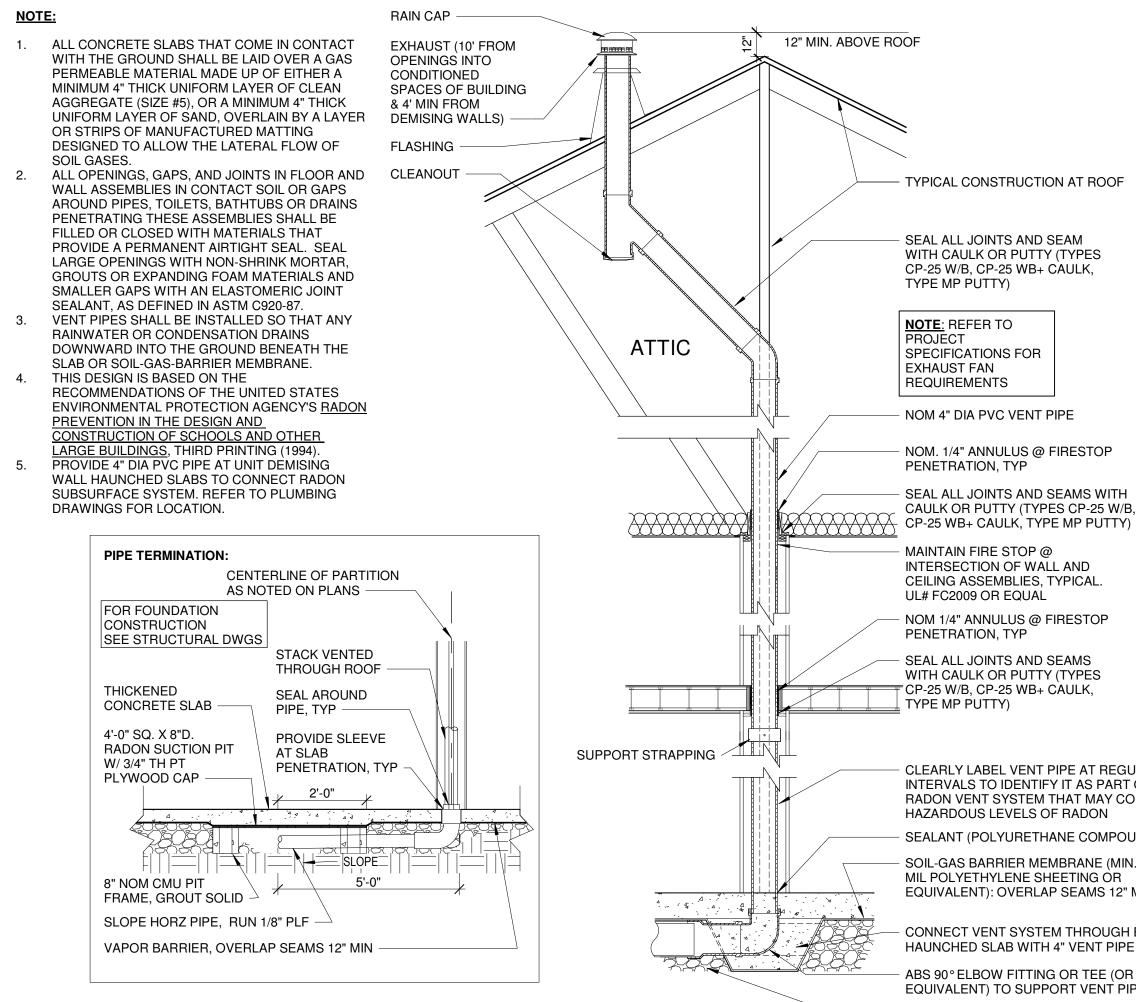




3 FRONT PORCH SECTION @ FLUSH ENTRY 1 1/2" = 1'-0"

2 DETAILS AT PORCH 1 1/2" = 1'-0"





3 TYPICAL RADON DETAIL 1/4" = 1'-0"

- TYPICAL CONSTRUCTION AT ROOF

### - SEAL ALL JOINTS AND SEAM WITH CAULK OR PUTTY (TYPES CP-25 W/B, CP-25 WB+ CAULK, TYPE MP PUTTY)

NOTE: REFER TO PROJECT SPECIFICATIONS FOR EXHAUST FAN REQUIREMENTS

– NOM 4" DIA PVC VENT PIPE

PENETRATION, TYP - SEAL ALL JOINTS AND SEAMS WITH CAULK OR PUTTY (TYPES CP-25 W/B,

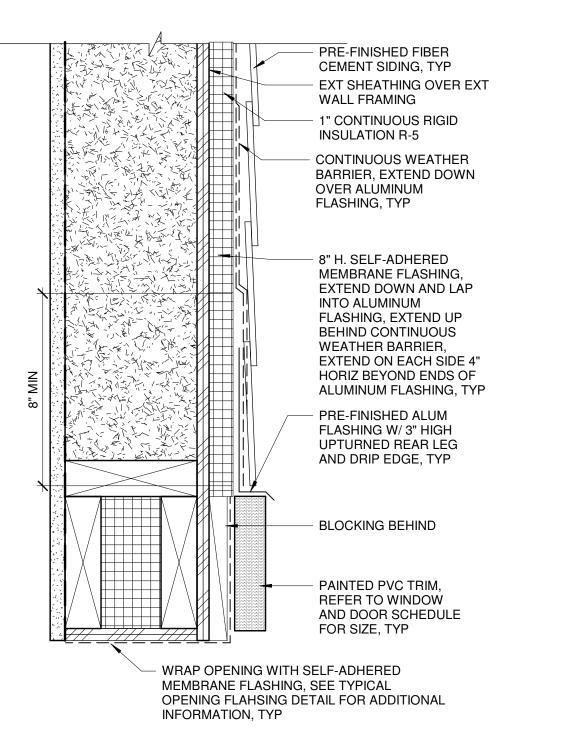
MAINTAIN FIRE STOP @ INTERSECTION OF WALL AND CEILING ASSEMBLIES, TYPICAL. UL# FC2009 OR EQUAL - NOM 1/4" ANNULUS @ FIRESTOP PENETRATION, TYP

- SEAL ALL JOINTS AND SEAMS WITH CAULK OR PUTTY (TYPES CP-25 W/B, CP-25 WB+ CAULK, 

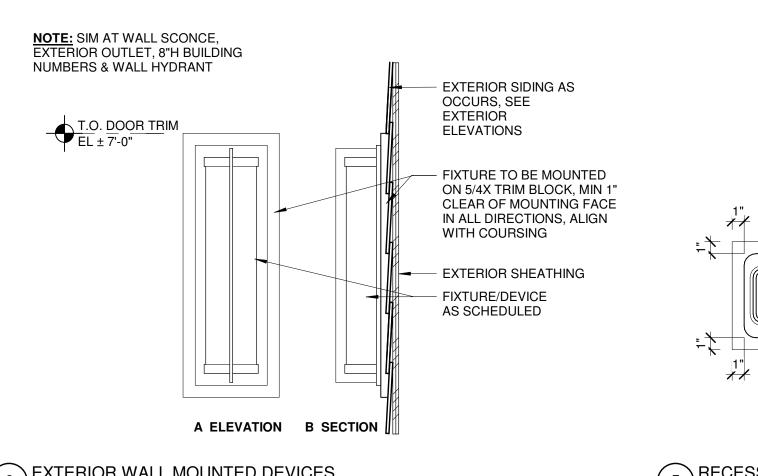
> CLEARLY LABEL VENT PIPE AT REGULAR INTERVALS TO IDENTIFY IT AS PART OF A RADON VENT SYSTEM THAT MAY CONTAIN HAZARDOUS LEVELS OF RADON - SEALANT (POLYURETHANE COMPOUND OR EQUAL) - SOIL-GAS BARRIER MEMBRANE (MIN. 6-MIL POLYETHYLENE SHEETING OR EQUIVALENT): OVERLAP SEAMS 12" MIN

- CONNECT VENT SYSTEM THROUGH EACH HAUNCHED SLAB WITH 4" VENT PIPE - ABS 90° ELBOW FITTING OR TEE (OR EQUIVALENT) TO SUPPORT VENT PIPE

MIN. 8" LAYER OF SIZE #5 CRUSHED AGGREGATE

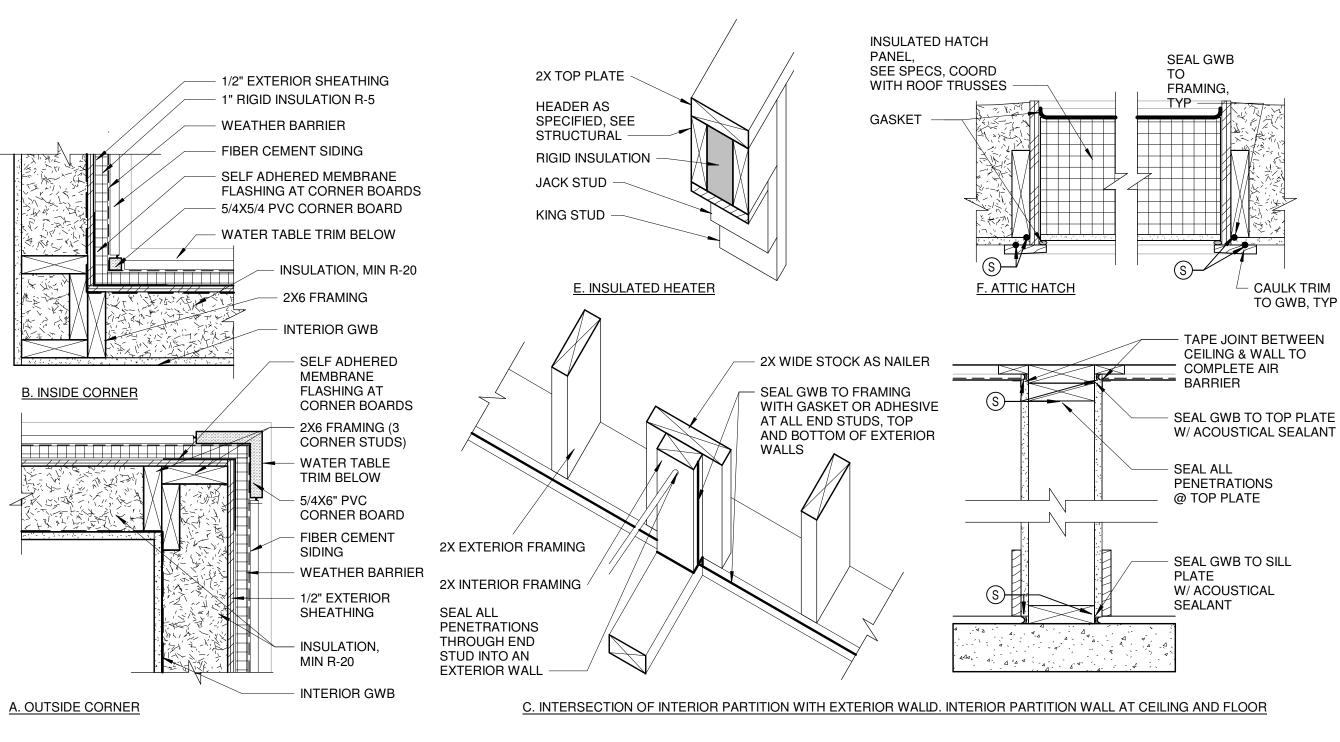


2 TYPICAL FLASHING DETAIL 3" = 1'-0"

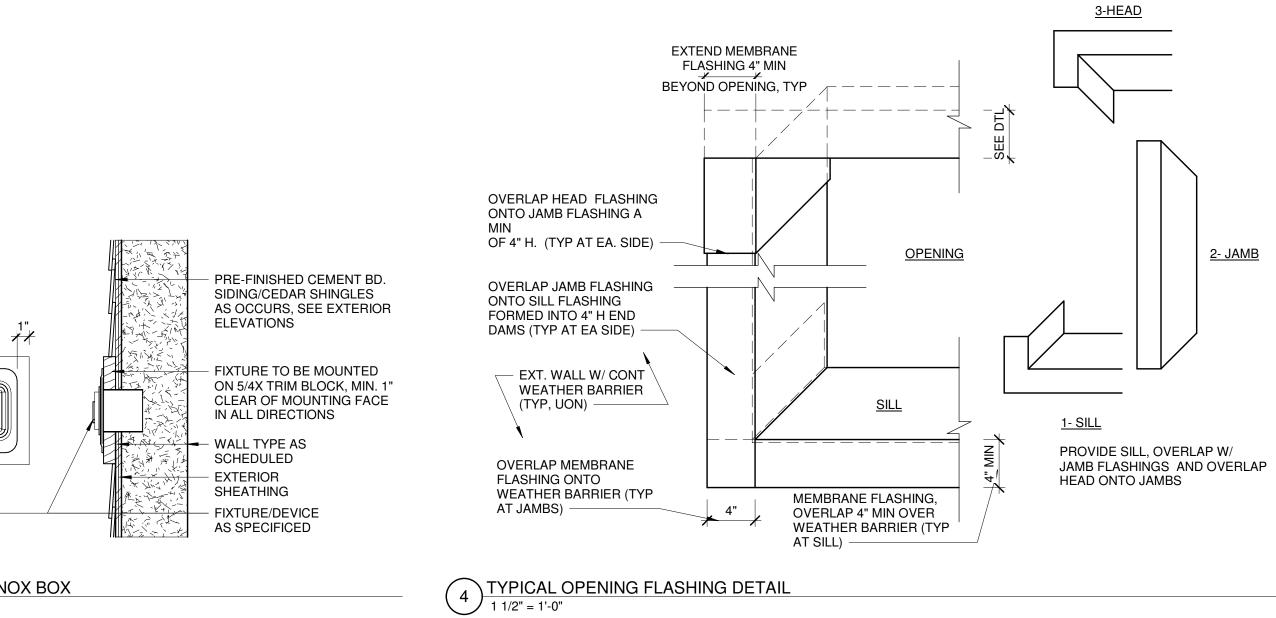


6 EXTERIOR WALL MOUNTED DEVICES





1 TYPICAL FRAMING AND SEALING DETAILS 1 1/2" = 1'-0"



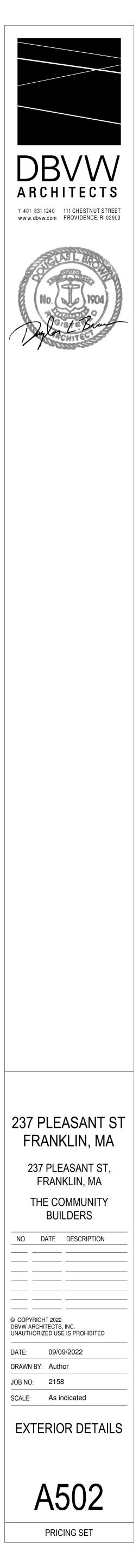
RECESSED KNOX BOX

/ 1 1/2" = 1'-0"

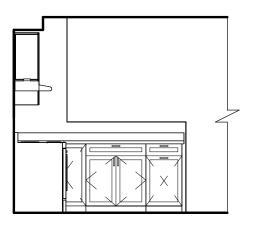


- CAULK TRIM TO GWB, TYP

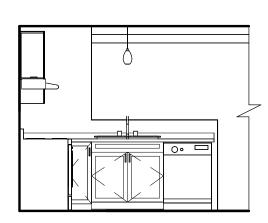
<u>2- JAMB</u>



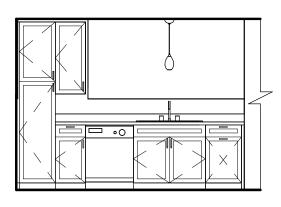
33 <u>TYP KIT - 2 BED TOWNHOUSE (N)</u> 1/4" = 1'-0"



27) TYP KIT - 1&2 BED FLAT (N) 1/4" = 1'-0"

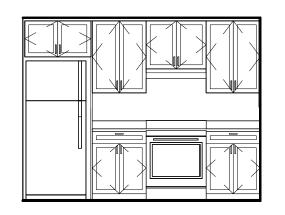


23) KIT - 1 BED ADA FLAT (N) 1/4" = 1'-0"

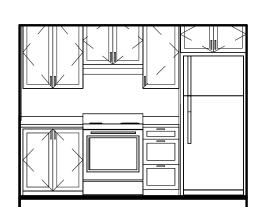


(19) <u>TYP KIT - 1 BED FLAT LL (N)</u> 1/4" = 1'-0"

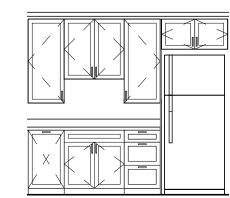
(13) <u>TYP KIT - 1 BED FLAT (S)</u> 1/4" = 1'-0"



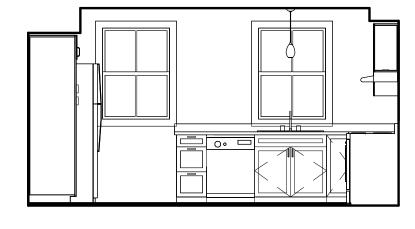
9 <u>TYP KIT - BUILDING A (N)</u> 1/4" = 1'-0"



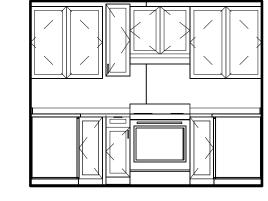
1 COMMUNITY ROOM KITCHEN (N)1/4" = 1'-0"



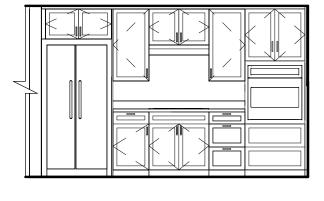




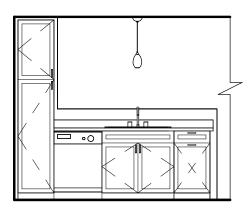
28 <u>TYP KIT - 1&2 BED FLAT (W)</u> 1/4" = 1'-0"



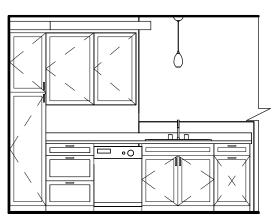
(24) KIT - 1 BED ADA FLAT (S) 1/4" = 1'-0"



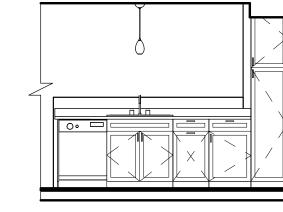
20 <u>TYP KIT - 1 BED FLAT LL (S)</u> 1/4" = 1'-0" TYP BATH - 1 BED FLAT LL (N) 1/4" = 1'-0"



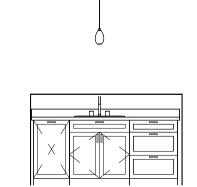
(14) <u>TYP KIT - 1 BED FLAT (N)</u> 1/4" = 1'-0"

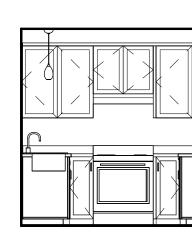


10 <u>TYP KIT - BUILDING A (S)</u> 1/4" = 1'-0"

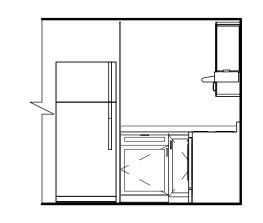


 $2 \frac{\text{COMMUNITY ROOM KITCHEN (S)}}{1/4" = 1'-0"}$ 

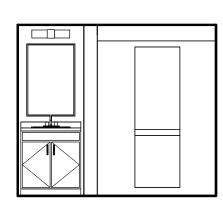


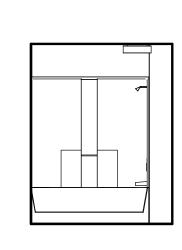


29 <u>TYP KIT - 1&2 BED FLAT (S)</u> 1/4" = 1'-0"

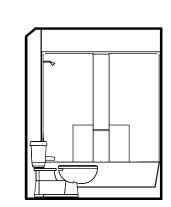


25) BATH - 1 BED ADA FLAT (N) 1/4" = 1'-0"

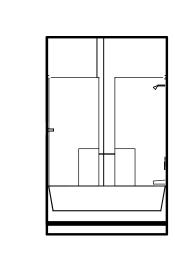




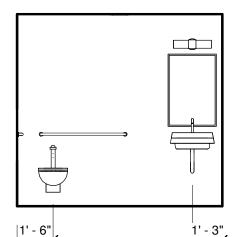
(15) <u>TYP BATH - 1 BED FLAT (E)</u> 1/4" = 1'-0"

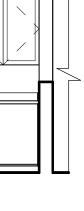


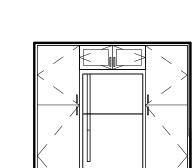
(11) <u>TYP BATH - 1 BED BLDG A (E)</u> 1/4" = 1'-0"



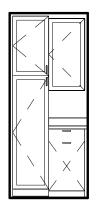
1' - 6" 1' - 3" 3 RESTROOM - BUILDING A 1/4" = 1'-0"



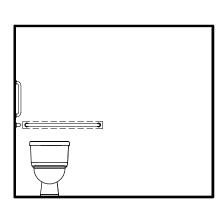




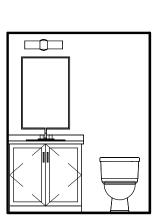
30 TYP KIT - 1&2 BED FLAT(E) 1/4" = 1'-0"



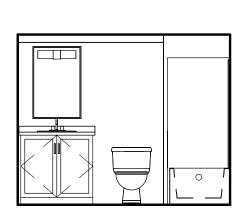
26 BATH - 1 BED ADA FLAT (S)



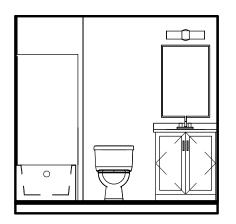
22) TYP BATH - 1 BED FLAT LL (S) 1/4" = 1'-0"



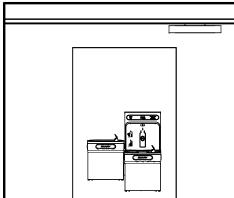
(16) <u>TYP BATH - 1 BED FLAT (N)</u> 1/4" = 1'-0"

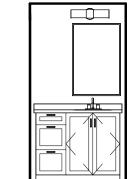


12 <u>TYP BATH - 1 BED BLDG A (S)</u> 1/4" = 1'-0"

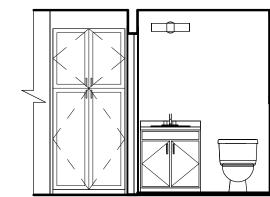


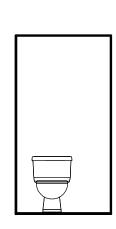
4 <u>CORRIDOR - BLDG A (S)</u> 1/4" = 1'-0"



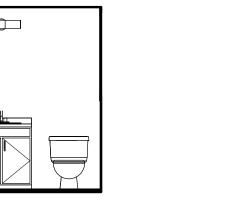


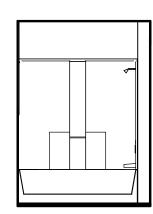
(31) <u>TYP BATH - 1&2 BED FLAT (N)</u> 1/4" = 1'-0"



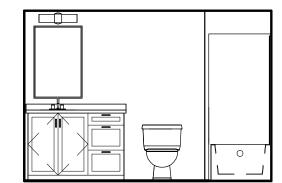


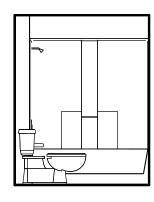
32 <u>TYP BATH - 1&2 BED FLAT (S)</u> 1/4" = 1'-0"





# 17 BATH - 1 BED BLDG C UPPER (N) 1/4" = 1'-0"

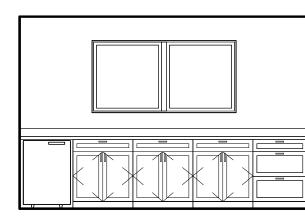


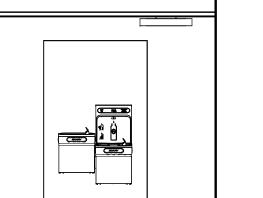


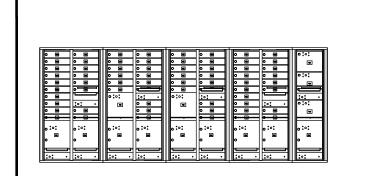
18 BATH - 1 BED BLDG C UPPER (E) 1/4" = 1'-0"

 $5 \underbrace{\text{ENTRY - BLDG A MAILBOXES (W)}}_{1/4" = 1'-0"}$ 

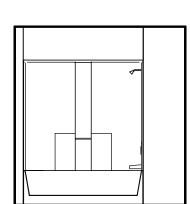
6 KITCHETTE - BLDG A OFFICE (N) 1/4" = 1'-0"



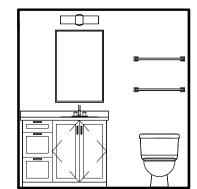




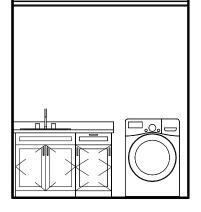
 $\underbrace{35}_{1/4" = 1'-0"} \underbrace{\text{TYP KIT - 2 BED TOWNHOUSE (W)}}_{1/4" = 1'-0"} \underbrace{36}_{1/4" = 1'-0"} \underbrace{\text{TYP KIT - 2 BED TOWNHOUSE (E)}}_{1/4" = 1'-0"} \underbrace{37}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"} \underbrace{\text{TYP BATH - 2 BED TOWNHOUSE LOWER (N)}}_{1/4" = 1'-0"} \underbrace{39}_{1/4" = 1'-0"}$ 



(40) TYP BATH - 2 BED TOWNHOUSE UPPER (S) 1/4" = 1'-0"

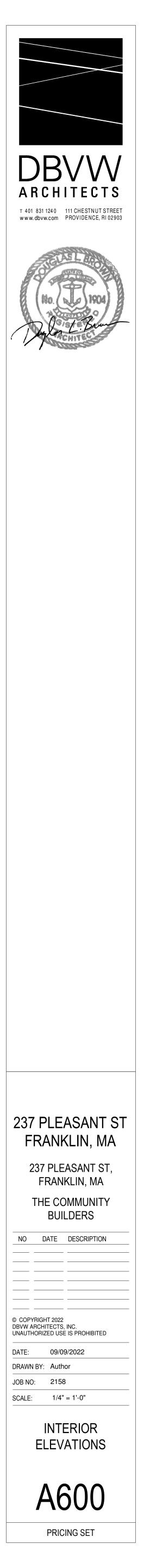






7 LAUNDRY - BLDG A (E) 1/4" = 1'-0"

8 LAUNDRY - BLDG A (W) 1/4" = 1'-0"

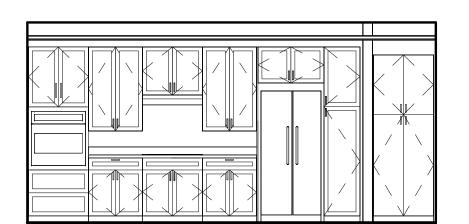


# 25 <u>KITCHEN - 2 BED ADA FLAT (E)</u> 1/4" = 1'-0"

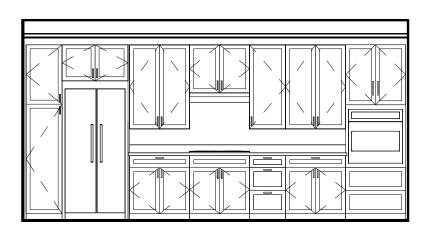
20 <u>TYP KIT - 3 BED TOWNHOUSE (E)</u> 1/4" = 1'-0"

(14) KITCHEN - 3 BED FLAT (N) 1/4" = 1'-0"

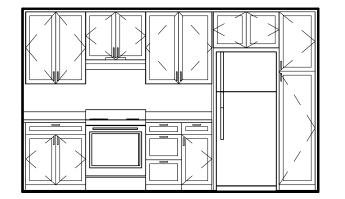
9 <u>KITCHEN - 3 BEDROOM ADA (N)</u> 1/4" = 1'-0"



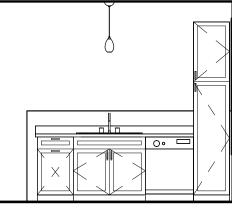
5 <u>KITCHEN - 2 BED ADA (N)</u> 1/4" = 1'-0"

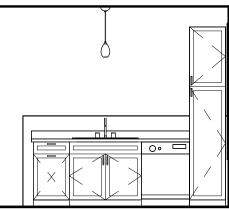


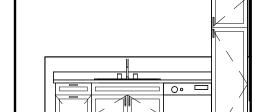
1 <u>TYP KIT - 2 BED CENTER (E)</u> 1/4" = 1'-0"

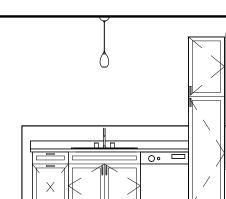


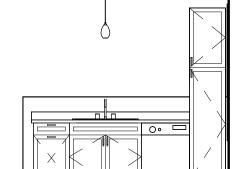
## 26 <u>KITCHEN - 2 BED ADA FLAT (W)</u> 1/4" = 1'-0"

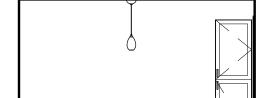




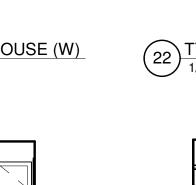


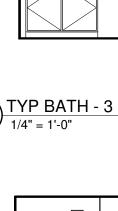




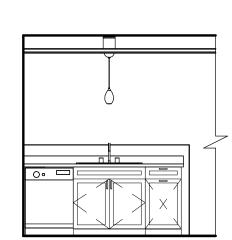






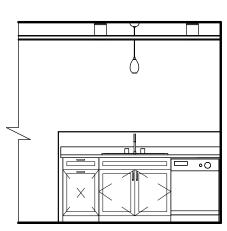


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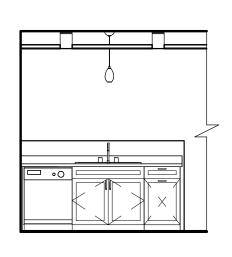


(15) <u>KITCHEN - 3 BED FLAT (S)</u> 1/4" = 1'-0"

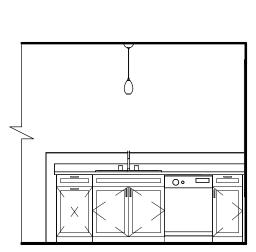
10 KITCHEN - 3 BEDROOM ADA (S) 1/4" = 1'-0"



6 KITCHEN - 2 BED ADA (S) 1/4" = 1'-0"

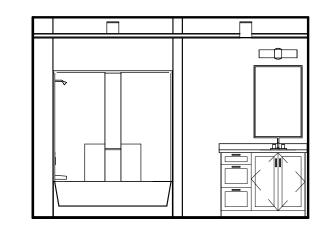


2 <u>TYP KIT - 2 BED CENTER (W)</u> 1/4" = 1'-0"

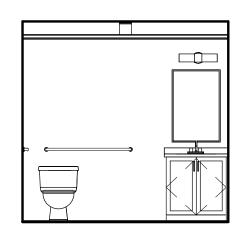




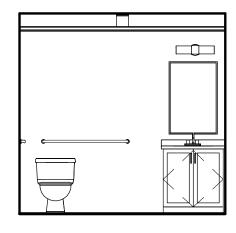
3 <u>TYP BATH - 2 BED CENTER (N)</u> 1/4" = 1'-0"

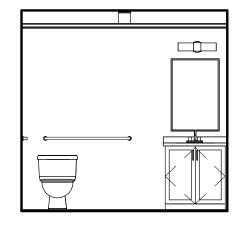


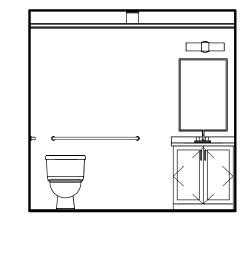
7 BATH - 2 BED ADA (N) 1/4" = 1'-0"

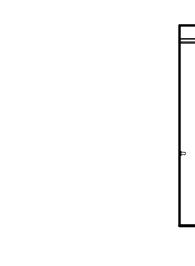


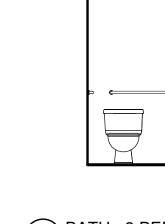
11 BATH - 3 BED ADA BATH 1 (E) 1/4" = 1'-0"

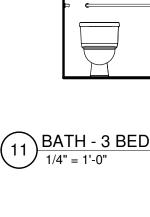


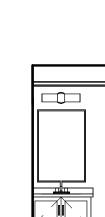


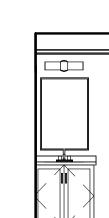


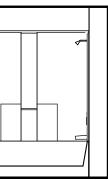


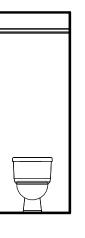




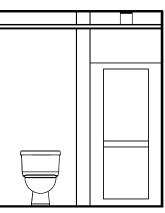




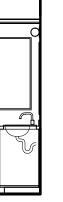




16 BATH - 3 BED FLAT BATH 1 (N) 1/4" = 1'-0"



22 TYP BATH - 3 BED TOWNHOUSE LOWER (E) 1/4" = 1'-0"

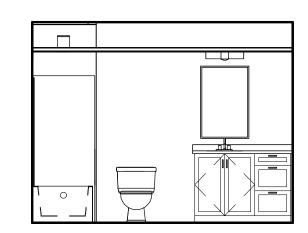


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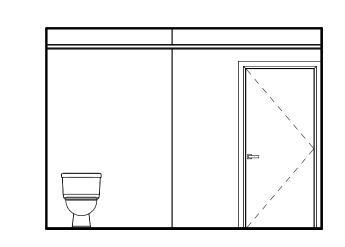
23 TYP BATH - 3 BED TOWNHOUSE UPPER (N) 1/4" = 1'-0"

27) BATH - 2 BED ADA FLAT (N) 1/4" = 1'-0"

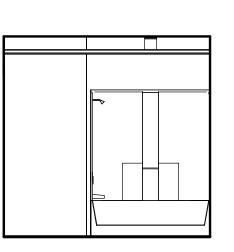
28) BATH - 2 BED ADA FLAT (E) 1/4" = 1'-0"



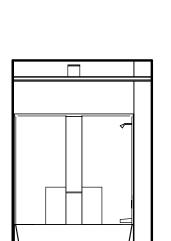
4 <u>TYP BATH - 2 BED CENTER (E)</u> 1/4" = 1'-0"



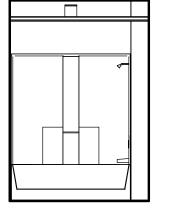
8 BATH - 2 BED ADA (S) 1/4" = 1'-0"

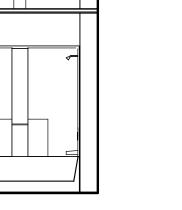


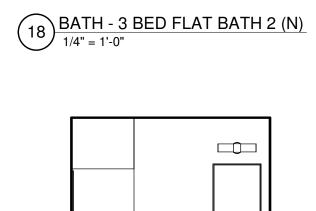
12 BATH - 3 BED ADA BATH 1 (W)



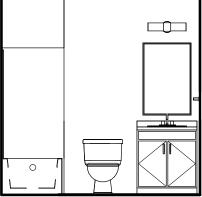
(17) BATH - 3 BED FLAT BATH 1 (S) 1/4" = 1'-0"



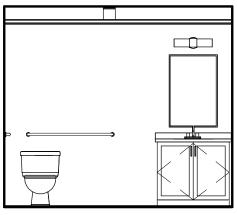




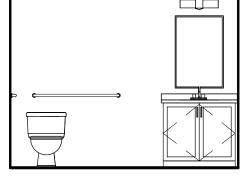




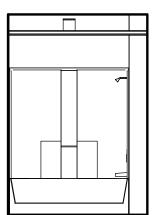
24 TYP BATH - 3 BED TOWNHOUSE UPPER (E) 1/4" = 1'-0"



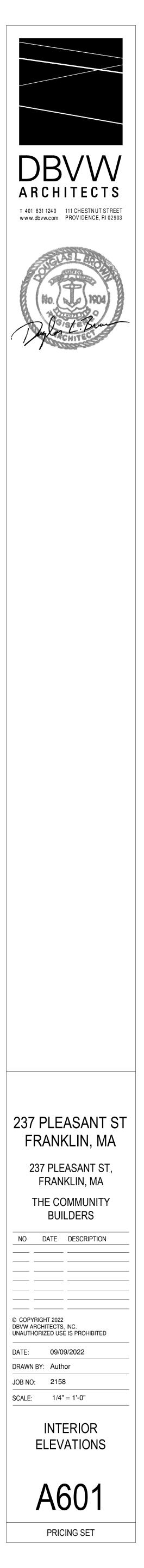
13 BATH - 3 BED ADA BATH 2 (E) 1/4" = 1'-0"

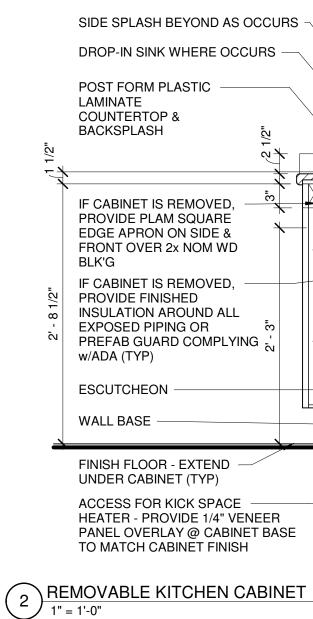


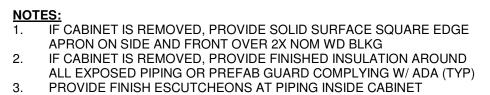




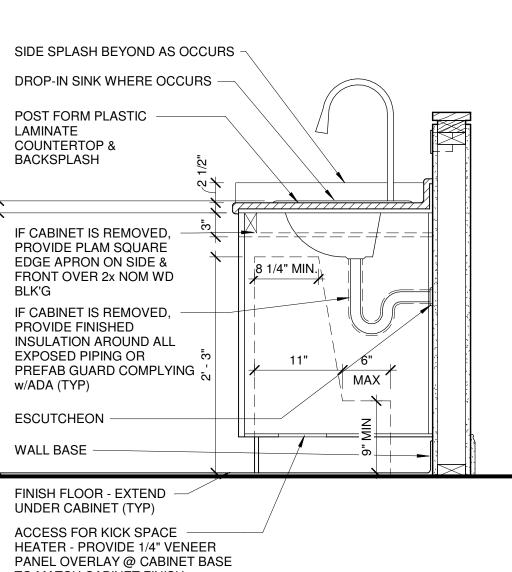
(19) BATH - 3 BED FLAT BATH 2 (S) 1/4" = 1'-0"

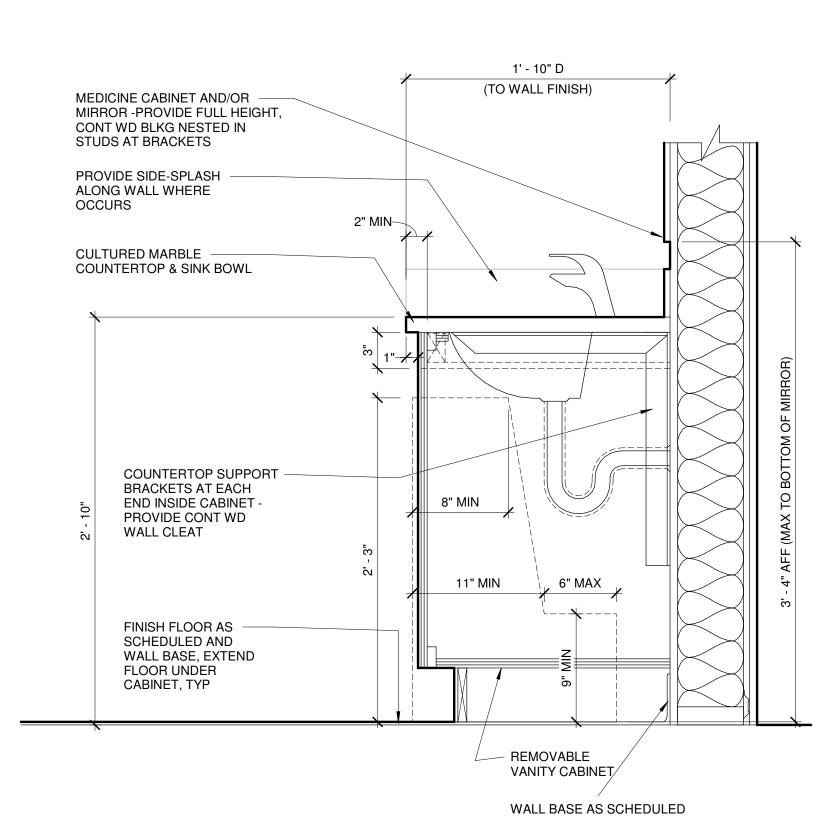




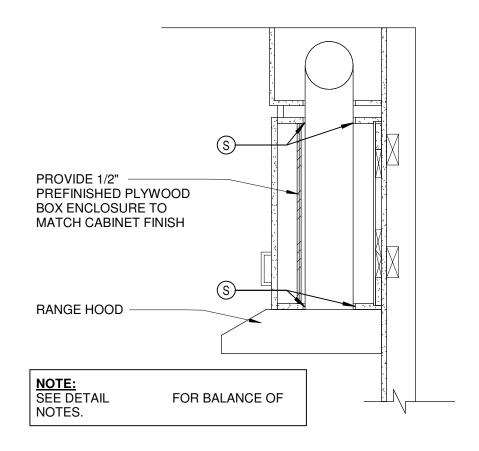


4. COORDINATE VENT LOCATION WITH RECESSED MEDICINCE CABINET

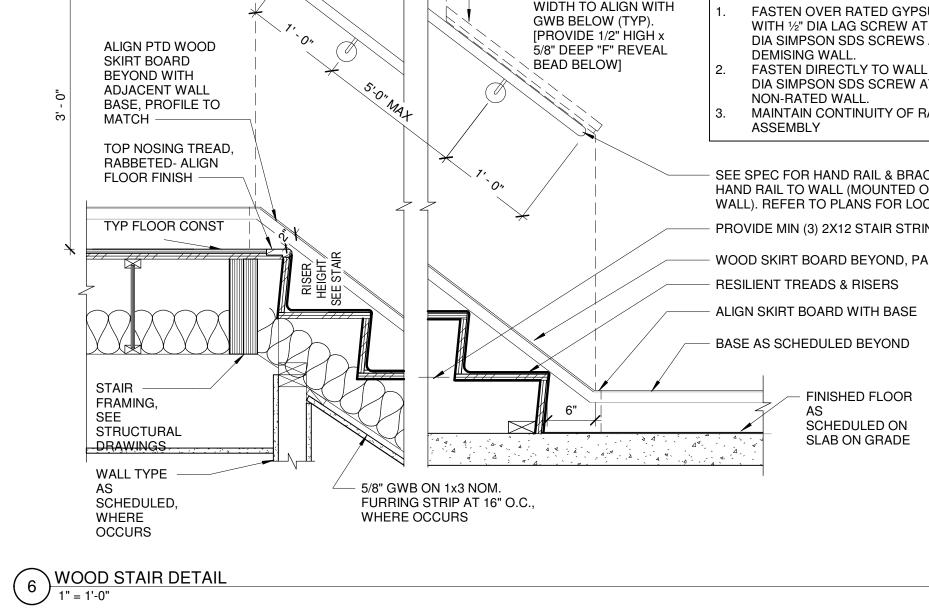




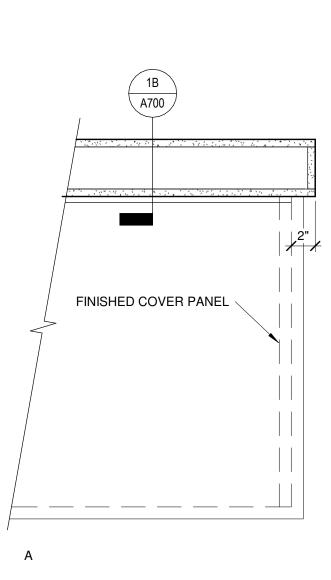
4 TYP REMOVABLE BATHROOM LAV CABINET 1 1/2" = 1'-0"

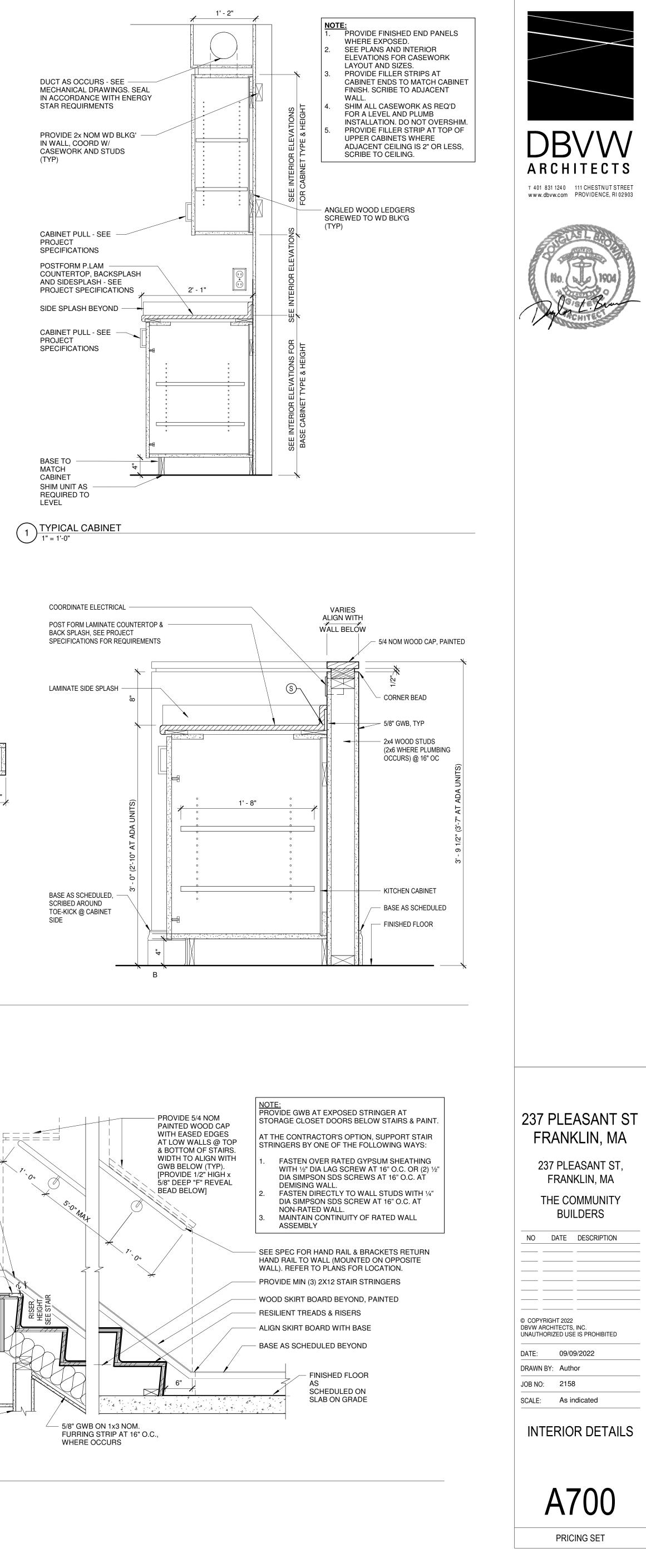


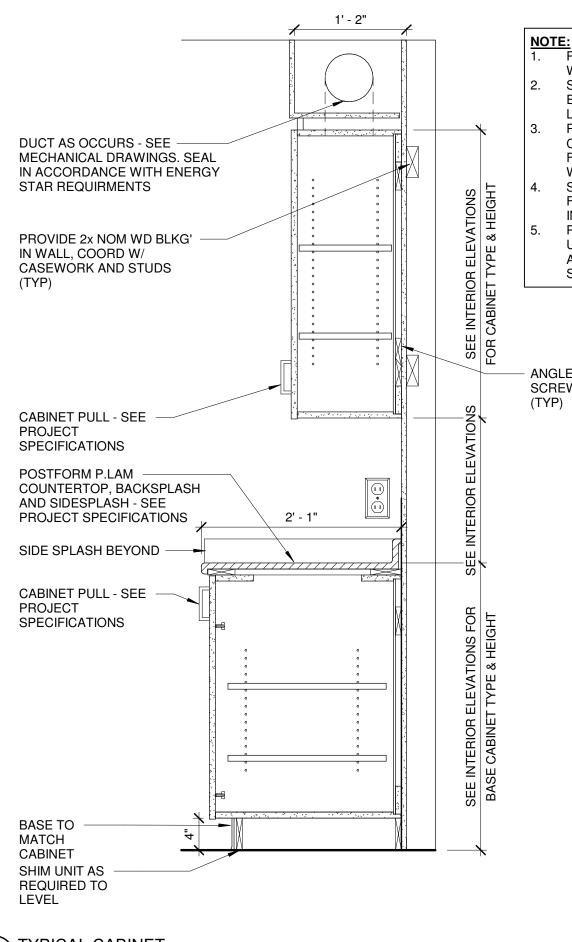
5 RANGE HOOD EXHAUST ENCLOSURE

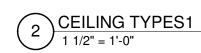


3 KITCHEN ISLAND DETAILS 1 1/2" = 1'-0"

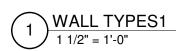




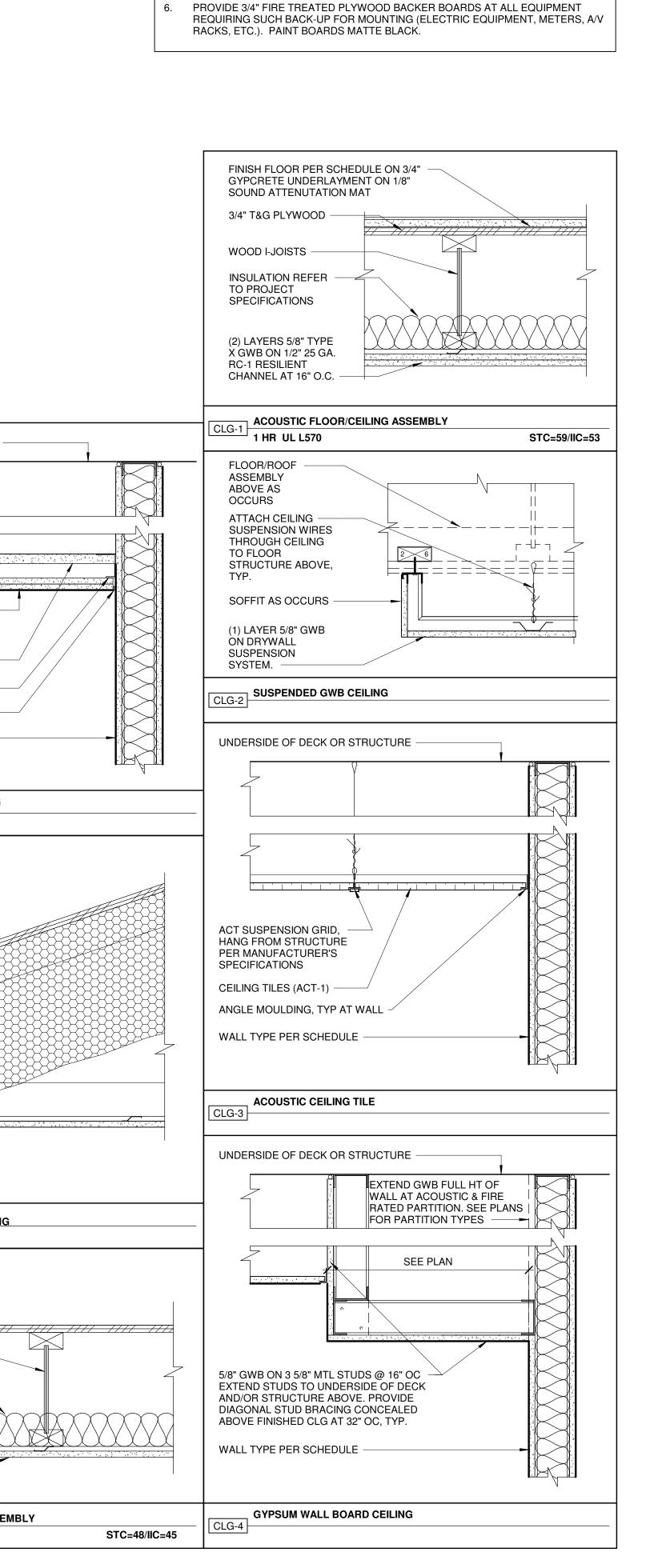




UNDERSIDE OF DECK OR ST	RUCTURE
2 LAYERS 5/8" TYPE "C" GWB ON 2 1/2" C-H 22 GAUGE MET STUDS AT 24" OC AT	
1" GWB LINER PANEL ———	
"J" RUNNER	
CONT FIRE RESISTIVE JOINT	SYSTEM -
WALL TYPE PER SCHEDULE	
2 HR ACOUSTIC RATE	D CEILING
UL DESIGN U415 SYST	ГЕМ В
ROOF ASSEMBLY ABOVE - REFER TO STRUCT DWGS	
RC CHANNELS AT 16" OC	
5/8" GYP BD CEILING	
CLG-6 1 HOUR GYPSUM BOA UL DESIGN P531	KD CEILIN
3/4" T&G PLYWOOD	
WOOD I-JOISTS	
TO PROJECT SPECIFICATIONS	
(1) LAYER 5/8" TYPE X GWB ON 1/2" 25 GA. RC-1 RESILIENT	
CHANNEL AT 16" O.C. ——	$\vdash$
	ILING ASS
CLG-7	



SCALE: 1 1/2"=1'-0"



GENERAL PARTITION NOTES

IN PARTITION TYPES.

BOARD

FOR ACOUSTICAL SEALANT REQUIREMENTS.

AT ACOUSTICAL WALLS PROVIDE ACOUSTICAL SEALANT AS NOTED IN THE TYPICAL ACOUSTICAL SEALANT DETAIL A/A800. SEE PROJECT SPECIFICATIONS

SEE CEILING TYPES FOR FURTHER INFORMATION REGARDING REQUIREMENTS

CONTRACTOR TO COORDINATE CORRECT SEQUENCING OF WALL AND CEILING SYSTEM COMPONENTS TO CREATE A FIRE RATED WALL ASSEMBLY AND/OR

ACOUSTIC WALL ASSEMBLY AS INDICATED BY THE WALL AND CEILING TYPES.

PROOFING REQUIREMENTS AT WALLS. ALSO SEE PROJECT SPECIFICATIONS FOR SOUND ISOLATION REQUIREMENTS AND SOUND PROOFING REQUIREMENTS OF

ALL WALL PENETRATIONS AND WALL MOUNTED EQUIPMENT, INCLUDING BUT NOT

LIMITED TO MECHANICAL DUCTWORK AND EQUIPMENT, PLUMBING LINES AND

BATHROOMS AND ENCLOSED OFFICES. PROVIDE INSULATION AT ALL ACOUSTIC

FIRE RATED ASSEMBLIES CONSISTENT WITH U.L. ASSEMBLY RATINGS AS NOTED

PROVIDE SOUND BATT INSULATION AT ALL CLASSROOM, MEETING ROOMS,

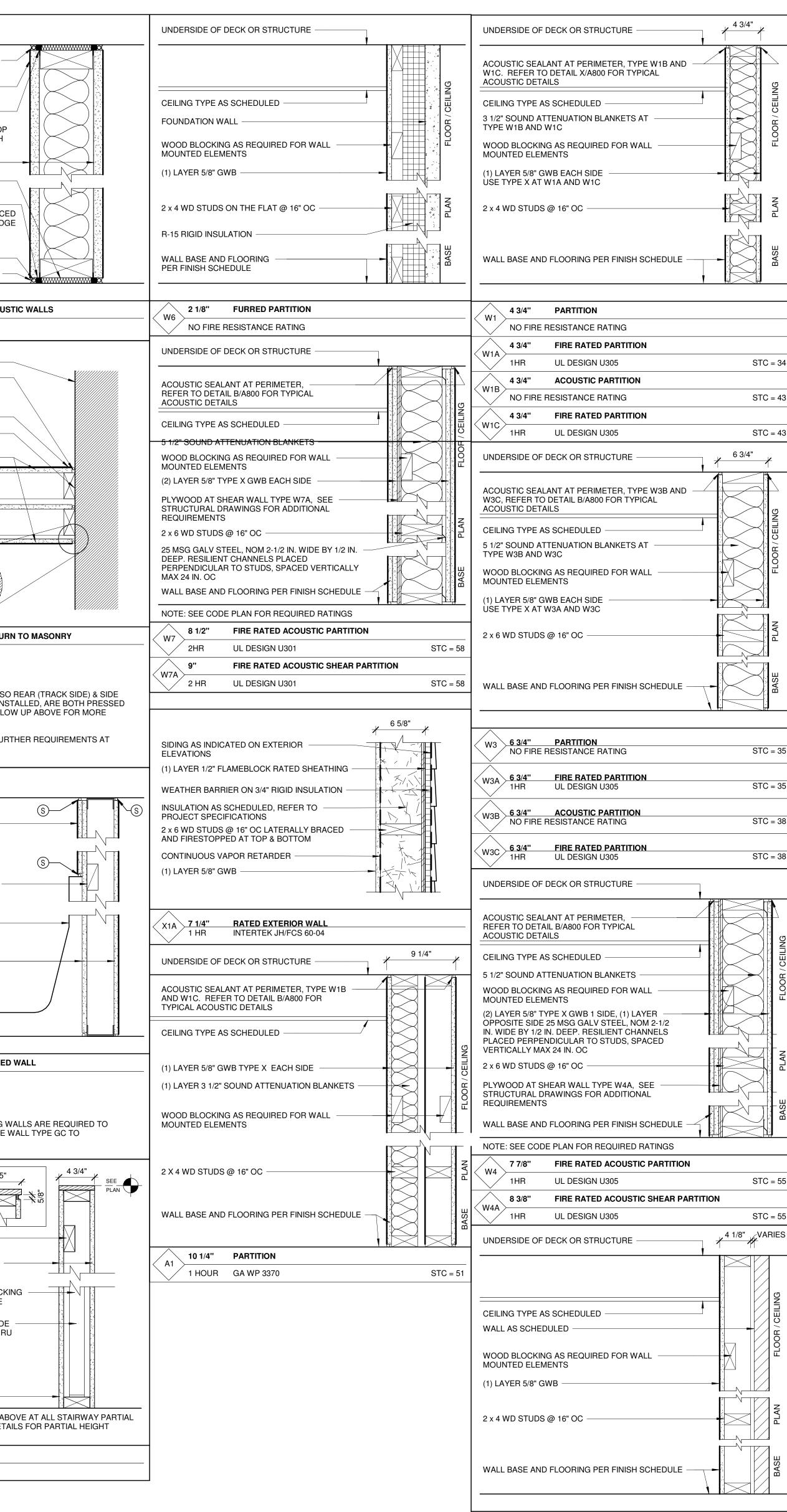
ALL BASEMENT WALL TO RECEIVE ABUSE RESISTANT GLASS MAT GYPSUM

FIXTURES, ELECTRICAL EQUIPMENT AND FIRE PROTECTION LINES.

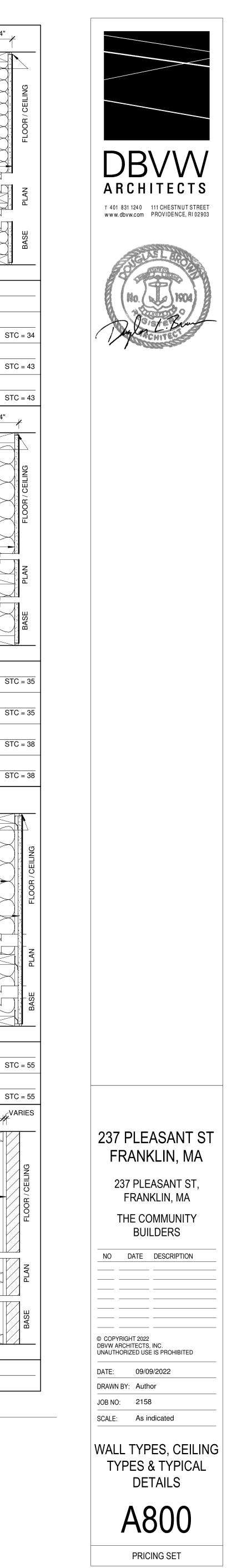
SEE TYPICAL WALL TYPE DETAILS ON SHEET A800 FOR ADDITIONAL SOUND

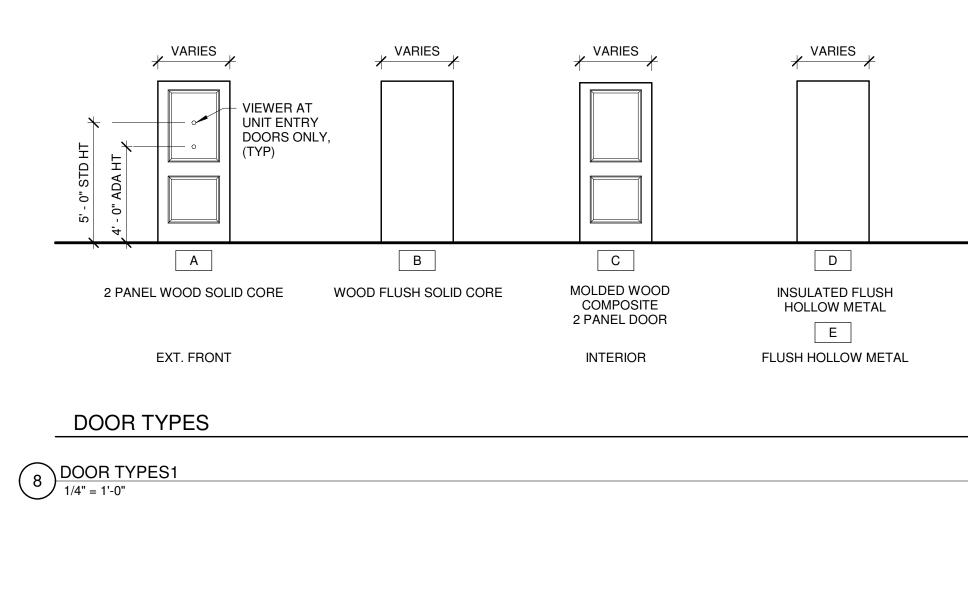
FOR THE INTEGRATION OF THE CEILING SYSTEM WITH THE WALL ASSEMBLY.

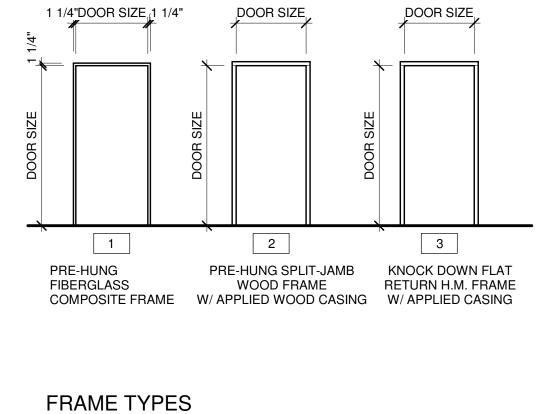
	& SEALANT TO FINISH OFF GES ALONG TOP OF WALL
	R AWAY BEAD ALONG GES OF WALL, TYP
	ALANT STIC SEALANT IS TO BE ERTICAL (TRACK SIDE) & TOP
EDGE GWB, V	VHEN INSTALLED, ARE BOTH COUSTIC SEALANT.
TRACK OF AC	YP AT TOP AND BOTTOM
NOTE: ACOUS SO VERTICAL OF GWB, WHE	ALANT STIC SEALANT IS TO BE PLACE (TRACK SIDE) & BOTTOM EDO EN INSTALLED, ARE BOTH O ACOUSTIC SEALANT
BACKER ROD ACOUSTIC SE	ALANT TO CLOSE OFF GAP -
( A )	AL SEALANT DETAIL @ ACOU
MASONRY WA	ALL
PROVIDE CON ACOUSTIC SE WALL, PROVID ACOUSTIC SE	NTINUOUS BEAD OF ALANT AT EDGES OF DE MIN 1/4" MAX 3/8" ALANT JOINT
	BEAD, TYP BOTH SIDES ——
	ER SCHEDULE
	TL. @ ACOUSTIC WALL RETUR
NOTES:	:: 1 1/2"=1'-0"
1. ACOUSTIC	SEALANT IS TO BE PLACED SO DE) EDGE OF GWB, WHEN INS
	IC SEALANT. SEE DETAIL BLO
2. SEE PROJE "ACOUSTIC P/	CT SPECIFICATIONS FOR FUE ARTITIONS"
(1) LAYER OF	5/8" GWB ADDED TO
	TYPE AT RATED WALLS, OR KEYED WALL TYPE
FIRE RATED V	VOOD BLOCKING AS REQ'D -
TUB / SHOWE	R
WALL TYPE V	ARIES
SEE FLOOR P	-
( C )	ETAIL: TUB/SHOWER @ RATE : 1 1/2"=1'-0"
NOTES:	
1. WALL AT CO MAINTAIN A R	ORRIDORS & UNIT DEMISING V ATING AS INDICATED BY THE SEQUENCING
	PTD. WD. CAP W/ 5" EASED EDGES
	1 7777
	REVEAL BEAD
WALL MOUN	AND SEALANT
WALL MOUN (1) LAYER 5, STUDS AT 1 PROVIDE CO	AND SEALANT
WALL MOUN (1) LAYER 5, STUDS AT 1 PROVIDE CO ENTIRE STU STUDS TO T AT UNBRAC	AND SEALANT
WALL MOUN (1) LAYER 5, STUDS AT 1 PROVIDE CC ENTIRE STU STUDS TO T AT UNBRAC 24"X12"X1/4" BOLTED TO FLOOR. BO BOLTS PER	AND SEALANT
WALL MOUN (1) LAYER 5, STUDS AT 1 PROVIDE CO ENTIRE STU STUDS TO T AT UNBRAC 24"X12"X1/4" BOLTED TO FLOOR. BO BOLTS PER STUDS AT E	AND SEALANT
WALL MOUN (1) LAYER 5, STUDS AT 1 PROVIDE CO ENTIRE STU STUDS TO T AT UNBRAC 24"X12"X1/4" BOLTED TO FLOOR. BO BOLTS PER STUDS AT E WALL BASE	AND SEALANT
WALL MOUN (1) LAYER 5, STUDS AT 1 PROVIDE CO ENTIRE STU STUDS TO T AT UNBRAC 24"X12"X1/4 BOLTED TO FLOOR. BO BOLTS PER STUDS AT E WALL BASE NOTE: PROVI HEIGHT WALL WALLS AT KI	AND SEALANT



W5 4 1/8" FURRED PARTITION NO FIRE RESISTANCE RATING

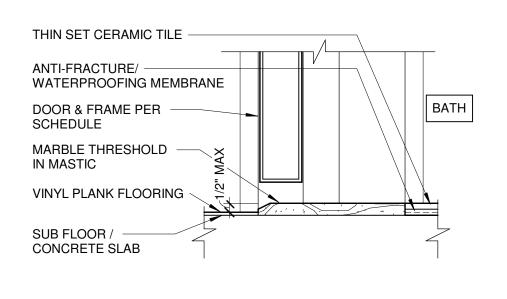


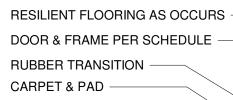




9 FRAME TYPES1 1/4" = 1'-0"

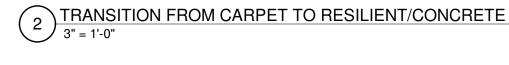
DOOR SCHEDULE	OOR SCHEDULE NOTES
	PROVIDE 3/4" CLEAR UNDERCUT ON BOTTOM OF DOOR.
DOOR FRAME DETAIL 2.	CARD READER ON DOOR. G.C. TO COORDINATE ADDITIONAL REQUIREMENTS
TYPE THICKNESS WIDTH PANEL WIDTH PANEL WIDTH HEIGHT MATERIAL FINISH TYPE MATERIAL RATING HEAD JAMB SILL HARDWARE COMMENTS	WITH OWNER'S VENDOR. SEE ELECTRICAL DRAWINGS FOR MORE INFO.

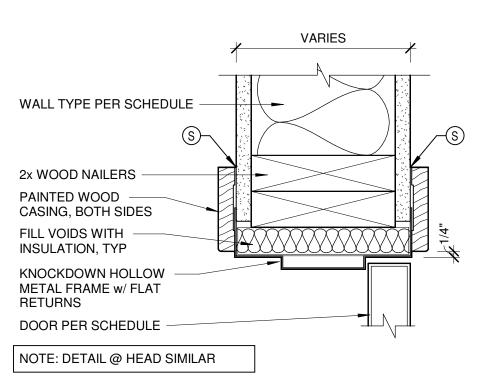






3 THRESHOLD @ BATH & RESILIENT FLOORING 3" = 1'-0"



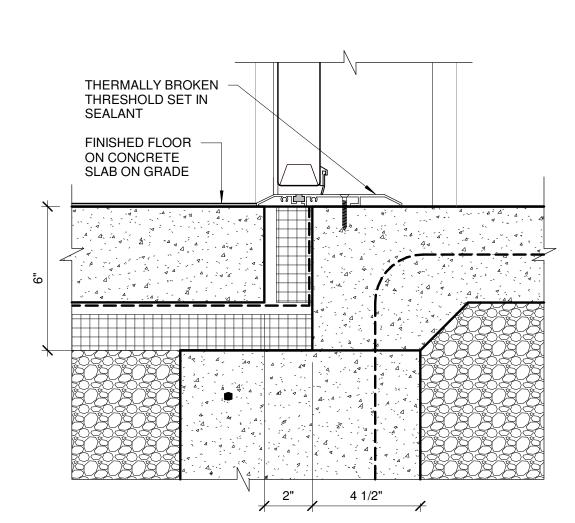


6 HM FLAT RETURN W/ APPLIED CASING 3" = 1'-0"

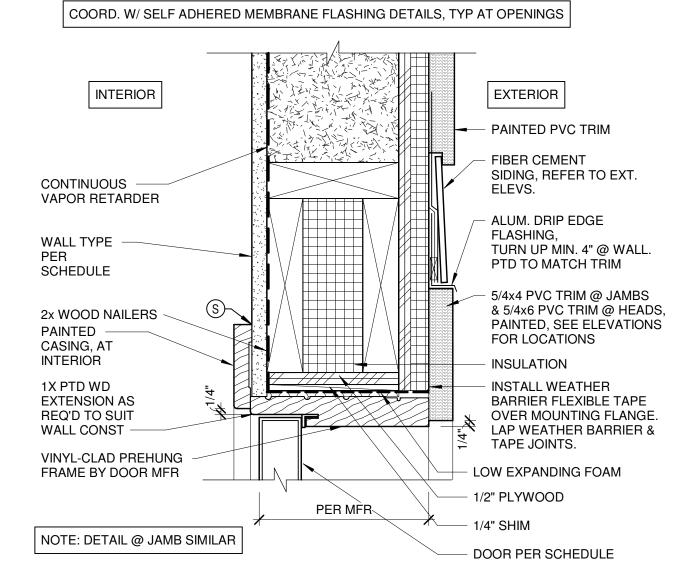


BOTH SIDES

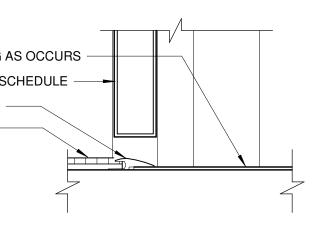
SPLIT JAMB -

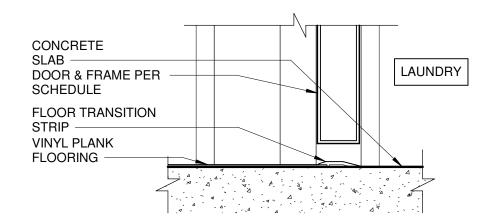


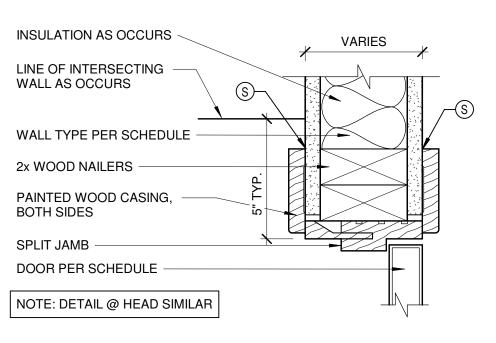
4 HEAD DETAIL @ PREHUNG EXT DOOR 3" = 1'-0"



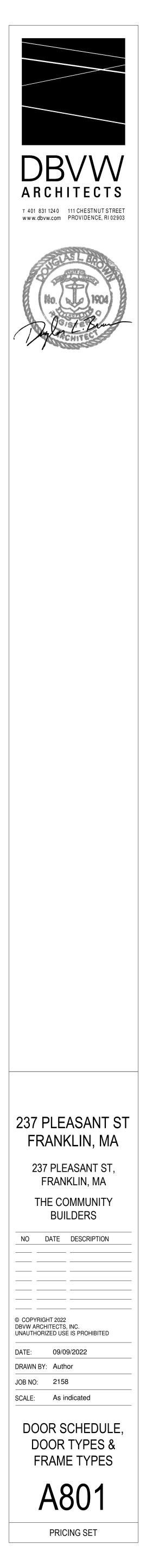
1 TRANSITION FROM RESILIENT FLOOR TO CONCRETE 3" = 1'-0"

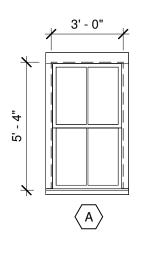




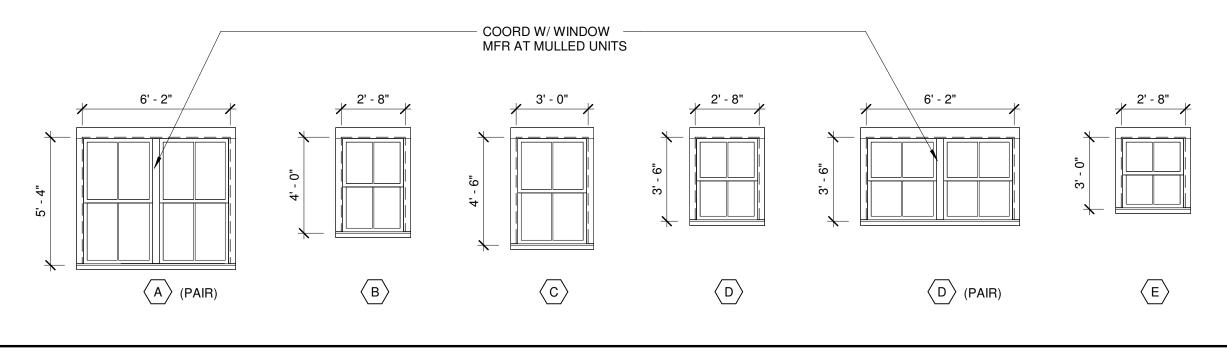




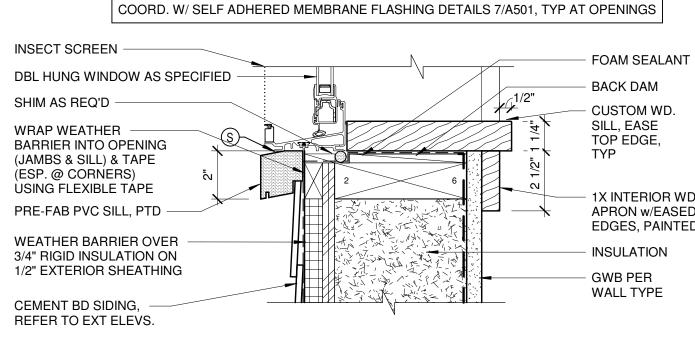




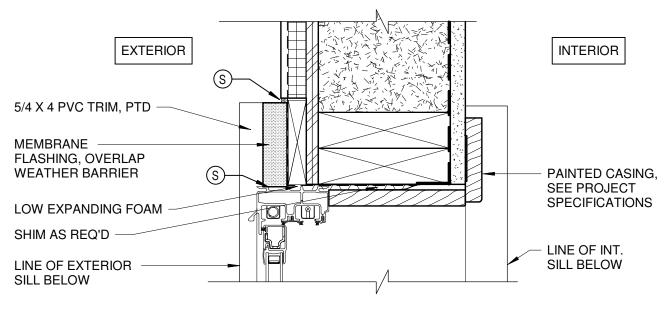
4 <u>WINDOW TYPES</u> 1/4" = 1'-0"



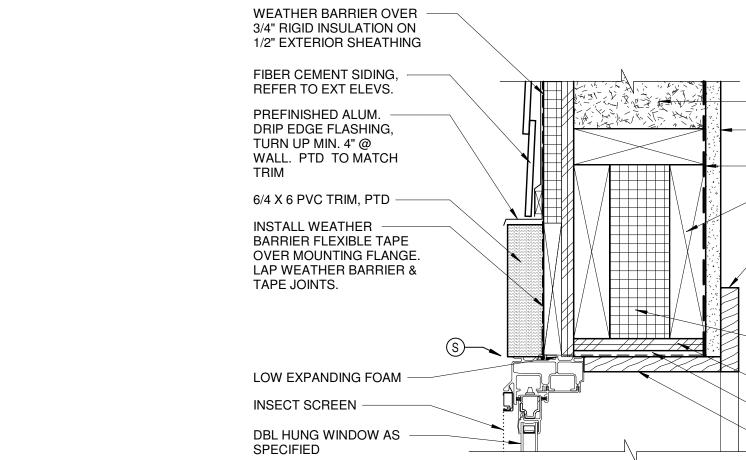
## 3 TYPICAL WINDOW SILL 3" = 1'-0"

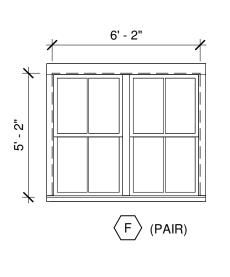


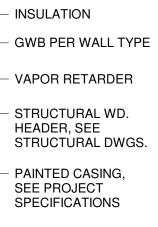
2 TYPICAL WINDOW JAMB 3" = 1'-0"



# 1 <u>TYP. WINDOW HEAD</u> 3" = 1'-0"







- INSULATION

- INSULATION

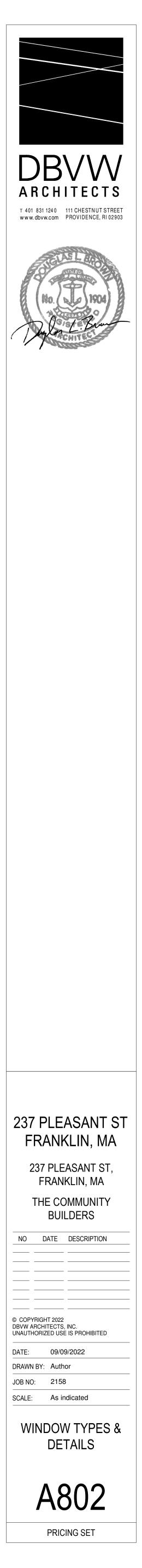
— 1/4" SHIM

PAINTED

1/2" PLYWOOD

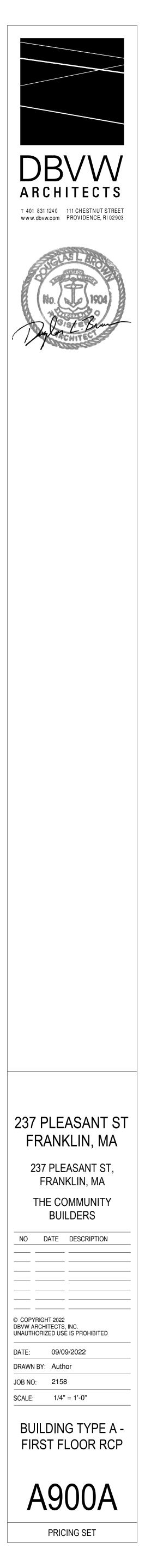
- EXTENSION JAMB,

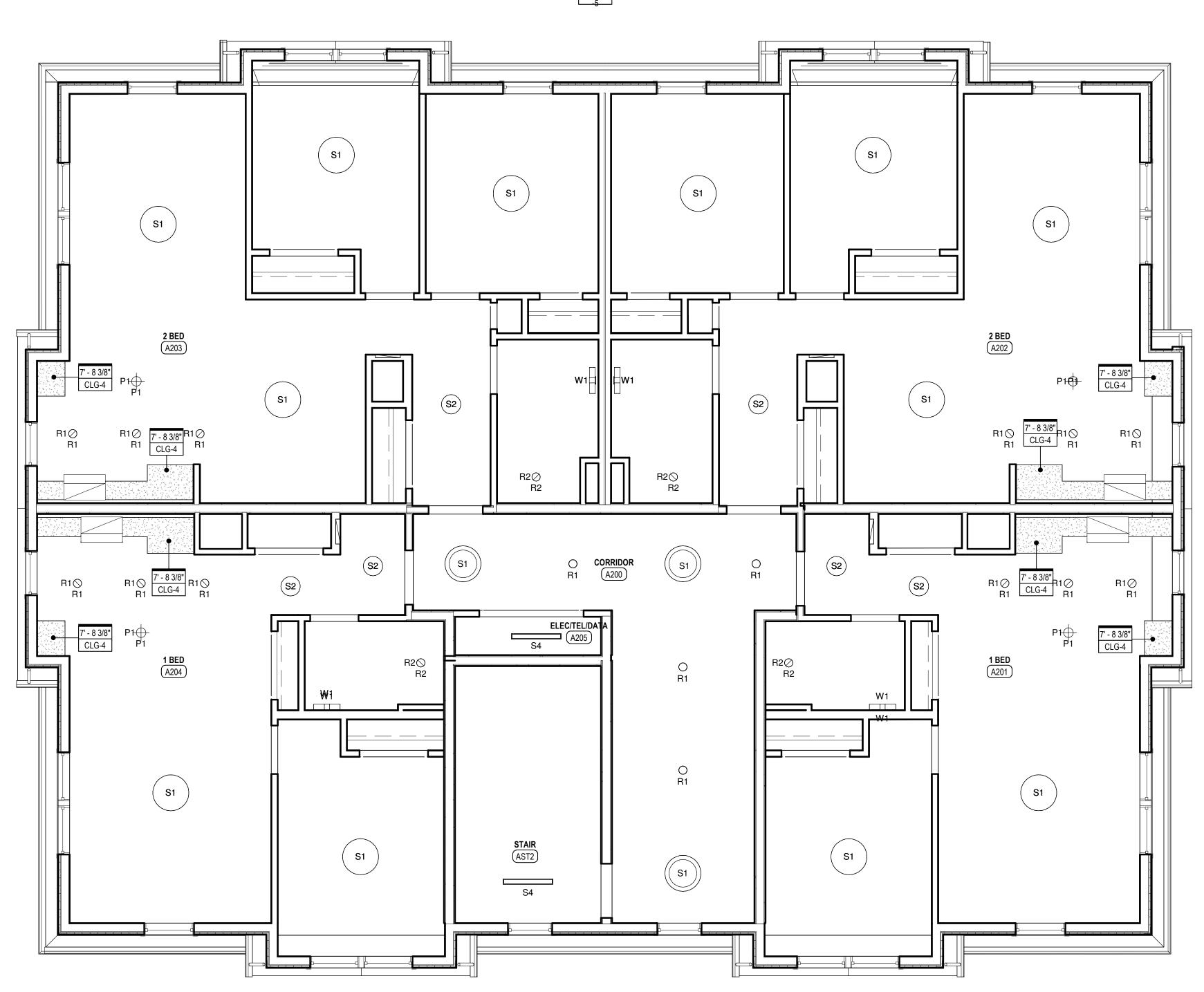
 1X INTERIOR WD APRON w/EASED EDGES, PAINTED



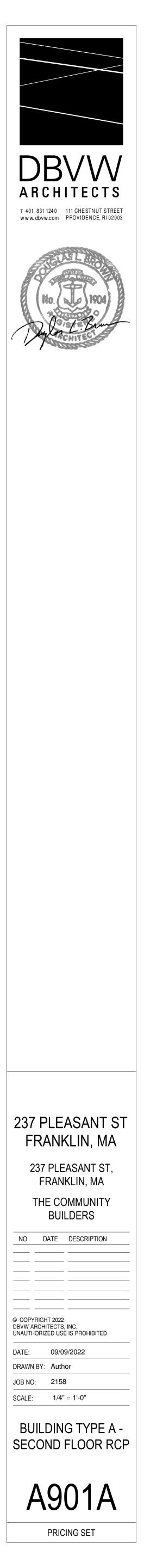




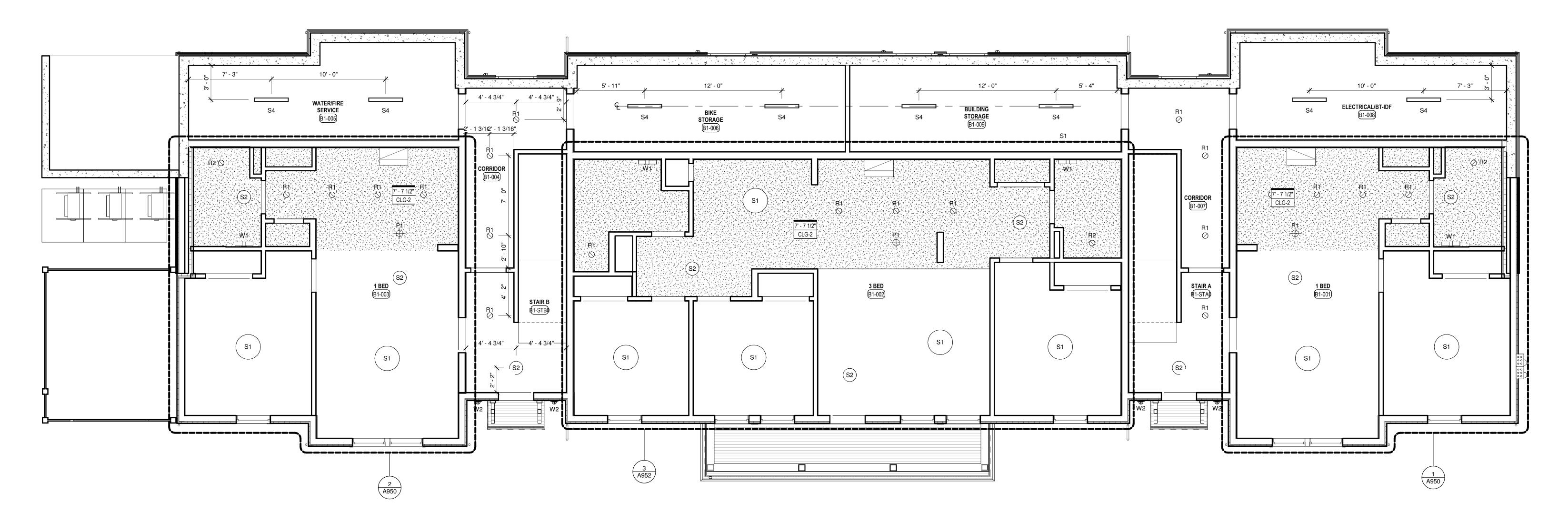




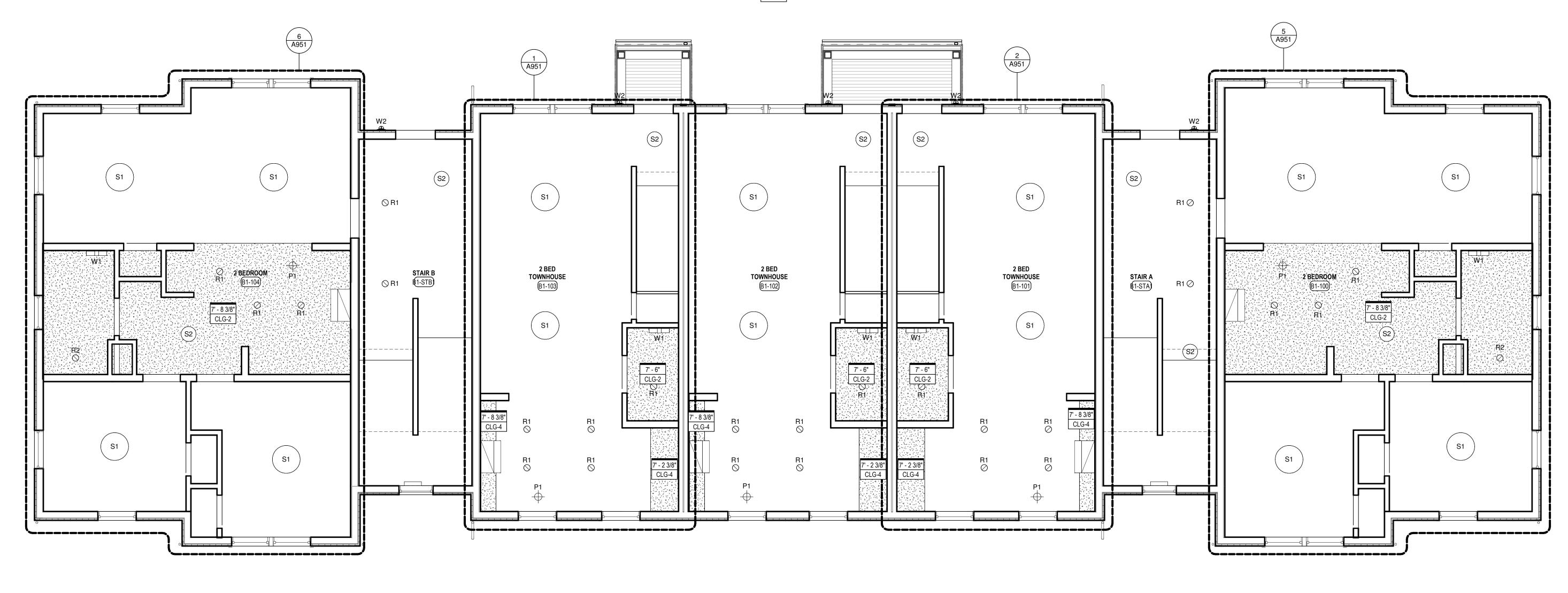
8' - 3 3/8" TYP. UNIT FLOOR/CEILING CLG ASSEMBLY U.O.N.





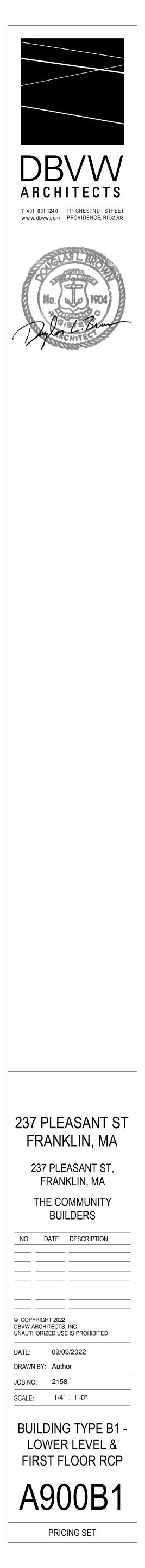


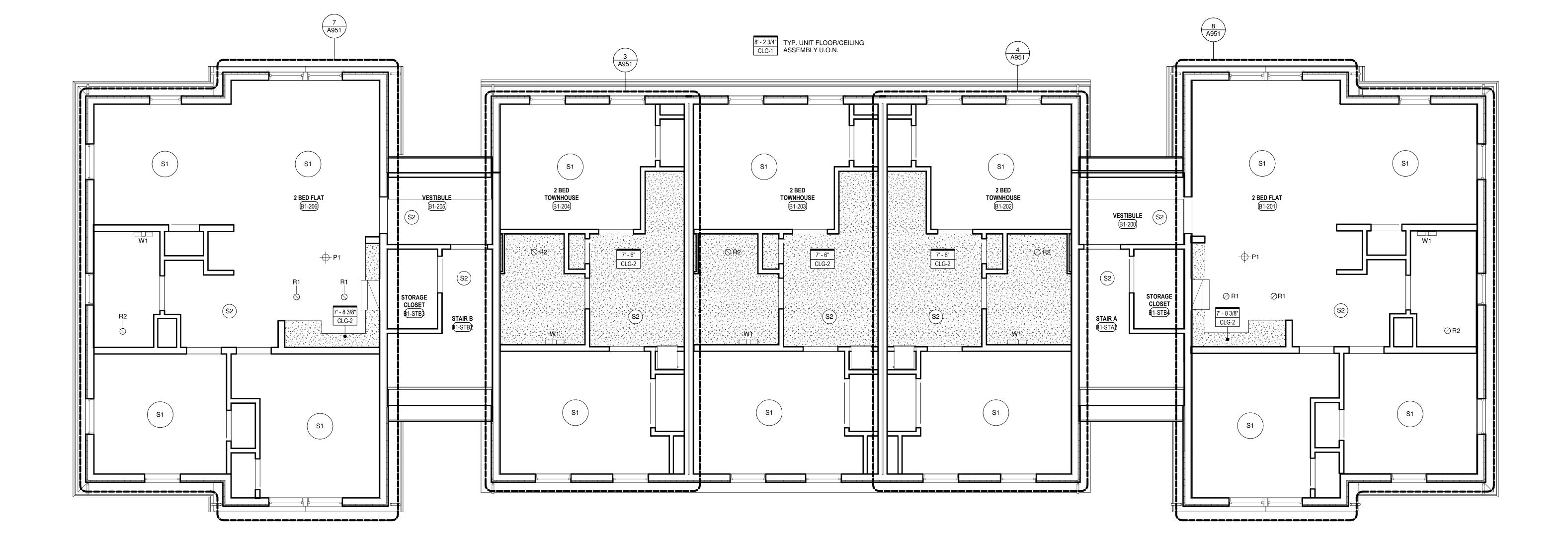


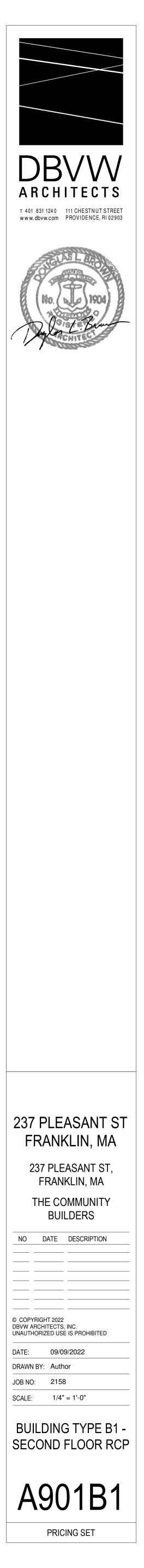


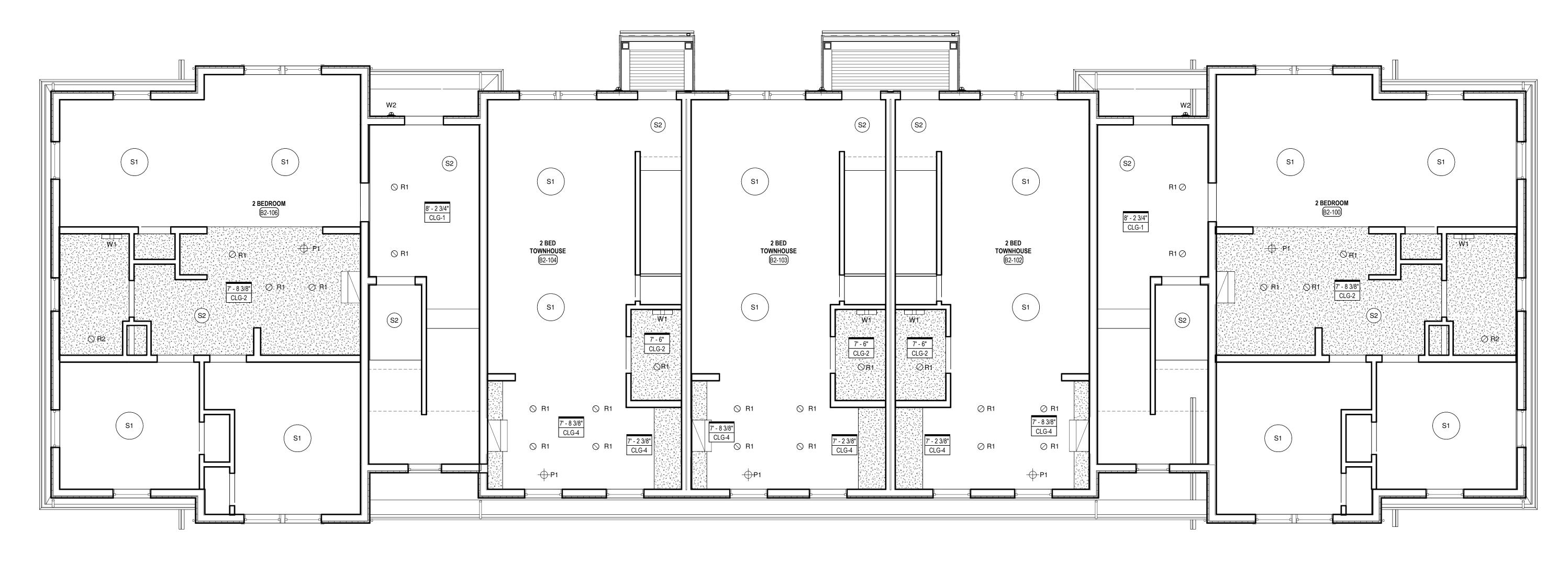
8' - 2 3/4" TYP. UNIT FLOOR/CEILING CLG-1 ASSEMBLY U.O.N.

8' - 4 1/4" TYP. UNIT FLOOR/CEILING CLG-1 ASSEMBLY U.O.N.

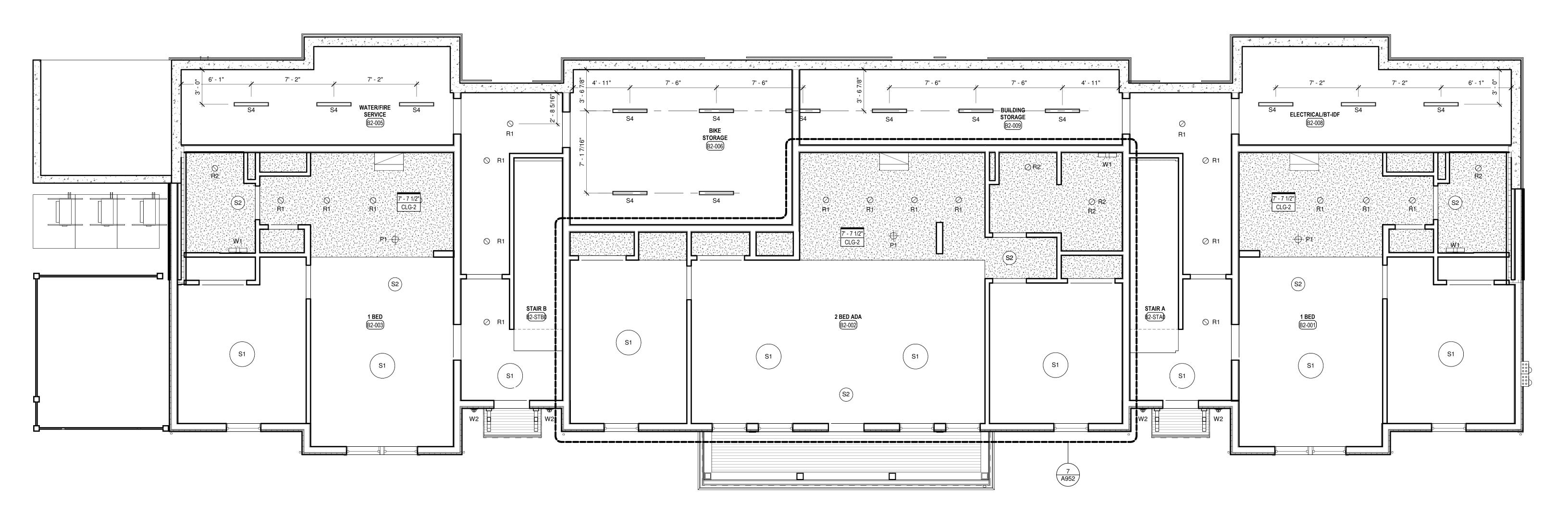






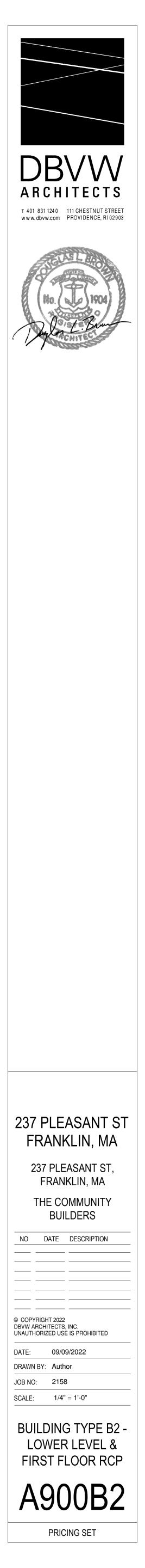


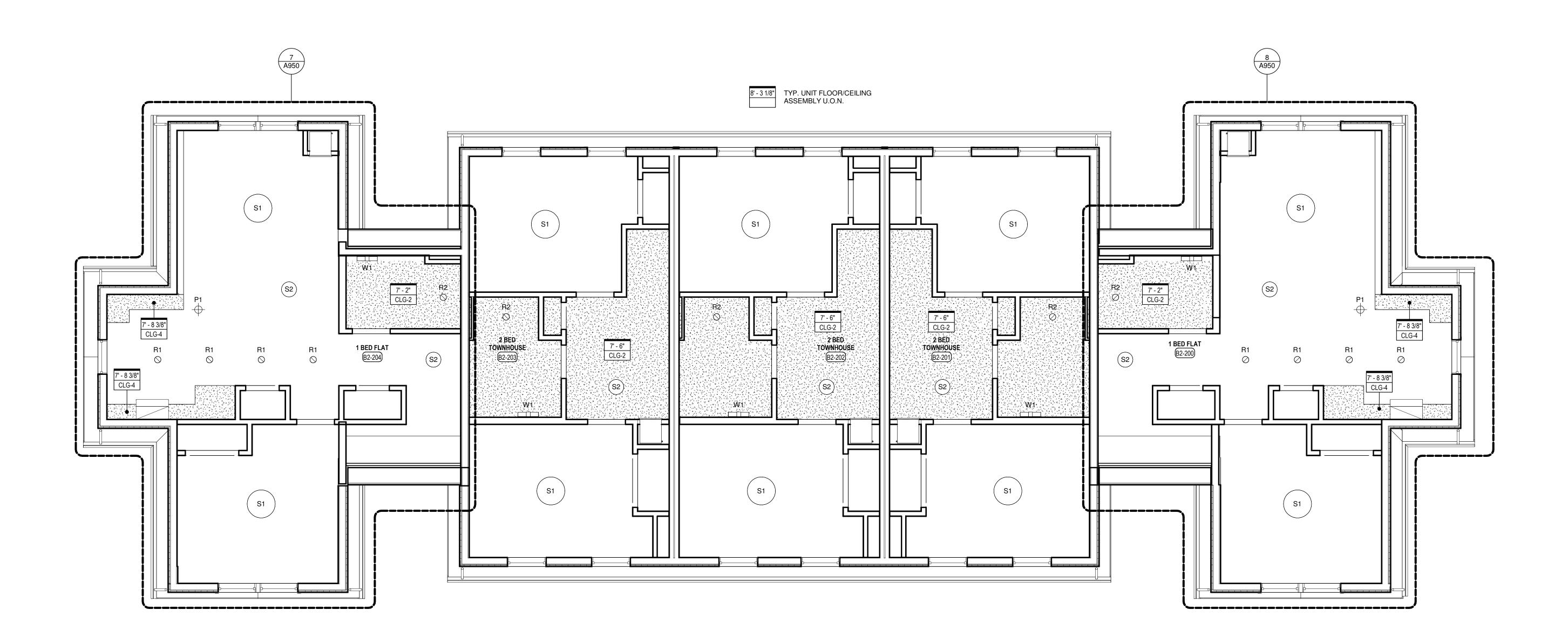
<sup>2</sup> BUILDING B2 - FIRST FLOOR RCP 1/4" = 1'-0"

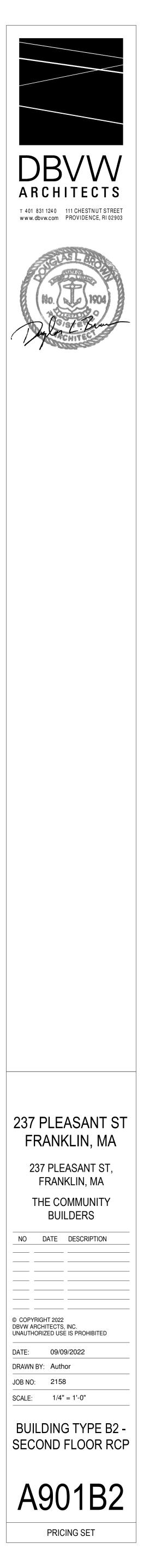


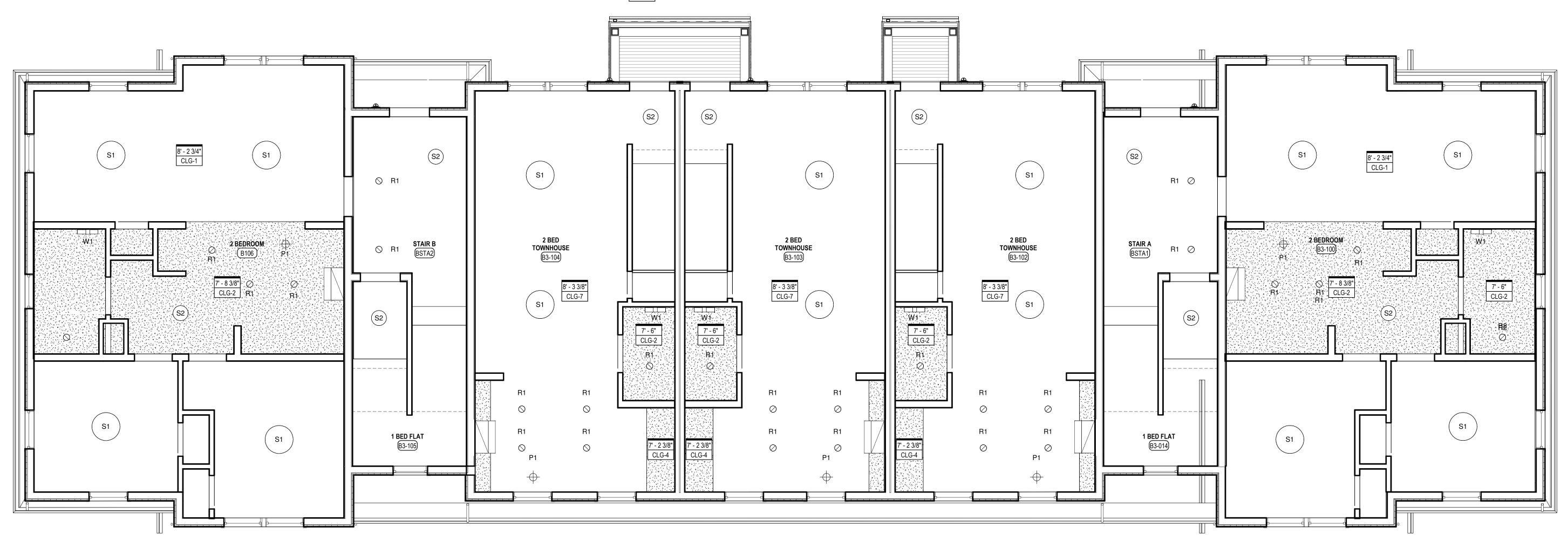
8' - 2 3/4" TYP. UNIT FLOOR/CEILING CLG-1 ASSEMBLY U.O.N.

8' - 4 1/4" TYP. UNIT FLOOR/CEILING CLG-1 ASSEMBLY U.O.N.

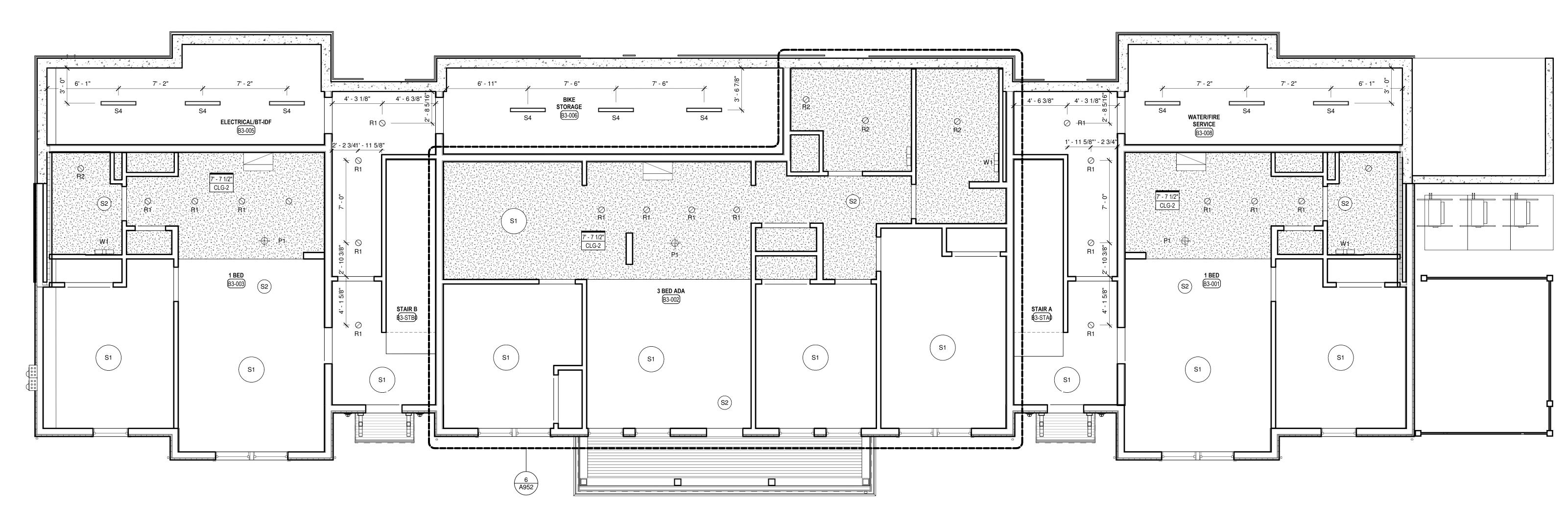


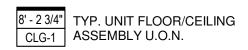




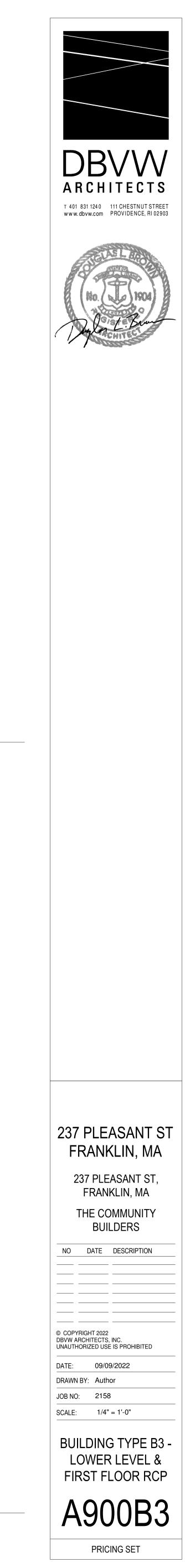


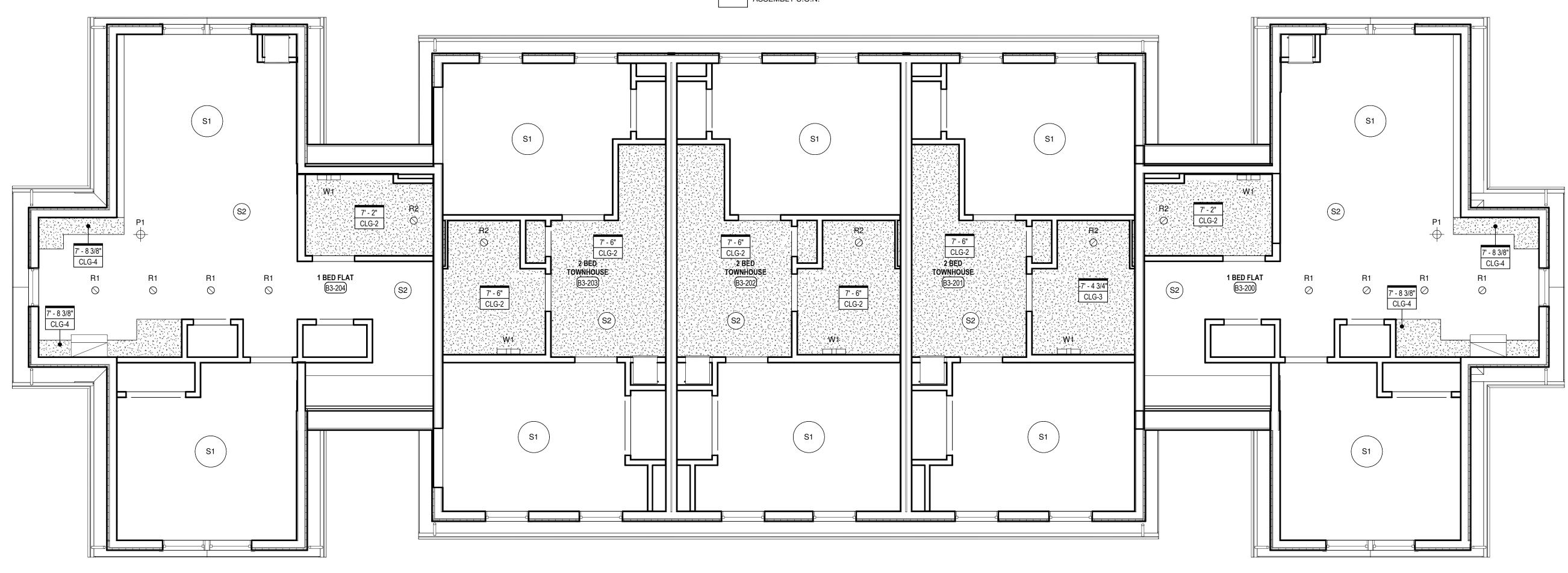
2 BUILDING B3 - FIRST FLOOR RCP 1/4" = 1'-0"



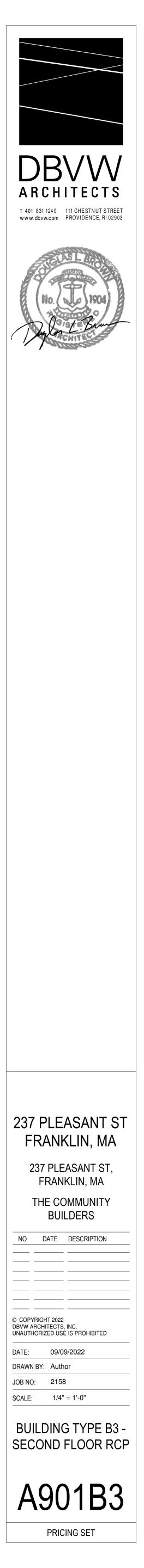


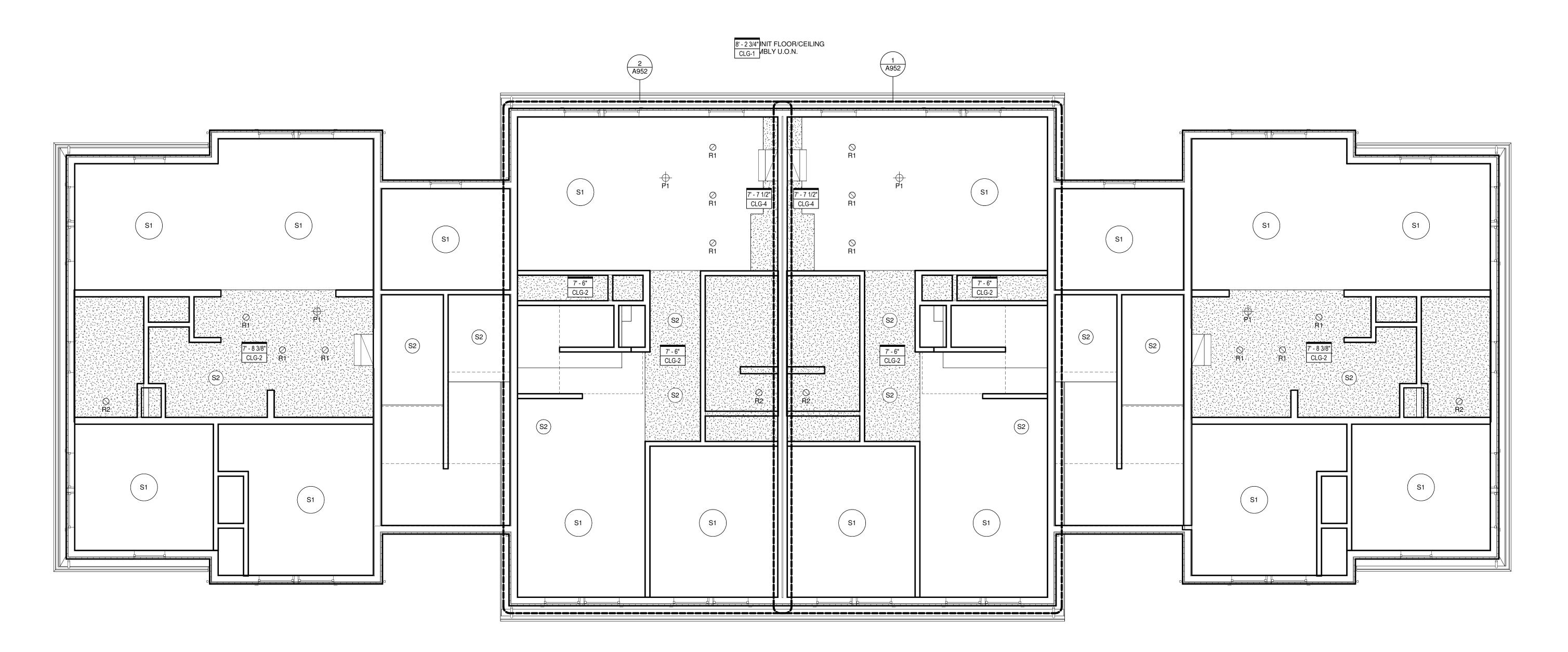
8' - 4 1/4" TYP. UNIT FLOOR/CEILING CLG-1 ASSEMBLY U.O.N.



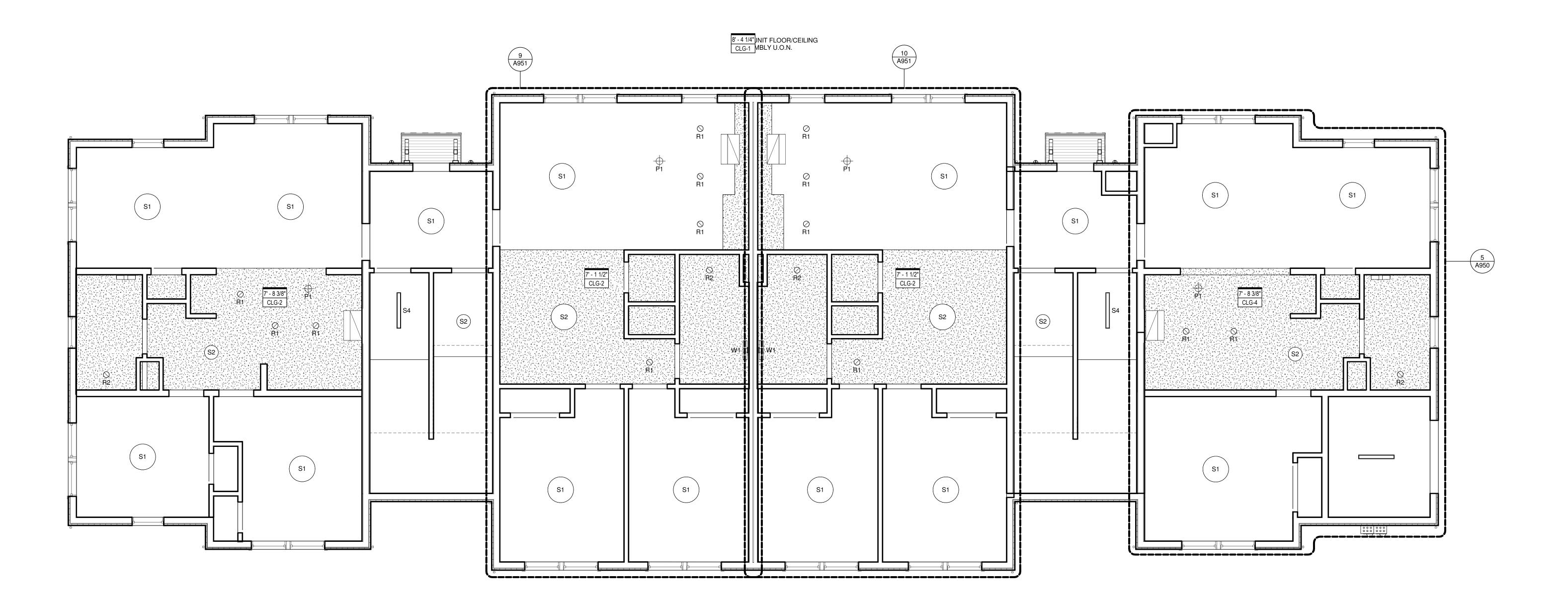


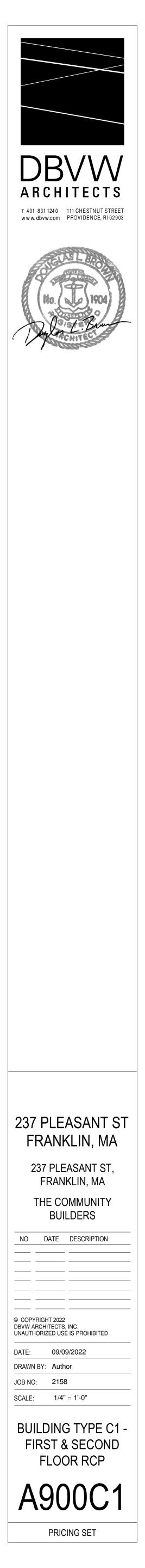
8' - 3 1/8" TYP. UNIT FLOOR/CEILING ASSEMBLY U.O.N.

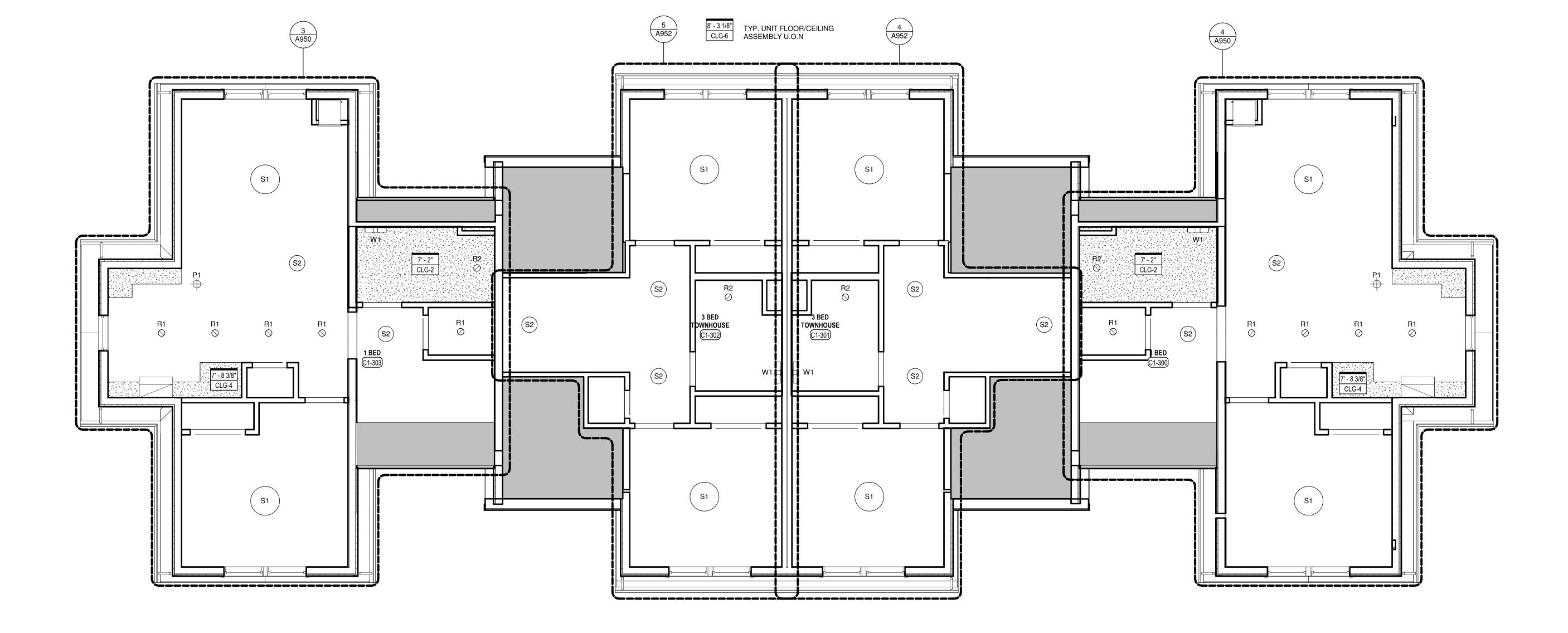


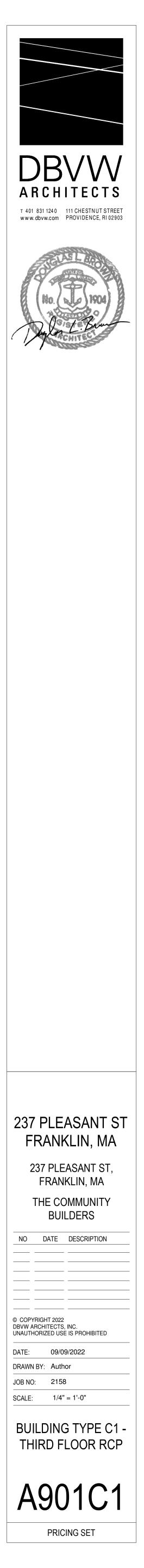


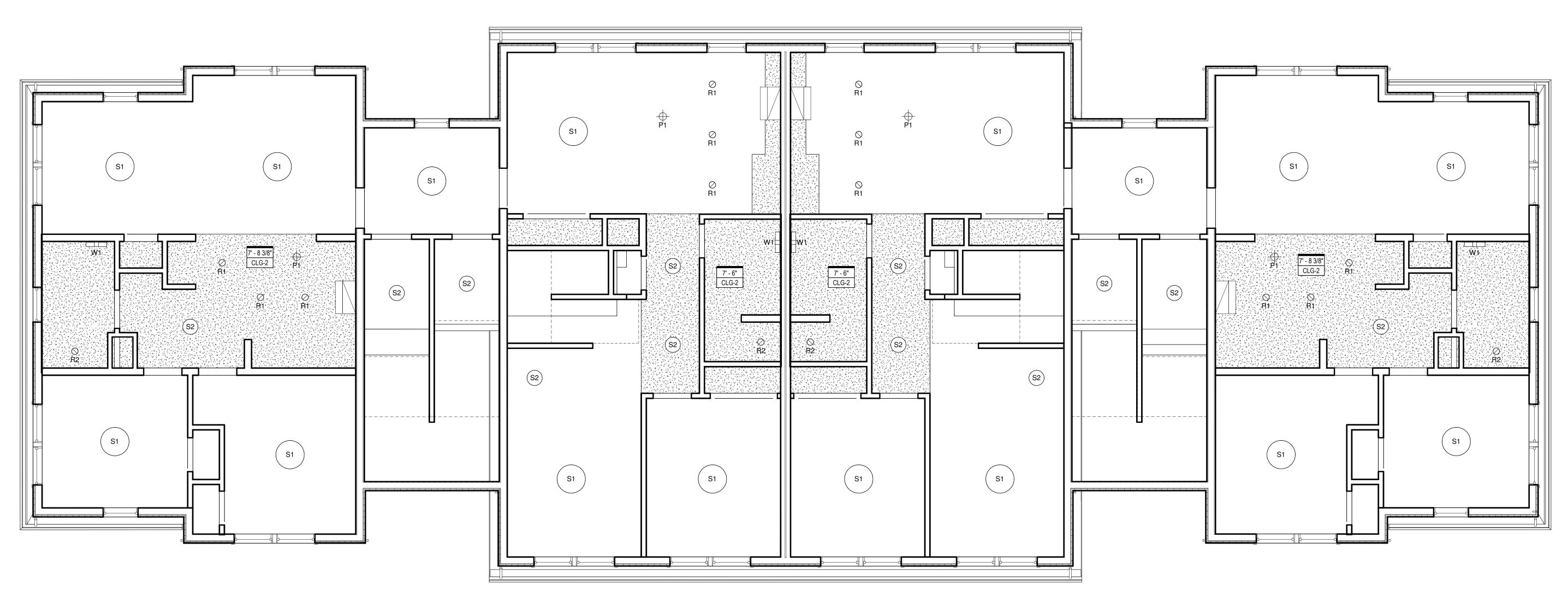
2 BUILDING C1 - SECOND FLOOR RCP 1/4" = 1'-0"



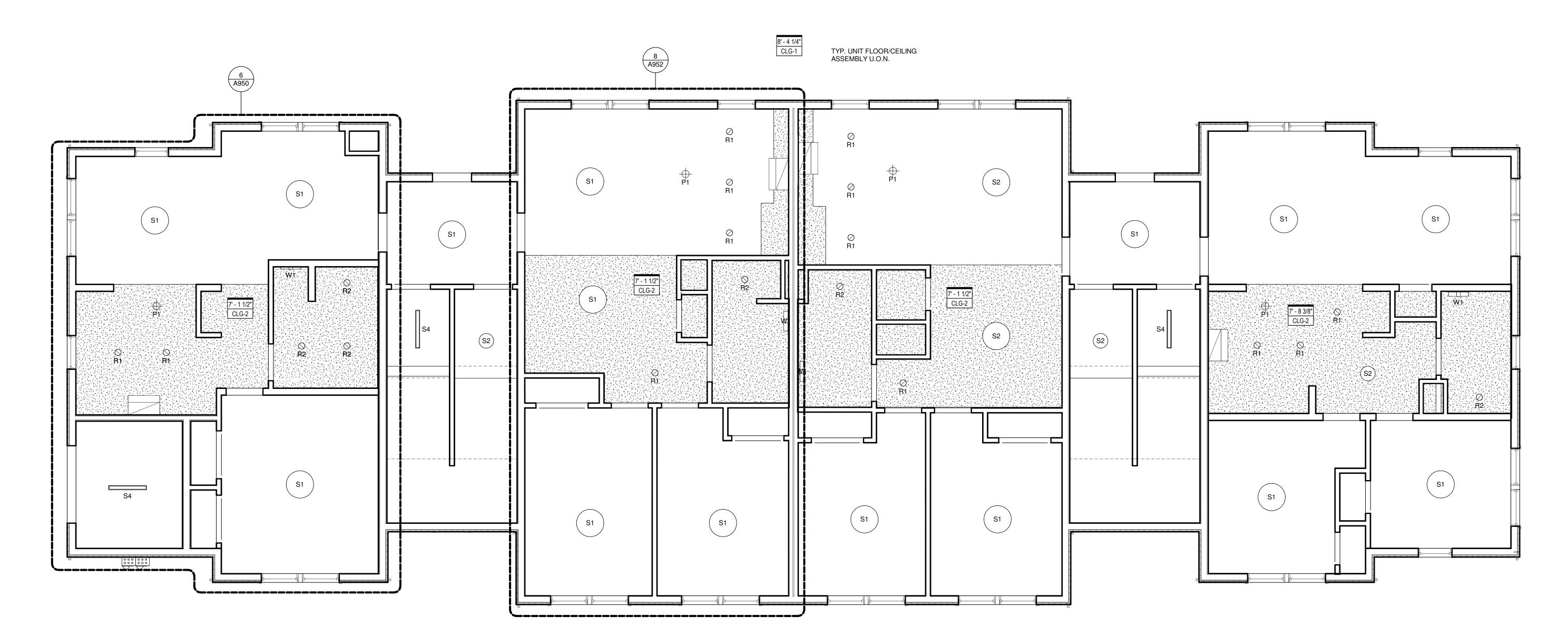






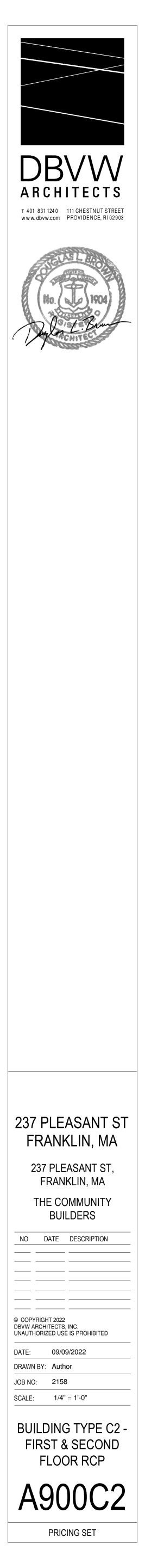


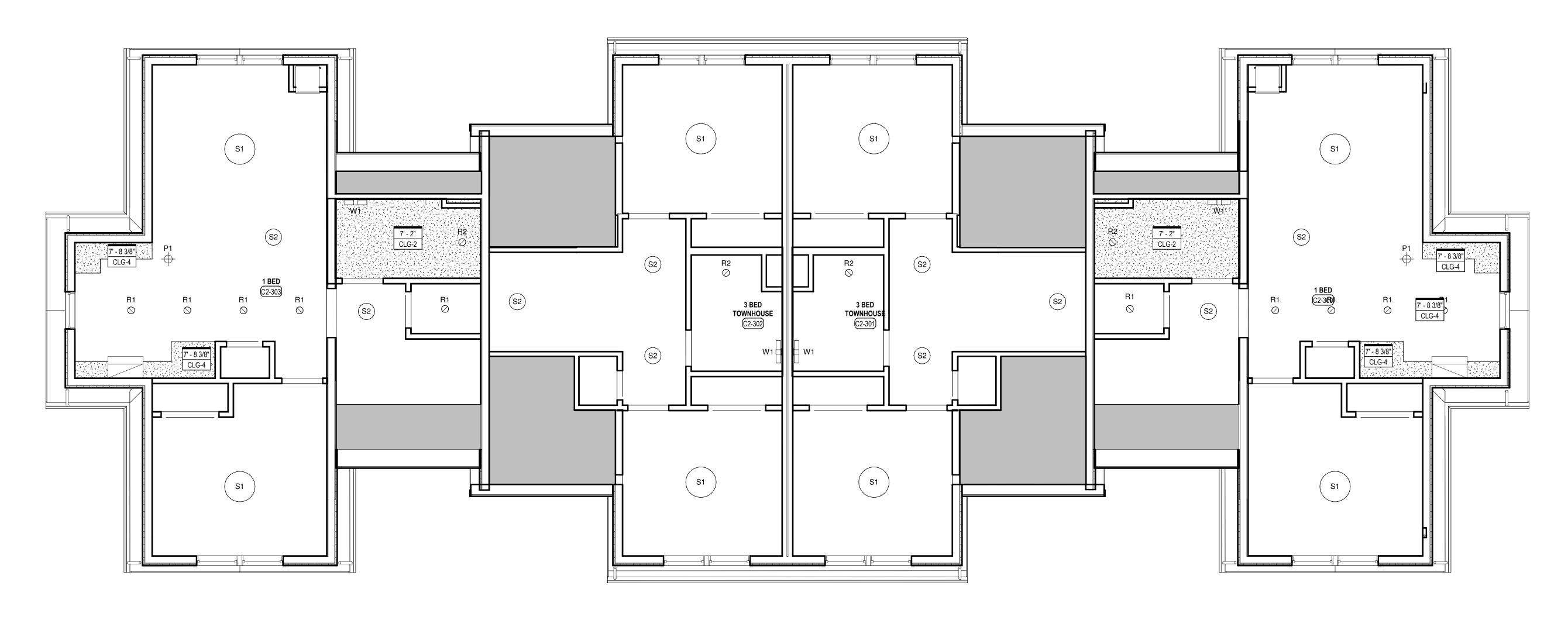
2 BUILDING C2 - SECOND FLOOR RCP 1/4" = 1'-0"



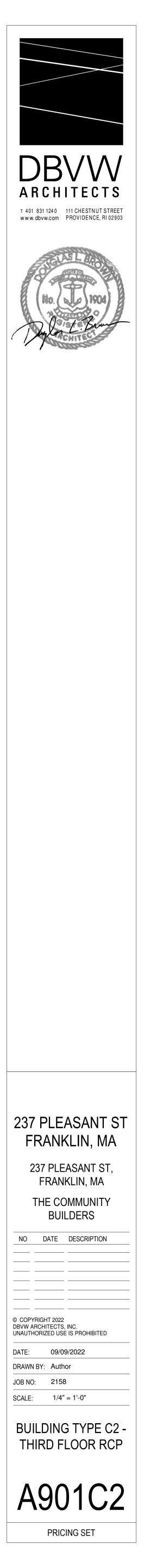
TYP. UNIT FLOOR/CEILING ASSEMBLY U.O.N.

8' - 2 3/4" CLG-1

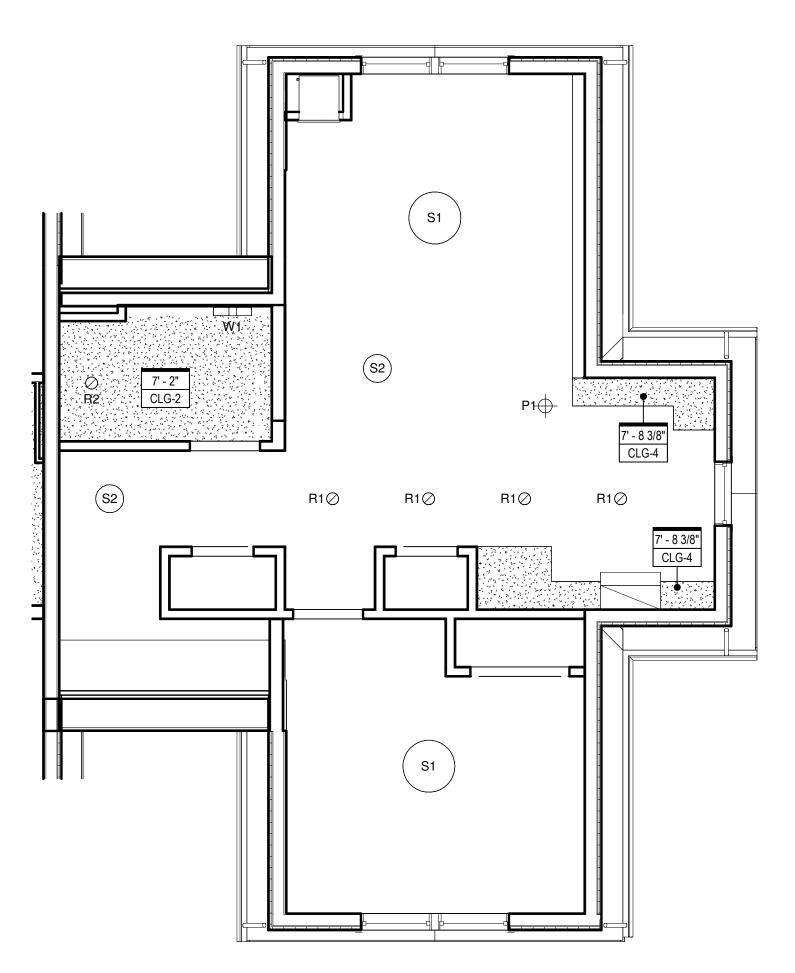




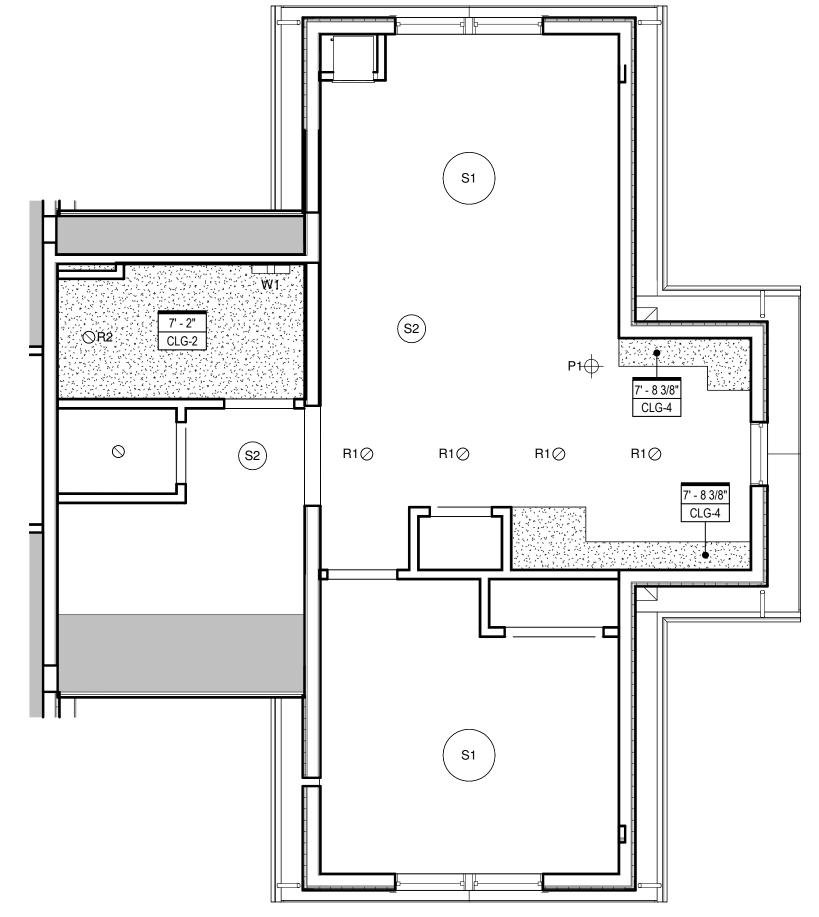
8' - 3 1/8" TYP. UNIT FLOOR/CEILING CLG-6 ASSEMBLY U.O.N.

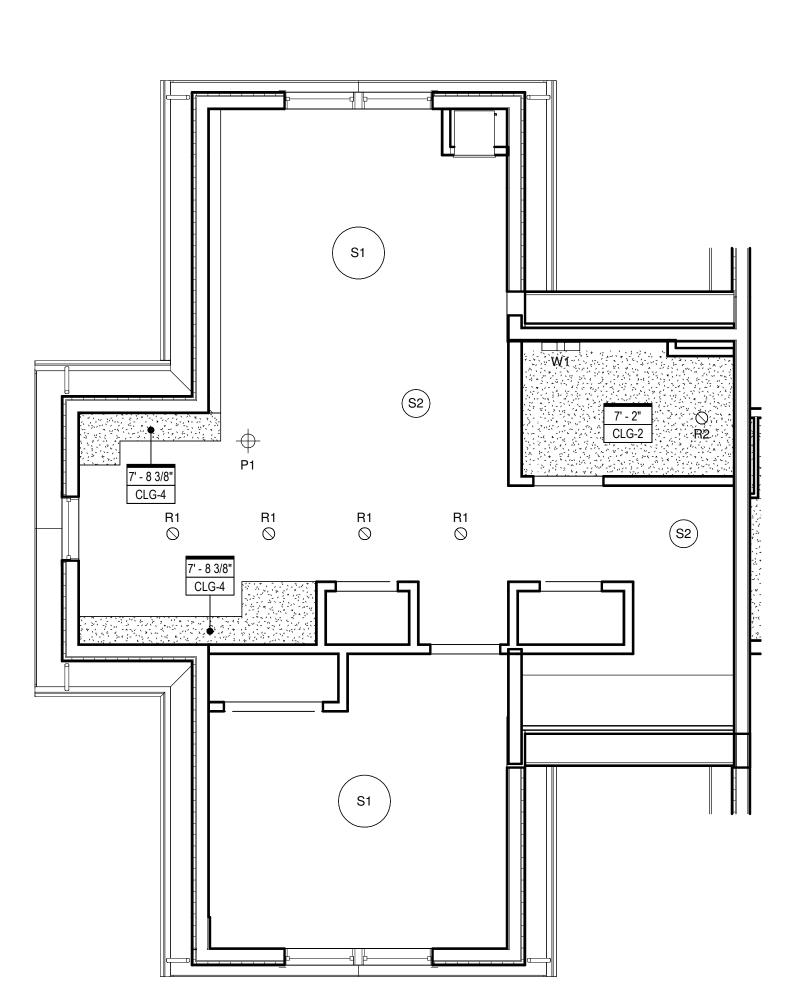


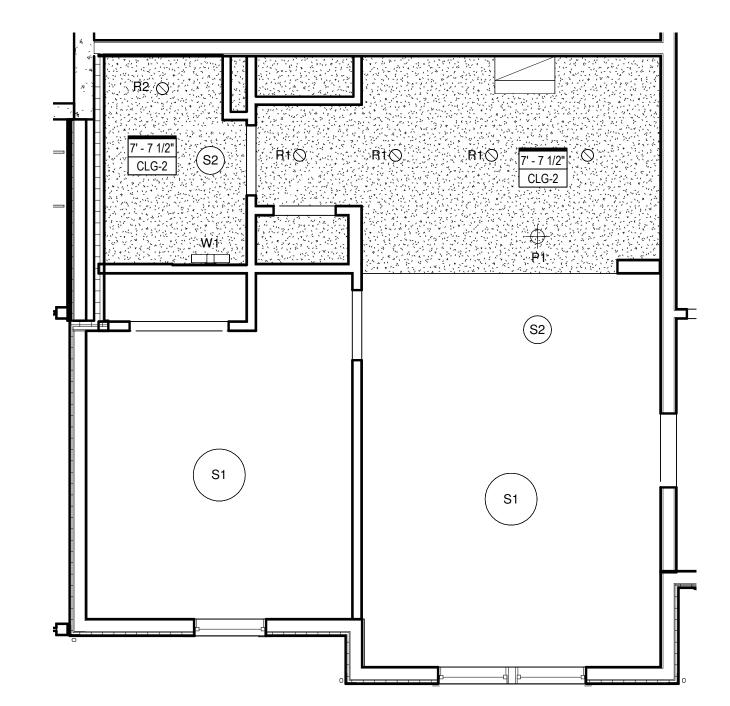
8 <u>1 BED RCP - UPPER FLOOR BLD B2-3 (MIRROR)</u> 1/4" = 1'-0"



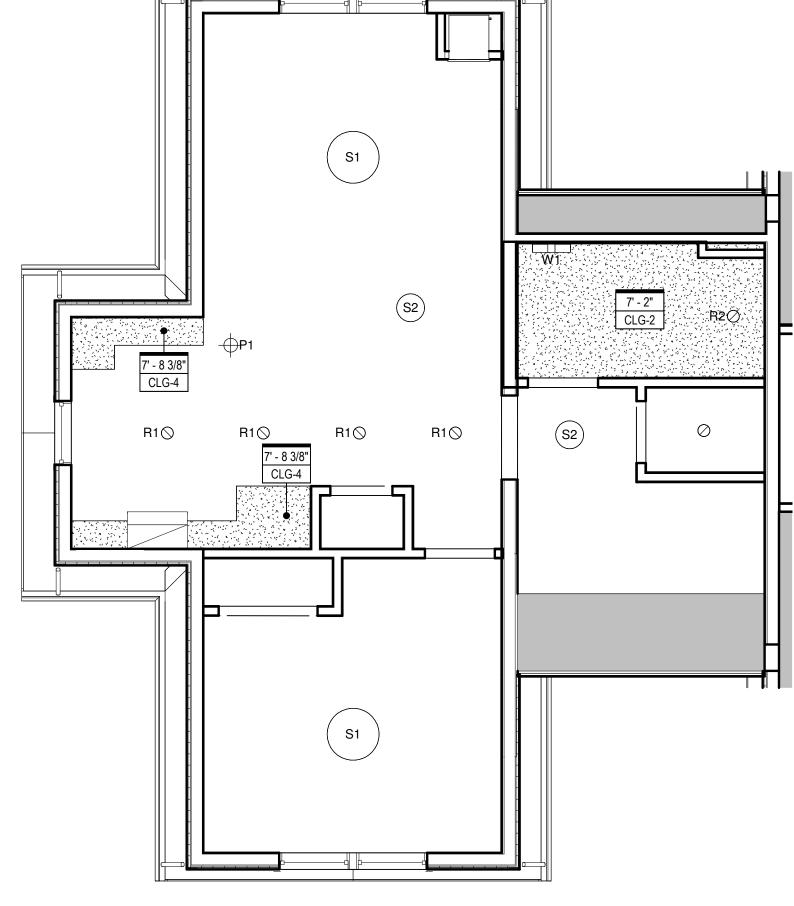
4 <u>1 BED RCP - UPPER FLOOR BLD C1-2 (MIRROR)</u> 1/4" = 1'-0"

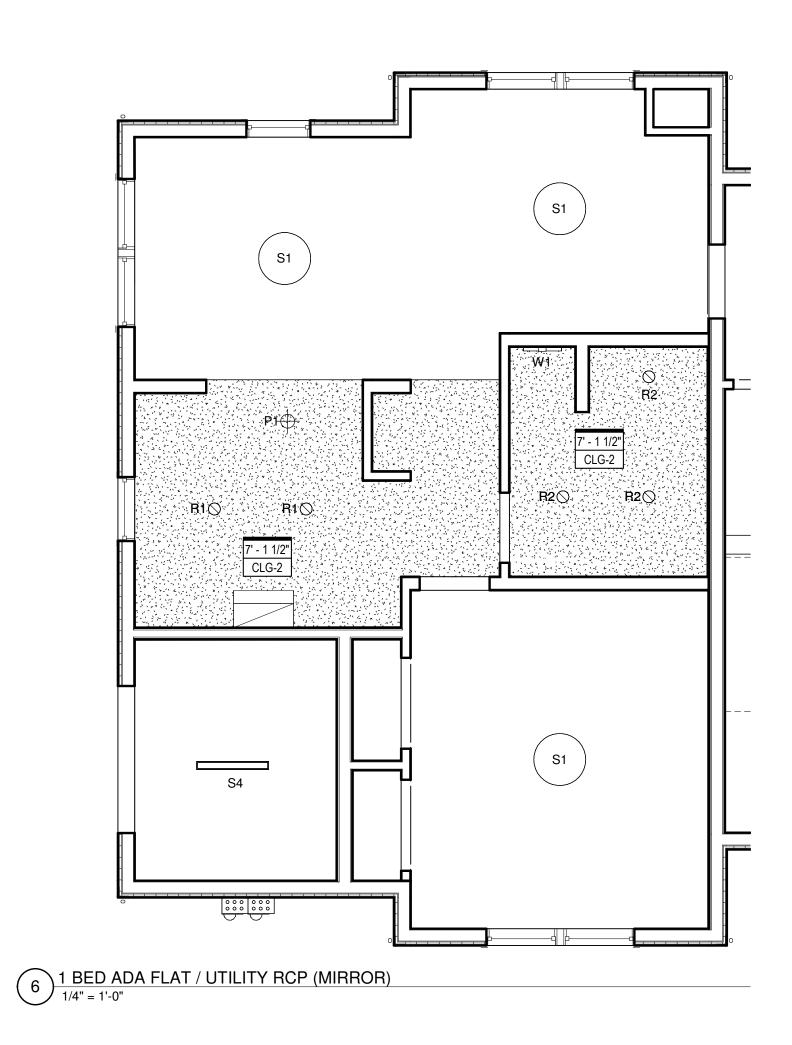


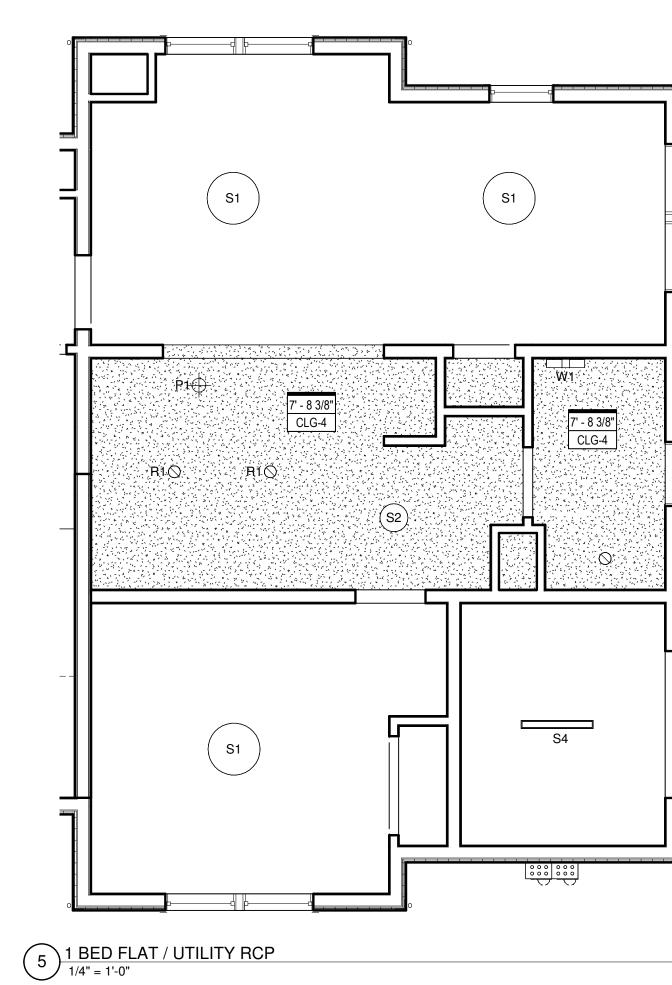


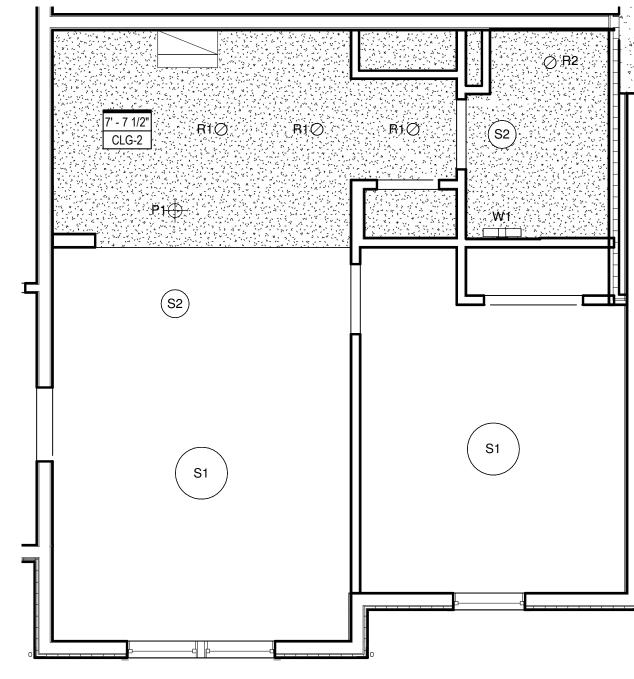


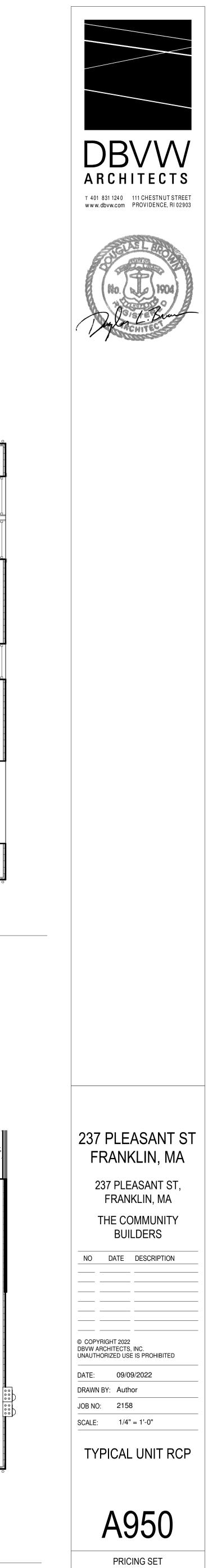
 $3 \frac{1 \text{ BED RCP - UPPER FLOOR BLD C1-2}}{\frac{1}{4}" = 1'-0"}$ 

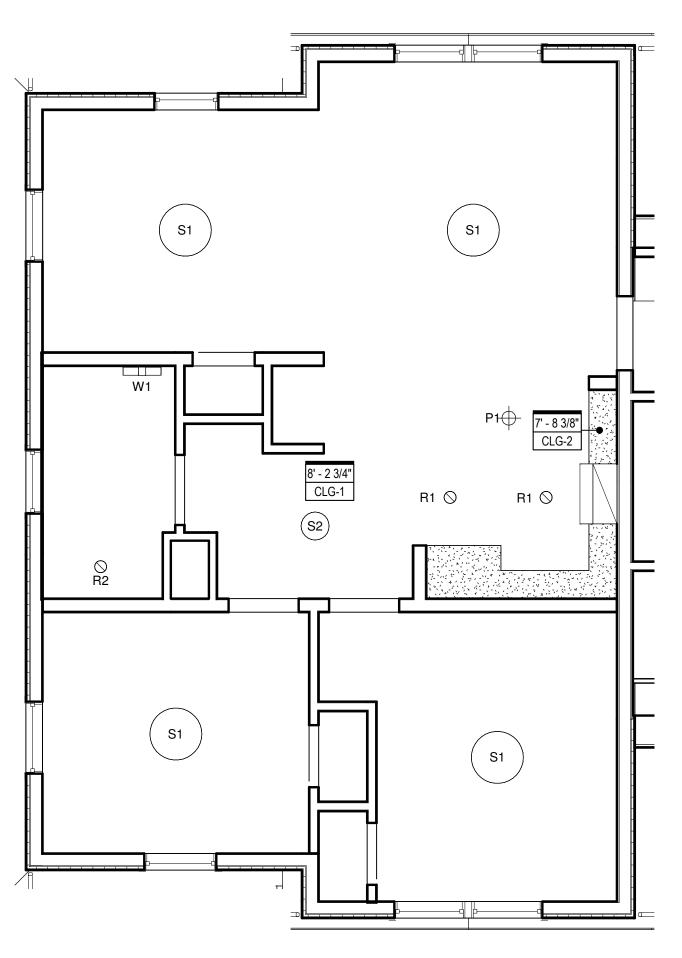




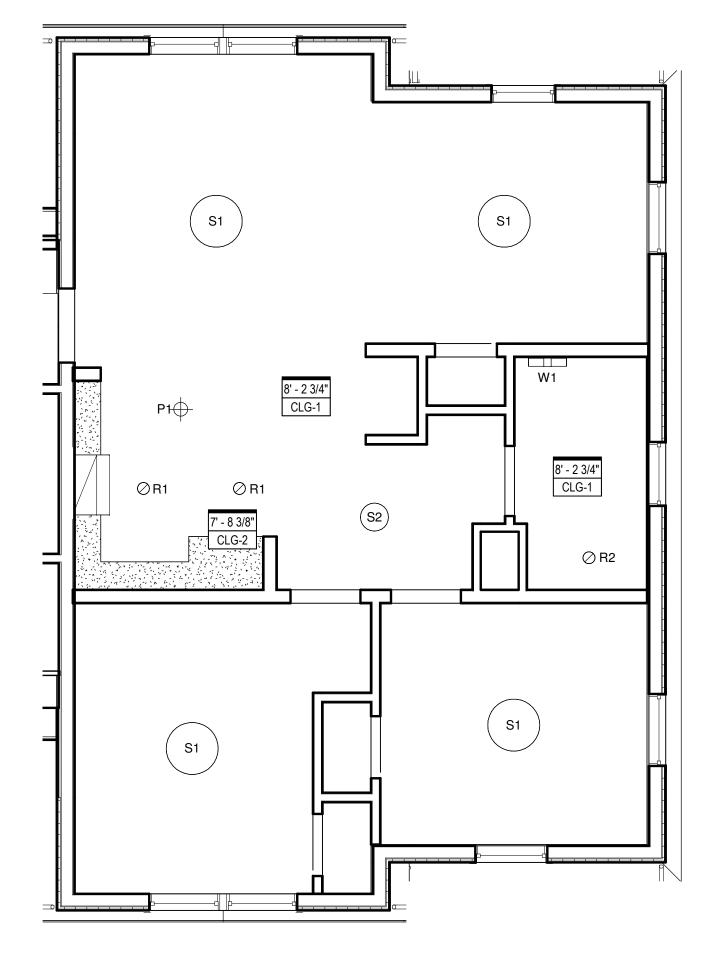




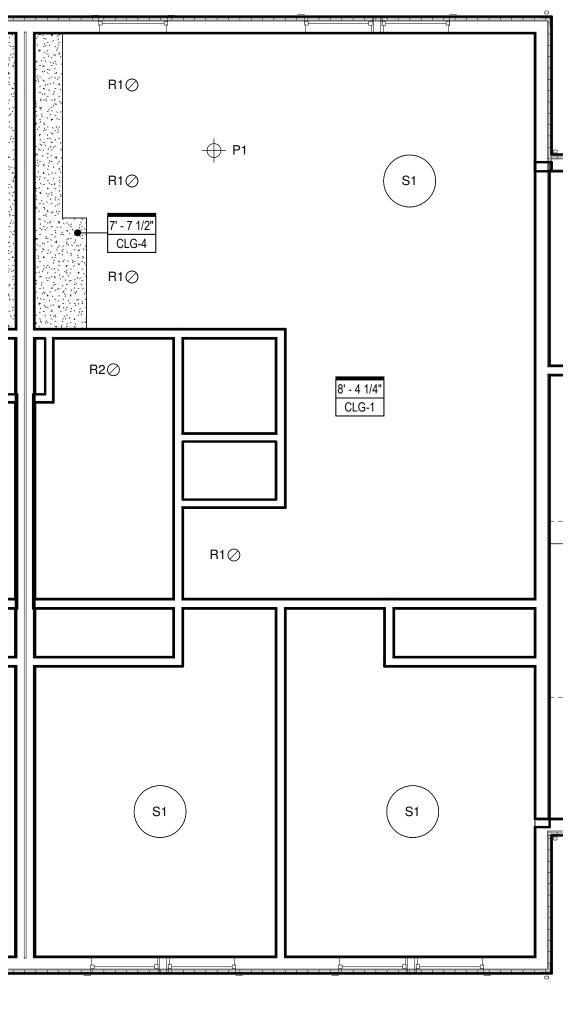


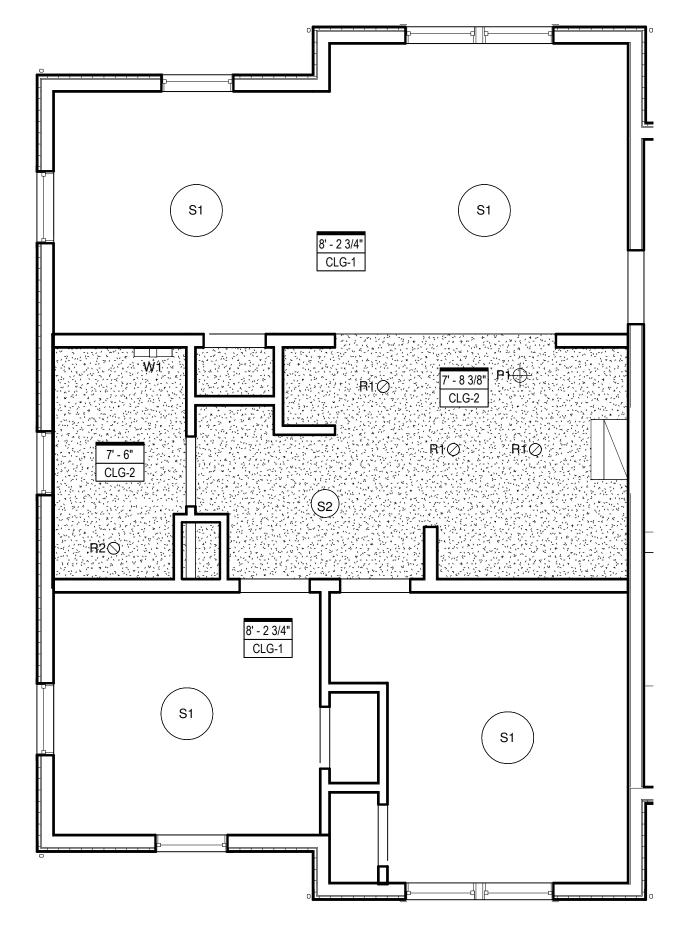






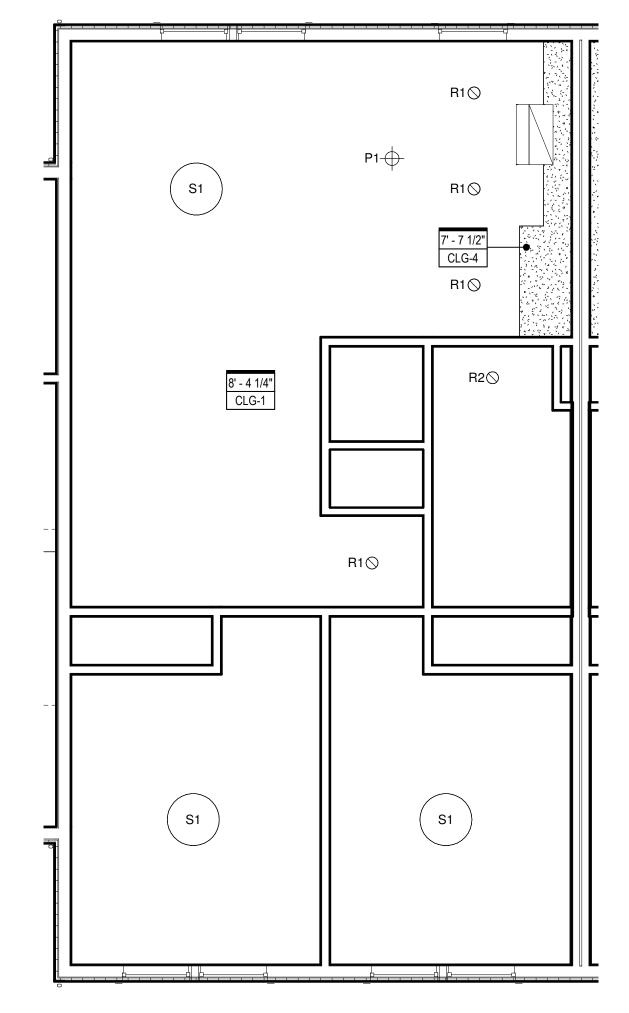




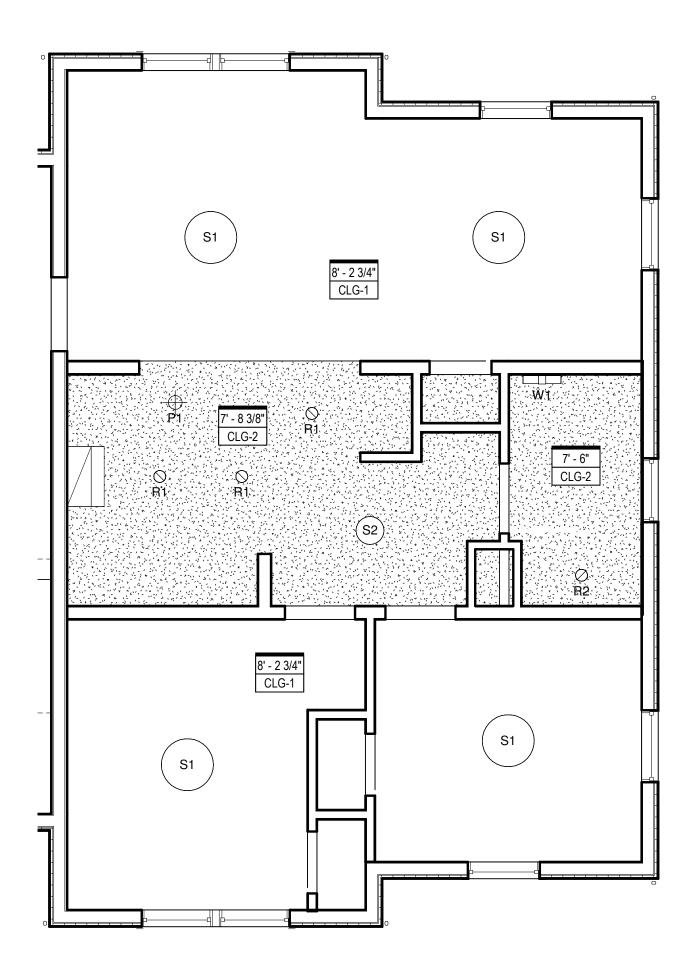


6 TYPICAL 2 BED FLAT RCP 1/4" = 1'-0"

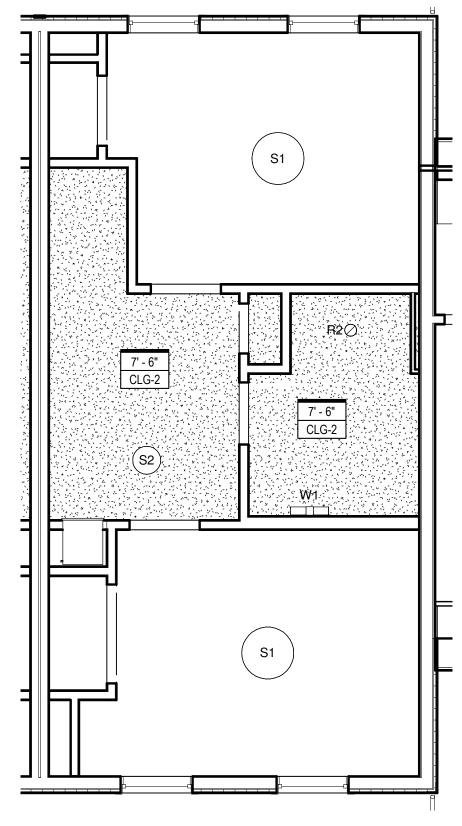




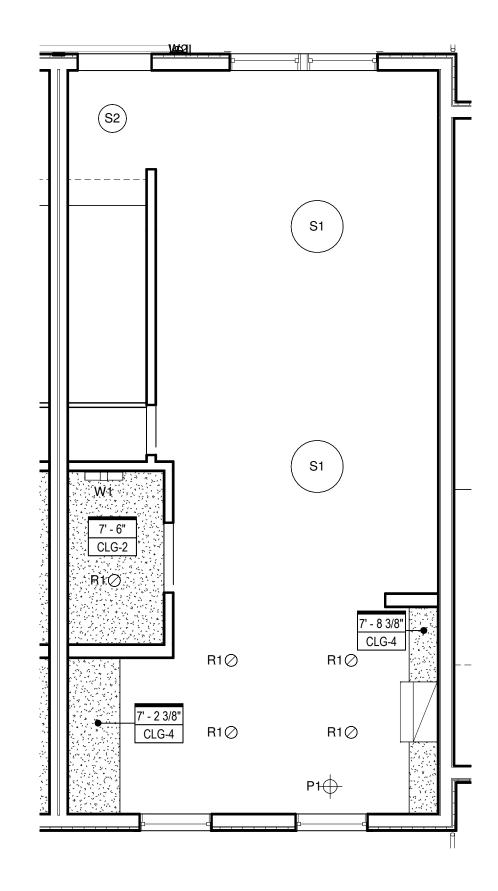


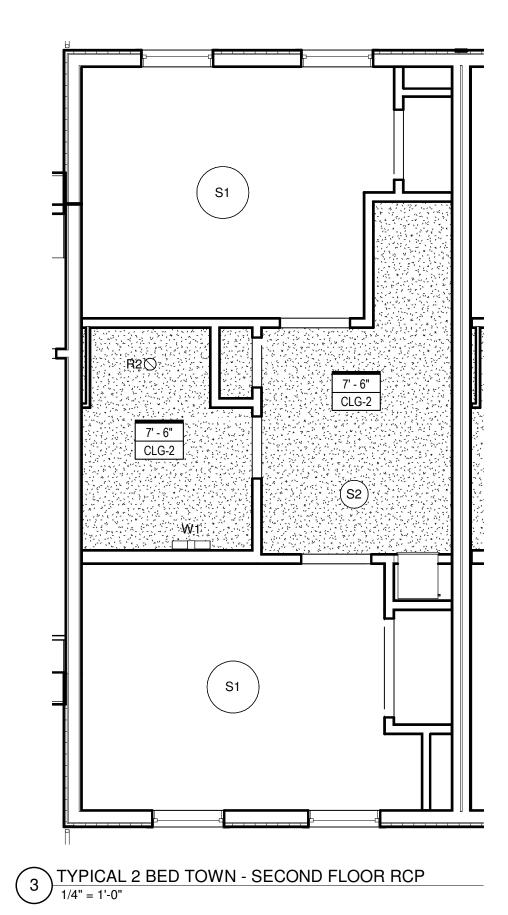


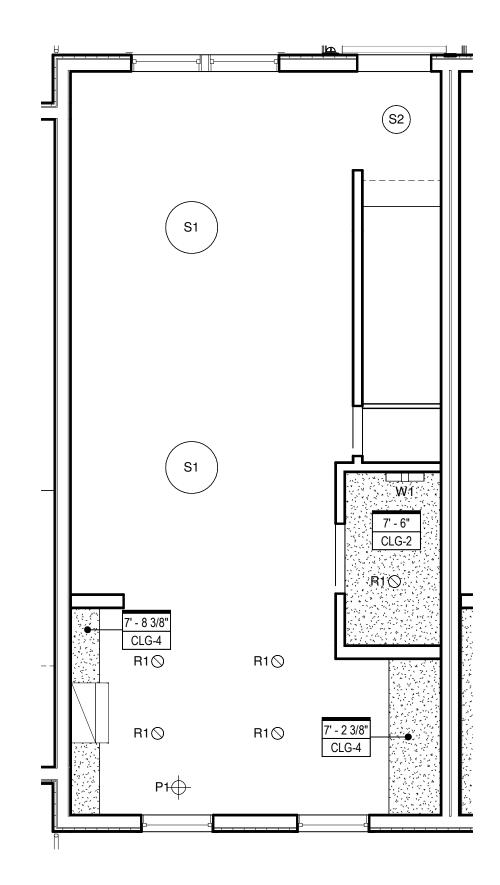
5 TYPICAL 2 BED FLAT (MIRROR) RCP 1/4" = 1'-0"



4 TYPICAL 2 BED TOWN - SECOND FLOOR (MIRROR) RCP 1/4" = 1'-0"

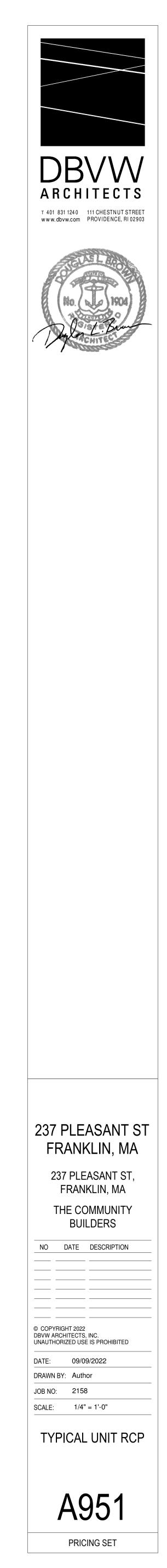


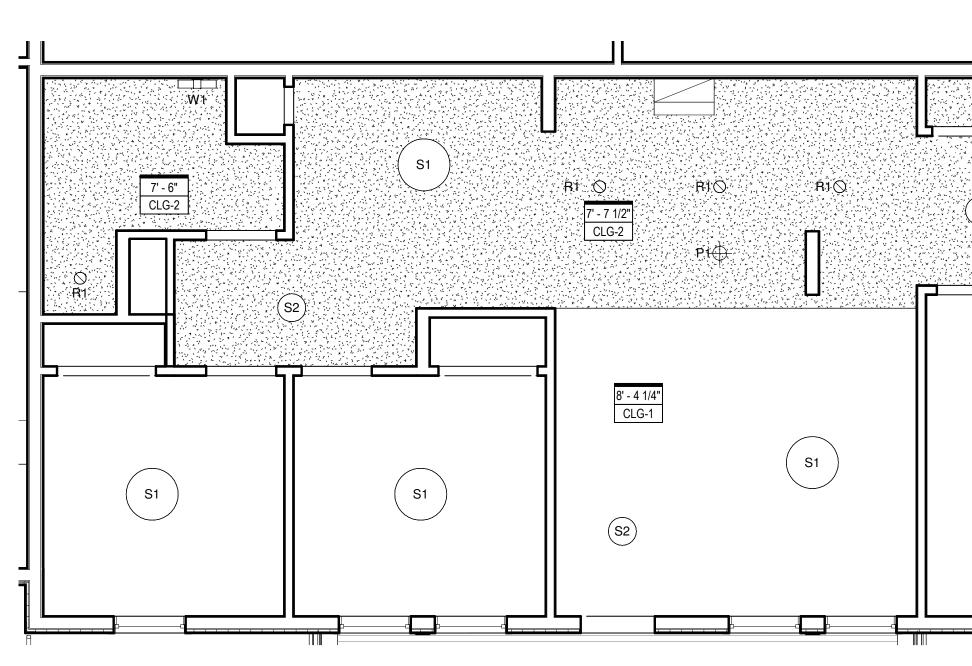




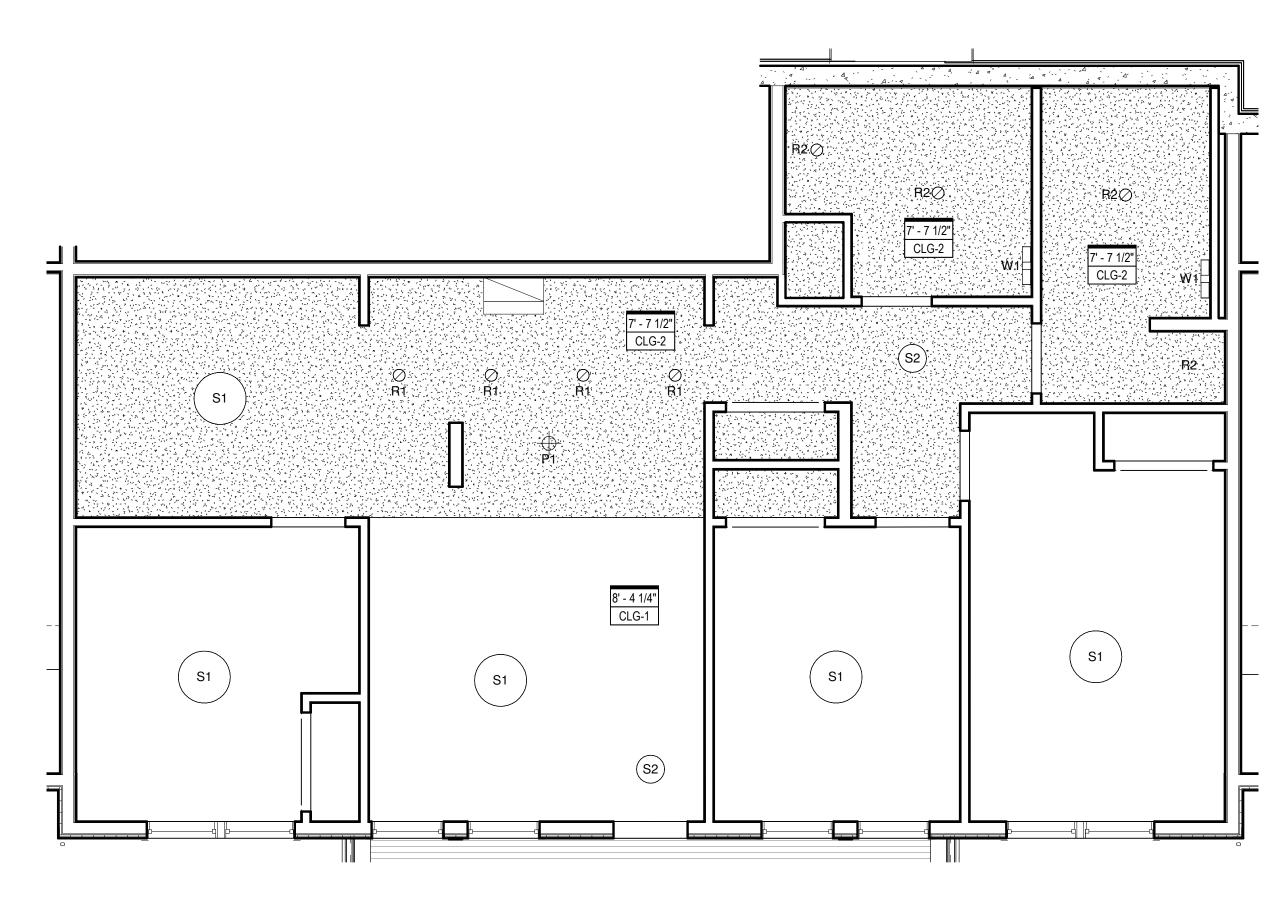
2 TYPICAL 2 BED TOWN - FIRST FLOOR (MIRROR) RCP 1/4" = 1'-0"

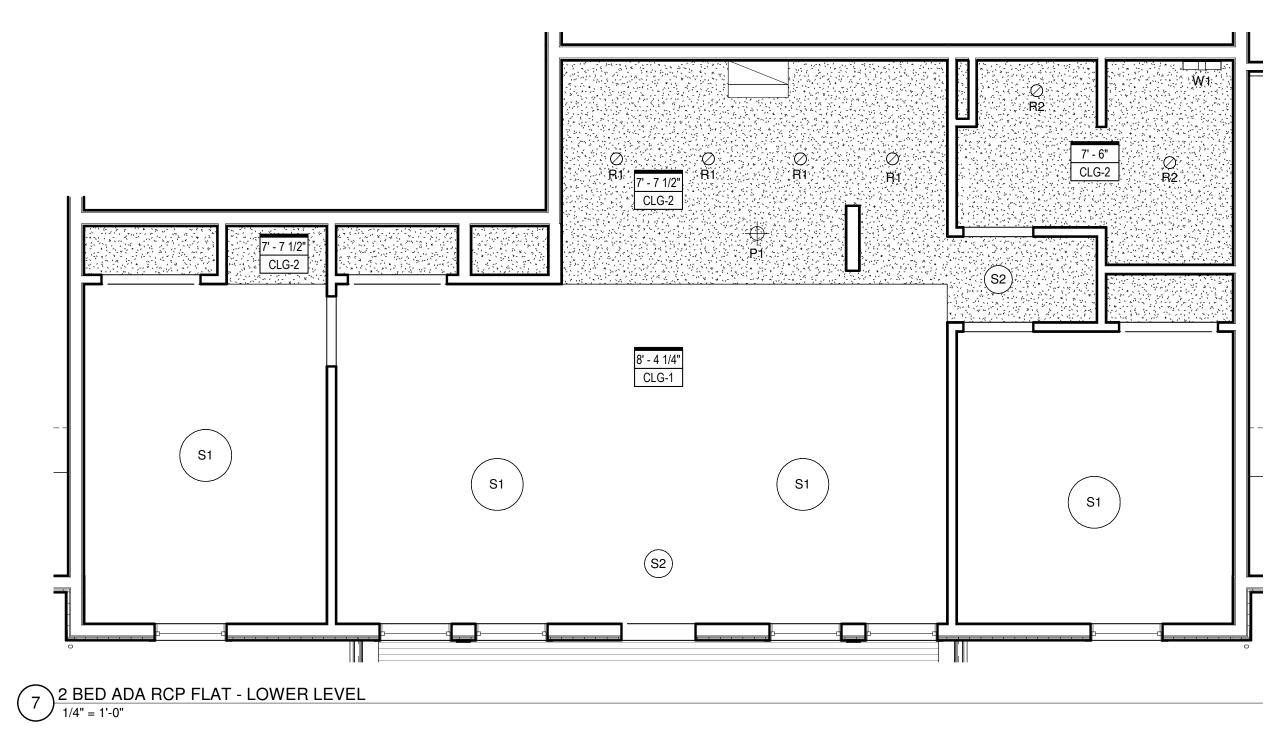
1 TYPICAL 2 BED TOWN - FIRST FLOOR RCP 1/4" = 1'-0"



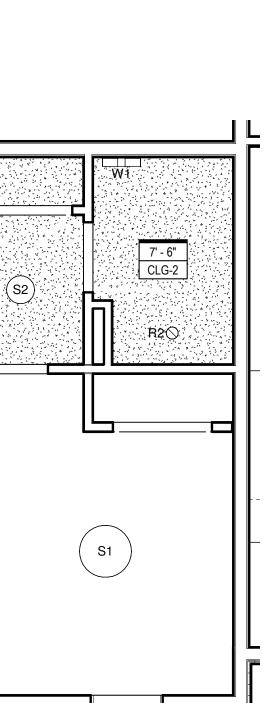


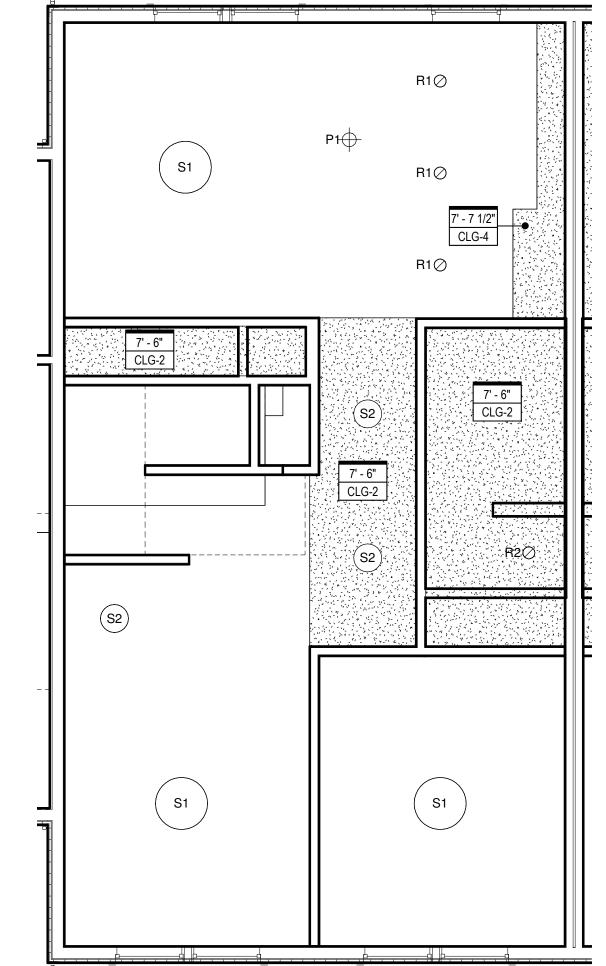
# 6<u>3 BED ADA RCP FLAT</u> 1/4" = 1'-0"





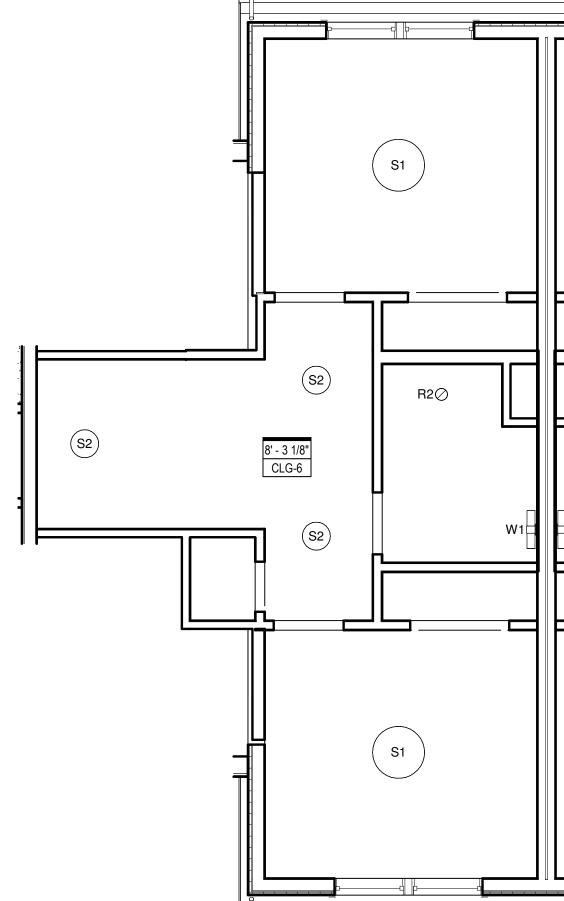






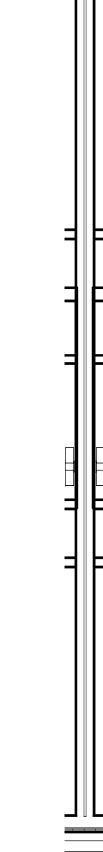


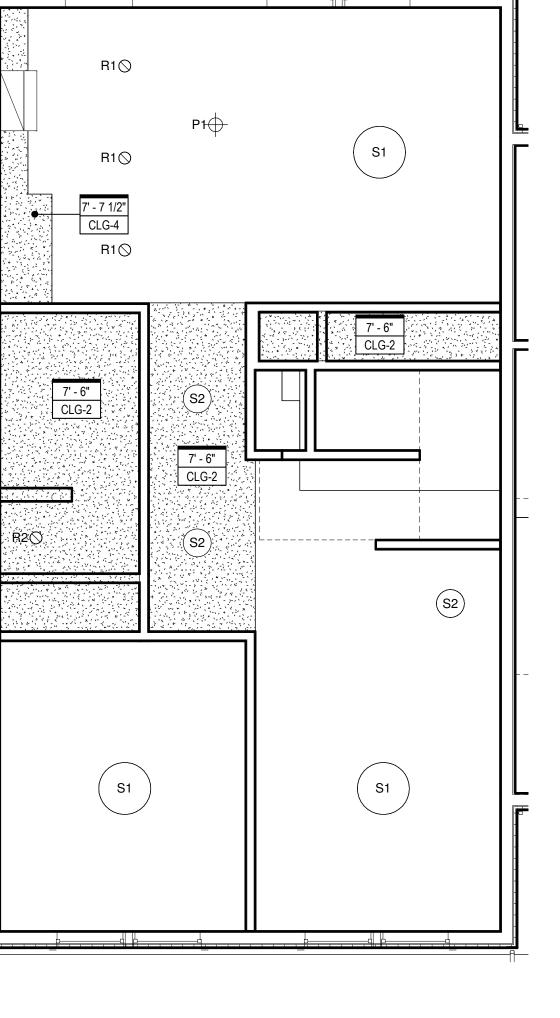




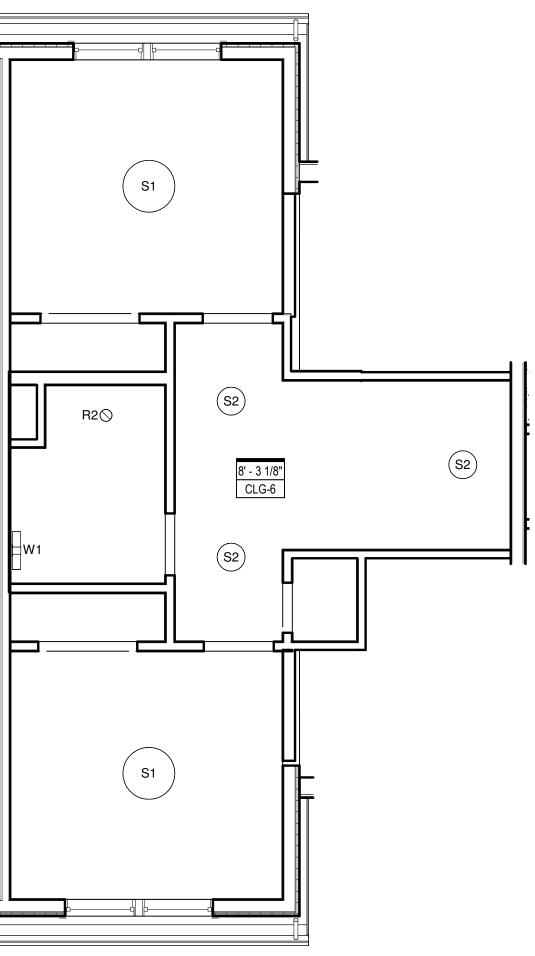
5 3 BED TOWN HOUSE RCP - SECOND FLOOR (MIRROR)1/4" = 1'-0"



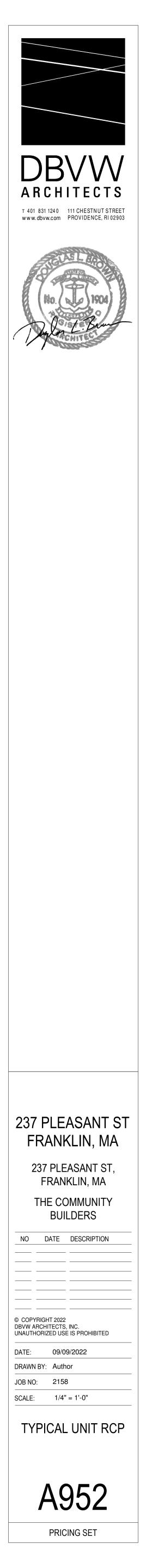




4 <u>3 BED TOWN HOUSE RCP - SECOND FLOOR</u> 1/4" = 1'-0"







R1⊘

R1⊘

R1⊘

(S1)

7' - 7 1/2"

R2(\

7' - 1 1/2"

 $\oplus$ 

( S1

S1 )

( S1 )

7' - 1 1/2" CLG-2

, **R1 Ø**