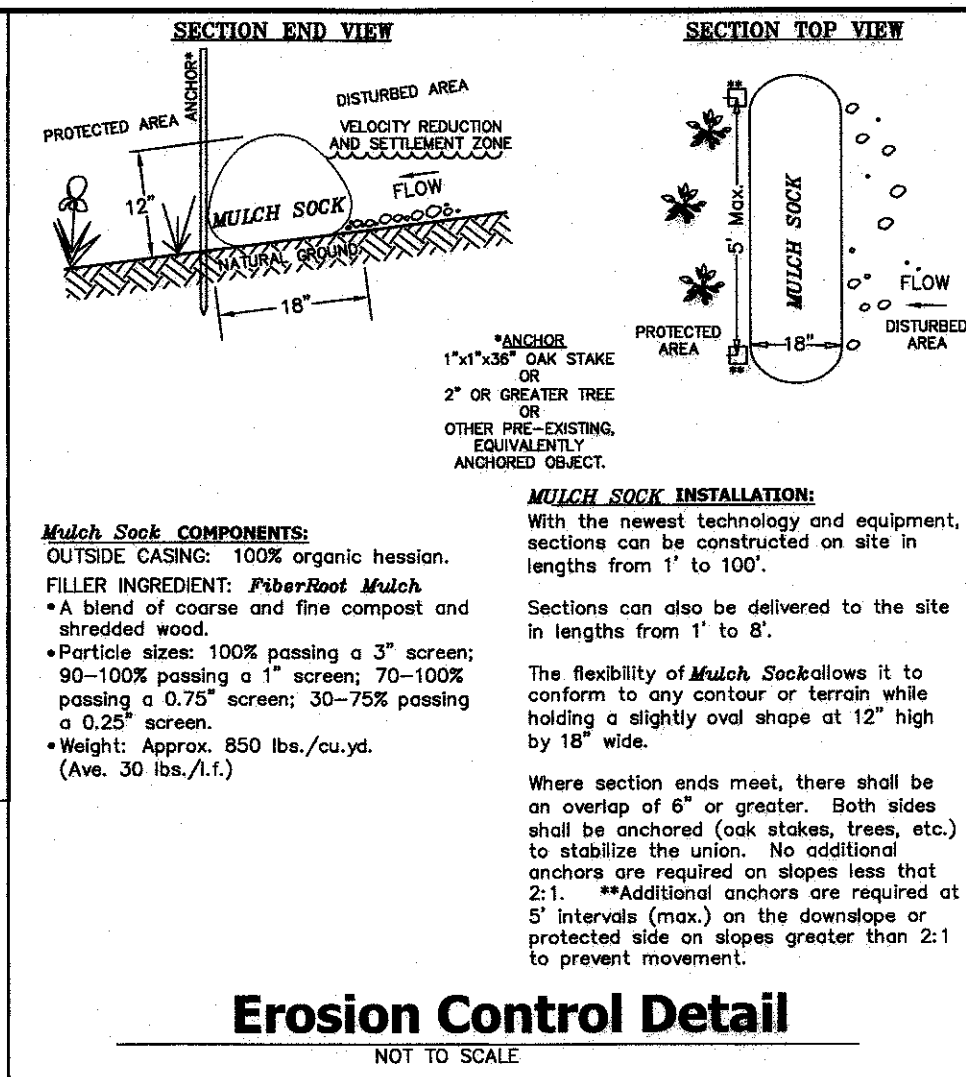


**STORMWATER INFILTRATION CALCULATIONS:**  
SOIL NAME: 245C HINCKLEY LOAMY SAND  
HYDROLOGIC SOIL GROUP: A  
INFILTRATION REQUIRED: 0.6 INCHES  
INFILTRATION PROVIDED: 0.84 INCHES

**HOUSE INFILTRATION:**  
1,424 SF OF CONTRIBUTING EXISTING AND PROPOSED ROOF AREA  
 $1,424\text{SF} \times (0.6"/12" \text{ PER FOOT}) = 71.2 \text{ CUBIC FEET OF STORAGE REQUIRED}$

PROVIDE 2 CULTEC C-100HD STORMWATER CHAMBERS WITH 12" OF PERIMETER STONE  
TOTAL STORAGE PROVIDED = 99.6 CF

**IMPERVIOUS AREA MITIGATION**  
TOTAL PROPOSED IMPERVIOUS AREA = 5,341 SF / 19.7% LOT COVERAGE  
MITIGATED IMPERVIOUS ROOF AREA = 1,424 SF / 5.2% LOT COVERAGE  
TOTAL UNMITIGATED IMPERVIOUS LOT COVERAGE = 14.5%



Professional Engineer Seal for Robert J. Duff, No. 40707, Civil. The seal is dated 8.14.2023.

- LEGAL NOTE**  
CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.
- NOTES:**
- THIS LAND IS ZONED SINGLE RESIDENCE III.
  - THIS PROPERTY REFERS TO FRANKLIN ASSESSOR MAP 312 LOT 6.
  - THIS IS PRE-EXISTING, NON-CONFORMING LOT (SEE LETTER DATED JULY 13, 1995 FROM THE FRANKLIN BUILDING INSPECTOR)
  - SEE PLAN BY WILSON ASSOCIATES ENTITLED 'SITE PLAN LOT 9 WASHINGTON STREET FRANKLIN, MASSACHUSETTS' DATED OCTOBER 19, 1995.
  - SEE PLAN ENTITLED 'PLAN OF LAND IN FRANKLIN, MASS.' DATED APRIL 14, 1979, BY WILLIAM ROSETTI R.L.S.
  - SEE PLAN ENTITLED 'VARIANCE PLOT PLAN 394 WASHINGTON STREET FRANKLIN, MA.' BY GUERRIERE AND HALNON, INC. DATED MAY 5, 2009
  - SEE DEED FILED WITH THE NORFOLK REGISTRY OF DEEDS IN BOOK 31636 PAGE 270.
  - PROPERTY IS NOT WITHIN A FLOOD HAZARD ZONE MAP 2521C0308E DATED 7/17/2012.
  - THIS PROPERTY IS NOT LOCATED WITHIN NATURAL HERITAGE ENDANGERED SPECIES PROGRAM.

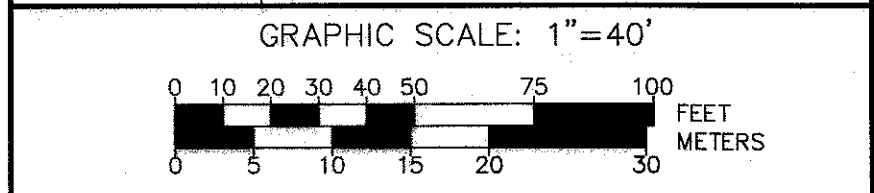
**OWNER/APPLICANT**  
HALLIE WETZELL  
NICHOLAS PAONE  
394 WASHINGTON STREET  
FRANKLIN, MA 02038

DEED BOOK 31636 PAGE 270  
PLAN No. 590 OF 1979 PLAN Bk. 419  
A.M. 312 LOT 06

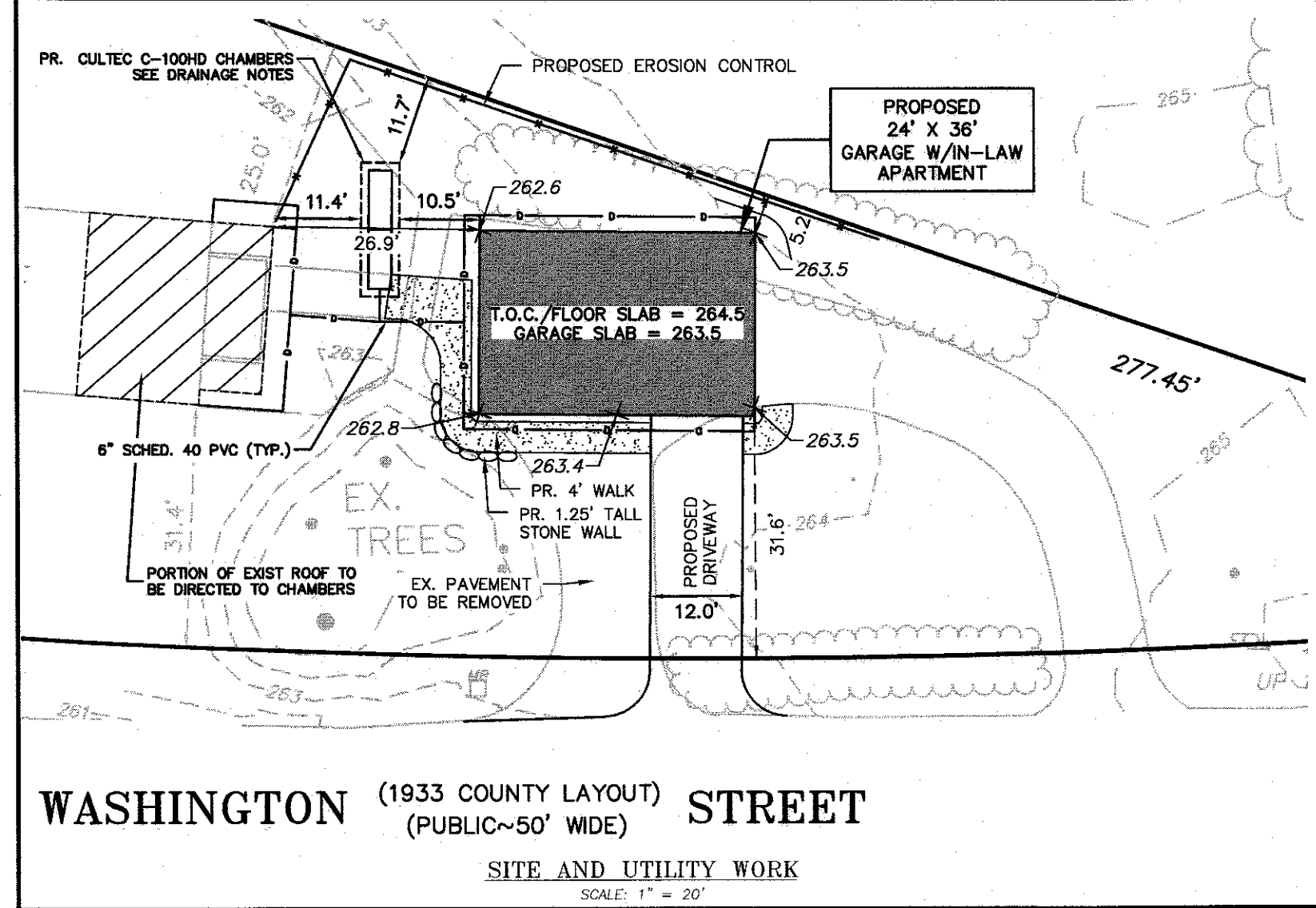
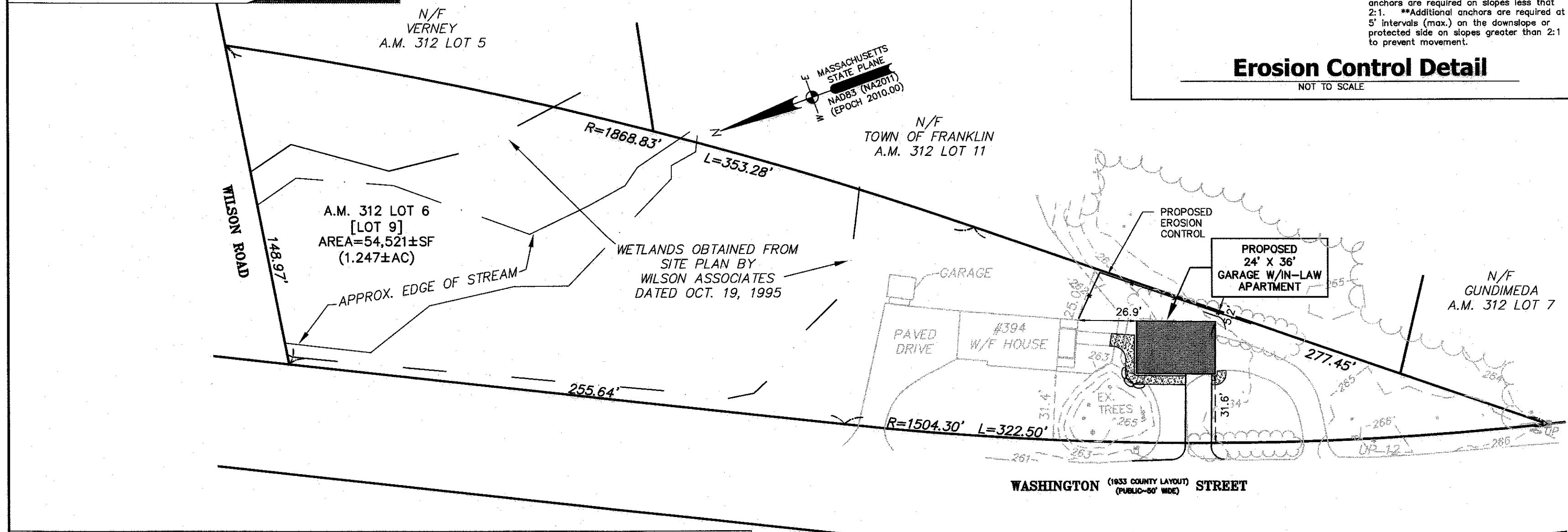
**SPECIAL PERMIT  
PLOT PLAN  
394 WASHINGTON STREET  
FRANKLIN, MA**

**AUGUST 11, 2023**

DATE	REVISION DESCRIPTION



**Guerriere & Halnon, Inc.**  
ENGINEERING & LAND SURVEYING  
55 WEST CENTRAL ST. PH. (508) 528-3221  
FRANKLIN, MA 02038 FX. (508) 528-7921  
www.gandhengineering.com



**DRAINAGE NOTES:**

- TWO CULTEC C-100HD CHAMBERS ARE PROPOSED
- CONNECT TO DOWNSPOUTS AS SHOWN USING 6" HDPE PIPE.
- INSTALL CHAMBERS PER MANUFACTURER SPECIFICATIONS.
- MAINTAIN 1" MIN COVER OVER PIPES.
- MINIMUM SLOPE = 1.0%.
- CONTRACTOR TO VERIFY NO CONFLICTS WITH EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- GUTTERS AND DOWNSPOUTS TO BE INSTALLED ON EXISTING HOUSE AS PART OF THIS PROJECT

EXISTING UPLAND AREA=27134±SF.

SINGLE-FAMILY RESIDENTIAL III			
FRANKLIN ZONING BYLAW SECTION 185 ATTACHMENT 9; LAST AMENDED 03-13-2019 BY AMENDMENT 19-831			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 SF	54,521 SF	54,521 SF
MINIMUM LOT FRONTAGE	125'	578.14'	578.14'
MINIMUM LOT DEPTH	160'	136±'	136±'
MINIMUM LOT WIDTH	112.5'	587'	587'
MINIMUM YARDS			
FRONT	40'	31.4'	28'
SIDE	25'	305'	N/A
REAR	30'	25'	11.5'
MAXIMUM IMPERVIOUS COVERAGE % OF LOT UPLAND COVERED BY:			
STRUCTURES	25	5.1%	8.3%
STRUCTURES+PAVING	35	19.2%	19.7%*

\*THIS PROPERTY IS WITHIN THE WATER RESOURCE AREA, ZONE II, AND REQUIRES A SPECIAL PERMIT FROM THE ZONING BOARD OF APPEALS TO RENDER MORE THAN 15% OF THE UPLAND AREA IMPERVIOUS. SEE MITIGATION CALCULATIONS.

**SPECIAL PERMIT REQUEST:**

ARTICLE 185 SECTION SCHEDULE 8 PART VII: TO ALLOW AN ADU UNIT WITHIN THE SINGLE FAMILY RESIDENTIAL III ZONE

ARTICLE 185 SECTION 14: TO ALLOW MORE THAN ONE BUILDING ON A LOT.

ARTICLE 185 SECTION 40(D)(1)(L)(i) TO ALLOW RENDERING MORE THAN 15% OF THE UPLAND AREA IMPERVIOUS

**VARIANCE REQUEST:**

ARTICLE 185 SECTION 19(B)(1) TO ALLOW AN ACCESSORY STRUCTURE WITHIN THE REQUIRED FRONT YARD SETBACK THE APPLICANT REQUESTS A RELIEF OF 9' FROM THE 40 FOOT SETBACK REQUIREMENT TO 31.0'.

ARTICLE 185 SECTION 19(B)(3) TO ALLOW AN ACCESSORY STRUCTURE WITHIN THE REQUIRED REAR YARD SETBACK THE APPLICANT REQUESTS A RELIEF OF 5' FROM THE 10 FOOT SETBACK REQUIREMENT TO 5.0'.