

TOWN OF FRANKLIN
INSPECTION DEPARTMENT
Building Inspection – Division of Wires – Division of Gas
Division of Plumbing
MUNICIPAL BUILDING – 355 East Central Street
Franklin, Massachusetts 02038

Lloyd (Gus) Brown
Building Commissioner

Telephone: 508-520-4926
FAX: 508-520-4906

ZONING REVIEW

APPLICANT: Timothy and Michele Roberts

LOCATION: 4 Corrine Road

ZONING DISTRICT: Single Family iii

TYPE OF PROJECT: Accessory Dwelling Unit/ Front Porch

DATE: 12/08/2021 **DENY**

SPECIAL PERMIT / VARIANCE

ZONING BY LAW SECTIONS: 185 Attachment 7 Use Regulations Schedule Part V1 6.3.b. 185 Attachment 9 Schedule of Lot, Area, Frontage, Yard and Height Requirements

REASON FOR DENIAL: Applicant is seeking to construct a second floor addition to accommodate additional bedrooms and add the accessory dwelling unit to the first floor. Also construct a front porch that is 34.5' from the front setback where 40' is required. The building permit is denied without a Special Permit and Variance from the ZBA.

APPEAL OF DENIAL OPTIONS:

ZONING BOARD OF APPEALS

APPLICANT SIGNATURE_____

ZONING OFFICIAL SIGNATURE LAB 12/08/2021 DATE

**TOWN OF FRANKLIN
ZONING BOARD OF APPEALS**

Municipal Building
355 East Central Street
Franklin, MA 02038
508-520-4926

TOWN OF FRANKLIN
TOWN CLERK

2021 DEC 13 A 11:33

RECEIVED

ZBA APPLICATION FORM

GENERAL INFORMATION

RECEIVED
TOWN OF FRANKLIN

DEC 13 2021

ZONING BOARD OF APPEALS

The undersigned hereby petitions the Zoning Board of Appeals for the following:

Special Permit: X Variance: X Appeal: _____

PETITIONER: Timothy and Michele Roberts

PETITIONER'S ADDRESS: 4 Corrine Road PHONE: 774-280-4310

LOCATION OF PROPERTY: 4 Corrine Road

TYPE OF OCCUPANCY: Single Family Residential ZONING DISTRICT: SFR III

ASSESSORS MAP & PARCEL: 223-089-000-000

REASON FOR PETITION:

| | |
|---|---------------------|
| <u>X</u> Additions | _____ New Structure |
| <u>X</u> Change in Use/Occupancy | _____ Parking |
| <u>X</u> Conversion to Addi'l Dwelling Unit's | _____ Sign |
| _____ Dormer | _____ Subdivision |
| _____ Other: _____ | |

DESCRIPTION OF PETITIONER'S PROPOSAL:

Applicant is requesting relief from the Zoning Board of Appeals to create an in-law apartment with cooking appliances as well as allowing a front yard setback of 34.5' where 40.0' is required to construct a front porch.

Article III Section 185-7 - Use Regulations, Compliance Required

Article III Section 185 - Attachment 7, Use Regulations Schedule, Part VI

Article IV Section 185-12 Front Yard Requirements / Attachment 9: Schedule of Lot, Area, Frontage, Yard and Height Requirements

Applicants for a Variance must complete Pages 1-5

Applicants for a Special Permit must complete Pages 1-4 and 6

Applicants for an Appeal to the ZBA pursuant to Zoning Bylaw section 185-45 (D) must attach a statement concerning the reasons for the appeal

Original Signature(s):

(Petitioner(s)/Owner)

Timothy & Michele Roberts
(Print Name)

Address:

4 Corrine Rd

Tel. No.:

774-280-4310

E-Mail Address:

Timnich66@msn.com

Date: 11/24/2021

**TOWN OF FRANKLIN
ZONING BOARD OF APPEALS**

Municipal Building
355 East Central Street
Franklin, MA 02038
508-520-4926

ZBA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed and returned to the Secretary of the Zoning Board of Appeals.

I/We Timothy and Michele Roberts

(OWNER)

Address: 4 Corrine Road, Franklin, MA 02038

State that I/We own the property located at 4 Corrine Road, Franklin, MA 02038,
which is the subject of this zoning application.

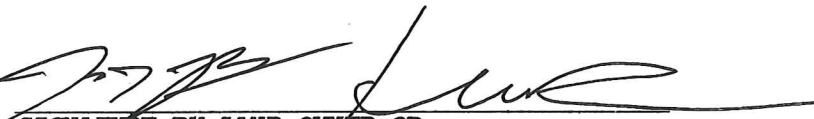
The record title of this property is in the name of _____
Timothy and Michele Roberts

*Pursuant to a deed of duly recorded in the date 09/18/2009, Norfolk

County Registry of Deeds at Book 27073, Page 236; or

Dedham Registry District of Land Court, Certificate No. _____

Book _____ Page _____.


SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

TOWN OF FRANKLIN
ZONING BOARD OF APPEALS
Municipal Building
355 East Central Street
Franklin, MA 02038
508-520-4926

ZBA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Timothy and Michele Roberts PRESENT USE/OCCUPANCY: Single Family Residential

LOCATION: 4 Corrine Road ZONE: SFR III

PHONE: 774-280 4310 REQUESTED USE/OCCUPANCY: Two-Family (In-Law Apartment)

| | | <u>EXISTING</u> <u>CONDITIONS</u> | <u>REQUESTED</u> <u>CONDITIONS</u> | <u>ORDINANCE</u> <u>REQUIREMENTS</u> ¹ | |
|-------------------------------|------------|--------------------------------------|---------------------------------------|--|------------|
| <u>Lot Area:</u> | | 15,592 sf | No Change | 20,000 sf | (min.) |
| <u>Continuous Frontage:</u> | | 100 ft | No Change | 125 ft | (min.) |
| <u>Size of Lot:</u> | Width | 100 ft | No Change | 112.5 ft | (min.) |
| | Depth | 154.28 ft | No Change | 160 ft | (min) |
| <u>Setbacks in Feet:</u> | Front | 40.6' | 34.5' | 40 ft | (min.) |
| | Rear | 80.4' | No Change | 30 ft | (min.) |
| | Left Side | 29.1' | No Change | 25 ft | (min.) |
| | Right Side | 30.2' | No Change | 25 ft | (min.) |
| <u>Building Height:</u> | Stories | 1 | 2 | 3 | (max.) |
| | Feet | 13'-2" | 23'-2" | 35 ft | (max.) |
| <u>NO. of Dwelling Units:</u> | | 1 | 2 | 1 | (max.) |
| <u>NO. of Parking Spaces:</u> | | 6 | No Change | 4 | (min./max) |

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

N/A

**TOWN OF FRANKLIN
ZONING BOARD OF APPEALS**

**Municipal Building
355 East Central Street
Franklin, MA 02038
508-520-4926**

**ZBA APPLICATION FORM
SUPPORTING STATEMENT FOR A VARIANCE**

EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH ZONING BYLAW SECTION 185-45 (D) (2) (6) AND MGL 40A, SECTION 10:

- A)** A Literal enforcement of the provisions of this Zoning bylaw would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:

Addition of a front porch to allow for a separate entrance into the new in-law apartment which will be contained within the existing building footprint. Due to the location of the existing house it would not be possible to construct the front porch without a reduction in the front yard setback. Proposed front porch is consistent with the size, shape and scale of abutting houses within the neighborhood.

- B)** The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:

Consistent with the size, shape and scale of abutting houses within the neighborhood. The hardship is due to the location of the existing house, a new front porch which contains the entrance to the proposed in-law apartment requires relief from the front yard setback.

- C)** Desirable relief may be granted without either:

- 1) Substantial detriment to the public good for the following reasons:

No substantial detriment to the public good as the proposed front porch is consistent with the size, shape and scale of the abutting houses within the neighborhood.

- 2) Nullifying or substantially derogating from the intent or purpose of this Zoning Bylaw for the following reasons:

The applicant is requesting a 5.5' relief from the front yard setback which is a negligible impact affecting the zoning bylaw

If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.



ZBA APPLICATION FORM
SUPPORTING STATEMENT FOR A SPECIAL PERMIT

Please describe in complete detail how you meet each of the following criteria in accordance with Zoning Bylaw Section 185-45(D)(2)(a) referring to the property and proposed changes or uses which are requested in your application. Attach sheets with additional information for special permits for which additional criteria must be met under the Zoning Bylaw.

185-45(D)(2)(A) **BOARD OF APPEALS:** TO HEAR AND DECIDE APPLICATIONS FOR SPECIAL PERMITS UPON WHICH THE BOARD IS EMPOWERED TO ACT UNDER THIS CHAPTER. SPECIAL PERMITS SHALL BE GRANTED BY THE BOARD OF APPEALS ONLY UPON ITS WRITTEN DETERMINATION THAT THE PROPOSED USE WILL NOT HAVE ADVERSE EFFECTS WHICH OVERBALANCE ITS BENEFICIAL EFFECTS ON EITHER THE NEIGHBORHOOD OR THE TOWN, IN VIEW OF THE PARTICULAR CHARACTERISTICS OF THE SITE AND OF THE PROPOSAL IN RELATION TO THAT SITE. THIS DETERMINATION SHALL BE IN ADDITION TO THE FOLLOWING SPECIFIC FINDINGS:

- (1) Proposed project addresses or is consistent with neighborhood or Town need.
- (2) Vehicular traffic flow, access and parking and pedestrian safety are properly addressed.
- (3) Public roadways, drainage, utilities and other infrastructure are adequate or will be upgraded to accommodate development.
- (4) Neighborhood character and social structure will not be negatively impacted.
- (5) Project will not destroy or cause substantial damage to any environmentally significant natural resource, habitat, or feature or, if it will, proposed mitigation, remediation, replication, or compensatory measures are adequate.
- (6) Number, height, bulk, location and siting of building(s) and structure(s) will not result in abutting properties being deprived of light or fresh air circulation or being exposed to flooding or subjected to excessive noise, odor, light, vibrations, or airborne particulates.
- (7) Water consumption and sewer use, taking into consideration current and projected future local water supply and demand and wastewater treatment capacity, will not be excessive.

See Attached For Responses

1. Residential design is consistent with other houses in the neighborhood.
2. The existing property includes a double wide driveway that can accommodate up to six vehicles. Currently, only two vehicles utilize driveway. Proposed changes would not change driveway and vehicle usage would increase by one. Traffic flow and pedestrian safety would not be impacted.
3. Public roadway reconstruction and improved stormwater drainage was completed by the Town of Franklin within the past ten years. Utilities within the property will be updated with energy efficiency forefront.
4. Neighborhood character and social structure will not be negatively impacted. With the exception of the porch, the existing footprint of the house will not be change, as we will be building up, not out. Additionally, the neighborhood contains similar ranch style houses that have had a second story added.
5. Project will not destroy or cause substantial damage to any environmentally significant resource, habitat, or feature. As mentioned, the foot print of the building remains unchanged, with the exception of the proposed porch.
6. Proposed construction will not result in abutting properties being deprived of light, fresh air circulation, or being exposed to flooding, or subject to excessive noise, odor, light, vibrations, or airborne particulate.
7. Water and sewer consumption will not be excessive as occupants will increase by 1 from four to five.

RECEIVED AND RECORDED
NORFOLK COUNTY
REGISTRY OF DEEDS
DEDHAM, MA

MASSACHUSETTS STATE EXCISE TAX
Norfolk Registry of Deeds
Date: 09-18-2009 @ 03:58pm
Ct1#: 1717 Doc#: 105807
Fee: \$1,149.12 Cons: \$252,000.00

CERTIFY
William P. O'Donnell, REGISTER

QUITCLAIM DEED
A N

WARREN J. MCKAY, by Elizabeth A. Clark, under durable power of attorney from the said Warren J. McKay to Elizabeth A. Clark, said power of attorney being dated April 6, 2004, and recorded herewith at Book _____, Page _____, of 5 Partridge Street, Medway, MA

for consideration paid in the amount of **TWO HUNDRED FIFTY TWO THOUSAND AND NO/100 (\$252,000.00) DOLLARS**

grants to **Timothy Roberts and Michele Roberts, of Franklin, MA, Husband and Wife, as Tenants by the Entirety,**

with **quitclaim covenants**

The land with the buildings thereon, situated in Franklin, Norfolk County, Massachusetts and being shown as Lot 6 on a plan of land entitled "Fox Hill at Franklin Subdivision Plan of Land in Franklin, Mass", dated January 28, 1959, M & M Engineering Serv., which plan is recorded with the Norfolk Registry of Deeds as Plan #502 of 1959 in Plan Book 207, and, according to said Plan, being more particularly bounded and described as follows:

SOUTHWESTERLY by Corrine Road, one hundred (100.00) feet;

NORTHWESTERLY by Lot 7 on said plan, one hundred fifty seven and 56/100 (157.56) feet;

NORTHEASTERLY, by land now or formerly of H. Gibson and now or formerly of A. Bolduc, one hundred and 5/100 (100.05) feet;

SOUTHEASTERLY by Lot 5 on said plan, one hundred fifty four and 28/100 (154.28) feet to the point of beginning.

Containing, according to said plan, 15,592 square feet, more or less.

The said premises are conveyed subject to restrictive covenants recorded with said Deeds at Book 3802, Page 11, insofar as the same may be in force and applicable.

Being the same premises as conveyed to the grantor by deed of William M. Stone and Barbara Stone, dated October 21, 1964 and recorded with said Deeds, Book 4207, Page 55.

Elizabeth M. McKay died on June 9, 2004. See attached death certificate recorded herewith at Book _____, Page _____. See also Estate Tax Affidavit recorded herewith at Book _____, Page _____.

Grantee - Property: 4 Corrine Rd, Franklin MA

WITNESS my hand and seal this 18 day of September, 2009

A N
O F F I C I A L
C O P Y

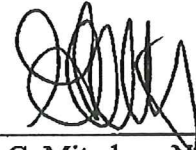
A N
O F F I C I A L
C O P Y

By: Warren J. McKay
Elizabeth A. Clark, under power of attorney

Elizabeth A. Clark, V/P/A
COMMONWEALTH OF MASSACHUSETTS

Norfolk, ss.

On this 18 day of September, 2009, before me, the undersigned notary public, personally appeared Elizabeth A. Clark as aforesaid, proved to me through satisfactory evidence of identification, which was MAD to be the person whose name is signed on the preceding or attached document, and acknowledged to me that she signed it for Warren J. MacKay voluntarily for its stated purpose.



Gregory G. Mitrakas, Notary Public
My Commission Expires: 7/19/13

GREGORY G. MITRAKAS

Notary Public

Commonwealth of Massachusetts

My Commission expires on July 19, 2013

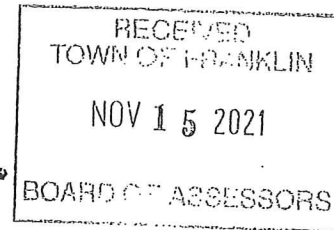


Town of Franklin – Board of Assessors

355 East Central St
Franklin, MA 02038

Tel # 508-520-4920

Fax # 508-520-4923



Abutters List Request Form

Please Note: A \$25.00 Fee PER PARCEL is required to process your request. Payment is due at the time of submission of this form. Please allow 10 days from the date of payment and submission of the form for the Assessors office to complete the processing of your request.

Date of Request 11 / 15 / 2021

Assessors Parcel ID # (12 digits) 223 089 000 000

Property Street Address 4 Corrine Lane Road

Distance Required From Parcel # listed above (Circle One) 500 300 100
(Note: if a distance is not circled, we cannot process your request)

Property Owner Timothy and Michele Roberts

Property Owner's Mailing Address 4 Corrine Road

Town/City Franklin State MA Zip Code 02038

Property Owner's Telephone # 774 - 280 - 4310

Requestor's Name (if different from Owner) _____

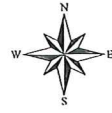
Requestor's Address _____

Requestor's Telephone # 774 - 280 - 4310

Office Use Only: Date Fee Paid 11 / 15 / 21 Paid in Cash \$ _____

Paid by Check \$ 25.00 Check # 2357 Town Receipt # 30001

RETURN TO LEEANNE



4 CORRINE RD - 300' ABUTTERS

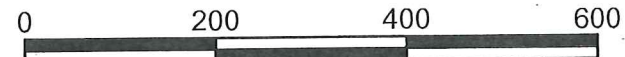
Franklin, MA



November 23, 2021

1 inch = 200 Feet

www.cai-tech.com



This information is believed to be correct but is subject to change and is not warranted.



300 foot Abutters List Report

Franklin, MA
November 23, 2021

Subject Property:

Parcel Number: 223-089-000
CAMA Number: 223-089-000-000
Property Address: 4 CORRINE RD

Mailing Address: ROBERTS TIMOTHY ROBERTS MICHELE
4 CORRINE RD
FRANKLIN, MA 02038

Abutters:

Parcel Number: 211-137-000
CAMA Number: 211-137-000-000
Property Address: 11 BETTEN CT

Mailing Address: WAYSHVILLE CHARLES F WAYSHVILLE
MARILYN C
11 BETTEN CT
FRANKLIN, MA 02038

Parcel Number: 211-142-000
CAMA Number: 211-142-000-000
Property Address: 8 MARY ANNE DR

Mailing Address: NATARAJAN MUTHU A NATARAJAN
RAJALAKSHMI
8 MARY ANNE DR
FRANKLIN, MA 02038

Parcel Number: 211-155-000
CAMA Number: 211-155-000-000
Property Address: 7 MARY ANNE DR

Mailing Address: MCNEICE KATHLEEN K
7 MARY ANNE DR
FRANKLIN, MA 02038

Parcel Number: 211-156-000
CAMA Number: 211-156-000-000
Property Address: 5 MARY ANNE DR

Mailing Address: DALTON WILLIAM DALTON NICOLE
5 MARY ANNE DR
FRANKLIN, MA 02038

Parcel Number: 222-009-000
CAMA Number: 222-009-000-000
Property Address: 43 PINE ST

Mailing Address: DASILVA JOEL DASILVA DANIELA
43 PINE ST
FRANKLIN, MA 02038

Parcel Number: 222-010-000
CAMA Number: 222-010-000-000
Property Address: 41 PINE ST

Mailing Address: MEALEY JAMES H JR MEALEY
CINDYANN
41 PINE ST
FRANKLIN, MA 02038

Parcel Number: 222-016-000
CAMA Number: 222-016-000-000
Property Address: 38 PINE ST

Mailing Address: REARDON RICHARD D REARDON
SHIRLEY N
38 PINE ST
FRANKLIN, MA 02038

Parcel Number: 222-017-000
CAMA Number: 222-017-000-000
Property Address: 40 PINE ST

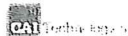
Mailing Address: LIPIZZI ANTHONY J III
40 PINE ST
FRANKLIN, MA 02038

Parcel Number: 222-018-000
CAMA Number: 222-018-000-000
Property Address: 44 PINE ST

Mailing Address: ELLIS LESLEY H III ELLIS JODI L
44 PINE ST
FRANKLIN, MA 02038

Parcel Number: 223-078-000
CAMA Number: 223-078-000-000
Property Address: 1 BETTEN CT

Mailing Address: KEATING ERIN M BORGHETTI PAUL D
1 BETTEN CT
FRANKLIN, MA 02038



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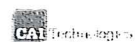
This information is believed to be correct but is subject to change and is not warrantied.



300 foot Abutters List Report

Franklin, MA
November 23, 2021

| | |
|--|--|
| Parcel Number: 223-079-000 CAMA Number: 223-079-000-000 Property Address: 3 BETTEN CT | Mailing Address: LAGUARDIA MARTHA L L/E LAGUARDIA, ANTHONY R DEVERIX, BETH A 3 BETTEN CT FRANKLIN, MA 02038 |
| Parcel Number: 223-080-000 CAMA Number: 223-080-000-000 Property Address: 5 BETTEN CT | Mailing Address: WENNERS WILLIAM F WENNERS DONNA 5 BETTEN CT FRANKLIN, MA 02038 |
| Parcel Number: 223-081-000 CAMA Number: 223-081-000-000 Property Address: 9 BETTEN CT | Mailing Address: PALMER CHARLES H PALMER MARGARET R 9 BETTEN CT FRANKLIN, MA 02038 |
| Parcel Number: 223-082-000 CAMA Number: 223-082-000-000 Property Address: 2 BETTEN CT | Mailing Address: KINNEY MARY ALICE 2 BETTEN CT FRANKLIN, MA 02038 |
| Parcel Number: 223-083-000 CAMA Number: 223-083-000-000 Property Address: 65 PINE ST | Mailing Address: O'HALLORAN COLLEEN MARIE PARKER KEVIN W 65 PINE ST FRANKLIN, MA 02038 |
| Parcel Number: 223-084-000 CAMA Number: 223-084-000-000 Property Address: 63 PINE ST | Mailing Address: TOUBEAU RICHARD J 63 PINE ST FRANKLIN, MA 02038 |
| Parcel Number: 223-085-000 CAMA Number: 223-085-000-000 Property Address: 59 PINE ST | Mailing Address: MURPHY PETER JOSEPH MURPHY ALEXANDRA C 59 PINE ST FRANKLIN, MA 02038 |
| Parcel Number: 223-086-000 CAMA Number: 223-086-000-000 Property Address: 10 BETTEN CT | Mailing Address: GIBBS STEPHEN N 10 BETTEN CT FRANKLIN, MA 02038 |
| Parcel Number: 223-087-000 CAMA Number: 223-087-000-000 Property Address: 8 CORRINE RD | Mailing Address: GRASSO DANIEL GRASSO NATALIA 8 CORRINE RD FRANKLIN, MA 02038 |
| Parcel Number: 223-088-000 CAMA Number: 223-088-000-000 Property Address: 6 CORRINE RD | Mailing Address: GARDNER PAUL 260 VILLAGE ST MILLIS, MA 02054 |
| Parcel Number: 223-089-000 CAMA Number: 223-089-000-000 Property Address: 4 CORRINE RD | Mailing Address: ROBERTS TIMOTHY ROBERTS MICHELE 4 CORRINE RD FRANKLIN, MA 02038 |
| Parcel Number: 223-090-000 CAMA Number: 223-090-000-000 Property Address: 2 CORRINE RD | Mailing Address: MCGILVRAY DAVID MCGILVRAY KAREN B 2 CORRINE RD FRANKLIN, MA 02038 |



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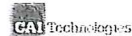


300 foot Abutters List Report

Franklin, MA
November 23, 2021

| | |
|--|--|
| Parcel Number: 223-091-000 CAMA Number: 223-091-000-000 Property Address: 47 PINE ST | Mailing Address: CHUNG DANIEL V CHUNG SARAH E 47 PINE ST FRANKLIN, MA 02038 |
| Parcel Number: 223-092-000 CAMA Number: 223-092-000-000 Property Address: 4 MARY ANNE DR | Mailing Address: MCCAULEY KEVIN P & GEMMA M TRS MCCAULEY REALTY TRUST 4 MARY ANNE DR FRANKLIN, MA 02038 |
| Parcel Number: 223-093-000 CAMA Number: 223-093-000-000 Property Address: 6 MARY ANNE DR | Mailing Address: ABRAMS JAMES B ABRAMS STEPHANIE LUZ 6 MARY ANNE DR FRANKLIN, MA 02038 |
| Parcel Number: 223-094-000 CAMA Number: 223-094-000-000 Property Address: 1 MARY ANNE DR | Mailing Address: ALBERTS JOHN J JR ALBERTS KAREN 1 MARY ANNE DR FRANKLIN, MA 02038 |
| Parcel Number: 223-095-000 CAMA Number: 223-095-000-000 Property Address: 48 PINE ST | Mailing Address: FIELDS DAVID E JR FIELDS MAURA E 48 PINE ST FRANKLIN, MA 02038 |
| Parcel Number: 223-096-000 CAMA Number: 223-096-000-000 Property Address: 50 PINE ST | Mailing Address: DUGGAN FRANK & MARJORIE K TRS DUGGAN REVOCABLE TRUST 50 PINE ST FRANKLIN, MA 02038 |
| Parcel Number: 223-097-000 CAMA Number: 223-097-000-000 Property Address: 52 PINE ST | Mailing Address: BENT MARY E VITAGLIANO MARC A 52 PINE ST FRANKLIN, MA 02038 |
| Parcel Number: 223-098-000 CAMA Number: 223-098-000-000 Property Address: 54 PINE ST | Mailing Address: MORSE MICHAEL J OMEARA ASHLEY L 54 PINE ST FRANKLIN, MA 02038 |
| Parcel Number: 223-099-000 CAMA Number: 223-099-000-000 Property Address: 56 PINE ST | Mailing Address: HOTCHKISS HOPE SHEA JOHN 56 PINE ST FRANKLIN, MA 02038 |
| Parcel Number: 223-101-000 CAMA Number: 223-101-000-000 Property Address: 2 TONI LN | Mailing Address: YIN WENXI ZENG CHEN 323 AMERICA BLVD ASHLAND, MA 01721 |

Kevin M. Doyle, 11-23-21



www.cai-tech.com

This information is believed to be correct but is subject to change and is not warranted.

ABRAMS JAMES B
ABRAMS STEPHANIE LUZ
6 MARY ANNE DR
FRANKLIN, MA 02038

ALBERTS JOHN J JR
ALBERTS KAREN
1 MARY ANNE DR
FRANKLIN, MA 02038

BENT MARY E
VITAGLIANO MARC A
52 PINE ST
FRANKLIN, MA 02038

CHUNG DANIEL V
CHUNG SARAH E
47 PINE ST
FRANKLIN, MA 02038

DALTON WILLIAM
DALTON NICOLE
5 MARY ANNE DR
FRANKLIN, MA 02038

DASILVA JOEL
DASILVA DANIELA
43 PINE ST
FRANKLIN, MA 02038

DUGGAN FRANK & MARJORIE K
DUGGAN REVOCABLE TRUST
50 PINE ST
FRANKLIN, MA 02038

ELLIS LESLEY H III
ELLIS JODI L
44 PINE ST
FRANKLIN, MA 02038

FIELDS DAVID E JR
FIELDS MAURA E
48 PINE ST
FRANKLIN, MA 02038

GARDNER PAUL
260 VILLAGE ST
MILLIS, MA 02054

GIBBS STEPHEN N
10 BETTEN CT
FRANKLIN, MA 02038

GRASSO DANIEL
GRASSO NATALIA
8 CORRINE RD
FRANKLIN, MA 02038

HOTCHKISS HOPE
SHEA JOHN
56 PINE ST
FRANKLIN, MA 02038

KEATING ERIN M
BORGHETTI PAUL D
1 BETTEN CT
FRANKLIN, MA 02038

KINNEY MARY ALICE
2 BETTEN CT
FRANKLIN, MA 02038

LAGUARDIA MARTHA L L/E
LAGUARDIA, ANTHONY R DEVE
3 BETTEN CT
FRANKLIN, MA 02038

LIPIZZI ANTHONY J III
40 PINE ST
FRANKLIN, MA 02038

MCCAULEY KEVIN P & GEMMA
MCCAULEY REALTY TRUST
4 MARY ANNE DR
FRANKLIN, MA 02038

MCGILVRAY DAVID
MCGILVRAY KAREN B
2 CORRINE RD
FRANKLIN, MA 02038

MCNEICE KATHLEEN K
7 MARY ANNE DR
FRANKLIN, MA 02038

MEALEY JAMES H JR
MEALEY CINDYANN
41 PINE ST
FRANKLIN, MA 02038

MORSE MICHAEL J
OMEARA ASHLEY L
54 PINE ST
FRANKLIN, MA 02038

MURPHY PETER JOSEPH
MURPHY ALEXANDRA C
59 PINE ST
FRANKLIN, MA 02038

NATARAJAN MUTHU A
NATARAJAN RAJALAKSHMI
8 MARY ANNE DR
FRANKLIN, MA 02038

O'HALLORAN COLLEEN MARIE
PARKER KEVIN W
65 PINE ST
FRANKLIN, MA 02038

PALMER CHARLES H
PALMER MARGARET R
9 BETTEN CT
FRANKLIN, MA 02038

REARDON RICHARD D
REARDON SHIRLEY N
38 PINE ST
FRANKLIN, MA 02038

ROBERTS TIMOTHY
ROBERTS MICHELE
4 CORRINE RD
FRANKLIN, MA 02038

TOUBEAU RICHARD J
63 PINE ST
FRANKLIN, MA 02038

WAYSHVILLE CHARLES F
WAYSHVILLE MARILYN C
11 BETTEN CT
FRANKLIN, MA 02038

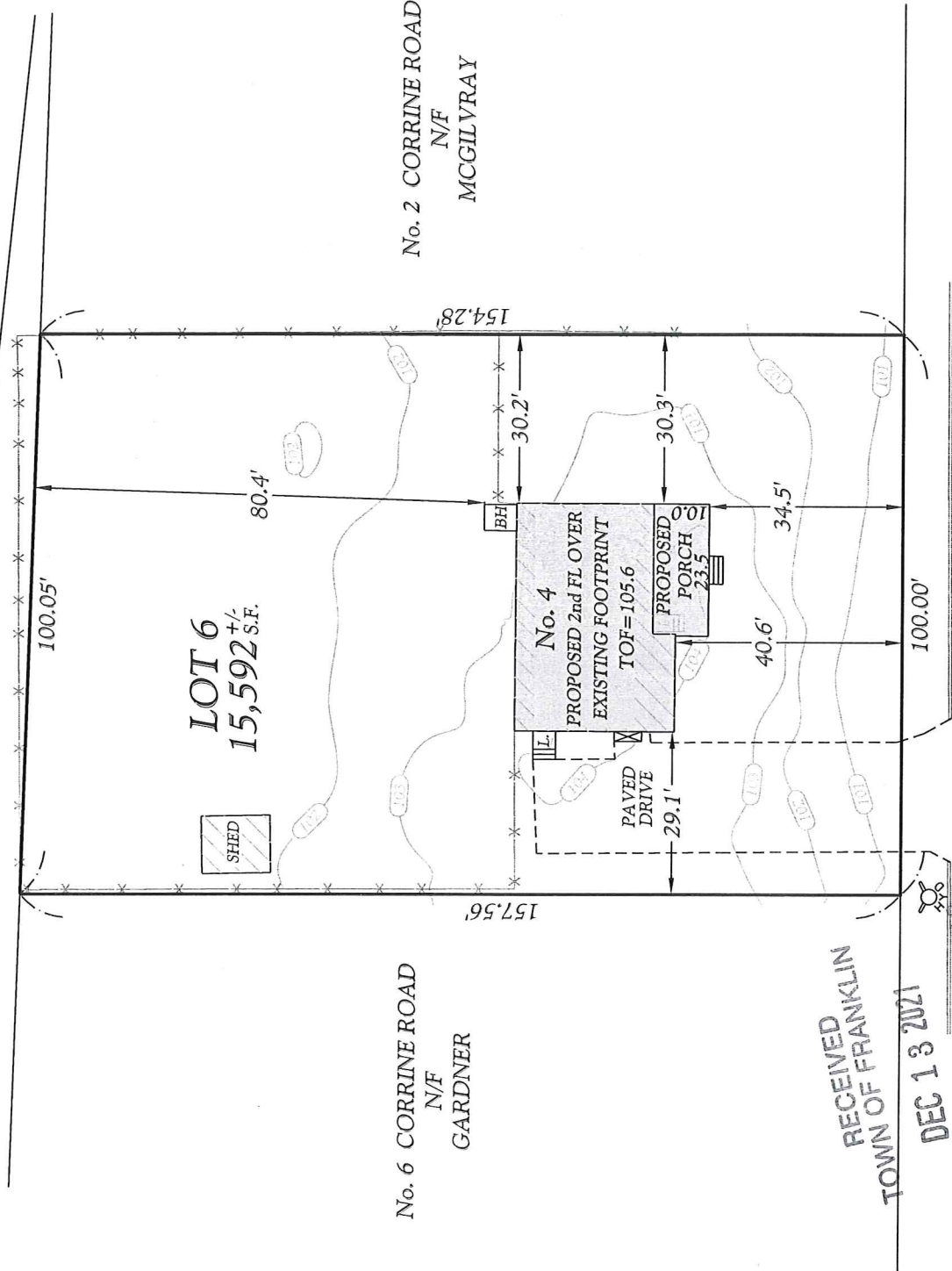
WENNERS WILLIAM F
WENNERS DONNA
5 BETTEN CT
FRANKLIN, MA 02038

YIN WENXI
ZENG CHEN
323 AMERICA BLVD
ASHLAND, MA 01721

No.4 MARY ANNE DR
N/F
MCCAULEY

No. 2 CORRINE ROAD
N/F
MCGILVRAY

PLAN BOOK 207, PAGE 502



PRE-EXISTING TOTAL IMPERVIOUS 2,516 S.F.(16.1 %)
PROPOSED TOTAL IMPERVIOUS 2,746 S.F.(17.6 %)

PREPARED FOR:
TIMOTHY & MICHELE ROBERTS
4 CORRINE ROAD
FRANKLIN, MA 02038

REFERENCES:
DEED: BOOK 27073, PAGE 236
PLAN: BOOK 207, PAGE 502

I CERTIFY THAT THE LOT
SHOWN AND THE
IMPROVEMENTS THEREON
DO NOT LIE IN A WATER
RESOURCE DISTRICT.

ZONING DISTRICT: SFIII

CERTIFIED PLOT PLAN

LOCATED AT

4 CORRINE ROAD

ASSESSORS PARCEL # 223-089-000-000

FRANKLIN, MA

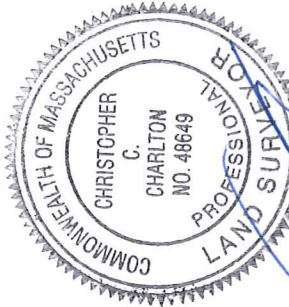
NORFOLK COUNTY

CONTINENTAL LAND SURVEY, LLC

105 BEAVER STREET, FRANKLIN, MA

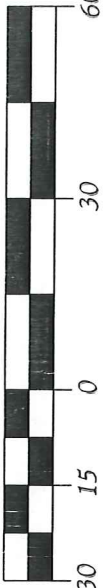
(508) 528 - 2528

SCALE: 1"=30' NOVEMBER 5, 2021



I CERTIFY THAT THIS
PLAN WAS CREATED BY
AN INSTRUMENT
SURVEY ON THE
GROUND AND THAT ALL
STRUCTURES ARE
LOCATED AS SHOWN
HEREON.

CHRISTOPHER C. CHARLTON, PLS





Date 09/01/21
Revision
Schematic Design - Not
For Construction

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n3 architecture
30 Anthony Road
Hopedale, MA 01747
www.n3architecture.com
chris@n3architecture.com

**Option 02 - Renovations and
Additions**

4 Corrine Lane, Franklin, MA
The Roberts Family
4 Corrine Lane, Franklin, MA

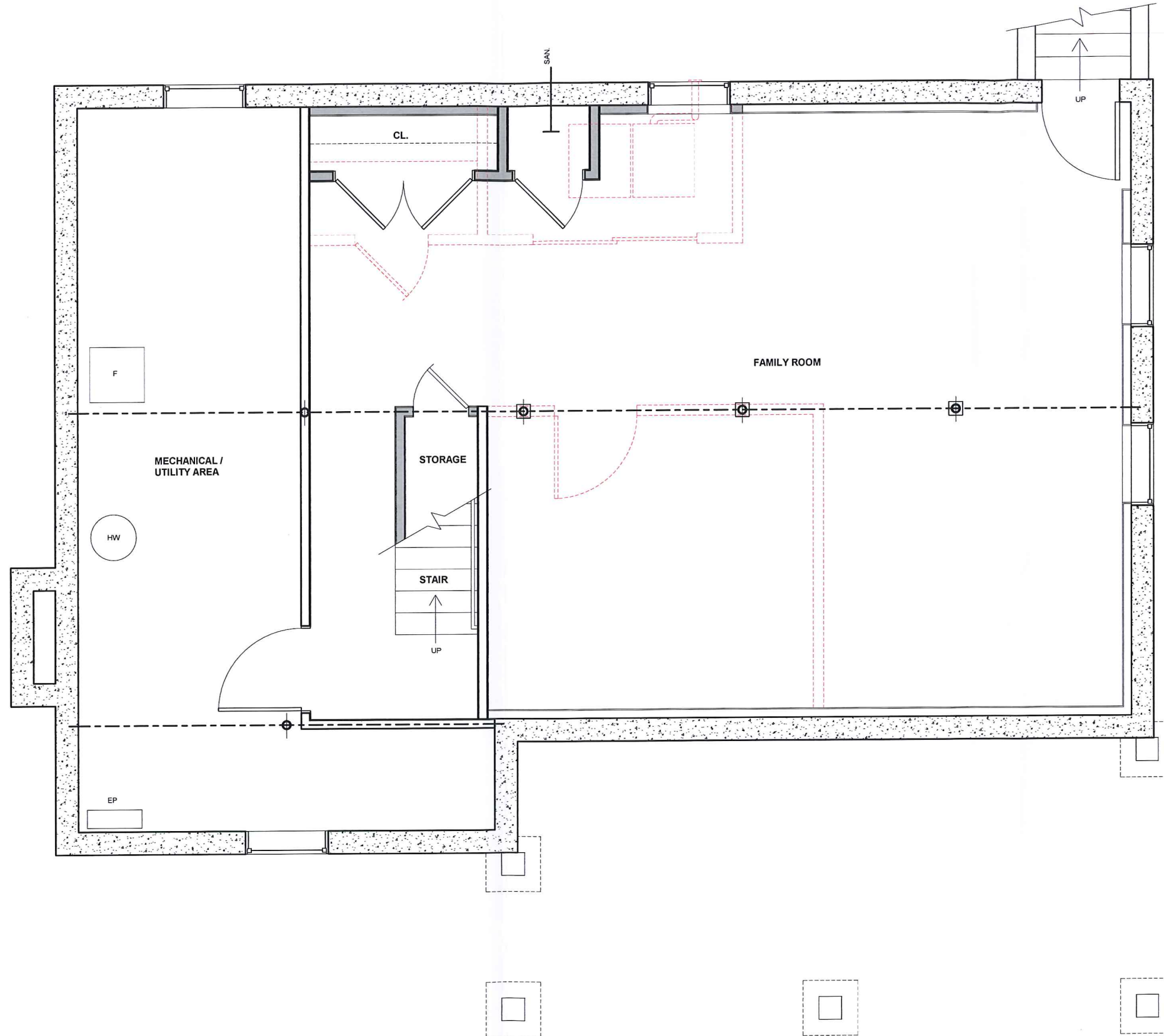
RECEIVED
TOWN OF FRANKLIN
DEC 13 2021
ZONING BOARD OF APPEALS

Front
Rendering

Scale: 1/2" = 1'-0"

SD-01

n3 architecture project number
Project Number



Date 09/14/21
Revision
Schematic Design - Not For Construction

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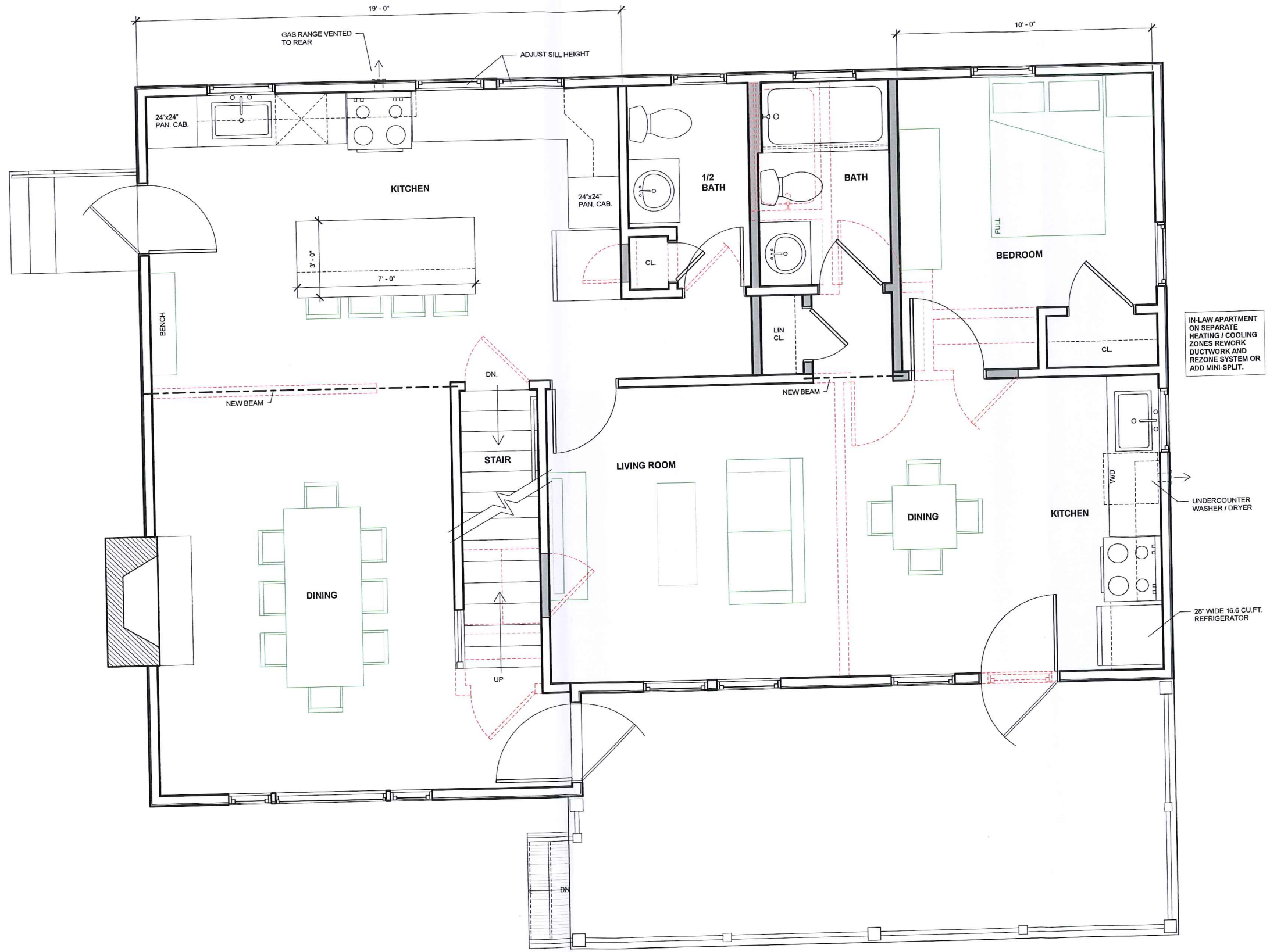
Option 02 - Renovations and Additions
4 Corrine Lane, Franklin, MA
The Roberts Family
4 Corrine Lane, Franklin, MA

Basement Floor Plan

Scale: 1/2" = 1'-0"

A-05.01

n3 architecture project number
Project Number



Date 09/14/21
Revision
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Option 02 - Renovations and Additions
4 Corrine Lane, Franklin, MA
The Roberts Family
4 Corrine Lane, Franklin, MA

First Floor Plan

Scale: 1/2" = 1'-0"

A-05.02

n3 architecture project number
Project Number



Date 09/14/21
 Revision
 Schematic Design - Not For Construction

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 chris@n3architecture.com

Option 02 - Renovations and Additions
 4 Corrine Lane, Franklin, MA
The Roberts Family
 4 Corrine Lane, Franklin, MA

Second Floor Plan

Scale: 1/2" = 1'-0"

A-05.03

n3 architecture project number