

TOWN OF FRANKLIN
INSPECTION DEPARTMENT
Building Inspection – Division of Wires – Division of Gas
Division of Plumbing
MUNICIPAL BUILDING – 355 East Central Street
Franklin, Massachusetts 02038

Lloyd (Gus) Brown
Building Commissioner

Telephone: 508-520-4926
FAX: 508-520-4906

ZONING REVIEW

APPLICANT: Joshua and Kate Gates

LOCATION: 58 Anchorage Road

ZONING DISTRICT: RR 1

TYPE OF PROJECT: CONSTRUCTION OF A MASTER SUITE

DATE: 02/14/2022 **DENY**

VARIANCE

ZONING BY LAW SECTIONS: 185 Attachment 9 Schedule of Lot, Area,
Frontage, Yard and Height Requirements

REASON FOR DENIAL: Applicant is seeking to construct a 20'-10 1/4" x 16'-7 1/4" addition that is 15.7' from the right side yard setback where 40' is required and 30.2' from the left side yard setback where 40' is required. The building permit is denied without a variance from the ZBA.

APPEAL OF DENIAL OPTIONS:

ZONING BOARD OF APPEALS

APPLICANT SIGNATURE _____ **DATE**

ZONING OFFICIAL SIGNATURE LAB _____ **DATE** 02/14/2022

**TOWN OF FRANKLIN
ZONING BOARD OF APPEALS**

Municipal Building
355 East Central Street
Franklin, MA 02038
508-520-4926

RECEIVED
TOWN OF FRANKLIN

FEB 16 2022

TOWN OF FRANKLIN
TOWN CLERK

2022 FEB 16 P 2:12

ZBA APPLICATION FORM

ZONING BOARD OF APPEALS

GENERAL INFORMATION

The undersigned hereby petitions the Zoning Board of Appeals for the following:

Special Permit: _____ Variance: ☒ Appeal: _____

PETITIONER: Joshua and Kate Gates

PETITIONER'S ADDRESS: 58 Anchorage rd PHONE: 781-354-8460

LOCATION OF PROPERTY: Franklin, MA

TYPE OF OCCUPANCY: Residential ZONING DISTRICT: RR1

ASSESSORS MAP & PARCEL: 214-071-000-000

REASON FOR PETITION:

<input checked="" type="checkbox"/> Additions	_____ New Structure
_____ Change in Use/Occupancy	_____ Parking
_____ Conversion to Addi'l Dwelling Unit's	_____ Sign
_____ Dormer	_____ Subdivision
_____ Other: _____	

DESCRIPTION OF PETITIONER'S PROPOSAL:

Scope of work entails putting a small addition on the rear of an existing single family residence. We are seeking a variance for both the rear and side yard setbacks

SECTIONS OF ZONING ORDINANCE CITED:

Article _____ Section 185 Attachment 9: Schedule of Lot, Area, Frontage, Yard, and Height Requirements

Article _____ Section _____

Article _____ Section _____

Applicants for a Variance must complete Pages 1-5

Applicants for a Special Permit must complete Pages 1-4 and 6

Applicants for an Appeal to the ZBA pursuant to Zoning Bylaw section 185-45 (D) must attach a statement concerning the reasons for the appeal

Original Signature(s):

Kate Gates Joshua Gates
(Petitioner(s)/Owner)

Kate Gates Joshua Gates

(Print Name)

Address: 58 Anchorage rd Franklin MA 02038

Tel. No.: 781-354-8460

E-Mail Address: Kate.gates04@gmail.com Jshgates@gmail.com

Date: 1/18/2021

m

**TOWN OF FRANKLIN
ZONING BOARD OF APPEALS**

Municipal Building
355 East Central Street
Franklin, MA 02038
508-520-4926

ZBA APPLICATION FORM - OWNERSHIP INFORMATION

To be completed by OWNER, signed and returned to the Secretary of the Zoning Board of Appeals.



I/We Joshua and Kate Gates
(OWNER)

Address: 58 Anchorage rd Franklin MA 02038

State that I/We own the property located at 58 Anchorage rd Franklin MA 02038
which is the subject of this zoning application.

The record title of this property is in the name of Kate M Gates and Joshua M Gates

*Pursuant to a deed of duly recorded in the date 10-18-2017, Norfolk
County Registry of Deeds at Book 35528, Page 8; or
Dedham Registry District of Land Court, Certificate No. _____
Book _____ Page _____.

SIGNATURE BY LAND OWNER OR
AUTHORIZED TRUSTEE, OFFICER OR AGENT*

TOWN OF FRANKLIN
ZONING BOARD OF APPEALS

Municipal Building
355 East Central Street
Franklin, MA 02038
508-520-4926

ZBA APPLICATION FORM

DIMENSIONAL INFORMATION

APPLICANT: Joshua and Kate Gates PRESENT USE/OCCUPANCY: Residential

LOCATION: 58 Anchorage rd Franklin MA 02038 ZONE: RR1

PHONE: 781-354-8460 REQUESTED USE/OCCUPANCY: Residential

		<u>EXISTING</u> <u>CONDITIONS</u>	<u>REQUESTED</u> <u>CONDITIONS</u>	<u>ORDINANCE</u> <u>REQUIREMENTS</u> ¹	
<u>Lot Area:</u>		15,088 SF	15,088 SF	40,000 SF	(min.)
<u>Continuous Frontage:</u>		223.13	223.13	200	(min.)
<u>Size of Lot:</u>	Width	150.01	150.01	180	(min.)
	Depth	119.85	119.85	200	(min)
<u>Setbacks in</u> <u>Feet:</u>	Front	44.2	44.2	40	(min.)
	Rear	41.5	30.2	40	(min.)
	Left Side	N/A	N/A	40	(min.)
	Right Side	18.6	15.7	40	(min.)
<u>Building Height:</u>	Stories	1.5	1.5	3	(max.)
	Feet	16	17	35	(max.)
<u>NO. of Dwelling Units:</u>		1	1	1	(max.)
<u>NO. of Parking Spaces:</u>		Min. 2	Min. 2	2	(min./max)

Describe where applicable, other occupancies on same lot, the size of adjacent buildings on same lot, and type of construction proposed, e.g.; wood frame, concrete, brick, steel, etc.

This will be a small master suite addition on the back of an existing single family home. It will be roughly 17' x 21' single story wood framed addition built on top of a concrete foundation wall connected back into the existing foundation of the home.

**TOWN OF FRANKLIN
ZONING BOARD OF APPEALS**

Municipal Building
355 East Central Street
Franklin, MA 02038
508-520-4926

ZBA APPLICATION FORM
SUPPORTING STATEMENT FOR A VARIANCE

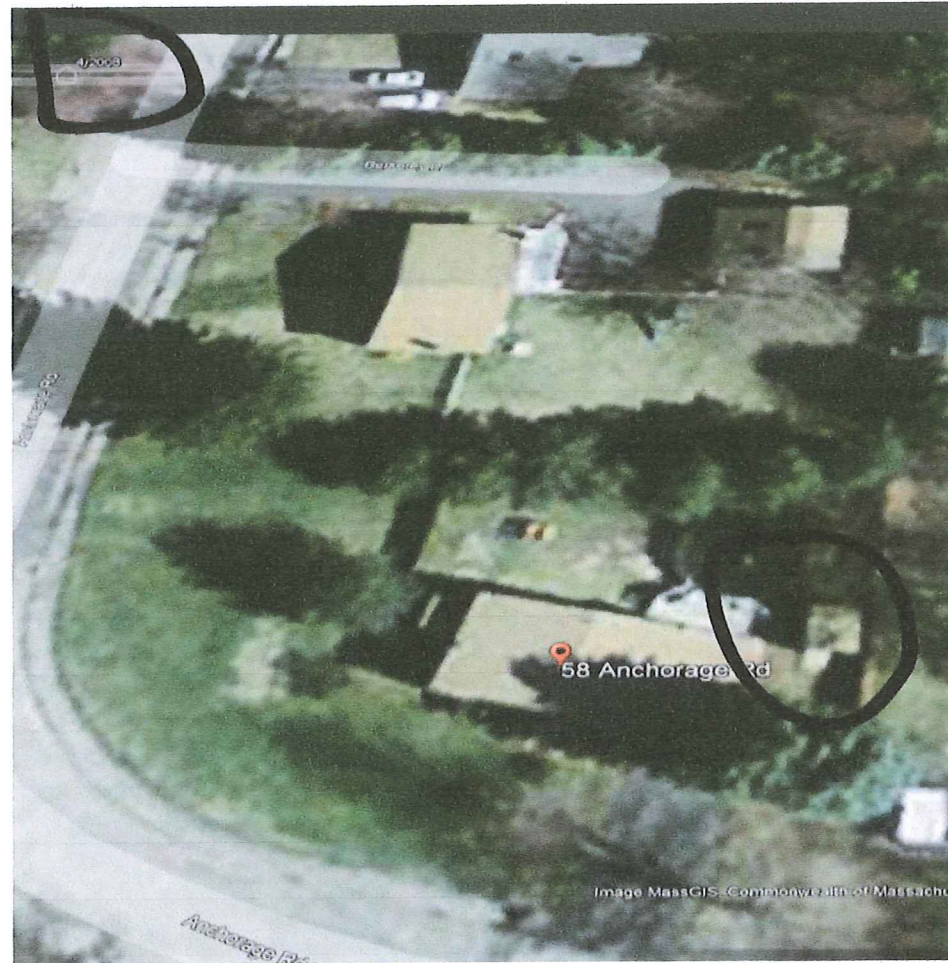
EACH OF THE FOLLOWING REQUIREMENTS FOR A VARIANCE MUST BE ESTABLISHED AND SET FORTH IN COMPLETE DETAIL BY THE APPLICANT IN ACCORDANCE WITH ZONING BYLAW SECTION 185-45 (D) (2) (6) AND MGL 40A, SECTION 10:

- A) A Literal enforcement of the provisions of this Zoning bylaw would involve a substantial hardship, financial or otherwise, to the petitioner or appellant for the following reasons:
The home and lot at the project address are both existing nonconforming which puts the owner at a limitation for expansion. The lot size is well below the minimum lot size indicated in 185 Attachment 9. Due to this lot size, the existing home is located well into the 40' setbacks indicated on the same attachment. The property owners are seeking to build a small addition but there is no area on the property where it could meet all setbacks called out by the Zoning Bylaws
- B) The hardship is owing to the following circumstances relating to the soil conditions, shape or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located for the following reasons:
The lot size, shape, and physical location of the existing home creates a hardship for the property owners to improve upon or build any addition onto their home or property. There is no area on the property which can comply with the zoning district's setbacks due to the existing nonconforming nature of the lot.
- C) Desirable relief may be granted without either:
- 1) Substantial detriment to the public good for the following reasons:
This addition is designed to be built in place of an existing deck that will be demolished. The proposed addition will be roughly the same size as this existing deck so any further impact of this construction would be limited.
 - 2) Nullifying or substantially derogating from the intent or purpose of this Zoning Bylaw for the following reasons:
The property owners face a hardship due to the existing nonconforming nature of their home and lot. They seek to add a modest addition which would be acceptable on a typical lot that meets the zoning districts minimum requirements.

If you have any questions as to whether you can establish all of the applicable legal requirements, you should consult with your own attorney.

Google earth photo

This is a google earth photo from 2008 of our house with the shed included.



Circled on the top left is the date 4/2008. Circled on the bottom is our shed. The previous owner did not tell us when he built it. I went into historical view on google earth and went as far back as I could before it was too blurry to see how long the shed has been on the property.

RECEIVED AND RECORDED
NORFOLK COUNTY
REGISTRY OF DEEDS
DEDHAM, MA

MASSACHUSETTS STATE EXCISE TAX
Norfolk Registry of Deeds
Date: 10-18-2017 @ 12:33pm
Ct1#: 781 Doc#: 99284
Fee: \$1,641.60 Cons: \$359,800.00

CERTIFY

William P. O'Donnell
WILLIAM P. O'DONNELL, REGISTER

QUITCLAIM DEED

We, **RALPH CASTAGNARO AND CAROL CASTAGNARO, AS TRUSTEES OF THE RALPH AND CAROL CASTAGNARO REVOCABLE FAMILY TRUST** u/d/t December 11, 2013, an unrecorded trust with a Trustee Certificate recorded in the Norfolk County Registry of Deeds in Book 32005, Page 98, and herewith of Franklin, Norfolk County, MA,

for consideration paid and in full consideration of THREE HUNDRED FIFTY-NINE THOUSAND EIGHT HUNDRED AND NO/100 DOLLARS (\$359,800.00), the receipt whereof is hereby acknowledged,

grant to **KATE M. GATES AND JOSHUA M. GATES**, husband and wife, as tenants by the entirety, both of 58 Anchorage Road, Franklin, Norfolk County, Massachusetts,

with QUITCLAIM covenants

The land, with buildings, structures and improvements thereon, situated in Franklin in the County of Norfolk and Commonwealth of Massachusetts, being shown as Lot 58 on Anchorage Road, as shown on plan entitled "Subdivision Plan of Land in Franklin, Mass., property of Davmar, Incorporated.", dated November 2, 1959, by Bowie Engineering Co., C.E.'s recorded with Norfolk County Registry of Deeds as Plan No. 398-400 of 1960 in Plan Book 208, and according to said plan bounded and described as follows:

SOUTHWESTERLY by Anchorage Road, eighty-five and 26/100 (85.26) feet;
SOUTHWESTERLY AND WESTERLY by Anchorage Road by a curve with 80 foot radius,
one hundred eleven and 65/100 (111.65) feet;
WESTERLY by Anchorage Road, twenty-six and 22/100 (26.22) feet;
NORTHERLY by Lot 57, one hundred fifty and 00/100 (150.00) feet; and
EASTERLY by Lots 59 and 60, one hundred nineteen and 88/100 (119.88) feet.

Containing 15,088 square feet according to said plan.

Said premises are conveyed subject to and with the benefit of easements, restrictions, agreements, and reservations of record, if any there be, insofar as the same may be in force and applicable.

58 Anchorage Road, Franklin, MA 02038

The grantors herein release any and all rights of homestead in the herein conveyed premises, pursuant to Mass. Gen. Laws Chapter 188. The grantors herein certify under the pains and penalties of perjury, that there is no other individual entitled to an estate of homestead under Mass. Gen. Laws 188 in the premises herein conveyed.

Meaning, intending and hereby conveying the same premises in a deed dated December 11, 2013 and recorded with the Norfolk County Registry of Deeds in Book 32005, Page 100.

Witness our hands and seals this 17 day of OCT, 2017.

Ralph Castagnaro TRUSTEE
Ralph Castagnaro, Trustee as aforesaid

Carol Castagnaro, Trustee
Carol Castagnaro, Trustee as aforesaid

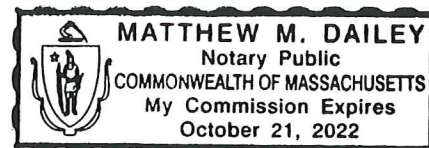
COMMONWEALTH OF MASSACHUSETTS

Worcester, ss

October 17, 2017

On this 17 day of October, 2017, before me, the undersigned notary public, personally appeared Ralph Castagnaro and Carol Castagnaro, proved to me through satisfactory evidence of identification, which were Massachusetts Drivers' Licenses, to be the persons whose names are signed on the preceding or attached document, and acknowledged to me that they signed it voluntarily for its stated purpose as trustees as aforesaid.

[Signature]
NOTARY PUBLIC
MY COMMISSION EXPIRES:



DECLARATION OF HOMESTEAD

We Joshua M. Gates and Kate M. Gates, hereby declare homestead pursuant to M.G. L. c. 188, § 3, with respect to the herein-described premises and state as follows:

We are the owners of the premises at 58 Anchorage Road, Franklin, Massachusetts 02038, by virtue of: deed from Ralph Castagnaro and Carol Castagnaro, as Trustees Of The Ralph And Carol Castagnaro Revocable Family Trust dated October 17, 2017 and recorded in Norfolk County Registry of Deeds herewith.

which we occupy or intend to occupy said premises as our principal residence.

We are married to each other.

We are not servicemembers who may be entitled to protection under the Servicemembers Civil Relief Act, 50 U.S.C. 553, should we be called to active duty.

RECEIVED AND RECORDED
NORFOLK COUNTY
REGISTRY OF DEEDS
DEDHAM, MA

Signed under the penalties of perjury this October 18, 2017.

CERTIFY

William P. O'Donnell
WILLIAM P. O'DONNELL, REGISTER

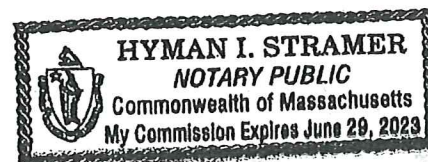
Joshua M. Gates
Joshua M. Gates
Kate M. Gates
Kate M. Gates

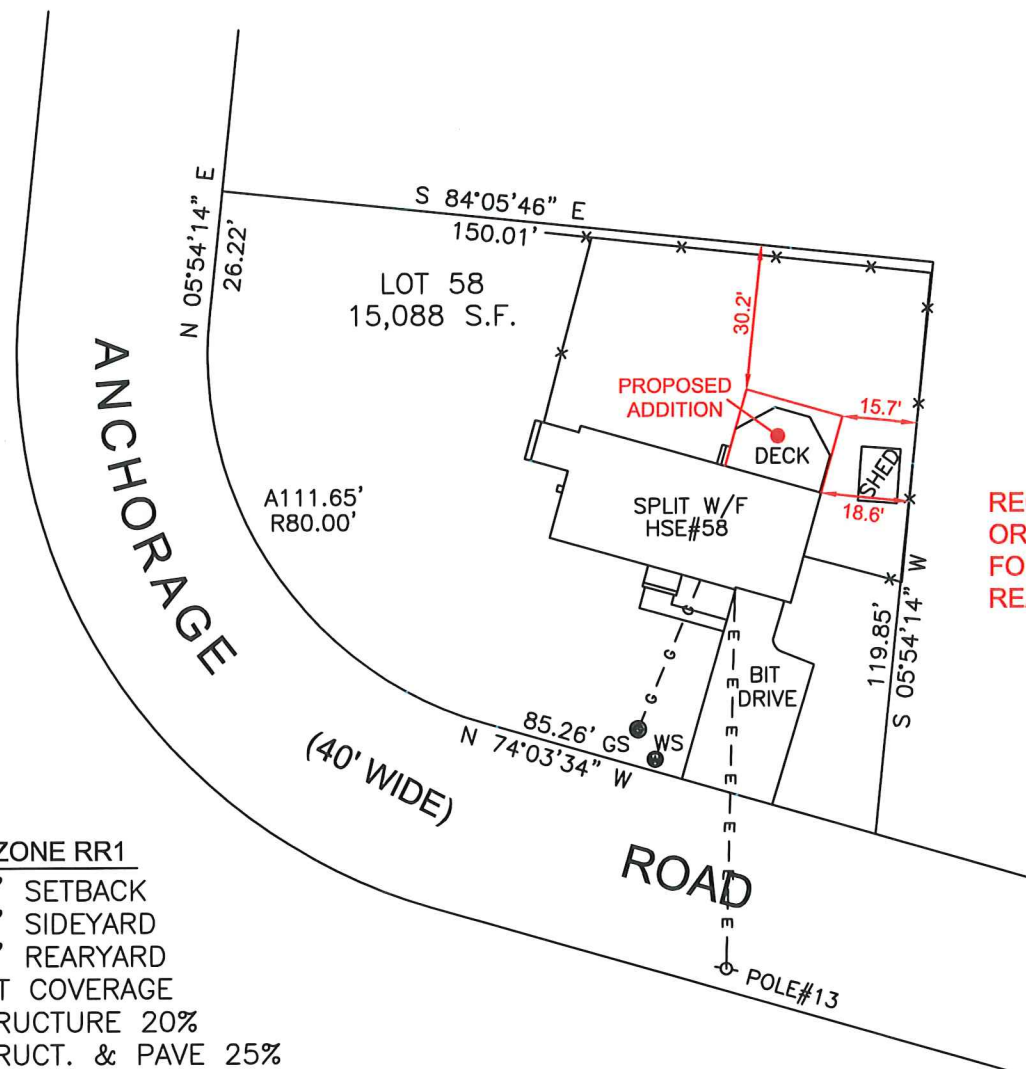
COMMONWEALTH OF MASSACHUSETTS

Worcester, ss

On this October 18, 2017, before me, the undersigned notary public, personally appeared Joshua M. Gates and Kate M. Gates, proved to me through satisfactory evidence of identification, which were Drivers Licenses, to be the person who signed the preceding or attached document in my presence, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of their knowledge and belief.

Hyman I. Stramer
Hyman I. Stramer - Notary Public
My commission expires: June 29, 2023





REQUEST VARIANCE
OR SPECIAL PERMIT
FOR SIDEYARD AND
REAR YARD.

ZONE RR1

40' SETBACK
40' SIDEYARD
40' REARYARD
LOT COVERAGE
STRUCTURE 20%
STRUCT. & PAVE 25%
LOT RECORDED APRIL 6, 1960
NOT WITHIN W.R.D.

EXISTING LOT COVERAGE
STRUCTURE 11.15%
STRUCT. & PAVE 16.64%

PROPOSED LOT COVERAGE
STRUCTURE 11.73%
STRUCT. & PAVE 17.22%

PROPOSED ADDITION
PLAN OF LAND

IN

FRANKLIN, MA.

I CERTIFY THAT THE PROPOSED
ADDITION SHOWN ON THIS PLAN
DOES NOT LIE WITHIN THE FLOOD
PLAIN.

SCALE: 1"=40' DEC. 2, 2021

OWNER: Kate & Joshua Gates
58 Anchorage Road
Franklin, Ma. 02038

COLONIAL ENGINEERING INC.
11 AWL STREET MEDWAY, MA. 02053
508-533-1644



Anthony M. Dellorco

RECEIVED
TOWN OF FRANKLIN
FEB 16 2022
ZONING BOARD OF APPEALS

Town of Franklin – Board of Assessors

355 East Central St
Franklin, MA 02038

Tel # 508-520-4920

Fax # 508-520-4923

Abutters List Request Form

Please Note: A \$25.00 Fee PER PARCEL is required to process your request. Payment is due at the time of submission of this form. Please allow 10 days from the date of payment and submission of the form for the Assessors office to complete the processing of your request.

Date of Request 12 / 30 / 2021

Assessors Parcel ID # (12 digits) 214 - 071 - 000 - 000

Property Street Address 58 Anchorage Road, Franklin, MA

Distance Required From Parcel # listed above (Circle One) 500 (300) 100
(Note: if a distance is not circled, we cannot process your request)

Property Owner Josh & Kate Gates

Property Owner's Mailing Address 58 Anchorage Road, Franklin, MA

Town/City Franklin State MA Zip Code 02038

Property Owner's Telephone # 781 - 354 - 8460

Requestor's Name (if different from Owner) _____

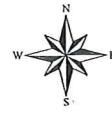
Requestor's Address _____

Requestor's Telephone # _____ - _____ - _____

Office Use Only: Date Fee Paid 12 / 30 / 2021 Paid in Cash \$ _____

Paid by Check \$ 25.00 Check # 321 Town Receipt # _____

RETURN TO LEEANNE



58 ANCHORAGE RD - 300' ABUTTERS

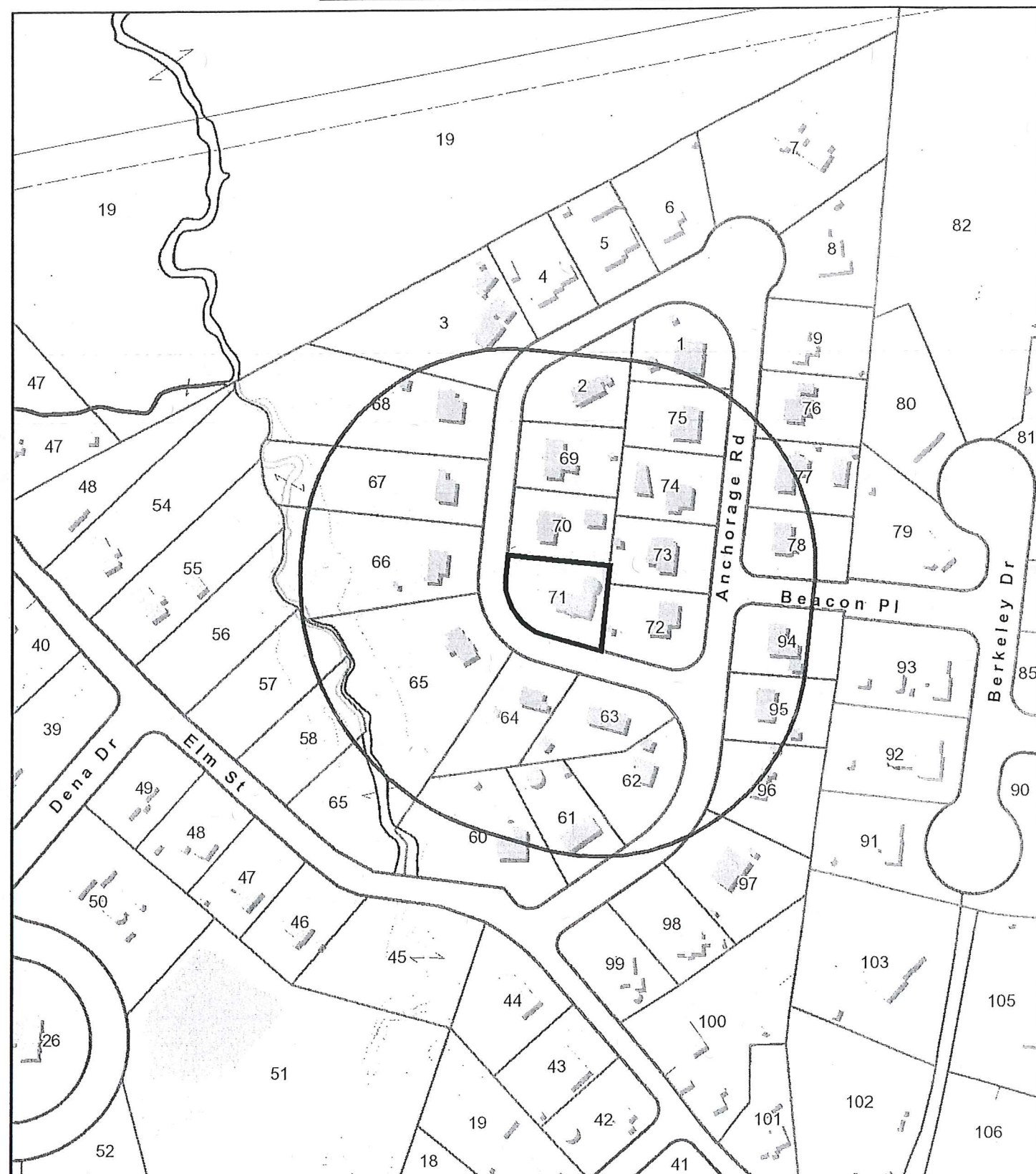
Franklin, MA



January 15, 2022

1 inch = 200 Feet

www.cai-tech.com



This information is believed to be correct but is subject to change and is not warranted.



300 foot Abutters List Report

Franklin, MA
January 15, 2022

Subject Property:

Parcel Number:	214-071-000	Mailing Address:	GATES KATE M GATES JOSHUA M
CAMA Number:	214-071-000-000		58 ANCHORAGE RD
Property Address:	58 ANCHORAGE RD		FRANKLIN, MA 02038

Abutters:

Parcel Number:	207-001-000	Mailing Address:	GOUGH MARK O GOUGH RACHEL M
CAMA Number:	207-001-000-000		18 ANCHORAGE RD
Property Address:	18 ANCHORAGE RD		FRANKLIN, MA 02038

Parcel Number:	207-002-000	Mailing Address:	HARTNETT ROGER J HARTNETT
CAMA Number:	207-002-000-000		DORINDA LEE
Property Address:	30 ANCHORAGE RD		30 ANCHORAGE RD
			FRANKLIN, MA 02038

Parcel Number:	207-003-000	Mailing Address:	SMITS MICHELLE H SMITS PETER C
CAMA Number:	207-003-000-000		31 ANCHORAGE RD
Property Address:	31 ANCHORAGE RD		FRANKLIN, MA 02038

Parcel Number:	214-057-000	Mailing Address:	MALLOY GERALD P JR MALLOY
CAMA Number:	214-057-000-000		STACEY LEIGH
Property Address:	ELM ST		211 E HIGHFIELD RD
			BALTIMORE, MD 21218

Parcel Number:	214-058-000	Mailing Address:	MALLOY GERALD P JR MALLOY
CAMA Number:	214-058-000-000		STACEY LEIGH
Property Address:	ELM ST		211 E HIGHFIELD RD
			BALTIMORE, MD 21218

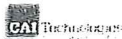
Parcel Number:	214-060-000	Mailing Address:	NEEDHAM PATRICIA M TR NEEDHAM
CAMA Number:	214-060-000-000		NOMINEE TRUST
Property Address:	2 ANCHORAGE RD		2 ANCHORAGE RD
			FRANKLIN, MA 02038

Parcel Number:	214-061-000	Mailing Address:	DZIUBEK ROBERT J
CAMA Number:	214-061-000-000		4 ANCHORAGE RD
Property Address:	4 ANCHORAGE RD		FRANKLIN, MA 02038

Parcel Number:	214-062-000	Mailing Address:	FLANAGAN KATHERINE M FLANAGAN
CAMA Number:	214-062-000-000		THOMAS III
Property Address:	6 ANCHORAGE RD		6 ANCHORAGE RD
			FRANKLIN, MA 02038

Parcel Number:	214-063-000	Mailing Address:	TURNER EDWARD M TURNER ADREINE
CAMA Number:	214-063-000-000		LEMAY
Property Address:	43 ANCHORAGE RD		43 ANCHORAGE RD
			FRANKLIN, MA 02038

Parcel Number:	214-064-000	Mailing Address:	SMITH ELIZABETH TRS SMITH REALTY
CAMA Number:	214-064-000-000		TRUST
Property Address:	41 ANCHORAGE RD		41 ANCHORAGE RD
			FRANKLIN, MA 02038



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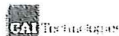
This information is believed to be correct but is subject to change and is not warranted.



300 foot Abutters List Report

Franklin, MA
January 15, 2022

Parcel Number: 214-065-000 CAMA Number: 214-065-000-000 Property Address: 39 ANCHORAGE RD	Mailing Address: PELLECCCHIA ROBERT V BOURQUE EVE M 39 ANCHORAGE RD FRANKLIN, MA 02038
Parcel Number: 214-066-000 CAMA Number: 214-066-000-000 Property Address: 37 ANCHORAGE RD	Mailing Address: PLUKAS MARK A PLUKAS LINDA J 37 ANCHORAGE RD FRANKLIN, MA 02038
Parcel Number: 214-067-000 CAMA Number: 214-067-000-000 Property Address: 35 ANCHORAGE RD	Mailing Address: HARPIN RAYMOND J HARPIN DOROTHY S 35 ANCHORAGE RD FRANKLIN, MA 02038
Parcel Number: 214-068-000 CAMA Number: 214-068-000-000 Property Address: 33 ANCHORAGE RD	Mailing Address: LARSON ANNEMARIE THERESE 33 ANCHORAGE RD FRANKLIN, MA 02038
Parcel Number: 214-069-000 CAMA Number: 214-069-000-000 Property Address: 32 ANCHORAGE RD	Mailing Address: BATCHELDER ERIC 32 ANCHORAGE RD FRANKLIN, MA 02038
Parcel Number: 214-070-000 CAMA Number: 214-070-000-000 Property Address: 34 ANCHORAGE RD	Mailing Address: HILL ROBERT T JR HILL LISA A 34 ANCHORAGE RD FRANKLIN, MA 02038
Parcel Number: 214-071-000 CAMA Number: 214-071-000-000 Property Address: 58 ANCHORAGE RD	Mailing Address: GATES KATE M GATES JOSHUA M 58 ANCHORAGE RD FRANKLIN, MA 02038
Parcel Number: 214-072-000 CAMA Number: 214-072-000-000 Property Address: 10 ANCHORAGE RD	Mailing Address: COYNE MICHAEL F JR COYNE SUSAN 10 ANCHORAGE RD FRANKLIN, MA 02038
Parcel Number: 214-073-000 CAMA Number: 214-073-000-000 Property Address: 12 ANCHORAGE RD	Mailing Address: MCEWAN CYNTHIA J MCEWAN JAMES G 12 ANCHORAGE RD FRANKLIN, MA 02038
Parcel Number: 214-074-000 CAMA Number: 214-074-000-000 Property Address: 14 ANCHORAGE RD	Mailing Address: BRENNAN LEWIS S BRENNAN DONNA MARIE 14 ANCHORAGE RD FRANKLIN, MA 02038
Parcel Number: 214-075-000 CAMA Number: 214-075-000-000 Property Address: 16 ANCHORAGE RD	Mailing Address: DWYER TIMOTHY P DWYER JENNIFER M 16 ANCHORAGE RD FRANKLIN, MA 02038
Parcel Number: 214-076-000 CAMA Number: 214-076-000-000 Property Address: 17 ANCHORAGE RD	Mailing Address: WOLVERTON PARKER WOLVERTON MEGHAN 17 ANCHORAGE RD FRANKLIN, MA 02038



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This information is believed to be correct but is subject to change and is not warranted.



300 foot Abutters List Report

Franklin, MA
January 15, 2022

Parcel Number: 214-077-000
CAMA Number: 214-077-000-000
Property Address: 15 ANCHORAGE RD

Mailing Address: OHNEMUS ERIC J OHNEMUS MAUREEN
F
15 ANCHORAGE RD
FRANKLIN, MA 02038

Parcel Number: 214-078-000
CAMA Number: 214-078-000-000
Property Address: 13 ANCHORAGE RD

Mailing Address: FINCH GEORGE J FINCH LINDA J
13 ANCHORAGE RD
FRANKLIN, MA 02038

Parcel Number: 214-094-000
CAMA Number: 214-094-000-000
Property Address: 11 ANCHORAGE RD

Mailing Address: GUILFORD III JAMES E
1186 WORCESTER RD - UNIT 110
FRAMINGHAM, MA 01702-5239

Parcel Number: 214-095-000
CAMA Number: 214-095-000-000
Property Address: 9 ANCHORAGE RD

Mailing Address: GREENE ROY E & SALLY A TRS
GREENE FAMILY REVOCABLE TRUST
9 ANCHORAGE RD
FRANKLIN, MA 02038

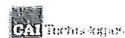
Parcel Number: 214-096-000
CAMA Number: 214-096-000-000
Property Address: 7 ANCHORAGE RD

Mailing Address: RIGGS PAUL F RIGGS LAURIE A
7 ANCHORAGE RD
FRANKLIN, MA 02038

Parcel Number: 214-097-000
CAMA Number: 214-097-000-000
Property Address: 5 ANCHORAGE RD

Mailing Address: KRUSE DENNIS E JR KRUSE ANDREA
5 ANCHORAGE RD
FRANKLIN, MA 02038

Dennis E. Kruse, 1-15-2022



www.cai-tech.com

This information is believed to be correct but is subject to change and is not warranted.

1/15/2022

Page 3 of 3

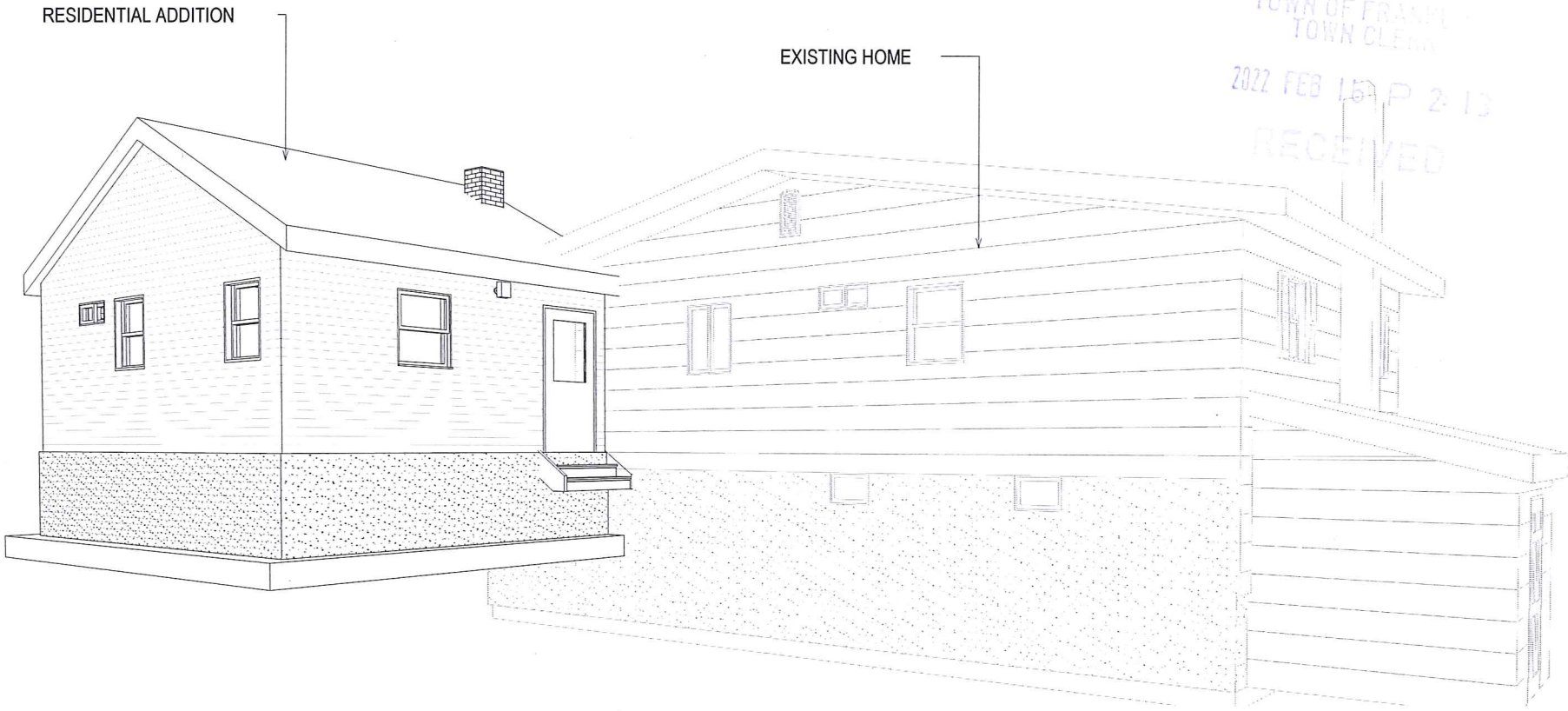
for permit



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2. all users of this document must carry out all relevant investigations and must examine, take advice as required and satisfy themselves concerning the contents, correctness and sufficiency of the attachment and its contents for their purposes.
3. to the extent permitted by law, all conditions and warranties concerning this document or any use to which they may be put (whether as to quality, outcome, fitness, care, skill or otherwise) whether express or implied by statute, common law, equity, trade, custom or usage or otherwise are expressly excluded.
4. any person using or relying on document releases and indemnifies and will keep indemnified the design professional against all claims, liabilities, loss, costs and expenses arising directly or indirectly out of or in connection with such use or reliance including without limitation any misrepresentation, error or defect in this document.

Contractors to use Architectural drawings for set out. Contractors to check and verify all Dimensions on Site prior to Construction/Fabrication. Figure Dimensions take precedence over Scaled Dimensions. Any discrepancies should be immediately referred to the Architect. All work to comply with I.B.C. Statutory Authorities and relevant American Standards.

RESIDENTIAL BUILDING ADDITION



Index of Drawings

- A000 COVER SHEET
- A020 ARCHITECTURAL SITE PLAN
- A030 EXISTING FLOOR PLANS
- A031 EXISTING ELEVATIONS
- A040 SCOPE OF DEMOLITION
- A110 PROPOSED UPPER FLOOR PLAN
- A112 PROPOSED ROOF PLAN
- A200 PROPOSED EXTERIOR ELEVATIONS
- A210 BUILDING SECTIONS
- A500 TYPICAL DETAILS
- A501 TYPICAL DETAILS
- A502 TYPICAL DETAILS
- A600 ENLARGED PLAN & RCP DETAILS

PROJECT DATA	
PROPERTY CLASS	RR1 Rural Residential
PARCEL ID	214-071
APPLICABLE CODES & REGULATIONS	
BUILDING	-780 CMR Massachusetts state building code (MSBC) 9th edition -international building code (ibc) 2015
ENERGY	-International energy conservation code (IECC) 2015, with MA amendments
PLUMBING	-248 CMR 10.00 Massachusetts uniform state plumbing code -Massachusetts general law (MGL) chapter 128 section 26G (auto sprinkler systems)
ACCESSIBILITY	-521 CMR Massachusetts Architectural Access Board (MAAB) 1/27/06 - 2010 American Disability Act (ADA) standards
AREA BREAKDOWN	Existing Square Footage 2,295sf Proposed Square Footage 2,295sf + 347sf = 2,642sf

RECEIVED
TOWN OF FRANKLIN
FEB 16 2022
ZONING BOARD OF APPEALS

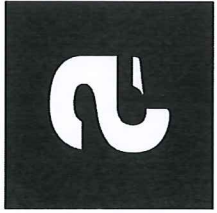
58 ANCHORAGE ROAD, FRANKLIN, MA 02038

CLIENT NAME:
JOSH & KATE GATES

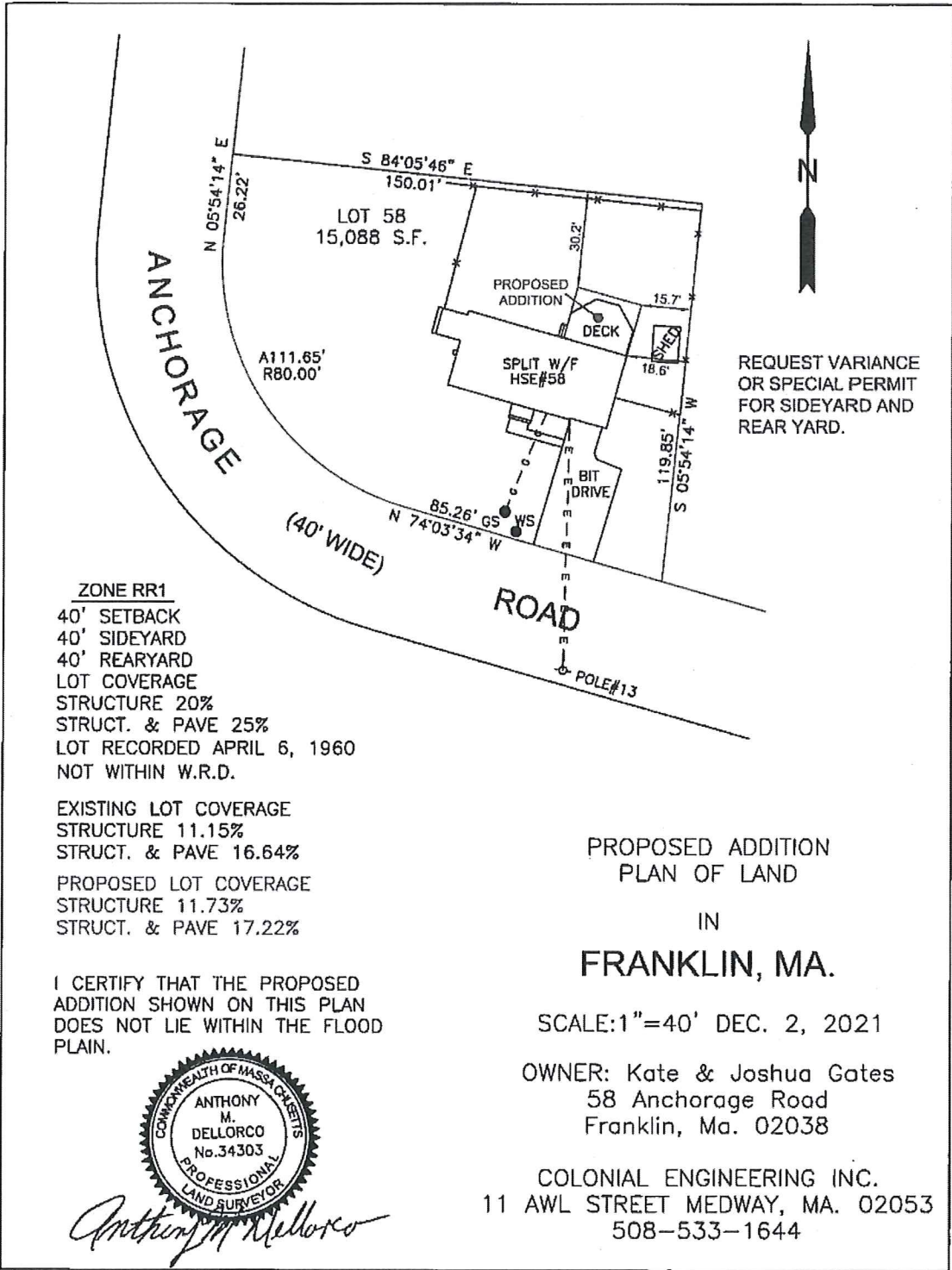
58 ANCHORAGE ROAD, FRANKLIN, MA
02038

DESIGNER NAME:
ALEX SIEKIERSKI |

location
33 Lovering Street
Medway, MA 02053
t: +1(617) 884-0864
e: siekierski.alex@gmail.com



CONTRACTOR NAME:



For Permit

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contractor

stamp

revision	revision description	date
1	FOR PERMIT	12/8/2021

project title
RESIDENTIAL BUILDING ADDITION

58 ANCHORAGE ROAD, FRANKLIN, MA
02038

client
JOSH & KATE GATES
58 ANCHORAGE ROAD, FRANKLIN, MA
02038

Alex Sikierski, RA
Architectural Consultant

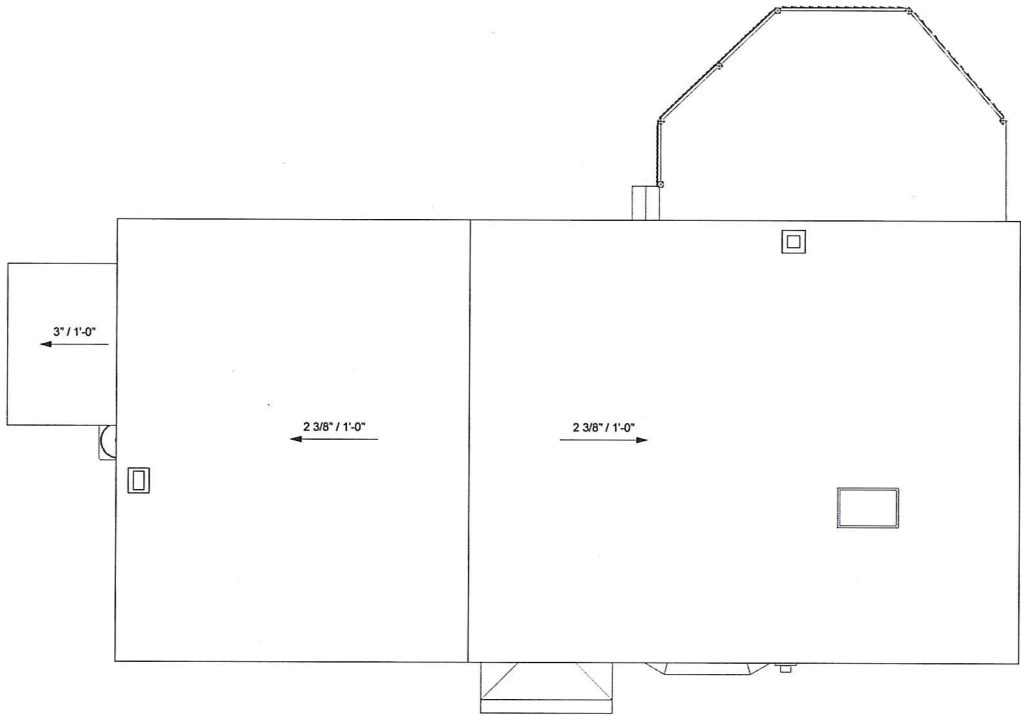


location 33 Lovering Street
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t: +1(617) 894-0664
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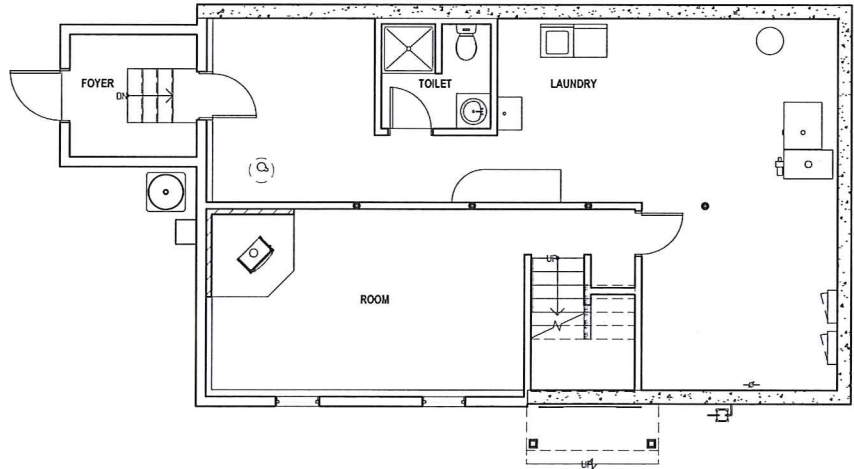
drawing title
**ARCHITECTURAL SITE
PLAN**

project number	drawing scale	approver
21.025	1" = 80'-0"	Approver

drawing number	revision
A020	1

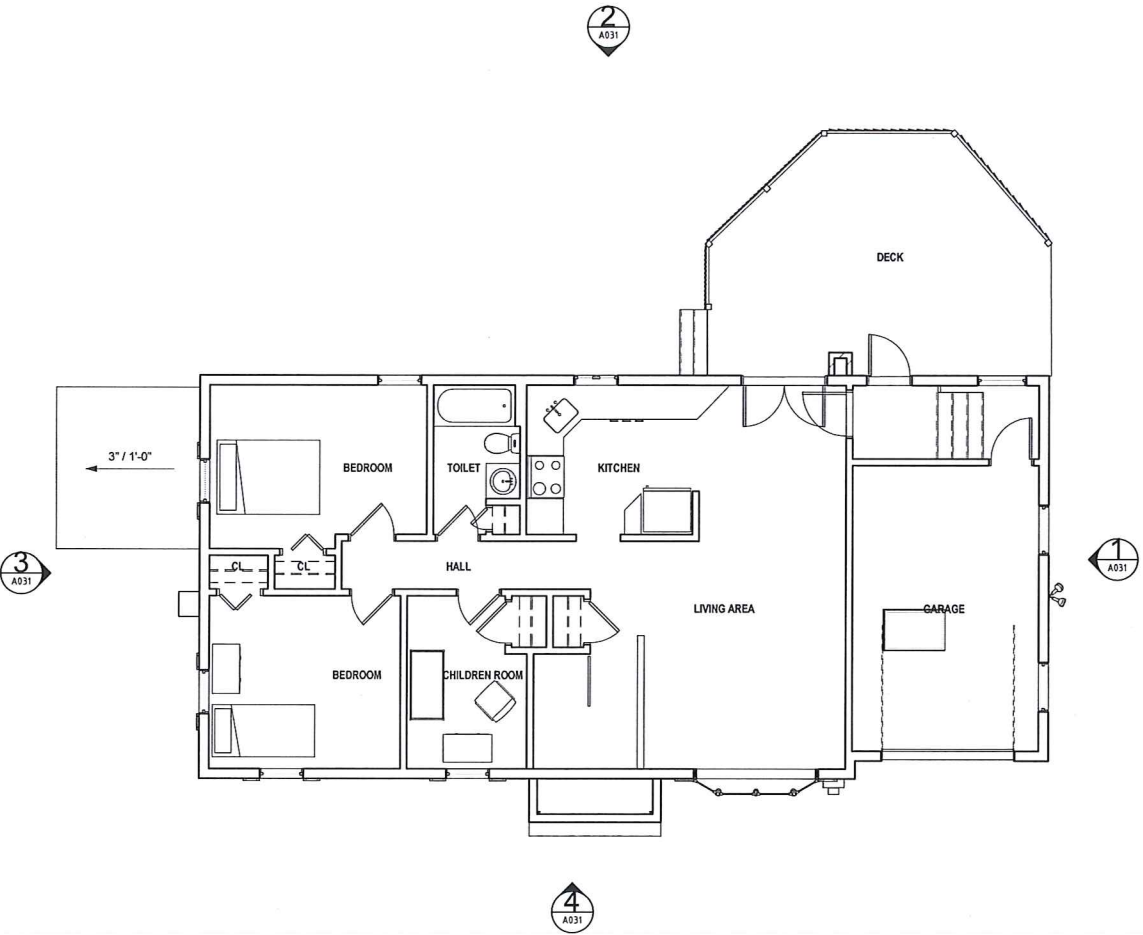


③ EXISTING ROOF PLAN
3/16" = 1'-0"



① EXISTING GROUND FLOOR PLAN
3/16" = 1'-0"

② EXISTING UPPER FLOOR PLAN
3/16" = 1'-0"



Construction Legend

Existing Construction to Remain	
Existing Construction to be Removed	
New Construction	
Existing Door Assembly to Remain	
Existing Door Assembly to be Removed	
New Door Assembly	
Not in Contract	Demolition
# WALL TAG REFER TO WALL TYPES	
# DOOR TAG REFER TO DOOR SCHEDULE	
# WINDOW TAG REFER TO WINDOW SCHEDULE	

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contractor

stamp



revision	revision description	date
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1	FOR PERMIT	12/8/2021
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project title

RESIDENTIAL BUILDING ADDITION

58 ANCHORAGE ROAD, FRANKLIN, MA 02038

client

JOSH & KATE GATES
58 ANCHORAGE ROAD, FRANKLIN, MA 02038

Alex Siekierski, RA
Architectural Consultant



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drawing title

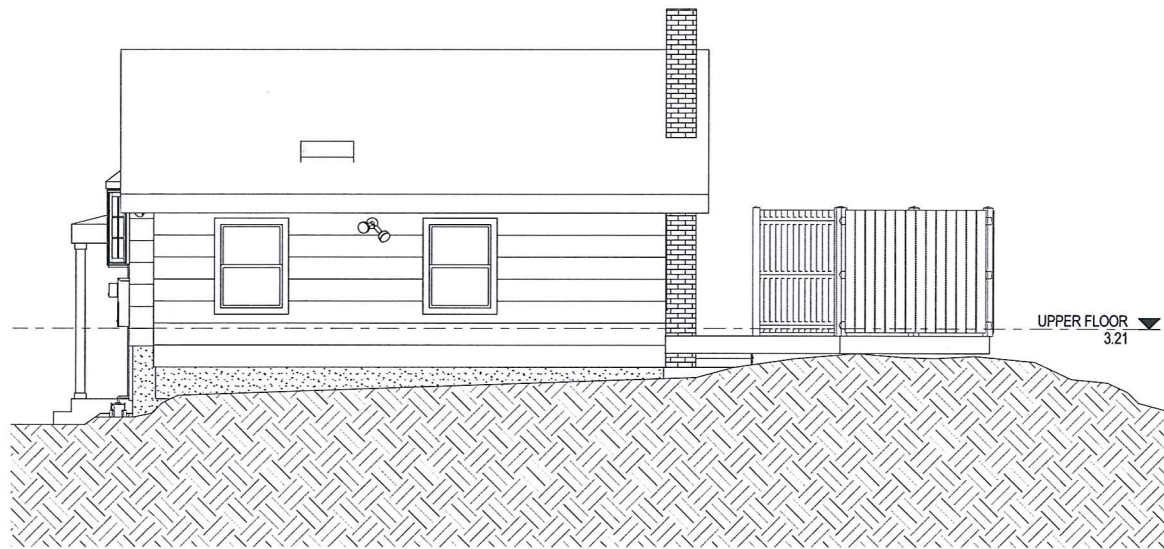
EXISTING FLOOR PLANS

project number	drawing scale	approver
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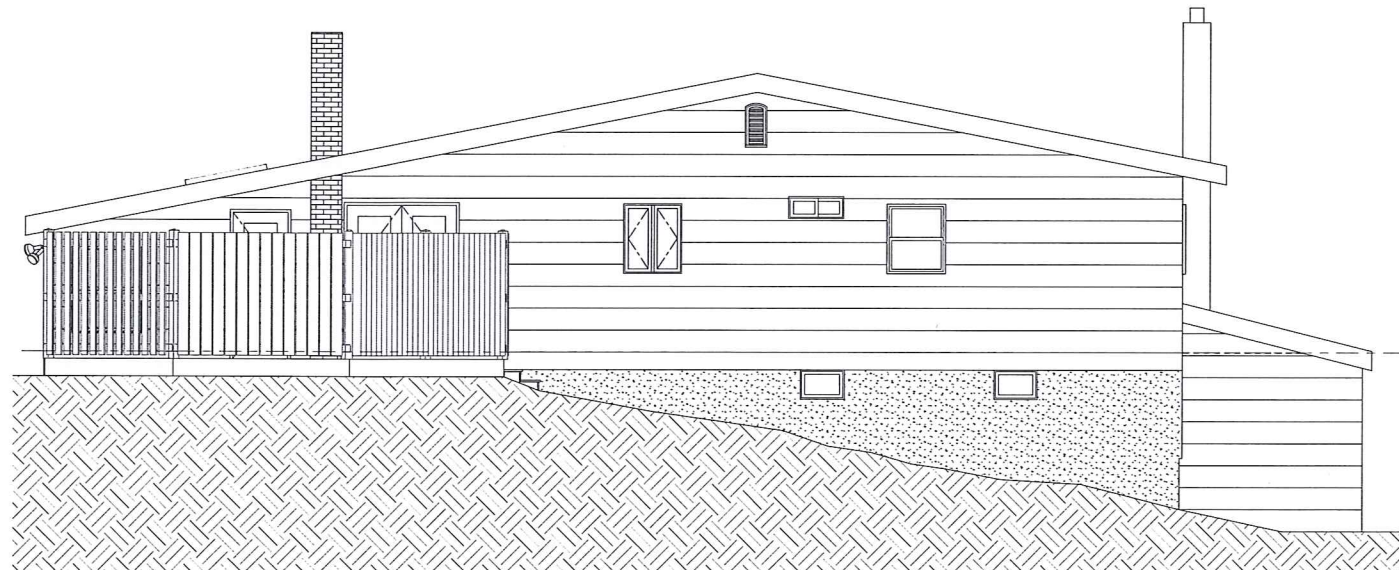
21.025	As indicated	AS
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drawing number	revision
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A030	1
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① EXISTING EAST ELEVATION
1/4" = 1'-0"



② EXISTING NORTH ELEVATION
1/4" = 1'-0"



③ EXISTING WEST ELEVATION
1/4" = 1'-0"



④ EXISTING SOUTH ELEVATION
1/4" = 1'-0"

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contractor

stamp



revision	revision description	date
1	FOR PERMIT	12/8/2021

project title
RESIDENTIAL BUILDING ADDITION

58 ANCHORAGE ROAD, FRANKLIN, MA 02038

client
JOSH & KATE GATES
58 ANCHORAGE ROAD, FRANKLIN, MA 02038

Alex Siskierski, RA
Architectural Consultant

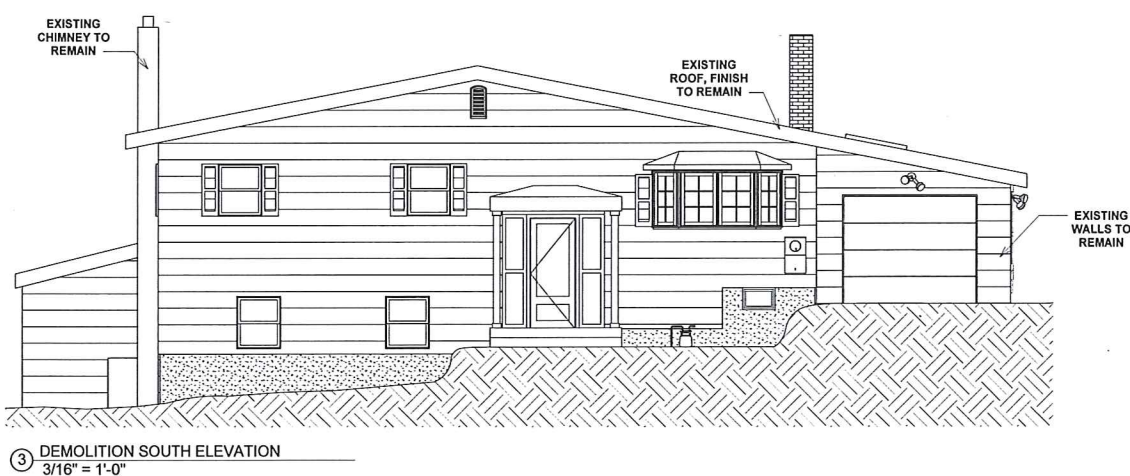
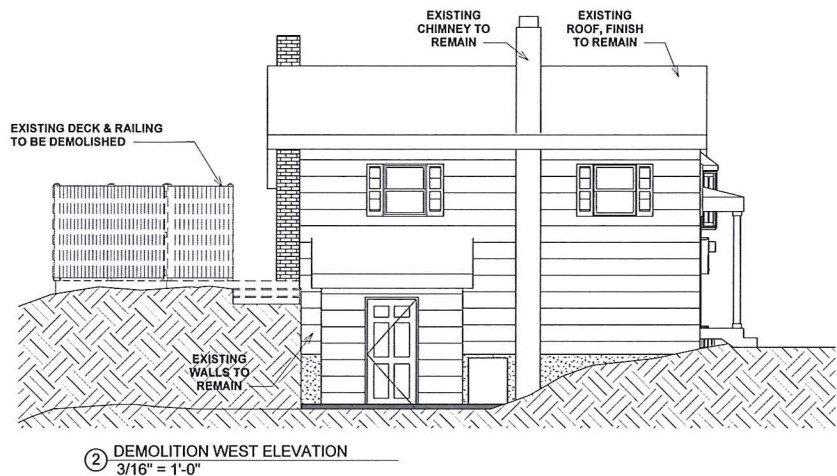
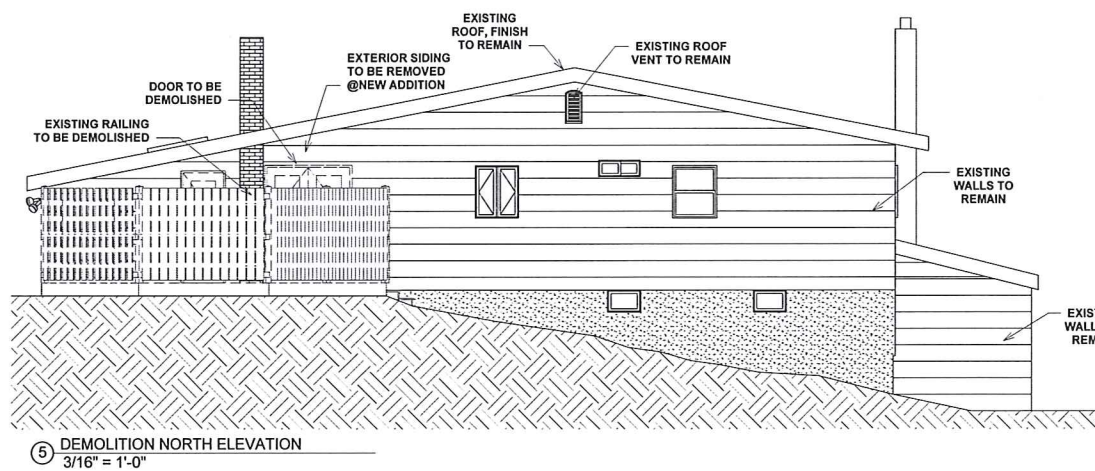
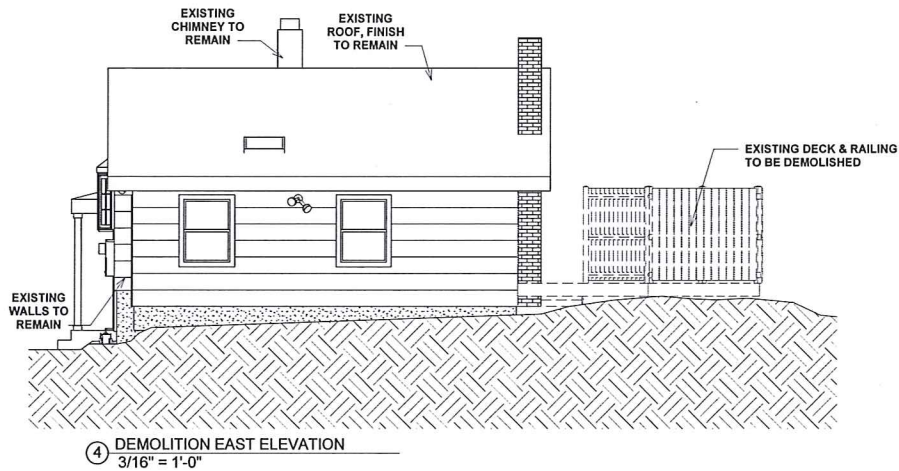
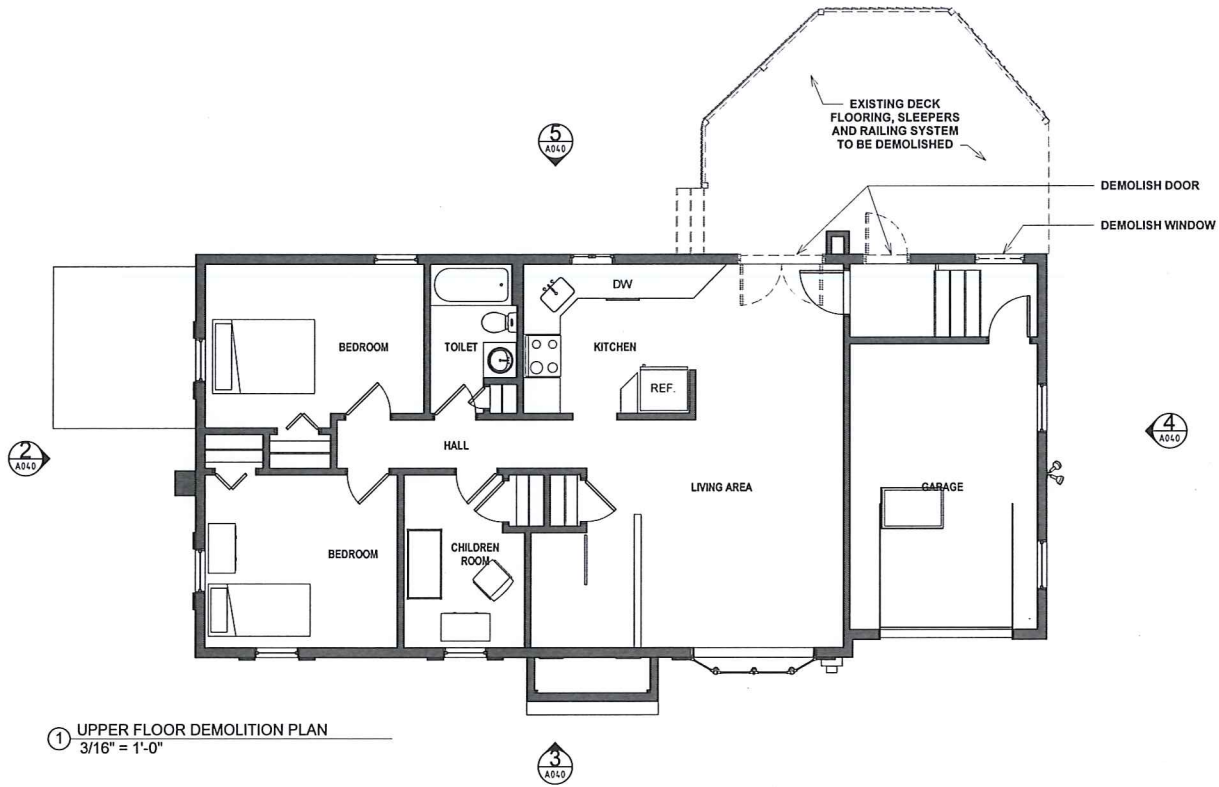


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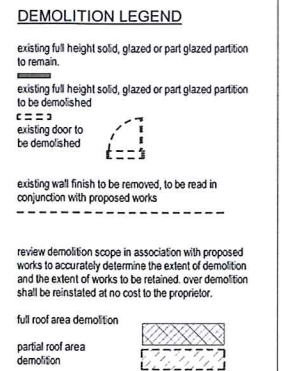
drawing title

EXISTING ELEVATIONS

project number 21.025	drawing scale 1/4" = 1'-0"	approver Approver
drawing number A031	revision 1	



- GENERAL DEMOLITION NOTES:
- carefully examine all documents for requirements which affect the demolition work. certain items of heating, ventilation, air conditioning, electrical and other equipment identified in the documents or by the architect in the field shall remain in place for future service and shall be protected.
 - strictly comply with applicable codes, regulations and requirements of the authority having jurisdiction.
 - coordination demolition and rework of adjacent space with owner. the owner assumes no responsibility nor makes any claim as to the actual condition or structural adequacy on any existing construction to be demolished. the contractor shall investigate and assure of the condition of the work to be demolished and shall take all precautions to ensure safety of persons and property.
 - protect finishes to remain from damage during demolition. immediately repair damaged property to its original condition. maintain existing hvac in operation throughout the work of the project.
 - contractor to make safe all utilities before beginning demolition. do not interrupt utilities serving used area without first obtaining permission from the utility company and the owner.
 - the intent is to demolish, remove from the site and legally dispose of all existing construction and improvements as indicated to obtain layout shown on the plan.
 - contractor to verify all dimensions before beginning any work. contractor is to notify architect of any and all discrepancies.
 - contractor shall provide all safety measures required by osha and state law in accordance with the required scope of demolition.
 - contractor to provide temporary power and lighting as required to complete specified work until installation of new fixtures and outlets (take back to source)
 - the general contractor shall safely shore, brace, or support all work as required, this work shall be the full responsibility of the contractor, and no act, direction, or review of any system or method by the architect shall relieve the contractor of this responsibility.
 - it is not the responsibility of the architectural designer to determine the presence of hazardous material. it is the responsibility of the owner & contractor to handle any hazardous materials per local & state regulations.
 - contractor to remove and replace any damaged or rotted material discovered during demolition to provide like new construction for all areas associated with new construction, coordinate with owner

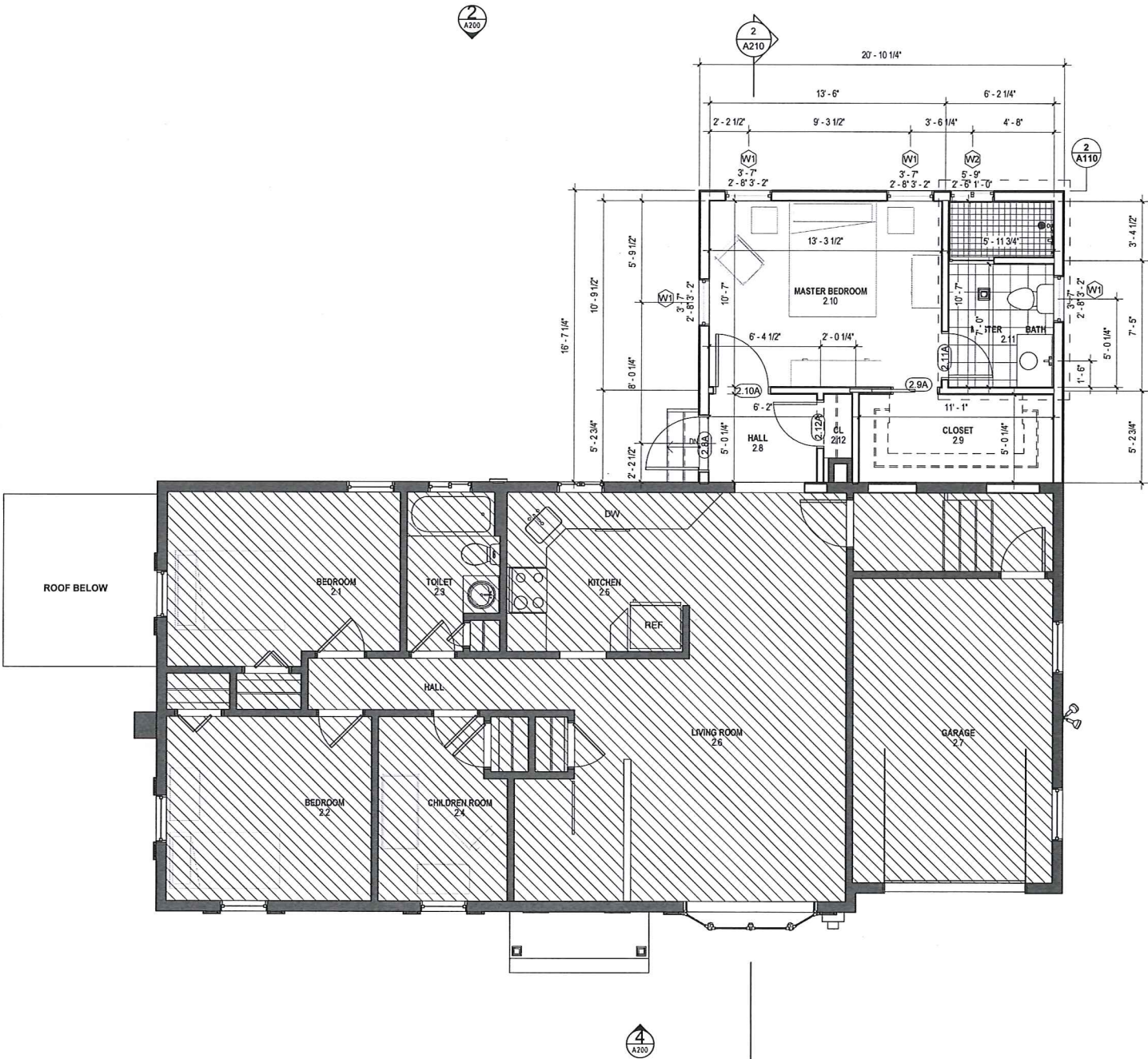


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contractor		
stamp		
revision	revision description	date
1	FOR PERMIT	12/8/2021
project title		
RESIDENTIAL BUILDING ADDITION		
58 ANCHORAGE ROAD, FRANKLIN, MA 02038		
client		
JOSH & KATE GATES		
58 ANCHORAGE ROAD, FRANKLIN, MA 02038		
Alex Siekierski, RA Architectural Consultant		
location		
33 Lovings Street Medway, MA 02053 t: +1(617) 894-0664 e: siekierski.alex@gmail.com		
drawing title		
SCOPE OF DEMOLITION		
project number	drawing scale	approver
21.025	As indicated	Approver
drawing number	revision	
A040	1	

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WINDOW SCHEDULE - NEW					
MARK	SIZE		QUANTITY	MATERIAL	NOTES
	WIDTH	HEIGHT			
W1	2' - 8"	3' - 2"	1		
W1	2' - 8"	3' - 2"	1		
W1	2' - 8"	3' - 2"	1		
W1	2' - 8"	3' - 2"	1		
W2	2' - 6"	1' - 0"	1		

DOOR AND FRAME SCHEDULE												
Mark	Count	DOOR										Comments
		OPENING				PANEL						
		Width	Height	R.O. Width	R.O. Height	Type	Thickness	Double?	Unequal?	Configurati on	Panel Width	
2.8A	1	3' - 0"	6' - 8"	3' - 3"	6' - 9 1/2"	G	0' - 1 3/4"	No	No	SINGLE		
2.9A	1	2' - 6"	6' - 8"	2' - 9"	6' - 9 1/2"	F	0' - 1 3/4"	No	No	SINGLE		
2.10A	1	3' - 0"	6' - 8"	3' - 3"	6' - 9 1/2"	N	0' - 1 3/4"	No	No	SINGLE		
2.11A	1	2' - 6"	6' - 8"	2' - 9"	6' - 9 1/2"	F	0' - 1 3/4"	No	No	SINGLE		
2.12A	1	2' - 6"	6' - 8"	2' - 9"	6' - 9 1/2"	F	0' - 1 3/4"	No	No	SINGLE		
Grand total: 5												



1 PROPOSED UPPER FLOOR PLAN
1/4" = 1'-0"

Construction Notes

- Use type "X" gwb on fire rated partitions.
- Keep door frames 4" clear on hinge side at all partition intersections except at columns where clearance is provided for hardware.
- Use cementitious backer board (Durock) or equal at partitions scheduled to receive tile (U.O.N.). See finish plan for location of tile.
- Where furred partitions exceed maximum height, brace to adjacent structure.
- Provide level 5 finish at all partitions to receive wall covering.
- Provide level 4 finish at all interior partitions, U.O.N.
- Provide flush dry wall type access panels in partitions as required for service of building systems.
- Dimensioning: All partition dimensions shown are to face of stud. - Dimensions noted as "c/c" mean clear dimension to face of finish. - Dimensions noted as "R.O." mean dimension of clear rough opening between studs. - All horizontal dimensions are shown on plans and vertical dimensions on interior & exterior elevations where relevant. - Vertical dimensions are to top of subfloor, U.O.N. - See door schedule for door sizes, door info and interior details.
- Align vertically & horizontally electrical wall devices including switches, outlets, fire alarm devices, exit signs, emergency lights, etc. When possible within code requirements, and where in close proximity to each other U.O.N.
- See RCP for info regarding ceiling type finish, fixtures and all ceiling information.
- Provide blocking and backing as required within existing partitions and new partitions for all casework, shelving, countertops, toilet accessories, and owner supplied toilet accessories, and owner supplied equipment. Coordinate with shop drawings.
- Maintain integrity of existing fire resistant rated assemblies for all penetrations.
- Use water resistance GWB on all wet areas.
- G.C. to coordinate at floor transition thickness with adequate floor thresholds that do not exceed 1/2" reveal.
- G.C. to provide HVAC systems distribution shop drawings for architect and owner approval and coordination.
- G.C. to keep a continuous building thermal envelope - wall R-20, roof R-38, basement wall R-10, floor R-30. In accordance with IBC energy efficiency Chapter 11.

Construction Legend

Existing Construction to Remain

Existing Construction to be Removed

New Construction

Existing Door Assembly to Remain

Existing Door Assembly to be Removed

New Door Assembly

Not in Contract

Demolition

WALL TAG REFER TO WALL TYPES

DOOR TAG REFER TO DOOR SCHEDULE

WINDOW TAG REFER TO WINDOW SCHEDULE

For Permit

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contractor

stamp



revision	revision description	date
1	FOR PERMIT	12/8/2021

project title
RESIDENTIAL BUILDING ADDITION

58 ANCHORAGE ROAD, FRANKLIN, MA 02038

client
JOSH & KATE GATES
58 ANCHORAGE ROAD, FRANKLIN, MA 02038

Alex Siekierski, RA
Architectural Consultant



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e: siekierski.alex@gmail.com

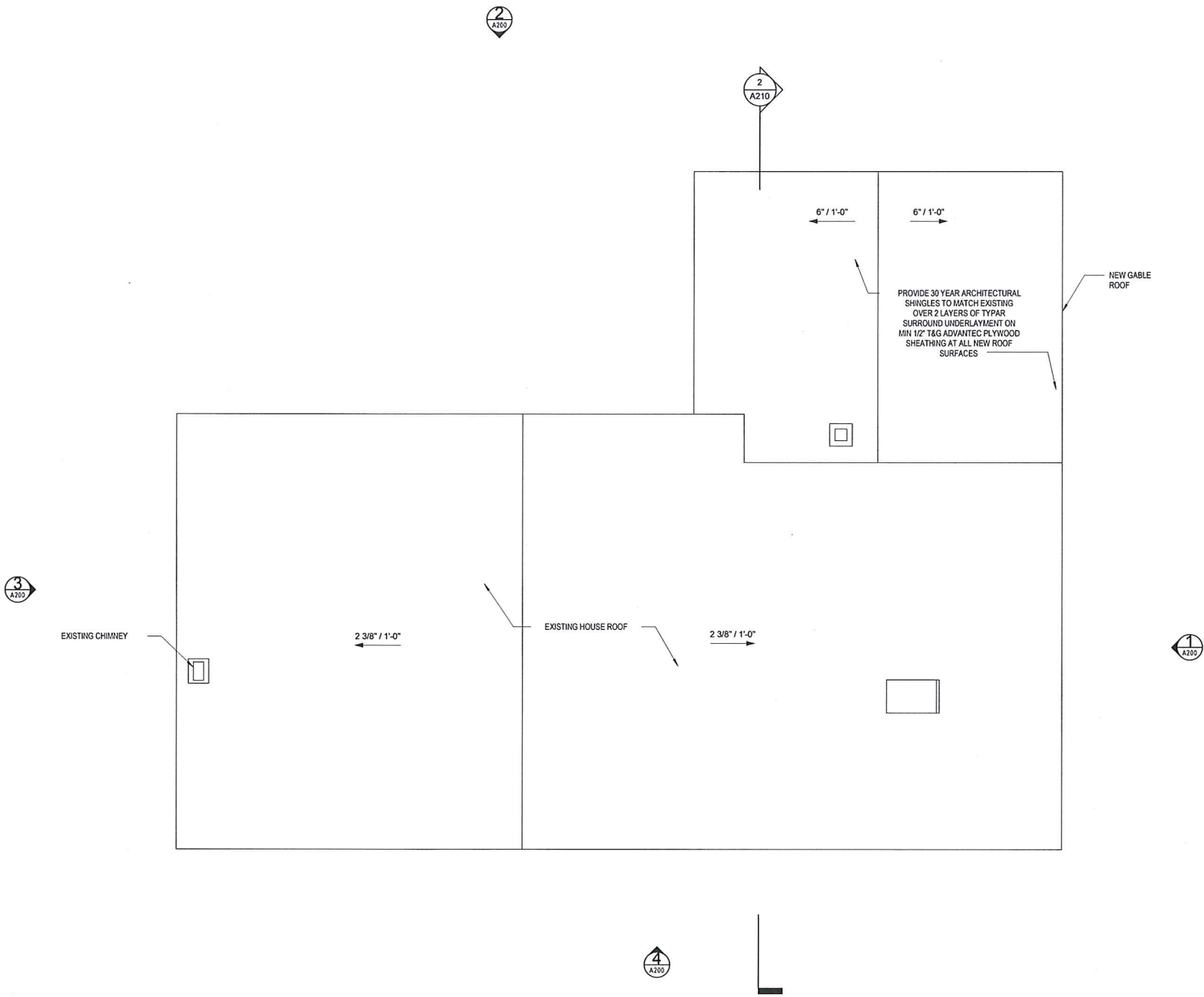
drawing title

PROPOSED UPPER FLOOR PLAN

project number	drawing scale	approver
21.025	As indicated	Approver

drawing number	revision
A110	1

1 PROPOSED ROOF PLAN
1/4" = 1'-0"



Construction Legend

Existing Construction to Remain	
Existing Construction to be Removed	
New Construction	
Existing Door Assembly to Remain	
Existing Door Assembly to be Removed	
New Door Assembly	
Not in Contract	
Demolition	
#	WALL TAG REFER TO WALL TYPES
#	DOOR TAG REFER TO DOOR SCHEDULE
#	WINDOW TAG REFER TO WINDOW SCHEDULE

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revision	revision description	date
1	FOR PERMIT	12/8/2021

project title
RESIDENTIAL BUILDING ADDITION

58 ANCHORAGE ROAD, FRANKLIN, MA 02038

client
JOSH & KATE GATES
58 ANCHORAGE ROAD, FRANKLIN, MA 02038

Alex Siekierski, RA
Architectural Consultant

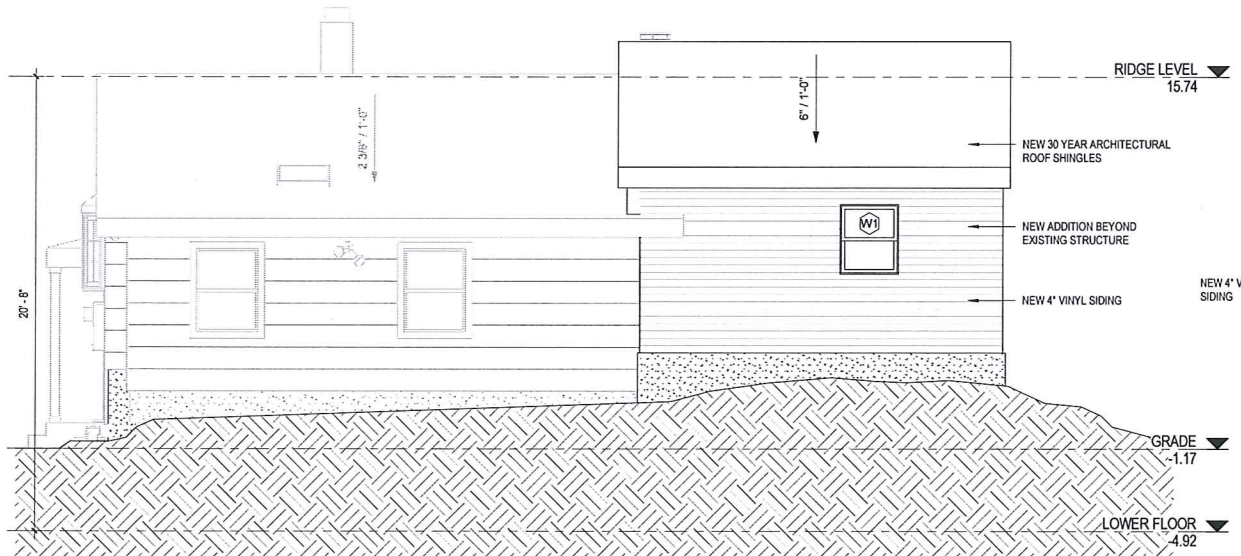


location 33 Lovering Street
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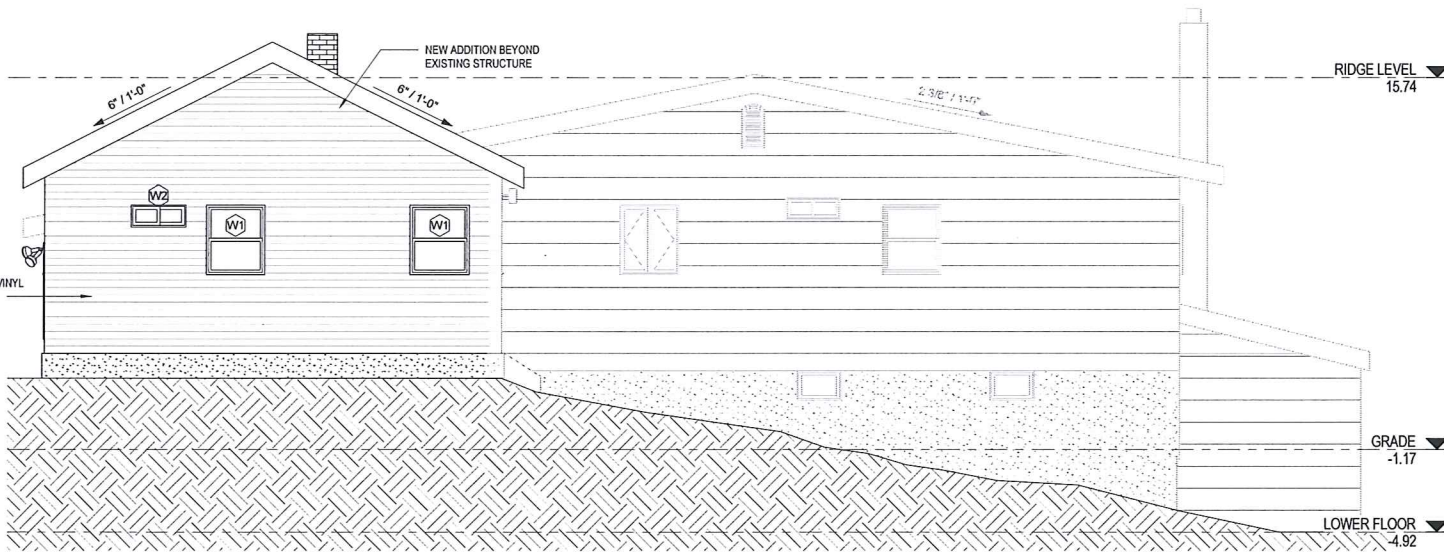
drawing title
PROPOSED ROOF PLAN

project number 21.025	drawing scale As indicated	approver Approver
drawing number A112	revision 1	

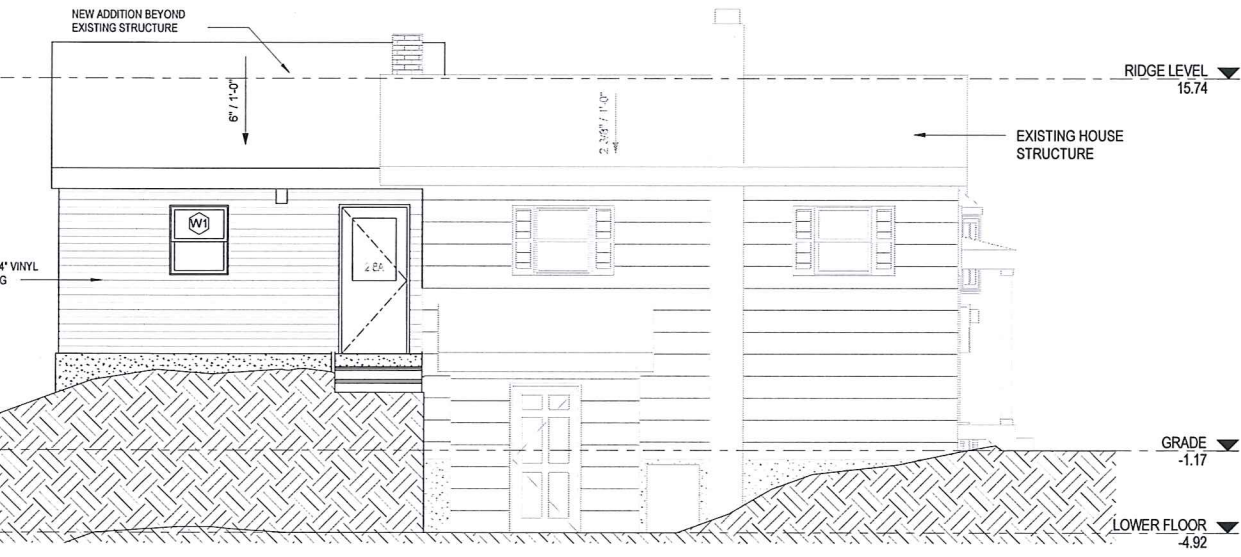
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MARK	SIZE		QUANTITY	MATERIAL	NOTES
	WIDTH	HEIGHT			
W1	2' - 8"	3' - 2"	1		
W1	2' - 8"	3' - 2"	1		
W1	2' - 8"	3' - 2"	1		
W1	2' - 8"	3' - 2"	1		
W2	2' - 6"	1' - 0"	1		



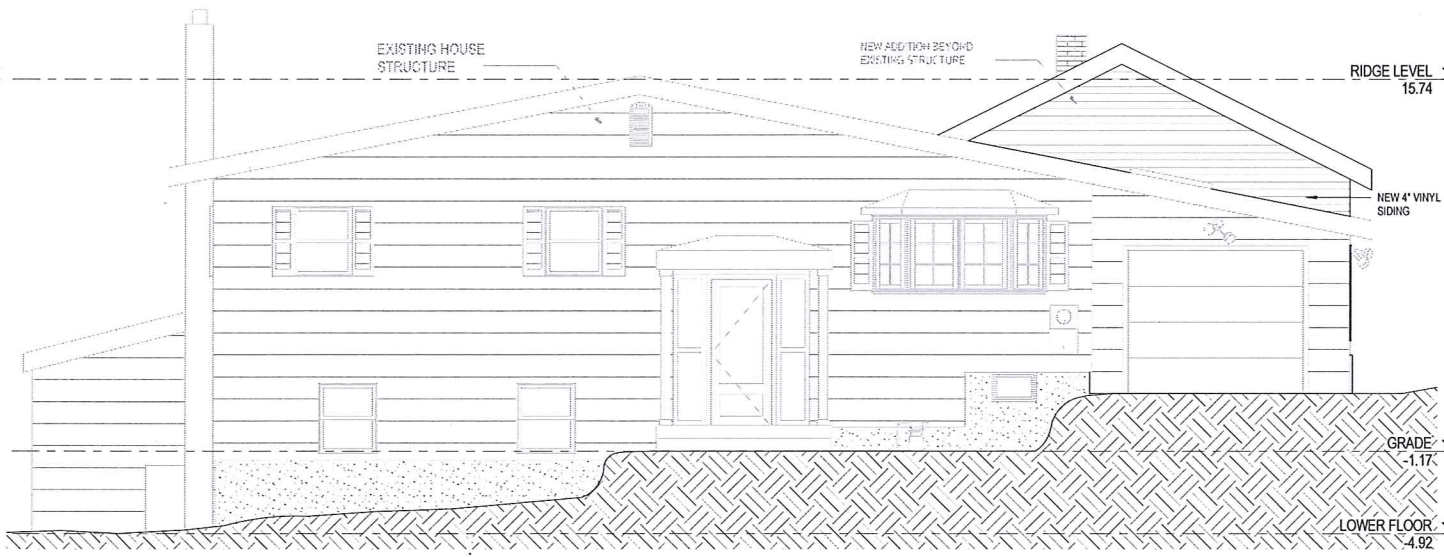
1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



3 PROPOSED WEST ELEVATION
1/4" = 1'-0"



4 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

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revision	revision description	date
1	FOR PERMIT	12/8/2021

project title
RESIDENTIAL BUILDING ADDITION

58 ANCHORAGE ROAD, FRANKLIN, MA 02038

client
JOSH & KATE GATES
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Alex Siekierski, RA
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drawing title

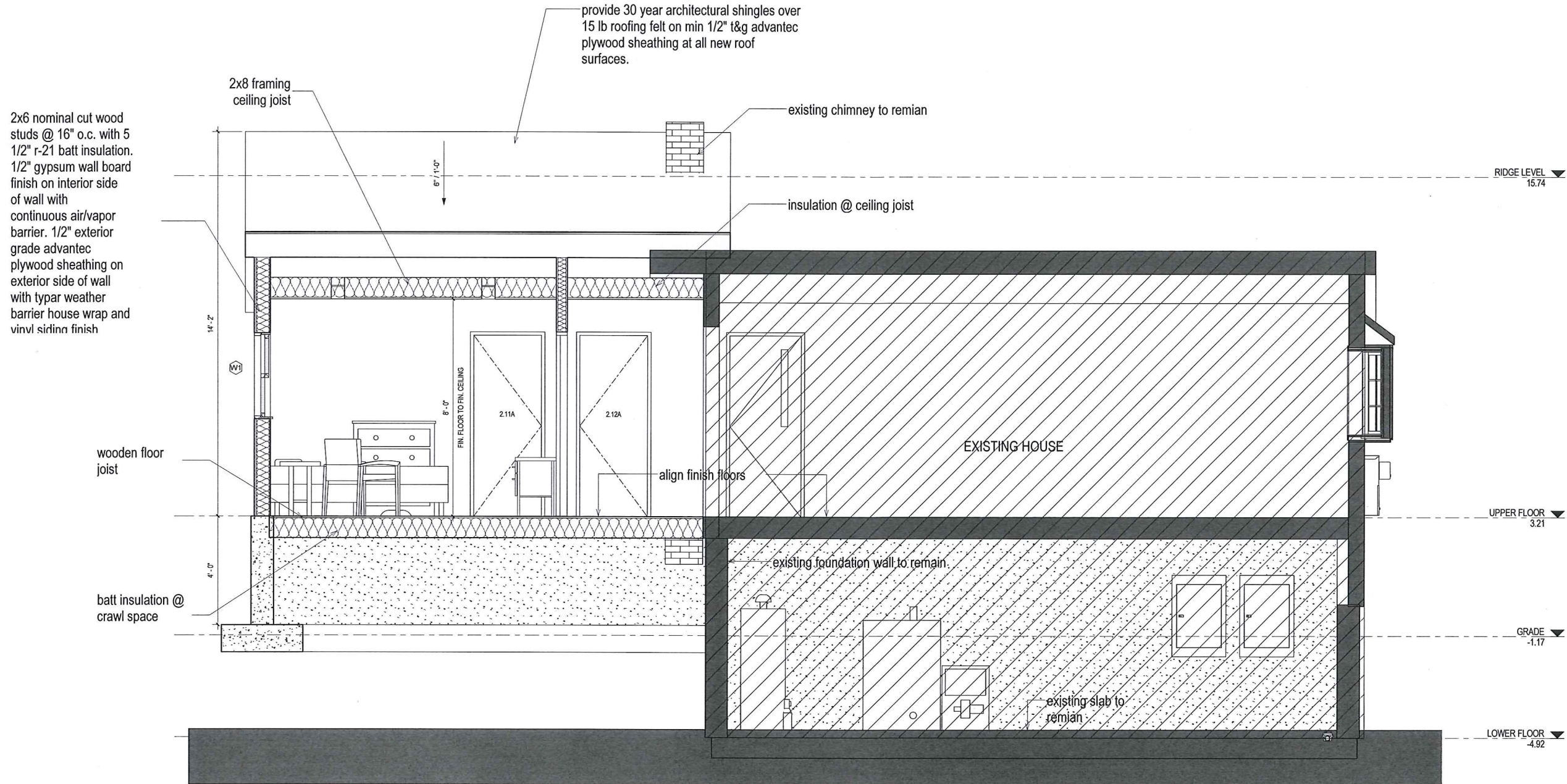
PROPOSED EXTERIOR
ELEVATIONS

project number 21.025	drawing scale 1/4" = 1'-0"	approver AS
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drawing number A200	revision 1
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② NORTH SOUTH SECTION2
1/2" = 1'-0"



For Permit

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contractor

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revision	revision description	date
1	FOR PERMIT	12/8/2021

project title
RESIDENTIAL BUILDING ADDITION

58 ANCHORAGE ROAD, FRANKLIN, MA 02038

client
JOSH & KATE GATES
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Alex Siekierski, RA
Architectural Consultant

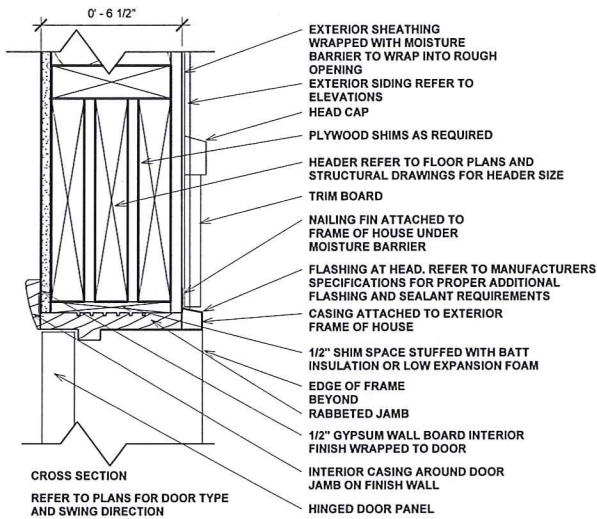


location 33 Lovering Street
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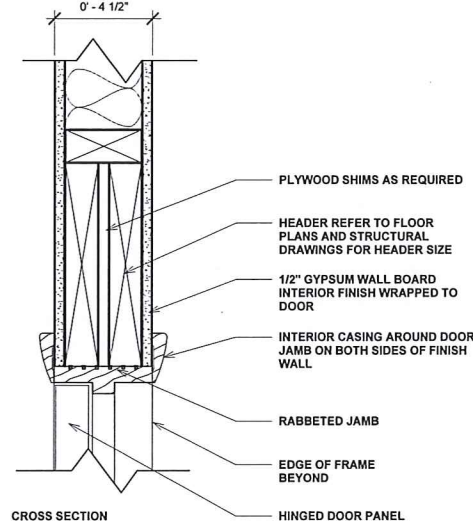
drawing title

BUILDING SECTIONS

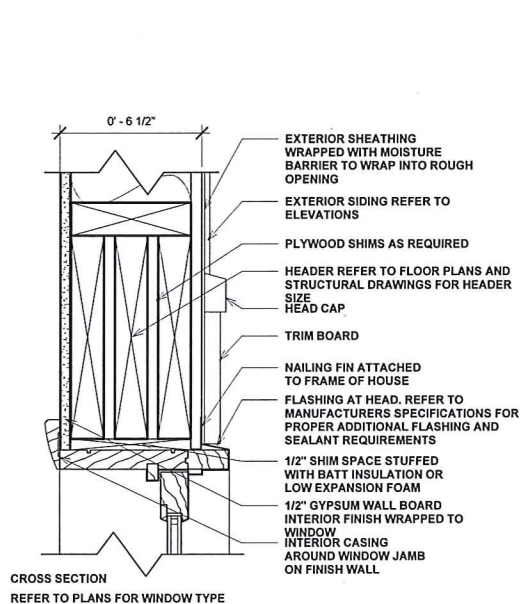
project number 21.025	drawing scale 1/2" = 1'-0"	approver Approver
drawing number A210	revision	1



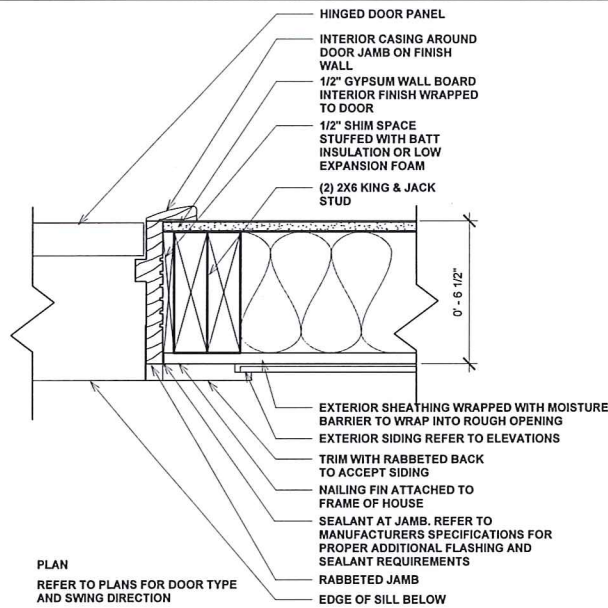
1 DETAIL EXTERIOR HINGED DOOR HEAD
3" = 1'-0"



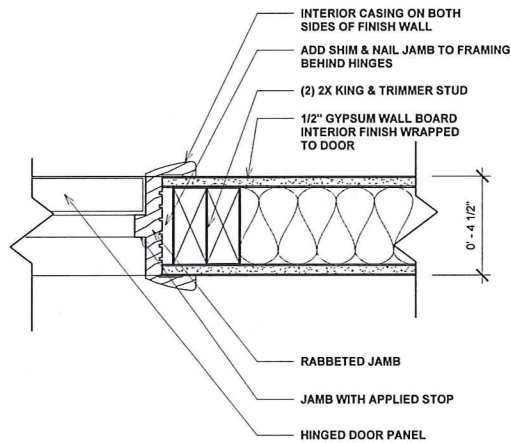
6 DETAIL INTERIOR HINGED DOOR HEAD
3" = 1'-0"



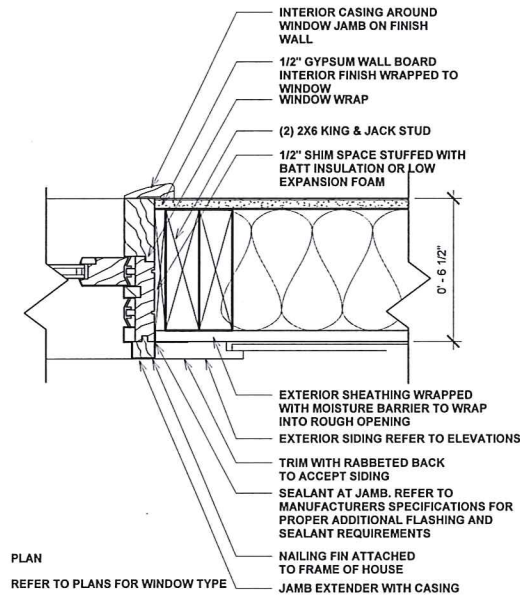
9 DETAIL WINDOW HEAD
3" = 1'-0"



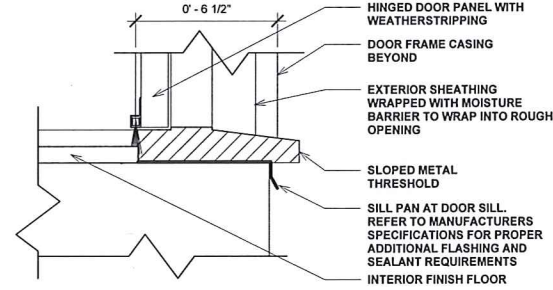
2 DETAIL EXTERIOR HINGED DOOR JAMB
3" = 1'-0"



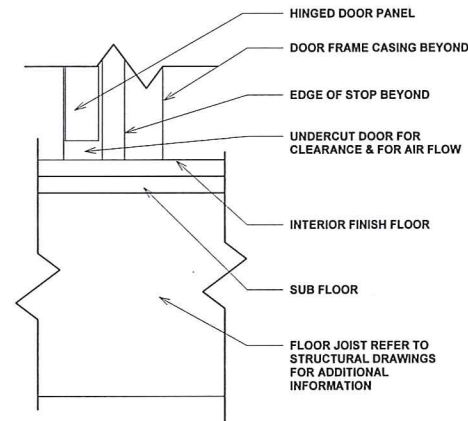
7 DETAIL INTERIOR HINGED DOOR JAMB
3" = 1'-0"



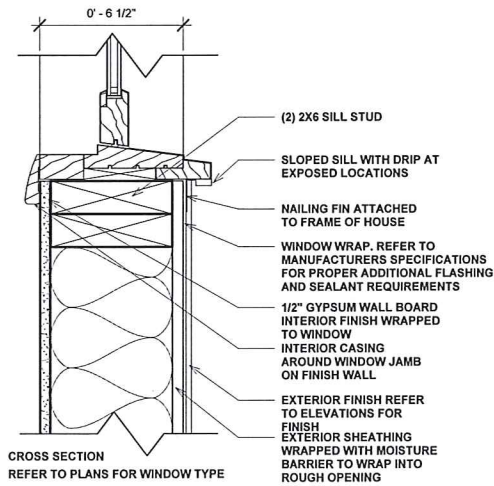
10 DETAIL WINDOW JAMB
3" = 1'-0"



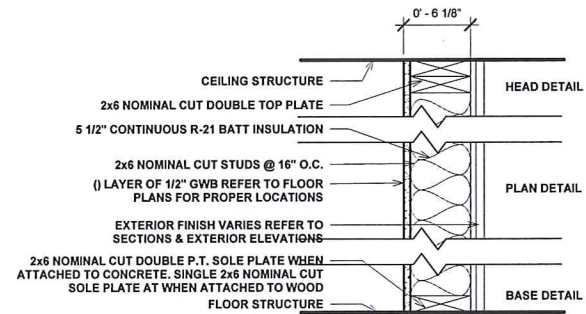
3 DETAIL EXTERIOR HINGED DOOR SILL
3" = 1'-0"



8 DETAIL INTERIOR HINGED DOOR SILL
3" = 1'-0"

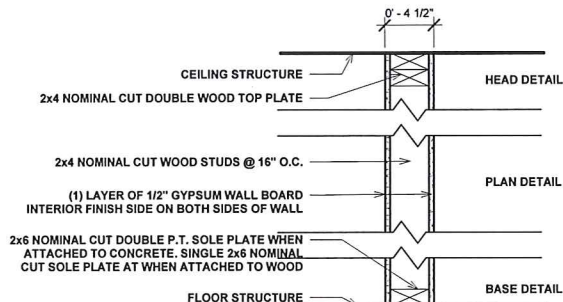


11 DETAIL WINDOW SILL
3" = 1'-0"



A1 WALL TO EXTEND TO UNDERSIDE OF JOIST ABOVE UNLESS NOTED OTHERWISE.

4 WALL ASSEMBLY (A1) WOOD STUD
WALL PARTITION
1 1/2" = 1'-0"



A2 WALL TO EXTEND TO UNDERSIDE OF JOIST ABOVE UNLESS NOTED OTHERWISE.

5 WALL ASSEMBLY (A2) WOOD STUD
WALL PARTITION
1 1/2" = 1'-0"

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contractor

stamp



revision	revision description	date
1	FOR PERMIT	12/8/2021

project title
RESIDENTIAL BUILDING ADDITION

58 ANCHORAGE ROAD, FRANKLIN, MA
02038

client
JOSH & KATE GATES
58 ANCHORAGE ROAD, FRANKLIN, MA
02038

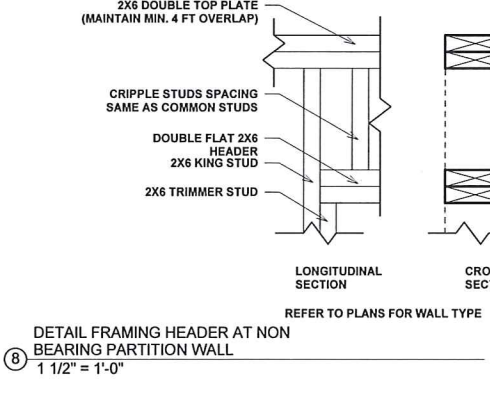
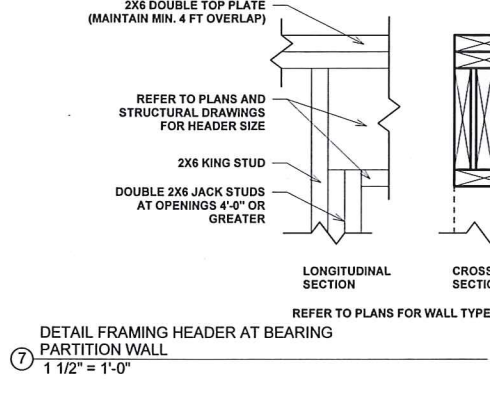
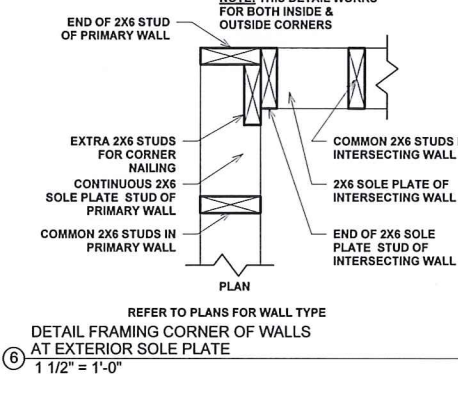
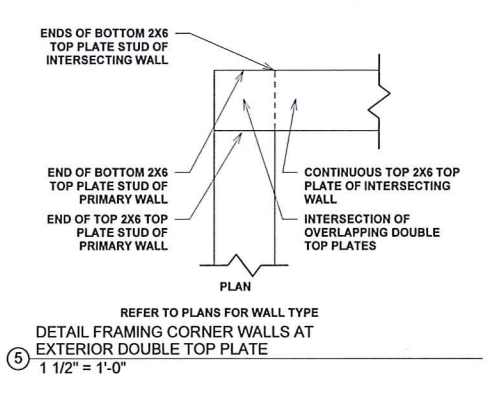
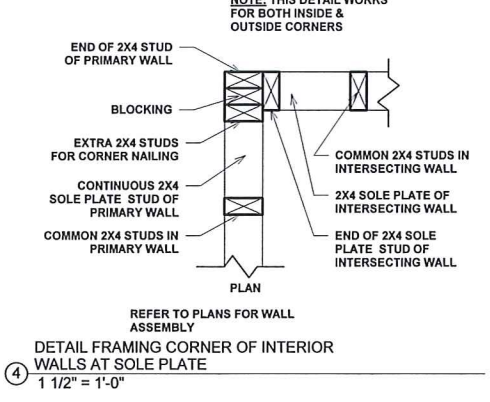
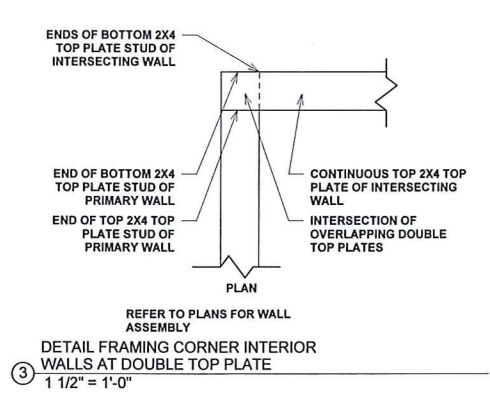
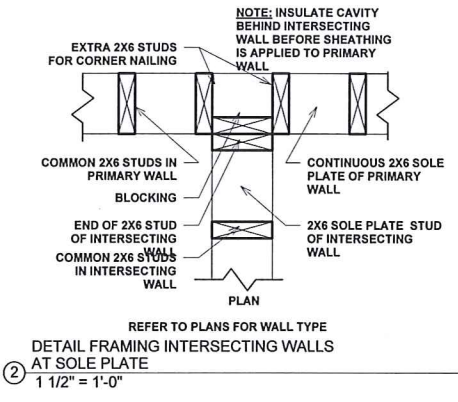
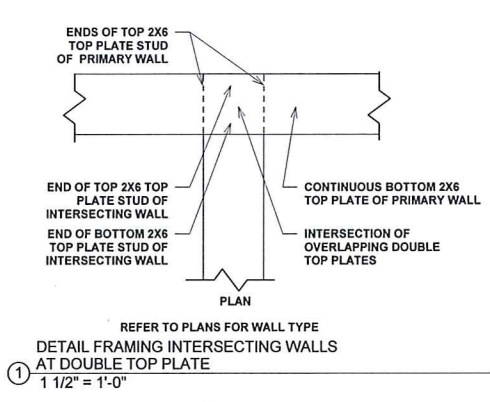
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drawing title

TYPICAL DETAILS

project number	drawing scale	approver
21.025	As indicated	Approver
drawing number	revision	
A500	1	



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contractor



revision	revision description	date
1	FOR PERMIT	12/8/2021

project title
RESIDENTIAL BUILDING ADDITION

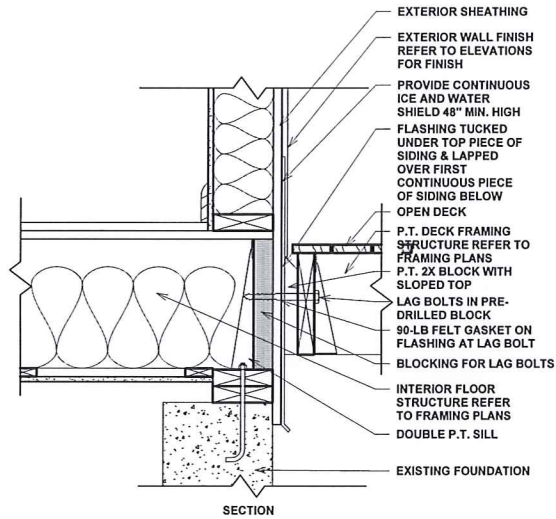
58 ANCHORAGE ROAD, FRANKLIN, MA 02038

client
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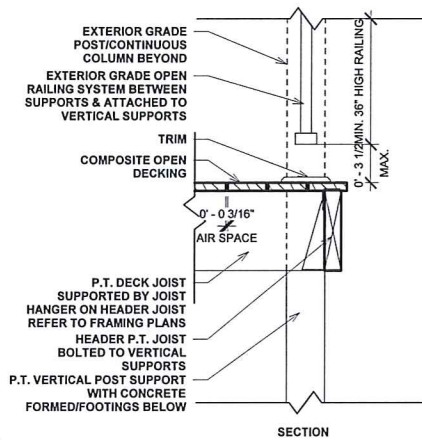
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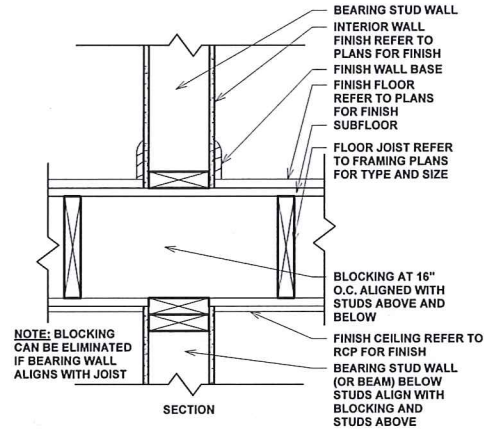
drawing title		
TYPICAL DETAILS		
project number	drawing scale	approver
21.025	1 1/2" = 1'-0"	Approver
drawing number		revision
A501		1



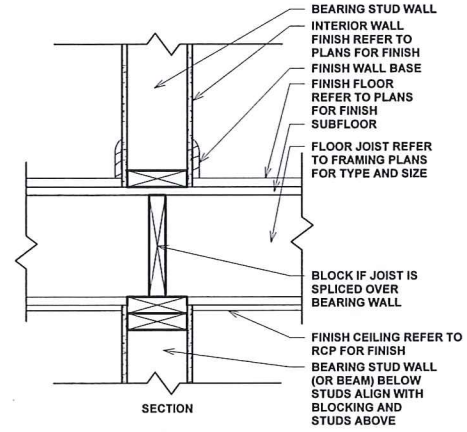
1
DETAIL FIRST FLOOR DECK AT EXTERIOR WALL
1 1/2" = 1'-0"



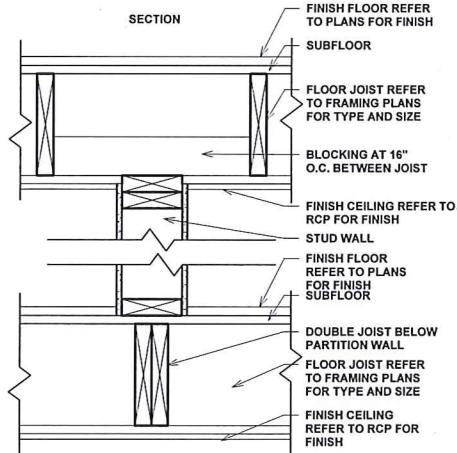
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DETAIL OPEN RAILING AT DECK
1 1/2" = 1'-0"



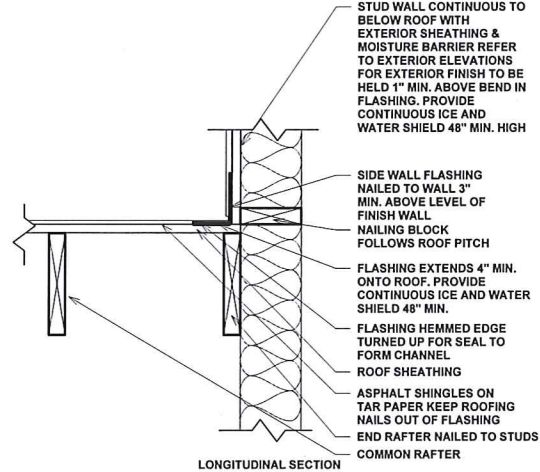
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DETAIL FLOOR JOIST AT BEARING WALL CROSS SECTION
1 1/2" = 1'-0"



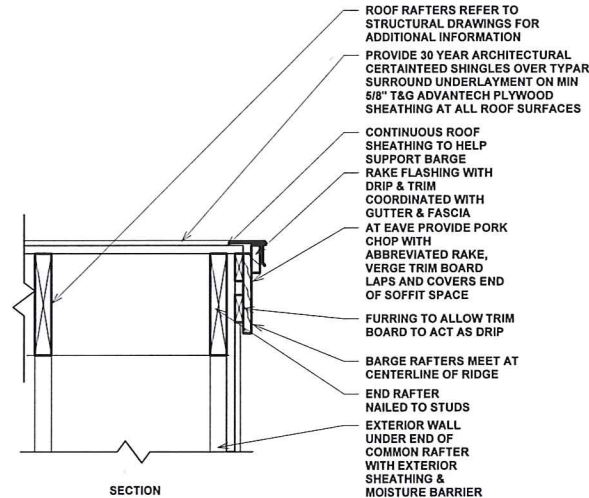
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DETAIL FLOOR JOIST AT BEARING WALL LONGITUDINAL SECTION
1 1/2" = 1'-0"



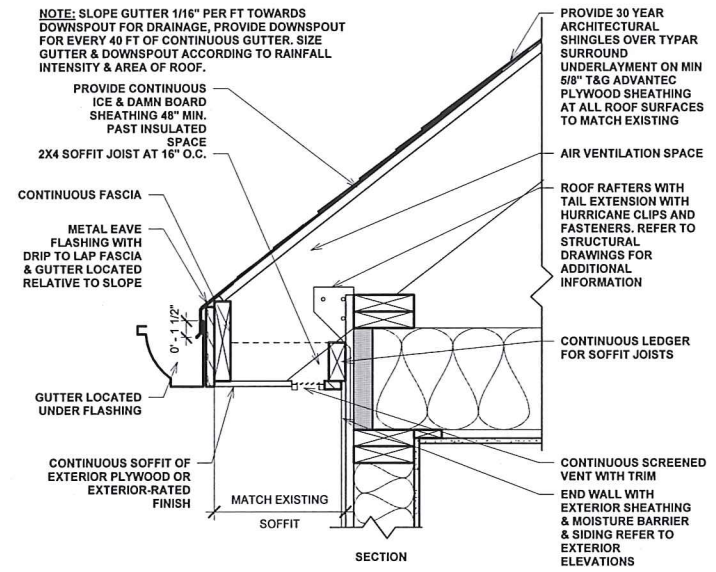
5
DETAIL FLOOR JOIST AT PARTITION WALL CROSS SECTION
1 1/2" = 1'-0"



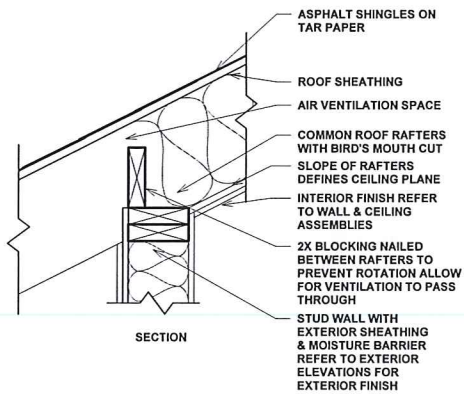
6
DETAIL FRAMING AT ROOF/WALL
1 1/2" = 1'-0"



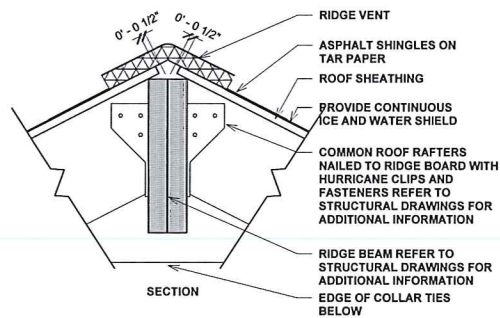
7
DETAIL FRAMING ABBREVIATED RAKE AT RIDGE/EAVE
1 1/2" = 1'-0"



8
DETAIL SOFFITED EAVE
1 1/2" = 1'-0"



9
DETAIL FRAMING RAFTER/EAVE WALL AT VAULTED CEILING
1 1/2" = 1'-0"

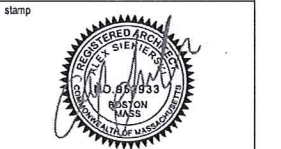


10
DETAIL FRAMING RAFTER/RIDGE
1 1/2" = 1'-0"

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contractor



revision

revision description

date

project title
RESIDENTIAL BUILDING ADDITION

58 ANCHORAGE ROAD, FRANKLIN, MA 02038

client
JOSH & KATE GATES
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drawing title

TYPICAL DETAILS

project number

drawing scale

approver

drawing number

revision

A502

1

LIGHTING SCHEDULE I PHASE 2						
Type Mark	Count	Description	Manufacturer	Model	Lamp Type	Remarks
FLOOD LIGHT	2	Wall mounted floodlight w/halogen bulbs	Aubuchon Hardware	MX1W		
R1	8	Recessed Downlight				
R2	1	Recessed Downlight				
SM1	1	Vanity Light Fixture				
WS1	1	Wall Sconce				

WINDOW SCHEDULE - NEW					
MARK	SIZE		QUANTITY	MATERIAL	NOTES
	WIDTH	HEIGHT			
W1	2' - 8"	3' - 2"	1		
W1	2' - 8"	3' - 2"	1		
W1	2' - 8"	3' - 2"	1		
W1	2' - 8"	3' - 2"	1		
W2	2' - 6"	1' - 0"	1		

Reflected Ceiling Notes

- lighting, electrical equipment, hvac equipment, and sprinklers are to be mounted on center of act unless otherwise dimensioned on reflected ceiling plan
- unless otherwise noted multiple switches in a single location shall be ganged in a single box and covered with a single plate
- all gwb ceilings to be painted white eggshell u.o.n.
- provide emergency lighting integral in fixtures.
- "bug eyes" are not acceptable, u.o.n.
- provide coating mixture over (e) fireproofing to prevent particles from falling
- s.m.d., s.e.d., s.p.d., s.f.p.d. for relevant info and coordination of mechanical, electrical, plumbing and fire protection items.
- align fire alarm and all other electric devices, w/lighting as indicated in drawings.
- align ceiling devices including smoke detectors, sprinkler heads, etc., with ceiling mounted lighting fixtures unless otherwise noted, center all between elements or within grid in both directions u.o.n.
- at typ. exposed ceiling - run all electrical conduits tight to underside of deck in joist bays. run all electrical conduit neatly and parallel to structure u.o.n. - run exposed ductwork as high as possible & tight to parallel to interior partitions and/or structure where applicable u.o.n. - pendant lights are to be mid to underside of deck u.o.n. - sprinkler lines are to be mid to underside of deck - paint all exposed steel structure & metal deck u.o.n., refer to rcp and finish schedule for additional information
- all fire sprinkler piping to be painted black u.o.n.
- provide unistrut supports at all fixtures mounted below hvac equipment.
- install water resistant gwb at all wet location ceilings.
- coordinate all lighting with crown moulding.
- g.c. to coordinate ceiling height with architect after final hvac system selected by owner.
- see architectural electrical for switching.

Ceiling Plan Legend

	EXH1 - BATHROOM EXHAUST FAN
	R - RECESSED FIXTURE
	WS - WALL SCONCE
	P - PENDANT FIXTURE
	CF - CEILING FAN/LIGHT FIXTURE
	LED - LINEAR LED STRIP
	SML - SURFACE MOUNTED LINEAR FIXTURE
	SMOKE DETECTOR
	SPRINKLER
	FIRE ALARM EMERGENCY STROBE & HORN
	EXIT SIGNAGE
	GYPSUM WALL BOARD CEILING
	BEAD BOARD WOOD CEILING

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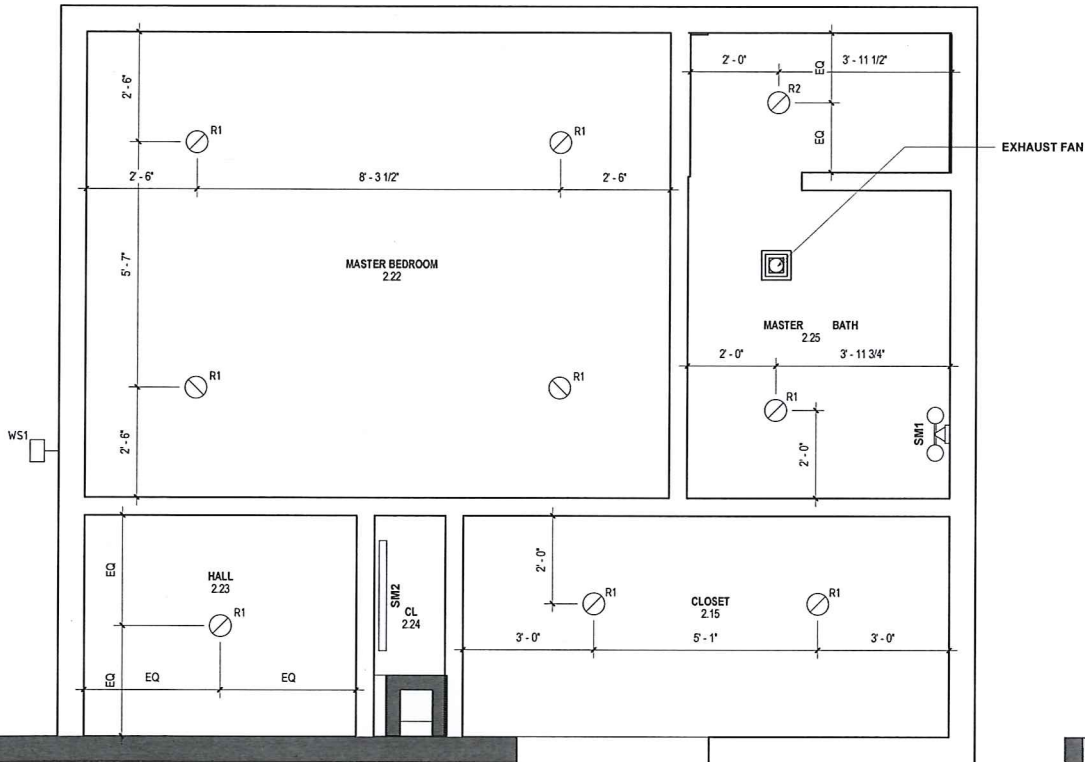
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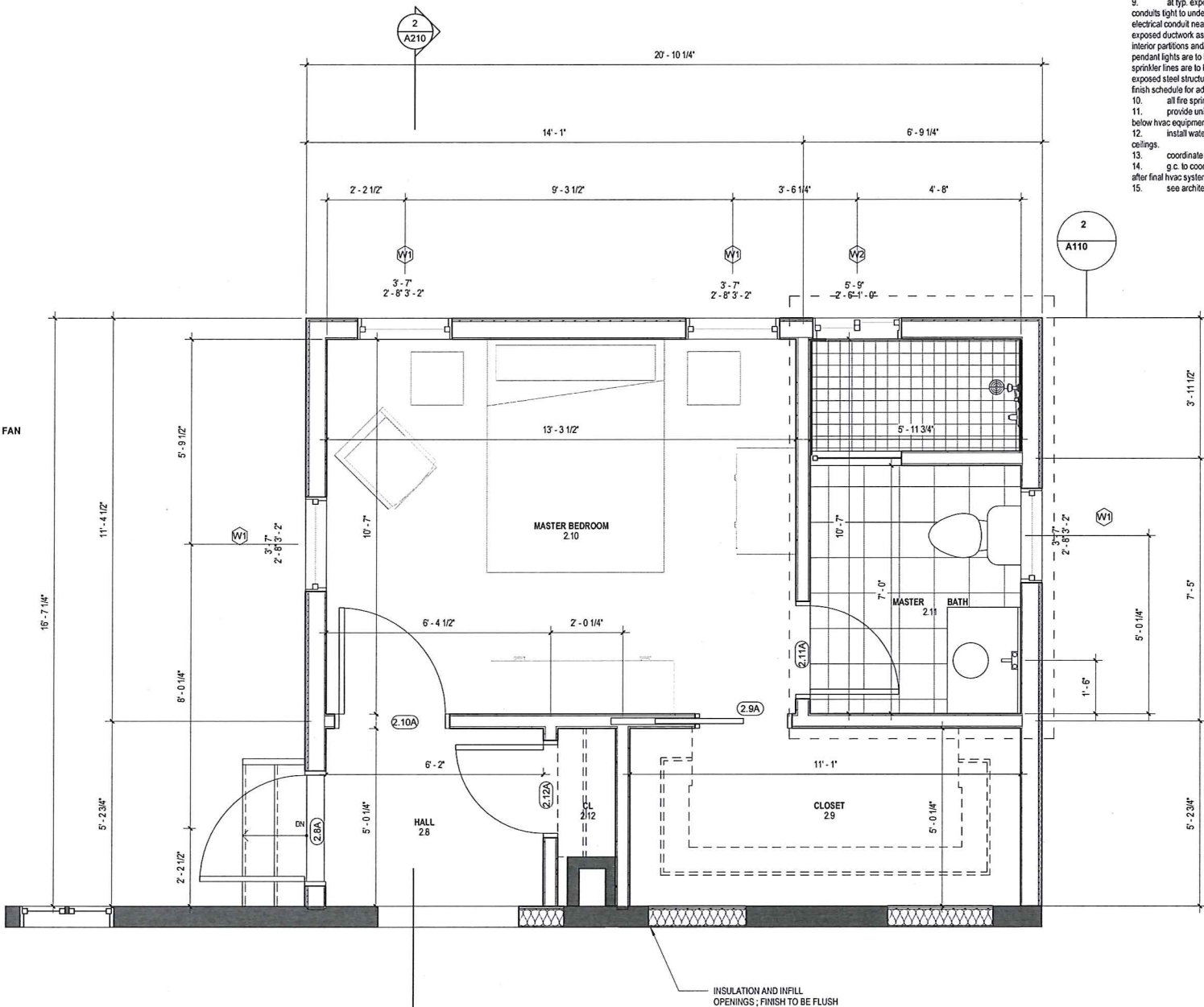
ENLARGED PLAN & RCP DETAILS

project number 21.025	drawing scale As indicated	approver Approver
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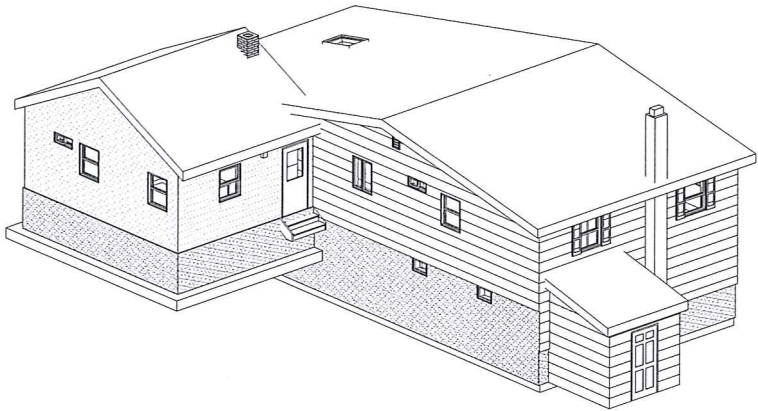
drawing number A600	revision 1
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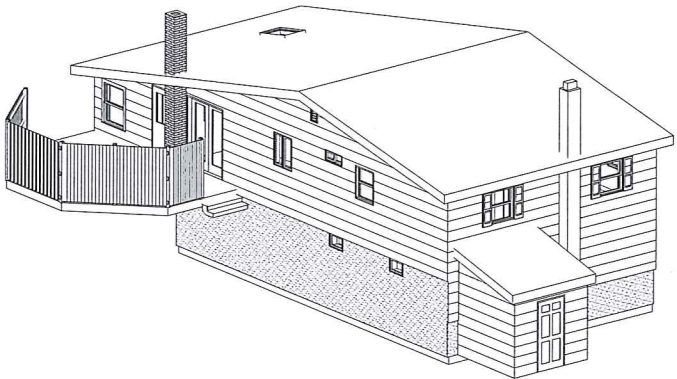
1 ENLARGED REFLECTED CEILING PLAN
1/2" = 1'-0"



2 ENLARGED PROPOSED UPPER FLOOR PLAN
1/2" = 1'-0"



④ PROPOSED



① EXISTING

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revision	revision description	date
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project title
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58 ANCHORAGE ROAD, FRANKLIN, MA
02038

client
JOSH & KATE GATES
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drawing title

EXTERNAL 3D VIEWS

project number	drawing scale	approver
21.025		Approver
drawing number	revision	
A910	1	